

FINAL DEVELOPMENT PLANS

CLUB CARWASH

LEE'S SUMMIT, MISSOURI



PROJECT ADDRESS
1021 JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI 64081

PROJECT NO. M24-8767A



- CIVIL ENGINEERING
- LAND SURVEYING
- ARCHITECTURE
- SITE DEVELOPMENT
- MASTER PLANNING
- GENERAL CONSULTING

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E-MAIL wentmail@cochraneng.com

MAY, 2025
REVISED JUNE 23, 2025
REVISED JULY 3, 2025

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CONTACT INFORMATION

OWNER / DEVELOPER

OWNER: CLUB CARWASH OPERATING, LLC

REPRESENTATIVE: JUSTIN BARNES

ADDRESS: 1591 E. PRATHERSVILLE RD; COLUMBIA, MO 65202

PHONE: (573) 999-5178

SEWER

OWNER: CITY OF LEE'S SUMMIT WATER

REPRESENTATIVE: JEFF THORN

ADDRESS: 1200 SE HAMBLER RD, LEE'S SUMMIT, MO 64081

PHONE: (816) 969-1900

WATER

OWNER: CITY OF LEE'S SUMMIT WATER

REPRESENTATIVE: JEFF THORN

ADDRESS: 1200 SE HAMBLER RD, LEE'S SUMMIT, MO 64081

PHONE: (816) 969-1900

ELECTRIC

OWNER: EVERGY

REPRESENTATIVE:

ADDRESS: 1300 SE HAMBLER RD, LEE'S SUMMIT, MO 64081

PHONE: (888) 471-5275

GAS

OWNER: SPIRE MO WEST

REPRESENTATIVE: THERESA GARZA

ADDRESS: 3025 SE CLOVER DR, LEE'S SUMMIT, MO 64082

PHONE: (816) 509-1033

TELEPHONE

OWNER: AT&T DISTRIBUTION

REPRESENTATIVE:

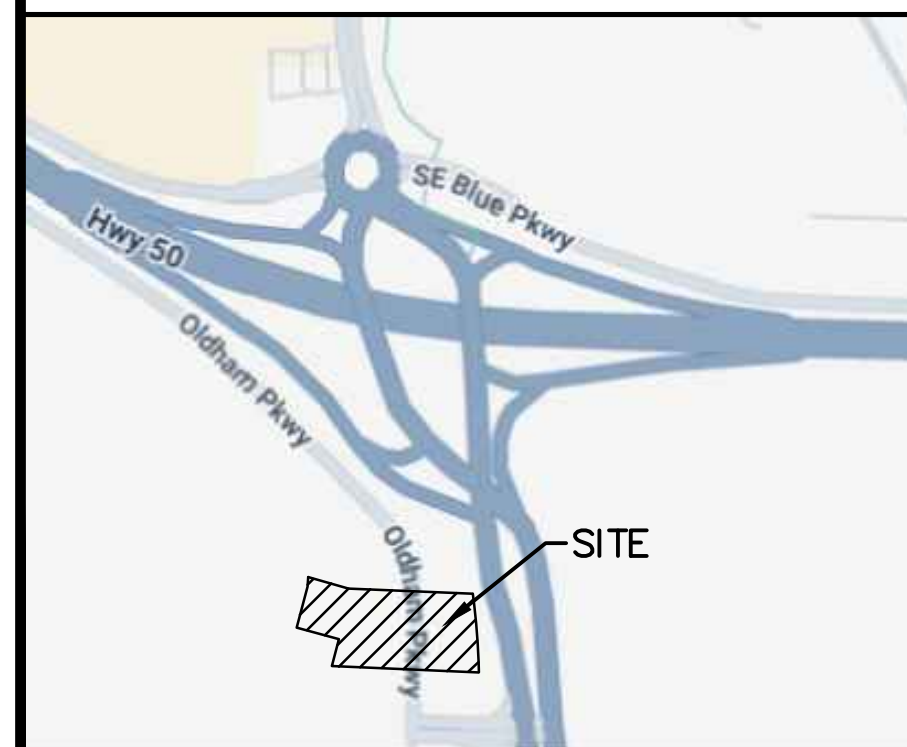
ADDRESS:

PHONE: (800) 924-9420

SPECIAL NOTES :

PROJECT BENCHMARK:
THE SURVEYED BEARINGS SHOWN ON THE TOPOGRAPHIC SURVEY WERE ESTABLISHED FROM GRID NORTH OF THE "MISSOURI COORDINATE SYSTEM OF 1983" AND ELEVATIONS REFERENCED TO NAVD 1988 BY UTILIZING GNSS RECEIVER INSTRUMENTATION AND THE MODOT GNSS RTK NETWORK.

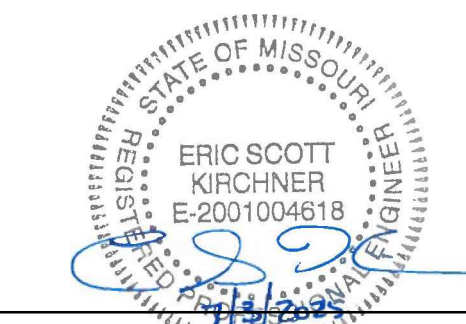
SITE BENCHMARK:
ELEV.=1037.91 (NAVD88)
THE SITE BENCHMARK IS SQUARE CUT IN THE SW CORNER OF A CURB INLET ON THE WEST SIDE OF THE SOUTHBOUND LANE OF STATE HIGHWAY 291. APPROXIMATELY 185 FEET NORTH OF THE INTERSECTION WITH SW OLDHAM PARKWAY.



VICINITY MAP
NO SCALE

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (ie. Trenching, Blasting, etc.)

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www.motcall.com



Eric S. Kirchner No. E-2001004618
Registered Professional Engineer
State of Missouri
for Cochran Engineering & Surveying

DWG NAME: \J\2024\W24-8767 - COW 1310 SW Market St. Lot 7, Lees Summit, MO\W24-8767A_C1-GENERAL NOTES.dwg LAYOUT TAB: GENERAL NOTES AND LEGEND PLOTTED ON: Jul 03, 2025 - 7:55am PLOTTED BY: KForrell

- SITE NOTES
1. PROJECT BENCHMARK:
THE SURVEYED BEARINGS SHOWN ON THE TOPOGRAPHIC SURVEY WERE ESTABLISHED FROM GRID NORTH OF THE "MISSOURI COORDINATE SYSTEM OF 1983" AND ELEVATIONS REFERENCED TO NAVD 1988 BY UTILIZING GNSS RECEIVER INSTRUMENTATION AND THE MDOOT GNSS RTK NETWORK.

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ELEV.=1037.91 (NAVD88)
THE SITE BENCHMARK IS SQUARE CUT IN THE SW CORNER OF A CURB INLET ON THE WEST SIDE OF THE SOUTHBOUND LANE OF STATE HIGHWAY 291, APPROXIMATELY 185 FEET NORTH OF THE INTERSECTION WITH SW OLDFHAM PARKWAY.

2. ZONED: PLANNED MIXED USE, PMIX
FRONT YARD 20 FT.
SIDE YARD 0 FT.
REAR YARD 20 FT.

3. FLOODZONE:
THIS SITE FALLS WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE ANNUAL 0.2% CHANCE FLOOD. PER FIRM, FLOOD INSURANCE RATE MAP, FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 2909SC0419G, MAP REVISED DATE OF JANUARY 20, 2017, FLOOD ZONES SHOWN HEREON ARE DETERMINED BY SCALING.

4. EFFORTS WILL BE MADE TO DIRECT DRAINAGE TO EXISTING DISCHARGE POINTS.

5. ALL STORM WATER RUNOFF SHALL MEET GOVERNING AUTHORITY CURRENT STANDARDS.

6. THE SITE SHALL CONFORM TO CITY OF LEES SUMMIT CURRENT STANDARDS.

7. THE TOPOGRAPHIC INFORMATION AS SHOWN HEREON PER INFORMATION PROVIDED BY ENGINEERING SOLUTIONS.

8. TOTAL SITE ACREAGE 1.08 AC (47,242 SF.)

9. THIS SITE IS SERVED BY:
WATER – CITY OF LEES SUMMIT WATER
SANITARY SEWER – CITY OF LEES SUMMIT WATER
FIRE – LEES SUMMIT FIRE STATION #1
TELEPHONE – AT&T DISTRIBUTION
ELECTRIC – EVERGY
GAS – SPIRE MO WEST
FIBEROPTIC – AT&T DISTRIBUTION, EVERGY FIBER, GOOGLE FIBER

10. THE DEVELOPMENT SHALL BE SERVED BY UNDERGROUND ELECTRIC.

11. BOUNDARY INFORMATION IS PER SURVEY PERFORMED BY ENGINEERING SOLUTIONS.

12. THIS SITE WILL DEVELOP IN ONE PHASE.

13. ALL UTILITIES ARE TO BE LOCATED UNDERGROUND.

14. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR.

15. NO INVESTIGATION WAS PERFORMED REGARDING HAZARDOUS WASTE, UNDERGROUND CONDITIONS OR UTILITIES AFFECTING THE TRACT.

16. ALL GREEN SPACE AREAS SHALL BE SODDED.

17. SIGNAGE FOR THIS SITE WILL REQUIRE A SEPARATE APPROVAL AND PERMIT.

18. ALL CONCRETE PARKING IS TO BE STRIPED WITH 4" WIDE PAINTED WHITE LINES AS INDICATED. ADA STRIPING SHALL BE BLUE.

19. CONTRACTOR SHALL SAW CUT ALL CURB AND GUTTER SECTIONS, CONCRETE MEDIANS, AND ALONG PAVEMENT WHERE PROPOSED CONSTRUCTION TIES INTO EXISTING AREAS. CONTRACTOR SHALL MAINTAIN TRAFFIC FLOW AND PROVIDE TRAFFIC CONTROL THROUGHOUT CONSTRUCTION.

LOT DESCRIPTION:

A TRACT OF LAND BEING PART OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 47 NORTH, RANGE 31 WEST OF THE PRINCIPAL MERIDIAN, CITY OF LEES SUMMIT, JACKSON COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF LOT 2 OF LELANDS COMMERCIAL PARK ACCORDING TO THE PLAT THEREOF RECORDED AS I-578863 OF THE JACKSON COUNTY, MISSOURI RECORDS; THENCE SOUTH 2 DEGREES 35 MINUTES 27 SECONDS WEST 13.35 FEET TO THE POINT OF BEGINNING OF THE TRACT OF LAND DESCRIBED HEREIN; THENCE NORTH 87 DEGREES 37 MINUTES 46 WEST 127.72 FEET; THENCE NORTH 15 DEGREES 39 MINUTES 50 SECONDS EAST 53.62 FEET; THENCE NORTH 74 DEGREES 20 MINUTES 10 SECONDS WEST 85.50 FEET; THENCE NORTH 15 DEGREES 39 MINUTES 50 SECONDS EAST 81.00 FEET; THENCE NORTH 02 DEGREES 38 MINUTES 14 SECONDS EAST 18.48 FEET; THENCE SOUTH 74 DEGREES 20 MINUTES 09 SECONDS EAST 80.82 FEET; THENCE SOUTH 87 DEGREES 33 MINUTES 04 SECONDS EAST 239.27 FEET TO A POINT ON A NON-TANGENT CURVE TO THE RIGHT WITH A RADIUS OF 1352.39 FEET AND A CHORD THAT BEARS SOUTH 04 DEGREES 16 MINUTES 43 SECONDS EAST 151.25 FEET; THENCE ALONG SAID CURVE 151.33; THENCE NORTH 87 DEGREES 37 MINUTES 46 SECONDS WEST 155.55 FEET TO THE POINT OF BEGINNING AND CONTAINING 47,242 SQUARE FEET, OR 1.08 ACRES.

OWNER:
OLDHAM INVESTORS LLC
7200 W. 132ND ST. STE. 150
OVERLAND PARK, KANSAS 66213

DEVELOPER:
CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202

- UTILITY NOTES
1. UNDERGROUND STRUCTURES, FACILITIES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.

2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELEED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON PLANS.

3. CONTRACTOR TO CONTACT TELEPHONE, ELECTRIC, GAS, WATER AND CABLE COMPANIES TO HAVE UNDERGROUND UTILITIES LOCATED ON THIS SITE AND ADJACENT TO THIS SITE PRIOR TO DOING ANY EXCAVATING.

4. ALL TRENCHES UNDER PAVED AREAS SHALL BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED TO 95% STANDARD PROCTOR.

5. ALL SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI AT THE CONTRACTOR'S EXPENSE.

6. UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAPPING AND TIE-IN FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS AND METERS TO THE BUILDING.

7. NEW WATER LINES SHALL BE SDR 21 PVC OR C900. ALL WATERLINES CONSTRUCTED SHALL HAVE A MINIMUM OF 42 INCHES OF COVER BELOW FINISHED GRADE, UNLESS OTHERWISE INDICATED ON PLANS.

8. CONTRACTOR SHALL COORDINATE ADJUSTMENTS TO EXISTING UTILITIES WITH APPROPRIATE UTILITY COMPANY AS WORK PROGRESSES.

9. CONTRACTOR SHALL COORDINATE THE SCHEDULING AND LOCATION OF THE DEMOLITION AND INSTALLATION OF ALL UTILITIES, INCLUDING STAKEOUT, CONDUIT REQUIRED, TRENCHING REQUIRED, ETC. CONTRACTOR SHALL CONTACT EACH UTILITY PROVIDER WITH AT LEAST 30 DAYS ADVANCE NOTICE OF ANY WORK TO BE DONE.

10. ALL UNDERGROUND ELECTRIC AND TELEPHONE WIRE THAT LIE BENEATH PAVED AREAS SHALL BE INSTALLED IN CONDUIT. CONTRACTOR SHALL COORDINATE WITH EACH UTILITY SERVICE PROVIDER FOR SIZE AND TYPE OF CONDUIT REQUIRED. CONDUIT SHALL BE PROVIDED AT THE CONTRACTORS EXPENSE.

11. CONTRACTOR SHALL PROVIDE A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATERLINES AND A MINIMUM OF 18" VERTICAL OF CLEARANCE BETWEEN STORM SEWERS AND WATERLINES. THIS MAY MEAN THAT LOWERING OF WATERLINES MAY BE NECESSARY.

12. LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY CONTRACTOR FROM THE PROPER UTILITY COMPANY PROVIDING SERVICE.

13. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.

14. UTILITY CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.

15. ALL NECESSARY INSPECTIONS, TESTING, AND/OR CERTIFICATIONS REQUIRED BY CODES, THE CITY, AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

16. ALL DRAINAGE STRUCTURES, STORM SEWER PIPES, AND THE WATER METER LID SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING REQUIREMENTS.

17. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND UTILITIES THAT ARE REQUIRED TO BE REMOVED OR RELOCATED.

18. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

19. UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE ARCHITECT/MEP.

20. ALL SEWERS AND STRUCTURES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARD CONSTRUCTION SPECIFICATIONS OF THE GOVERNING AGENCY.

21. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.

22. CONTRACTOR SHALL OBTAIN AND FOLLOW INSTALLATION REQUIREMENTS FOR STORM SEWER, SANITARY SEWER, & WATER MAIN FROM PIPE MANUFACTURER FOR EACH TYPE OF PIPE MATERIAL.

23. CONTRACTOR SHALL INSTALL A FACTORY CAP EQUAL TO THE SIZE OF UTILITY STUB TO BE SEALED OFF, AND BLOCK THE CAP WITH CONCRETE AT UTILITIES NOTES TO BE "CAPPED AND MARKED."

24. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE, OR IN RIGHT-OF-WAY, 30 DAYS PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO START OF GRADING.

- GRADING NOTES
1. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

2. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

3. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

4. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN.

5. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.

6. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

7. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN ANY STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.

8. ON-SITE & OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.

9. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

10. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES TO PREVENT EROSION.

11. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD.

12. ALL GRADING AND MATERIAL PLACEMENT ON THE SITE SHALL BE COMPACTED TO 95% STANDARD PROCTOR UNLESS A GEOTECHNICAL REPORT FOR THE SITE HAS DIFFERING REQUIREMENTS. IF A GEOTECHNICAL REPORT IS AVAILABLE THEN THE REPORT SHALL GOVERN.

PAD PREPARATION NOTE

CFS ENGINEERING PREPARED A GEOTECHNICAL INVESTIGATION FOR THIS PROJECT SITE AND THE REPORT IS DATED NOVEMBER 19, 2024. THE CONTRACTOR SHALL REVIEW THIS REPORT AND FOLLOW THE RECOMMENDATIONS INCLUDED IN THE REPORT.

OIL AND GAS WELLS

MDNR REPORTS DO NOT SHOW THE PRESENCE OF ANY ACTIVE INACTIVE OR CAPPED OIL AND/OR GAS WELLS ON THE PROJECT SITE

- LANDSCAPE NOTES
1. ALL AREAS ON SITE THAT ARE DISTURBED SHALL BE SODDED.

2. ALL LANDSCAPE BEDS TO HAVE SHREDDED OAK BARK MULCH UNLESS OTHERWISE NOTED.

3. ANY LANDSCAPE BED NOT EDGED BY CONCRETE CURBING SHALL HAVE A SPADE-CUT EDGE.

4. ALL AREAS ARE TO BE IRRIGATED.

ADA COMPLIANCE

ALL ADA PARKING SPACES SHALL HAVE A 2% OR LESS SLOPE IN ANY DIRECTION. ALL WALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% (1.5% PREFERRED). ALL WALKS SHALL HAVE A 5% OR LESS LONGITUDINAL SLOPE WHERE POSSIBLE. WHERE WALKS REQUIRE A SLOPE MORE THAN 5% LONGITUDINALLY WITH MORE THAN 6" OF VERTICAL RISE, THE CONTRACTOR SHALL INSTALL HANDRAILS MEETING ADA GUIDELINES. THE LONGITUDINAL SLOPE OF ANY WALK SHALL NOT EXCEED 8.33%. ANY WALK WITH A SLOPE BETWEEN 5% AND 8.33% SHALL NOT EXCEED 30FT. HORIZONTALLY IN LENGTH WITHOUT A LANDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADA PARKING PAVEMENT, WALKS, ETC. MEETS CURRENT ADA AND MUNICIPALITY GUIDELINES.

DRAWING LEGENDS

EXISTING

RIGHT-OF-WAY
PROPERTY LINE
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EASEMENT
SETBACKS
STORM SEWER
SANITARY LINE
WATER LINE
SANITARY LATERAL
SANITARY MANHOLE
STORM CURB INLET
FIRE HYDRANT
BENCHMARK
ASPHALT PAVEMENT
CONCRETE SIDEWALK

NEW

NEW MAJOR CONTOUR
NEW MINOR CONTOUR
EASEMENT
SETBACK
GAS
STORM SEWER
FENCE
WATER LINE
SANITARY LATERAL
SANITARY CLEAN OUT
TRANSFORMER
STORM MANHOLE
STORM INLET
GRATED INLET
GRATED INLET WITH SIDE INTAKE
SIGN
WATER VALVE
WATER METER
LIGHT
SPOT ELEVATION
ACCESSIBLE PARKING SYMBOL
NEW BUILDING
HEAVY DUTY CONCRETE
STANDARD DUTY CONCRETE
CONCRETE PAVEMENT/SIDEWALKS

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8 East Main Street
Wentzville, Missouri 63385

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MOCHRAN

Missouri State Certificate of Authority Numbers:
2010000046

Two working days prior to the start of any excavation work, call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations must be followed during construction required by these plans and be strictly followed (ie. trenching, blasting, etc.)

ERIC SCOTT KIRCHNER
E-2001004618
6/23/2025

ERIC S. KIRCHNER
E-2001004618

FINAL DEVELOPMENT PLANS
CLUB CARWASH
LEE'S SUMMIT, MISSOURI

GENERAL NOTES AND LEGEND

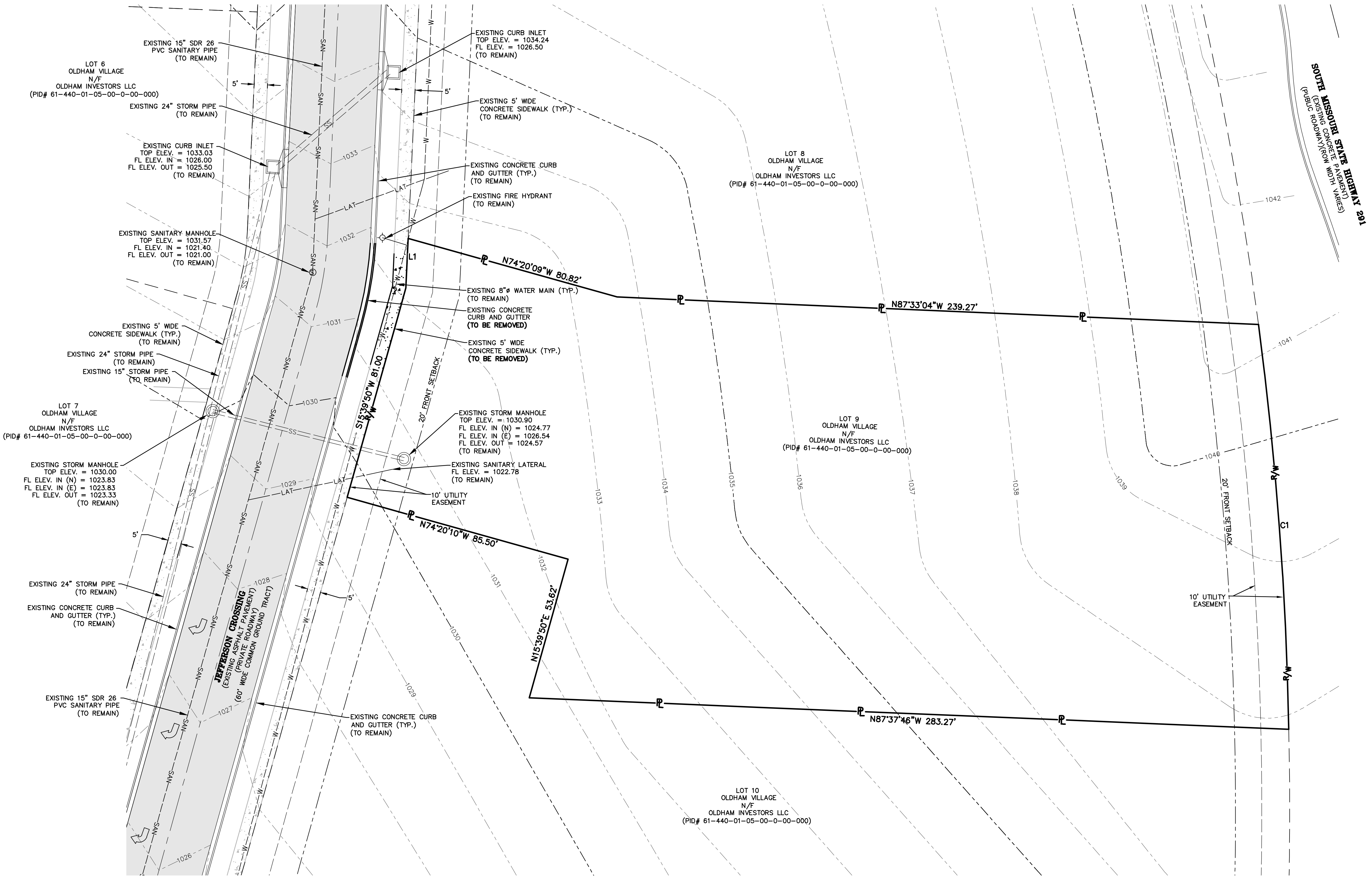
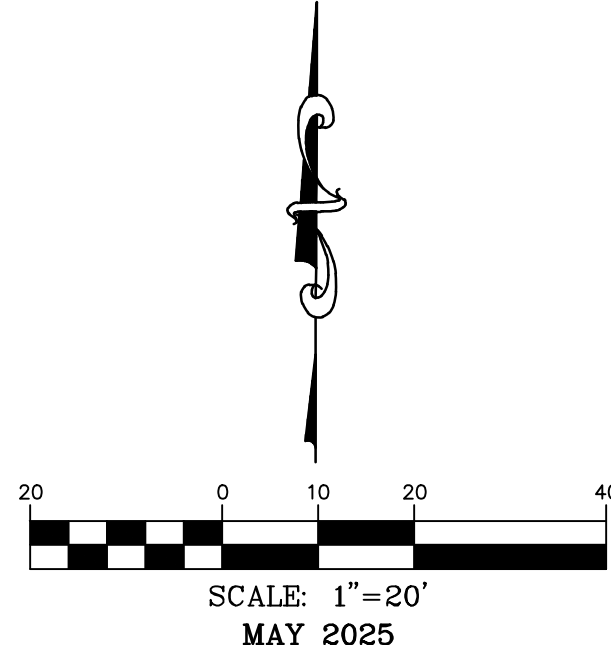
DATE: 06/23/25
BY: KAF
DATE: MAY 2025
SCALE: NO SCALE
PROJECT NO: M24-8767A
DWG. NO: C1

APPROVED BY: ESK
DATE: MAY 2025
SCALE: NO SCALE
PROJECT NO: M24-8767A
DWG. NO: C1

DWG NAME: J:\2024\W24-8767 - CCW 1310 SW Market St. Lot 7, Lees Summit, MO\W24-8767A_02_EXISTING CONDITIONS.dwg LAYOUT TAB: SITE PLAN PLOTTED ON: Jul 03, 2025 - 7:58am PLOTTED BY: KFarrell

L1
S2°38'14"W 18.48'
C1
RADIUS=1352.39'
ARC LENGTH=151.33'
CHORD BEARING= S04°16'43"E
CHORD LENGTH=151.25'

EXISTING CONDITIONS



OWNER: OLDHAM INVESTORS LLC 7200 W. 132ND ST. STE. 150 OVERLAND PARK, KANSAS 66213	DEVELOPER: CLUB CARWASH OPERATING, LLC 1591 E. PRATHERSVILLE RD. COLUMBIA, MO 65202
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1-800-DIG-RITE or 811
www.mo1call.com

636-332-4574 (tel.)
636-327-0760 (fax)
weinfo@ochraneng.com

ochran

North Office
8 East Main Street
Wentzville, Missouri 63385

- Civil Engineering
- Land Surveying
- Architecture
- Site Development
- General Consulting
- Master Planning

Missouri State Certificate
of Authority Numbers:
2010000046

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the start of any excavation
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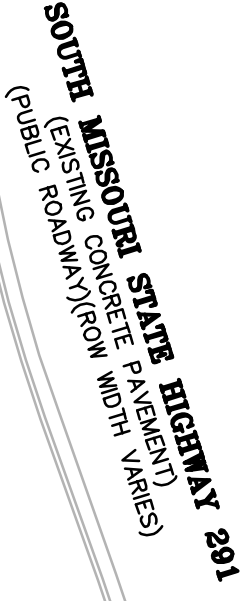
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construction required by these
plans and be strictly followed
(ie. trenching, blasting, etc.)

ERIC SCOTT
KIRCHNER
E-2001004618
6/23/2025

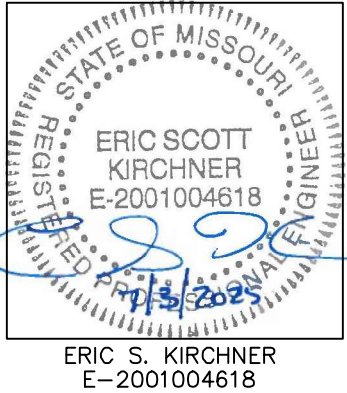
ERIC S. KIRCHNER
E-2001004618

FINAL DEVELOPMENT PLANS
CLUB CARWASH
LEE'S SUMMIT, MISSOURI

DATE:	06/23/25	DATE:	06/23/25
DRWN. BY:	KAF	APPR. BY:	ESK
DATE:	MAY 2025	DATE:	MAY 2025
SCALE:	1:20	SCALE:	1:20
PROJ. NO.:	M24-8767A	PROJ. NO.:	M24-8767A
DWG. NO.:	C2	DWG. NO.:	C2

[illegible]

DEVELOPER:
CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202



A	REFER TO ARCHITECTURAL AND MEP PLANS FOR CONTINUATION OF SANITARY SEWER CONNECTION TO THE BUILDING. SEE DETAIL FOR SANITARY LATERAL ON SHEET C13. FL. ELEV. = 1028.50.
B	NEW SANITARY SEWER LATERAL AND GREASE INTERCEPTORS. SEE ARCHITECTURAL AND MEP PLANS.
C	NEW SANITARY CLEANOUT. SEE DETAIL, SHEET C13.
D	NEW 4" Ø C900 PVC WATER SERVICE LINE.
E	NEW 2" WATER METER. SEE DETAIL, SHEET C14.
F	NEW 2"x4" INCREASER.
G	NEW 4"x2" REDUCER.
H	NEW CURB INLET. SEE DETAIL SHEET C14.
I	NEW GRATED INLET. SEE DETAIL SHEET C13.
J	NEW GRATED INLET WITH SIDE INTAKE. SEE DETAIL SHEET C13.
K	NEW TRENCH DRAIN. SEE DETAIL SHEET C13.
L	NEW STORM MANHOLE. SEE DETAIL, SHEET C14.
M	NEW NYLOPLAST 30" DRAIN STRUCTURE. SEE DETAIL, SHEET C14.
N	NEW 8" Ø SDR 26 PVC DOWNSPOUT COLLECTOR. SEE DETAIL, SHEET C13.
O	NEW DOWNSPOUT CLEAN-OUT. SEE DETAIL, SHEET C13.
P	NEW GAS LINE. CONTRACTOR SHALL COORDINATE WITH MEP AND UTILITY PROVIDER.
Q	NEW TRANSFORMER PAD, CONTRACTOR SHALL COORDINATE WITH MEP AND UTILITY PROVIDER.
R	NEW TELEPHONE PEDESTAL. SEE MEP PLANS.
S	2" COPPER SERVICE LINE (10' MIN. LENGTH)
T	2" SADDLE TAP, PER CITY REQUIREMENTS.
U	NEW FIRE HYDRANT. SEE DETAIL, SHEET C13.
V	NEW 6" Ø C900 PVC WATER MAIN.

DOWNSPOUT COLLECTOR
FLOWLINE TABLE
DS1 FL ELEV. = 1030.10
DS2 FL ELEV. = 1030.18
DS3 FL ELEV. = 1030.48
DS4 FL ELEV. = 1033.00

NOTE:
IRRIGATION METER AND BACKFLOW PREVENTER
LOCATED INSIDE THE BUILDING.

***FINAL DEVELOPMENT PLANS
CLUB CARWASH
LEE'S SUMMIT, MISSOURI***

[illegible]

CALL OR CLICK 3 DAYS BEFORE YOU DIG!

 **1-800-DIG-RITE OR 811**

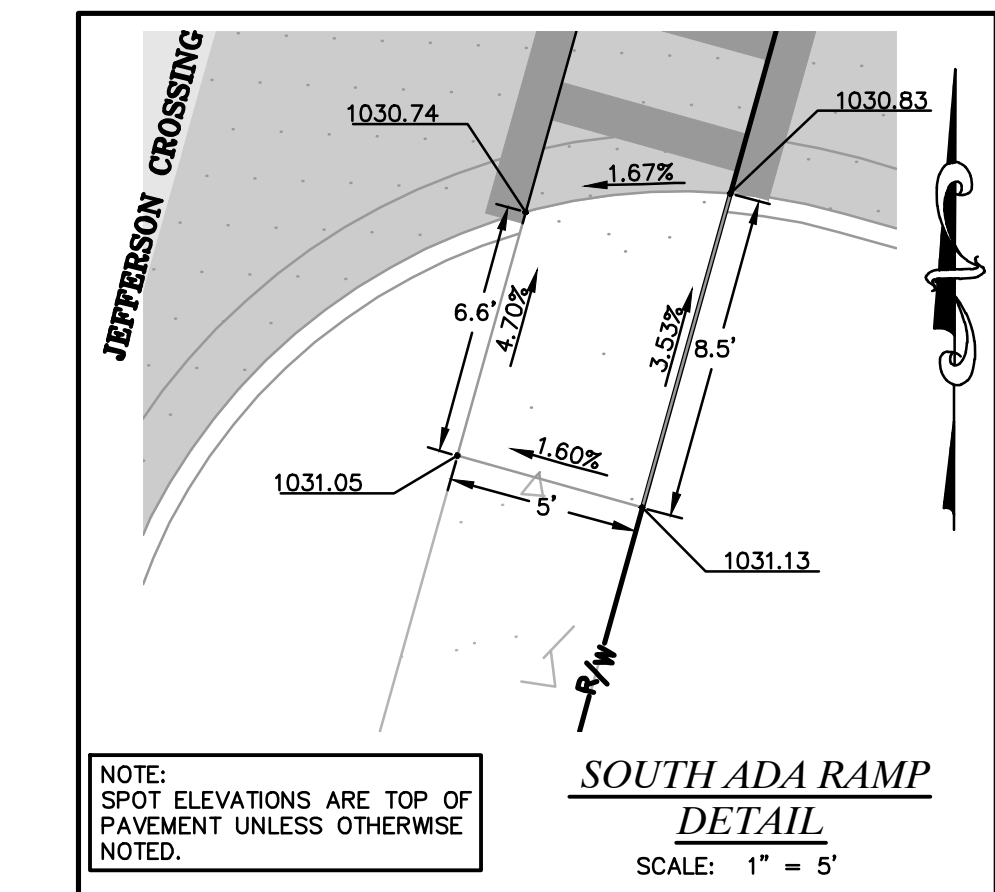
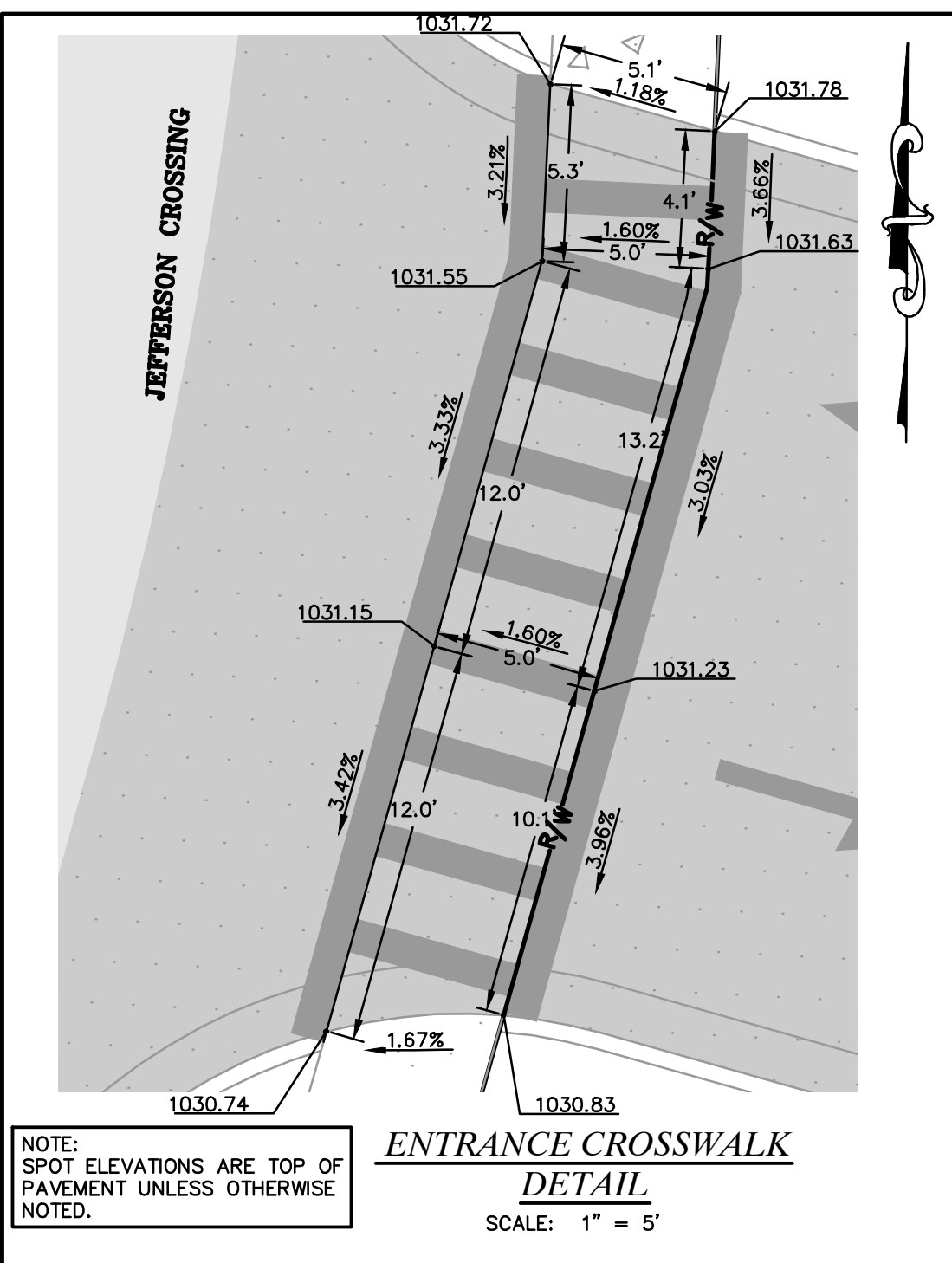
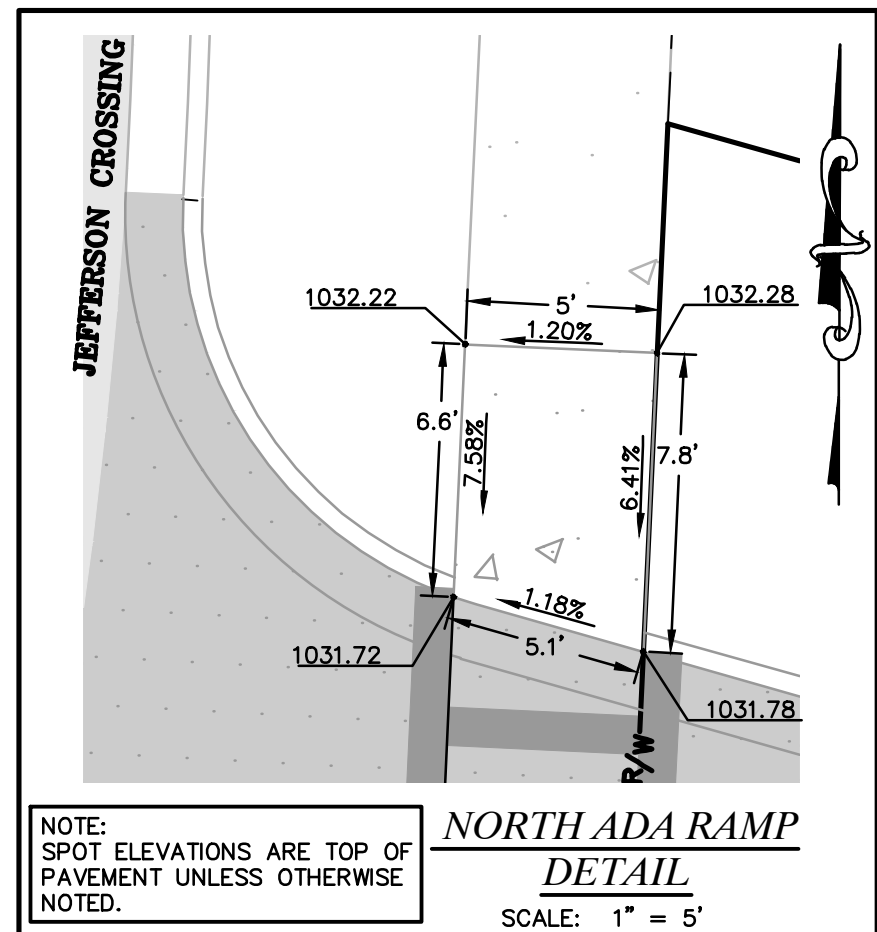
MISSOURI
ONE CALL SYSTEM

www.mo1call.com

<i>OWNER:</i> OLDHAM INVESTORS LLC 7200 W. 132ND ST. STE. 150 OVERLAND PARK, KANSAS 66213	<i>DEVELOPER:</i> CLUB CARWASH OPERATING, LLC 1591 E. PRATHERSVILLE RD. COLUMBIA, MO 65202
---	--

GRADING PLAN

L1
S2°38'14"W 18.48'
C1
RADIUS=1352.39'
ARC LENGTH=151.33'
CHORD BEARING= S04°16'43"E
CHORD LENGTH=151.25'



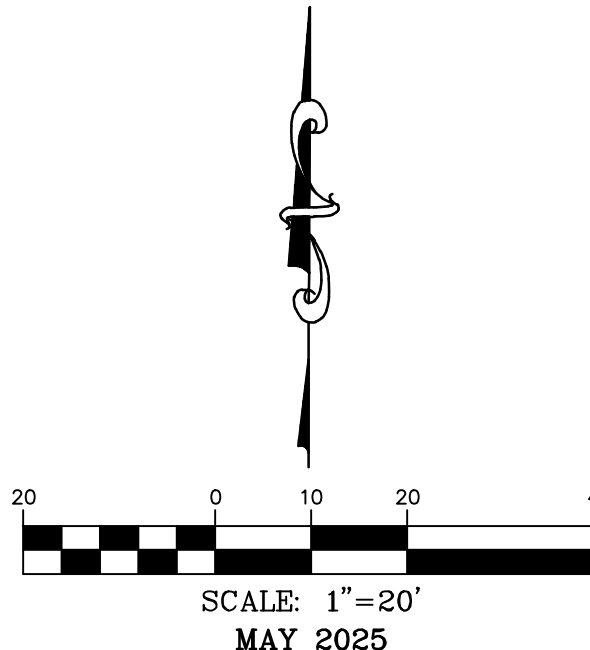
LOT 6
OLDHAM VILLAGE
N/F
OLDHAM INVESTORS LLC
(PID# 61-440-01-05-00-0-00-000)

LOT 8
OLDHAM VILLAGE
N/F
OLDHAM INVESTORS LLC
(PID# 61-440-01-05-00-0-00-000)

LOT 9
OLDHAM VILLAGE
N/F
OLDHAM INVESTORS LLC
(PID# 61-440-01-05-00-0-00-000)

LOT 10
OLDHAM VILLAGE
N/F
OLDHAM INVESTORS LLC
(PID# 61-440-01-05-00-0-00-000)

PROPOSED
BUILDING
S.F.=5,164
F.F.E=1035.50
ADDRESS:
1021 JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI



SOUTH MISSOURI STATE HIGHWAY 291
(EXISTING CONCRETED PAVEMENT WITH VARIES)
(PUBLIC RIGHT-OF-WAY)

SITE BENCHMARK:
ELEV.=1037.91 (NAVD88)
THE SITE BENCHMARK IS SQUARE CUT
IN THE SW CORNER OF A CURB INLET
ON THE WEST SIDE OF THE
SOUTHBOUND LANE OF STATE HIGHWAY
291, APPROXIMATELY 185 FEET NORTH
OF THE INTERSECTION WITH SW OLDHAM
PARWAY.

NOTE:
PROVIDE CITY WITH A COPY OF
GRADING COMPACTION TEST
RESULTS.

NOTE:
ALL SPOT ELEVATIONS SHOWN ON
THIS PLAN ARE TOP OF PAVEMENT
UNLESS OTHERWISE NOTED.

SITE DISTURBANCE
TOTAL SITE AREA = 1.08 AC.
DISTURBED AREA = 1.05 AC.

GRADING QUANTITY:

CUT - 2,865 CY.
FILL - 260 CY.

NOTE:
THESE QUANTITIES ARE RAW NUMBERS.
THE CONTRACTOR SHALL NOT USE THESE
NUMBERS AS THEIR BID QUANTITIES. THE
CONTRACTOR SHALL DETERMINE THEIR OWN
QUANTITIES.

CALL OR CLICK 3 DAYS BEFORE YOU DIG!
MISSOURI
1-800-DIG-RITE OR 811
www.mot1call.com

636-332-4574 (tel.)
636-327-0760 (fax)
we@ochran.com
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• General Consulting
• Master Planning



Missouri State Certificate
of Authority Numbers:
2010000046

Two working days prior to
the start of any excavation
call 1-800-DIG-RITE for
utility location information.

All OSHA rules & regulations
must be followed by these
construction required by these
plans and be strictly followed
(ie. trenching, blasting, etc.)

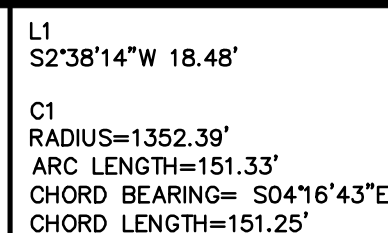


ERIC S. KIRCHNER
E-2001004618

FINAL DEVELOPMENT PLANS
CLUB CARWASH
LEE'S SUMMIT, MISSOURI

DATE	BY	DATE	BY
06/23/25	KAF	07/03/25	ESK
07/03/25	KAF		ESK

GRADING PLAN
DATE: MAY 2025
SCALE: 1:20
PROJECT NO: M24-8767A
DRAWING NO: C5



LOT 6
OLDHAM VILLAGE
N/F
OLDHAM INVESTORS LLC
(PID# 61-440-01-05-00-0-00-000)

LOT 8
OLDHAM VILLAGE
N/F
OLDHAM INVESTORS LLC
(PID# 61-440-01-05-00-0-00-000)

LOT 9
OLDHAM VILLAGE
N/F
OLDHAM INVESTORS LLC
(PID# 61-440-01-05-00-0-00-000)

PROPOSED
BUILDING
S.F.=5,164
F.F.E=1035.50
ADDRESS:
1021 JEFFERSON CROSSING
LEES SUMMIT, MISSOURI

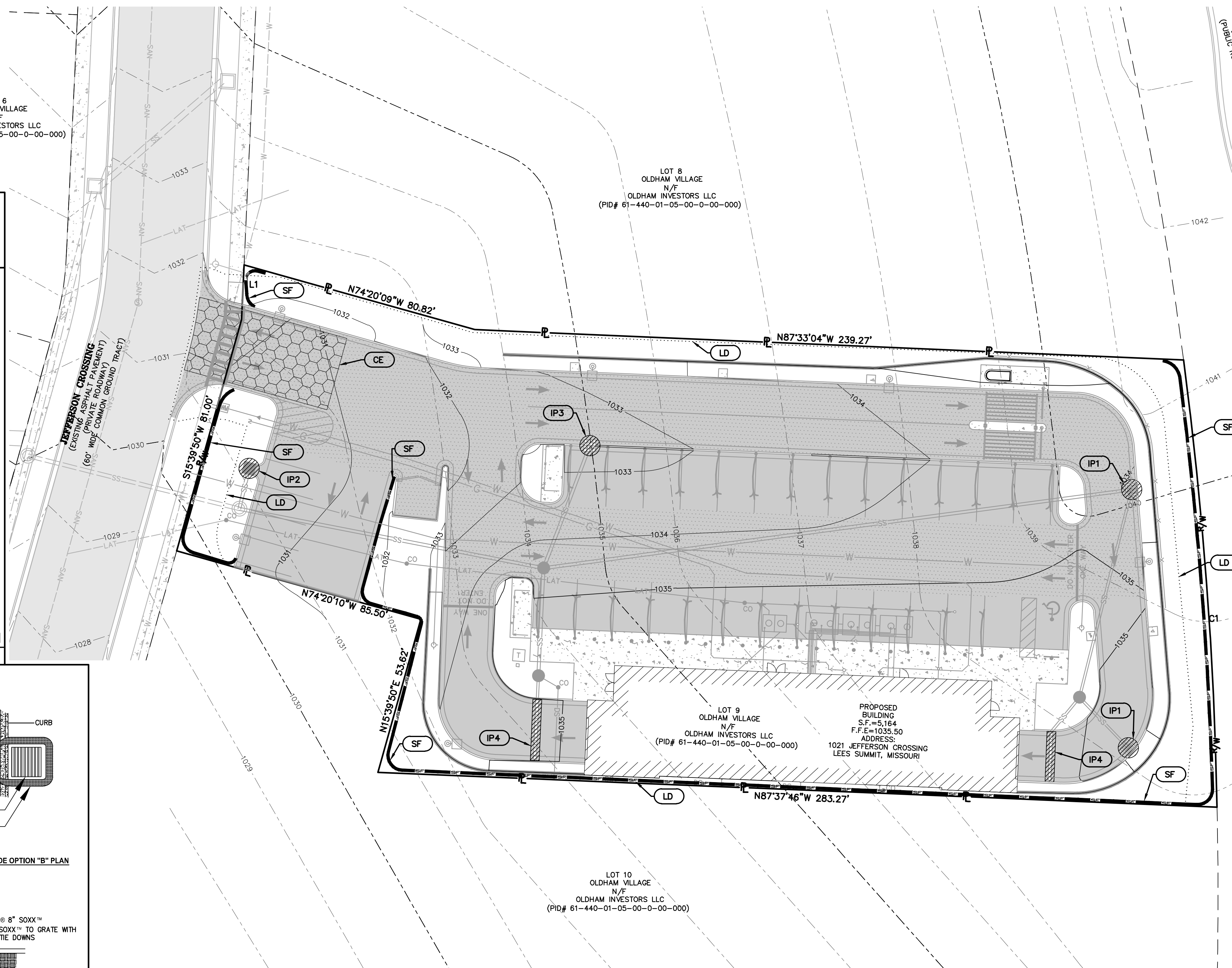
LOT 10
OLDHAM VILLAGE
N/F
OLDHAM INVESTORS LLC
(PID# 61-440-01-05-00-0-00-000)



IP4 **FILTREXX INLET PROTECTION**
NO SCALE

OWNER:
OLDHAM INVESTORS LLC
7200 W. 132ND ST. STE. 150
OVERLAND PARK, KANSAS 66213

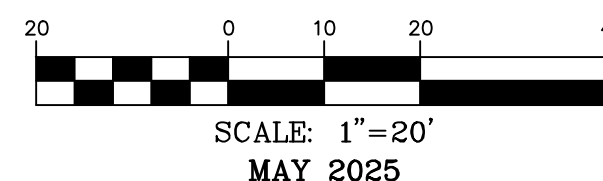
DEVELOPER:
CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202



20



SOUTH MISSOURI STATE HIGHWAY 29
(EXISTING CONCRETE PAYMENT)
(PUBLIC ROADWAY) (ROW WIDTH VARIES)



SWPPP LEGEND

- | | |
|------------|--|
| SF | NEW SILT FENCE.
SEE DETAIL, SHEET C7. |
| IP1 | NEW DANDY SACK GRADED CURB INLET PROTECTION
SEE DETAIL, SHEET C7. |
| IP2 | CURB INLET PROTECTION.
SEE DETAIL, SHEET C7. |
| IP3 | NEW SACK GRADED INLET PROTECTION
SEE DETAIL, SHEET C7. |
| IP4 | NEW FILTEREX INLET PROTECTION.
SEE DETAIL, SHEET C7. |
| GE | TEMPORARY CONSTRUCTION ENTRANCE.
SEE DETAIL, SHEET C7. |
| LD | LIMITS OF DISTURBANCE. |

NOTE:
ALL TRUCKS SHALL BE WASHED
DOWN BEFORE LEAVING SITE.

NOTE:
ALL INLETS ARE TO RECEIVE
INLET SILT FENCE PROTECTION
(SEE DETAIL, THIS SHEET AND
SHEET C7)

[illegible]

CALL OR CLICK 3 DAYS BEFORE YOU DIG

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FINAL DEVELOPMENT PLANS
CLUB CARWASH
LEE'S SUMMIT, MISSOURI

EROSION AND SEDIMENT CONTROL PLAN

	DWN BY:	KAF	APPT BY:	ESK
	DATE:	06/23/25	RETURNS:	
	DWN BY:	KAF	APPT BY:	ESK
	DATE:	MAY 2025		
	SCALE:	1:20		
	PROJ NO:	M24-8767A		
	DWG. NO.			

C6

636-332-4574 (tel.)
636-332-4574 (fax)
northoffice@ochran.com
North Office
1000 North Street
Wentzville, Missouri 63385

ochran

- Civil Engineering
- Land Surveying
- Architecture
- Site Development
- Environmental Engineering
- Master Planning

Missouri State Certificate of Authority Numbers:
201000046

Two working days prior to the start of construction, the contractor shall submit to the utility location information.

All OSHA rules & regulations for construction required by these plans shall be strictly followed.

STATE OF MISSOURI
REGISTERED PROFESSIONAL ENGINEER
ERIC SCOTT KIRCHNER
No. 2001004618
6/23/2025

ERIC S. KIRCHNER
20100004618

DWG NAME: J:\2024\W24-8767 - COW 1310 SW Market St. Lot 7, Lees Summit, MO\W24-8767A_07_SWPPP GENERAL NOTES AND DETAILS.dwg LAYOUT TAB: SWPPP PLAN PLOTTED ON: Jul 03, 2025 - 7:59am PLOTTED BY: Kforrel

GENERAL EROSION NOTES:

1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF MISSOURI NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

2. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.

4. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS.

5. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.

6. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.

7. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

8. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.

9. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

10. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

11. THE LOCAL AGENCY(IES) MUST BE NOTIFIED AT LEAST FORTY-EIGHT HOURS PRIOR TO THE COMMENCEMENT OF ANY GRADING OPERATIONS.

12. NO GRADED AREA IS TO REMAIN WITHOUT VEGETATIVE GROUND COVER FOR MORE THAN THIRTY (30) DAYS WITHOUT BEING SEEDED AND MULCHED OR SODDED.

13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.

14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.

15. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

16. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.

17. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

18. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES) TO PREVENT EROSION.

19. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING.

20. THE CONTRACTOR SHALL FIELD INVESTIGATE THE ENTIRE SITE PRIOR TO HIS BID SUBMITTAL NOTING THE EXISTING VEGETATION AND TREES AND INCLUDING THE REMOVAL AND DISPOSAL IN HIS BID.

21. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. LOCATION, RELOCATION AND CONNECTION OF THE UTILITIES SHALL BE COORDINATED WITH THE UTILITY COMPANIES.

22. UNDERGROUND STRUCTURES, FACILITIES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.

23. FLOOD ZONE: THIS SITE FALLS WITHIN THIS SITE FALLS WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE ANNUAL 0.2% CHANCE FLOOD, PER FIRM, FLOOD INSURANCE RATE MAP, FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 2909SC0419G, MAP REVISED DATE OF JANUARY 20, 2017. FLOOD ZONES SHOWN HEREON ARE DETERMINED BY SCALING.

24. THE BOUNDARY INFORMATION AND CONTOURS AS SHOWN IS FROM A TOPOGRAPHIC SURVEY AS PROVIDED BY ENGINEERING SOLUTIONS.

25. TEMPORARY SILTATION CONTROL STRUCTURES SHALL BE MAINTAINED UNTIL A VEGETATIVE COVER OF AREA DISTURBED IS ESTABLISHED AT A SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON THE SITE, AS DETERMINED BY THE CITY ENGINEER.

26. WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED VEGETATIVE COVER OF AREA DISTURBED AS TO PREVENT EROSION. PERMANENT TYPE GRASSES SHALL BE ESTABLISHED AS SOON AS POSSIBLE DURING THE NEXT SEEDING PERIOD AFTER GRADING HAS BEEN COMPLETED.

27. WHEN GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN THIRTY (30) DAYS, PERMANENT GRASS MUST BE ESTABLISHED TO VEGETATIVE COVER TO PROVIDE EROSION CONTROL ON THE SITE. BETWEEN PERMANENT GRASS SEEDING PERIODS, TEMPORARY COVER SHALL BE PROVIDED ACCORDING TO THE CITY ENGINEER'S RECOMMENDATIONS. ALL FINISHED GRADES (AREAS NOT TO BE DISTURBED BY FUTURE IMPROVEMENTS) IN TWENTY (20) PERCENT SLOPES (5 HORIZONTAL TO 1 VERTICAL) SHALL BE MULCHED.

28. ALL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSPECTED FOLLOWING EACH RAINSTORM CAUSING SIGNIFICANT RUNOFF, OR BEING OF SUFFICIENT INTENSITY OR DURATION AS TO STOP CONSTRUCTION OR GRADING PROGRESS. THE SEDIMENT CONTROL FACILITIES SHALL BE CLEANED OF SEDIMENT, REPAIRED IF DAMAGED AND RESTORED TO SERVICEABLE CONDITIONS IF:

1. EROSION SEDIMENT HAS ACCUMULATED IN SILT DEVICES.

2. SEDIMENT EROSION CONTROL DEVICES HAVE BEEN DAMAGED.

3. OBVIOUS GULLIES OR SEDIMENT DEPOSITS HAVE BEEN FORMED ON THE DOWNSTREAM SIDE OF CONTROL DEVICES, OR

4. SEDIMENT HAS BEEN CARRIED BEYOND THE WORKING SITE.

29. THE DEVELOPER MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH ALL COPIES OF INTERIM SOIL TESTING REPORTS.

30. ALL FILLED PLACES UNDER PROPOSED STORM AND SANITARY SEWER, PROPOSED ROADS, AND/OR PAVED OR FUTURE PAVED AREAS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD COMPACTION TEST. ALL FILL PLACED IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACK FILLING OPERATIONS.

31. AREA SHALL BE TEMPORARILY RESEED AT A RATE OF 6-8 LBS. OF RYE GRASS PER 1000 SQ. FT. FERTILIZER SHALL BE APPLIED AT A RATE OF 50 LBS. PER 10,000 SQ. FT.

EROSION CONTROL NOTES:

1. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM BUILDINGS FOR ALL NATURAL & PAVED AREAS.

2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL. CONTRACTOR TO SEED, MULCH, AND FERTILIZE ALL AREAS OUTSIDE OF PAVED AREAS THAT WERE DISTURBED DURING CONSTRUCTION UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.

3. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

4. SHOULD CONSTRUCTION STOP FOR LONGER THAN 15 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED BY TEMPORARY SEEDING MIX.

5. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.

6. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.

7. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.

8. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.

9. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.

10. CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.

11. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

12. EFFORTS WILL BE MADE TO DIRECT DRAINAGE TO EXISTING DISCHARGE POINTS.

13. ALL STORM WATER RUNOFF SHALL MEET LOCAL AGENCY(IES) STANDARDS.

14. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO KEEP ALL MUD AND SILT ON SITE AND OFF OF STREETS.

15. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING STORM WATER RUN-OFF AND SILTATION UNDER CONTROL DURING CONSTRUCTION.

16. CONTRACTOR SHALL MAINTAIN THE SITE IN A WELL-DRAINED MANNER IN ORDER TO ASSUME THE SHORTEST POSSIBLE DRYING TIME AFTER EACH RAINFALL. THIS WILL MEAN THAT PUMPING OF STANDING WATER IN LOW AREAS ON THE SITE WILL MOST LIKELY BE REQUIRED DURING CONSTRUCTION.

MAINTENANCE:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND AFTER A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.

2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED.

3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

5. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

6. ALL CURB AND AREA INLETS SHALL HAVE INLET PROTECTION SUFFICIENT TO PREVENT TRANSPORTED SOIL FROM BEING DEPOSITED IN THE FORM OF SILT IN THE STORM DRAINAGE SYSTEMS ON-SITE OR OFF-SITE.

7. ALL FINISHED GRADES THAT EXCEED 20% (5 HORIZONTAL TO 1 VERTICAL) SHALL BE MULCHED.

SEQUENCE OF CONSTRUCTION

INSTALL EROSION CONTROL ITEMS.

1. INSTALL TEMPORARY CONTROL MEASURES

2. PERFORM GRADING ACTIVITIES.

3. TEMPORARY SEED DENURED AREAS.

4. PAVE SITE.

5. FINAL SEEDING/SOD.

6. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

OWNER:

OLDHAM INVESTORS LLC
7200 W. 132ND ST. STE. 150
OVERLAND PARK, KANSAS 66213

DEVELOPER:

CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202

S.W.P.P.P. GENERAL NOTES AND DETAILS

Notes for Concrete Washout:

1. Concrete material areas shall be installed prior to any concrete placement on site.

2. Concrete material areas shall include a flat substrate and shall extend to the ground or concrete to be placed on site. The areas shall be installed to the ground or concrete to be placed on site. The areas shall be installed to the ground or concrete to be placed on site.

3. Concrete material areas shall be installed to the ground or concrete to be placed on site. The areas shall be installed to the ground or concrete to be placed on site.

4. Concrete material areas shall be installed to the ground or concrete to be placed on site. The areas shall be installed to the ground or concrete to be placed on site.

5. Concrete material areas shall be installed to the ground or concrete to be placed on site. The areas shall be installed to the ground or concrete to be placed on site.

Notes for Construction Entrance:

1. Avoid grading on steep slopes, at curves on public roads, or adjacent to residential areas.

2. Remove all vegetation and other undesirable material from the construction area, grade, and cover for positive drainage.

3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 30:1 side slopes across the construction area, approximately 15 feet from the edge of the public road to sheet runoff from it.

4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.

5. Place stone in sediment traps on slopes on plans. Leave surface open for drainage.

6. Dredge all surface runoff and discharge from the entrance to a sediment control device.

7. If conditions warrant, place geotextile fabric on the ground foundation to improve stability.

Maintenance for Concrete Washout:

1. Concrete material areas shall be removed once the materials have been placed in accordance with the plan.

2. Concrete material areas shall be removed as necessary to maintain capacity for material storage.

3. Concrete material areas shall be removed as necessary to maintain capacity for material storage.

4. Concrete material areas shall be removed as necessary to maintain capacity for material storage.

5. Concrete material areas shall be removed as necessary to maintain capacity for material storage.

Maintenance for Construction Entrance:

1. Develop entrance as needed to maintain function and capacity of installation. Top dress with clean aggregate on bedrock.

CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION

APWA

KANSAS CITY METRO CHAPTER

STANDARD DRAWING NUMBER ESC-03 ADOPTED 10/24/2006

CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT

Notes:

1. In order to contain water, the ends of the silt fence must be turned back (Figure A).

2. Long perimeter runs of silt fence must be divided to 100'. Runs should be broken up into several smaller segments by multiple water connections (Figure A).

3. Long slopes should be broken up with intermediate runs of silt fence to slow runoff velocities.

4. Attach fence to upstream side of post.

5. Install posts at minimum of 2' into the ground.

6. Trenching will only be allowed for small or difficult installation, where staking machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches 50% the height of silt fence.

2. Repair as necessary to maintain function and structure.

SILT FENCE DETAILS

Figure A

SILT FENCE LAYOUT

AMERICAN PUBLIC WORKS ASSOCIATION

APWA

KANSAS CITY METRO CHAPTER

STANDARD DRAWING NUMBER ESC-03 ADOPTED 10/24/2006

SILT FENCE

Notes:

1. THE SWPPP INFORMATION SIGN MUST BE LOCATED IN A PROMINENT, PUBLICLY ACCESSIBLE LOCATION NEAR THE MAIN ENTRANCE OF THE SITE. SUCH THAT THE DOCUMENTATION CAN BE READ WITHOUT ACCESSING THE JOBSITE, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A TRAFFIC SAFETY HAZARD.

2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.

3. ALL PAGES OF NOTICES OF INTENT AND PERMIT AUTHORIZATIONS MUST BE POSTED. THE CONTRACTOR MAY UTILIZE ACCESSIBLE WATERPROOF FOLDERS TO STORE THESE DOCUMENTS IF IT WILL BE DIFFICULT TO POST ALL PAGES INDIVIDUALLY.

4. CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCIES.

5. SUBSEQUENT PERMIT MODIFICATION REQUESTS OR RENEWAL APPLICATIONS AND THEIR ASSOCIATED AUTHORIZATIONS OR RESPONSES SHALL BE POSTED ON THE SWPPP SIGN.

6. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.

7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

SWPPP INFORMATION SIGN

NO SCALE

Notes:

1. Contractor shall install only that amount of silt fence that will contain sediment runoff.

2. Long perimeter runs of silt fence must be divided to 100'. Runs should be broken up into several smaller segments by multiple water connections (Figure A).

3. Long slopes should be broken up with intermediate runs of silt fence to slow runoff velocities.

4. Attach fence to upstream side of post.

5. Install posts at minimum of 2' into the ground.

6. Trenching will only be allowed for small or difficult installation, where staking machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches 50% the height of silt fence.

2. Repair as necessary to maintain function and structure.

EARLY STAGE CURB INLET

Figure A

Figure B

AMERICAN PUBLIC WORKS ASSOCIATION

APWA

KANSAS CITY METRO CHAPTER

STANDARD DRAWING NUMBER ESC-03 ADOPTED 10/24/2006

CURB INLET PROTECTION

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Missouri State Certificate
Authority Numbers:
2010000046

Two working days prior to the start of any excavation or construction, call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations must be followed by these plans and be strictly followed (ie. trenching, blasting, etc.)

ERIC SCOTT KIRCHNER
E-2001004618

ERIC S. KIRCHNER
E-2001004618

FINAL DEVELOPMENT PLANS

CLUB CARWASH

LEE'S SUMMIT, MISSOURI

SWPPP GENERAL NOTES AND DETAILS

DATE: _____

DRAWN BY: _____

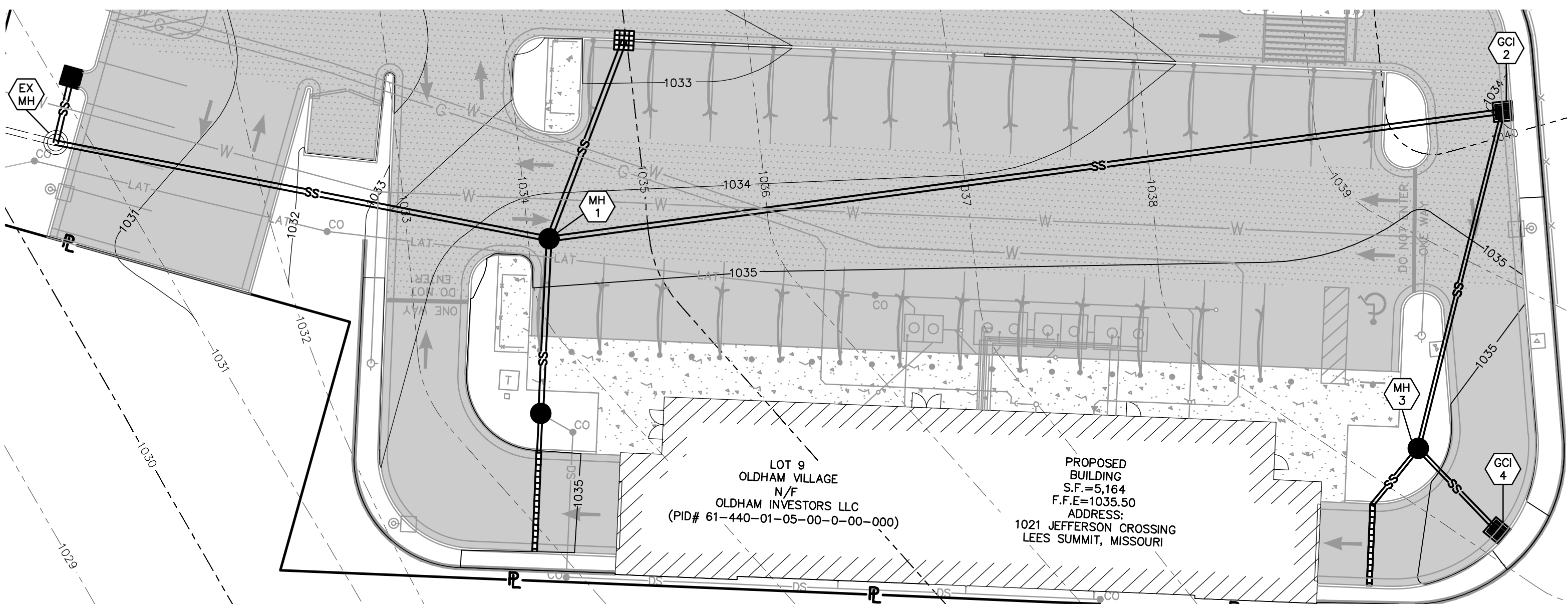
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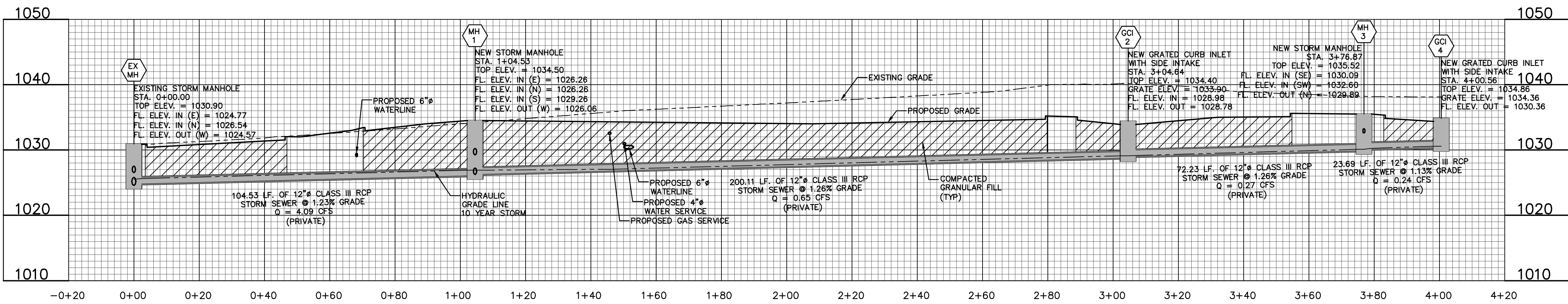
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DWG. NO: C7

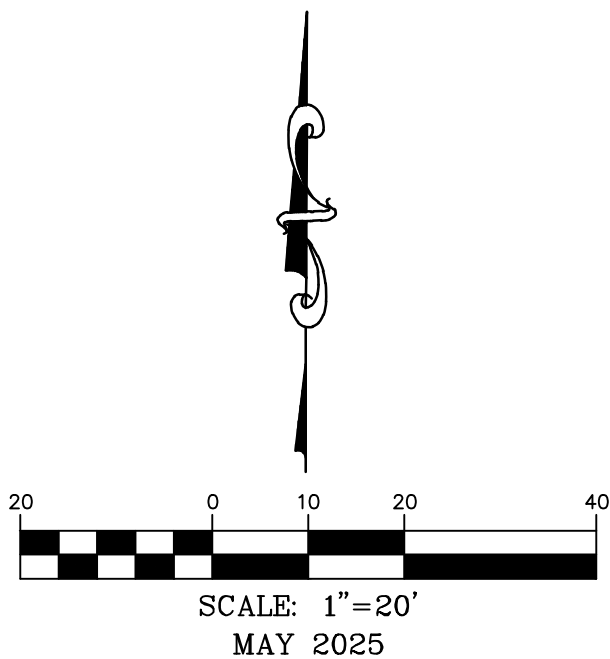
STORM SEWER PLAN AND PROFILE



PLAN VIEW 1



PROFILE VIEW 1



OWNER:
OLDHAM INVESTORS LLC
7200 W. 132ND ST. STE. 150
OVERLAND PARK, KANSAS 66213

DEVELOPER:
CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202

NOTE:
HP STORM POLYPROPYLENE PIPE MEETING ASTM F2881 MAY
BE USED AS AN ALTERNATE TO RCP PIPE ON STORM
SEWERS. CONTRACTOR SHALL VERIFY WITH GOVERNING
AUTHORITY THAT THIS IS AN ACCEPTABLE ALTERNATE. IF HP
STORM PIPE IS UTILIZED IT SHALL BE INSTALLED ACCORDING
TO MANUFACTURES SPECIFICATIONS.

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FINAL DEVELOPMENT PLANS
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LEE'S SUMMIT, MISSOURI

DATE	BY	DATE	BY
06/23/25	KAF	07/03/25	ESK
07/03/25	KAF		ESK
DATE	BY	DATE	BY
MAY 2025	KAF		ESK
HOR. SCALE:	1:20	VERT. SCALE:	1:10
PROJ. NO.	M24-8767A	DWG. NO.	C8

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Missouri State Certificate
of Authority Numbers:
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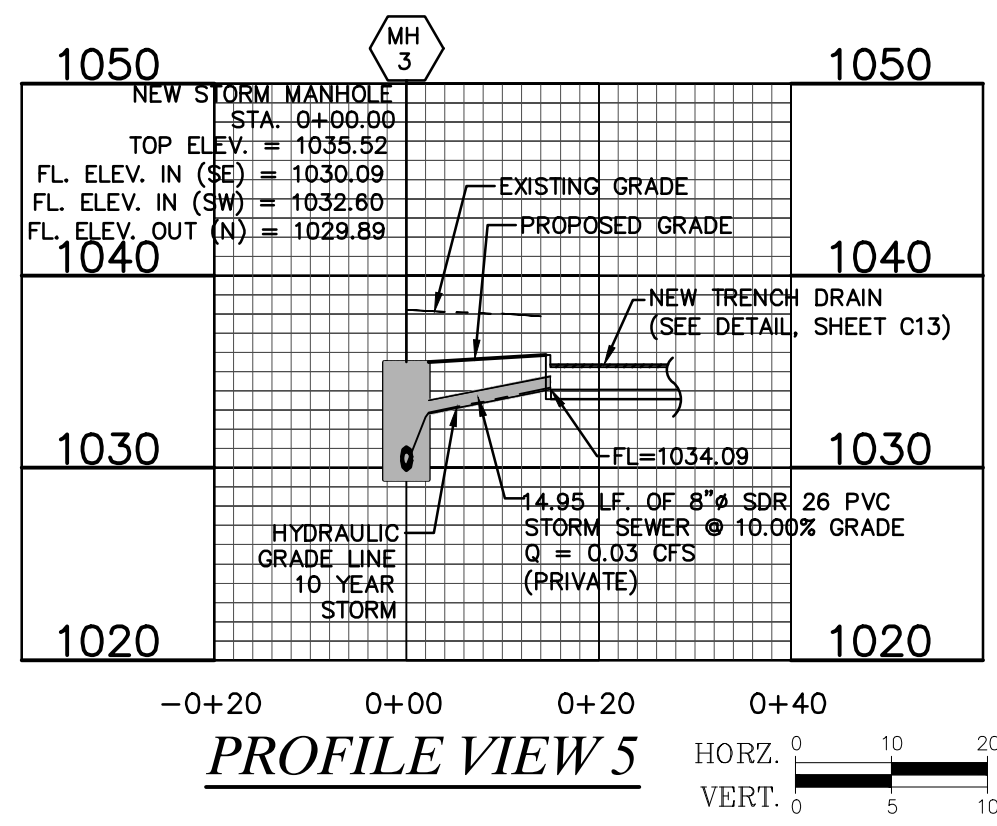
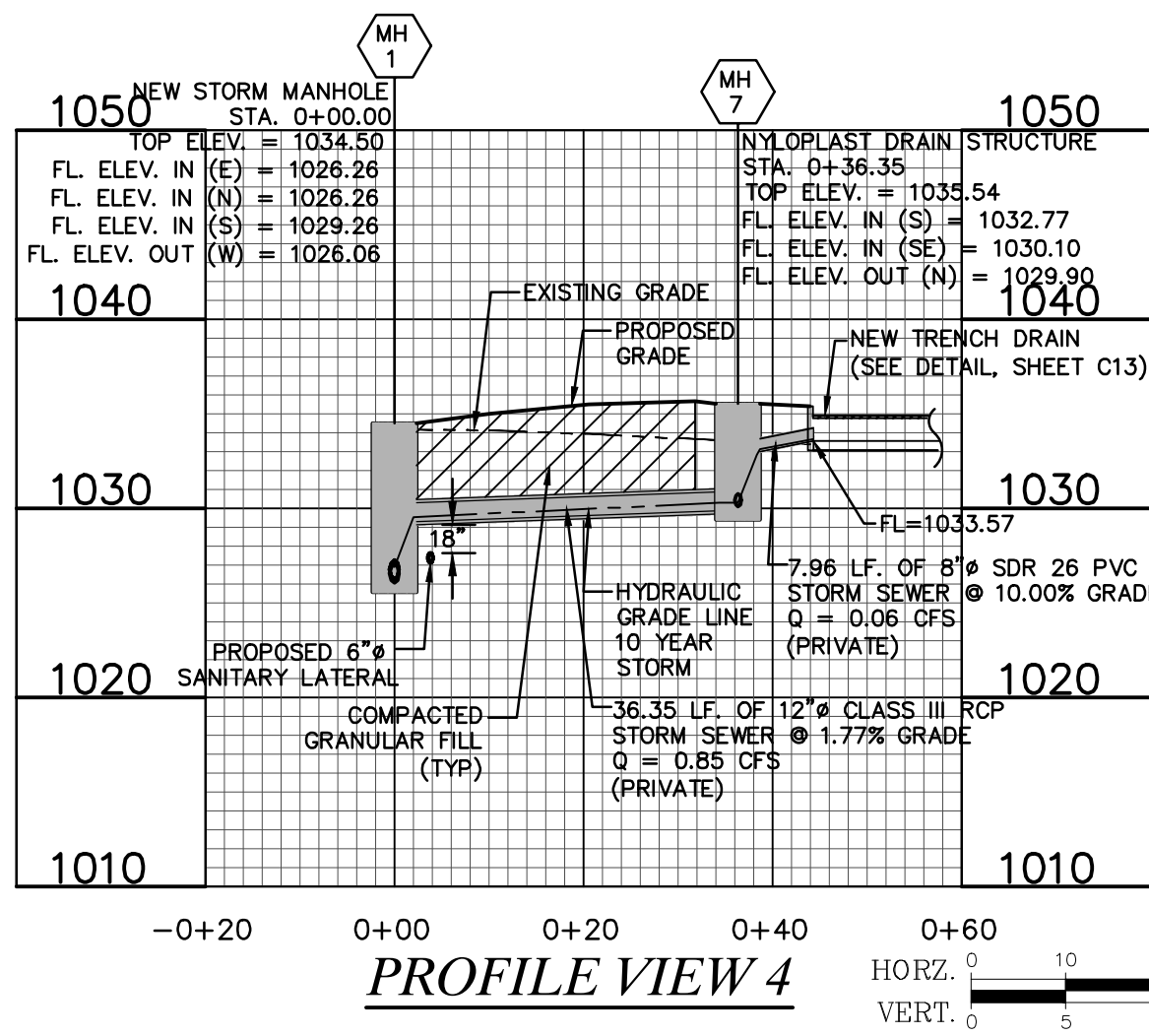
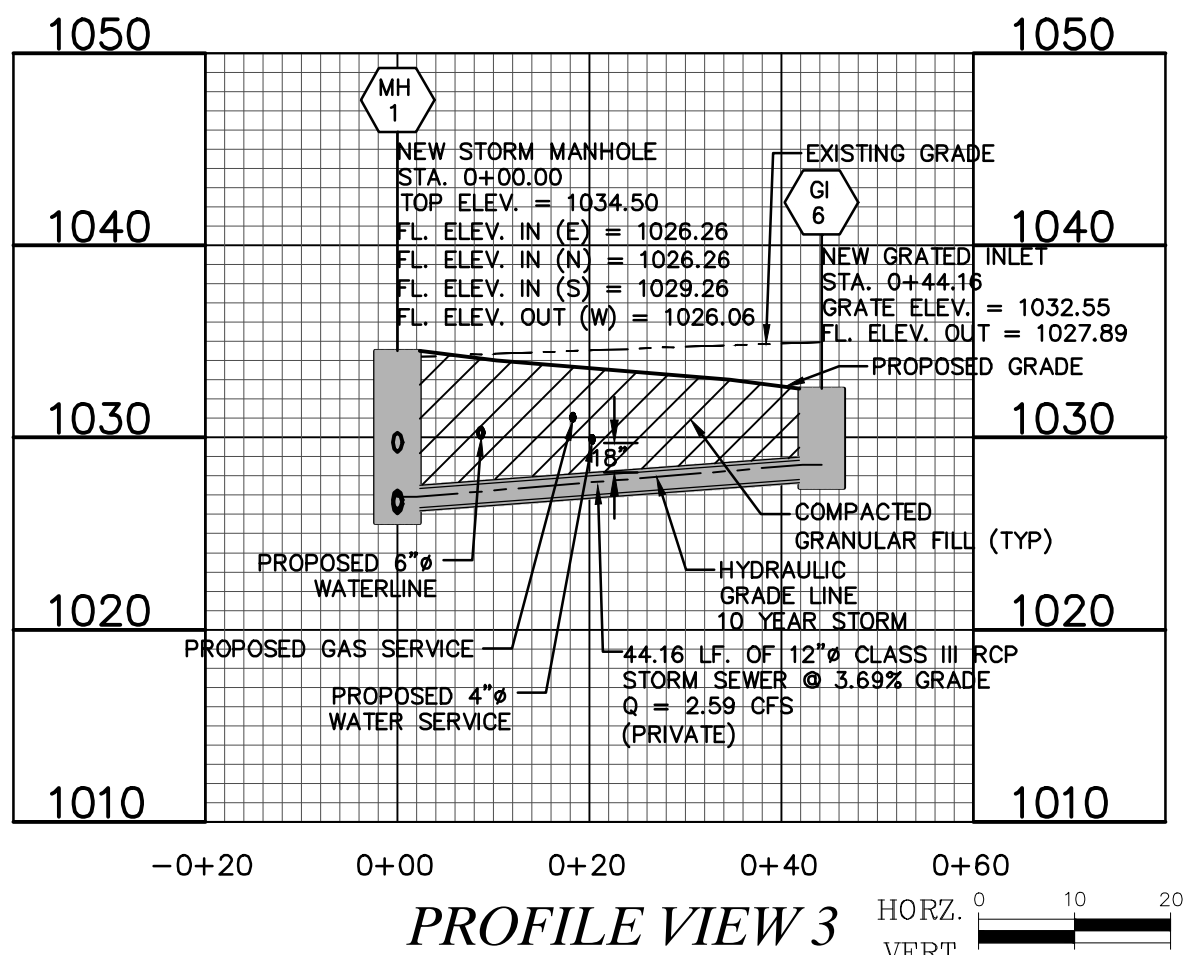
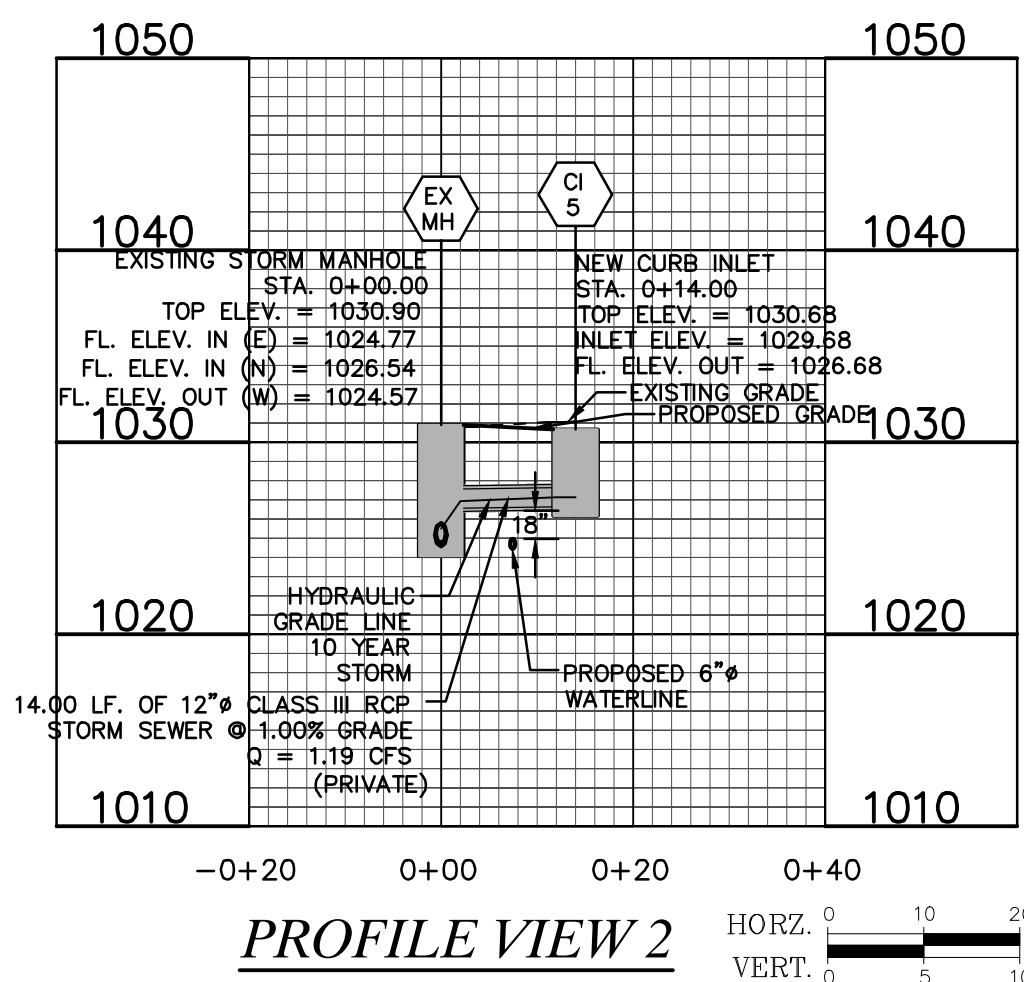
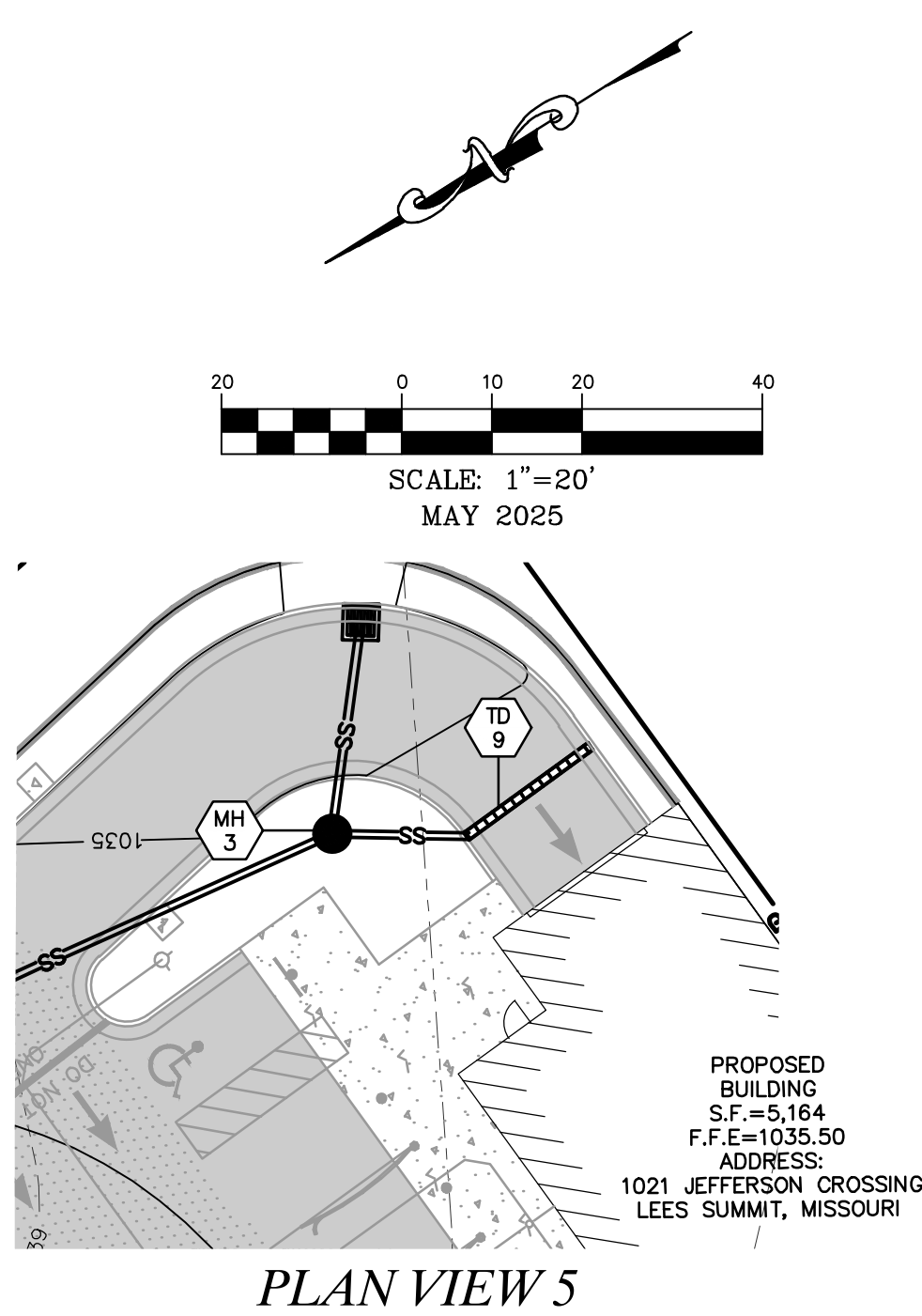
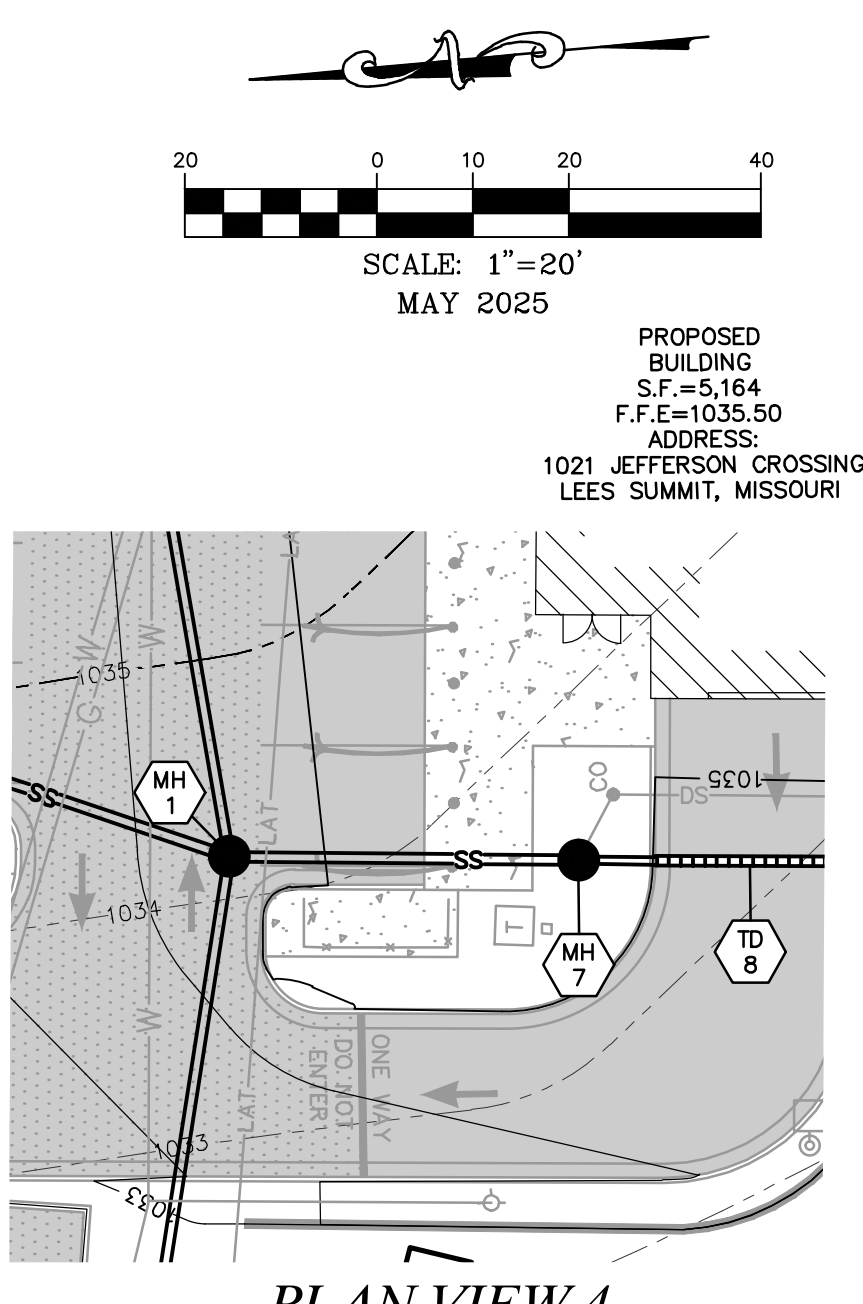
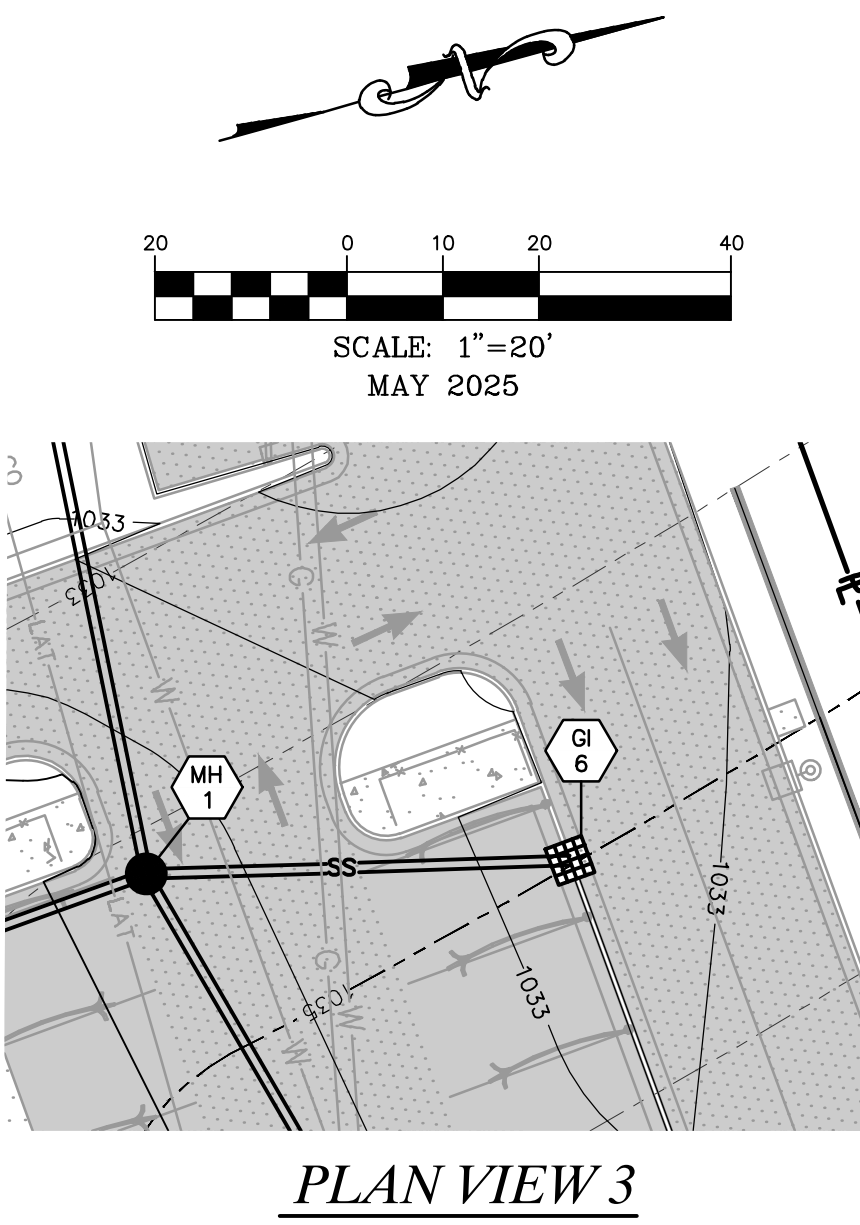
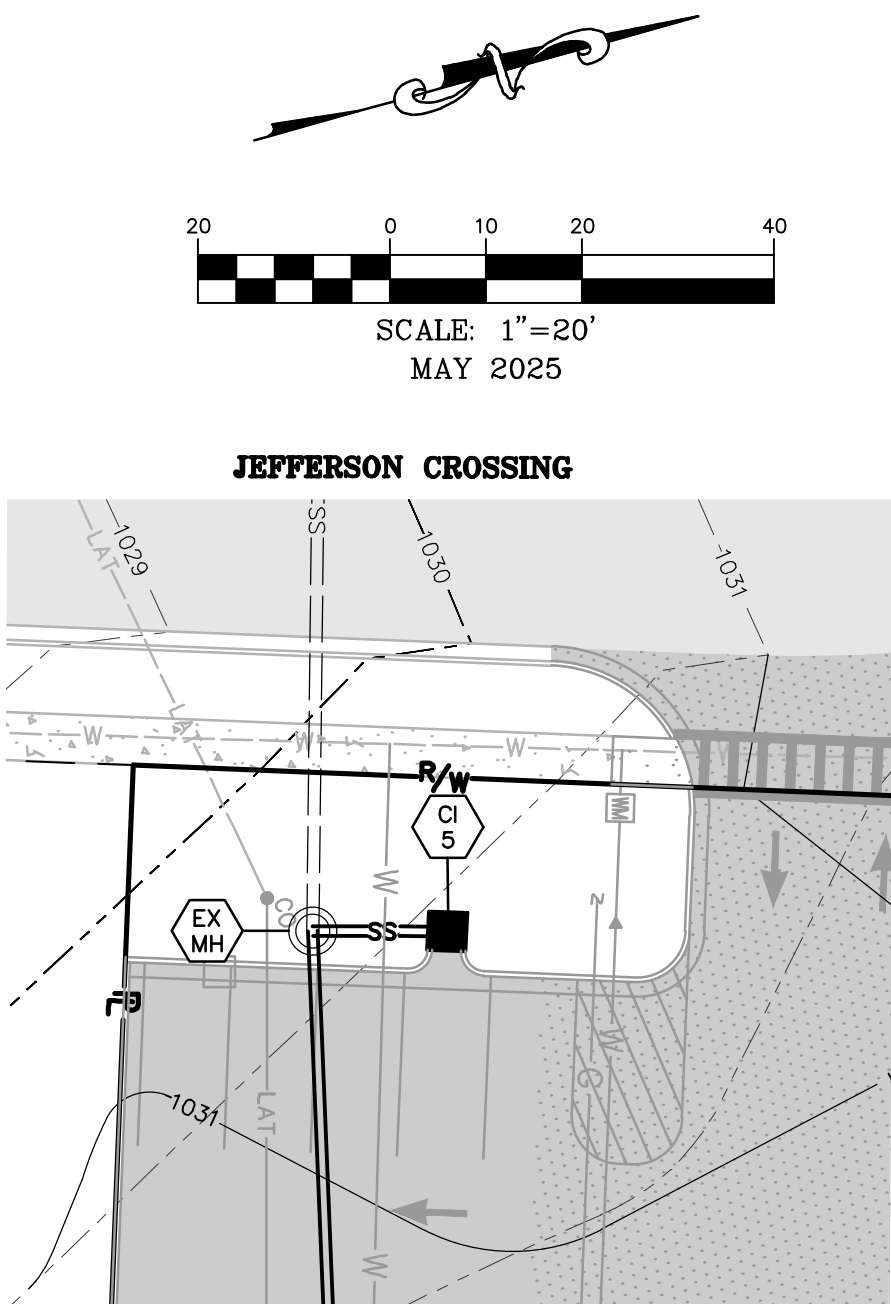
Two working days prior to
the start of any excavation
work, the owner shall
call 1-800-DIG-RITE for
utility location information.

All OSHA rules & regulations
shall be strictly followed
during construction of these
plans (ie. trenching, blasting, etc.)

ERIC SCOTT
KIRCHNER
E-2001004618
Professional Engineer
May 2025

ERIC S. KIRCHNER
E-2001004618

STORM SEWER PLAN AND PROFILE



NOTE:
HP STORM POLYPROPYLENE PIPE MEETING ASTM F2881 MAY BE USED AS AN ALTERNATE TO RCP PIPE ON STORM SEWERS. CONTRACTOR SHALL VERIFY WITH GOVERNING AUTHORITY THAT THIS IS AN ACCEPTABLE ALTERNATE. IF HP STORM PIPE IS UTILIZED IT SHALL BE INSTALLED ACCORDING TO MANUFACTURES SPECIFICATIONS.

OWNER:
OLDHAM INVESTORS LLC
7200 W. 132ND ST. STE. 150
OVERLAND PARK, KANSAS 66213

DEVELOPER:
CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202

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MISSOURI STATE CERTIFICATE
of Authority Numbers:
2010000046

Two working days prior to
the start of any excavation
work, the owner shall
call 1-800-DIG-RITE for
utility location information.

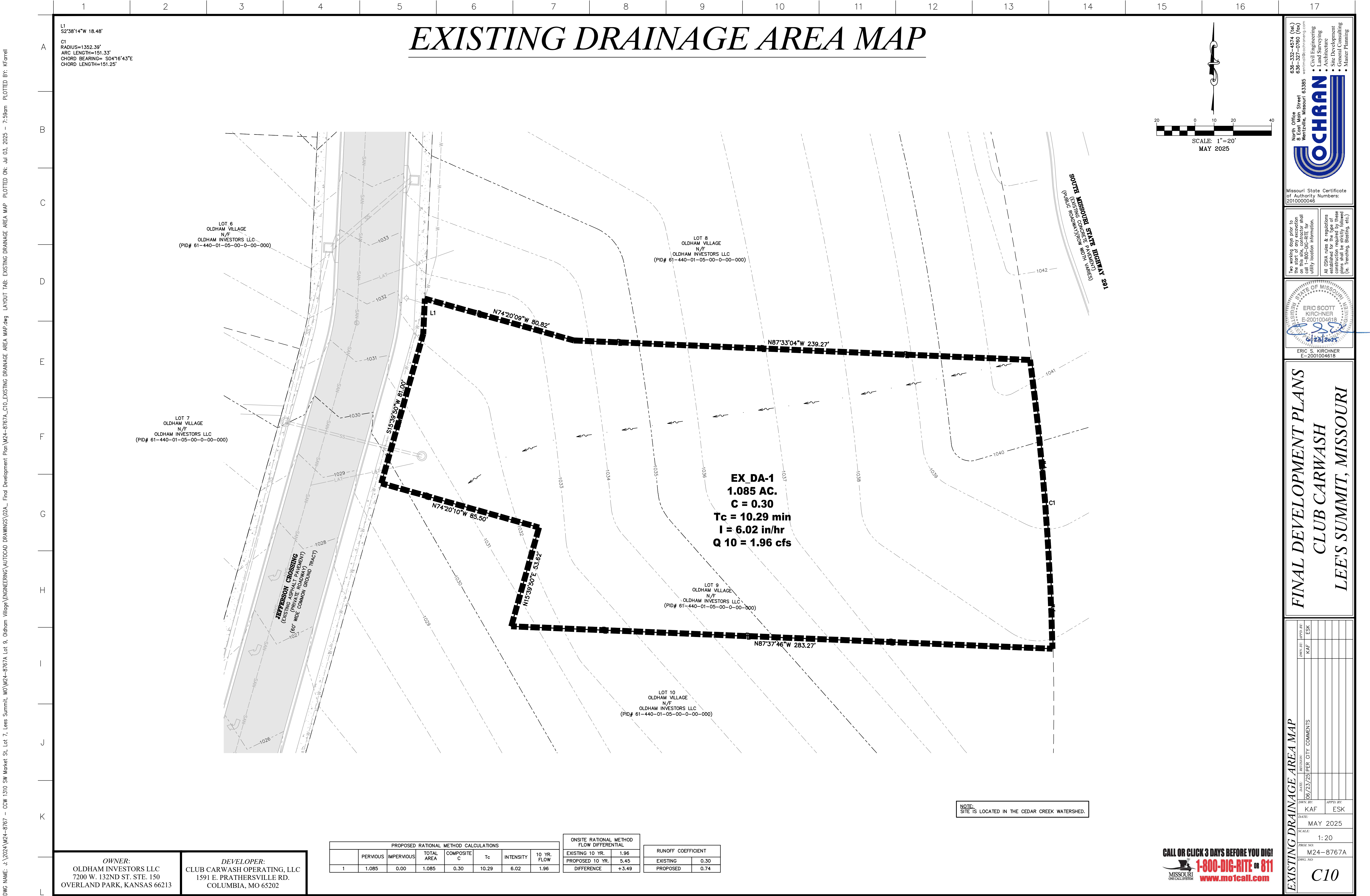
All OSHA rule & regulations
pertaining to trenching
construction required by these
plans shall be strictly followed
(ie. Trenching, Blasting, etc.)

ERIC SCOTT
KIRCHNER
E-2001004618
Professional Engineer
Missouri State Seal
ERIC S. KIRCHNER
E-2001004618

FINAL DEVELOPMENT PLANS
CLUB CARWASH
LEE'S SUMMIT, MISSOURI

DATE	BY	REVISION
06/23/25	KAF	ESK
07/03/25	KAF	ESK

DATE: MAY 2025
HOR. SCALE: 1:20
VERT. SCALE: 1:10
PROJ. NO.: M24-8767A
DWG. NO.: C9



DWG NAME: J:\2024\W24-8767 - CCW\1310 SW Market St. Lot 7, Lees Summit, MO\W24-8767A Lot 9, Oldham Village\ENGINEERING\AUTOCAD DRAWINGS\02A - Final Development Plan\W24-8767A_C10_EXISTING DRAINAGE AREA MAP.dwg LAYOUT TAB: EXISTING DRAINAGE AREA MAP PLOTTED ON: Jul 03, 2025 - 7:59am PLOTTED BY: KForrell

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Two working days prior to
the start of any excavation
work, the owner shall
call 1-800-DIG-RITE for
utility location information.

All OSHA rules & regulations
shall be strictly followed
during construction of these
plans and be strictly followed
(ie. trenching, blasting, etc.)

ERIC SCOTT
KIRCHNER
E-2001004618
6/23/2025

ERIC S. KIRCHNER
E-2001004618

FINAL DEVELOPMENT PLANS
CLUB CARWASH
LEE'S SUMMIT, MISSOURI

DATE:	APPROVED BY:
06/23/25 <td>KAF</td>	KAF
	ESK

DATE:	APPROVED BY:
MAY 2025	KAF
	ESK

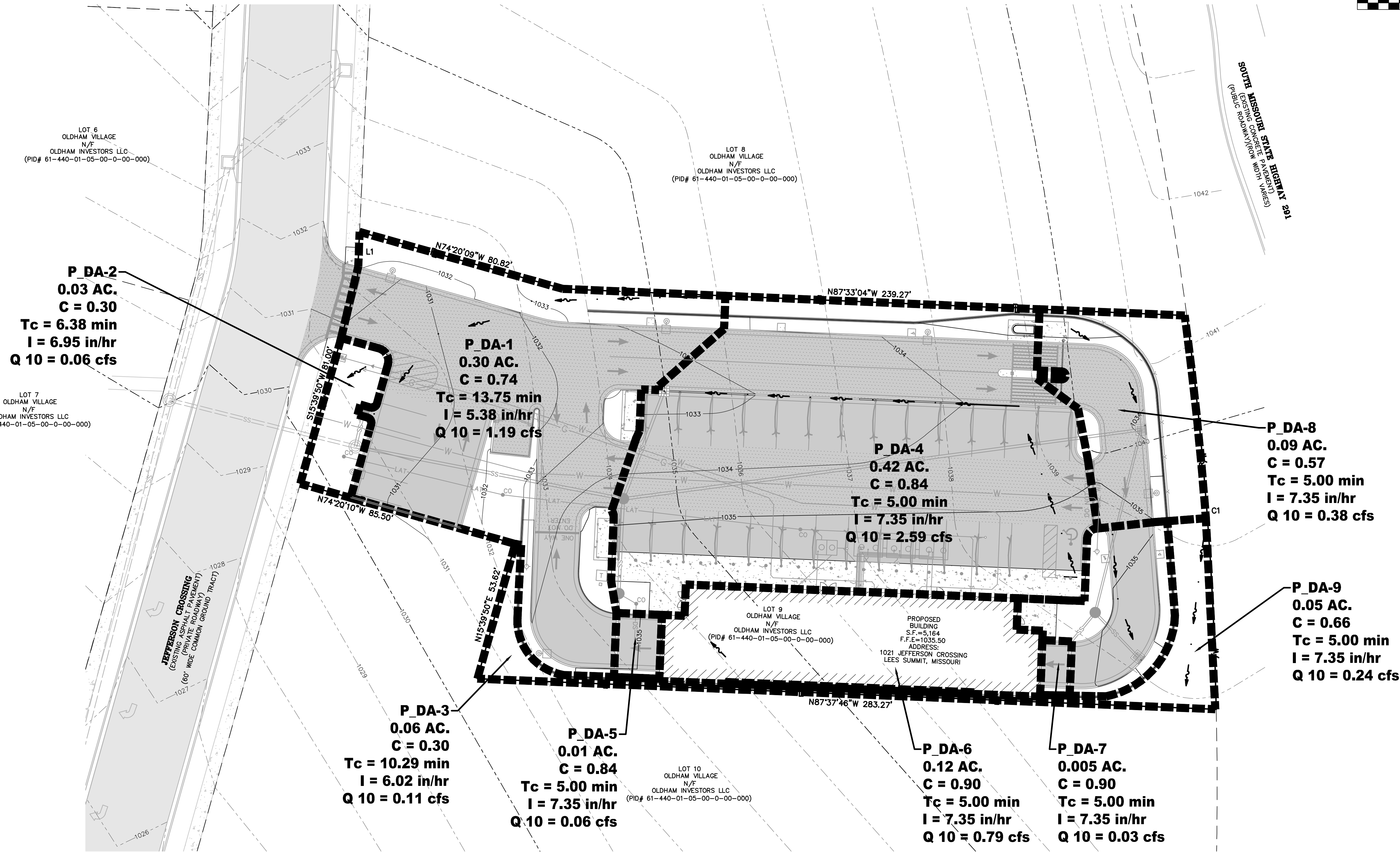
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ONSITE RATIONAL METHOD FLOW DIFFERENTIAL		RUNOFF COEFFICIENT	
EXISTING 10 YR.	1.96	EXISTING	0.30
PROPOSED 10 YR.	5.45	PROPOSED	0.74
DIFFERENCE	+3.49		

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Two working days prior to the start of any excavation shall call 1-800-DIG-RIE for utility location information.

All OSHA rules & regulations shall be followed. Construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)



ERIC S. KIRCHNER
E-2001004618

FINAL DEVELOPMENT PLANS

CLUB CARWASH

LEE'S SUMMIT, MISSOURI

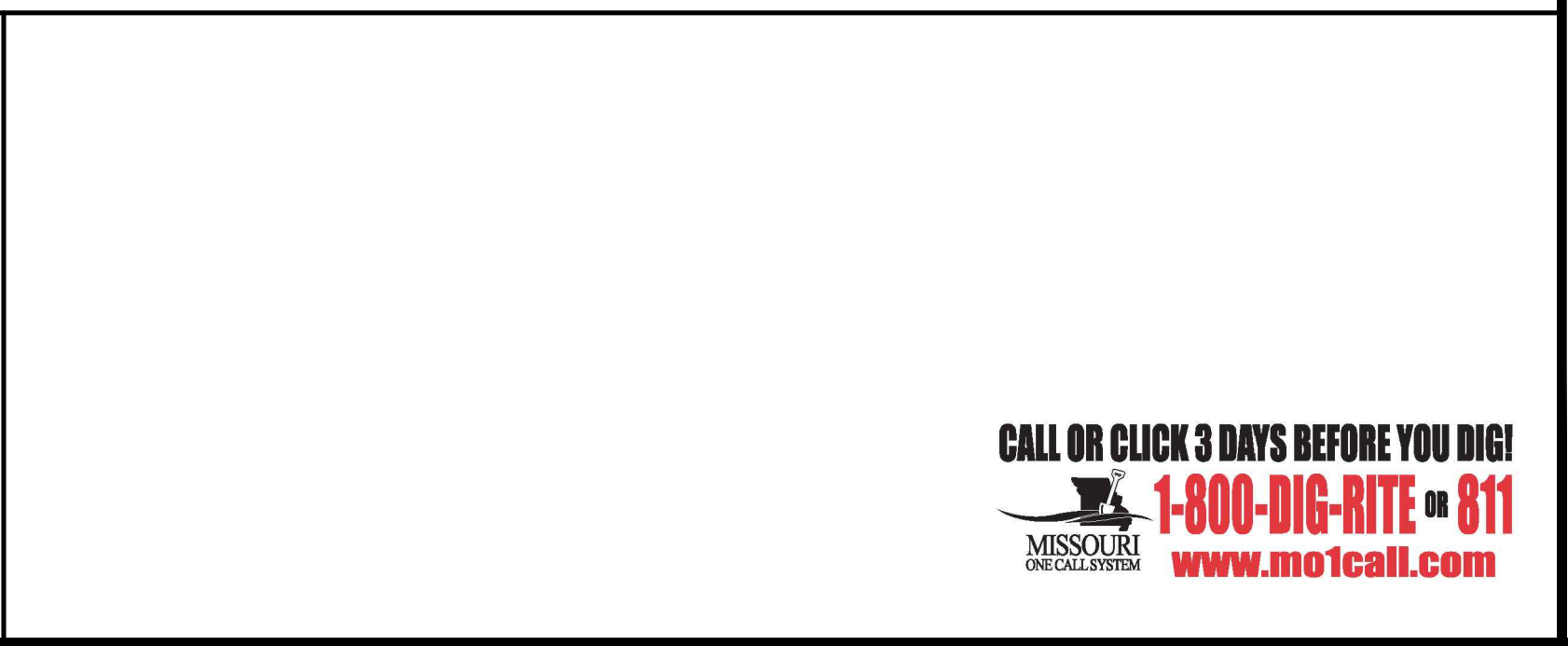
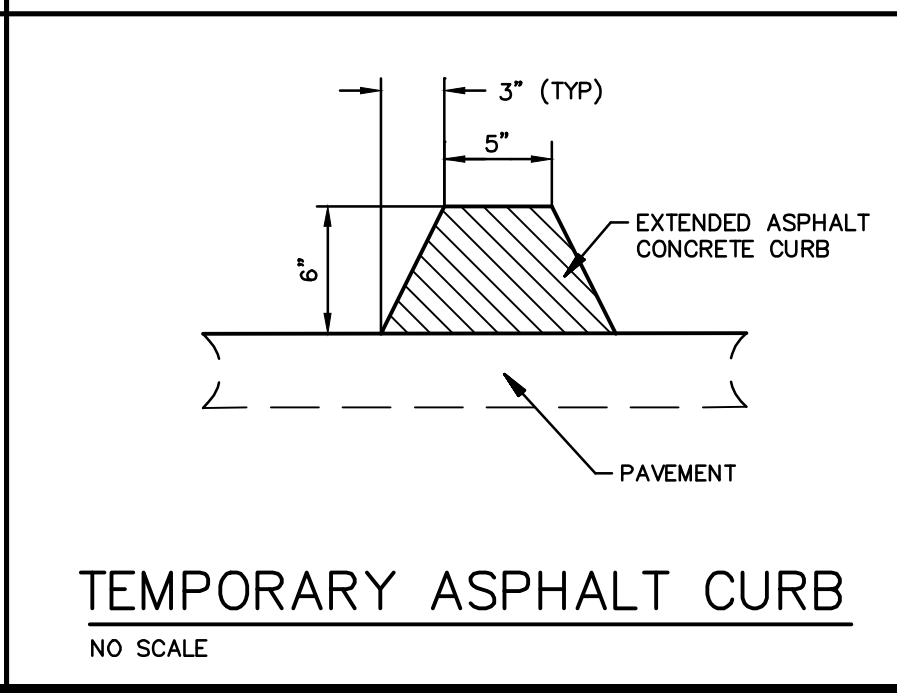
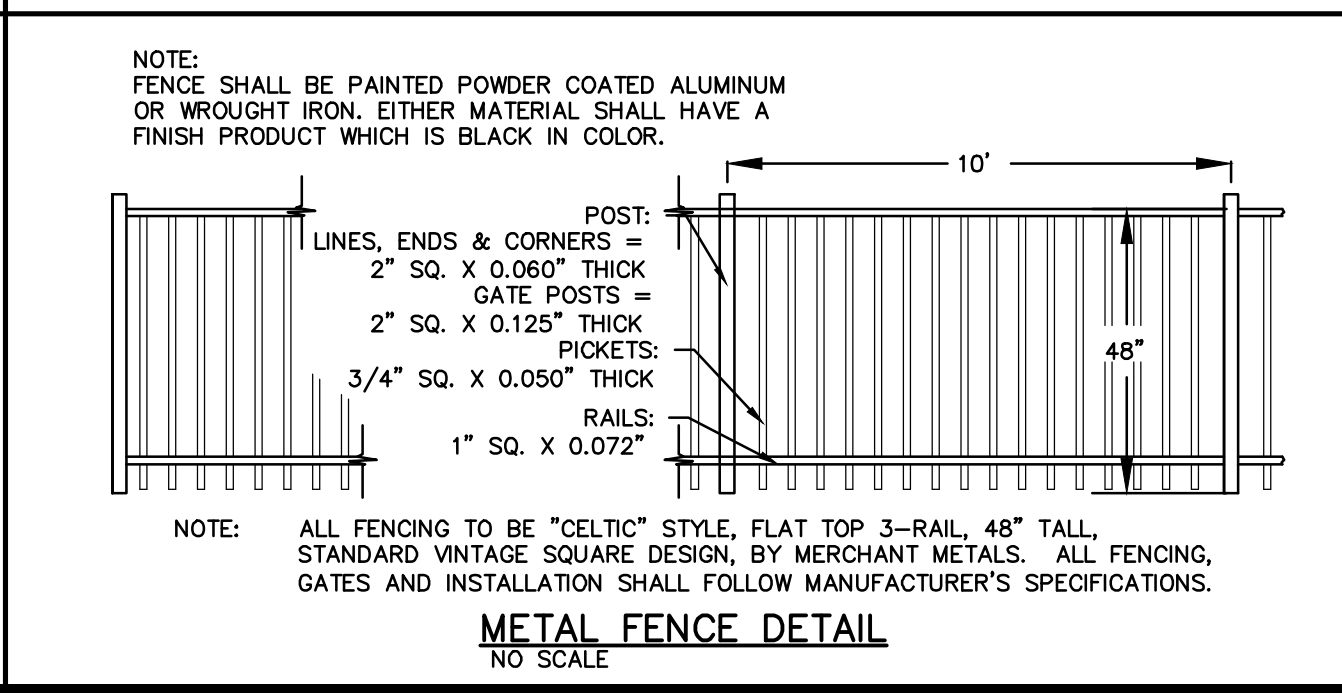
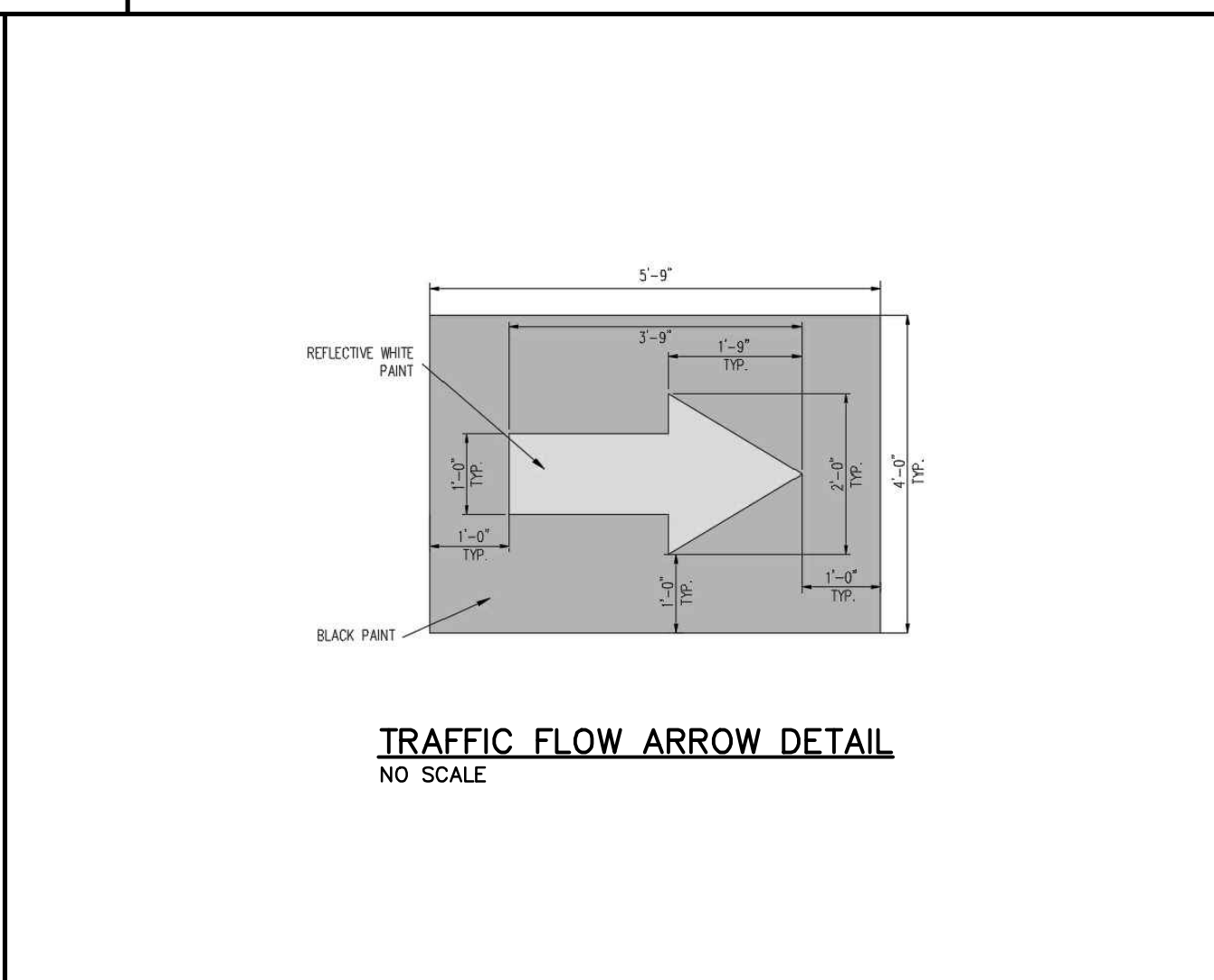
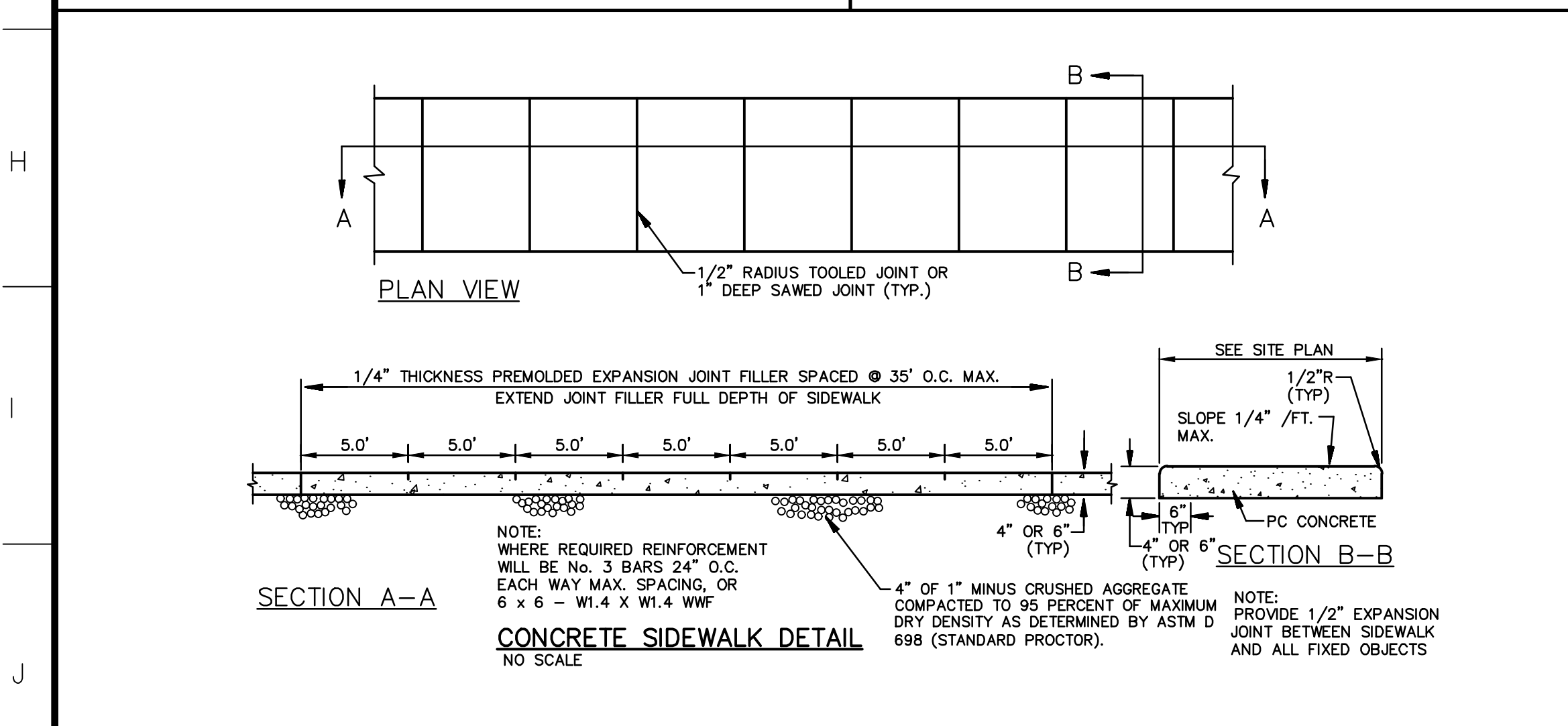
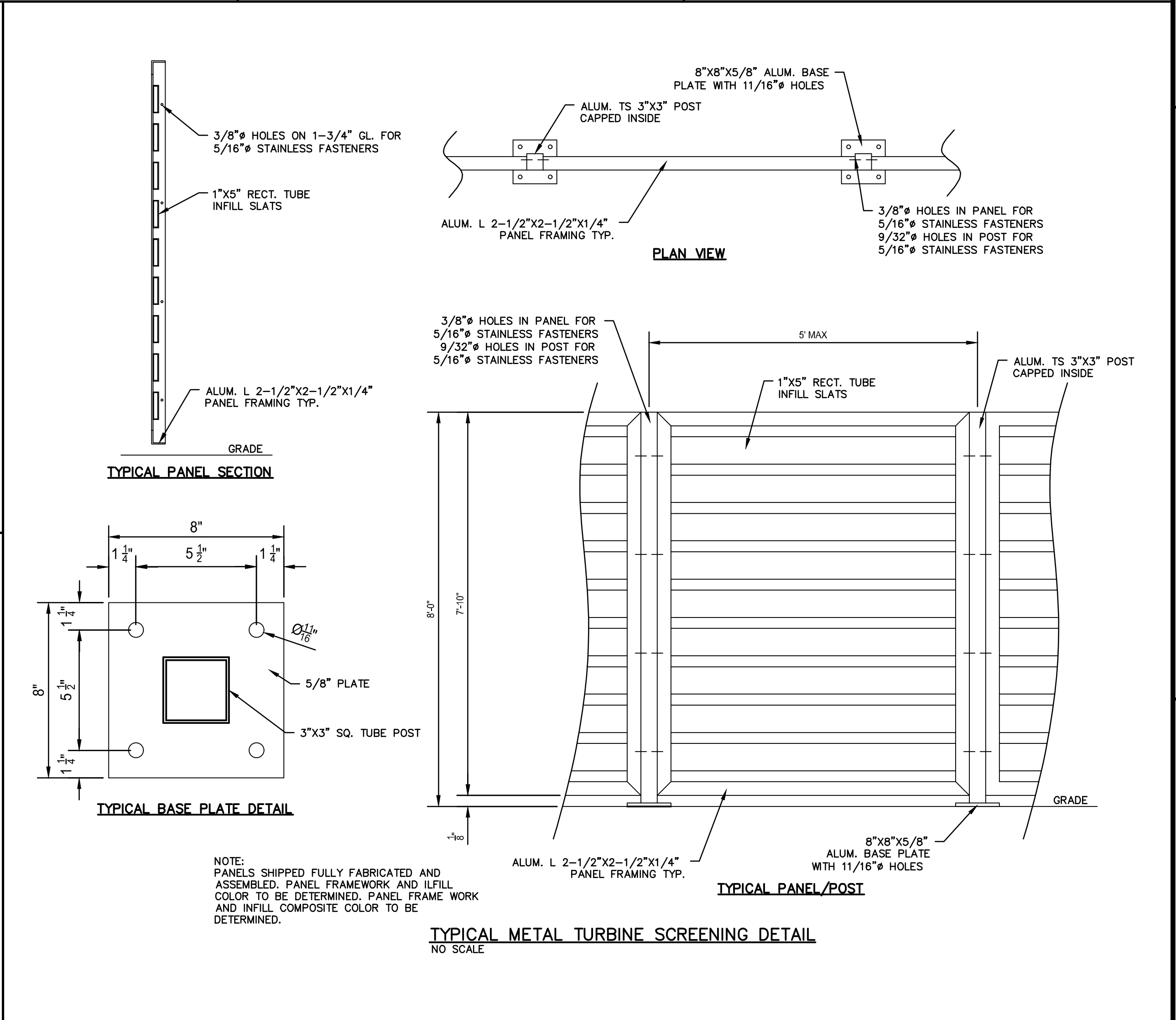
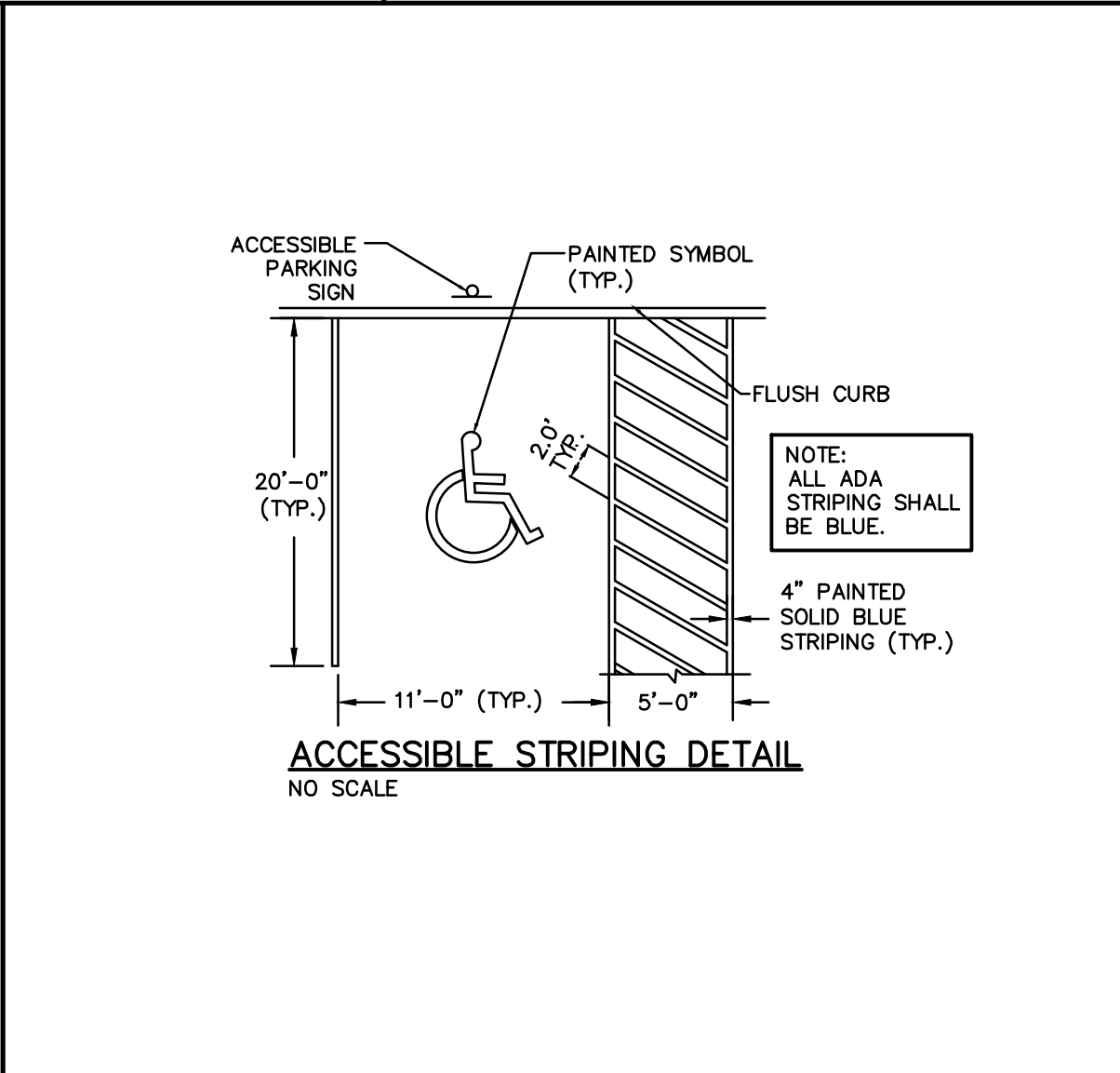
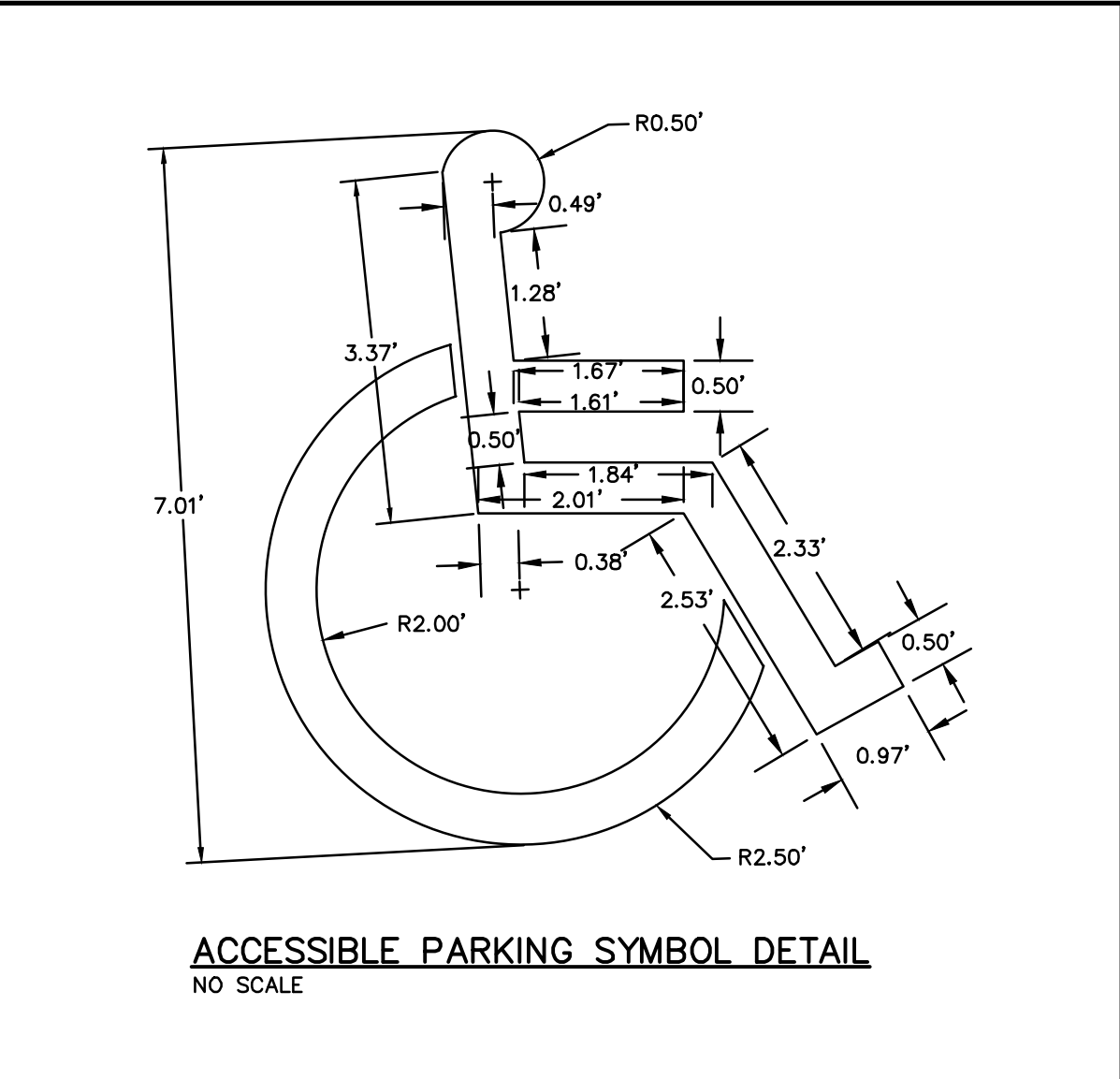
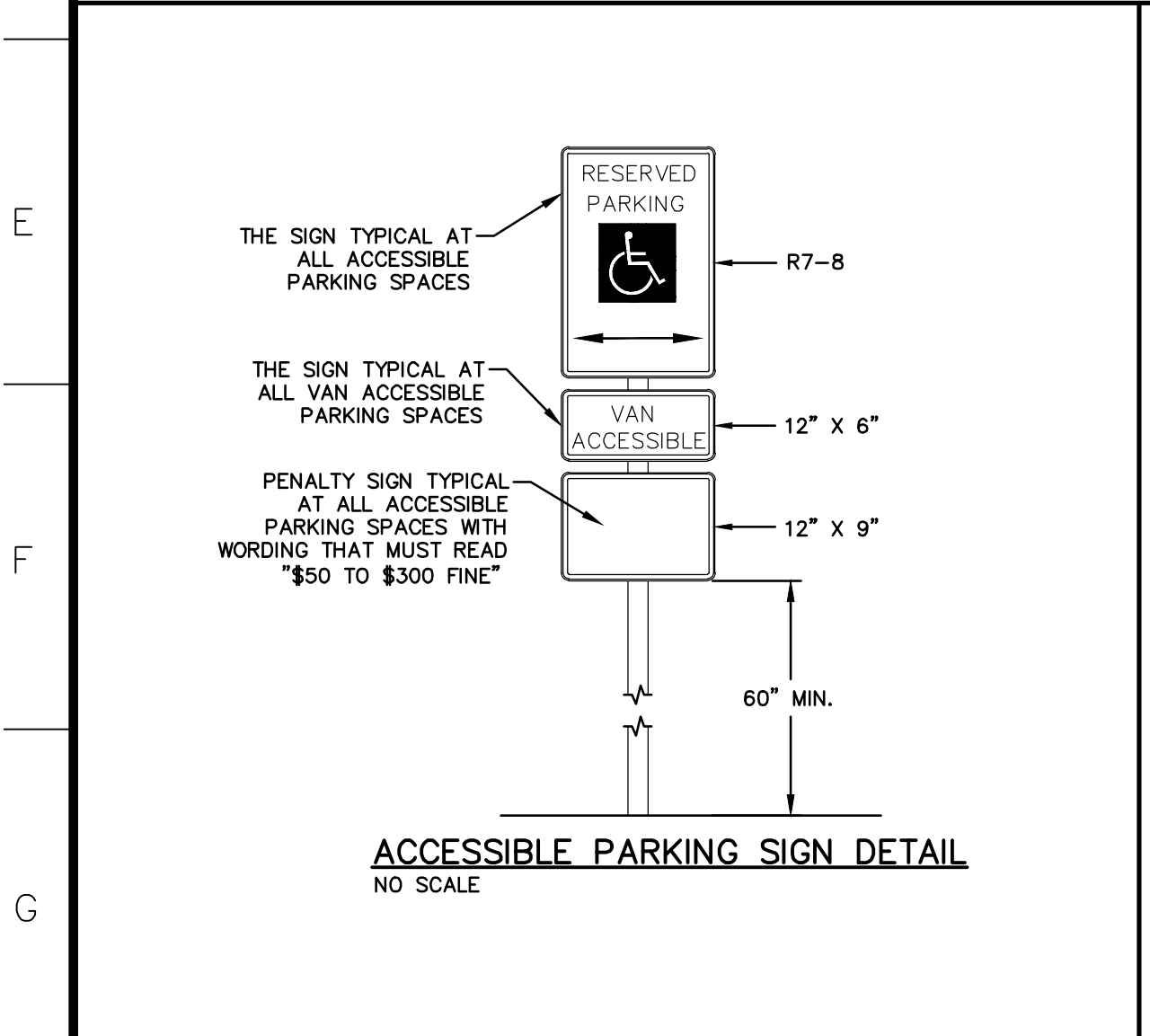
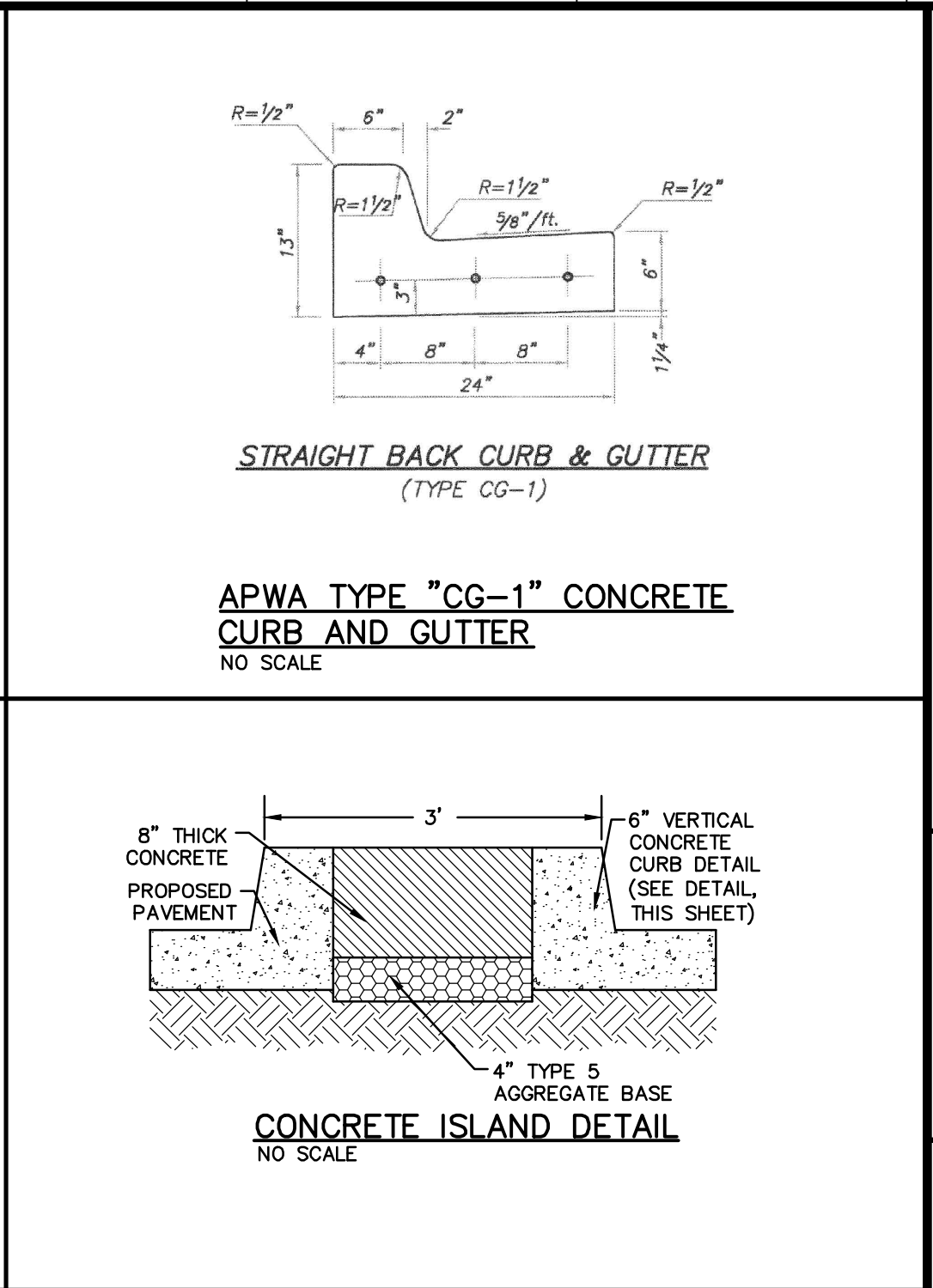
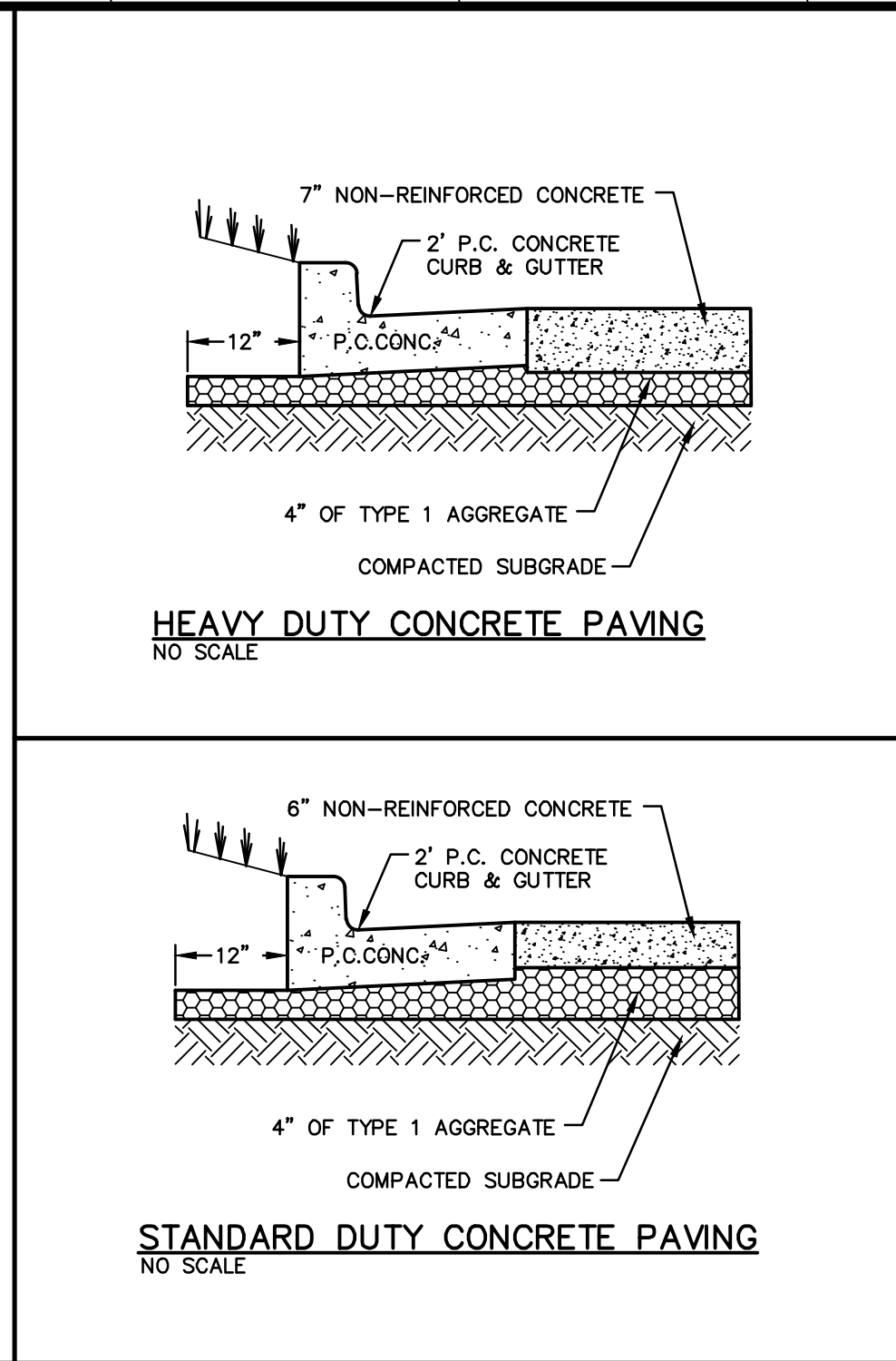
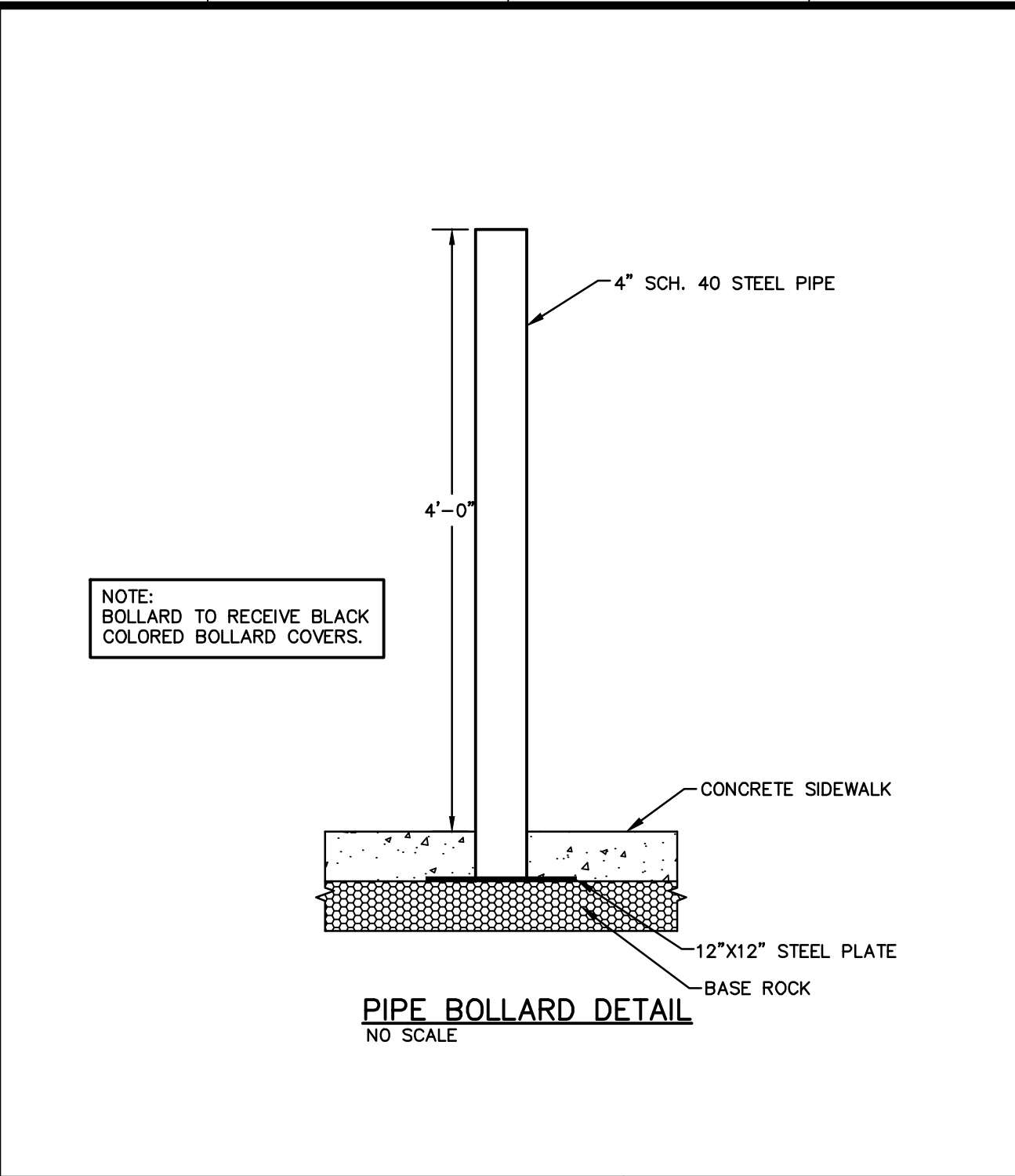
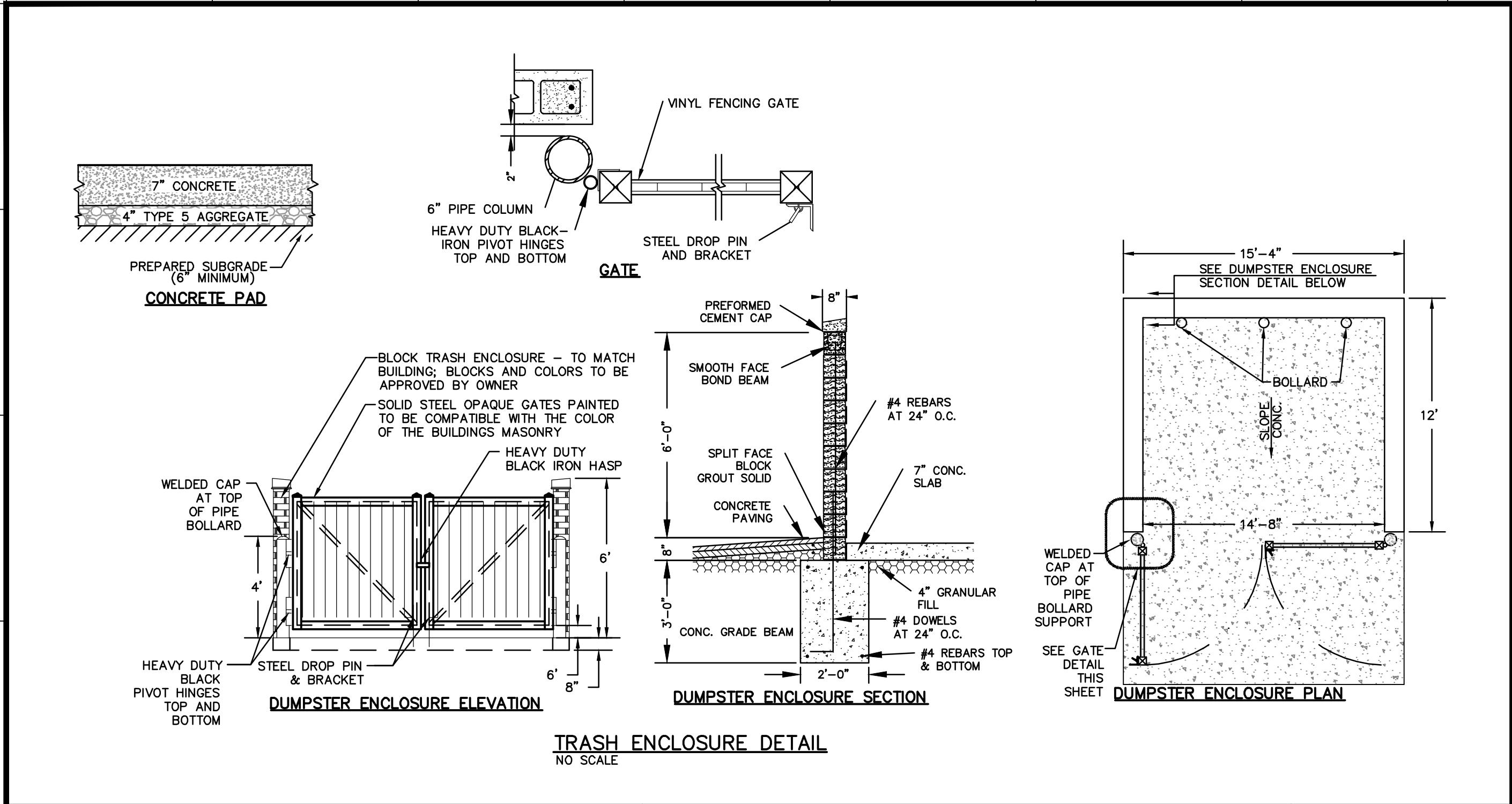
PROPOSED DRAINAGE AREA MAP

DATE	DRAWN BY	CHECKED BY
DATE: MAY 2025	KAF	ESK
SCALE: 1:20		
PROJECT: M24-8767A		
DWG. NO:		

C11

DWG NAME: \2024\W24-8767 - CCW 1310 SW Market St. Lot 7, Lees Summit, MO\W24-8767A Lot 9, Oldham Village\ENGINEERING\AUTOCAD DRAWINGS\02A - Final Development Plan\W24-8767A_C12_DETAILS.dwg LAYOUT TAB: DETAILS PLOTTED ON: Jul 03, 2025 - 7:59am PLOTTED BY: Kfirrell

A
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info@ochran.com
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Wentzville, Missouri 63385

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Missouri State Certificate of Authority Numbers:
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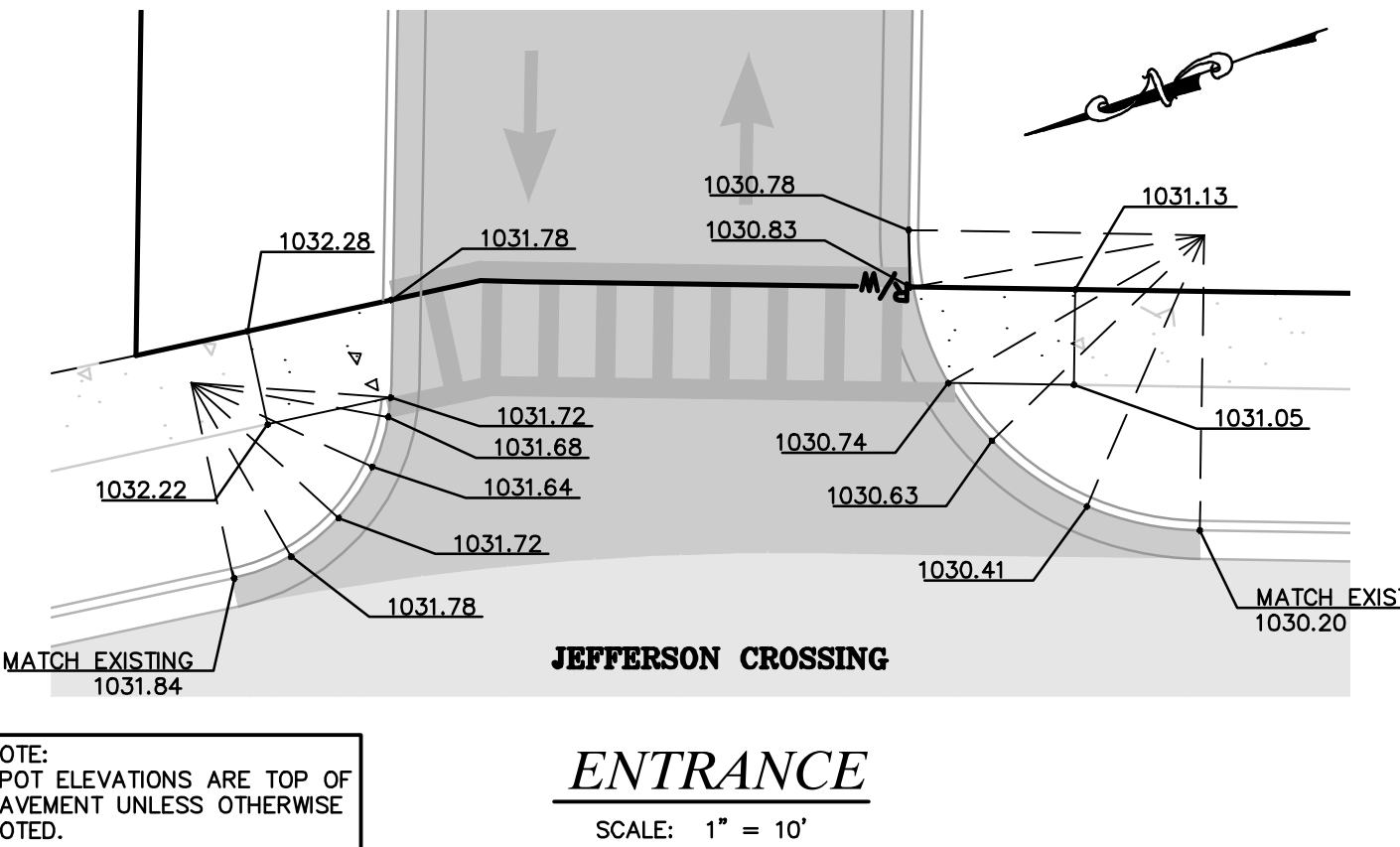
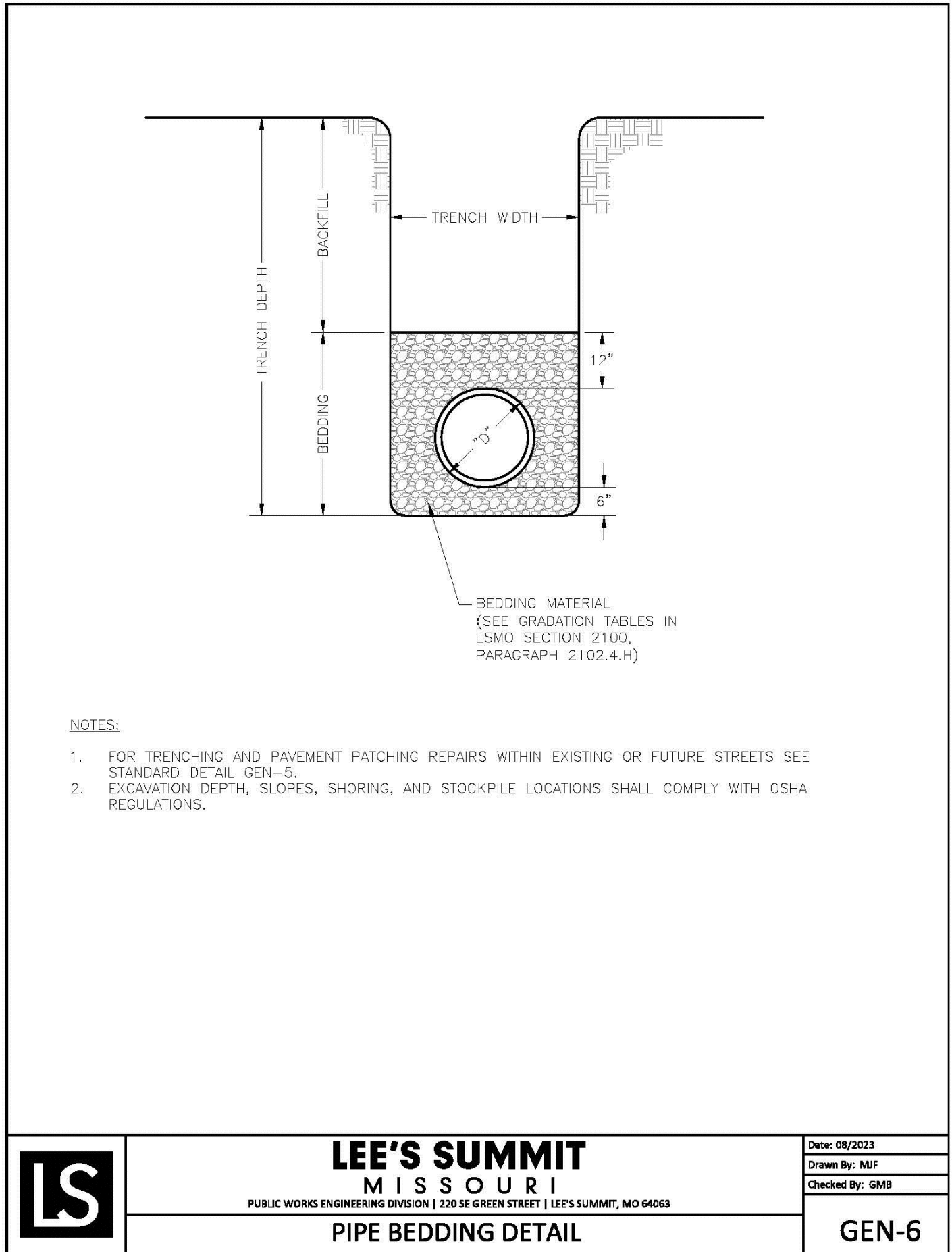
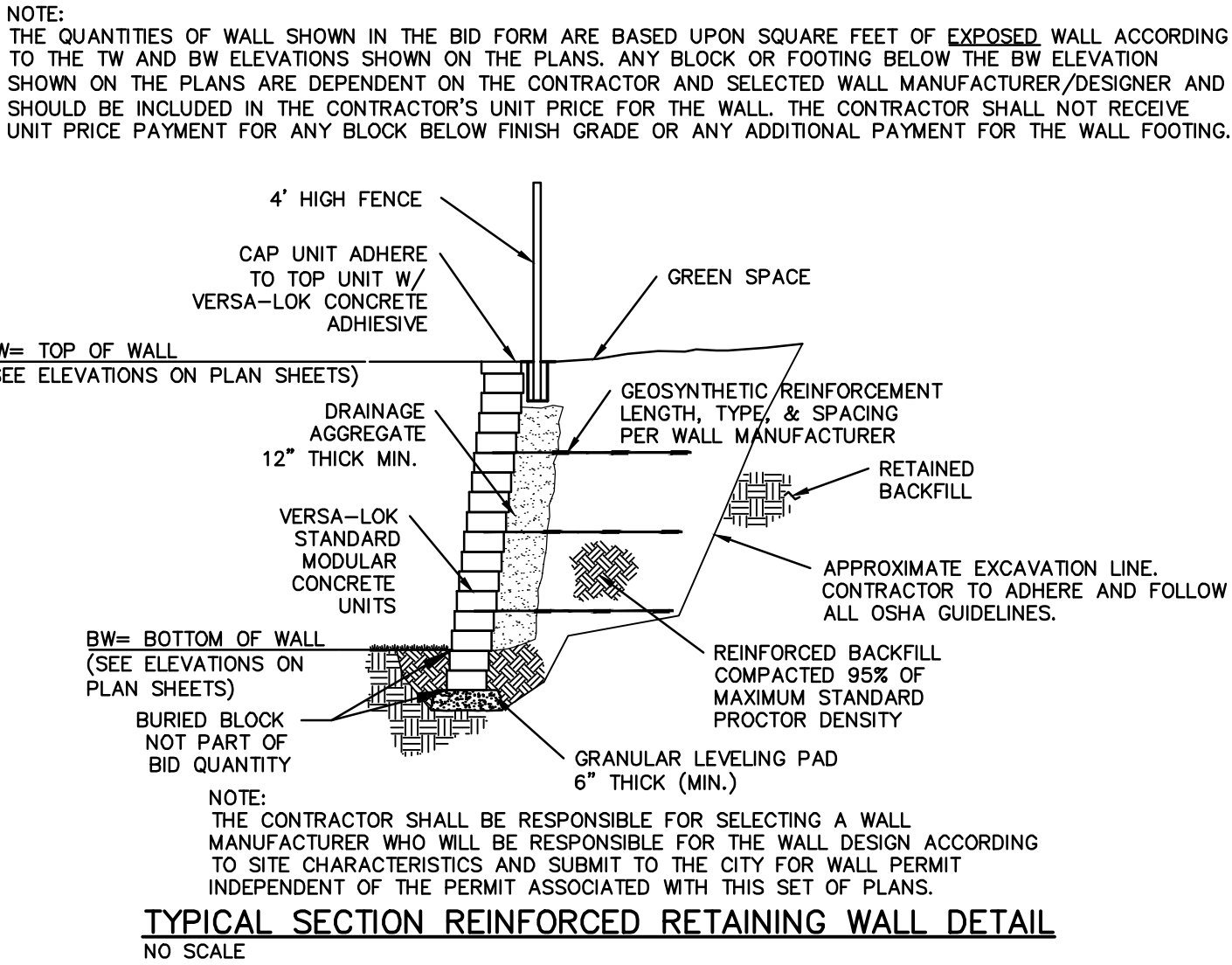
Two working days prior to the start of any excavation or construction project, call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations apply to all construction projects. Plans and specifications must be strictly followed (i.e. trenching, blasting, etc.).

ERIC SCOTT KIRCHNER
E-2001004618
6/23/2025

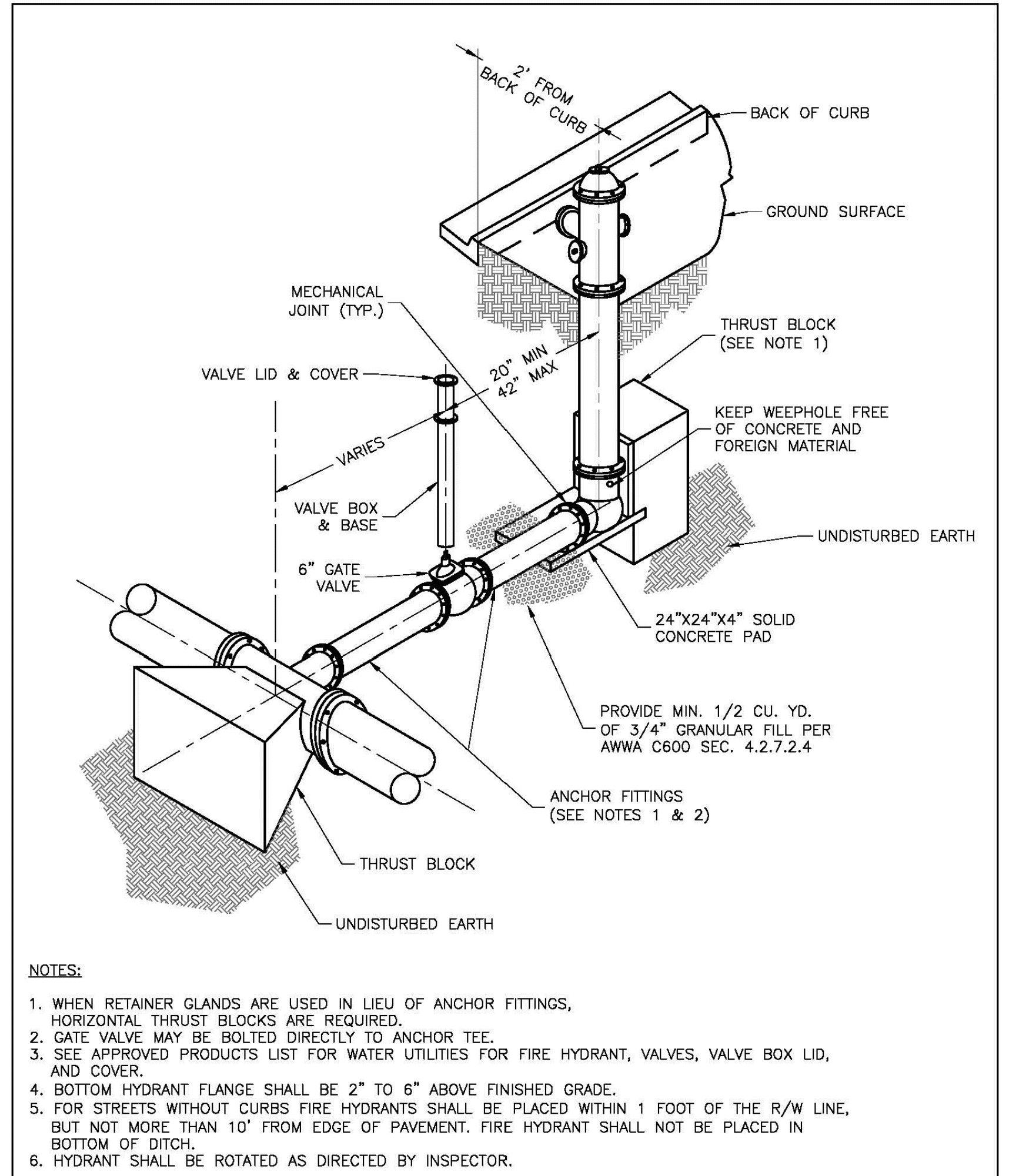
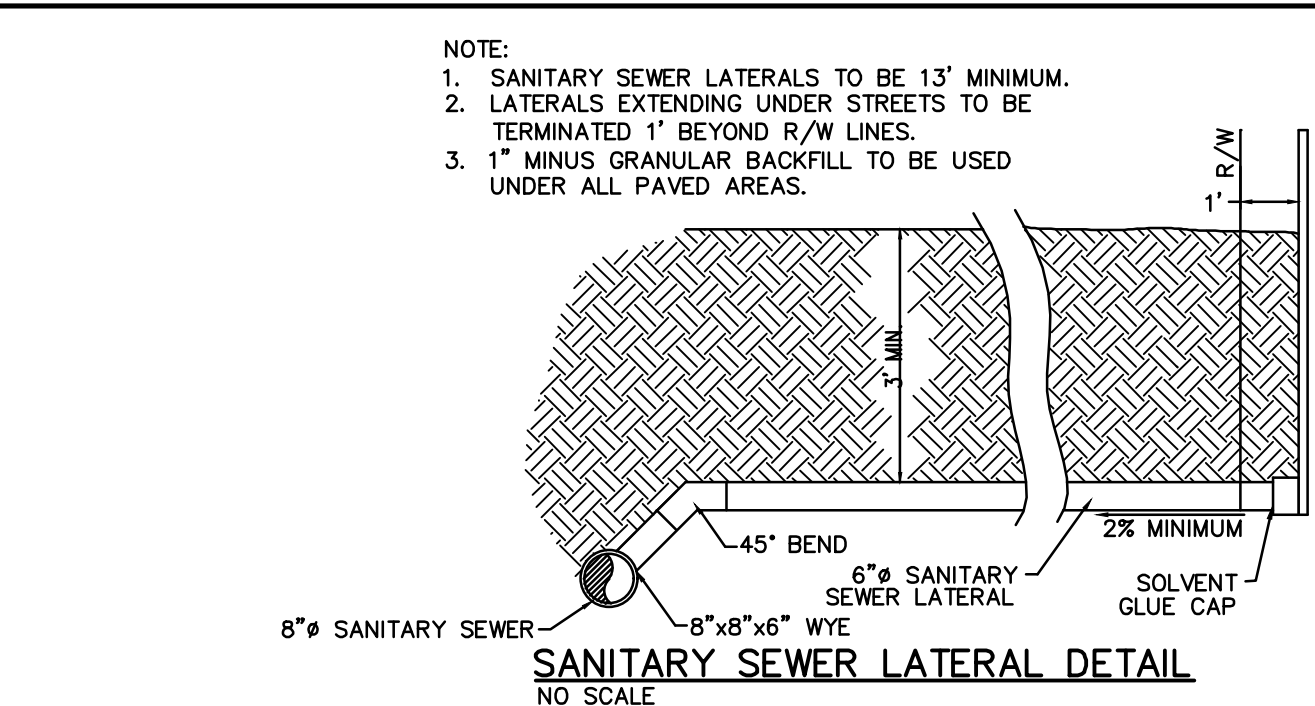
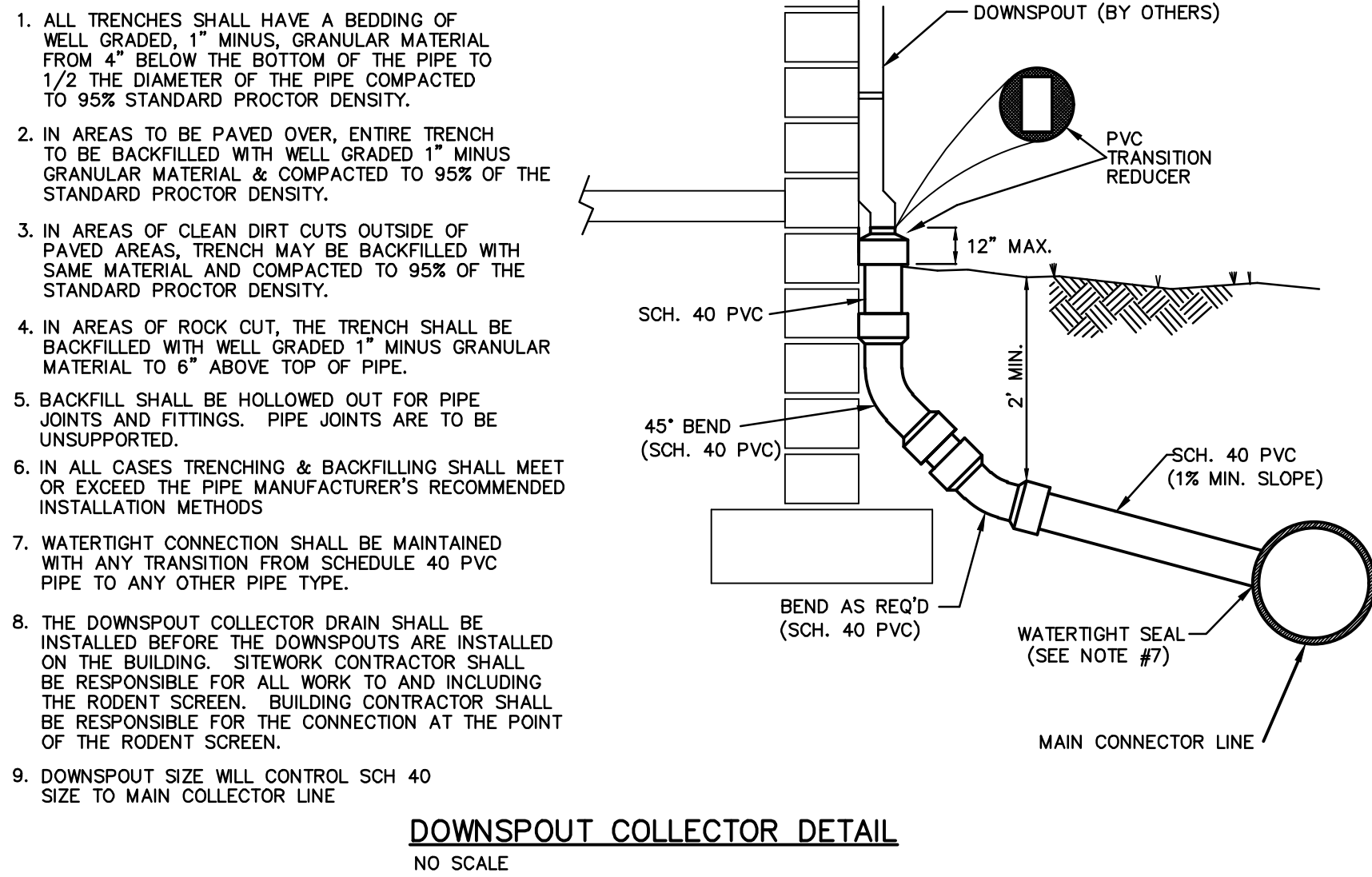
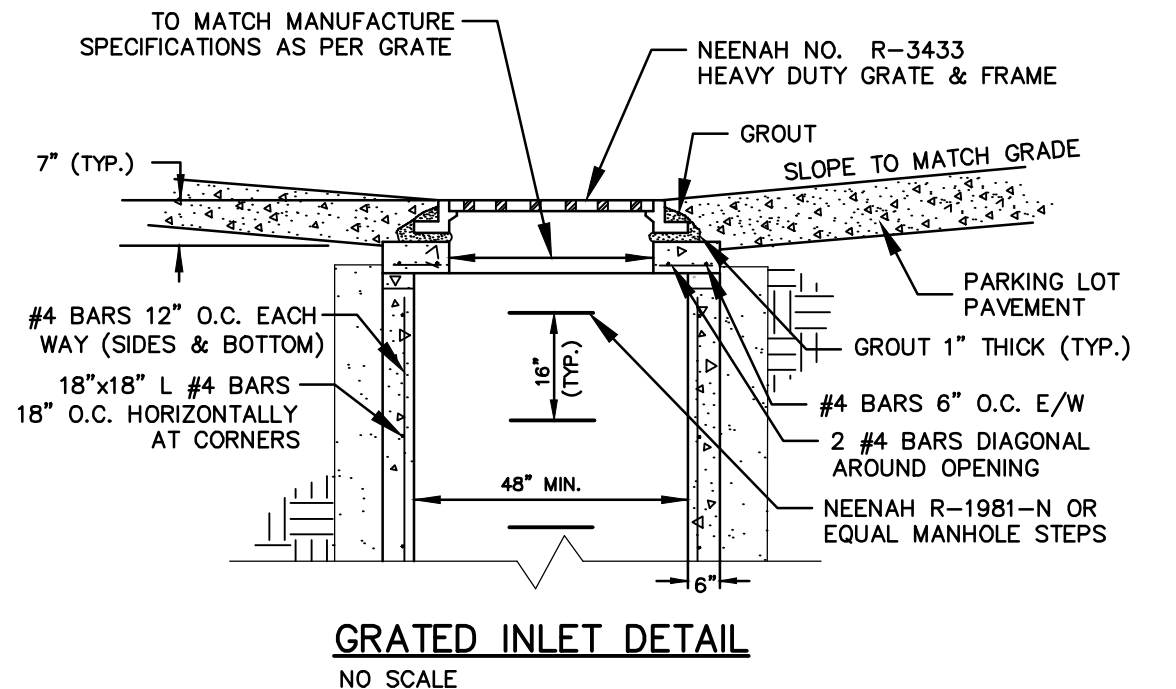
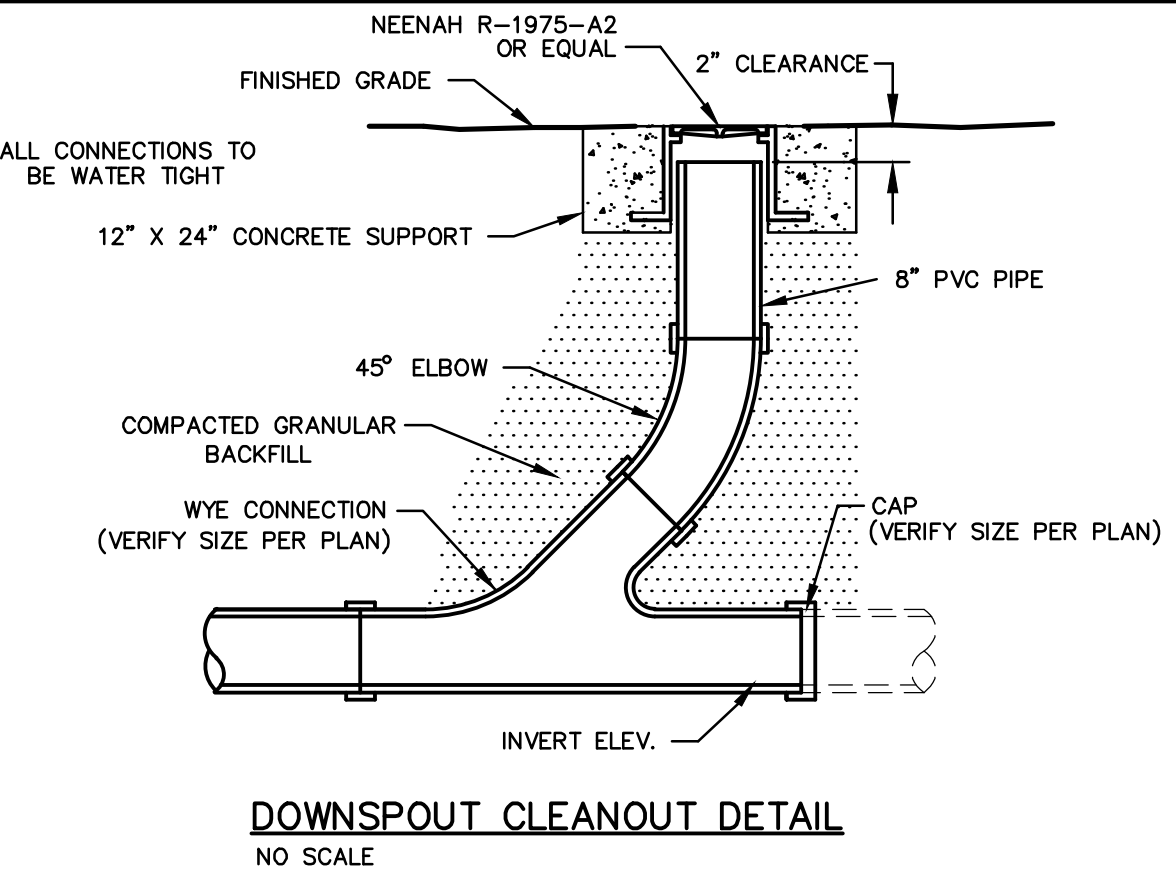
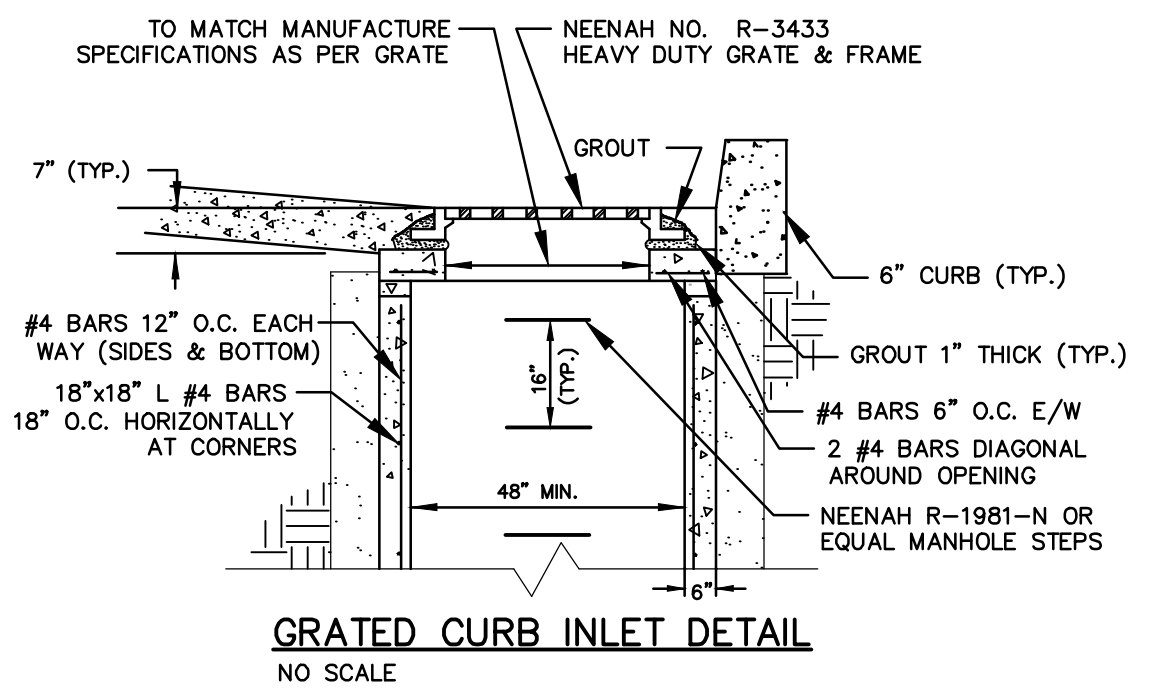
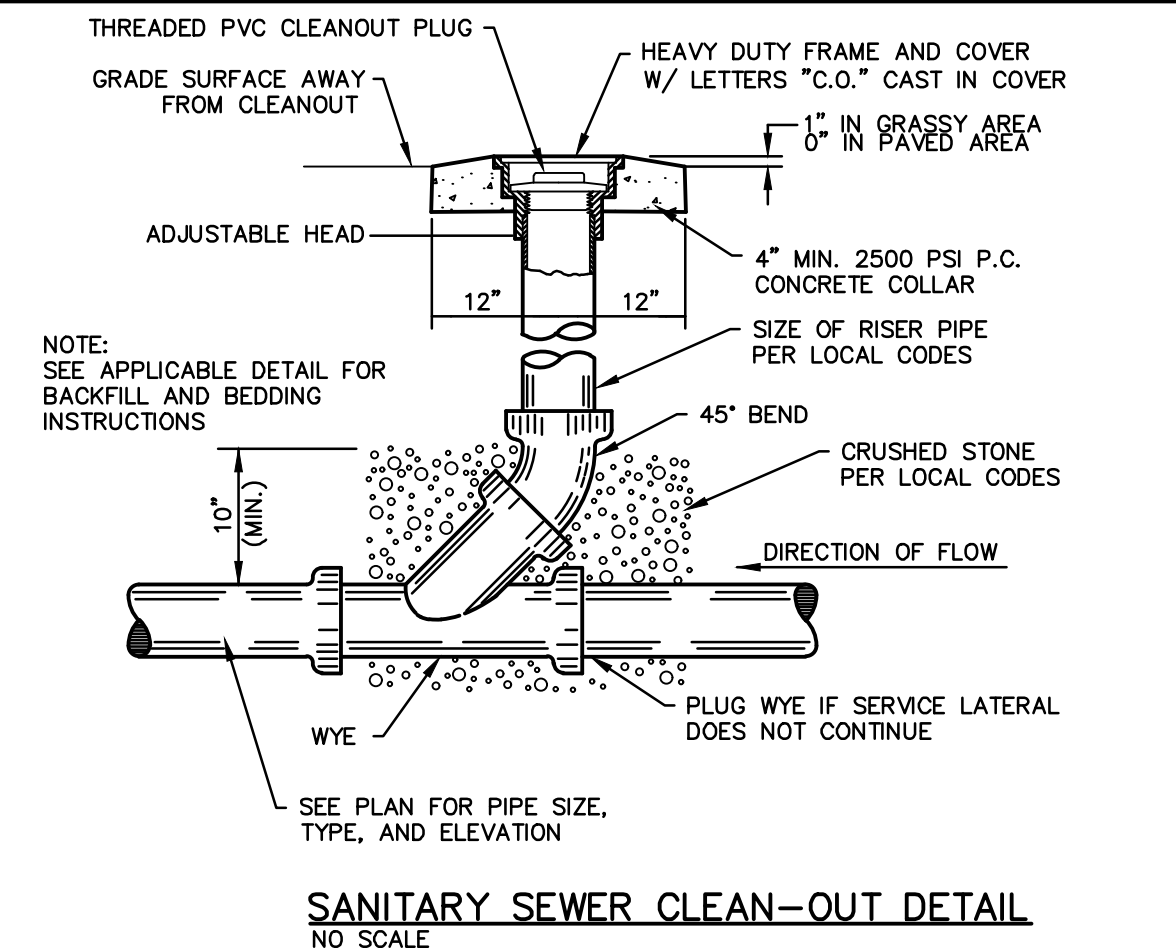
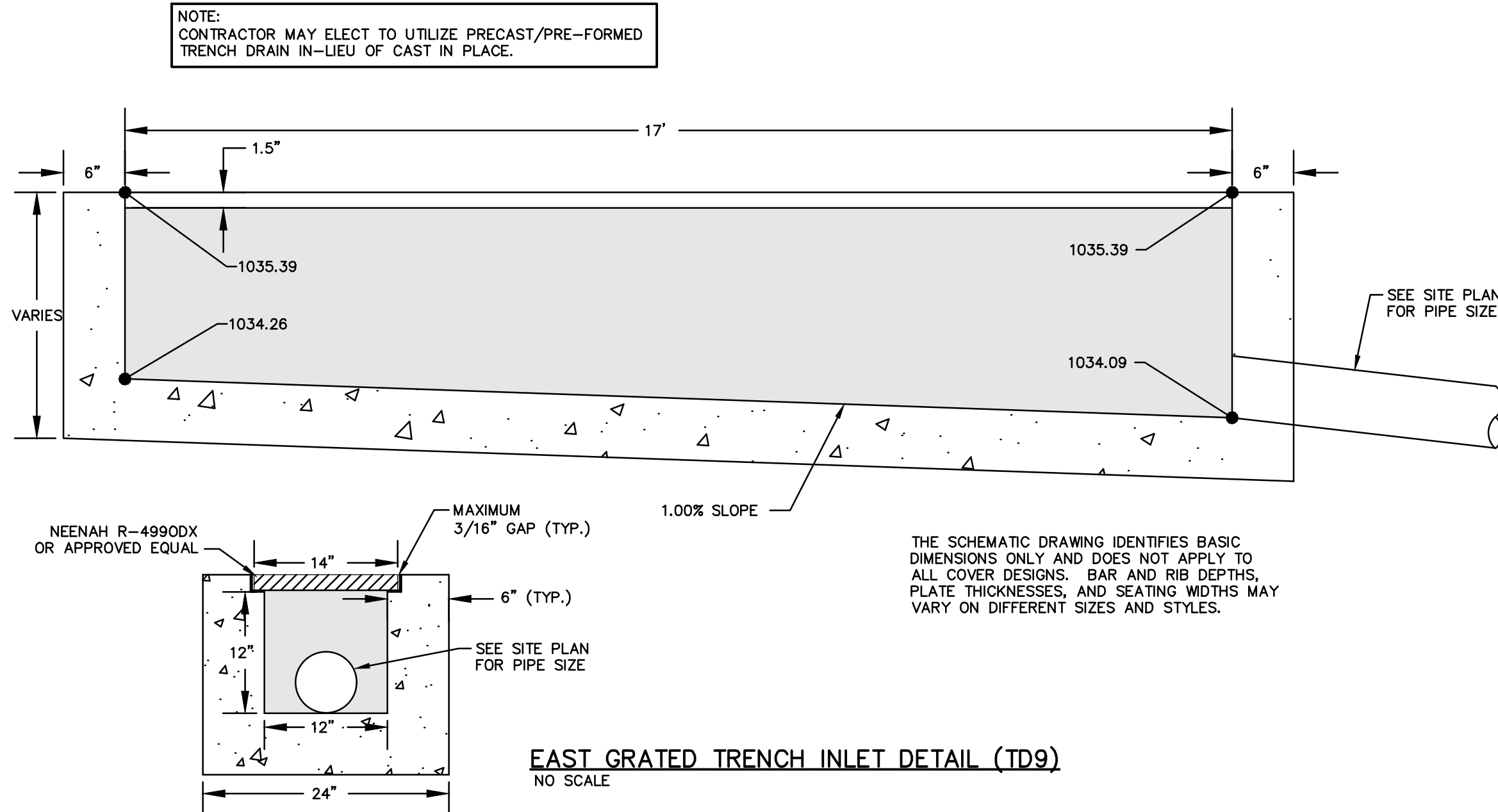
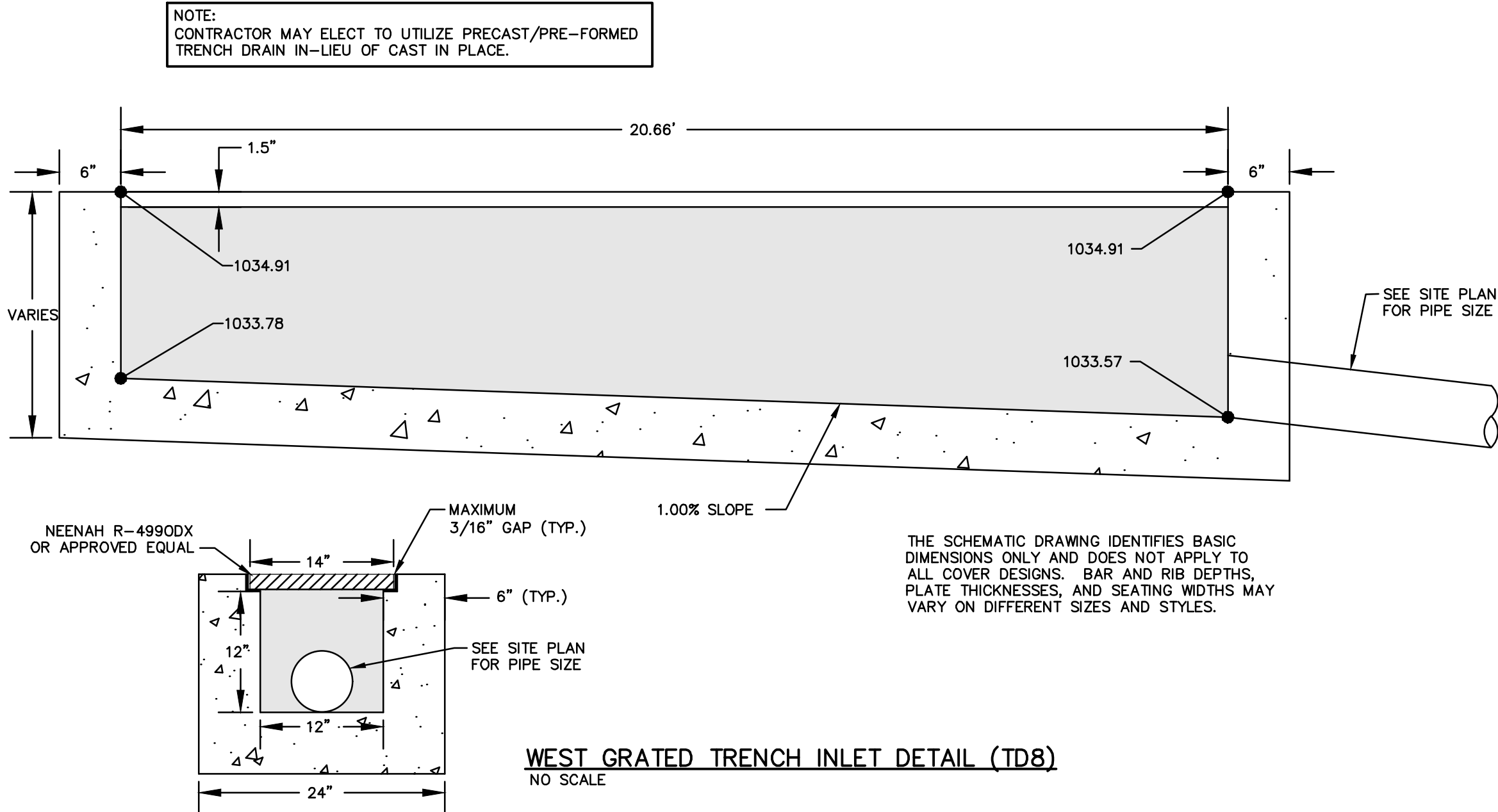
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OWNER:
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7200 W. 132ND ST. STE. 150
OVERLAND PARK, KANSAS 66213

DEVELOPER:
CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202



LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

HYDRANT - STRAIGHT SET

Date: 06/20/2024
Drawn By: MIF
Checked By: KLY
WAT-7

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636-327-0760 (fax)
winfo@ochran.com

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Missouri State Certificate of Authority Numbers:
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Two working days prior to the start of any excavation call 1-800-468-4618 for utility location information.

All OSHA rules & regulations shall be followed during construction required by these plans and be strictly followed (ie. trenching, blasting, etc.)

ERIC SCOTT KIRCHNER
E-2001004618
6/23/2025

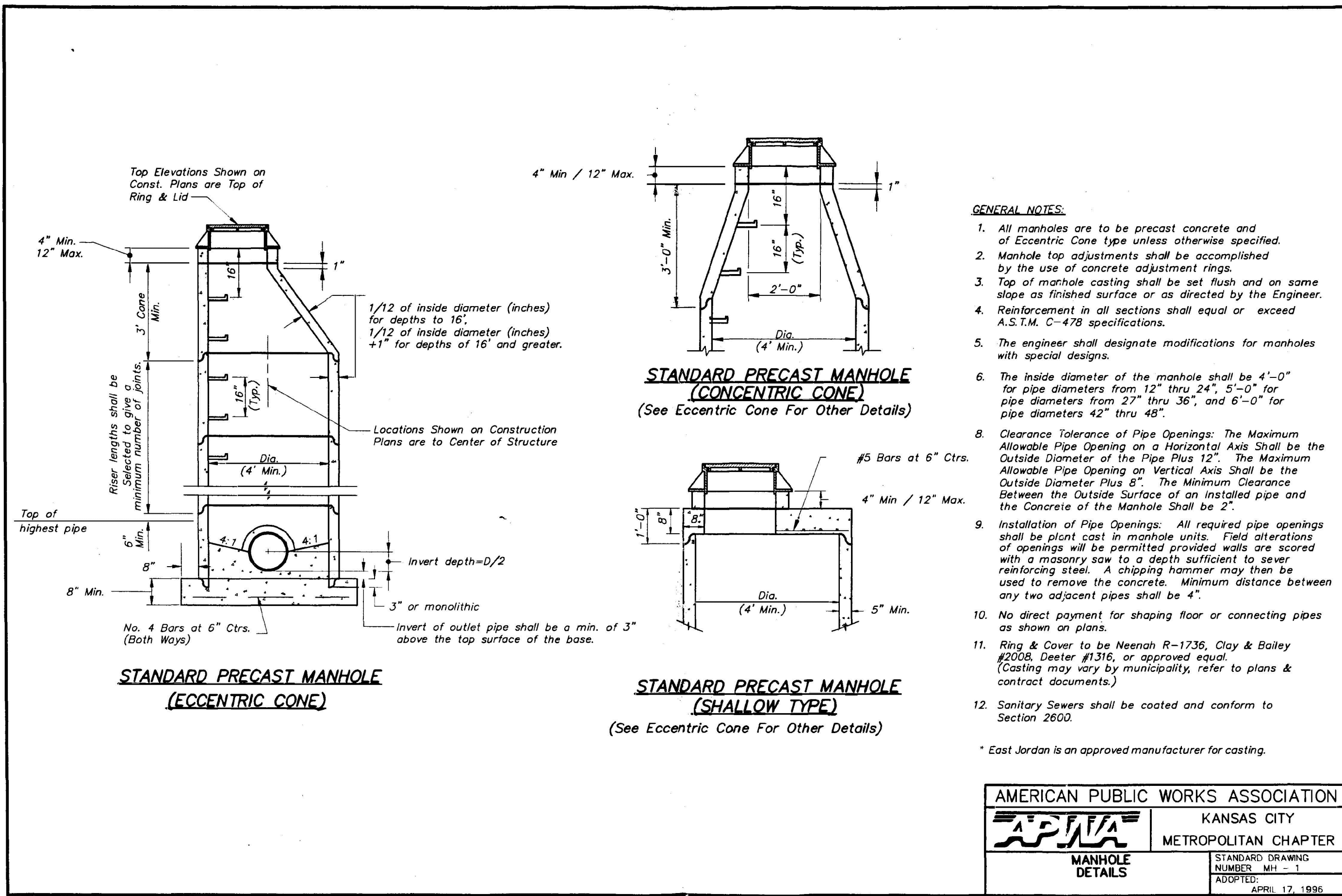
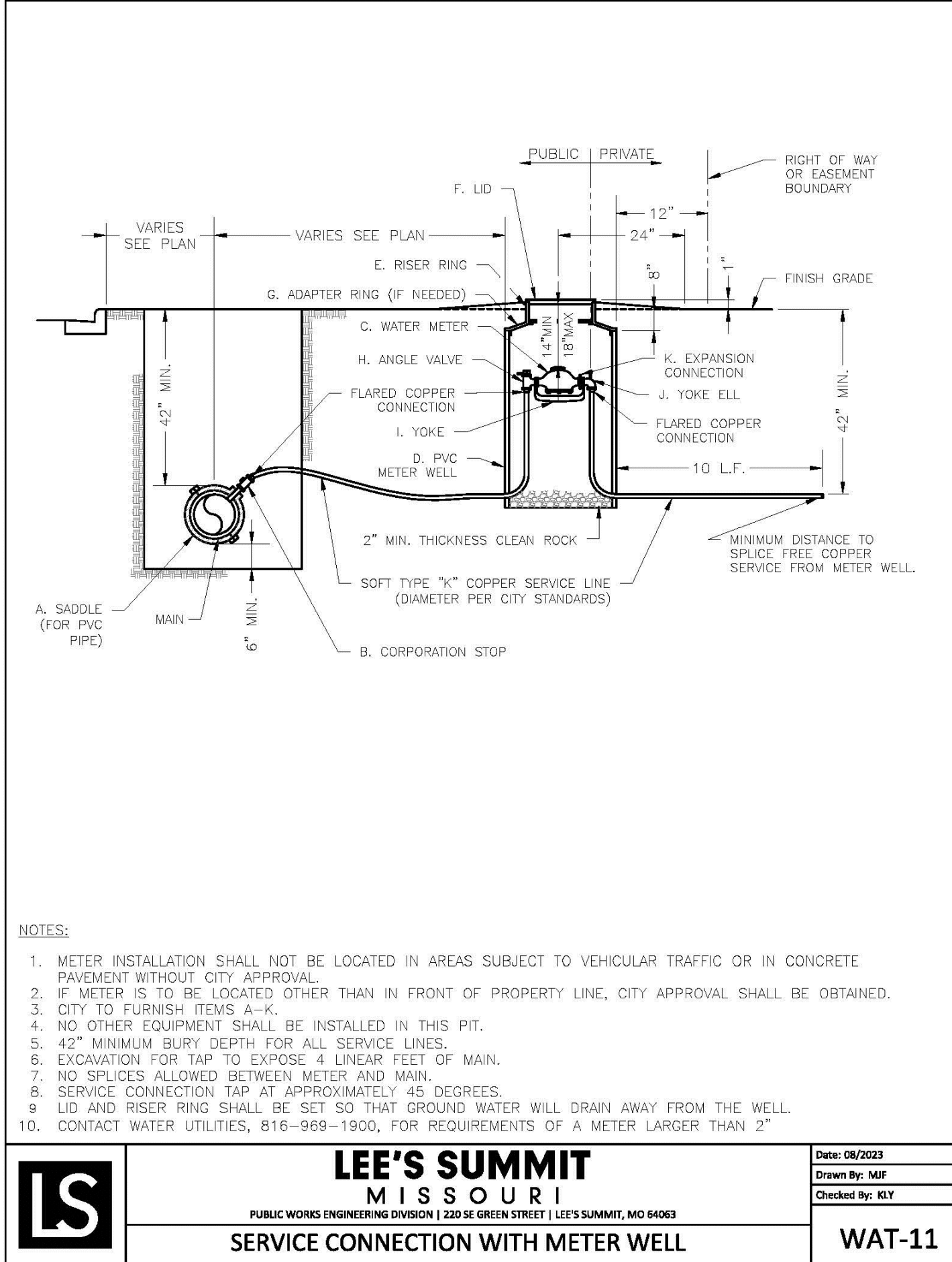
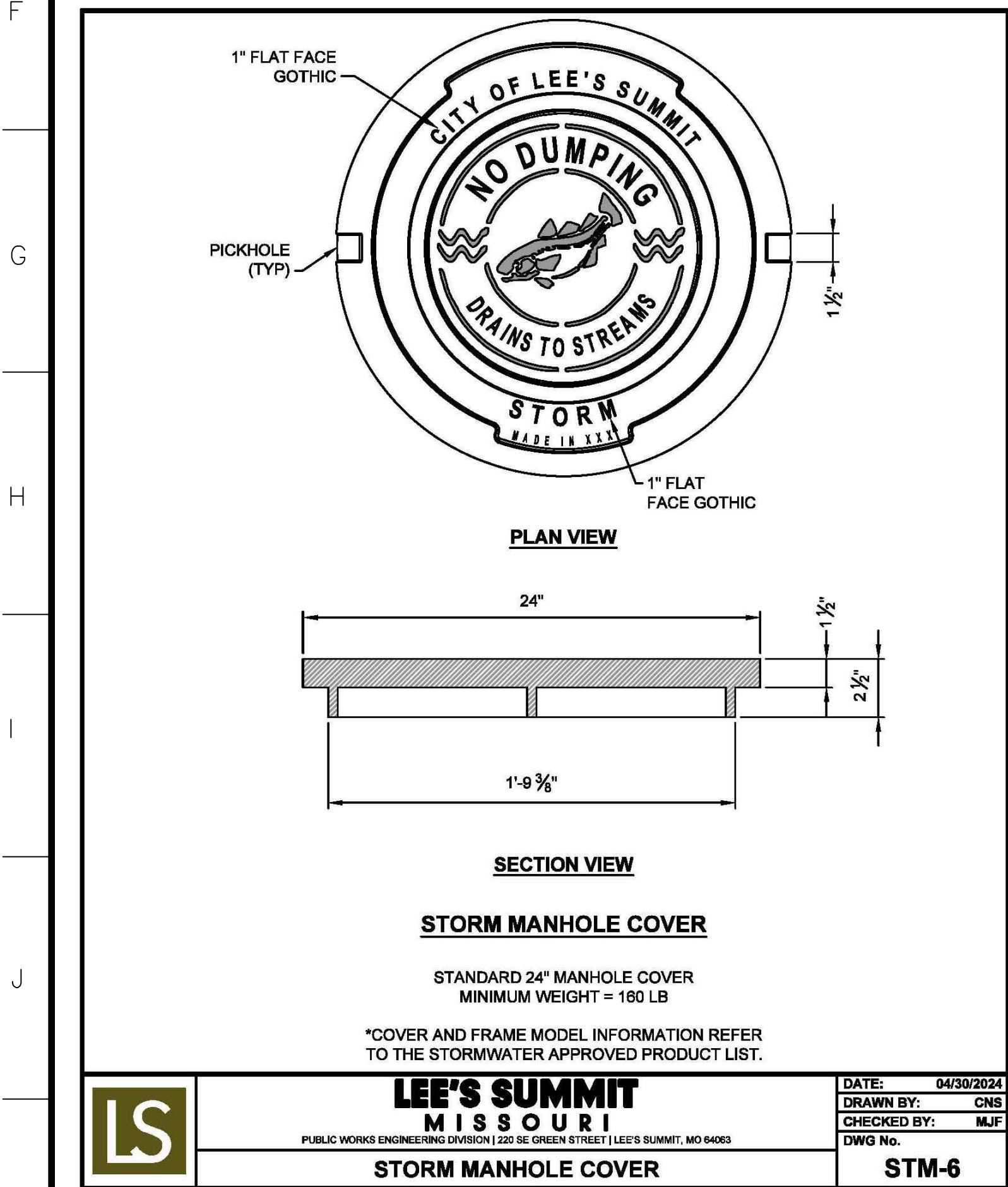
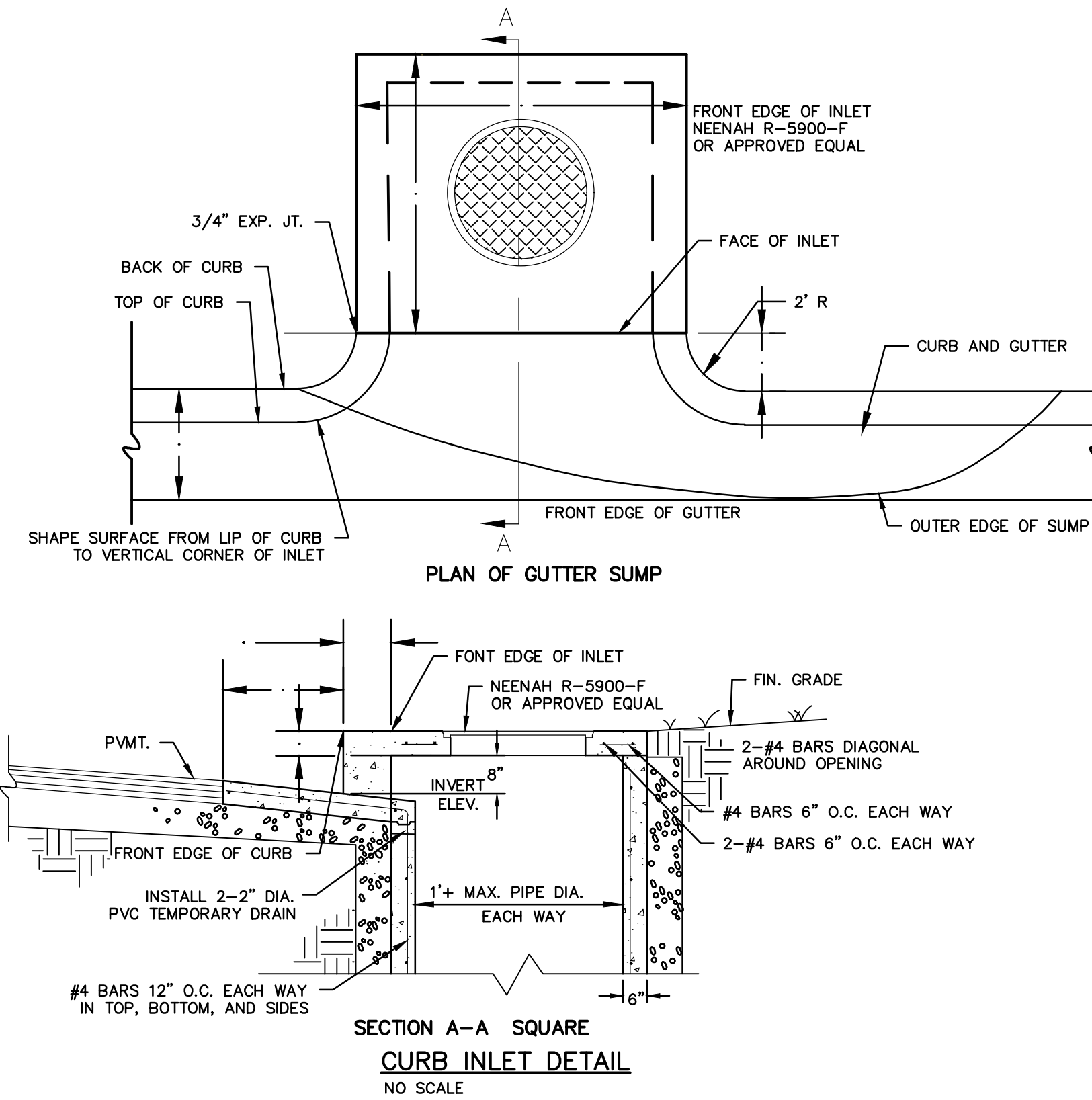
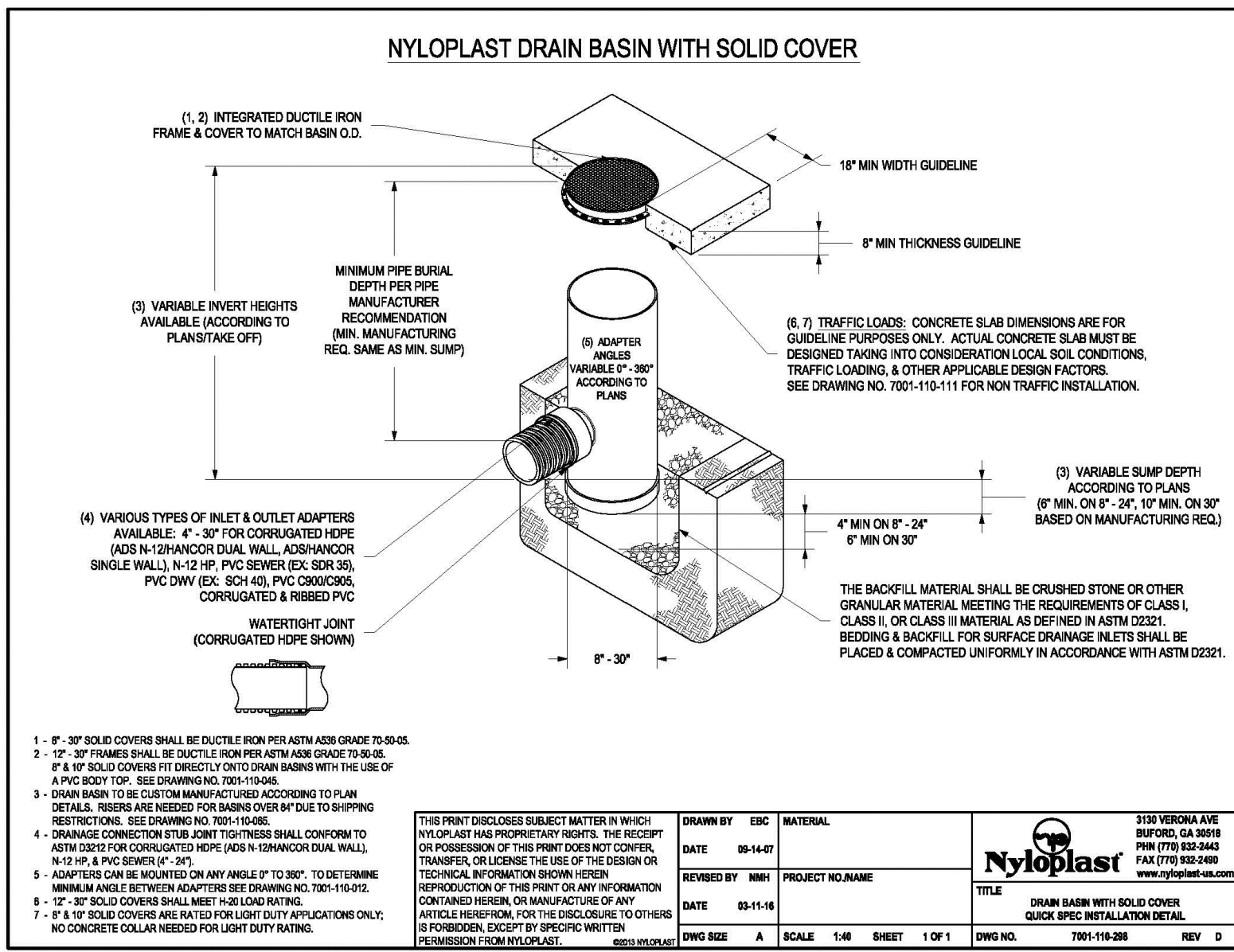
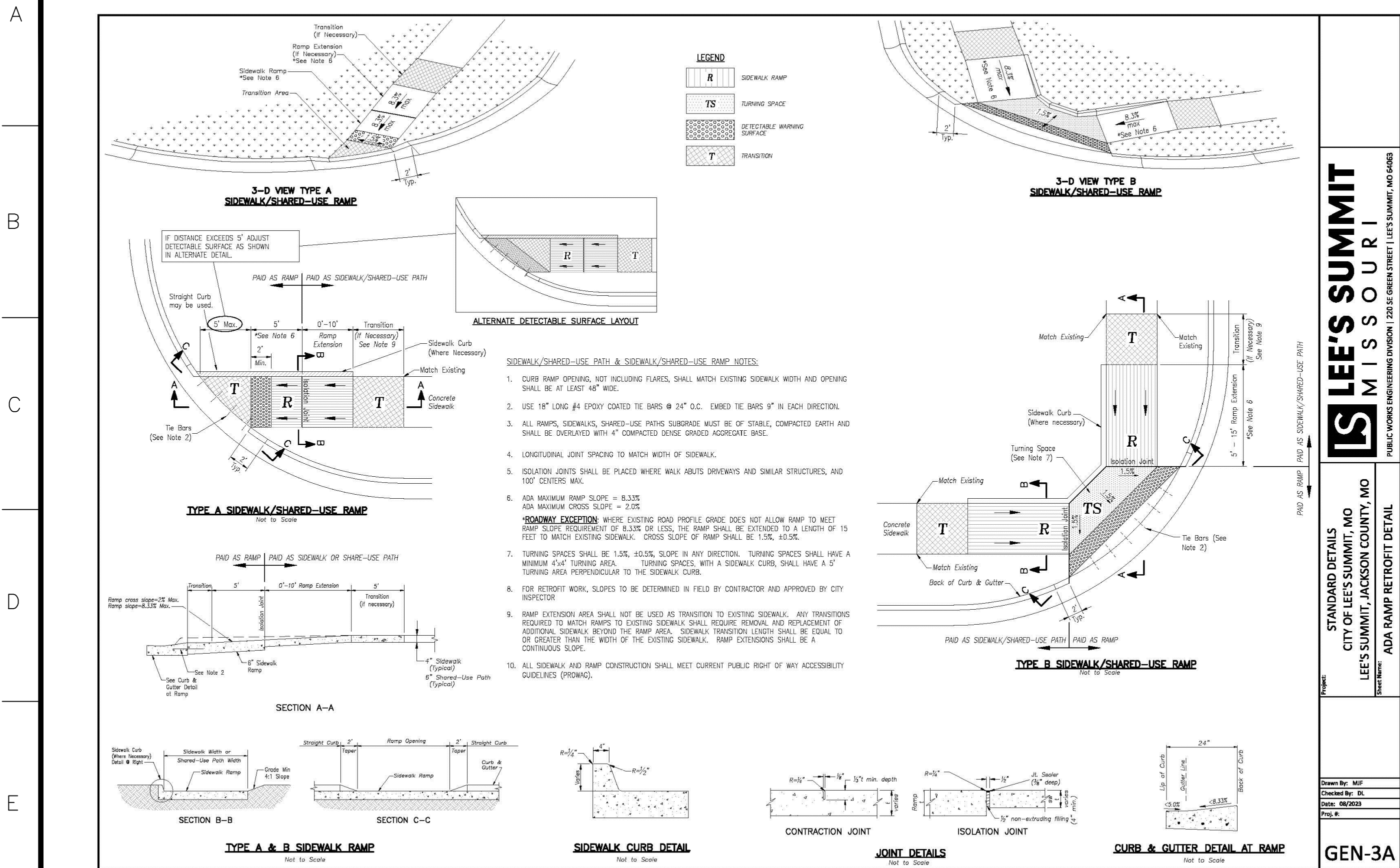
ERIC S. KIRCHNER
E-2001004618

FINAL DEVELOPMENT PLANS
CLUB CARWASH
LEE'S SUMMIT, MISSOURI

DATE: 06/23/25
BY: KAF
CHECKED BY: ESK

DATE: MAY 2025
SCALE: NO SCALE
PROJECT NO: M24-8767A
DWG. NO: C13

DWG NAME: J:\2024\W24-8767 - COW 1310 SW Market St. Lot 7, Lees Summit, MO\W24-8767A_C14-DETAILS.dwg LAYOUT TAB: DETAILS PLOTTED ON: Jul 03, 2025 - 8:00am PLOTTED BY: Kfirrell



OWNER:

OLDHAM INVESTORS LLC
7200 W. 132ND ST. STE. 150
OVERLAND PARK, KANSAS 66213

DEVELOPER:

CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202

DETAILS

C14

FINAL DEVELOPMENT PLANS

CLUB CARWASH

LEE'S SUMMIT, MISSOURI

North Office
8 East Main Street
Wentzville, Missouri 63385

Missouri State Certificate of Authority Number: 2010000046

Two working days prior to the start of any excavation work, call 1-800-MC-RATE for utility location information.

All OSHA rules & regulations shall be strictly followed during construction. Plans shall be strictly followed (ie: trenching, blasting, etc.)

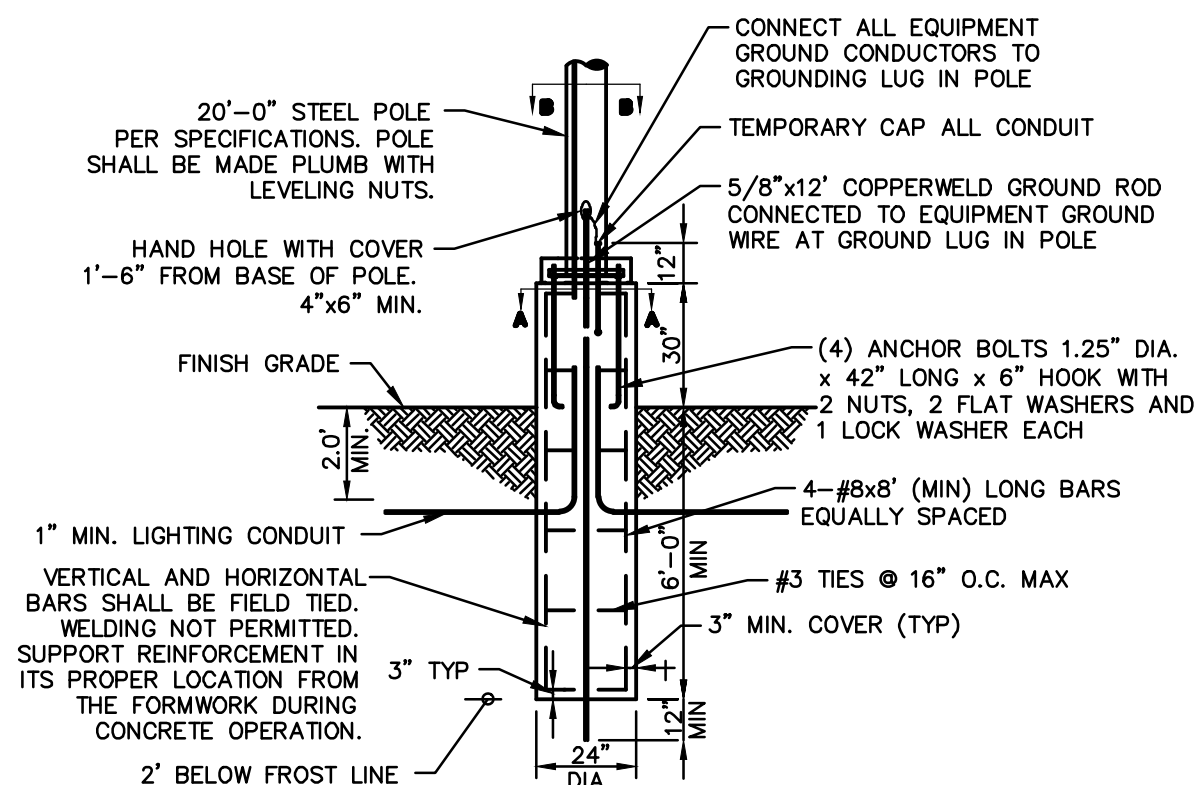
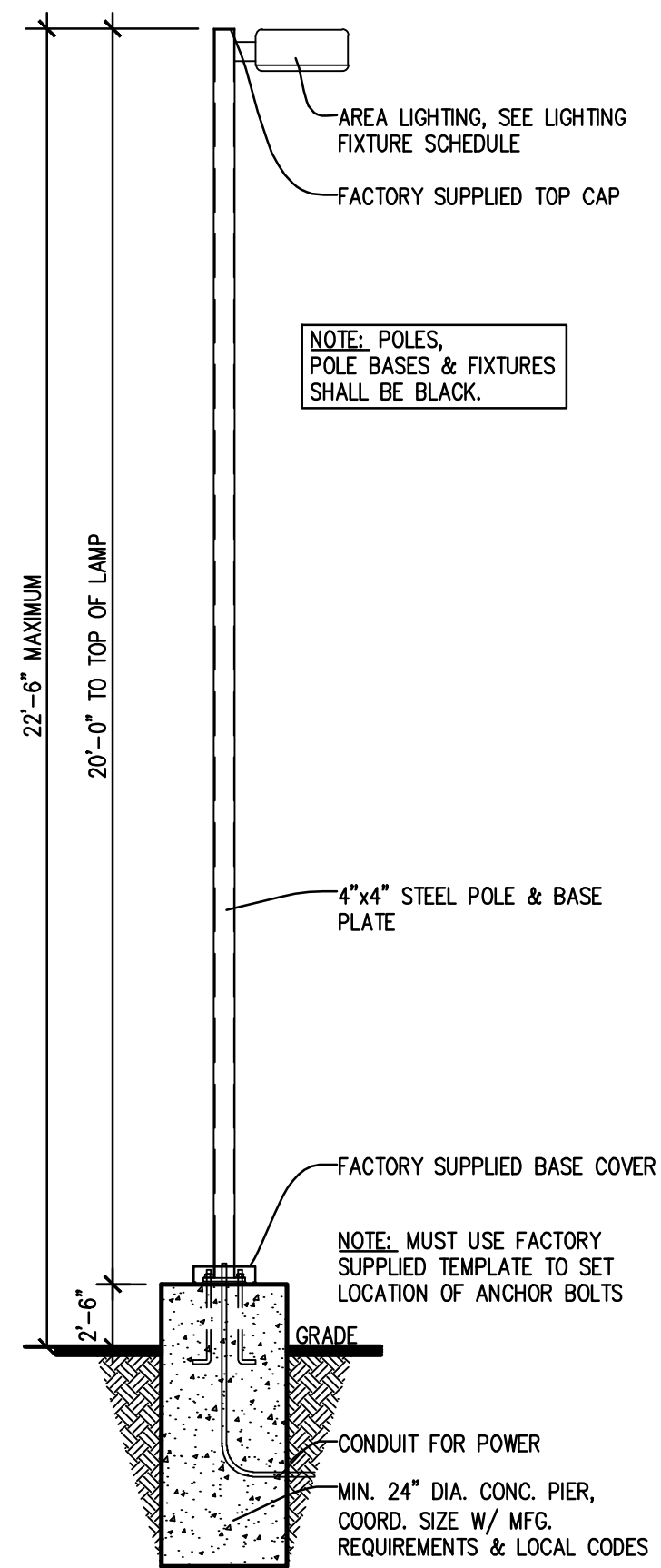
ERIC SCOTT KIRCHNER
E-2001004618

ERIC S. KIRCHNER
E-2001004618

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636-327-0760 (fax)
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- NOTES:
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
 2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
 3. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL.
 4. FOUNDATION SHALL BE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
 5. FOUNDATION SHALL BE DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
 6. FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LIQUID LIMIT OF 40% AND PLASTICITY INDEX OF 10% PER AASHTO TO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".
 7. EXPOSED CONCRETE SHALL BE PAINTED TRAFFIC YELLOW.
 8. DIAL RAIL FOR 20'-0" POLE AND 22'-6" MOUNTING HEIGHT WITH MAX. FIXTURE EPA 4.6 SO-FI.

STANDARD LIGHT DETAIL
NO SCALE

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	Illuminance	Fc	0.2	0.5	0.0	N.A.	N.A.
SITE	Illuminance	Fc	2.6	8.0	0.6	4.35	13.33

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Description
	3	F2	Single	0.912	10153	108	324	GALN-SA2C-740-U-SLL-HSS
	1	F3	Single	0.912	12869	125	125	GALN-SA2D-740-U-SL3-HSS
	2	F4	Single	0.912	20119	213	426	GALN-SA4C-740-U-T4W-HSS
	2	WP1	Single	0.900	2224	25	50	GWS-SA1B-740-U-SLR-W-HSS
	2	WP2	Single	0.900	2170	25	50	GWS-SA1B-740-U-SLL-W-HSS
	3	WP3	Single	0.900	4643	34.1	102.3	GWS-SA1C-740-U-T4FTR-W

OWNER:
OLDHAM INVESTORS LLC
7200 W. 132ND ST. STE. 150
OVERLAND PARK, KANSAS 66213

DEVELOPER:
CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202

336-332-4574 (tel.)
336-327-0760 (fax)
rentmail@cochroneng.com

- Civil Engineering
- Land Surveying
- Architecture
- Site Development
- General Consulting
- Master Planning

North Office
8 East Main Street
Wentzville, Missouri 63385

Missouri State Certificate
of Authority Numbers:
2010000046

Two working days prior to the start of any excavation on this site, an excavator shall call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (ie. Trenching, Blasting, etc.)



ERIC S. KIRCHNER
E-2001004618

***FINAL DEVELOPMENT PLANS
CLUB CARWASH
LEE'S SUMMIT, MISSOURI***

PHOTOMETRICS PLAN	DATE	MAY 2025	
	SCALE	1:20	
PROJ. NO.	M24-8767A		
DWG. NO.	C16		
DRN. BY:	KAF	APPD. BY:	ESK
DATE	06/23/25		
PER CITY COMMENTS			
REV. NO.			
REV. BY			
REV. DATE			

CALL OR CLICK 3 DAYS BEFORE YOU DIG!

 **1-800-DIG-RITE OR 811**

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C16