

FINAL DEVELOPMENT PLAN FOR MID-CONTINENT PUBLIC LIBRARY COLBERN ROAD BRANCH ENTRANCE IMPROVEMENTS

NE 1/4 OF SECTION 29, TOWNSHIP 48 NORTH, RANGE 31 WEST
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

RELEASED FOR CONSTRUCTION
As Noted on Plan Review

**Development Services Department
Lee's Summit, Missouri
06/30/2025**



NOT TO SCALE

DEVELOPMENT TEAM CONTACT INFORMATION

| | |
|--|--|
| OWNER/DEVELOPER | |
| AARON MASON MID-CONTINENT PUBLIC LIBRARY | ADMINISTRATIVE HEADQUARTERS 15616 E. 24 HWY. INDEPENDENCE, MO 64050 816.836.5200 |
| CIVIL ENGINEER | |
| TERRY PARSONS OLSSON | 7301 W. 133RD STREET SUITE 200 OVERLAND PARK, KS 66213 PH: 913.381.1170 FAX: 913.381.1174 tparsons@olsson.com |

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UTILITY AND GOVERNING AGENCY CONTACT INFORMATION

| UTILITY AND GOVERNING AGENCY CONTACT INFORMATION | |
|--|---|
| CITY OF LEE'S SUMMIT, MISSOURI | 220 SE GREEN LEE'S SUMMIT, MO 64063 |
| CITY HALL | 816.969.1000 |
| BUILDING INSPECTIONS | 816.969.1200 |
| SPECIAL INSPECTIONS | 816.969.1200 |
| BUILDING PERMITS | 816.969.1200 |
| LAND DEVELOPMENT DIVISION/INSPECTIONS | 816.969.1200 |
| TRAFFIC OPERATIONS | 816.969.1800 |
| LEE'S SUMMIT WATER UTILITIES | 1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081 |
| LEE'S SUMMIT WATER & SERVICES | 816.969.1940 |
| LEE'S SUMMIT PUBLIC WORKS | 816.969.1800 |
| SPIRE (MGE) | 314.342.0500 |
| KANSAS CITY POWER & LIGHT | 8700 EAST FRONT STREET KANSAS CITY, MO 64120 816.471.5275 |
| TELEPHONE SERVICE | |
| AT&T | 816.221.1781 |
| CABLE TELEVISION SERVICE | |
| SPECTRUM | 877.772.2253 |
| GOOGLE FIBER | 877.454.6959 |

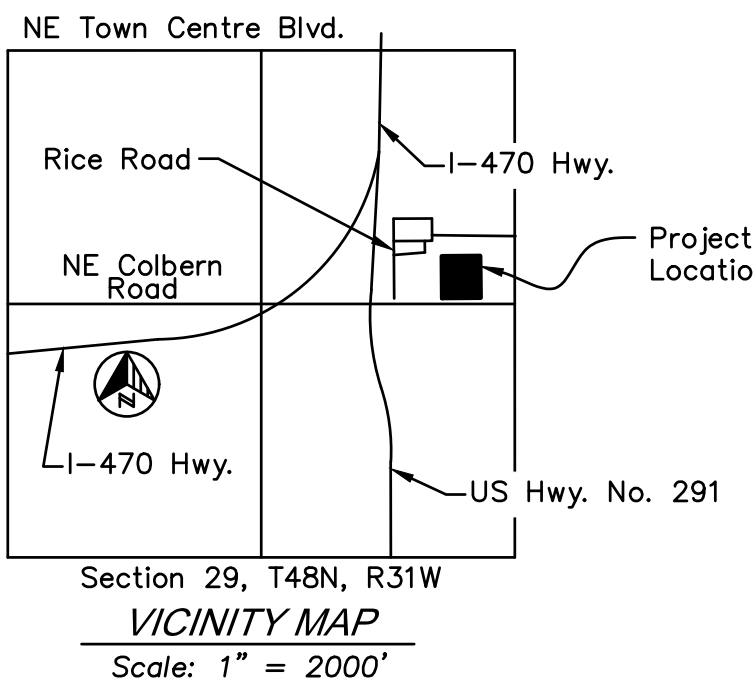
BENCHMARKS:

BENCHMARK #1:
MO BRAUN 3: ALUMINUM NGS DISK SET IN CONCRETE 5"± ABOVE GRADE 57"± WEST O
I-470 PAVED SHOULDER STAMPED "BRAUN 3, 1979"
PUBLISHED GRID COORDINATES (2003 ADJUSTMENT)
N: 310136.375M, E: 862153.323M
ELEV = 305.7M
GRID FACTOR: 0.9999001
GROUND COORDINATES (US SURVEY FEET):
N: 1017506.29', E: 2828581.25'

LEGAL DESCRIPTION:

ALL OF LOT 1, RICE ACRES, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, TOGETHER WITH ALL THAT PART OF AN UNPLATTED TRACT OF LAND, ALL LYING IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 48 NORTH, RANGE 3 WEST, DESCRIBED BY TIMOTHY BLAIR WISWELL, MO-PLS 2009000067, OF OLSSON, INC. LC-366, AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 48 NORTH, RANGE 31 WEST; THENCE NORTH 88 DEGREES 28 MINUTES 52 SECONDS WEST, ON THE SOUTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 755.18 FEET TO A POINT ON THE SOUTHERLY EXTENSION OF THE WEST LINE OF LOT 1, RICE ACRES, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI; THENCE NORTH 01 DEGREE 23 MINUTES 04 SECONDS EAST, DEPARTING SAID SOUTH LINE, ON SAID SOUTHERLY EXTENSION, A DISTANCE OF 55.66 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1, THE POINT OF BEGINNING; THENCE NORTH 01 DEGREE 23 MINUTES 04 SECONDS EAST, ON SAID WEST LINE, A DISTANCE OF 436.21 FEET TO THE NORTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 88 DEGREES 38 MINUTES 41 SECONDS EAST, ON THE NORTH LINE OF SAID LOT 1 AND ITS EASTERLY EXTENSION, A DISTANCE OF 400.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 01 DEGREE 23 MINUTES 04 SECONDS WEST, DEPARTING SAID EASTERLY EXTENSION, A DISTANCE OF 43.21 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 88 DEGREES 38 MINUTES 41 SECONDS WEST, ON SAID EASTERLY EXTENSION AND ON SAID SOUTH LINE, A DISTANCE OF 400.00 FEET TO THE POINT OF BEGINNING, CONTAINING 174,485 SQUARE FEET OR 4.0056 ACRES, MORE OR LESS.



olson

[illegible]

TITLE SHEET
FINAL DEVELOPMENT PLAN

COLBERN ROAD BRANCH ENTRANCE IMPROVEMENTS
1000 NE COLBERN ROAD

drawn by: _____
checked by: _____
approved by: _____
QA/QC by: _____
project no.: _____
drawing no.: TTL01_0180330.dwg
date: _____

SHEET
C1.0

DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\Final Plans\Sheets\WORK PACKAGE 10\Work Package 10 Revisions\C_TTL01_0180330.dwg
DATE: Dec 10, 2024 9:51pm XREFS: C:\PTBLK01_018330 USER: tparrsons

PRCOM20250144

GENERAL NOTES:

1.

THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL "1-800-DIG-RITE", 1(800)344-7483 OR 811 AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING ACTIVITIES. !STOP!! CALL BEFORE YOU DIG!!
2.

THE CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.
3.

ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
4.

ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES AND FOR BRINGING THE PROJECT TO THE LINES AND GRADES SHOWN HEREIN. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO FULFILL THE PLANS IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE EARTHWORK QUANTITIES AND TO ACCOUNT FOR HAUL IN OR HAUL OFF OF MATERIAL AS NECESSARY TO MEET THE LINES AND GRADES OF THE PLANS EVEN IF QUANTITY ESTIMATES ARE SHOWN WITHIN THESE DOCUMENTS. NO ADDITIONAL PAYMENTS WILL BE MADE FOR IMPORT OR EXPORT OF MATERIAL OR FOR ADJUSTMENTS TO QUANTITY ESTIMATES.
5.

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE THE CITY OF LEE'S SUMMIT, MO, EXCEPT WHERE SHOWN OTHERWISE. NOTIFY ENGINEER OF DISCREPANCIES.
6.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.
7.

THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF MISSOURI STATE LAW WHICH REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM UTILITY COMPANIES.
8.

PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
9.

THE CONTRACTOR SHALL LIMIT THE REMOVAL OF TREES TO THE LIMITS OF DEMOLITION SHOWN ON THE DEMOLITION PLAN.
10.

CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
11.

ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.
12.

ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.
13.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF SURFACE EROSION DURING CONSTRUCTION AND UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. EROSION CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, THE SILT FENCES AND GRAVEL FILTER BAGS SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE FOR THE DURATION OF THE SITE IMPROVEMENTS.
14.

ALL HDPE PIPE SHALL BE ADS (N-12) OR APPROVED EQUAL, AND CONFORM TO AASHTO M294 SPECIFICATIONS. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
15.

IF PRECAST CONCRETE STORM SEWER STRUCTURES ARE TO BE USED ON THIS PROJECT, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HAVE THEM APPROVED BY THE ENGINEER PRIOR TO FABRICATION OF THE STRUCTURES. FAILURE TO DO SO SHALL BE CAUSE FOR REJECTION.
16.

EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. SITE PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE SPECIFICATIONS PROVIDED.
17.

THE CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO THE SURFACE AND SUBSURFACE CONDITIONS TO BE ENCOUNTERED.
18.

THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.
19.

NO FEDERALLY OWNED MAILBOX MAY BE DISTURBED. THE CONTRACTOR SHALL GIVE AT LEAST TWENTY-FOUR (24) HOURS ADVANCE NOTICE TO THE MANAGER OF DELIVERY AND COLLECTIONS. TAMPERING WITH FEDERAL MAIL FACILITIES MAY SUBJECT THE CONTRACTOR TO PROSECUTION BY THE FEDERAL GOVERNMENT.
20.

THE CONTOUR LINES SHOWN ARE FOR MASS GRADING PURPOSES.
21.

EXISTING CONTOURS REPRESENT MASS GRADING ELEVATIONS.
22.

THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL UNLESS OTHERWISE SHOWN BY CONTOURS OR SPOT ELEVATIONS.
23.

THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE IN THE BORROW AREA.
24.

THE CONTRACTOR SHALL MAKE HIS OWN ASSUMPTIONS ON THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. ALL ROCK EXCAVATION AND REMOVAL SHALL BE INCLUDED IN THE CONTRACTORS' BID.
25.

CONTRACTOR TO FIELD VERIFY ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES AND INFRASTRUCTURE PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS.
26.

BY ACCEPTING AND UTILIZING ANY ELECTRONIC FILE OF ANY DRAWING, REPORT OR DATA TRANSMITTED BY OLSSON ASSOCIATES (OA), THE RECIPIENT AGREES FOR ITSELF, ITS SUCCESSORS, ASSIGNS, INSURERS AND ALL THOSE CLAIMING UNDER OR THROUGH IT, THAT BY USING ANY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE, ALL USERS AGREE TO BE BOUND BY THE FOLLOWING TERMS. ALL OF THE INFORMATION CONTAINED IN THIS ELECTRONIC FILE IS THE WORK PRODUCT AND INSTRUMENT OF SERVICE OF OA, WHO SHALL BE DEEMED THE AUTHOR, AND SHALL RETAIN ALL COMMON LAW, STATUTORY LAW AND OTHER RIGHTS, INCLUDING COPYRIGHTS, UNLESS THE SAME HAVE PREVIOUSLY BEEN TRANSFERRED IN WRITING TO THE RECIPIENT. THE INFORMATION CONTAINED IN THE ELECTRONIC FILE IS PROVIDED FOR THE CONVENIENCE OF THE RECIPIENT AND IS PROVIDED IN "AS IS" CONDITION, THE RECIPIENT IS AWARE THAT DIFFERENCES MAY EXIST BETWEEN THE ELECTRONIC FILES AND THE PRINTED HARD-COPY ORIGINAL SIGNED AND SEALED DRAWINGS OR REPORTS. IN THE EVENT OF A CONFLICT BETWEEN THE SIGNED AND SEALED ORIGINAL DOCUMENTS PREPARED BY OA AND THE ELECTRONIC FILES TRANSFERRED HEREWITH, THE SIGNED AND SEALED ORIGINAL DOCUMENTS SHALL GOVERN. OA SPECIFICALLY DISCLAIMS ALL WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING WITHOUT LIMITATION, ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO ELECTRONIC FILES. IT SHALL BE THE RECIPIENT'S RESPONSIBILITY TO CONFIRM THE ACCURACY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE AND THAT IF ACCURATELY REFLECTS THE INFORMATION NEEDED BY THE RECIPIENT. THE RECIPIENT SHALL NOT RETRANSMIT THE ELECTRONIC FILE, OR ANY PORTION THEREOF, WITHOUT INCLUDING THIS DISCLAIMER AS PART OF ANY SUCH TRANSMISSION. IN ADDITION, THE RECIPIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS OA, ITS OFFICERS, DIRECTORS, EMPLOYEES AND SUBCONSULTANTS AGAINST ANY AND ALL DAMAGES, LIABILITIES, CLAIMS OR COSTS, INCLUDING REASONABLE ATTORNEY'S AND EXPERT WITNESS FEES AND DEFENSE COSTS, ARISING FROM ANY CHANGES MADE BY ANYONE OTHER THAN OA OR FROM ANY REUSE OF THE ELECTRONIC FILES WITHOUT THE PRIOR WRITTEN CONSENT OF OA.
27.

DESIGN PROFESSIONAL SHALL REVIEW SHOP DRAWINGS OR SAMPLES FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPTS ON THE PROJECT AND FOR COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS, AND SHALL NOT EXTEND TO MEANS OR METHODS OF CONSTRUCTION. THE DESIGN PROFESSIONAL'S REVIEW SHALL NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ANY VARIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS UNLESS CONTRACTOR HAS IN WRITING CALLED DESIGN PROFESSIONAL'S ATTENTION TO EACH SUCH VARIATION AT THE TIME OF SUBMISSION, AND DESIGN PROFESSIONAL HAS GIVEN WRITTEN APPROVAL OF EACH SUCH VARIATION BY SPECIFIC WRITTEN NOTATION THEREOF INCORPORATED INTO OR ACCOMPANYING THE SHOP DRAWING OR SAMPLE; NOR WILL ANY APPROVAL BY THE DESIGN PROFESSIONAL RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS WITH CONFORMANCE TO CONTRACT DOCUMENTS.

28.

GENERAL CONSTRUCTION NOTE REGARDING SEQUENCING OF EROSION CONTROL – ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN, EXCEPT THAT SILT FENCE WHICH IS TO BE PLACED ALONG THE BACK OF CURB FOR PROTECTION OF THE STREET. SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR UNTIL ALL UTILITIES ARE IN PLACE. THE SILT FENCE THAT IS PLACED ALONG THE BACK OF THE CURB OR RIGHT –OF-WAY WILL BE INSTALLED IMMEDIATELY AFTER THE CURB IS CONSTRUCTED. EROSION AND SEDIMENTATION CONTROLS ARE TEMPORARY AND MUST BE REMOVED BY THE CONTRACTOR AFTER CONSTRUCTION IS COMPLETE AND THE DISTURBED AREA IS AT LEAST 70% PERMANENTLY VEGETATED.
29.

HANDICAP PARKING STALLS SHALL BE SIGNED WITH CITY/ADA APPROVED SIGNAGE AND CONSTRUCTED IN STRICT ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT ADA STANDARDS, AND SHALL NOT EXCEED 2.00 PERCENT IN ANY DIRECTION. ACCESSIBLE SIDEWALKS HAVE A MAXIMUM CROSS SLOPE OF 2 PERCENT AND A MAXIMUM LONGITUDINAL SLOPE OF 5 PERCENT.
30.

ALL WATER LINES SHALL BE INSTALLED PER THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MO. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN.
31.

ALL WATER LINES SHALL BE INSTALLED PER CITY STANDARDS. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN.
32.

ALL EXTERIOR CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI, SHALL MEET KOMMB STANDARDS AND SPECIFICATIONS, AND SHALL BE AIR ENTRAINED. FLYASH IS NOT A SUITABLE REPLACEMENT FOR PORTLAND CEMENT.
33.

ALL ON-SITE WIRING AND CABLES SHALL BE PLACED UNDERGROUND.
34.

CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED AS FOLLOWS (REFER TO HARDSCAPE PLANS FOR SPECIFIC TREATMENT OF THESE AREAS):

A.

CONTROL JOINTS SPACED AT INTERVALS NOT GREATER THAN 12 FEET AND TOOLED TO 1/3 THE SLAB THICKNESS.

B.

CONSTRUCTION JOINTS AT THE END OF EACH POUR AND WHEN PAVING OPERATIONS ARE SUSPENDED FOR 30 MINUTES OR MORE.

C.

ISOLATION JOINTS PLACED WHERE THE PAVEMENT ABUTS THE BUILDING, DRAINAGE STRUCTURES AND OTHER FIXED STRUCTURES, CONSTRUCTED WITH A 1/2" NONEXTRUDING FILLER, CLOSED-CELL FOAM RUBBER OR A BITUMEN-TREATED FIBER-BOARD, AND WITH A THICKENED EDGE, INCREASED BY 20 PERCENT, TAPERED TO THE REGULAR THICKNESS IN 5 FEET.

D.

ALL EXPANSION JOINTS SHALL BE FILLED AND SEALED WITH A PLASTIC JOINT SEALANT MATERIAL.
34.

TELEPHONE AND COMMUNICATION SERVICE ROUTING AND CONDUITS NOT SHOWN ON PLANS. CONTRACTOR SHALL INSTALL NECESSARY CONDUIT PRIOR TO PAVEMENT INSTALLATION. CONTRACTOR SHALL COORDINATE ROUTING AND INSTALLATION SCOPE WITH SERVICE PROVIDER.
35.

ANY CONTRACTOR BIDDING ANY PORTION OF THIS WORK SHALL HAVE IN HIS OR HER POSSESSION A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND BE FAMILIAR WITH ALL SCOPES OF WORK AND TRADES TO UNDERSTAND THEIR INTERACTIONS.

GENERAL UTILITY NOTES

1.

THE SIZE AND LOCATION OF SERVICES SHALL BE VERIFIED WITH THE ARCHITECTURAL AND MEP PLANS PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
2.

IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SLEEVING UNDER PAVING AREAS WHERE NECESSARY.
3.

INSTALL ALL PIPE LENGTHS, BENDS AND FITTINGS NECESSARY FOR UTILITY CONNECTIONS.
4.

CONTRACTOR SHALL VERIFY ALL CROSSING ELEVATIONS AND LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION OF STORM LINES AND ALL UTILITY SERVICE CONNECTIONS. ANY CONFLICTS SHALL BE MADE KNOWN TO THE ENGINEER AND RESOLVED PRIOR TO CONSTRUCTION.
5.

CONTRACTOR TO VERIFY FIRE SERVICE SIZE WITH SPRINKLER DESIGNER/CONTRACTOR PRIOR TO CONSTRUCTION AND INSTALLATION OF METER/BACKFLOW PREVENTER AND SERVICES. NOTIFY ENGINEER OF ALTERATIONS.
6.

CONTRACTOR RESPONSIBLE FOR PAYING ALL TAP AND CONNECTION FEES AND SHALL CONTRACT AND PAY FOR ANY REQUIRED SUB CONTRACTORS BY UTILITY COMPANIES.
7.

REFERENCE MEP PLANS FOR BUILDING CONNECTIONS.
8.

CONTRACTOR TO REPAIR ALL AREA DAMAGED BY CONSTRUCTION TO EXISTING CONDITIONS OR BETTER.
9.

BACK FLOW PREVENTION TO BE PROVIDED INSIDE BUILDING. SEE MEP AND ARCHITECTURAL PLANS FOR DETAILS.
10.

LOCATION FOR POWER SHOWN IS APPROXIMATE AND SUBJECT TO CHANGE. CONTRACTOR TO VERIFY FINAL LOCATION AND DESIGN WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
11.

CONTRACTOR TO COORDINATE LIGHT POLE LOCATIONS WITH OWNER, STORM SEWER INSTALLATION AND UTILITY COMPANIES PRIOR TO INSTALLATION TO AVOID CONFLICTS. NOTIFY ENGINEER AND ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
12.

WATER METER CANNOT BE INSTALLED IN THE BUILDING.
13.

CONTRACTOR SHALL COORDINATE CABLE/FIBER OPTIC CONDUIT AND SERVICE INSTALLATION WITH UTILITY COMPANY.
14.

ALL TAPS AND CONNECTIONS FOR FIRE AND DOMESTIC WATER SERVICES ARE TO BE IN ACCORDANCE WITH THE CITY OF LEES SUMMIT STANDARDS AND SPECIFICATIONS.
15.

CONTRACTOR TO COORDINATE POWER ROUTING TO MONUMENT SIGNS NOT SHOWN ON PLANS.
16.

ALL ROOF DRAIN AND DOWNSPOUT HEADER PIPES SHALL BE 12" HDPE PIPE AND INSTALLED AT 1.00% MINIMUM SLOPE UNLESS OTHERWISE NOTED WITHIN THIS PLAN. ALL BENDS AND FITTINGS NEEDED TO BUILD ROUTING AS SHOWN SHALL BE INCLUDED IN BID.
17.

CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY FITTINGS TO COMPLETE ROOF DRAIN AND DOWNSPOUT CONNECTIONS TO BUILDINGS. ALL ROOF DRAIN AND DOWNSPOUT CONNECTIONS / FITTINGS, INCLUDING BUT NOT LIMITED TO BENDS AND TEES, SHALL BE MADE OF HDPE PIPE UNLESS OTHERWISE NOTED WITHIN THIS PLAN.

RELEASED FOR CONSTRUCTION

As Noted on Plan Review

Development Services Department

Lee's Summit, Missouri

06/30/2025



| REV. | NO. | DATE | REVISIONS DESCRIPTION | BY |
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| 1 | | 11-14-2024 | REVISED PER CITY COMMENTS | RLK |
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GENERAL NOTE

FINAL DEVELOPMENT PLAN

COLBERN ROAD IMPROVEMENTS

MCPL - COLBERN ROAD

LEE'S SUMMIT, MISSOURI

2024



THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, & OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. CALL 1-800-DIG-RITE.

drawn by:

checked by:

approved by:

QA/QC by:

project no.:

drawing no.:

date:

JTF

TP

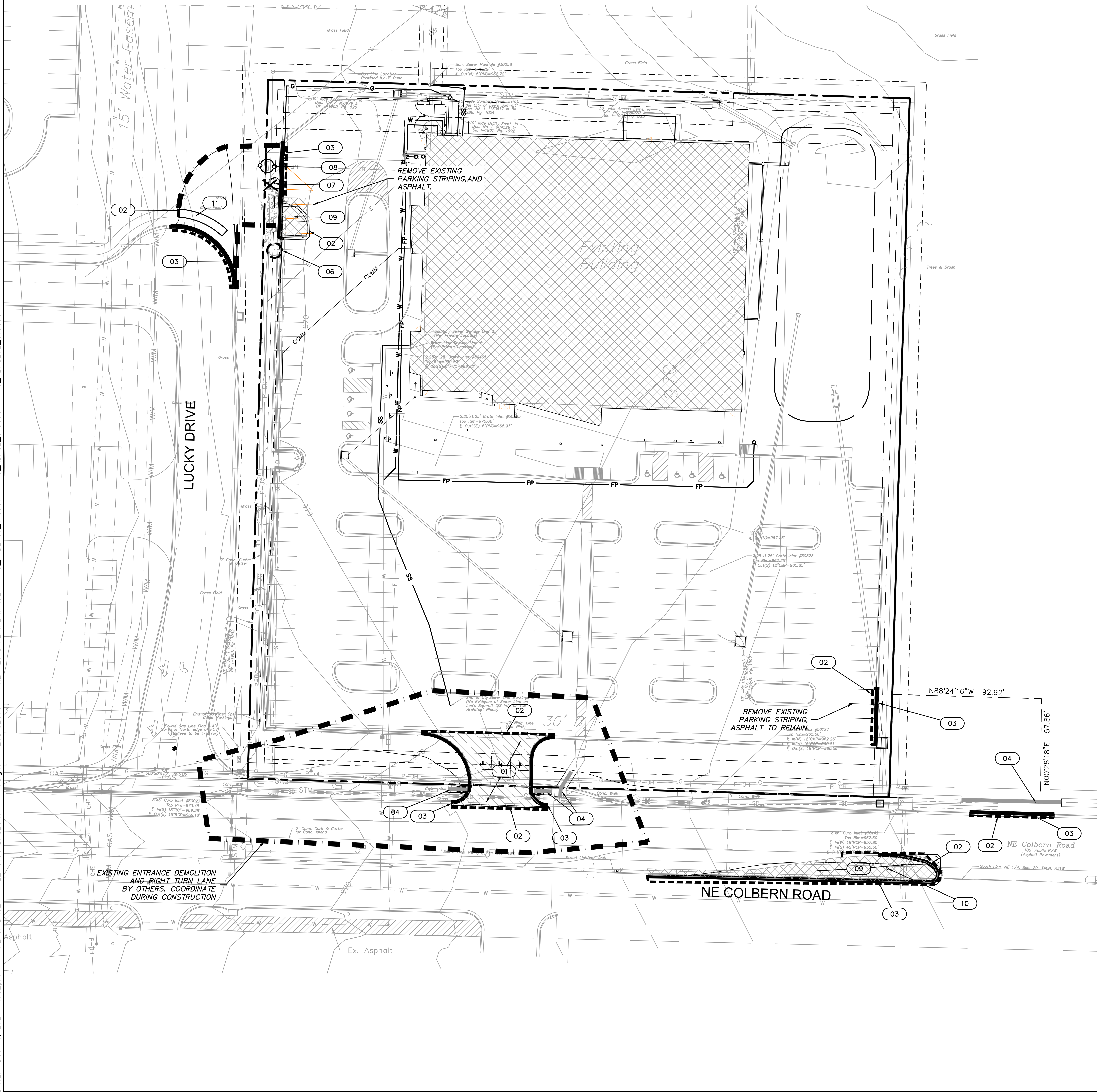
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11/01/2024



LEGEND






PROPERTY LINE

RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

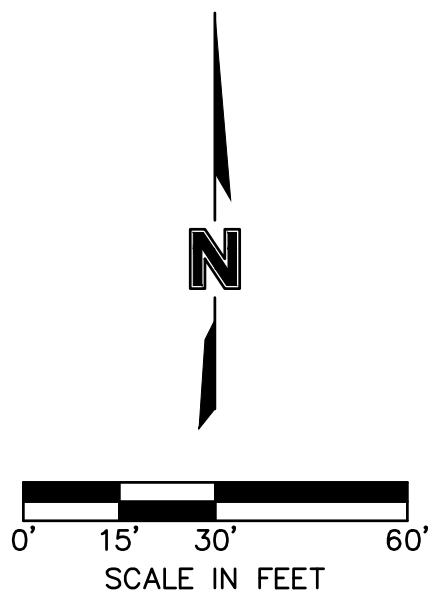
06/30/2025

KEY NOTE LEGEND

| | | |
|---|----|---|
|  | 01 | REMOVE EXISTING CONCRETE ENTRANCE. |
| | 02 | SAWCUT EXISTING PAVEMENT |
| | 03 | REMOVE EXISTING CURB & GUTTER |
| | 04 | NOT USED |
| | 05 |  PROTECT EXISTING UTILITY EQUIPMENT/ MANHOLE |
| | 06 |  INSTALL TREE PROTECTION. SEE DETAIL ON C6.5 |
| | 07 |  REMOVE EXISTING TREE |
| | 08 |  RELOCATE EXISTING ELECTRICAL BOX |
| | 09 | REMOVE EXISTING ASPHALT |
| | 10 | CONTRACTOR TO RELOCATE EXISTING LIGHT POLE. COORDINATE WITH CITY OF LS. |
| | 11 | REMOVE EXISTING CONCRETE SIDEWALK |

DEMOLITION NOTES

1. CONTRACTOR TO PRESERVE ALL SURVEY CONTROL.
2. CONTRACTOR TO COMPLETE DEMOLITION PER THE INTENT OF THESE PLANS.
3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS INCLUDES PRIVATE AND PUBLIC UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT MISSOURI ONE CALL AT 1-800-344-7483 IN ADVANCE OF ANY EXCAVATION TO COORDINATE UTILITY LOCATIONS.
4. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER EXISTING LINES NOT OF RECORD OR SHOWN ON THESE PLANS.
5. CONTRACTOR TO REMOVE ALL TREES AND BRUSH FOR INSTALLATION OF IMPROVEMENTS.
6. REMOVAL AND DISPOSAL OF BUSHES AND TREES SMALLER THAN 12" IN DIAMETER SHALL BE CONSIDERED SUBSIDIARY TO THE PRICE BID FOR CLEARING AND GRUBBING.
7. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
8. DO NOT DISRUPT UTILITY SERVICE TO ADJACENT BUSINESSES OR RESIDENCES WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
9. DO NOT DISRUPT TRAFFIC ON ADJACENT PUBLIC STREETS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY.
10. ALL SIDEWALK AND PAVEMENT TO REMAIN SHALL BE PROTECTED IN PLACE INCLUDING PROTECTION FROM DAMAGE CAUSED BY REMOVAL OF ABUTTING PAVEMENT. CONTRACTOR SHALL SAW CUT WHERE NECESSARY.
11. CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DISCONNECTION, DEMOLITION, AND REMOVAL OF SERVICE LINES. CAP ALL LINES BEFORE PROCEEDING WITH WORK ON THIS CONTRACT.
12. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES WORK FORCE AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES.
13. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. TO THE BEST PRACTICES AND AS APPROVED BY THE ENGINEER AND THE CITY.
14. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
15. DEMOLITION OF BUILDINGS SHALL INCLUDE THE BUILDING STRUCTURE, PAD, FOOTINGS, FOUNDATIONS, BASEMENT WALLS, BASEMENT FLOORS, TRUCK DOCKS, STEPS, DECKS, ALL ITEMS REMAINING IN BUILDING, ALL BUILDING UTILITY SERVICES, SIDEWALKS, AND BACKFILLING AND RESTORING REMAINING EXCAVATIONS, BASEMENTS AND TRENCHES PER SPECIFICATIONS. ALL REMOVALS SHALL INCLUDE BUT NOT BE LIMITED TO ITEMS SUCH AS BUILDING FOOTINGS, SUBSURFACE STRUCTURES, SURFACE STRUCTURES, DRAINAGE STRUCTURES, PIPES, PAVEMENT OF ALL TYPES, CURB & GUTTER, SIDEWALK, ROCK, ABANDONED UTILITIES AS DIRECTED BY THE ENGINEERS, TREES, TREE ROOTS, ANY UNKNOWN MATERIALS, AND UNSUITABLE SUBGRADE MATERIALS. THE SITE SHOULD BE CLEARED FOR THE PROPOSED IMPROVEMENTS PER CITY REQUIREMENTS.
16. ALL LIGHT POLE DEMOLITION SHALL INCLUDE FIXTURES, BASES AND WIRING.
17. ALL UTILITY DEMOLITION SHALL INCLUDE METERS, MANHOLES AND OTHER STRUCTURES ASSOCIATED WITH THE UTILITY SERVICE LINE.



DEMOLITION PLAN FINAL DEVELOPMENT PLAN

COLBERN ROAD IMPROVEMENTS
MCPL-COLBERN ROAD

LEE'S SUMMIT, MISSOURI

2024

REVISIONS

[illegible]

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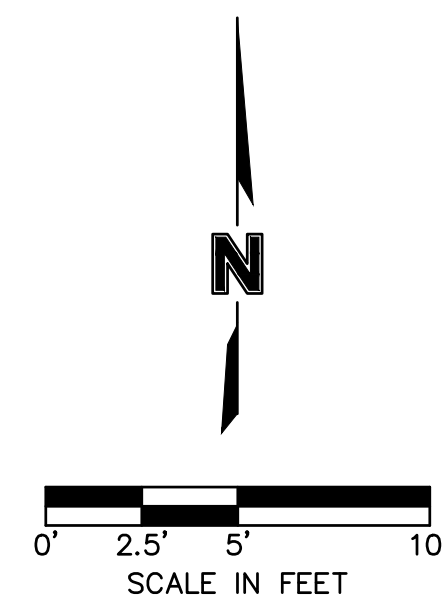
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drawn by: JTF
checked by: TP
approved by: TP
QA/QC by: BS
project no.: 018-0330 WP10
drawing no.: DEM_0180330.dwg
date: 11/01/2024





**CONTRACTOR TO FIELD VERIFY ELEVATION
PRIOR TO CONSTRUCTION. NOTIFY THE
ENGINEER OF DISCREPANCIES.**



RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

06/30/2025

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GRADING DETAILS

FINAL DEVELOPMENT PLAN

COLBERN ROAD IMPROVEMENTS

MCPL -COLBERN ROAD

LEE'S SUMMIT, MISSOURI

drawn by: JTF
checked by: TP
approved by: TP
QA/QC by: BS
project no.: 018-0330 WP10
drawing no. C GRD 0180330.dwg
date: 11/01/2024

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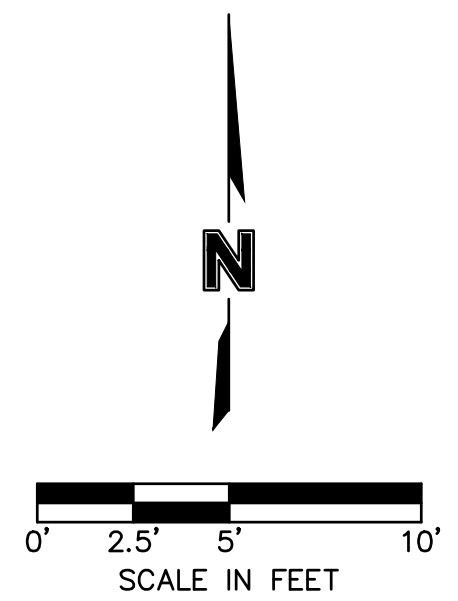
LEE'S SUMMIT, MISSOURI

GRADING DETAILS FINAL DEVELOPMENT PLAN

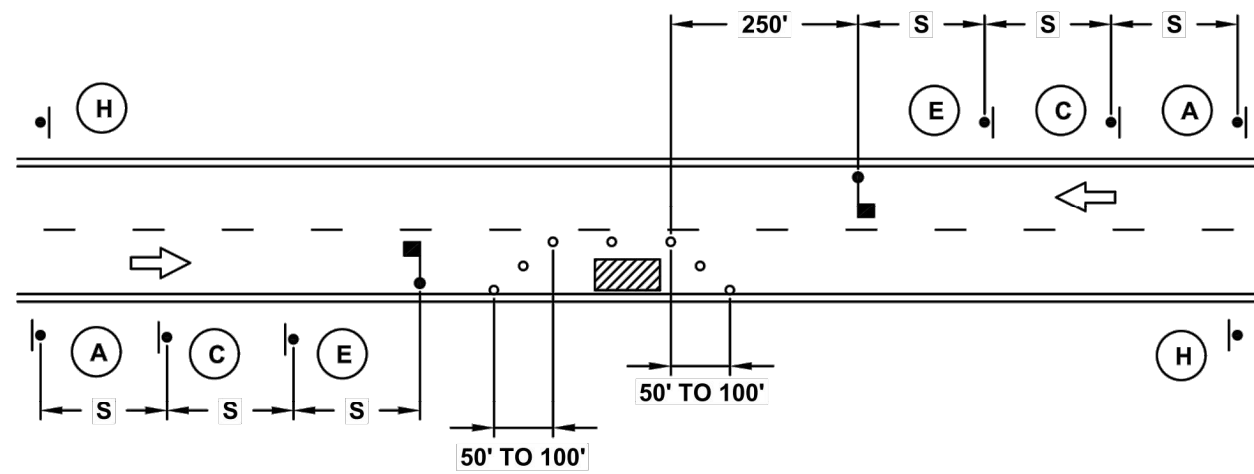
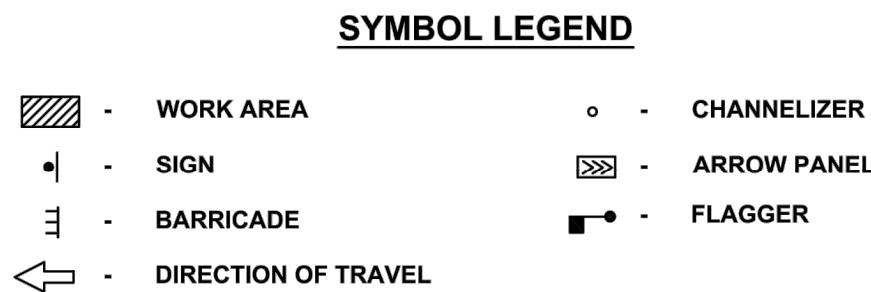
COLBERN ROAD IMPROVEMENTS
MCPL -COLBERN ROAD

Drawn by: _____ JTF
 Checked by: _____ TP
 Approved by: _____ TP
 A/QC by: _____ BS
 Project no.: 018-0330 WP10
 Drawing no. C_GRD_0180330.dwg
 Date: 11/01/2024

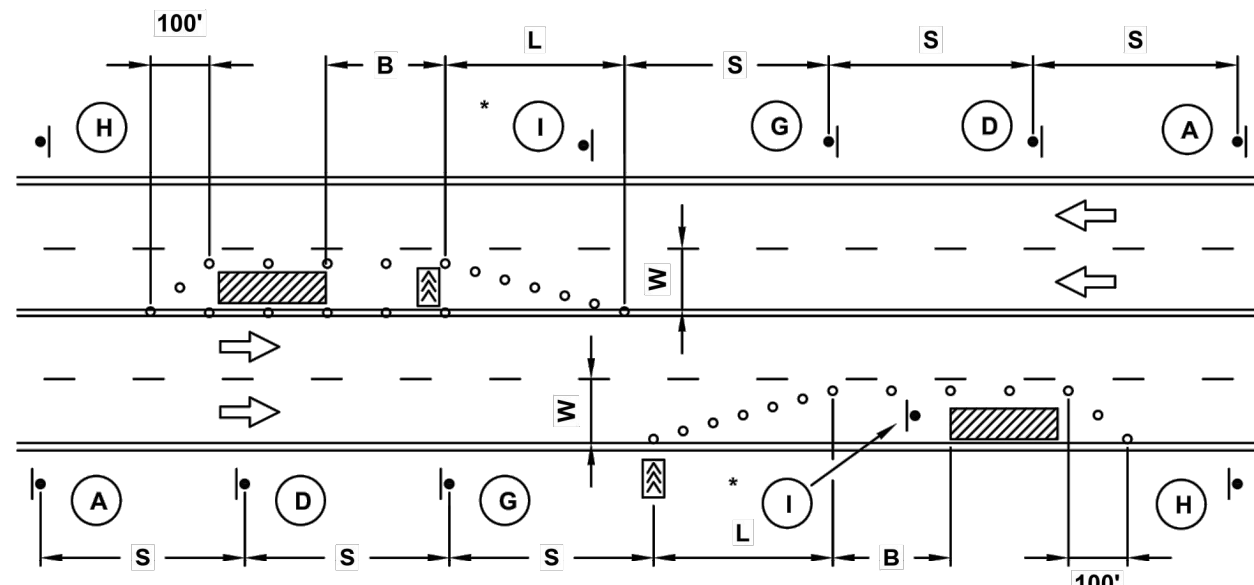
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CONTRACTOR TO FIELD VERIFY ELEVATION PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF DISCREPANCIES.

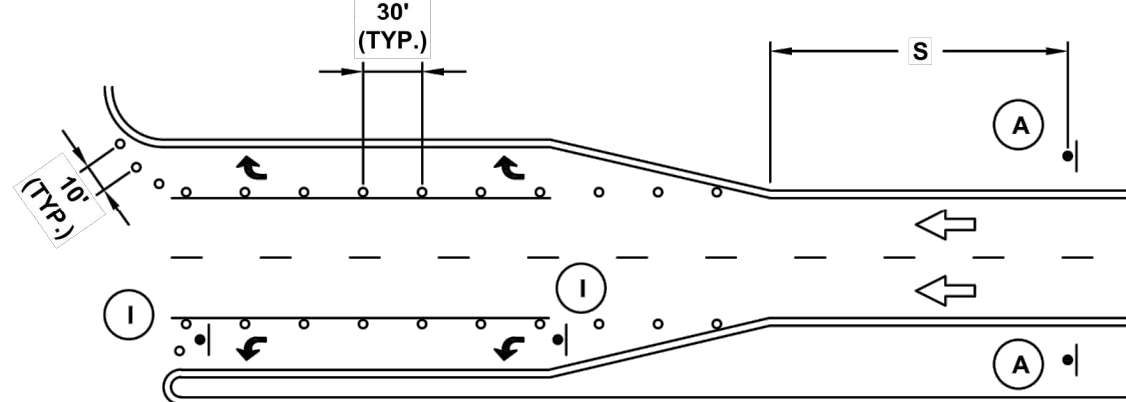


LANE CLOSURE - TWO LANE STREET

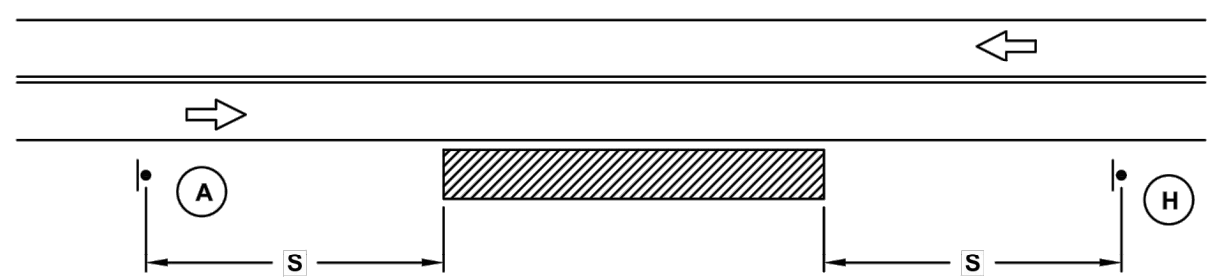


LANE CLOSURE - FOUR LANE STREET

* INSTALL SIGNS EVERY 200 FEET THROUGHOUT THE CLOSED LANE OR AS NEEDED



TURN LANE CLOSURE

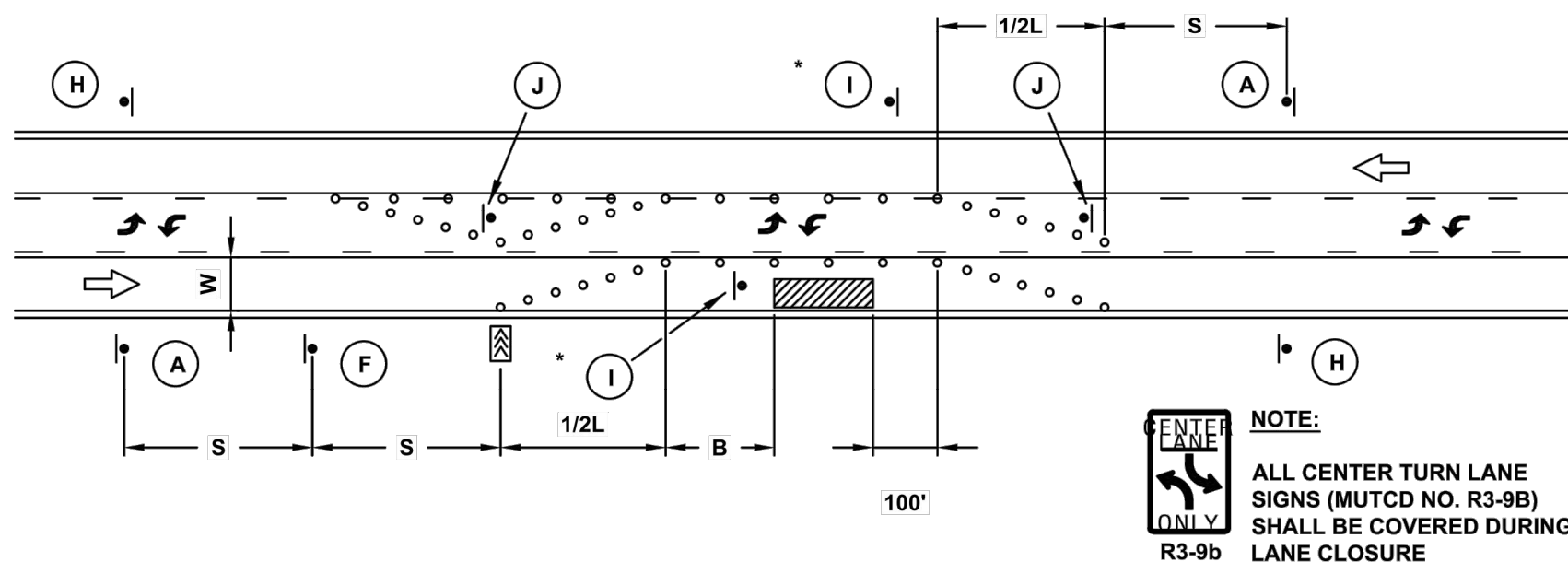
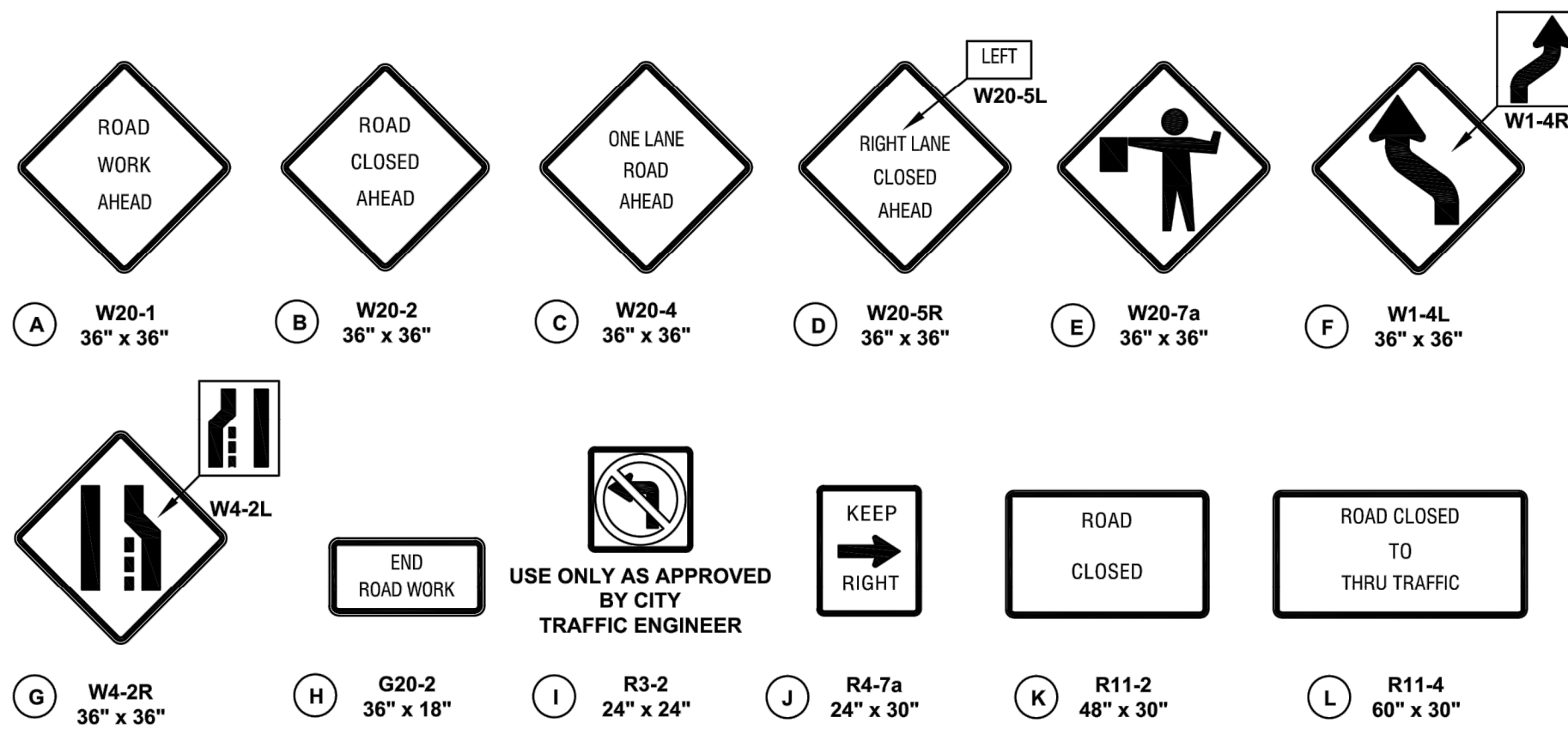


TYPICAL SIGNING FOR WORK ADJACENT TO THE STREET

| GUIDELINES FOR LENGTH OF LONGITUDINAL BUFFER SPACE "B" | | MAXIMUM CHANNELIZER SPACING | | |
|--|---------------|-----------------------------|---------------------|----------------------|
| SPEED LIMIT (MPH) | LENGTH (FEET) | SPEED LIMIT (MPH) | WITHIN TAPER (FEET) | OUTSIDE TAPER (FEET) |
| 25 | 35 | 25 | 25 | 50 |
| 30 | 55 | 30 | 30 | 60 |
| 35 | 85 | 35 | 35 | 70 |
| 40 | 120 | 40 | 40 | 80 |
| 45 | 170 | 45 | 45 | 90 |

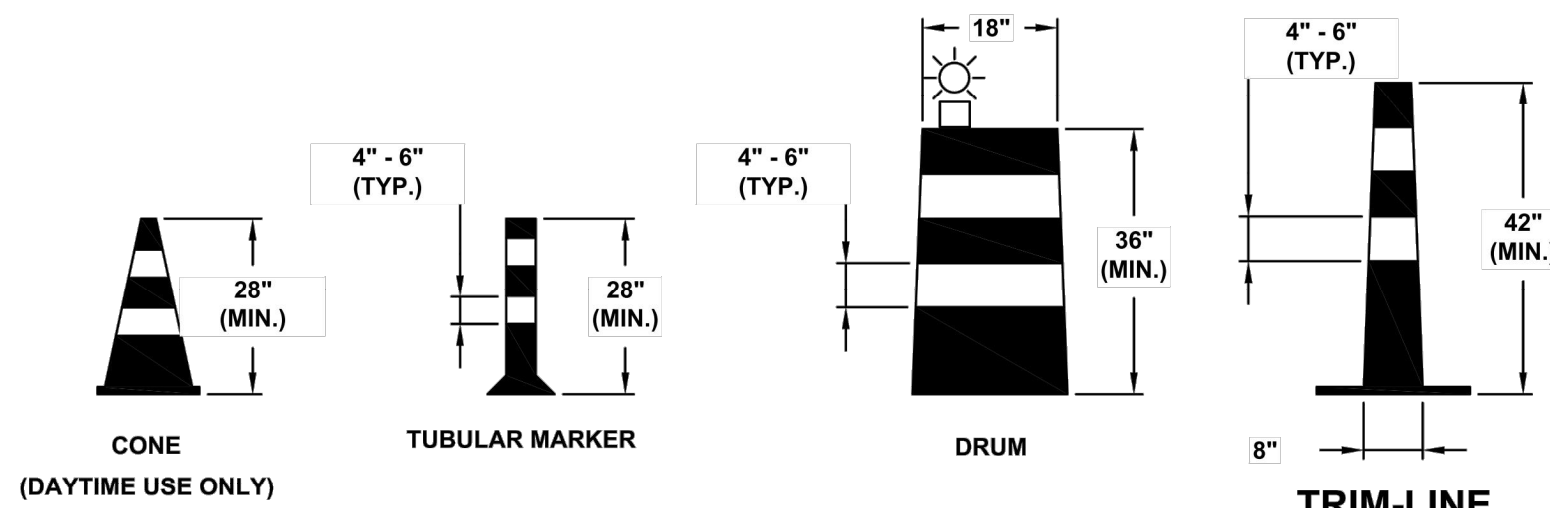
| TAPER DIMENSIONS (FEET) | | | | | SIGN SPACING "S" | |
|-------------------------|--|-----|-----|--------------------------------|-------------------|----------------|
| SPEED LIMIT (MPH) | MINIMUM TAPER LENGTH "L", PER LANE WIDTH "W" | | | MINIMUM NUMBER OF CHANNELIZERS | SPEED LIMIT (MPH) | SPACING (FEET) |
| | 10 | 11 | 12 | | | |
| 25 | 105 | 115 | 125 | 6 | 25 | 100 |
| 30 | 150 | 165 | 180 | 7 | 30-35 | 250 |
| 35 | 205 | 225 | 245 | 8 | ≥ 40 | 350 |
| 40 | 270 | 295 | 320 | 9 | | |
| 45 | 450 | 495 | 540 | 13 | | |

SIGN LEGEND



LANE CLOSURE - THREE LANE STREET

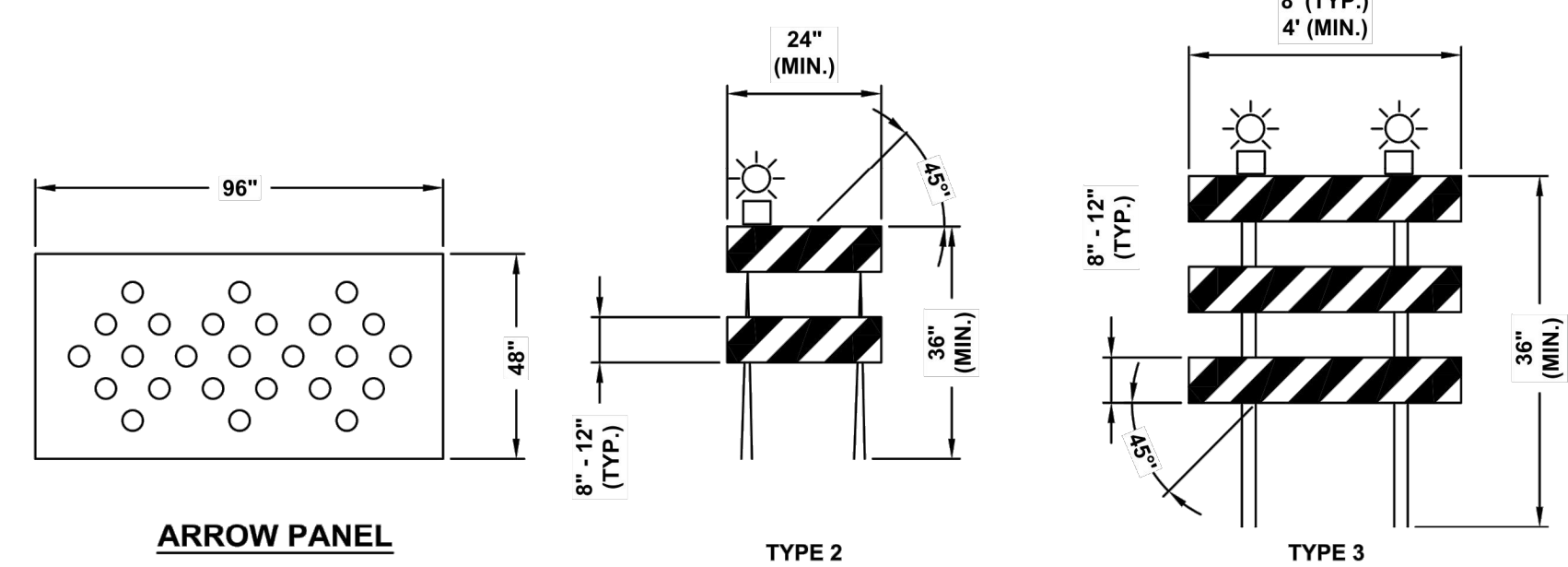
* INSTALL SIGNS EVERY 200 FEET THROUGHOUT THE CLOSED LANE OR AS NEEDED



CHANNELIZERS

TRIM-LINE

NOTE: WHITE BANDS ON BARRICADES AND CHANNELIZERS SHALL BE MADE FROM HIGH INTENSITY SHEETING MATERIAL.



ARROW PANEL

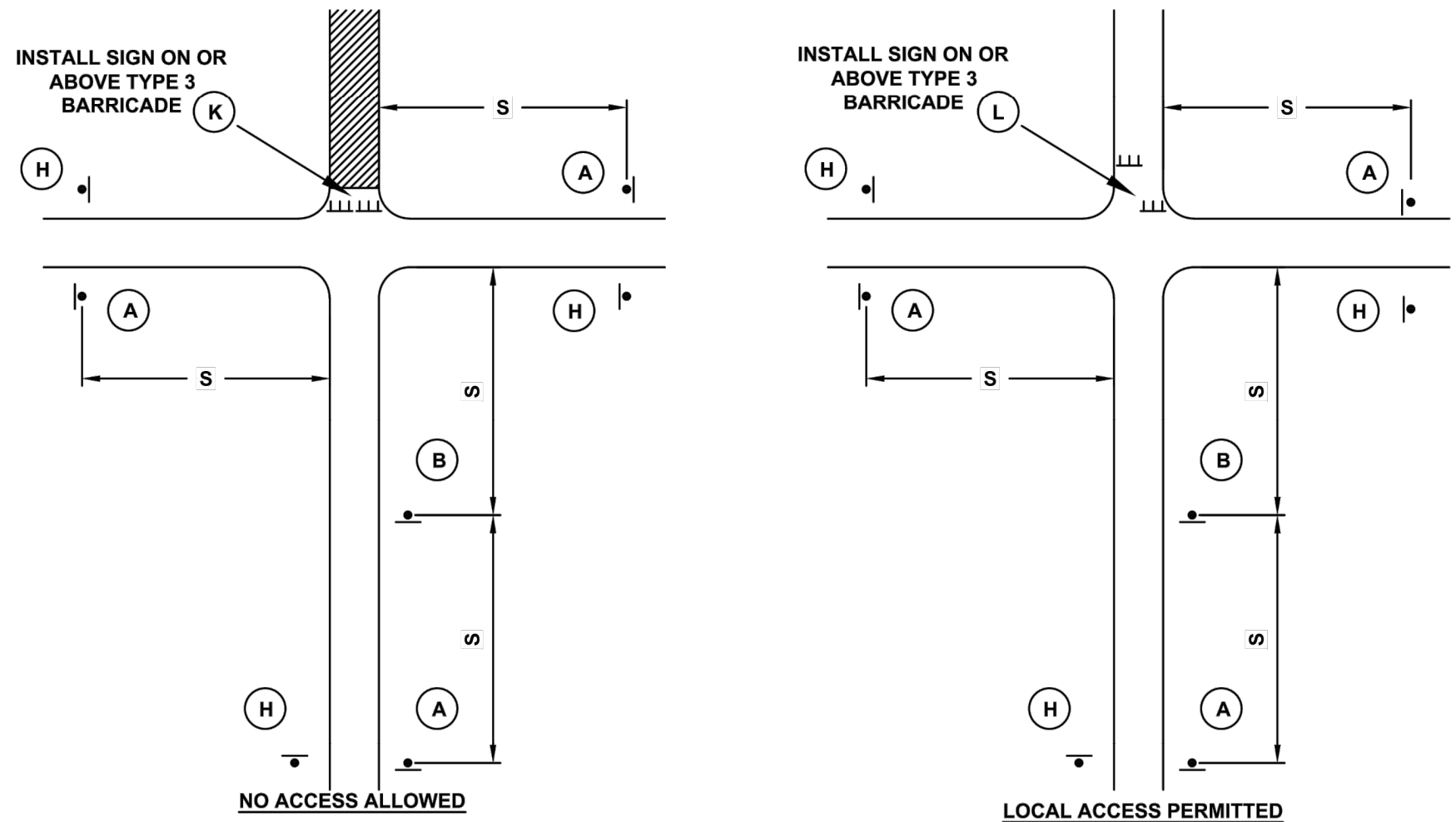
BARRICADES

(OPTIONAL ON TWO LANE AND THREE LANE STREETS WITH SPEEDS LESS THAN 35 MPH)

GENERAL NOTES:

- ALL SIGNS, BARRICADES, CHANNELIZERS, MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE **MUTCD**.
- ALL TRAFFIC CONTROL DEVICES SHALL BE STANDARD IN SIZE, SHAPE, COLOR, AND MESSAGE, IN GOOD CONDITION, AND RETRO-REFLECTORIZED. ALL SIGNS SHALL BE SECURELY MOUNTED WITH HEIGHT AND LATERAL LOCATION AS DESCRIBED IN THE MUTCD.
- WARNING LIGHTS SHALL BE USED ON BARRICADES IN PLACE AT NIGHT AND ON WARNING SIGNS WHICH ALERT DRIVERS ABOUT A CHANGE IN ALIGNMENT, TRAFFIC CONTROL, LANE CLOSURE, OR ROAD CLOSURE.
- FLAGGERS SHALL BE USED WHERE INDICATED ON THE PLANS, WHERE CONSTRUCTION VEHICLES INTERACT WITH NORMAL TRAFFIC, OR WHERE CONSTRUCTION ACTIVITIES IMPOSE A RESTRICTION ON TRAFFIC, AS DIRECTED BY THE CITY TRAFFIC ENGINEER. WHERE FLAGGERS ARE USED, ADVANCE SIGNING SHALL BE ERECTED AS SHOWN IN THE DETAILS OR AS SPECIFIED IN THE MUTCD. FLAGGERS SHALL MEET THE REQUIREMENTS IN THE MUTCD IN REGARD TO CHARACTER, TRAINING, ATTIRE, AND BEHAVIOR.
- TRIM-LINES ARE THE CITY'S PREFERRED CHANNELIZING DEVICE. CONES MAY NOT BE USED AT NIGHTTIME.
- TRAFFIC CONTROL DEVICES NOT IN USE OR NOT APPLICABLE SHALL BE EITHER COVERED OR REMOVED FROM THE WORK AREA.
- THE CONTRACTOR SHALL USE BARRICADES, STREET PLATES, OR FENCING AS NEEDED TO EFFECTIVELY SHIELD PEDESTRIAN AND VEHICULAR TRAFFIC FROM EXPOSED OBJECTS, EXCAVATIONS, AND CONSTRUCTION ACTIVITIES.
- ACCESS SHALL BE MAINTAINED TO ALL DRIVEWAYS AND SIDE STREETS UNLESS NOTED OTHERWISE ON THE PLANS.
- NO STREET SHALL BE CLOSED WITHOUT THE APPROVAL OF THE CITY TRAFFIC ENGINEER. THE CONTRACTOR SHALL NOTIFY THE CITY TRAFFIC ENGINEER AT LEAST 7 DAYS IN ADVANCE OF ANY STREET CLOSURE. IF A DETOUR ROUTE AROUND THE CLOSURE IS TO BE PROVIDED, ALL DETOUR SIGNING SHALL BE AS SHOWN ON A PLAN APPROVED BY THE CITY TRAFFIC ENGINEER.
- CONSTRUCTION VEHICLES PARKED ALONG STREETS SHALL BE LOCATED WITHIN THE WORK AREA (TRAFFIC CONTROL) OR WHERE OTHERWISE NORMALLY PERMITTED. CONSTRUCTION MATERIALS, INCLUDING TRAFFIC CONTROL AND VEHICLES SHALL NOT RESTRICT SIGHT DISTANCE FOR VEHICLES EXITING AT STREETS OR DRIVES.
- CONSTRUCTION MATERIALS SHALL BE KEPT OFF OF SIDEWALKS, CONSOLIDATED IN ONE LOCATION WITHIN CITY RIGHT-OF-WAY, AND REMOVED DAILY UNLESS OTHERWISE APPROVED BY THE INSPECTOR. DIRT, MUD, AND OTHER CONSTRUCTION DEBRIS ON STREETS AND SIDEWALKS SHALL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK THAT WILL RESTRICT VEHICULAR TRAFFIC IN ANY WAY BETWEEN THE HOURS OF 7:00 A.M. AND 9:00 A.M. OR 4:00 P.M. AND 6:00 P.M. MONDAY THROUGH FRIDAY UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS.
- ALL TRAVEL LANES SHOULD BE AT LEAST 11 FEET WIDE UNLESS OTHERWISE AUTHORIZED BY THE CITY TRAFFIC ENGINEER. A "NARROW LANES" SIGN SHALL BE INSTALLED IN ADVANCE OF A LANE WIDTH REDUCTION TO LESS THAN 11 FEET.
- ALL EDGE DROP-OFFS OF MORE THAN 2 INCHES AND LESS THAN 4 INCHES SHOULD BE PROTECTED BY A WEDGE OR BARRIER AND ALL EDGE DROP-OFFS GREATER THAN 4 INCHES SHALL HAVE EDGE PROTECTION (SEE TRAFFIC CONTROL SPECIFICATIONS FOR EDGE TREATMENT REQUIREMENTS).
- THE "WORKERS" SYMBOLIC SIGN (MUTCD NO. W21-1A) MAY BE USED INSTEAD OF THE "ROAD WORK AHEAD" SIGN FOR WORK WITH A DURATION OF 12 HOURS OR LESS. THE "END ROAD WORK" SIGN IS NOT REQUIRED TO BE INSTALLED AFTER THE "WORKERS" SIGN.
- NO TRAFFIC SIGNAL SHALL BE ALTERED OR MODIFIED IN ANY WAY WITHOUT A PLAN APPROVED BY THE CITY TRAFFIC ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TRAFFIC CONTROL DEVICES ON AN AROUND-THE-CLOCK BASIS, WHETHER OR NOT WORK IS ACTIVELY BEING PURSUED AND ANY DEFICIENCIES NOTED SHALL BE CORRECTED IMMEDIATELY.
- THE TRAFFIC CONTROL REQUIREMENTS SHOWN ON THESE PLANS ARE MINIMUM REQUIREMENTS ONLY AND DO NOT ATTEMPT TO ADDRESS IN DEPTH THE VARIETY OF SITUATIONS THAT MAY OCCUR ONCE CONSTRUCTION HAS STARTED. IN NO WAY DO THE REQUIREMENTS SHOWN ON THESE PLANS RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR SELECTING THE PROPER TRAFFIC CONTROL DEVICES AND IMPLEMENTATION PROCEDURES THAT WILL ASSURE THE SAFETY OF DRIVERS, PEDESTRIANS, AND WORKERS AT ALL TIMES.
- SHOULD THE CONTRACTOR FAIL TO ENFORCE THE TRAFFIC CONTROL PLAN OR FAIL TO CLEAN, REPLACE OR OTHERWISE MAINTAIN THE TRAFFIC CONTROL DEVICES WHEN DIRECTED TO DO SO BY THE CITY TRAFFIC ENGINEER OR REPRESENTATIVE, THE CITY MAY TAKE ONE OR MORE OF THE FOLLOWING ACTIONS:
 - EMPLOY ANOTHER AGENCY TO CORRECT DEFICIENCIES IN TRAFFIC CONTROL DEVICES AND DEDUCT THE COST FROM THE CONTRACTOR'S PAY ESTIMATE.
 - STOP THE WORK UNTIL DEFICIENCIES ARE CORRECTED.
 - SUSPEND ALL PAY ESTIMATES UNTIL DEFICIENCIES ARE CORRECTED, OR
 - PLACE THE CONTRACTOR IN DEFAULT.

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
06/30/2025



TYPICAL STREET CLOSURE

| REV. | NO. | DATE | DESCRIPTION |
|------|-----|------------|-----------------------|
| 1 | | 11/14/2024 | REVISOR CITY COMMENTS |

| | |
|----------|-------------------------|
| PROJECT: | STANDARD DETAILS |
| PROJECT: | TRAFFIC CONTROL DETAILS |

| | |
|-------------|------------|
| DRAWN BY: | CNS |
| CHECKED BY: | MJF |
| DATE: | 05/13/2024 |
| PROJECT #: | |

TRAFFIC CONTROL DETAILS
FINAL DEVELOPMENT PLAN
COLBURN ROAD IMPROVEMENTS
MCPL - COLBURN ROAD

drawn by: JTF
checked by: TP
approved by: TP
QA/QC by: BS
project no.: 018-0330 WP10
drawing no.: C_DTL01_80330.dwg
date: 11/01/2024

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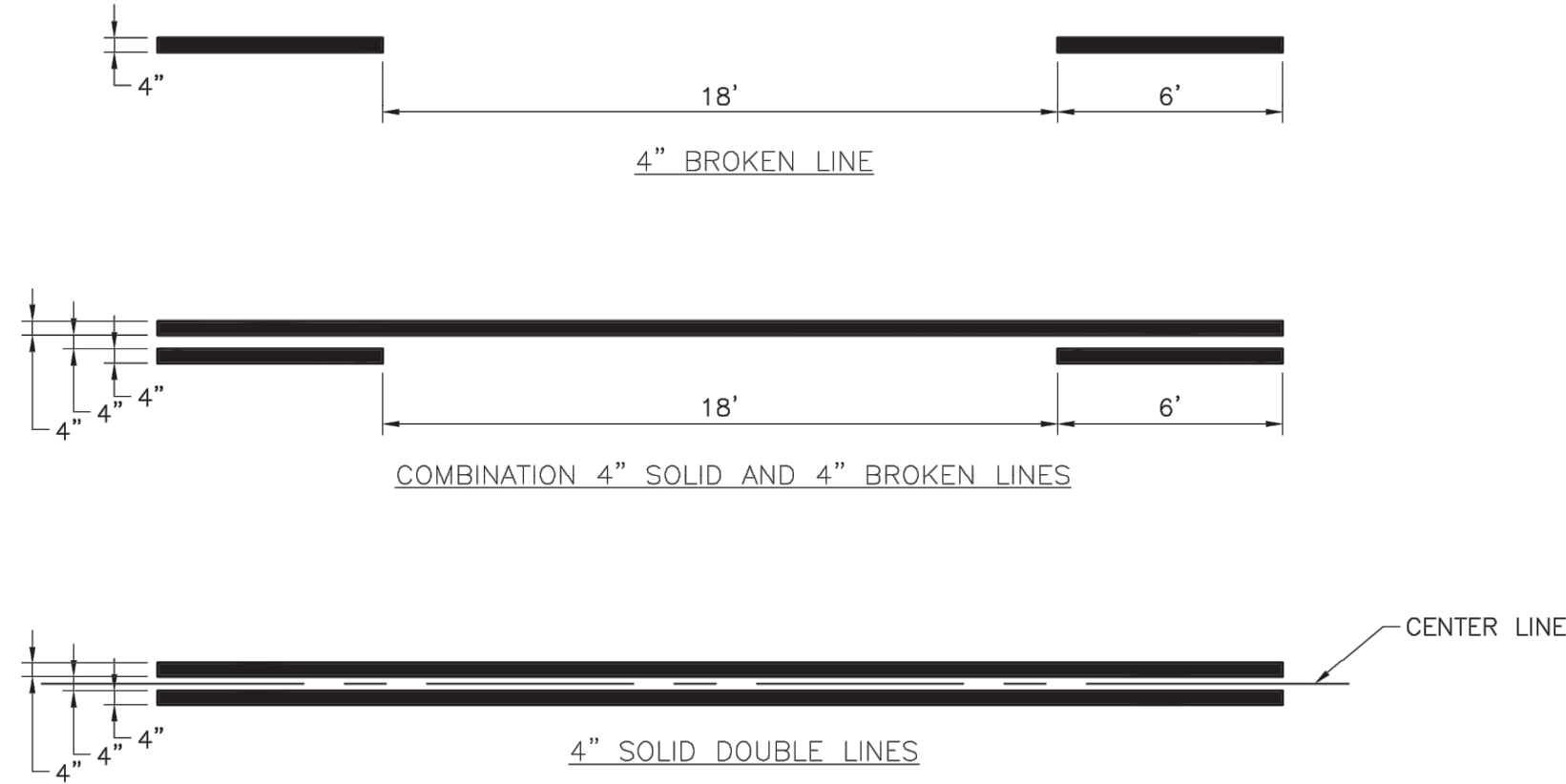
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LEE'S SUMMIT, MISSOURI

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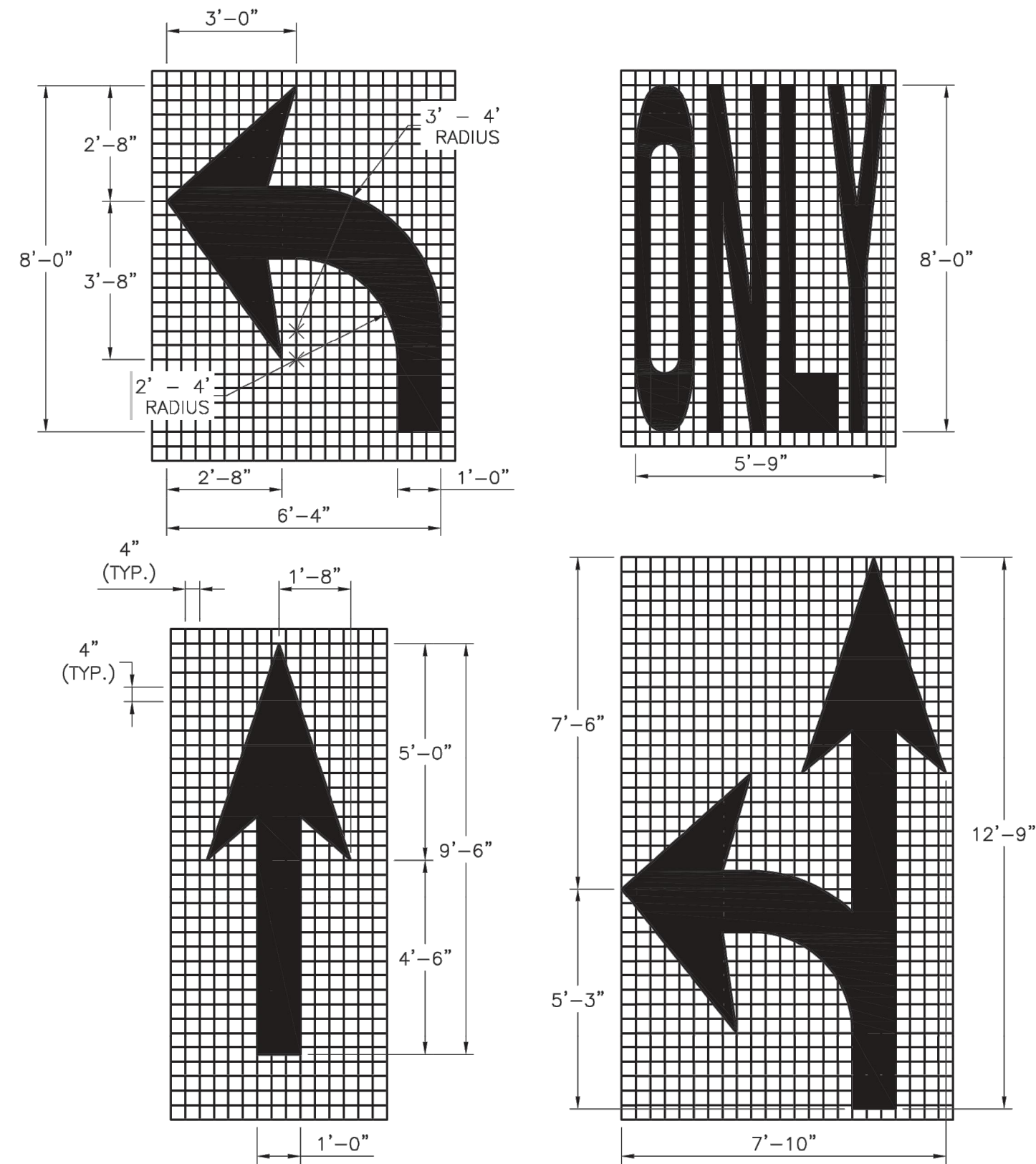
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TYPICAL LINE DETAILS

NOTES:

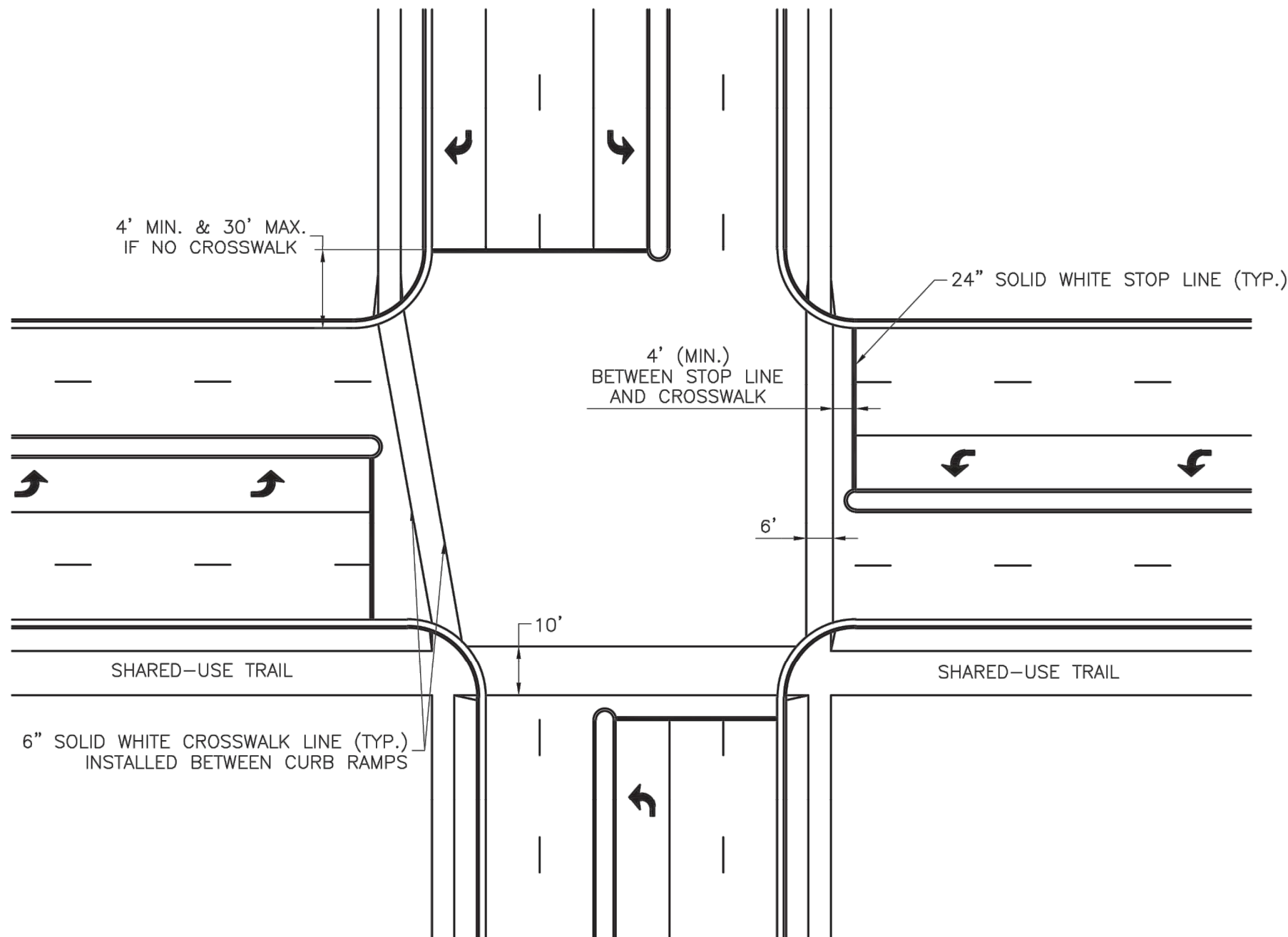
- ALL EDGE LINE, CENTER LINE, AND LANE LINE PAVEMENT MARKINGS SHALL BE 4" WIDE UNLESS OTHERWISE NOTED.
- EDGE LINES SHALL BE CONTINUOUS SOLID WHITE OR YELLOW LINES. RIGHT SIDE EDGE LINES SHALL BE SOLID WHITE. MEDIAN OR LEFT SIDE EDGE LINES ON DIVIDED ROADWAYS ARE TO BE SOLID YELLOW. EDGE LINES AND CENTER LINES SHALL BE CONTINUOUS ACROSS DRIVEWAYS.



ARROW AND SYMBOL DETAILS

NOTES:

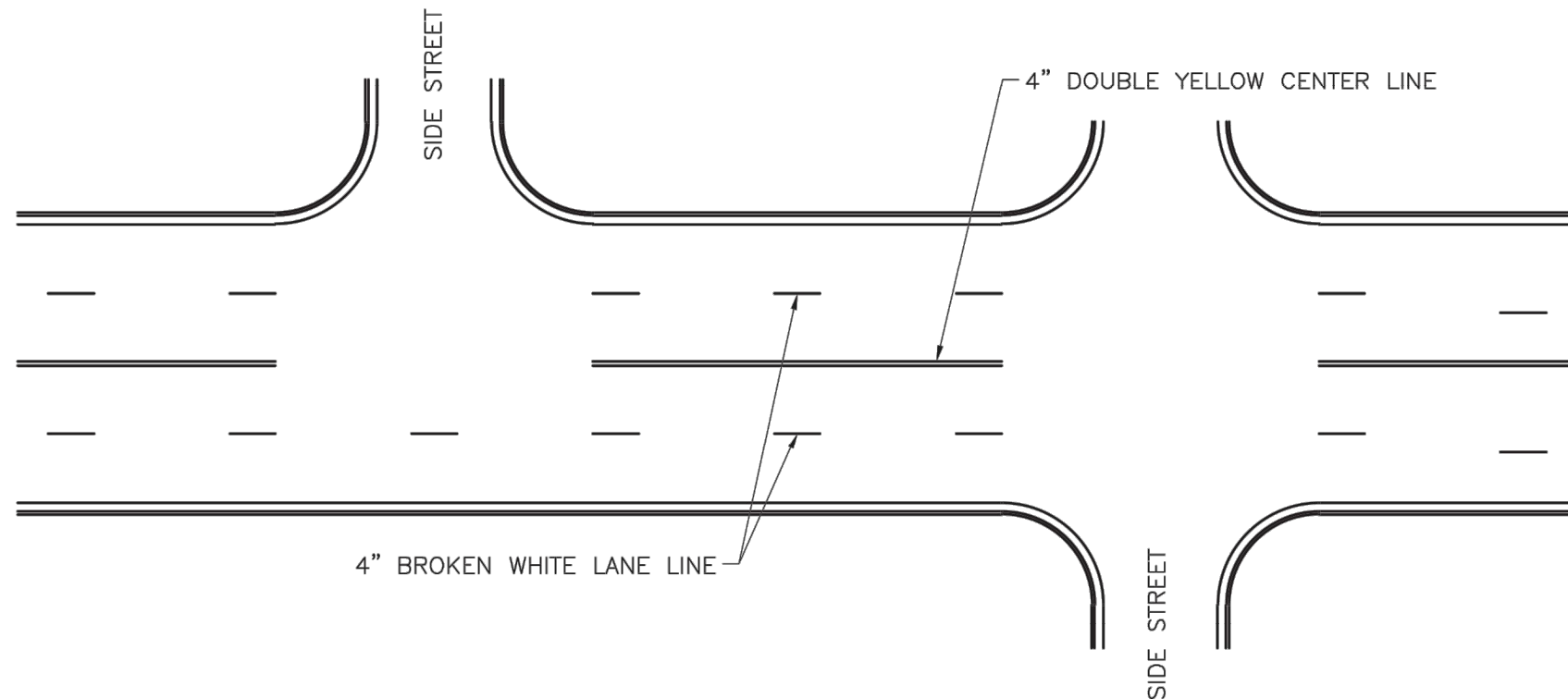
- ALL ARROW AND SYMBOL MARKINGS SHALL BE WHITE, AND SHALL BE CENTERED IN THEIR RESPECTIVE TRAFFIC LANES.
- RIGHT-TURN AND COMBINATION RIGHT-TURN/STRAIGHT ARROWS ARE REVERSE OF ARROWS SHOWN.



TYPICAL INTERSECTION MARKINGS

NOTES:

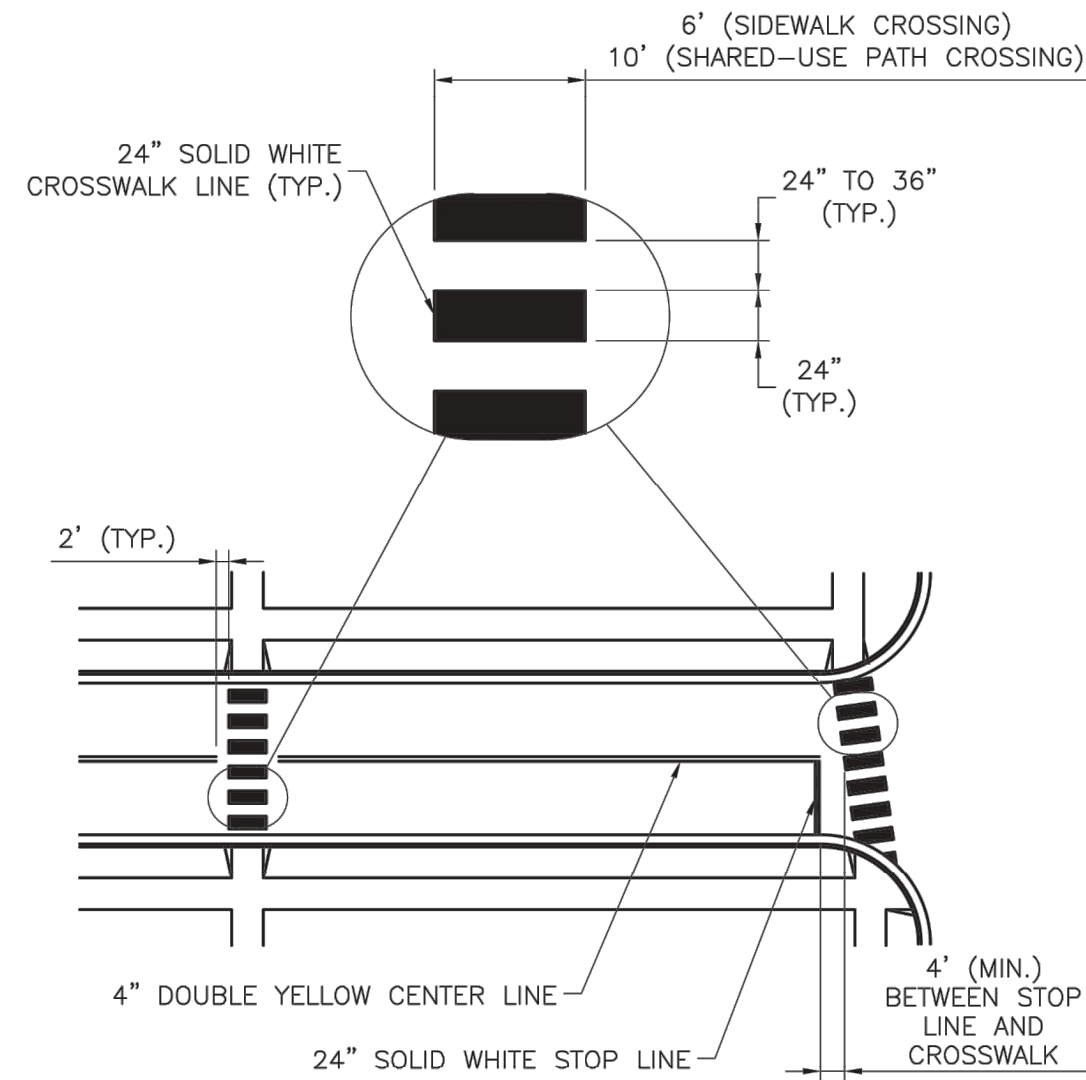
- TRANSVERSE CROSSWALK LINES SHALL BE INSTALLED SUCH THAT THE DISTANCE BETWEEN LINES IS AT LEAST 6 FEET OR 10 FEET.
- STOP LINES ARE REQUIRED AT SIGNALIZED INTERSECTIONS, ON MULTI-LANE STOP CONTROLLED APPROACHES, OR ADVANCE OF CROSSWALKS AT CONTROLLED INTERSECTIONS.



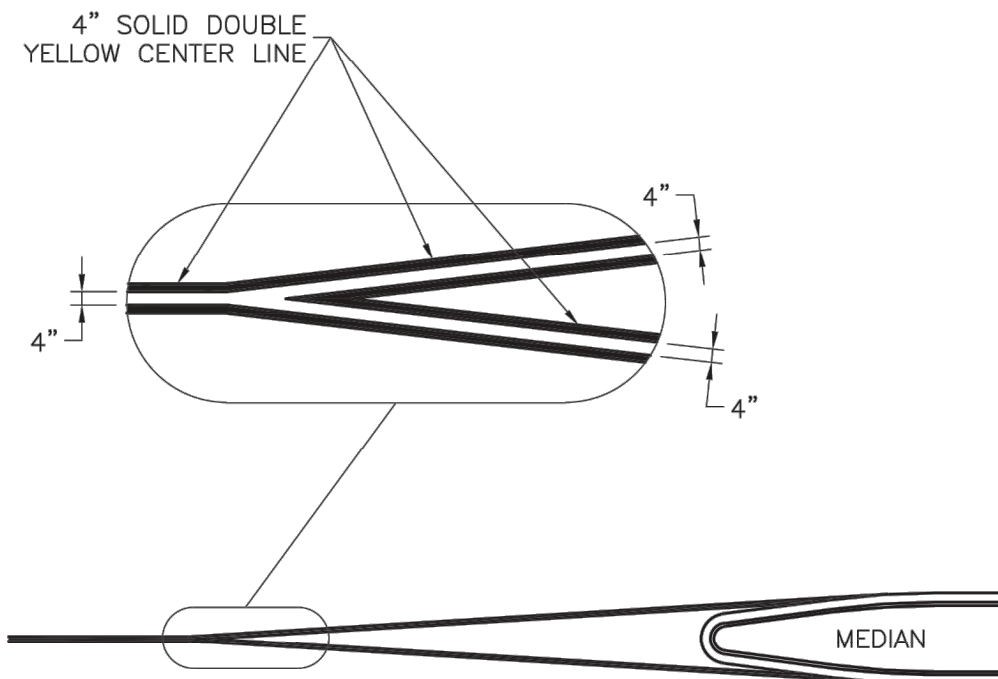
TYPICAL MARKINGS FOR FOUR-LANE UNDIVIDED ROADWAY

PAVEMENT MARKING GENERAL NOTES:

- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL WORDS AND SYMBOLS SHALL CONFORM TO THE LATEST EDITION OF STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS PRINTED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.
- PAVEMENT MARKINGS, EITHER TEMPORARY OR PERMANENT ARE REQUIRED AT ALL TIMES IF THE ROADWAY IS OPEN TO TRAFFIC.
- ALL PAVEMENT MARKINGS THAT CONFLICT WITH THE DESIRED MARKINGS SHALL BE COMPLETELY REMOVED. REMOVALS SHALL NOT LEAVE THE ROAD SURFACE SCARRED WITH AN IMAGE THAT MISLEADS TRAFFIC. ANY EXCESS DAMAGE OR SCARRING OF PAVEMENT SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE PROPOSED PERMANENT MARKINGS SHALL BE LAID OUT BY THE CONTRACTOR IN ADVANCE OF THE MARKING INSTALLATION. MARKINGS SHALL NOT BE APPLIED UNTIL THE LAYOUT HAS BEEN APPROVED BY THE CITY TRAFFIC ENGINEER.
- CENTER LINES SHALL BE MARKED ON ALL UNDIVIDED ARTERIAL STREETS, AND ANY OTHER UNDIVIDED STREET WITH MORE THAN TWO LANES AND/OR A SPEED LIMIT OF 30 MPH OR MORE.
- EDGE LINES SHALL BE MARKED ON ALL NON-CURBED STREETS.



TYPICAL MID-BLOCK OR SCHOOL CROSS WALK



TYPICAL MEDIAN NOSE CENTER LINE DETAIL

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As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
06/30/2025

LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

ROADWAY MARKING DETAILS

Drawn By: BWC
Checked By: MP
Date: 01/2020
Proj. #:

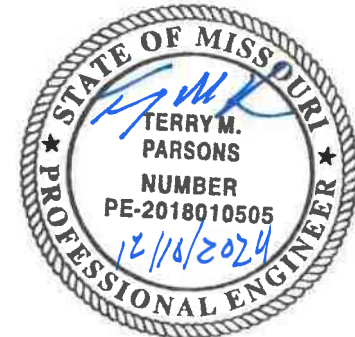
TRAFFIC CONTROL DETAILS
FINAL DEVELOPMENT PLAN

COLBURN ROAD IMPROVEMENTS
MCPL - COLBURN ROAD

LEE'S SUMMIT, MISSOURI

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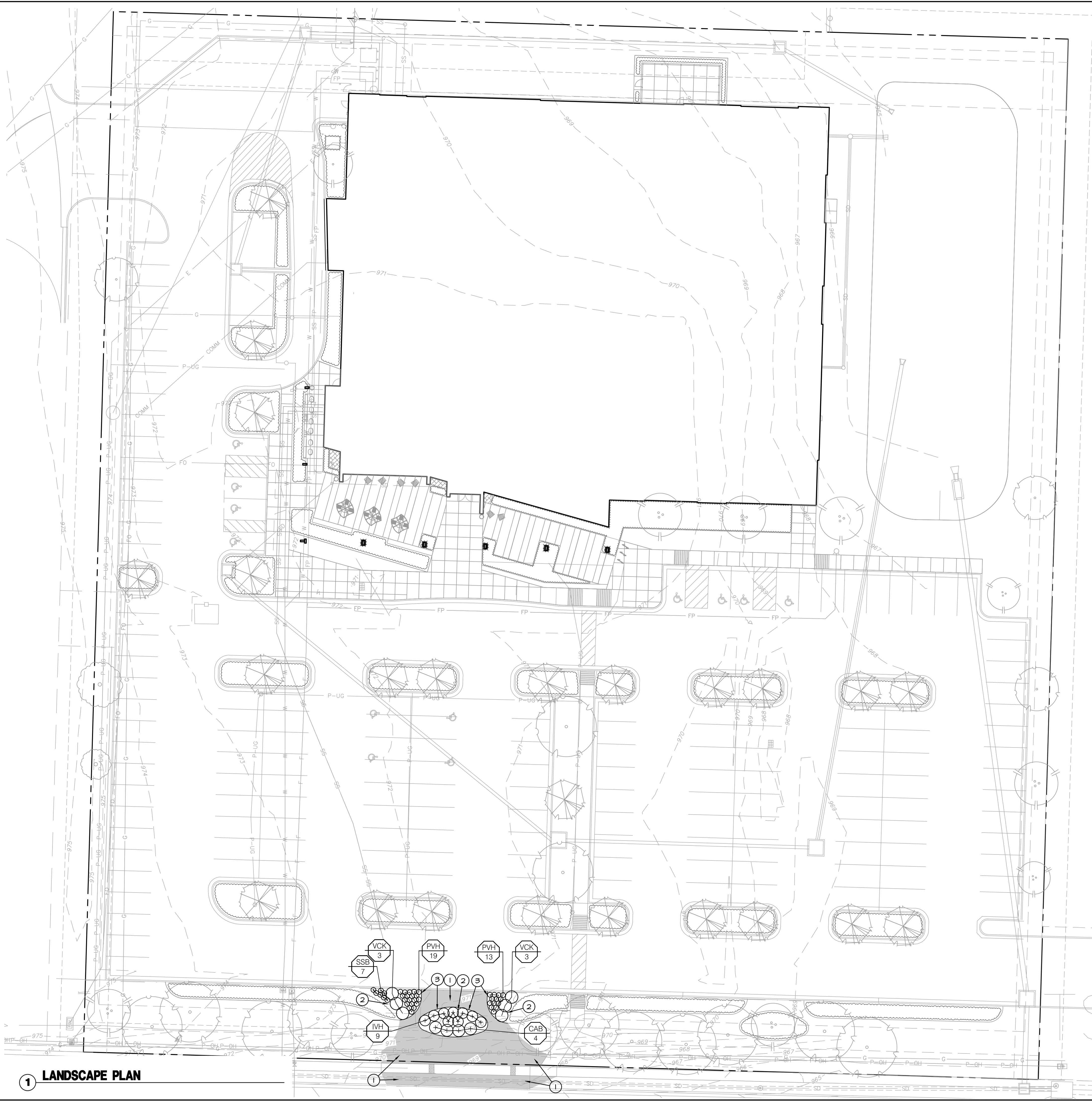
| REV. NO. | DATE | REVISIONS DESCRIPTION | BY |
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| 1 | 11.14.2024 | REVISED PER CITY COMMENTS | RLK |
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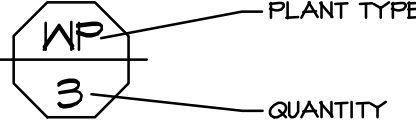
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Overland Park, KS 66213-4750
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1 LANDSCAPE PLAN

LANDSCAPE GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
 - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DESCRIPTION.



LANDSCAPE LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- EXISTING TREE
- EXISTING PLANTING BED
- TURF TYPE FESCUE SOD

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As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri
06/30/2025

LANDSCAPE PLAN NOTES:

- 1 AREA TO BE SODDED WITH TURF TYPE FESCUE; REF. SPECIFICATIONS
- 2 PLANTING BED WITH HARDWOOD MULCH; REF. LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
- 3 STEEL BED EDGE; REF. 3/L540 AND SPECIFICATIONS

PLANT SCHEDULE

| CODE | BOTANICAL NAME | COMMON NAME | SIZE | QTY |
|--------------------|---------------------------------|---------------------------|-------|-----|
| DECIDUOUS SHRUBS | | | | |
| CAB | CORNUS ALBA 'BAILHALO'™ | IVORY HALO DOGWOOD | 5 GAL | 4 |
| IVH | ITEA VIRGINICA 'HENRY'S GARNET' | HENRY'S GARNET SHEETSPIRE | 5 GAL | 4 |
| VCK | VIBURNUM CARLESII | KOREANPRICE VIBURNUM | 5 GAL | 6 |
| ORNAMENTAL GRASSES | | | | |
| PVH | PANICUM VIRGATUM 'HEAVY METAL' | HEAVY METAL SWITCH GRASS | 3 GAL | 32 |
| SSB | SCHIZACHYRIUM SCOPARIUM | LITTLE BLUESTEM | 3 GAL | 7 |

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| LANDSCAPE PLAN FINAL DEVELOPMENT PLAN | COLBORN ROAD IMPROVEMENTS MCPL - COLBORN ROAD | LEE'S SUMMIT, MISSOURI | 2025 |
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drawn by: TG
checked by: BM
approved by: BM
QA/QC by: BM
project no.: 024-07021
drawing no.:
date: 01/08/2025

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SECTION 329200 - TURF AND GRASSES

PART 1 - GENERAL

1.1 WORK INCLUDED

- A. The Contractor shall furnish all labor, materials, tools, equipment, supervision, and services necessary to install sod, seed, preparation of soil, fine grading, watering, proper disposal of any excess earth or debris, all in accordance with the accompanying Drawings and these Specifications.

1.2 SUMMARY

- A. Section Includes:
 - 1. Sodding.

1.3 RELATED SECTIONS

- A. Section 329300 – Plants

1.4 DEFINITIONS

- A. Pesticide: A substance or mixture intended for preventing, destroying, repelling, or mitigating a pest. This includes insecticides, miticides, herbicides, fungicides, rodenticides, and molluscicides. It also includes substances or mixtures intended for use as a plant regulator, defoliant, or desiccant.

1.5 INFORMATIONAL SUBMITTALS

- A. Prior to delivery to the job site, contractor shall submit to the Owner or Landscape Architect the source and supplier of all grass sod, seed, fertilizer and other materials along with the type of equipment to be used on this project.
- B. Certification of each seed mixture for turfgrass sod.
- C. Product certificates.

1.6 QUALITY ASSURANCE

- A. Regulatory Requirements
 - 1. Comply with applicable requirements of Federal, State, and Local laws, regulations and codes having jurisdiction at the project site.
 - 2. Contractor shall be responsible for certificates of inspection of plant material that may be required by Federal and Local authorities to accompany shipments of plants.
- B. Reference Standards
 - 1. "Standardized Plant Names" by the American Joint Committee of Horticultural Nomenclature.
 - 2. American National Standards Institute (ANSI); Publication Z60.1.
- C. Coordination

1. Work in conjunction with other trades as directed, taking all reasonable precautions to avoid disturbance or interference with any other operation or installation on the site. Contractors shall be responsible for the cost of replacing any material damaged as a result of his/her negligence.
 - D. Installer Qualifications: A qualified landscape Installer whose work has resulted in successful turf establishment.
 1. Installer's Field Supervision: Require Installer to maintain an experienced full-time supervisor on Project site when work is in progress.
 2. Personnel Certifications: Installer's field supervisor shall have certification in one of the following categories from the Professional Landcare Network:
 - a. Landscape Industry Certified Technician - Exterior.
 - b. Landscape Industry Certified Lawncare Manager.
 - c. Landscape Industry Certified Lawncare Technician.
 3. Pesticide Applicator: State licensed, commercial.
- 1.7 DELIVERY, STORAGE, AND HANDLING
- A. Storage of Materials
 1. All materials delivered to the job shall be stored so as to keep them in new condition and free from deterioration. Peat moss, fertilizer, etc., shall be stored in temporary sheds off-site at Contractor's expense.
 - B. Packaged Materials
 1. Deliver packaged materials in unopened containers showing weight, analysis, and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
 - C. Seed and Other Packaged Materials: Deliver packaged materials in original, unopened containers showing weight, certified analysis, name and address of manufacturer, and indication of compliance with state and Federal laws, as applicable.
 - D. Sod: Harvest, deliver, store, and handle sod according to requirements in "Specifications for Turfgrass Sod Materials" and "Specifications for Turfgrass Sod Transplanting and Installation" sections in TPI's "Guideline Specifications to Turfgrass Sodding." Deliver sod within 24 hours of harvesting and in time for planting promptly. Protect sod from breakage and drying.
- 1.8 JOB CONDITIONS
- A. Examination of Site:
 1. The bidder must acknowledge that he has examined the site, Drawings and Specifications and the submission of a quotation shall be considered evidence that examinations have been made.
 - B. Field Conditions: The Contractor shall verify drawing dimensions with actual field conditions and inspect related work and adjacent surfaces. The Contractor shall report to the Landscape Architect all conditions which prevent proper execution of this work.
 - C. The Contractor shall determine the exact location of all existing utilities, structures, and geogrid reinforcement before commencing work. The Contractor shall conduct his work so as to prevent interruption of service or damage to them. The Contractor agrees to be fully responsible for any and all damage which might be occasioned by the Contractor's failure to exactly locate and preserve any and all utilities, structures, and geogrid reinforcement.
- 1.9 SEQUENCING AND SCHEDULING

- A. Planting Time: Proceed with and complete planting as rapidly as portions of the site become available, working within seasonal limitations for each kind of landscape work required.
- B. Planting Dates:
 - 1. Recommended dates for seeding and sodding shall be April 1 - June 15 for spring planting and September 1 - December 15 for fall planting.

1.10 MATERIALS CLEAN-UP

- A. The Contractor shall keep the premises free from rubbish and all debris associated with their work at all times and all unused materials and debris shall be removed from the site.

1.11 WARRANTY

- A. All plant material (lawns) shall be warranted for a period of not less than one (1) year from the date of issuance of the letter of Substantial Completion.
- B. All replacement stock shall be subject to the same warranty requirements as the original stock. Any damage due to replacement operations shall be repaired by the Contractor. At the end of the warranty period, inspections shall be made jointly by the Owner, Landscape Architect, and Contractor. All lawn areas not in a healthy growing condition shall be removed and replaced with grasses of a like kind and size before the close of the next planting season and before issuance of the letter of Final Completion.

PART 2 - PRODUCTS

2.1 SEED

- A. Grass Seed: Fresh, clean, dry, new-crop seed complying with AOSA's "Rules for Testing Seeds" for purity and germination tolerances.
- B. Grass seed shall be a blend of turf type fescues as detailed below. Provide fresh, clean, new-crop seed complying with established tolerances for germination and purity in accordance with the U.S. Department of Agriculture Rules and Regulations under the latest edition of the Federal Seed Act. All seed shall be maxed by the Dealer and shall be delivered to the site in sealed containers which shall bear the Dealer's guaranteed analysis. Seed which has become wet, moldy, or otherwise damaged in transit or storage will not be acceptable.

2.2 TURFGRASS SOD

- A. Turfgrass Sod: **Certified**, complying with "Specifications for Turfgrass Sod Materials" in TPI's "Guideline Specifications to Turfgrass Sodding." Furnish viable sod of uniform density, color, and texture that is strongly rooted and capable of vigorous growth and development when planted.
- B. Turf Type Fescue Sod - Sod shall be a blend of not less than 3 improved Kentucky Bluegrass (*Poa pratensis*) varieties, a native mixture of Hounddog, Rebel, or Falcon Finebladed Turf Type Tall Fescue (*Festuca arundinacea*), and Rye (*Lolium jultiflorum* and *Perene domestic*). It shall be a mix of 20% Kentucky Bluegrass, 70% Finebladed Turf Type Tall Fescue, and 10% Rye. Sod shall be well rooted, 2 year old stock, 3/4" thick, harvested in rolls, and fertilized 2-3 weeks prior to cutting. The sod shall be top quality certified sod, free of weeds, undesirable native grasses, insects and diseases. All sod shall be machine cut and vigorously growing (not dormant). Maximum time from stripping to planting shall be 24 hours.

- C. Provide sod of uniform pad sizes with maximum 5 percent deviation in either length or width. Broken pads or pads with uneven ends will not be acceptable. Sod pads incapable of supporting their own weight when suspended vertically with a firm grasp on upper 10 percent of pad will be rejected.

2.3 FERTILIZERS

- A. Commercial Fertilizer: Commercial-grade complete fertilizer of neutral character, conforming to the applicable State Fertilizer Laws, consisting of fast- and slow-release nitrogen, 50 percent derived from natural organic sources of urea formaldehyde, phosphorous, and potassium in the following composition:
 - 1. Composition: Not less than 13% phosphoric acid and not less than 13% potassium, and percentage of nitrogen required to provide not less than 1 lb. of actual nitrogen per 1,000 sq. ft. of lawn area or as recommended by the County Extension Agent based on soil test results. Provide nitrogen in a form that will be available to lawn during period of growth.

2.4 PESTICIDES

- A. General: Pesticide, registered and approved by the EPA, acceptable to authorities having jurisdiction, and of type recommended by manufacturer for each specific problem and as required for Project conditions and application. Do not use restricted pesticides unless authorized in writing by authorities having jurisdiction.

EXECUTION

2.5 TURF AREA PREPARATION

- A. General:
 - 1. Clearing
 - a. All areas of turf establishment are to be cleared by the Contractor.
 - b. Clearing shall consist of the satisfactory removal and disposal of brush, rubbish, and other vegetative growth occurring within all proposed turf areas unless turf is being overseeded. All debris associated with this work shall be gathered and removed from the project by the Contractor.
 - 2. Preparation of Planting Mixture
 - a. Mix recommended soil amendments and fertilizers with topsoil at rates recommended by the soil test results. Delay addition of fertilizer if planting mixture will not be used within two (2) days.
 - 3. Protection of Existing Vegetation
 - a. All areas under drip lines of existing trees shall be kept free of construction equipment, trailers, material storage, and vehicles.
 - b. Exercise extreme care when working around existing trees to remain. No soil scarification or compaction from construction vehicles shall occur under any existing tree dripline.
 - c. In areas of established turf, the surrounding turf area shall be covered in a manner that will provide protection before excavations begin for sodded turf.
- B. Reduce elevation of planting soil to allow for soil thickness of sod.
- C. Moisten prepared area before planting if soil is dry. Water thoroughly and allow surface to dry before planting. Do not create muddy soil.

- D. Before planting, obtain Landscape Architect's acceptance of finish grading; restore planting areas if eroded or otherwise disturbed after finish grading.

2.6 SODDING

- A. All sod areas indicated on the plans shall have temporary cover removed, fine graded and sodded as specified herein and in strict accordance with standard horticultural practices
- B. Lay sod within 24 hours from time of stripping. Do not plant dormant sod or if ground is frozen.
- C. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. The first row of sod shall be laid in a straight line with subsequent rows placed parallel to each other. Lateral joints shall be staggered to promote more uniform growth and strength. Sod is not to be stretched or overlapped. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to insure contact with subgrade. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
- D. In sloping areas sod shall be laid with the long edges perpendicular to the slope and with staggered joints. In all drainage swales, regardless of the degree of slope, the sod shall be laid with the long edges parallel to the contour lines and with staggered joints.
- E. Where sod is indicated on the plans, all slopes greater than 3:1 (horizontal:vertical) and within all drainage swales shall be secured in-place with specified stakes. Stakes shall be placed at intervals no greater than 2'-0" on center, with a minimum of two stakes per piece of sod. Stakes shall be driven into the ground, leaving 2" above the sod line, with the broad face of the stake perpendicular to the slope.
- F. As sodding is completed in any one section, the entire area shall be rolled or tamped to insure solid contact of roots with the soil surface. Sod shall be watered immediately after rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly moistened. The operations of laying, tamping and watering for any piece of sod shall be completed within eight (8) hours.
- G. Sodded areas shall be guaranteed by the Contractor for the specified period (a minimum of two years) or longer if necessary to establish a dense cover as specified above.
- H. General: Maintain and establish turf by watering, fertilizing, weeding, mowing, trimming, replanting, and performing other operations as required to establish healthy, viable turf. Roll, regrade, and replant bare or eroded areas and mulch to produce a uniformly smooth turf. Provide materials and installation the same as those used in the original installation.
- I. Mow turf as soon as top growth is tall enough to cut. Repeat mowing to maintain specified height without cutting more than one-third of grass height. Remove no more than one-third of grass-leaf growth in initial or subsequent mowings.

2.7 SATISFACTORY TURF

- A. Turf installations shall meet the following criteria as determined by Landscape Architect:
 - 1. Satisfactory Sodded Turf: At end of maintenance period, a healthy, well-rooted, even-colored, viable turf has been established, free of weeds, open joints, bare areas, and surface irregularities.

- B. Use specified materials to reestablish turf that does not comply with requirements, and continue maintenance until turf is satisfactory.

2.8 MAINTENANCE

- A. The Contractor shall maintain sod and seed areas by weeding and mowing as required for healthy growth until issuance of the letter of Substantial Completion for the entire site and scope of work.
- B. The Contractor shall be responsible for watering sod and seed areas until the existing irrigation system is repaired and completely functional and the letter of Substantial Completion has been issued. Contractor shall be responsible for watering seed areas by hand where irrigation system does not cover. Hand watering of these areas shall continue until letter of Substantial Completion has been issued. Watering shall supplement natural rainfall and shall assure that the seed areas receive a minimum of one (1) inch of water per week. Seed shall be watered daily during the first week and in sufficient quantities to maintain moist soil to a depth of four inches (4"). After the first week seed shall be watered as necessary to maintain adequate moisture.

END OF SECTION 329200

SECTION 329300 - PLANTS

PART 1 - GENERAL

1.1 WORK INCLUDED

- A. The Contractor shall furnish all labor, materials, tools, equipment, supervision, and services necessary to install plant material, preparation of soil, fine grading, planting, mulching, guying, pruning, watering, and the proper disposal of any excess earth or debris, all in accordance with the accompanying Drawings and these Specifications.

1.2 SUMMARY

- A. Section Includes:
 - 1. Plants.
 - 2. Landscape edging

1.3 RELATED SECTIONS

- A. Section 329200 – Turf and Grasses

1.4 DEFINITIONS

- A. Backfill: The earth used to replace or the act of replacing earth in an excavation.
- B. Pesticide: A substance or mixture intended for preventing, destroying, repelling, or mitigating a pest. Pesticides include insecticides, miticides, herbicides, fungicides, rodenticides, and molluscicides. They also include substances or mixtures intended for use as a plant regulator, defoliant, or desiccant. Some sources classify herbicides separately from pesticides.
- C. Root Flare: Also called "trunk flare." The area at the base of the plant's stem or trunk where the stem or trunk broadens to form roots; the area of transition between the root system and the stem or trunk.

1.5 ACTION SUBMITTALS

- A. Prior to delivery to the job site, contractor shall submit to the Owner or Landscape Architect the source and supplier of all plant material, fertilizer and mulch, and other materials along with the type of equipment to be used on this project.
- B. Product Data: For each type of product.
- C. Samples of each type of mulch.

1.6 INFORMATIONAL SUBMITTALS

- A. Product certificates.

- B. Sample warranty.

1.7 CLOSEOUT SUBMITTALS

- A. Maintenance Data: Recommended procedures to be established by Owner for maintenance of plants during a calendar year.

1.8 QUALITY ASSURANCE

- A. Regulatory Requirements

- 1. Comply with applicable requirements of Federal, State, and Local laws, regulations and codes having jurisdiction at the project site.
 - 2. Contractor shall be responsible for certificates of inspection of plant material that may be required by Federal and Local authorities to accompany shipments of plants.

- B. Reference Standards

- 1. "Standardized Plant Names" by the American Joint Committee of Horticultural Nomenclature.
 - 2. "American Standard of Nursery Stock" by the American Association of Nurseryman.
 - 3. American National Standards Institute (ANSI); Publication Z60.1.

- C. Substitutions

- 1. Substitutions of plant material will not be permitted unless authorized in writing by Owner or Landscape Architect. If proof is submitted that any plant specified is not obtainable, a proposal will be considered for use of the nearest equivalent size or variety with corresponding adjustment of Contract Price. Such proof shall be substantiated and submitted in writing to the Owner and Landscape Architect at least thirty (30) days prior to start of the work under this Section. These provisions shall not relieve the Contractor of the responsibility of obtaining specified materials in advance if special growing conditions or other arrangements must be made in order to supply specified materials.

- D. Condition and Source of Plants

- 1. Plants shall be subject to review and approval by the Owner or Landscape Architect upon delivery for conformity to Specifications. Such approvals shall not impair the right of review and rejection during progress of the Work. Submit written request for inspection of plant material at place of growth and quantity of plants to be inspected.

- E. Coordination

- 1. Work in conjunction with other trades as directed, taking all reasonable precautions to avoid disturbance or interference with any other operation or installation on the site. Contractors shall be responsible for the cost of replacing any material damaged as a result of his/her negligence.

- F. Installer's Field Supervision: Require Installer to maintain an experienced full-time supervisor on Project site when work is in progress.

- 1. Pesticide Applicator: State licensed, commercial.

- G. Provide quality, size, genus, species, and variety of plants indicated, complying with applicable requirements in ANSI Z60.1.

1.9 DELIVERY, STORAGE, AND HANDLING

- A. Storage of Materials

1. All materials delivered to the job shall be stored so as to keep them in new condition and free from deterioration. Peat moss, fertilizer, etc., shall be stored in temporary sheds off-site at Contractor's expense.
- B. Packaged Materials
 1. Deliver packaged materials in unopened containers showing weight, analysis, and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
- C. Plant Material
 1. Plants shall not be delivered to the site until the corresponding beds are fully prepared. All shipments of nursery materials shall be thoroughly protected from the sun and from drying winds during transit. All plants which cannot be planted at once after delivery to the site of the work shall be well protected against the possibility of drying by wind and sun. Balls of earth on B&B plants shall be kept covered with soil or other acceptable material. All materials heeled-in on the property shall be adequately watered.
 2. Do not prune trees and shrubs before delivery. Protect bark, branches, and root systems from sun scald, drying, wind burn, sweating, whipping, and other handling and tying damage. Do not bend or bind-tie trees or shrubs in such a manner as to destroy their natural shape. Provide protective covering of plants during shipping and delivery. Do not drop plants during delivery and handling.
 3. Handle planting stock by root ball.
 4. Store bulbs, corms, and tubers in a dry place at 60 to 65 deg F until planting.
 5. Deliver plants after preparations for planting have been completed, and install immediately. If planting is delayed more than six hours after delivery, set plants and trees in their appropriate aspect (sun, filtered sun, or shade), protect from weather and mechanical damage, and keep roots moist.
- D. Review of Stock
 1. All planting stock shall be inspected as required by Local, State, or Federal laws, and upon delivery at premises shall be subject to review by the Owner and/or Landscape Architect. All plant material is subject to rejection by the Owner and/or Landscape Architect either at time of delivery or after planting, provided it does not comply with the requirements stated herein. Any rejected stock shall be immediately removed from the premises and replaced with approved stock.

1.10 JOB CONDITIONS

- A. Examination of Site:
 1. The bidder must acknowledge that he has examined the site, Drawings and Specifications and the submission of a quotation shall be considered evidence that examinations have been made.
- B. Field Conditions: The Contractor shall verify drawing dimensions with actual field conditions and inspect related work and adjacent surfaces. The Contractor shall report to the Landscape Architect all conditions which prevent proper execution of this work.
- C. The Contractor shall determine the exact location of all existing utilities, structures, and geogrid reinforcement before commencing work. The Contractor shall conduct his work so as to prevent interruption of service or damage to them. The Contractor agrees to be fully responsible for any and all damage which might be occasioned by the Contractor's failure to exactly locate and preserve any and all utilities, structures, and geogrid reinforcement.

1.11 SEQUENCING AND SCHEDULING

- A. Planting Time: Proceed with and complete planting as rapidly as portions of the site become available, working within seasonal limitations for each kind of landscape work required.
- B. Planting Dates:
 1. Trees, shrubs, and perennials shall be planted only when the ground is not frozen, snow covered, or in an otherwise unsuitable condition for planting. Spring planting shall generally occur between April 1 and June 15, and fall planting shall generally occur between August 15 and November 15.

1.12 MATERIALS CLEAN-UP

- A. The Contractor shall keep the premises free from rubbish and all debris associated with their work at all times and all unused materials and debris shall be removed from the site.

1.13 WARRANTY

- A. All plant material (trees, shrubs, etc.) and planting supplies (bark mulch, etc.) shall be warranted for a period of not less than one (1) year from the date of issuance of the letter of Substantial Completion.
- B. All replacement stock shall be subject to the same warranty requirements as the original stock. Any damage due to replacement operations shall be repaired by the Contractor. At the end of the warranty period, inspections shall be made jointly by the Owner, Landscape Architect, and Contractor. All plants not in a healthy growing condition shall be removed and replaced with plants of a like kind and size before the close of the next planting season and before issuance of the letter of Final Completion.
- C. Special Warranty: Installer agrees to repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period.
 - 1. Failures include, but are not limited to, the following:
 - a. Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner.
 - b. Structural failures including plantings falling or blowing over.

PART 2 - PRODUCTS

2.1 TOPSOIL

- A. Topsoil shall be fertile, natural topsoil, typical of the locality. Stockpiled topsoil may be used. It shall be free of subsoil, slag, clay, stones, lumps, sticks, plants or their roots, toxic substances or other extraneous matter that may be harmful to plant growth or would interfere with future maintenance. Topsoil pH range shall be 6.0 to 7.0.
- B. Soil Testing:
 - 1. Onsite Topsoil – The Contractor shall be responsible for having onsite topsoil tested by the Local County Extension Office to determine the amounts of amendments needed to meet the desired pH, nutritional organic levels determined to be adequate for the area by the County Extension Agent. The Contractor shall submit topsoil tests to the Landscape Architect.
 - 2. Offsite Topsoil - The Contractor shall be responsible for having offsite imported topsoil tested by the Local County Extension Office to determine the amounts of amendments needed to meet the desired pH, nutritional organic levels determined to be adequate for the area by the County Extension Agent. The Contractor shall submit topsoil tests to the Landscape Architect.
- C. Soil Conditioners and Amendments:
 - 1. Aluminum sulfate shall be horticultural grade.
 - 2. Peat shall be a natural product of sphagnum peat (peat moss), derived from a fresh-water site conforming to ASTM D 2607 except as otherwise specified. Peat shall be shredded and conditioned in storage piles for at least 6 months after excavation.
 - 3. Sand shall be clean and free of toxic materials.
 - 4. Vermiculite shall be horticultural grade and free of any toxic materials.
 - 5. Rotted manure shall be unleached stable or cattle manure not less than 8 months or more than 2 years old, containing not more than 25 percent by volume of straw, sawdust, or other bedding

materials; and containing no chemicals or ingredients harmful to plants. The manure shall be heat treated to kill weed seeds.

6. Rotted sawdust shall have 7.5 pounds of nitrogen added uniformly to each cubic yard and shall be free of chips, stones, sticks, soil, and toxic substances.
 7. Gypsum shall be 90 percent pure, free of any toxic materials, and at least 95 percent by weight shall pass a 4-mesh sieve.
 8. Other amendments as recommended by County Extension Agent.
- D. Treatment of Saline Soil: Saline soil shall be leached out by a controlled amount of water sufficient enough to leach the salts to a level below the root zone. Water used for this purpose shall have a low salt content.

2.2 PLANTING SOIL MIXTURE

- A. The "topsoil mixture" shall be composed of on-site or off-site topsoil and additional soil amendments appropriate for the location and plantings based on the soil test provided in the appendix.
- B. The "planting soil mixture" for all planting pits shall be 80% topsoil mixture, 10% peatmoss, and 10% well composted manure. Mix thoroughly for uniformity of texture and distribution before placing in pit.

2.3 PLANT STOCK

- A. Plant material shall be first quality stock and shall conform to the code of standards set forth in the current edition of the American Standards of Nursery Stock sponsored by the American Association for Nurserymen, Inc.
- B. Furnish nursery-grown plants true to genus, species, variety, cultivar, stem form, shearing, and other features indicated in Plant List, Plant Schedule, or Plant Legend indicated on Drawings and complying with ANSI Z60.1; and with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully branched, healthy, vigorous stock, densely foliated when in leaf and free of disease, pests, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and disfigurement.
- C. Root-Ball Depth: Furnish trees and shrubs with root balls measured from top of root ball, which begins at root flare according to ANSI Z60.1. Root flare shall be visible before planting.
- D. Species and variety as specified on the Drawings and delivered to the site shall be certified true to their genus, species and variety and as defined within the current edition of "Standardized Plant Names" by the American Joint Committee of Horticultural Nomenclature.
- E. The Contractor shall facilitate inspection and identification by labeling of trees, shrubs, and perennials with a durable waterproof label and weather-resistant ink. Labels shall state the correct plant name and size as specified in the plant list of required plants. Labels shall be securely attached to plants and shall be legible for 60 days after delivery to the planting site. Wire identification tags shall not be used. Plants not labeled will be rejected. The Contractor shall remove all tags after the Landscape Architect's acceptance of the installation.
- F. Plants shall be nursery grown and shall be of varieties specified in the plant list bearing botanical names.
- G. Planting stock shall be well-branched and well formed, sound, vigorous, healthy, free from disease, sun-scale, windburn, abrasion, and harmful insects or insect eggs; and shall have healthy, normal unbroken root systems. Deciduous trees and shrubs shall be symmetrically developed, of uniform habit of growth, with straight trunks or stems, and free from objectionable disfigurements. Evergreen trees and shrubs shall have well-developed symmetrical tops with typical spread of branches for each particular species or variety. Evergreen trees and shrubs shall not be sheared. Plants shall have been grown under climatic conditions similar to those in the locality of the project. Deciduous plants shall be dug in a dormant stage only.
- H. Stock Sizes: All stock measurements - caliper, height, branching level, number of canes, ball sizes shall be in strict accordance with the latest edition of the American Standard for Nursery Stock, unless otherwise noted on the plans. Plants used on the project shall meet or exceed all minimum requirements indicated in the size, condition, and remarks sections of the planting legend on the plan sheets.

- I. All stock shall be balled and burlapped or container grown stock. Bareroot stock of any kind is unacceptable.
- J. All plant material must be watered the same day it is planted in order to comply with these Specifications.
- K. All trees shall be staked and guyed as shown on Drawings.

2.4 FERTILIZER

- A. All fertilizers shall be horticultural grade complete formula fertilizers and shall conform to the applicable State Fertilizer Laws.
- B. Plant Stock: Fertilizer shall be "AGRIFORM" slow release fertilizer tablets. To be applied per manufacturer's specifications. Perennials areas: Fertilizer shall be applied at the same rate as the lawn areas.

2.5 MYCORRHIZAL

- A. All mycorrhizal shall be horticultural grade complete formula mycorrhizal and shall conform to the applicable State Mycorrhizal Laws.
- B. MYKE Pro Landscape Granular Mycorrhizal Inoculant
 - 1. Distributor: Subject to compliance with requirements, provide products by the following:
 - 2. Arbor Valley Nursery, Brighton, CO, (303) 654-1682, ArborValleyNursery.com
 - 3. For approved equal, reference specific written instructions from manufacturer

2.6 MULCHES FOR PLANTINGS

- A. Hardwood Mulch: Mulch in all open planting beds labeled as hardwood mulch shall be shredded double ground oak or dark hardwood mulch of its natural color. Cypress, or dyed or colored mulch is unacceptable. Bark shall be of a relative uniform particle size with a median size of one and one-half inches (1-1/2") and shall be free of sticks, stones, leaves and any other debris.

2.7 EDGING

- A. Bed edging adjacent to turf, concrete curb, pavement and sidewalk shall be steel edging per details. Color to be green. Size to 4" x 12' x 1/8" thick. Manufactured by Sure-loc, Colmet, Reyerson or other approved equal. Submit sample for approval

2.8 GUYING AND STAKING MATERIALS

- A. Stakes for tree support shall be steel "T" bar fence post, 8' long, painted dark green with the top 6" painted white.
- B. Tree tie systems shall be easily adjustable, strong in all weather, and easily attached and removed. Hose and wire are not acceptable for staked trees. Tree tie systems shall be the following or approved equal:
 - 1. Cinch Ties, J. Lichtenthaler
P.O. Box 938
Cerritos, CA 90701
 - 2. Adj-A-Type
Heavyweight only, plastic chain twist tie
 - 3. A.M. Leonard and Sons
Piqua, Ohio 43356
Plastic Binder Tye, tie with tapered beads that snap lock

2.9 WATER

- A. Water shall not contain elements toxic to plant life. It shall be the Contractor's responsibility to obtain water to be used for watering of plant material.

2.10 ANTI-DESICCANT

- A. Anti-desiccant shall be an emulsion that will provide a film over plant surfaces permeable enough to permit transpiration, and not damage the plant.

2.11 HERBICIDES

- A. Herbicides used must comply with all applicable State and Federal laws and be registered with the U.S. Environmental Protection Agency.
 - 1. Herbicide control shall be: Pre-emergence application of "Dacthal" or equivalent applied according to manufacturer's recommendations and incorporated into soil as specified. Herbicide shall be in dry/pellet form.
 - 2. Post-emergence application of "Roundup" or equivalent, applied as specified by manufacturer. Use with extreme care to avoid contact with landscape plantings.

2.12 PESTICIDES

- A. General: Pesticide registered and approved by the EPA, acceptable to authorities having jurisdiction, and of type recommended by manufacturer for each specific problem and as required for Project conditions and application. Do not use restricted pesticides unless authorized in writing by authorities having jurisdiction.

PART 3 - EXECUTION

3.1 GENERAL PREPARATION

- A. Clearing
 - 1. All planting bed areas are to be cleared by the Contractor.
 - 2. Clearing shall consist of the satisfactory removal and disposal of rock, gravel, rubbish, and other vegetative growth occurring within all planting bed areas. All debris associated with this work shall be gathered and removed from the project by the Contractor.
- B. Preparation of Planting Soil Mixture
 - 1. Mix recommended soil amendments and fertilizers with topsoil at rates recommended by the soil test results. Delay addition of fertilizer if planting mixture will not be used within two (2) days.
- C. Protection of Existing Vegetation
 - 1. All areas under drip lines of existing trees shall be kept free of construction equipment, trailers, material storage, and vehicles.
 - 2. Exercise extreme care when working around existing trees to remain. No soil scarification or compaction from construction vehicles shall occur under any existing tree dripline.
 - 3. In areas of established turf, the surrounding turf area shall be covered in a manner that will provide protection before excavations begin.

3.2 TREE, SHRUB, AND PERENNIAL PLANTING

- A. All planting shall be performed by personnel familiar with the accepted procedure of planting and under the constant supervision of a qualified planting foreman.
- B. All planting is to be done as shown on drawings and as specified herein and in strict accordance with standard horticultural practices.

C. Layout

1. Plant material locations and planting bed outlines shall be staked on the project site by the Contractor and approved by the Owner or Landscape Architect before any plant pits or beds are excavated. Plant material locations and bed outlines may be adjusted by the Landscape Architect to meet field conditions.

D. Installation of Trees and Shrubs

1. Planting pits shall be excavated to produce vertical sides and flat bottoms. Scarify side walls to alleviate glazing and loosen any hard subsoil in bottom of pit. Minimum pit sizes shall be as shown on drawings. Tree pits within parking lot islands shall be excavated per detail removing existing soil to depth shown prior to gravel and geotextile placement.
2. Dispose of all subsoil, clay, and rock (off-site) removed from planting excavations. The top six (6) inches of topsoil excavated from the planting pit, if free from subsoil, clay, rocks, roots, or other debris, may be utilized in the topsoil mixture as specified.
3. Setting Plants
 - a. Balled and burlapped and container grown plants shall be handled and moved only by the ball or container. Plants shall be set plumb and held in position until a sufficient quantity of planting soil mixture has been firmly placed around roots or ball. Plants shall be set in relation to surrounding grade so that they are 2" higher than the depth at which they are grown in the nursery, collecting field, or container. Fertilizer in tablet form shall be placed prior to backfilling and in accordance with the manufacturer's specifications. Mycorrhizal
 - b. Apply Mycorrhizal to the top 2/3 of root balls of all plant material according to the manufacturer's recommended rates. Inoculant must be physically rubbed onto the root ball thoroughly prior to backfilling planting hole. There is no restriction for use of slow release fertilizers with Mycorrhizal inoculant.
 - c. Balled and bur lapped stock shall be backfilled with the specified planting soil mixture to approximately half the depth of the ball and then tamped and watered. Burlap and tying materials shall be carefully removed or opened and folded back from top 1/3 of root ball. The remainder of backfill of planting soil mixture shall be tamped and watered.
 - d. Container-grown stock shall be removed from containers without damaging plant or root system. Planting shall be completed as specified for balled or burlapped plants.
4. Edging Planting Beds
 - a. All planting beds shall be edged with steel edging as indicated on the drawings.
5. Mulching (Hardwood)
 - a. Prior to the installation of mulch, all areas to be covered shall be weed free and treated with the specified pre-emergent herbicide as specified herein.
 - b. Mulch for planting beds shall be installed to a minimum depth of three inches (3") in all planting bed areas specified on the Drawings. Mulch for all tree plantings shall be three inches (3") in depth.
 - c. Mulching shall take place within 48 hours after planting.
 - d. Mulch shall be kept out of the crowns of shrubs and off walls, sidewalks, light standards, and other structures.
 - e. The top of all areas covered with of mulch shall be 1" below the top of adjacent curb, walk, wall, wall cap, or edge of pavement.
6. Pruning: The Contractor shall prune new plant material in the following manner: Dead and broken branches shall be removed. Evergreen plants shall not be thinned out or sheared. Shrubs shall not be sheared. All plants shall meet or exceed the minimum requirements indicated in the size, condition, and remarks sections of the planting legend on the plan sheets after pruning has taken place. Cuts shall be made with sharp instruments, and shall be flush with trunk or adjacent branch to insure elimination of stubs. "Headback" cuts at right angles to line of growth shall not be permitted. All trimmings shall be removed from the site.

3.3 TREE, SHRUB, AND VINE PRUNING

- A. Remove only dead, dying, or broken branches. Do not prune for shape.
- B. Prune, thin, and shape trees, shrubs, and vines as directed by Landscape Architect.
- C. Prune, thin, and shape trees, shrubs, and vines according to standard professional horticultural and arboricultural practices. Unless otherwise indicated by Landscape Architect, do not cut tree leaders; remove only injured, dying, or dead branches from trees and shrubs; and prune to retain natural character.
- D. Do not apply pruning paint to wounds.

3.4 PLANT MAINTENANCE

- A. The Contractor shall maintain trees, shrubs, and other plants by pruning, cultivating, and weeding as required for healthy growth until issuance of the letter of Substantial Completion for the entire site and scope of work. The Contractor shall tighten and repair stake and tree tie systems, reset trees and shrubs to proper grades or vertical position, restore or replace damaged wrappings, and apply herbicides and pesticides to keep trees, shrubs, and other plant material free of insects and disease as required until issuance of the letter of Substantial Completion.
- B. The Contractor shall be responsible for watering trees, shrubs, and other plant material until the irrigation system is completely functional and the letter of Substantial Completion has been issued. Contractor shall be responsible for watering trees by hand where irrigation system does not cover. Hand watering of these trees shall continue for 90 days after letter of Substantial Completion has been issued. Watering shall supplement natural rainfall and shall assure that the trees, shrubs, and other plant material receive a minimum of one (1) inch of water per week. Seed shall be watered daily during the first week and in sufficient quantities to maintain moist soil to a depth of four inches (4"). After the first week seed shall be watered as necessary to maintain adequate moisture.

END OF SECTION 329300