

LEGEND:

A/E

BC

B/B

BM

BL or B.L.

CO

TJB

C&G

D/E

E/E

EL

FL

G/E

HDPE

L/E

MSFE

PVC

P/L

PUB/E

RCP

ROW or R/W

S/E

SL

SW

TE

U/E

WSE

W/E

ASPHALT PAVEMENT - EXISTING

ASPHALT PAVEMENT - PROPOSED

CONCRETE PAVEMENT - EXISTING

ASPHALT PAVEMENT - EXISTING

CONCRETE SIDEWALK - EXISTING

CONCRETE SIDEWALK - PROPOSED

CURB & GUTTER

CURB & GUTTER - EXISTING

TREELINE

EXISTING LOT AND R/W LINES

EXISTING PLAT LINES

P/L

ROW

SANITARY SEWER MAIN

SANITARY SEWER MAIN - EXIST.

STO

STORM SEWER

STORM SEWER - EXISTING

CATV<sub>x</sub>

FOC<sub>x</sub>

T<sub>x</sub>

F<sub>x</sub>

CHP<sub>x</sub>

UGE<sub>x</sub>

G<sub>x</sub>

W<sub>x</sub>

LIGHT - EXISTING

EXISTING MANHOLE

CLEANOUT

EXISTING SANITARY MANHOLE

PROPOSED SANITARY MANHOLE

EXISTING AREA INLET

EXISTING CURB INLET

EXISTING GRATE INLET

EXISTING JUNCTION BOX

EXISTING STORM MANHOLE

S.E. Bailey Road

PROJECT LOCATION

NW1/4

NE1/4

SW1/4

SE1/4

16

S.E. Hamblen Road

S.E. Ransom Road

SECTION 16-47-31

LOCATION MAP

SCALE 1" = 2000'

BASIS OF BEARINGS:

MISSOURI COORDINATE

SYSTEM 1983,

WEST ZONE

MISSOURI DEPARTMENT OF TRANSPORTATION (MODOT)

Steve Holloway

600 NE Colbern Road

Lee's Summit, MO 64086

(816) 607-2186

MISSOURI GAS ENERGY (MGE)

Brent Jones

3025 SE Clover Drive

Lee's Summit, MO 64082

(816) 399-9633

brent.jones@spireenergy.com

EVERGY

Ron DeJarnette

1300 SE Hamblin Road

Lee's Summit, MO 64081

Office: (816) 347-4316

Cell: (816) 810-5234

ron.dejarnette@evergy.com

CITY OF LEES SUMMIT PUBLIC WORKS

Michael Park

220 SE Green Street

Lee's Summit, MO 64063

(816) 969-1800

AT&T

Mark Manion or Marty Loper

500 E. 8th Street, Room 370

Kansas City, MO 64106

(816) 275-2341 or (816) 275-1550

COMCAST CABLE

John Meadows

4700 Little Blue Parkway

Independence, MO 64057

(816) 795-2257

CITY OF LEE'S SUMMIT WATER UTILITIES

Mark Schautler

1200 SE Hamblen Road

Lee's Summit, MO 64081

(816) 969-1900

SANITARY MAIN EXTENSION PLANS

FOR

MANOR AT BAILEY FARMS, FIRST PLAT

IN THE CITY OF LEE'S SUMMIT

JACKSON COUNTY, MO

Record Drawing

GENERAL NOTES:

1.

ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.

2.

ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI.

3.

LINEAL FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS, NOT SLOPE MEASUREMENTS. ALL PAYMENTS SHALL BE MADE ON HORIZONTAL MEASUREMENTS.

4.

THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND APPARENT FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

5.

THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT OF WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. THE CONTRACTOR MAY ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC.": 1-800-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.

6.

PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.

7.

THE CONTRACTOR SHALL PROTECT ALL MAJOR TREES FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE.

8.

CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.

9.

ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, OR AS DIRECTED BY THE OWNER AT NO ADDITIONAL COST.

10.

ALL EXCAVATIONS SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK EXCAVATION.

11.

THE CONTRACTOR SHALL CONTROL THE EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.

12.

THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

13.

THE CONTRACTOR SHALL CONTACT THE RIGHT OF WAY INSPECTOR AT 816-969-1800 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHT OF WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT.

14.

THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TRAFFIC HANDLING MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION).

15.

ALL SANITARY SEWER LATERALS SHALL HAVE A TRENCH CHECK, CONSISTING OF FLOWABLE BACKFILL, INSTALLED DURING CONSTRUCTION. TRENCH CHECK SHALL EXTEND TO BOTTOM OF TRENCH, TO WIDTH OF TRENCH, TO 12 INCHES ABOVE PIPE. FOR A MINIMUM LENGTH OF 12 INCHES. TRENCH CHECK SHALL BE LOCATED AT LEAST 5 FEET FROM SANITARY MAIN.

UTILITIES:

1.

Existing utilities have been shown to the greatest extent possible based upon information provided to the Engineer. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer.

2.

The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.

3.

Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.

4.

Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines, manholes, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations can not be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict.

5.

Payment for trenching, backfilling, pipe embedment, flowable fill, backfill materials, clean up, seeding, sodding and any other items necessary for the construction of the utility line shall be included in the contract price for the utility installation.

6.

The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.

7.

Trench spoils shall be neatly placed onsite adjacent to the trench, and compacted to prevent saturation and excess sediment runoff. Unsuitable materials, excess rock and shale, asphalt, concrete, trees, brush etc. shall be properly disposed of offsite. Materials may be wasted onsite at the direction of the Owner or his appointed representative. All excavation is considered unclassified, unless noted otherwise. Unclassified excavation for utility trenching is subsidiary to the unit price provided for the pipe. Any quantity provided for rock excavation is estimated based on the nominal pipe diameter of the installed main plus 18 inches. Contractor is required to dispose of excess rock from their trenches by disposing it in areas as specified by the Project Engineer.

05/14/2025

As-Built

REVISION DATE

DESCRIPTION

1

01/24/2022

Per City Comments Dated 11/18/2021

2

02/23/2022

Per City Comments Dated 02/15/2022

3

04/20/2022

Per City Comments Dated 02/15/2022

4

05/24/2022

Per City Comments Dated 05/24/2022

5

10/27/2023

Updated City Details to 2023

6

11/30/2023

Added "New City Requirements" Note

7

1/17/2024

Removed Line L and R 12-813 per MDNR

8

4/1/2024

Pipe Run A1-A2-A3 to get over water main

DRAWN BY:

NCA

CHECKED BY:

JLL

DATE PREPARED:

11/05/2021

PROJ. NUMBER:

21-130

COVER SHEET

SHEET

1

MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

RECORD DRAWING

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"100-00 100.10", "3-00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Date: 05/13/2025  
Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlagel and Associates, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT

SANITARY MAIN EXTENSION PLANS

1300 SE RANSON ROAD LEE'S SUMMIT, MO

PREPARED BY:

STATE OF MISSOURI

5/14/2025

JAMES L. LONG

NUMBER PE-2014010095

PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.





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--- PHASE LINE

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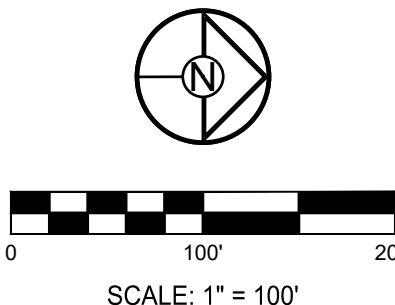


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Title: Senior Project Engineer  
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WWW.SCHLAGELASSOCIATES.COM  
Missouri State Certificates of Authority  
#E20020036060-F #AC2001005237 #LS2002008659-F

PREPARED BY:

STATE OF MISSOURI  
JAMES L. LONG  
NUMBER PE-2014010095  
PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS  
1300 SE RANSON ROAD LEE'S SUMMIT, MO

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1/17/2024	and Added Details on Sheet 14
4/1/2024	Pipe Run A1-A2-A3 to get over water main

OVERALL SITE LAYOUT





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--- PHASE LINE

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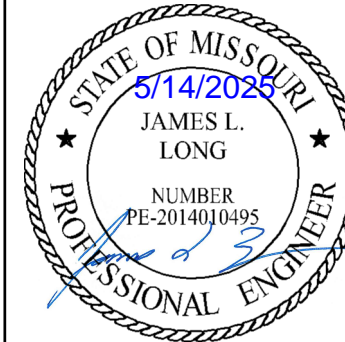
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PREPARED BY:



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MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS  
1300 SE RANSON ROAD LEE'S SUMMIT, MO

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SITE LAYOUT  
(WEST)

SHEET

3





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--- PHASE LINE

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Missouri State Certificates of Authority  
#E2002003600-F #LAC2001005237 #LS2002008659-F

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS  
1300 SE RANSON ROAD LEE'S SUMMIT, MO**

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**SITE LAYOUT (EAST)**

SHEET

**4**





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--- PHASE LINE

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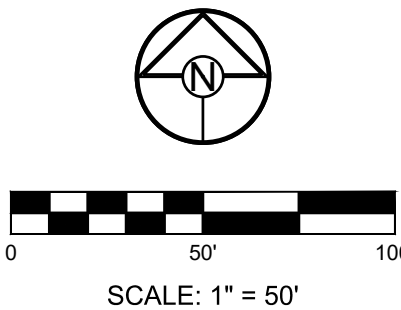


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PREPARED BY:

JAMES L. LONG  
5/14/2025  
PE-2014010095

SCHLAGEL & ASSOCIATES, P.A.

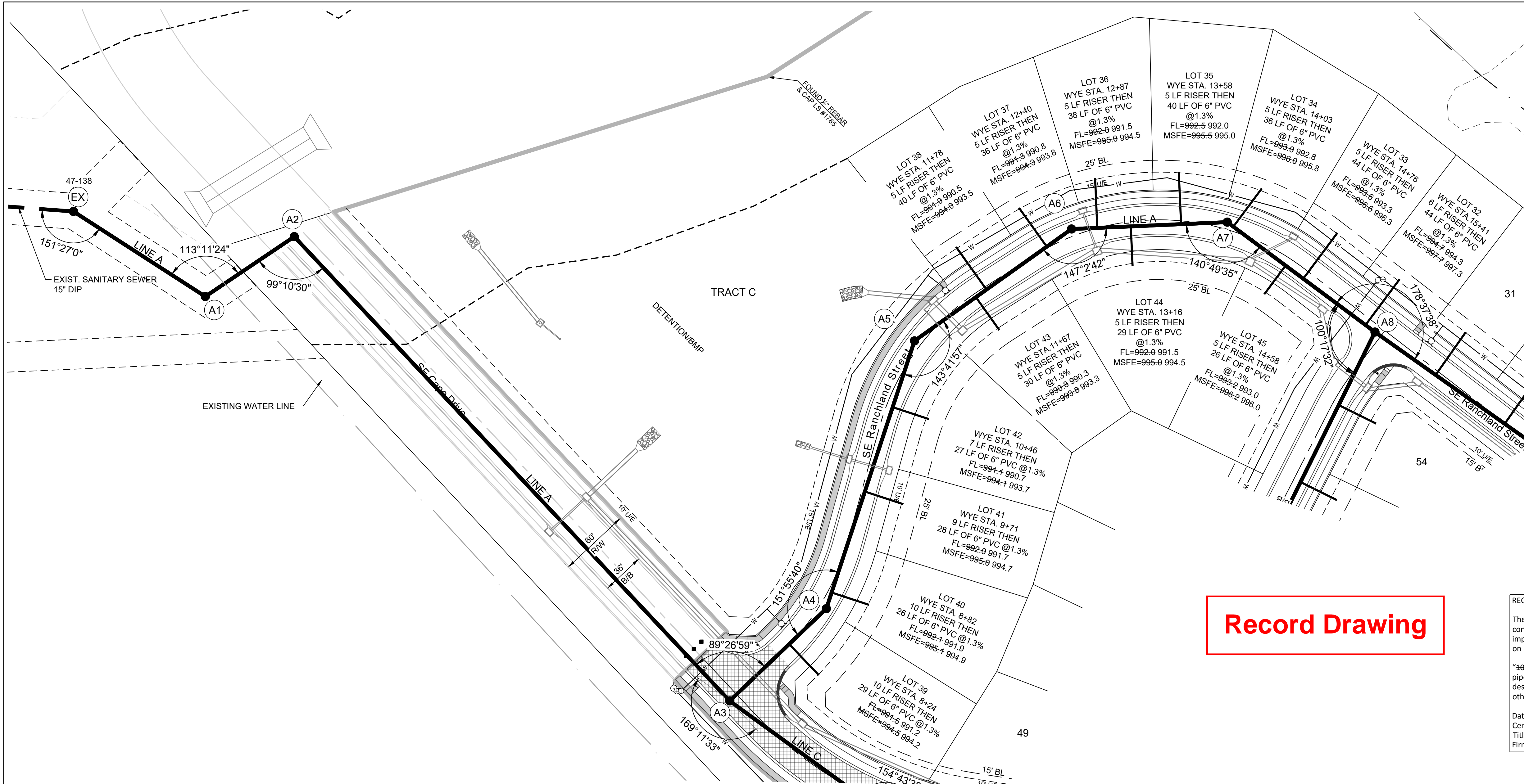
**MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS**  
  
1300 SE RANSON ROAD LEE'S SUMMIT, MO

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4/1/2024	

**SITE LAYOUT (NORTH)**

SHEET  
**5**





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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

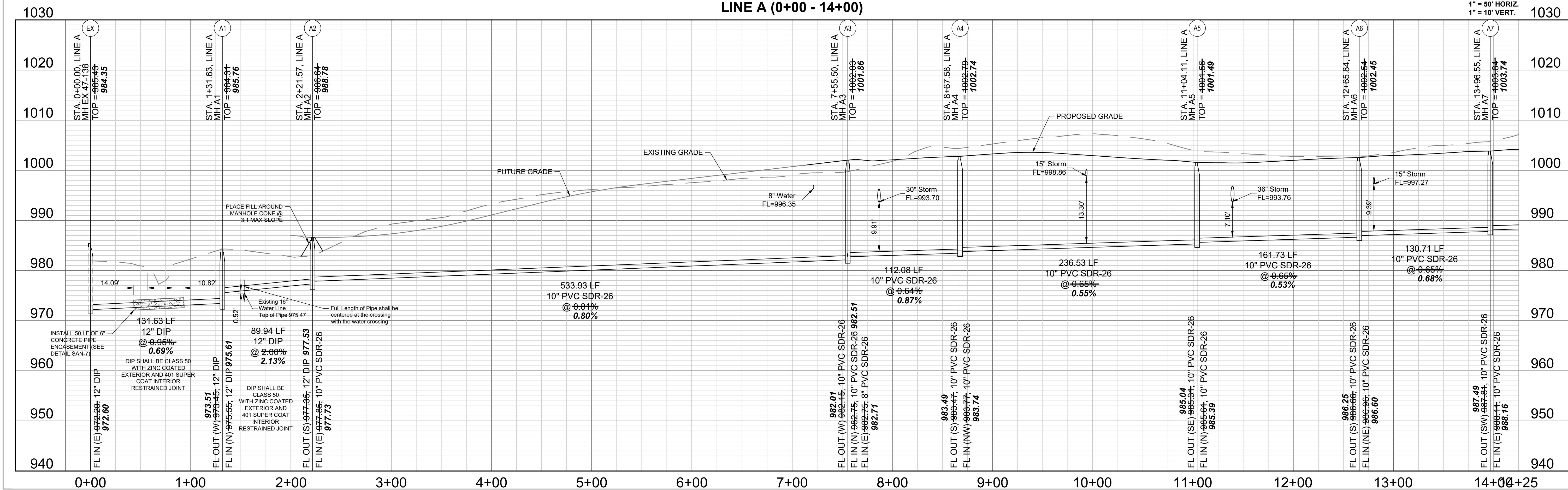
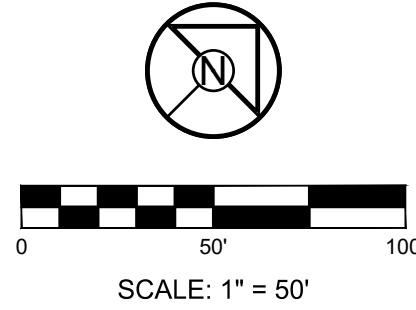
Record Drawing

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MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS

1300 SE RANSON ROAD LEE'S SUMMIT, MO

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LINE A PLAN &  
PROFILE (STA.  
0+00 - 14+00)

SHEET

6



Record Drawing

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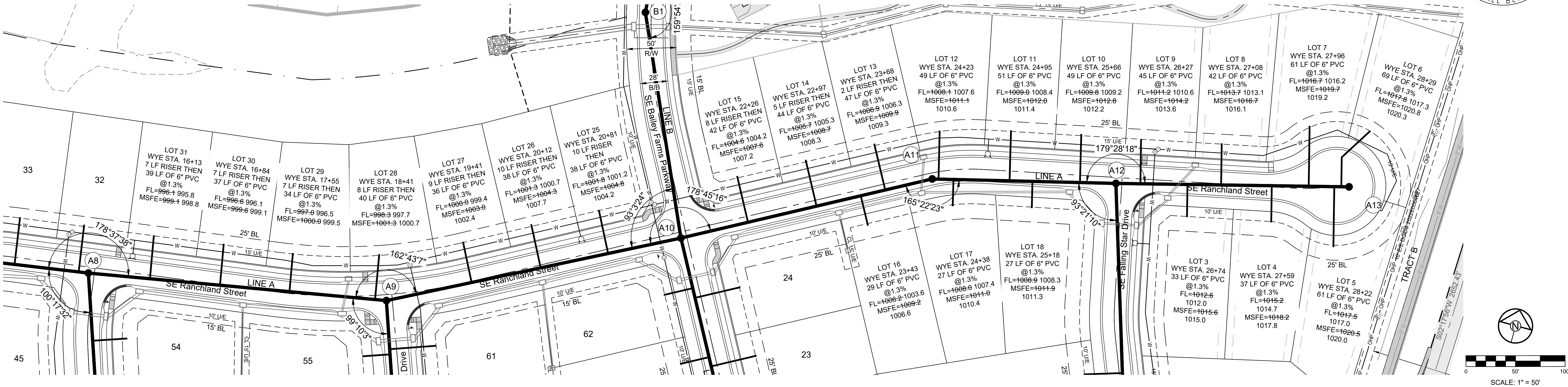


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Missouri State Certificates of Authority  
#E200200360P-F #LAC2001005237 #LS200200859-F

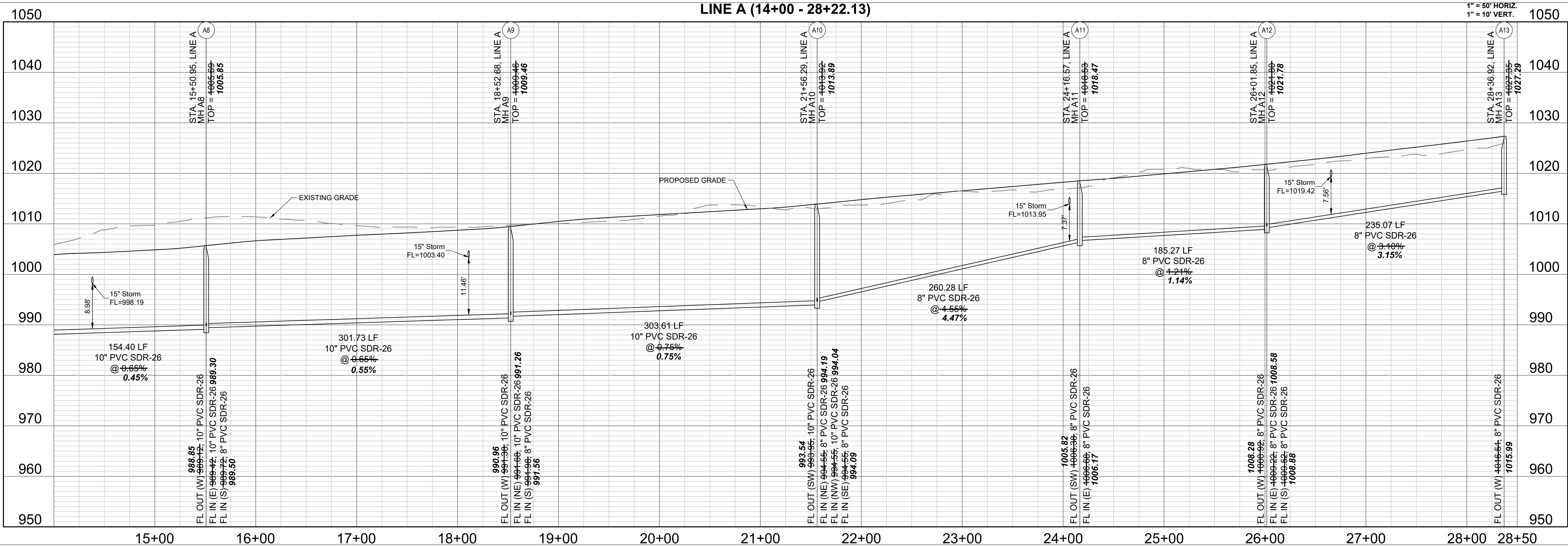
PREPARED BY:

STATE OF MISSOURI  
JAMES L. LONG  
NUMBER PE-2014010095  
PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.



LINE A (14+00 - 28+22.13)



MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS  
1300 SE RANSON ROAD LEE'S SUMMIT, MO

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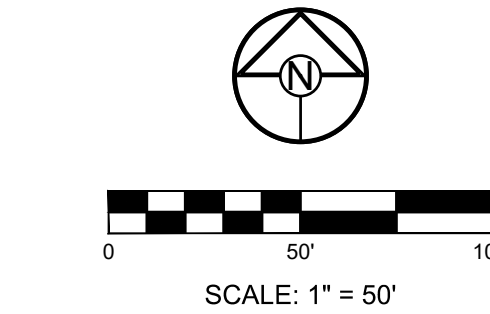
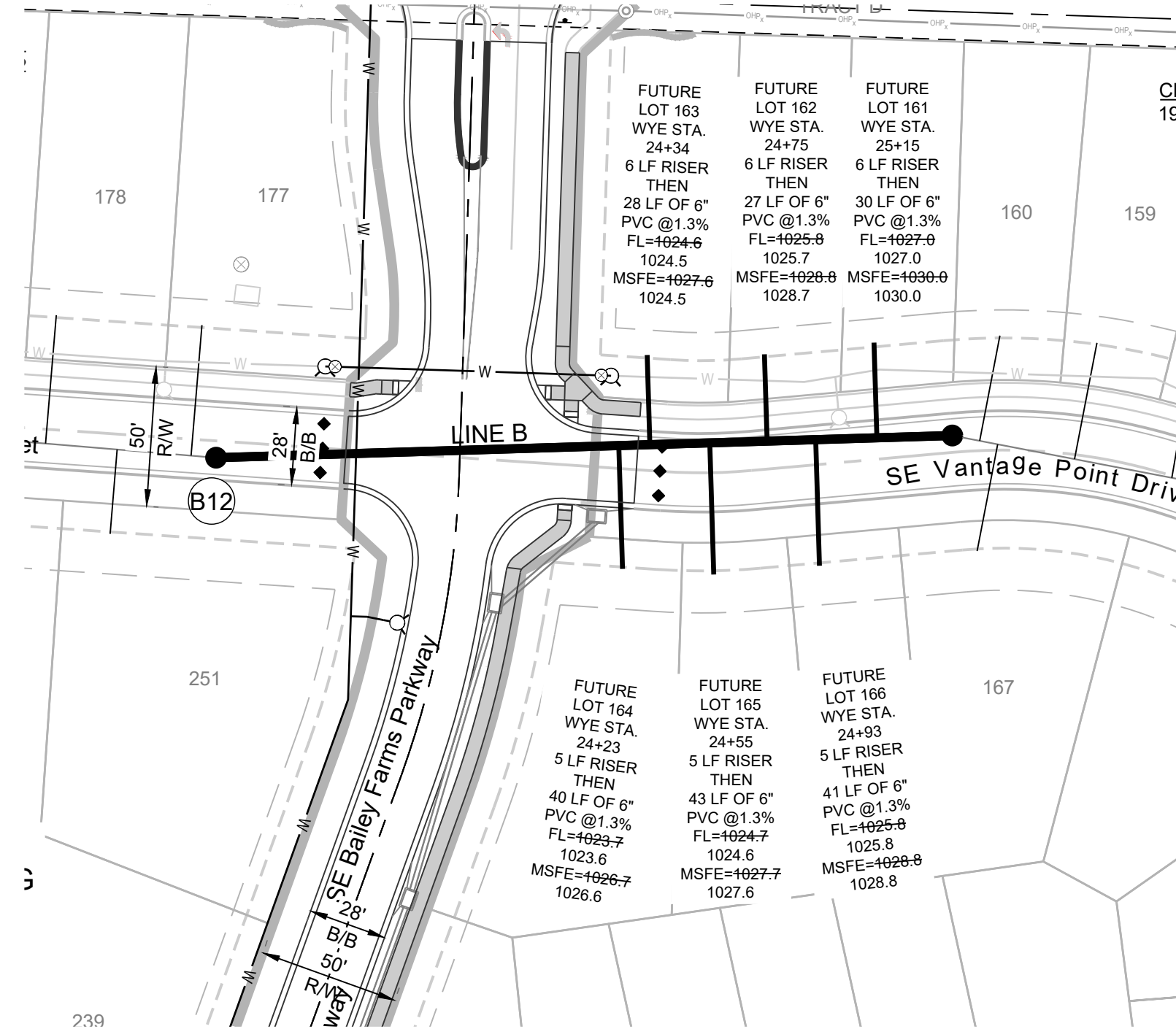
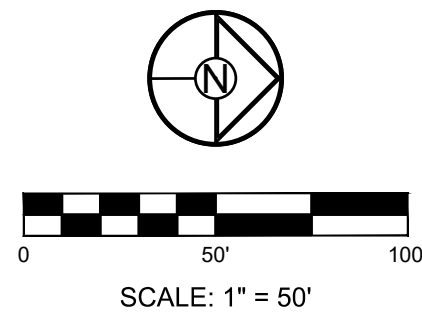
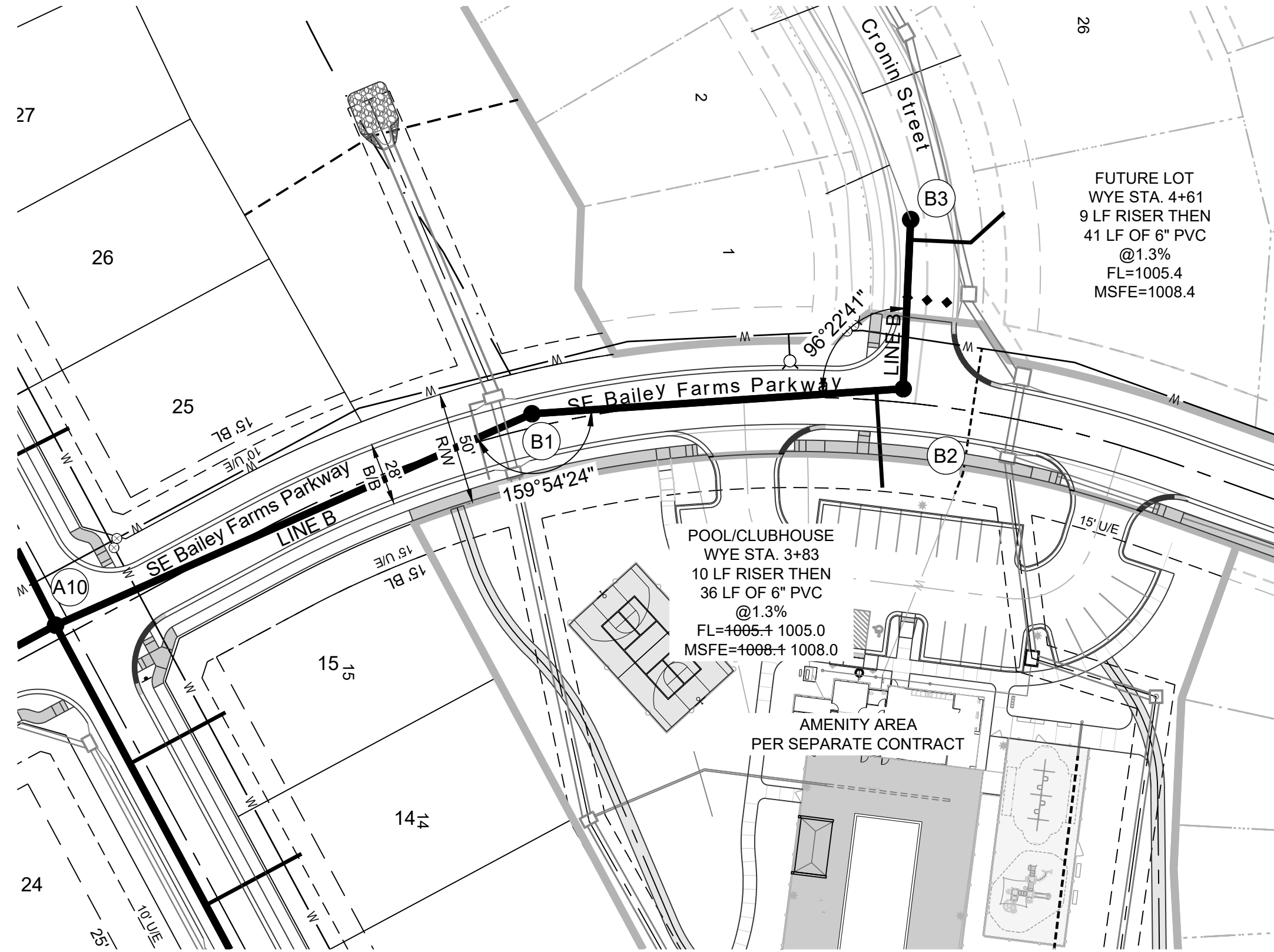
DRAWN BY: NCA  
CHECKED BY: JLL  
DATE PREPARED: 01/03/2022  
PROJ. NUMBER: 21-130

LINE A PLAN & PROFILE (STA. 0+00 - 14+00) (2)

SHEET

7





Record Drawing

MISSOURI GEOGRAPHIC REFERENCE SYSTEM  
BENCHMARK:

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

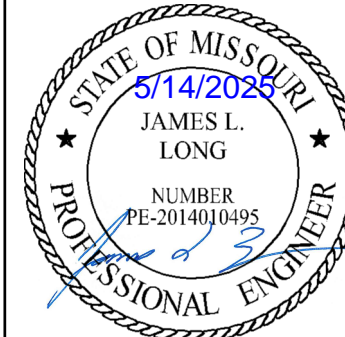
ELEV. = 1046.25

GENERAL NOTES:

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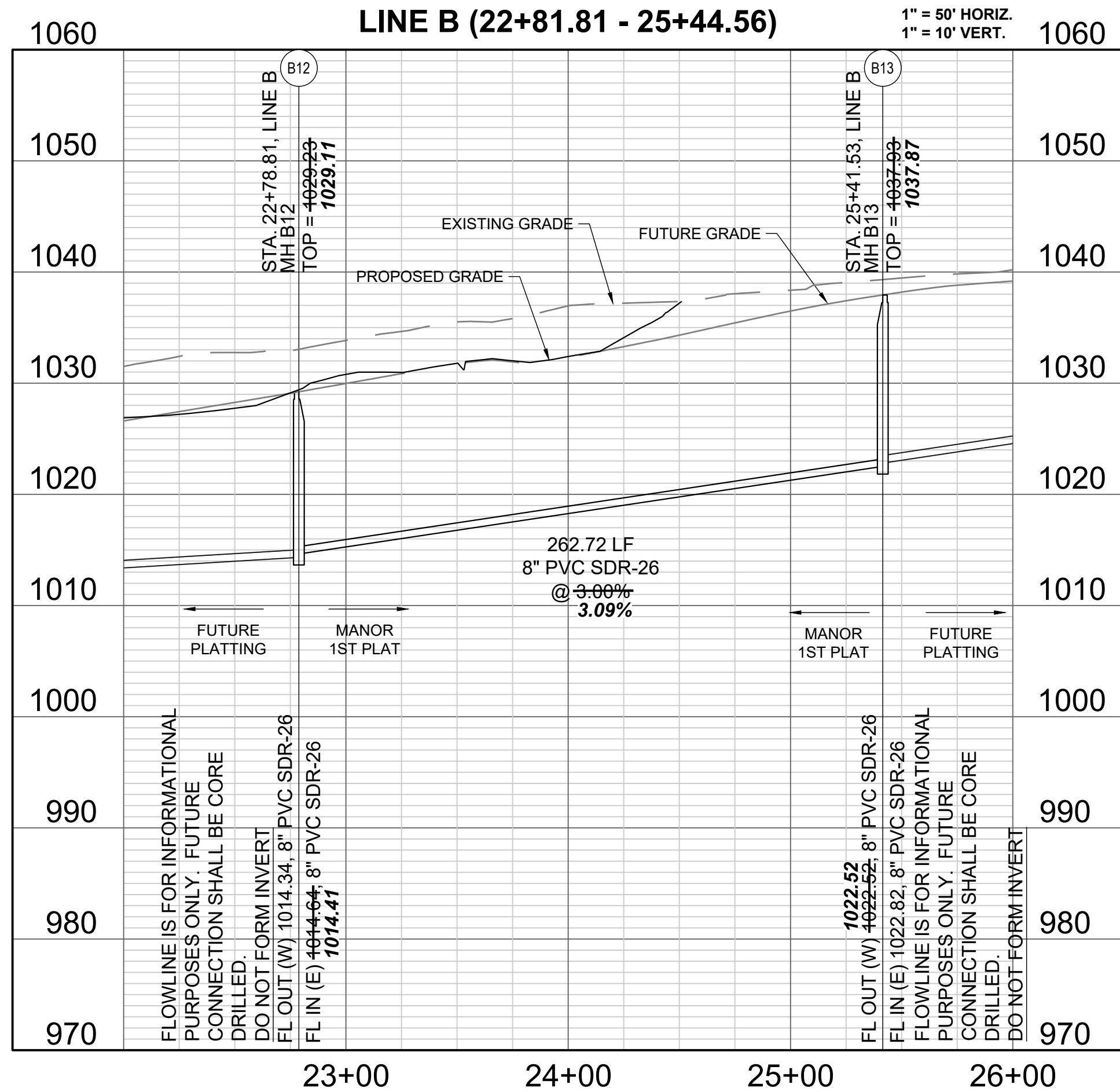
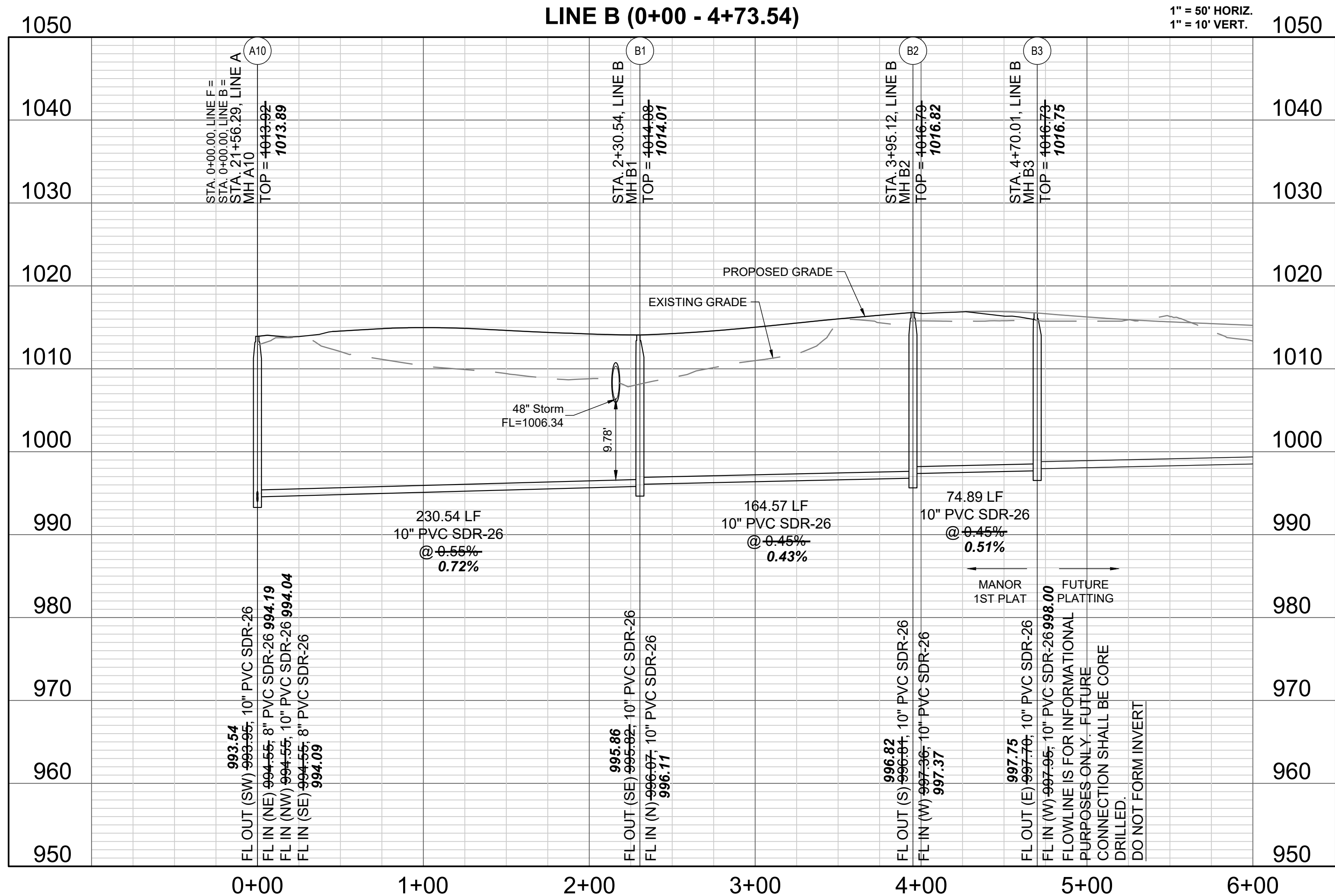
PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS

1300 SE RANSON ROAD LEE'S SUMMIT, MO



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Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlager and Associates, P.A.

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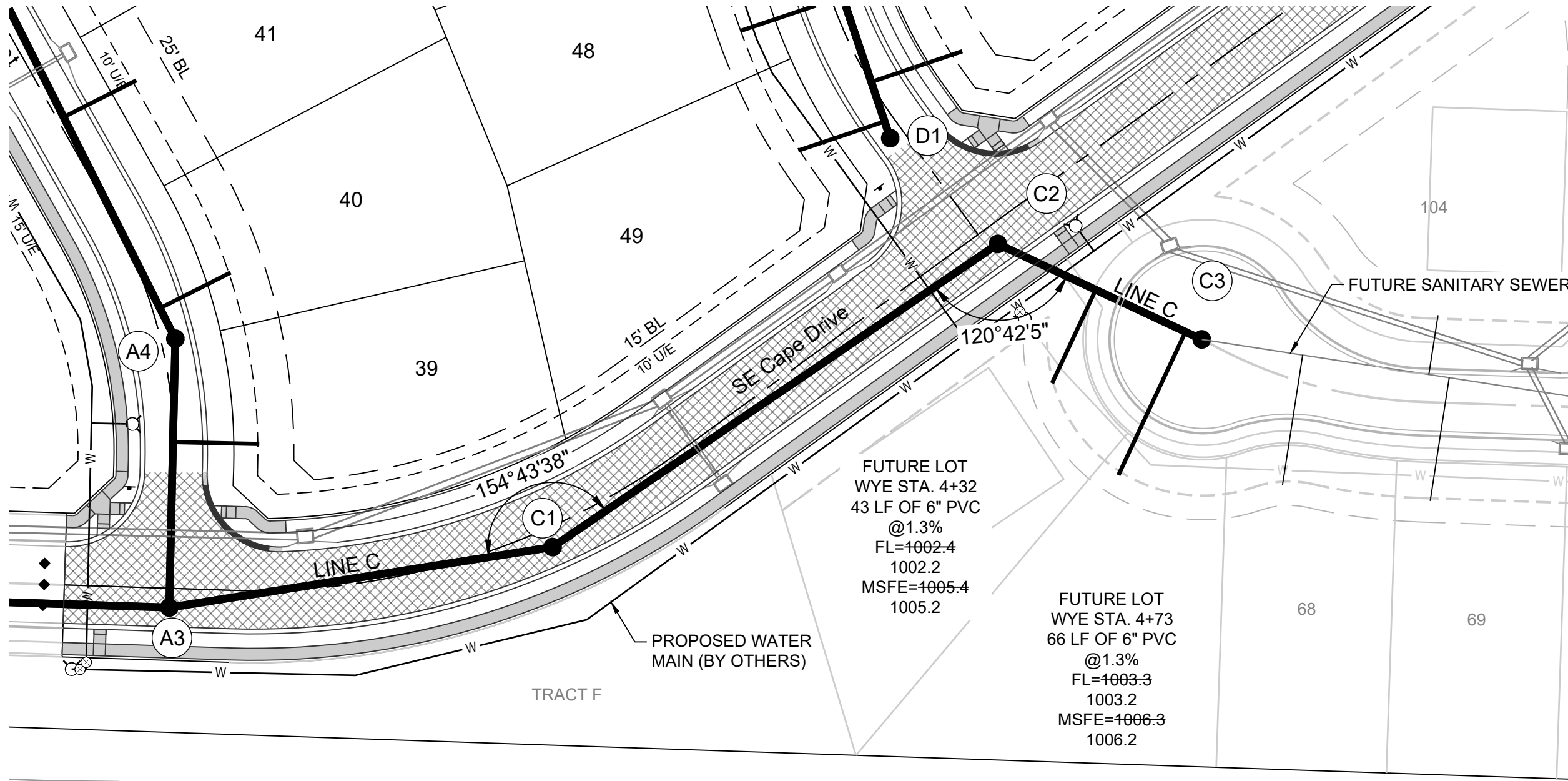
LINE B PLAN &  
PROFILE

SHEET

8



Record Drawing



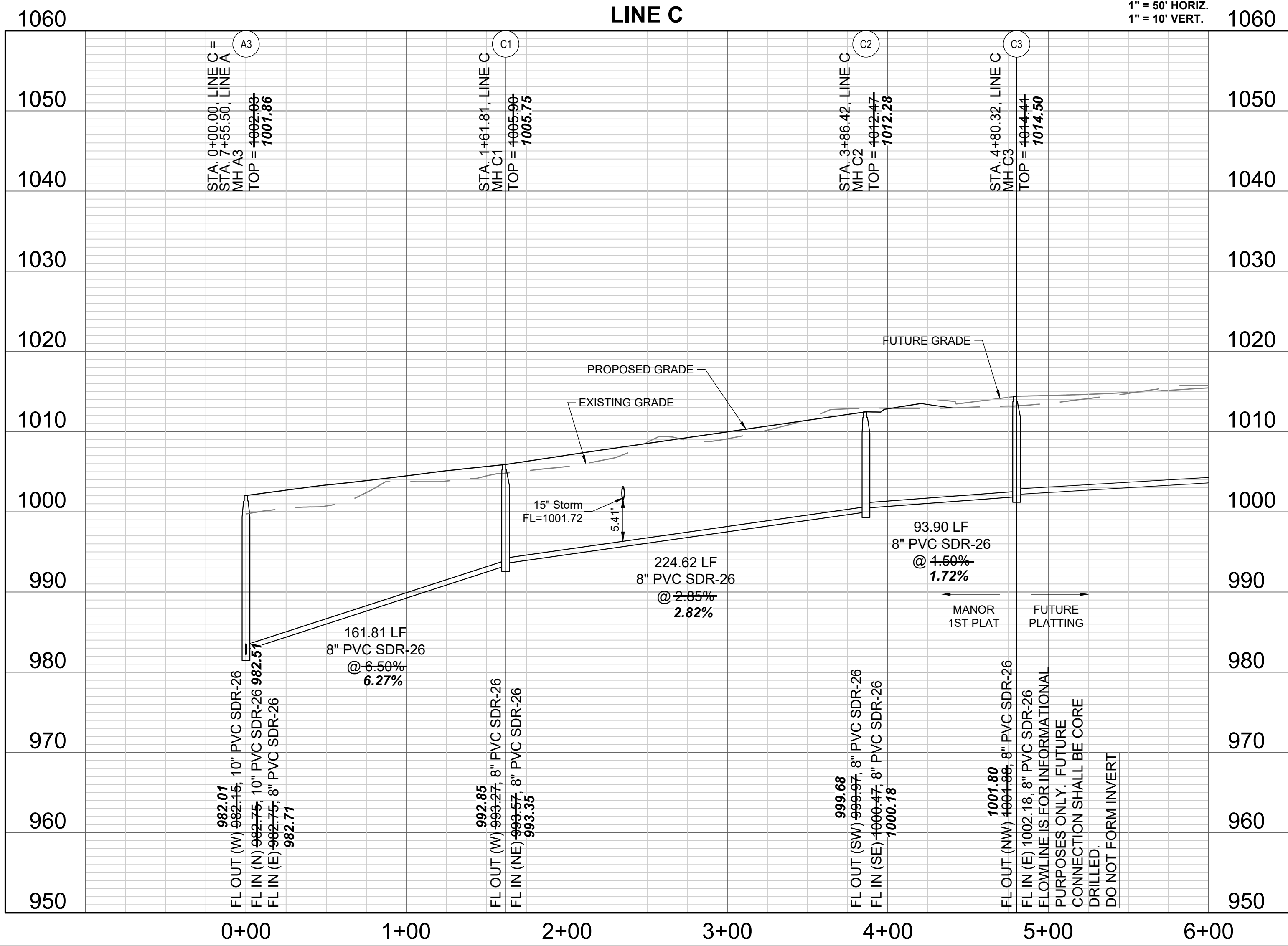
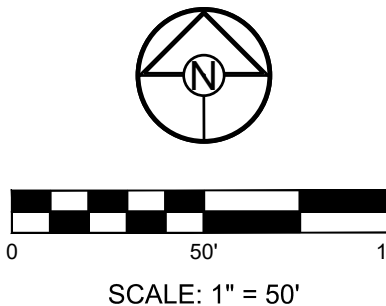
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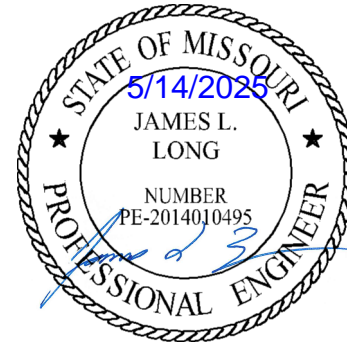
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Title: Senior Project Engineer  
Firm: Schlager and Associates, P.A.



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

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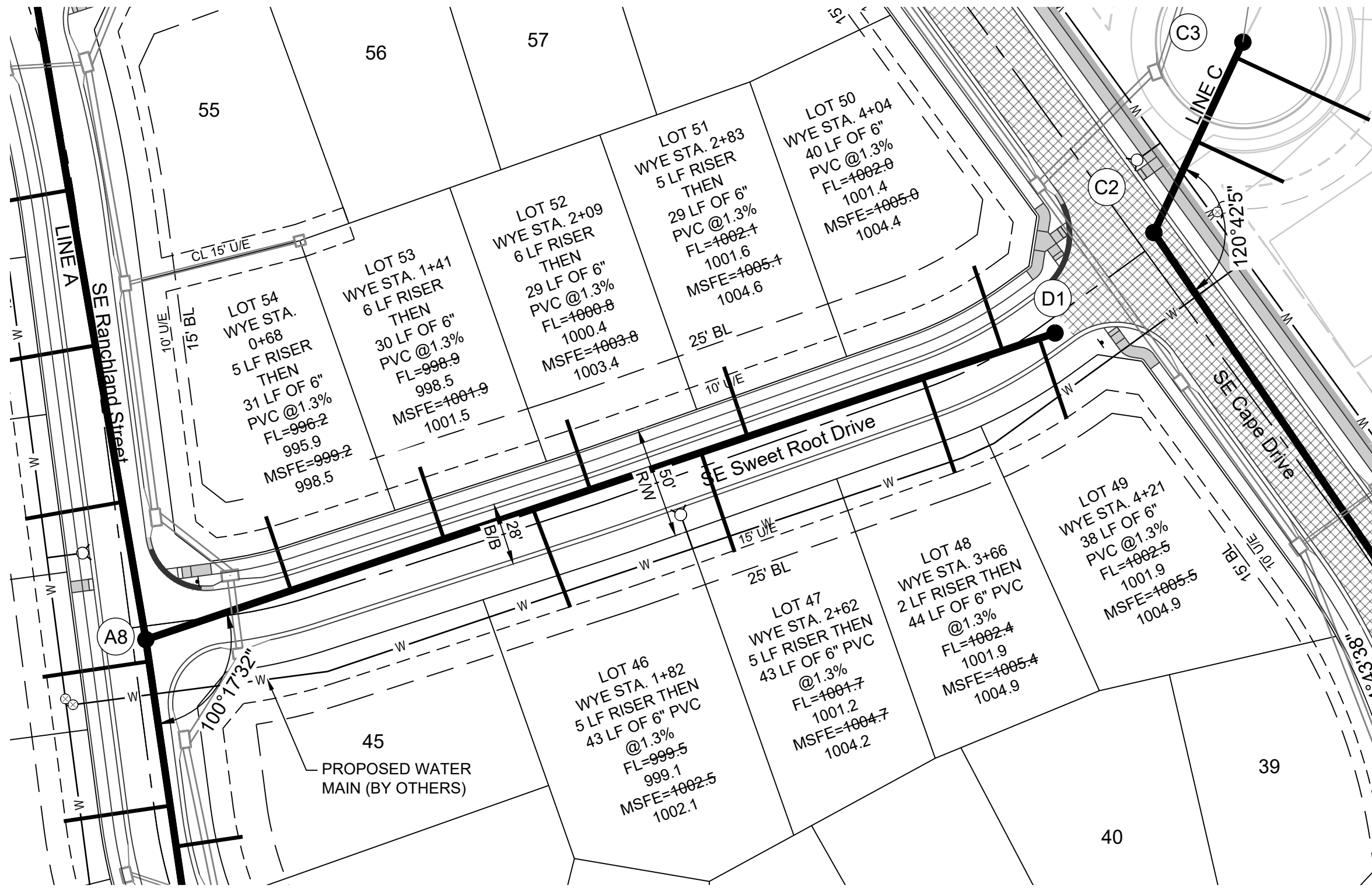
LINE C PLAN & PROFILE

SHEET

9



Record Drawing



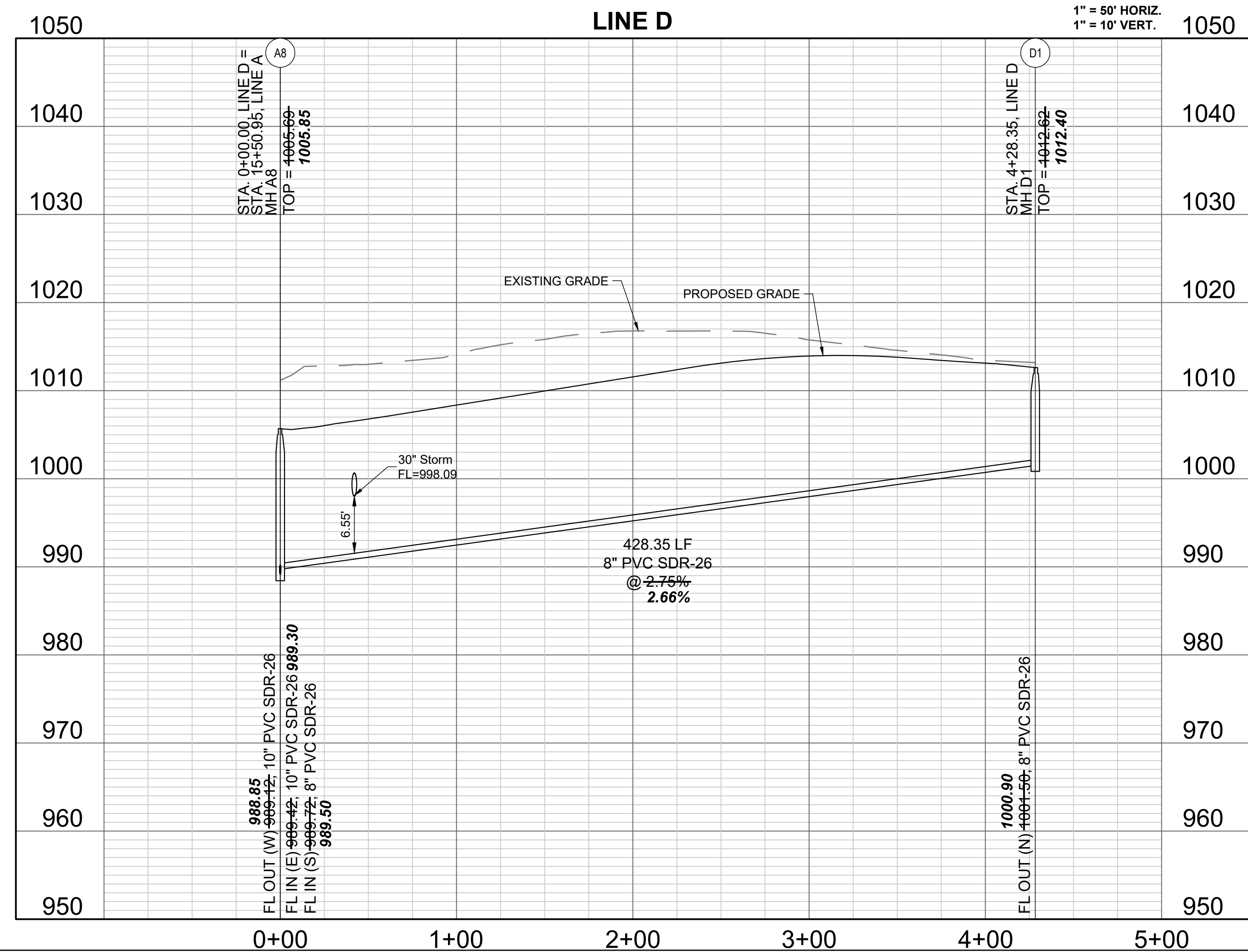
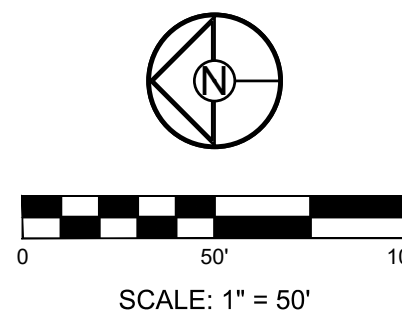
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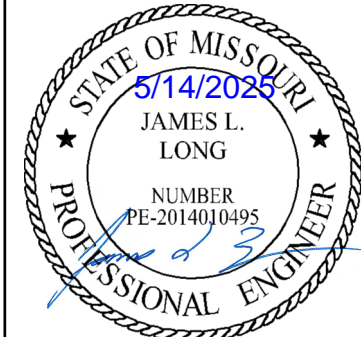
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Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlager and Associates, P.A.



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
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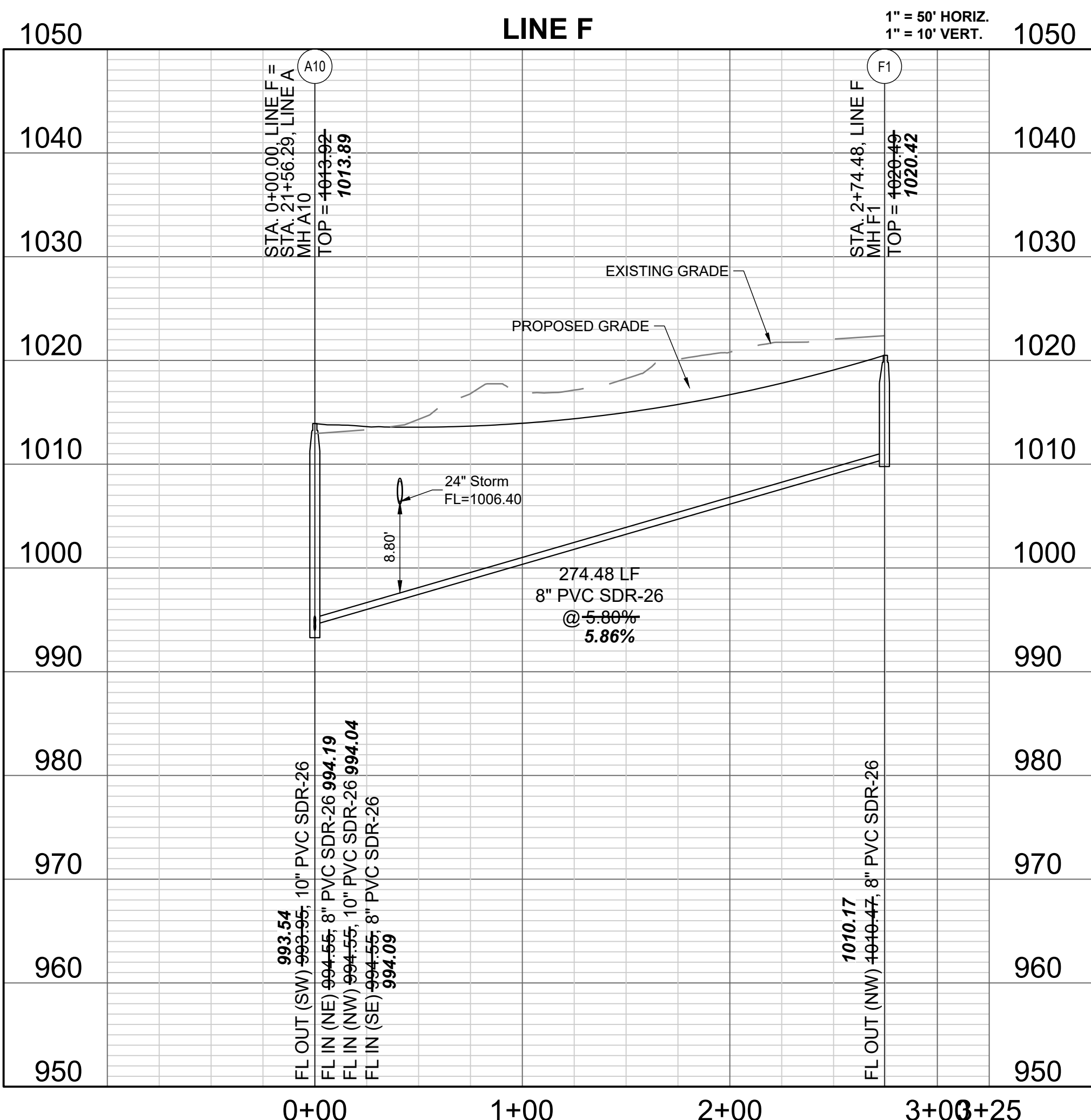
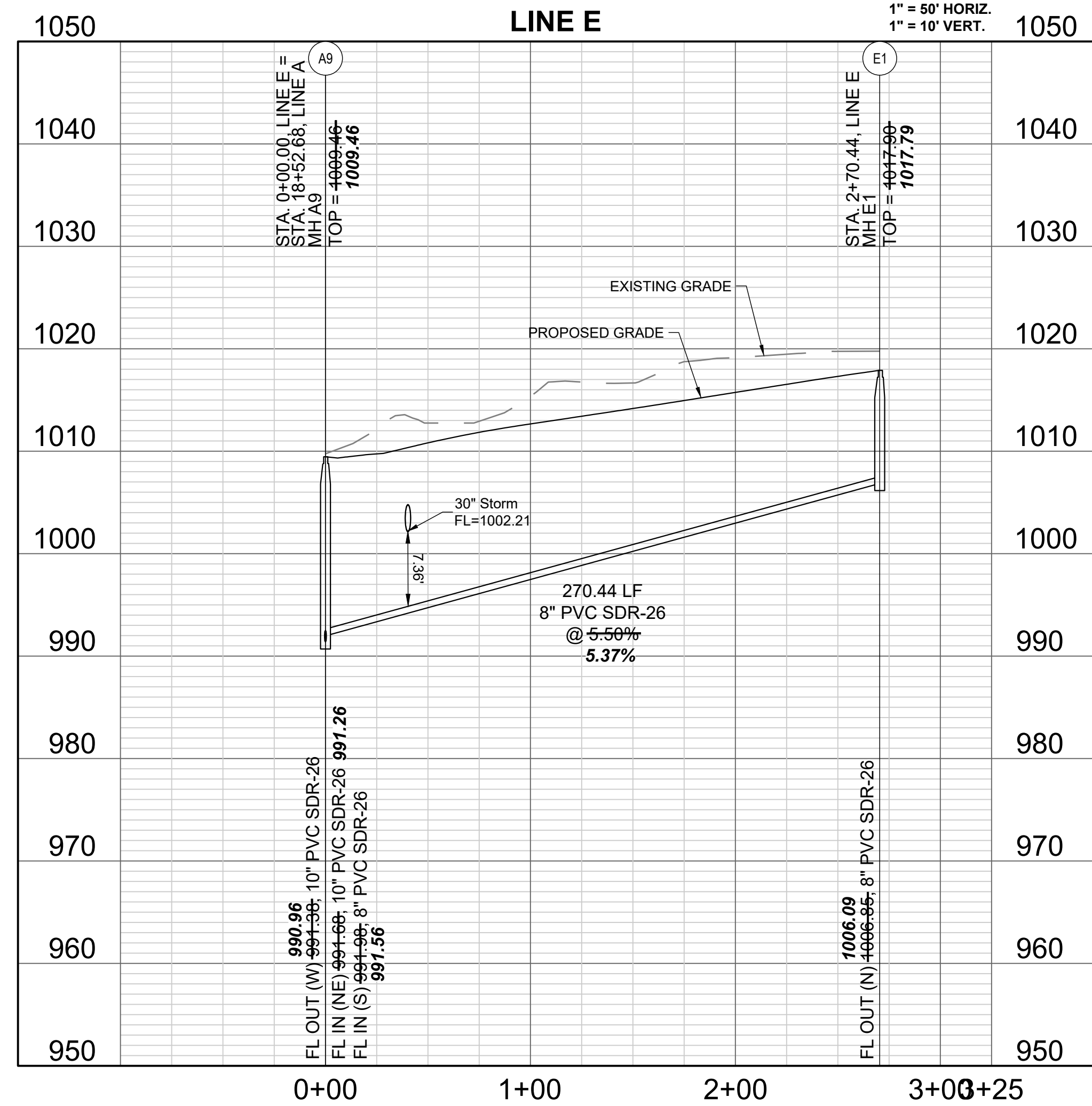
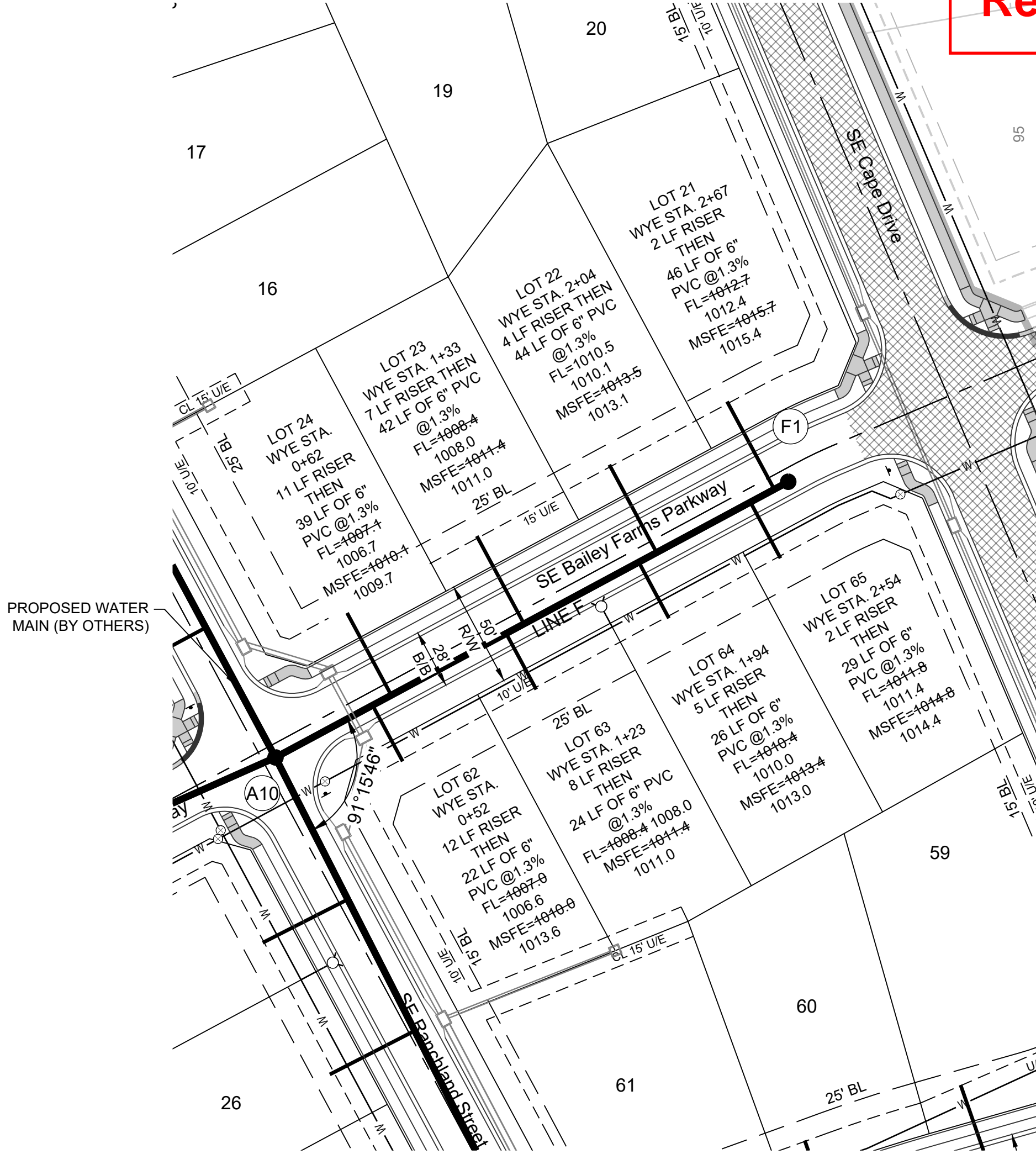
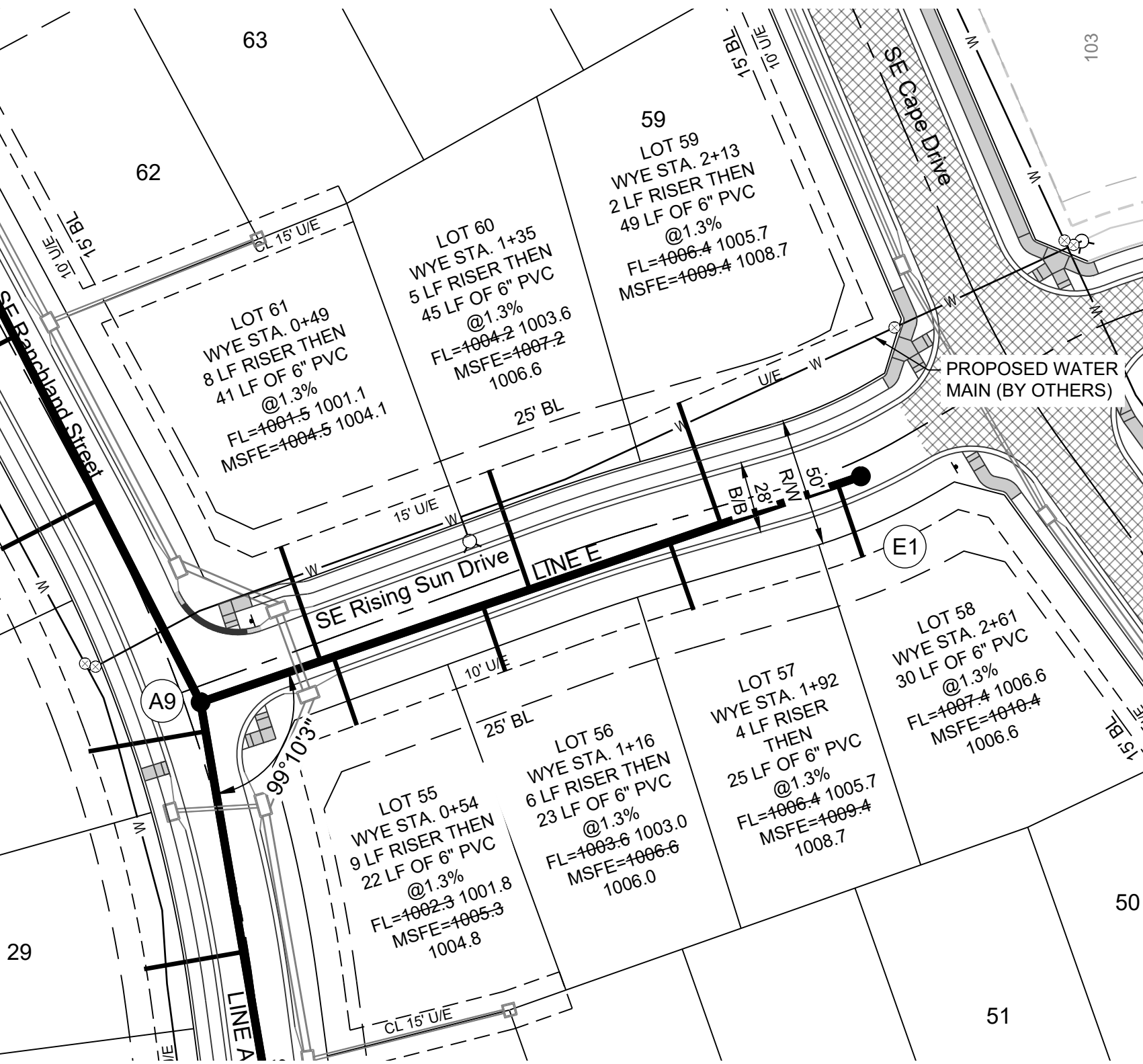
DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	01/03/2022
PROJ. NUMBER:	21-130

LINE D PLAN &  
PROFILE

SHEET

10





Record Drawing

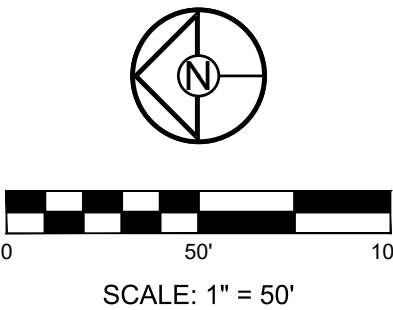
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**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELASSOCIATES.COM  
Missouri State Certificates of Authority  
#E200203600-F #LAC2001005237 #LS200200859-F

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

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LINE E & F PLAN  
& PROFILE

SHEET

11

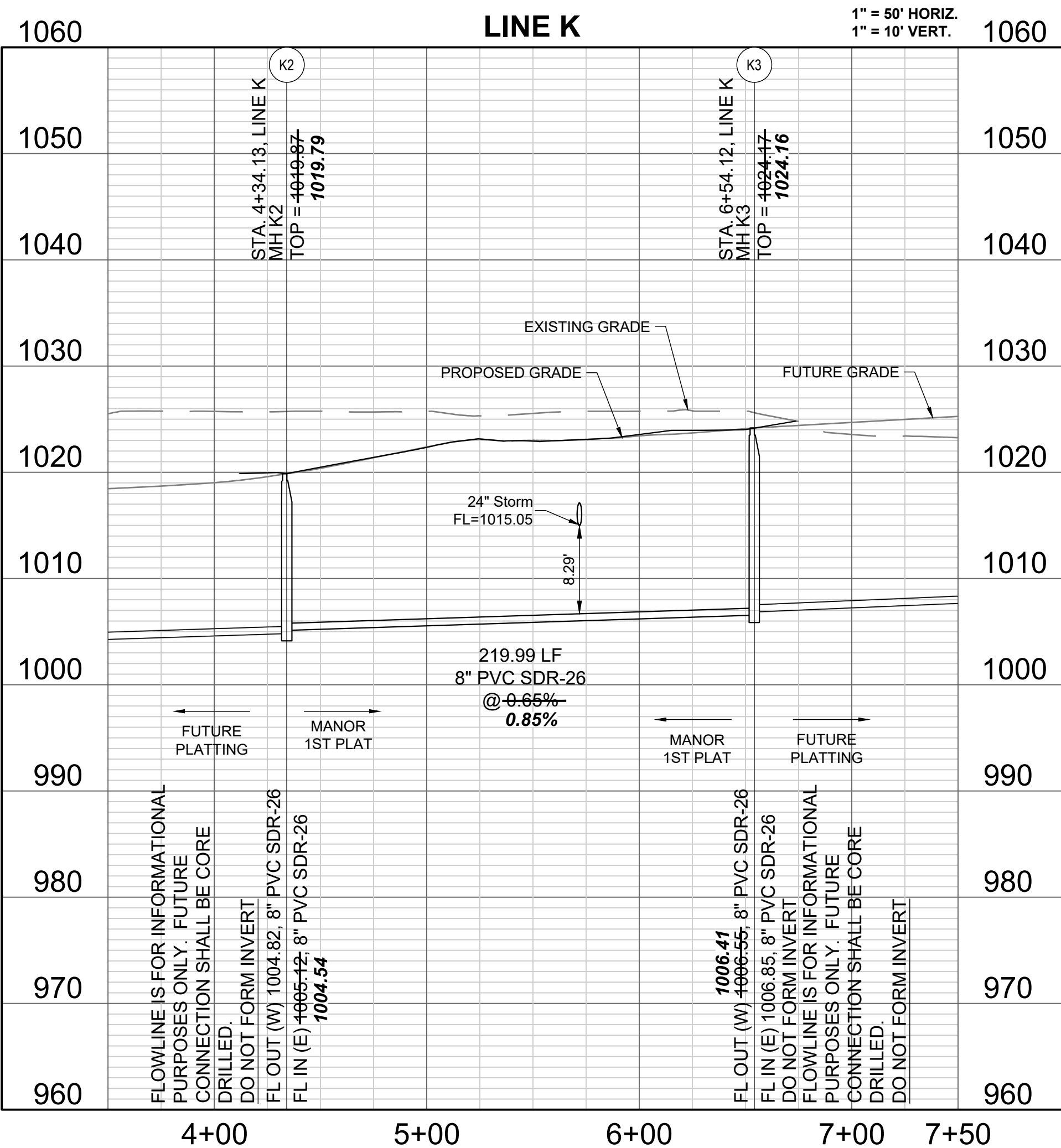
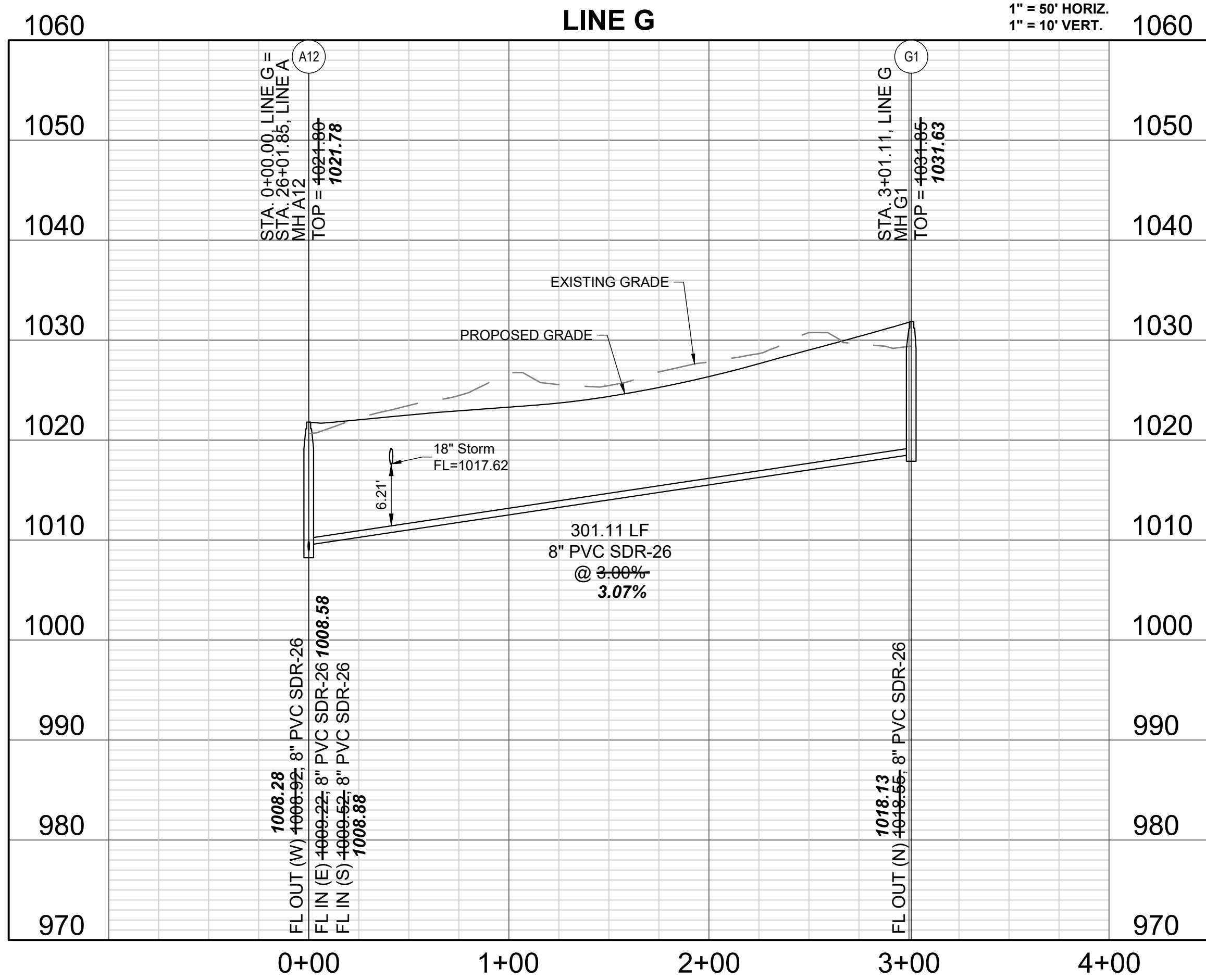
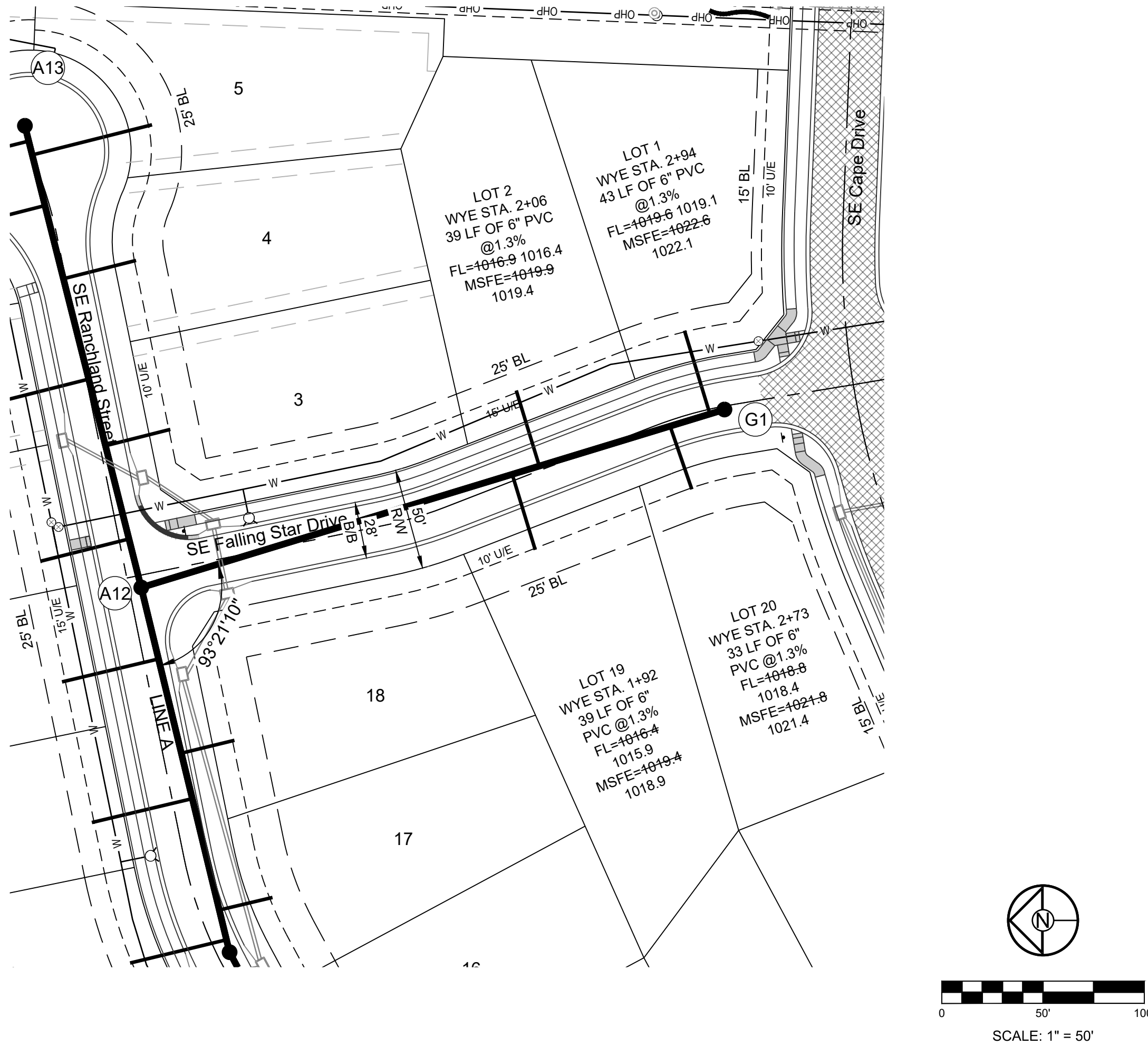
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Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlager and Associates, P.A.





Record Drawing

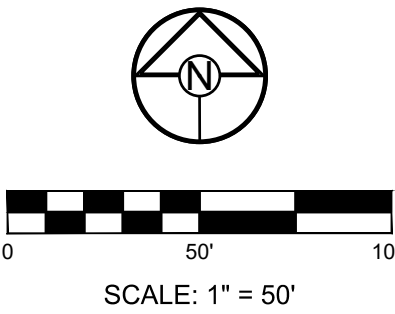
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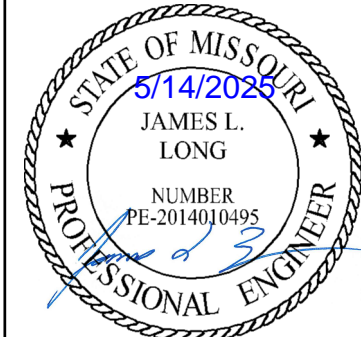
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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
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LINE G & K PLAN  
& PROFILE

SHEET

12

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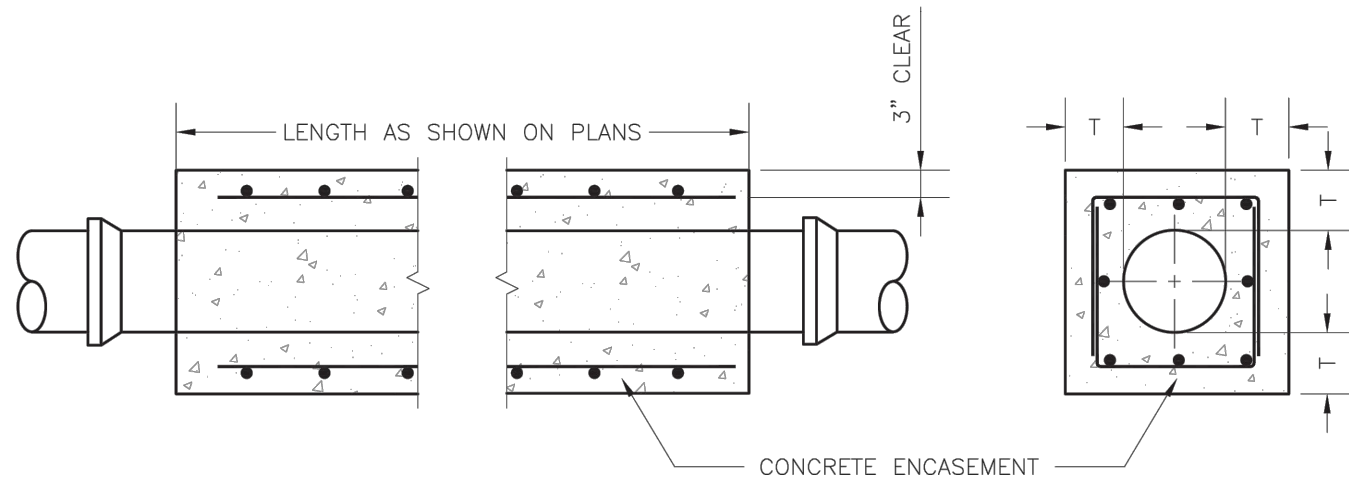
Date: 05/14/2025  
Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlagel and Associates, P.A.

NOTE:

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Record Drawing



- NOTES:
1. FOR PIPES LESS THAN 15", T = 6" MIN.
  2. FOR PIPES 15" THRU 36", T = 8" MIN.
  3. INTERMEDIATE BELLS SHALL BE ENCASED.
  4. REINFORCING STEEL SHALL BE #4 @ 12" O.C. EACH WAY WITH A MINIMUM REBAR LAP OF 12".



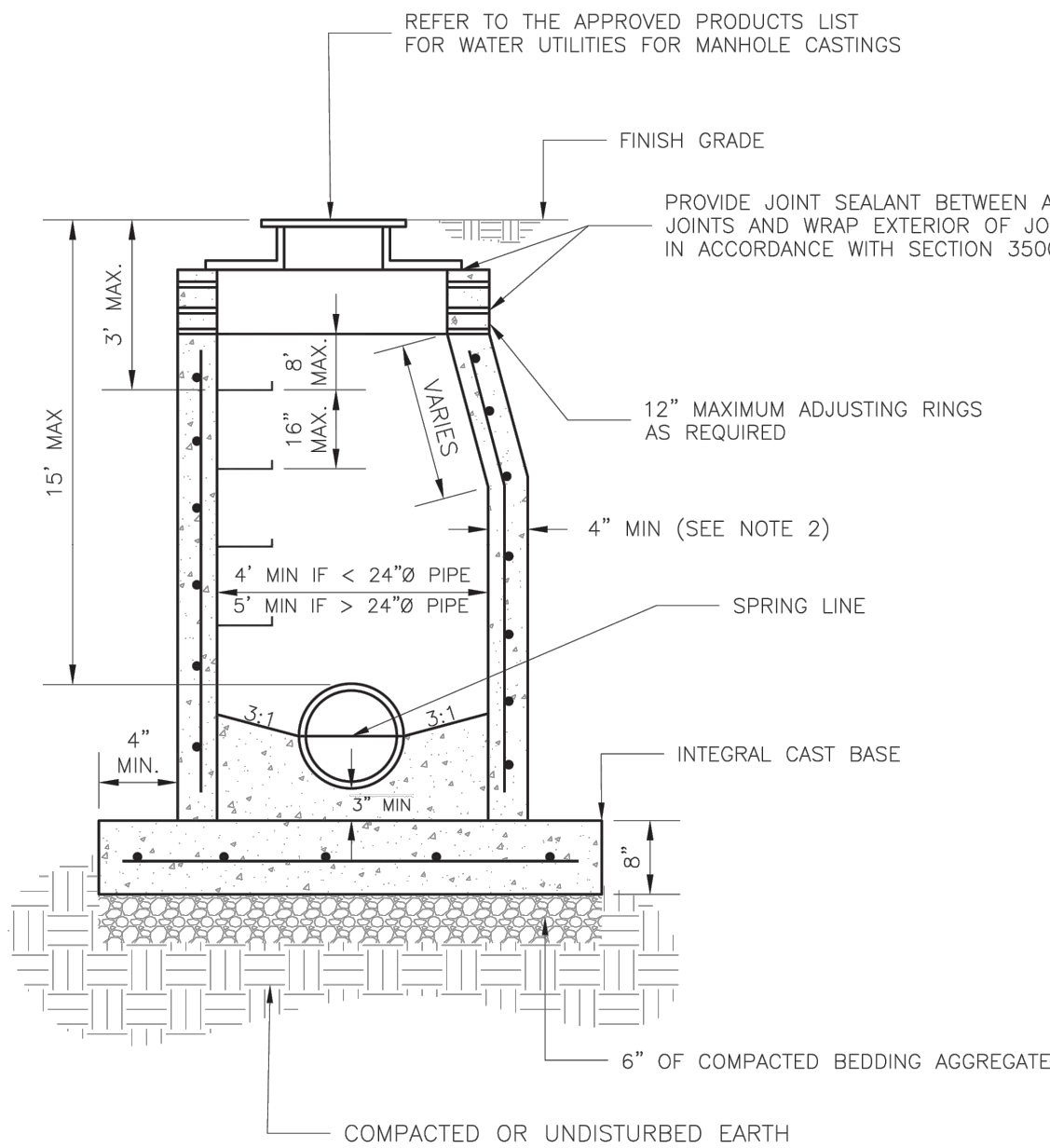
**LEE'S SUMMIT**  
**MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

DATE: 02/2018  
DRAWN BY: JN  
CHECKED BY: DL  
**SAN-7**



**LEE'S SUMMIT**  
**MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

DATE: 12/2015  
DRAWN BY: SC  
CHECKED BY: DL  
**SAN-2**

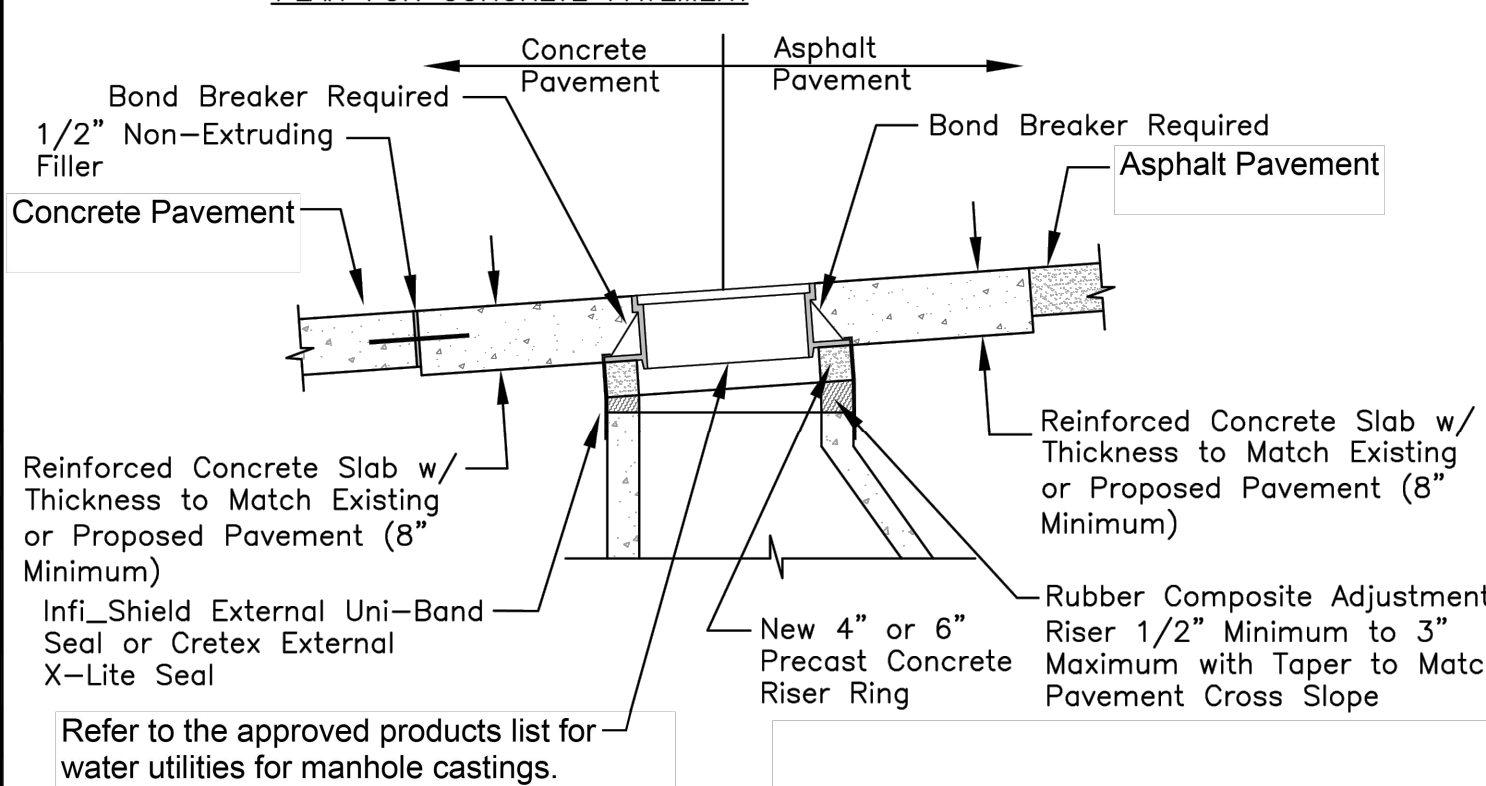
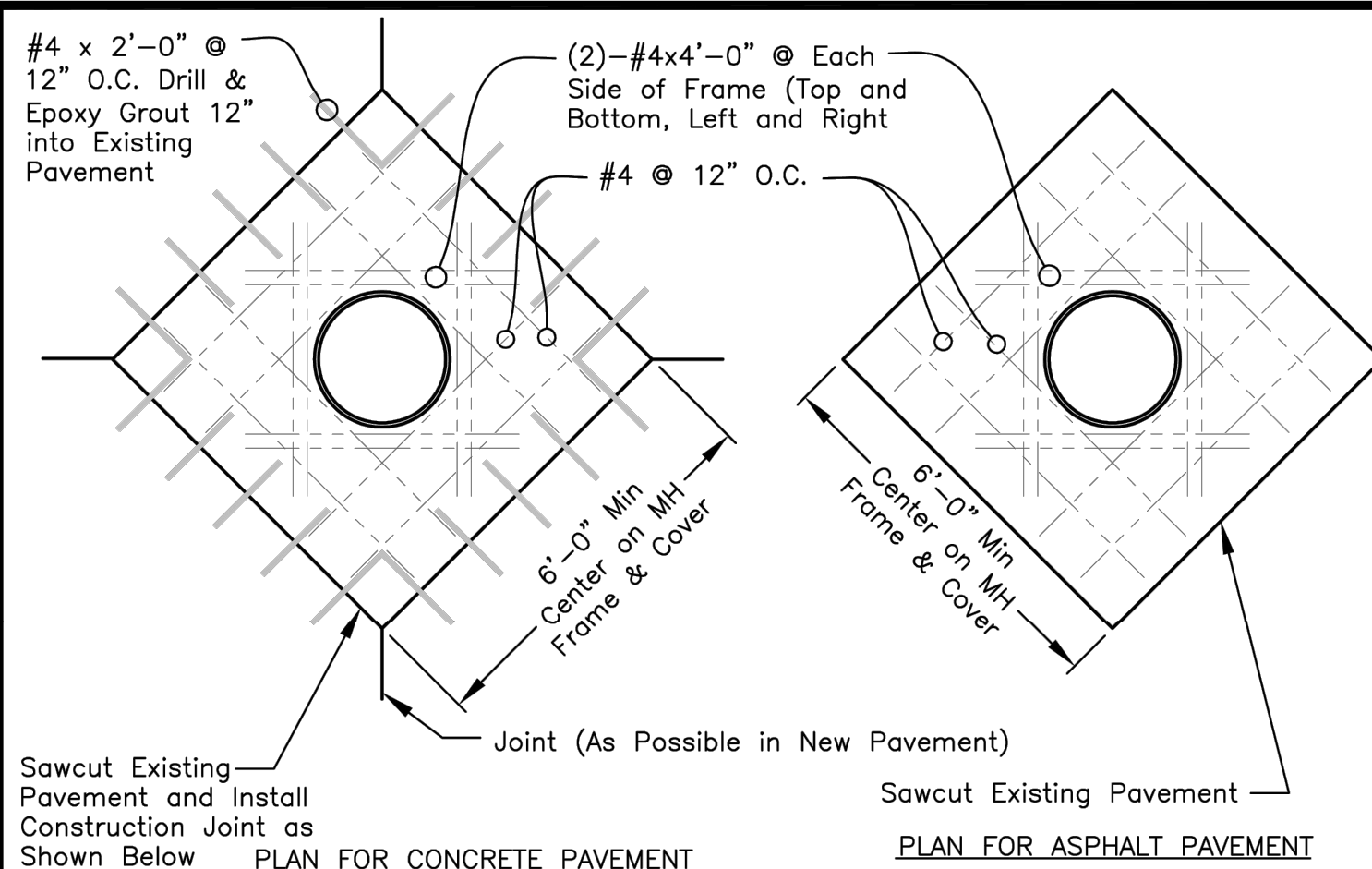


- NOTES:
1. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478 EXCEPT AS MODIFIED BY THE SPECIFICATIONS.
  2. A WALL THICKNESS NOT LESS THAN ONE-TWELFTH ( $\frac{1}{12}$ ) OF THE INSIDE DIAMETER OR 4", WHICHEVER IS GREATER, SHALL BE USED WHEN THE MANHOLE DEPTH IS LESS THAN 15'.
  3. WATERPROOFING SHALL BE REQUIRED ON THE OUTSIDE OF MANHOLES. THE WATERPROOFING SHALL CONSIST OF A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 14 MILS OF BITUMINOUS COATING.
  4. ONLY ECCENTRIC MANHOLE CONES WILL BE ALLOWED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
  5. THE FILL CONCRETE FLOW CHANNEL FOR SIDE BRANCHES SHALL BE PLACED TO PROVIDE A SMOOTH TRANSITION INTO THE FLOW LINE.
  6. REFER TO THE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR APPROVED MANHOLE GASKET MODELS.
  7. REFER TO THE APPROVED PRODUCTS LIST FOR APPROVED STEPS.

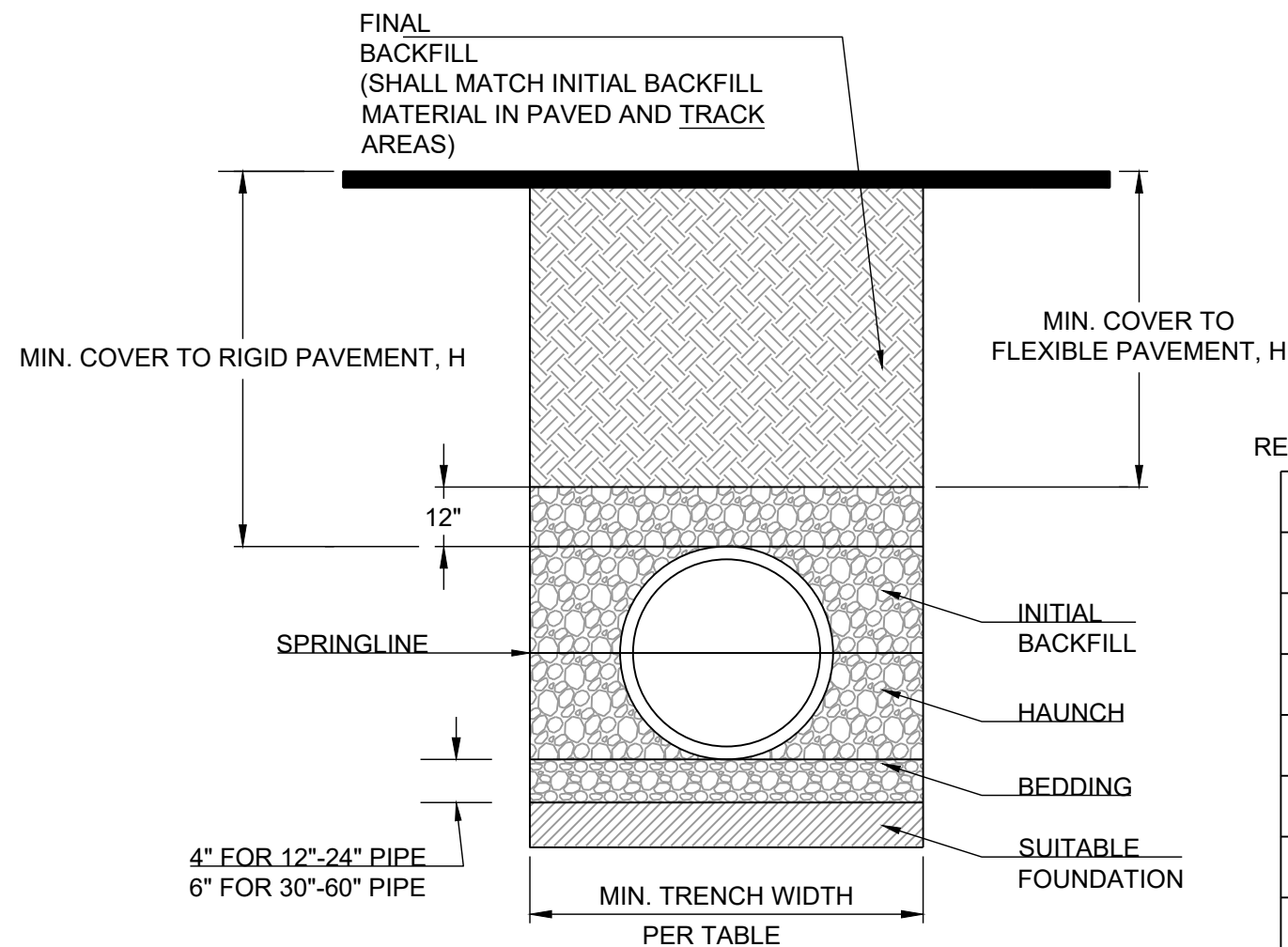


**LEE'S SUMMIT**  
**MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

DATE: 12/2015  
DRAWN BY: SC  
CHECKED BY: DL  
**SAN-2**



NOTE:  
CONCRETE SLAB TO BE POSITIONED TO CREATE A DIAMOND SHAPE AS VIEWED WHEN TRAVELING ALONG THE ROAD



PIPE EMBEDMENT FOR FLEXIBLE PVC PIPE

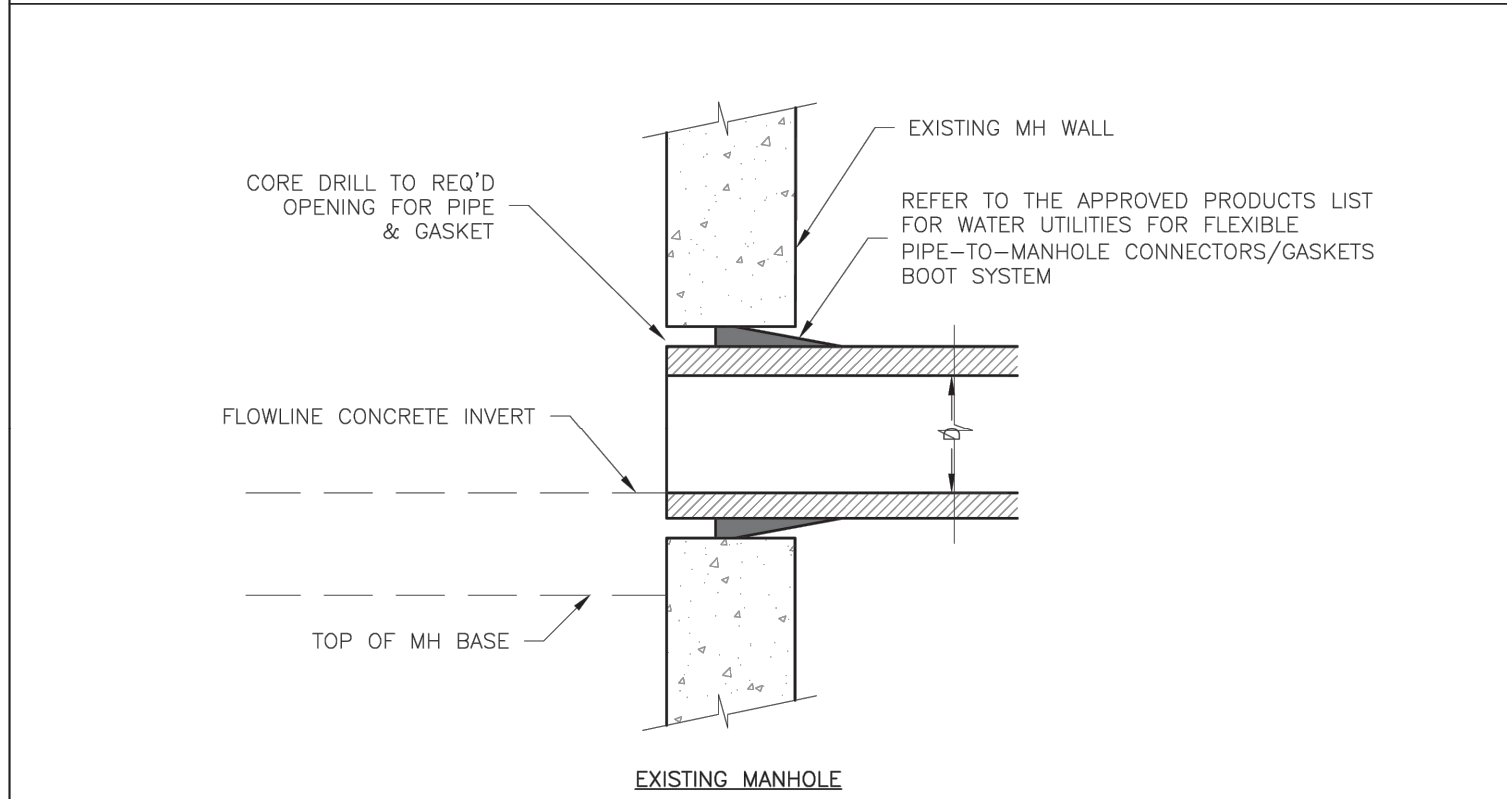
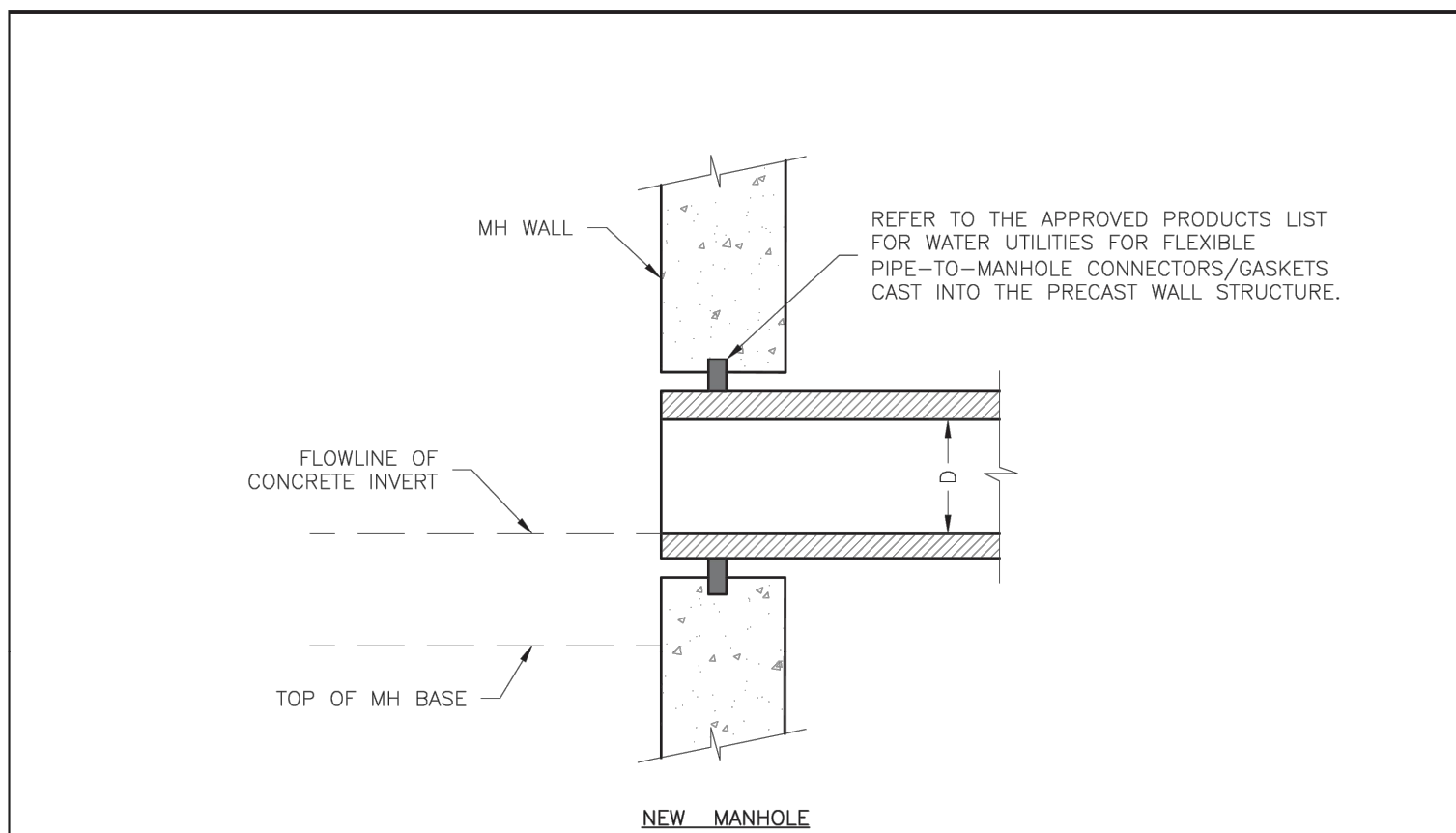
RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS SURFACE LIVE LOADING CONDITION		
PIPE DIAM.	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"	48"
54" - 60"	24"	60"

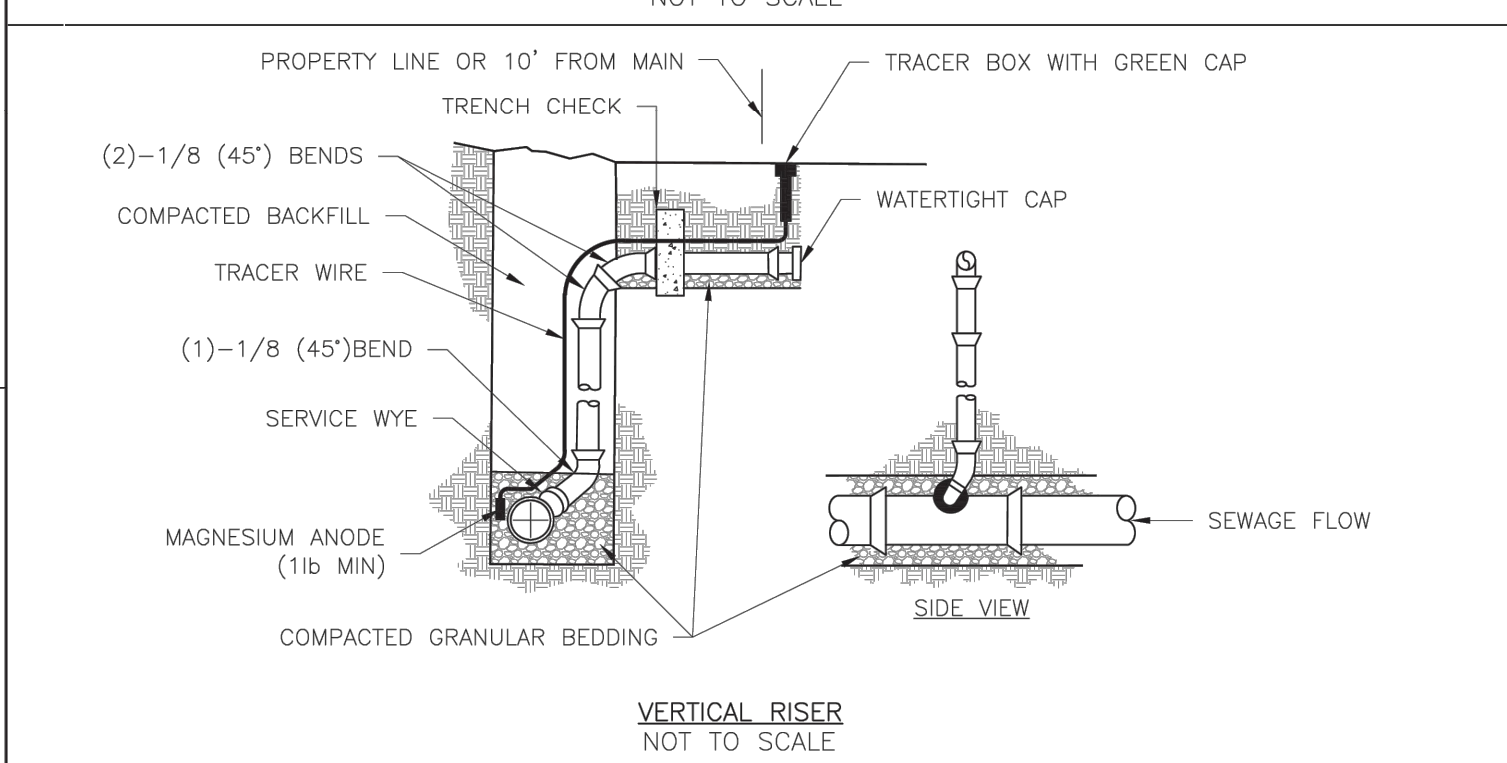
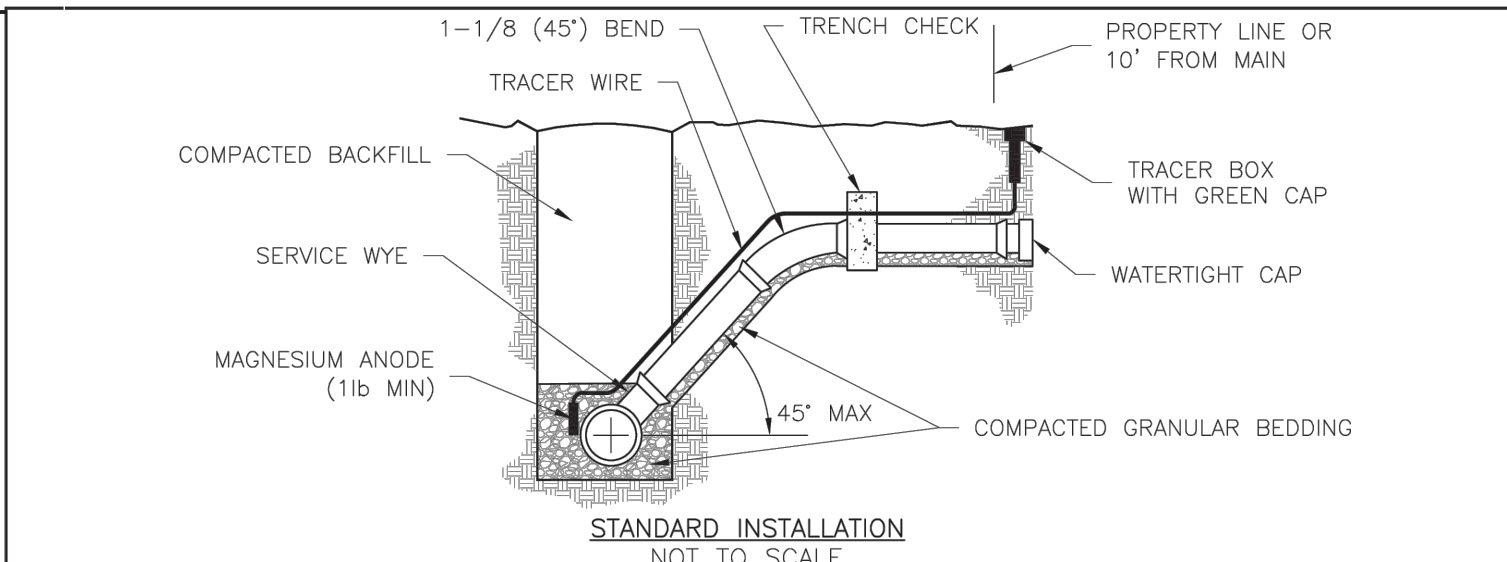
\* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

- NOTES:
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION
  2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
  5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION, FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.



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CHECKED BY: DL  
**SAN-5**



- NOTES:
1. ALL SEWER STUBS SHALL BE CONSTRUCTED TO PROPERTY LINE OR 10' MINIMUM FROM THE MAIN, WHICHEVER IS GREATER. WHERE SIDEWALKS ARE PRESENT, CONTRACTOR SHALL EXTEND SERVICE LINE UNDER EXISTING SIDEWALK TO TWO FEET BEYOND.
  2. IMPERVIOUS TRENCH CHECKS SHALL BE PLACED ON BUILDING SEWER STUBS (AT LEAST 5' AWAY FROM THE SANITARY SEWER MAIN).
  3. TRENCH CHECKS ON THE BUILDING SEWER STUBS SHALL EXTEND 6" BELOW THE BOTTOM OF THE PIPE. LENGTH SHALL BE A MINIMUM OF 12". THE HEIGHT OF THE TRENCH CHECK SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE. THE WIDTH OF THE TRENCH CHECK SHALL BE THE WIDTH OF THE TRENCH.
  4. SEE SPECIFICATION SECTION 2100 FOR SEWER MAIN BEDDING AND BACKFILL.
  5. #12 GAUGE GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED. TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER SERVICE OR AS DETERMINED BY THE ENGINEER.
  6. FOR SERVICES, TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATE IN A FLUSH MOUNTED TRACER BOX WITH A GREEN CAST IRON LOCKABLE TOP. WIRE SHALL BE TAPED OR TIED TO THE PIPE AT 5' INTERVALS.
  7. TRACER WIRE BOX SHALL BE INSTALLED WITHIN 1.0' OF PROPERTY LINE.
  8. THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. SPLICES IN THE TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER-PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.



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DATE: 12/2015  
DRAWN BY: MJF  
CHECKED BY: DL  
**SAN-1**

RECORD DRAWING

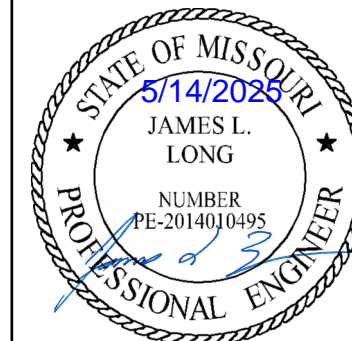
The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information obtained by Schlager and Associates.

"100-00 100.10", "1-00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

DATE: 05/14/2025  
CERTIFIED BY: JLL  
TITLE: Senior Project Engineer  
FIRM: Schlager and Associates, P.A.



PREPARED BY:



SCHLAGER & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS  
1300 SE RANSON ROAD LEE'S SUMMIT, MO

REVISION	DATE	DESCRIPTION
1	01/24/2021	Per City Comments Dated 11/18/2021
2	02/23/2022	Per City Comments Dated 02/15/2022
3	04/20/2022	Per City Comments Dated 02/15/2022
4	05/24/2022	Per City Comments Dated 05/24/2022
5	10/27/2023	Updated City Details to 2023
6	11/09/2023	Added "New City Requirements" Note
7	01/03/2024	Removed Line L and B12-B13 per MONR
8	1/17/2024	and Added Details on Sheet 14
9	4/1/2024	Pipe Run A1-A2-A3 to get over water main

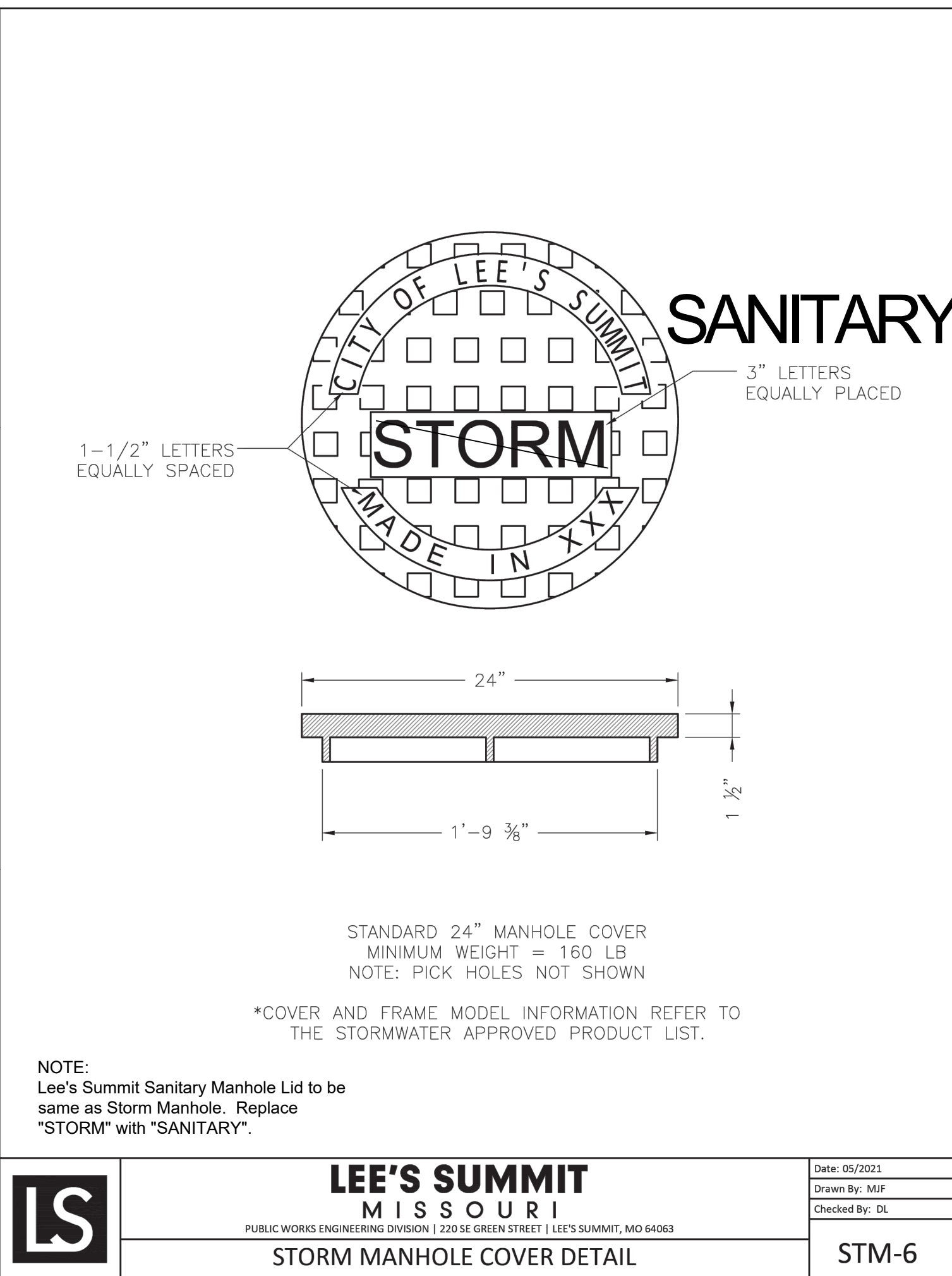
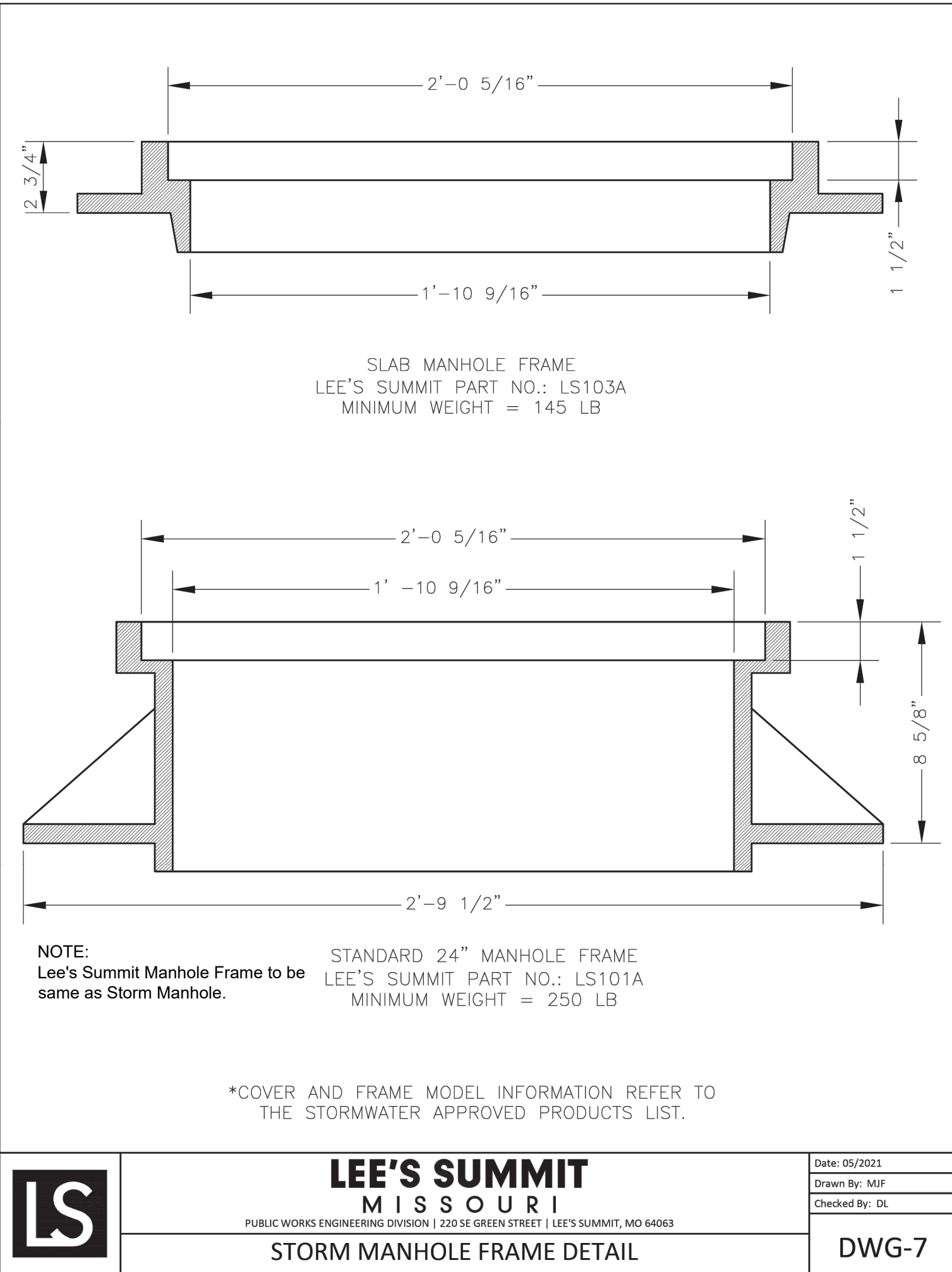
SANITARY  
DETAILS

SHEET

13



## Record Drawing



**RECORD DRAWING**

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"100=0 100 100", "1=00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Date: 05/14/2025  
Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlager and Associates, P.A.