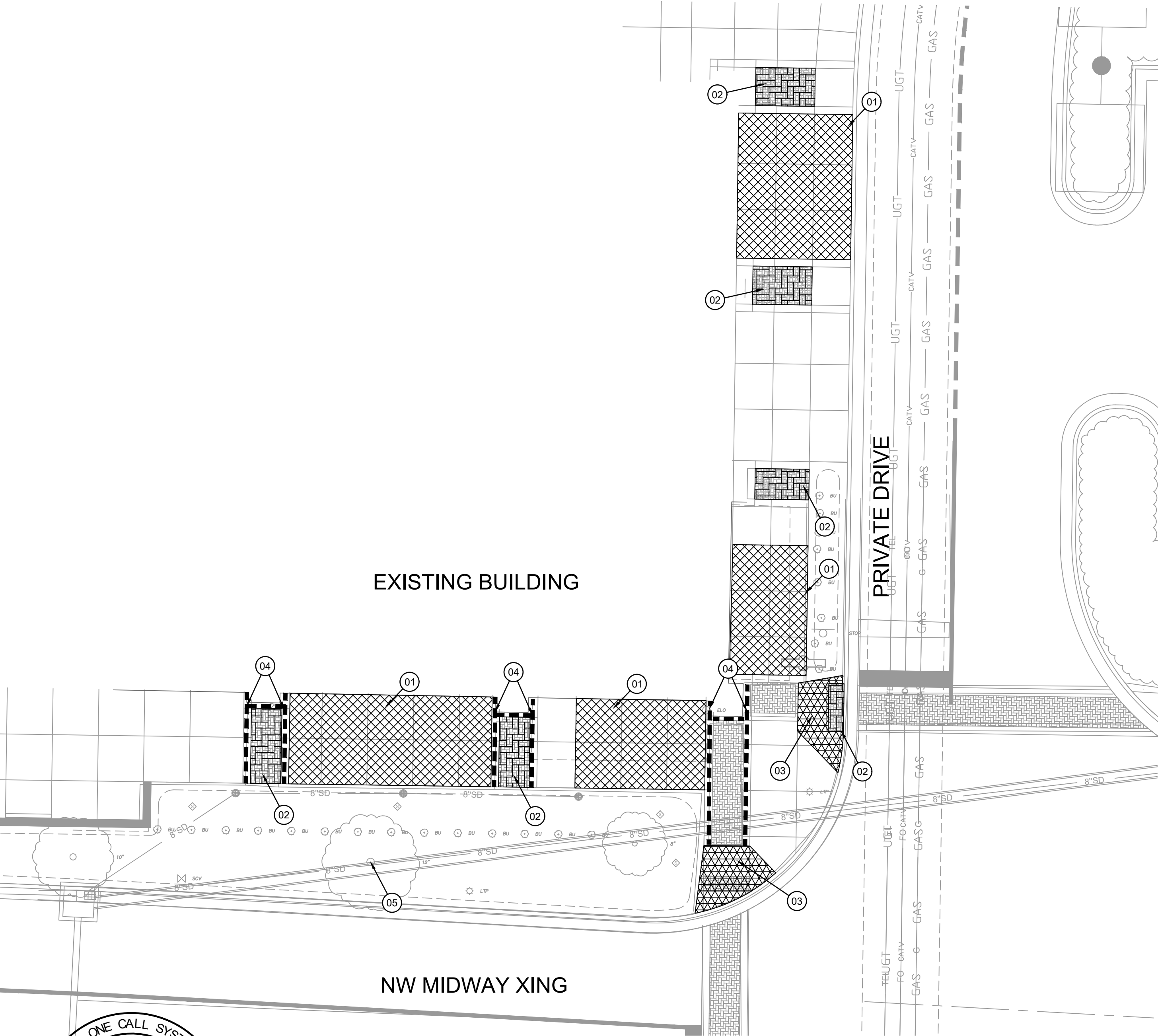


DEMOLITION PLAN NOTES

1. PRIOR TO ANY DEMOLITION EROSION CONTROL MEASURES AND CONSTRUCTION FENCING SHALL BE INSTALLED.
2. THE CONTRACTOR SHALL COORDINATE ALL ITEMS TO BE SALVAGED AND/OR PROTECTED WITH SITE OWNER AND UTILITY OWNERS.
3. THE CONTRACTOR SHALL NOT INTERRUPT ANY UTILITY SERVICES TO ANY ADJACENT PROPERTIES. SHOULD ANY INTERRUPTIONS BECOME NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THE ADJACENT PROPERTY AND UTILITY OWNER AND MINIMIZE THE LENGTH OF TIME THE UTILITY IS INTERRUPTED TO THE GREATEST EXTENT POSSIBLE.
4. SECONDARY WIRING, SERVICES, IRRIGATION AND OTHER MINOR SITE IMPROVEMENTS THAT ARE NOT TO REMAIN IN SERVICE ARE TO BE DEMOLISHED AND REMOVED.
5. ALL PAVEMENT SAWCUTS ARE TO BE MADE IN STRAIGHT, CLEAN LINES LEAVING A CLEAN AND STABLE EDGE AT FULL PAVEMENT DEPTH.
6. ALL PCC PAVEMENT AND ALL CURB SHALL BE REMOVED TO NEAREST JOINT.
7. ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN STRICT CONFORMANCE WITH LOCAL CODES AND ORDINANCES.
8. ALL TREE REMOVAL SHALL INCLUDE STUMPS AND ROOTS. DEPRESSIONS CREATED SHALL BE FILLED TO PROVIDE DRAINAGE.

KEY NOTE LEGEND	
	1 REMOVE EXISTING CONCRETE
	2 REMOVE EXISTING PAVERS
	3 REMOVE EXISTING ADA CONCRETE CURB RAMP
	4 REMOVE EXISTING CONCRETE BANDS
	5 REMOVE EXISTING TREE



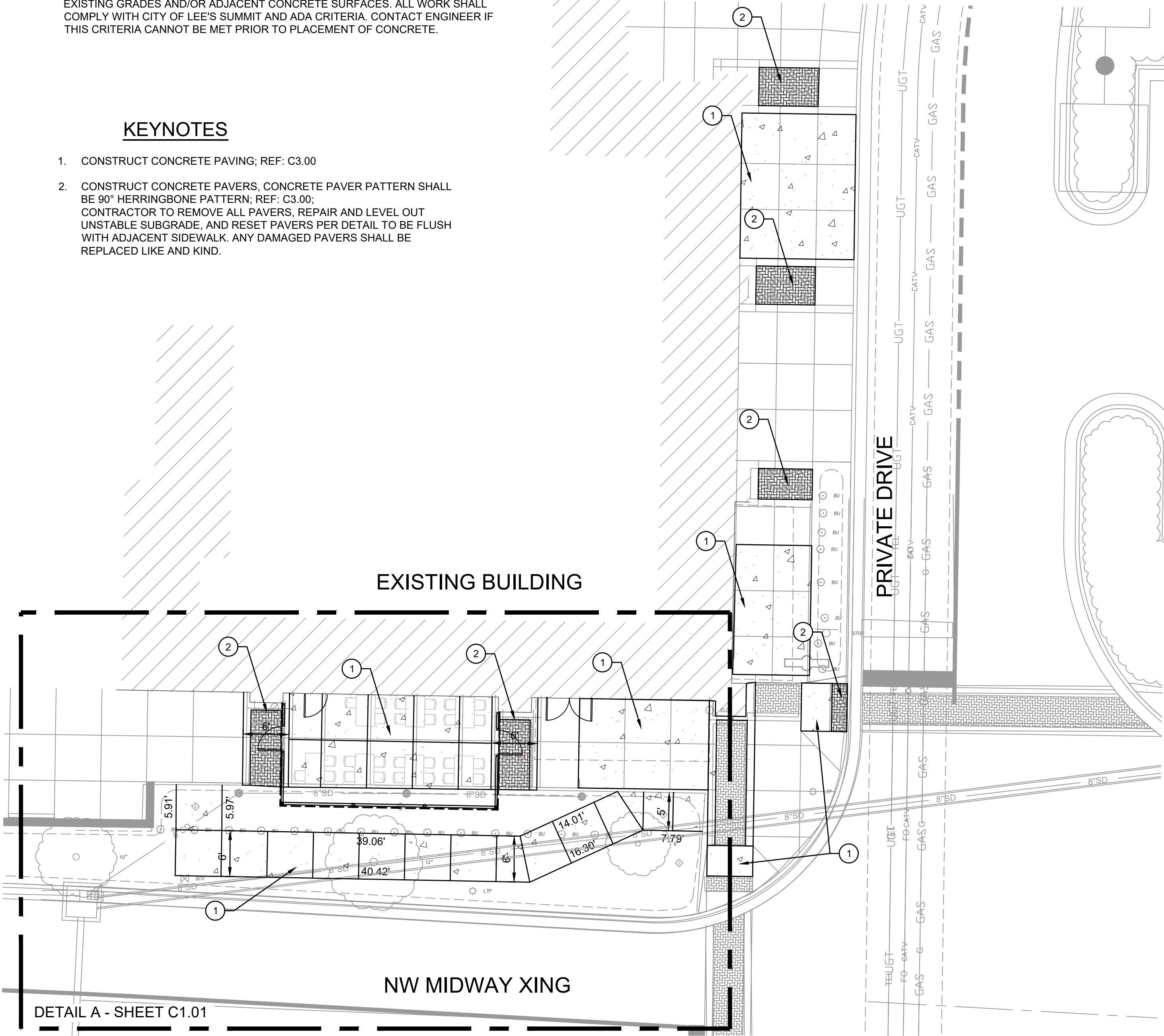
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SITE PLAN NOTES

1. ALL PAVEMENT DIMENSIONS ARE TO BACK OF CURB, OR EDGE OF PAVEMENT WHERE NO CURB IS PRESENT, UNLESS OTHERWISE NOTED. DIMENSIONED TIES BETWEEN PROPERTY LINES AND BUILDING FACES OR PAVEMENT ARE AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ANY ADJUSTMENTS NECESSARY FOR FOUNDATIONS, BEDDING EXTENSIONS, SURCHARGING, ETC.
2. INSTALLED PAVEMENT SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS. INSTALLED CURB & GUTTER SHALL MATCH EXISTING CURB & GUTTER IN SIZE AND TYPE OR CONTRACTOR SHALL INCLUDE A TRANSITION FROM NEW TO EXISTING OF NO LESS THAN 5' AS MEASURED ALONG BACK OF CURB.
3. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813. WHERE DISCREPANCIES EXIST BETWEEN THESE PLANS AND THE DESIGN AND CONSTRUCTION MANUAL, THE DESIGN AND CONSTRUCTION MANUAL SHALL PREVAIL.
4. THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH A FIELD ENGINEER INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.
5. UNLESS OTHERWISE NOTED ON THE GRADING PLAN WITH SPECIFIC GRADES, CONTRACTOR SHALL REPLACE BACK CONCRETE SIDEWALK AND RAMPS TO MATCH EXISTING GRADES AND/OR ADJACENT CONCRETE SURFACES. ALL WORK SHALL COMPLY WITH CITY OF LEE'S SUMMIT AND ADA CRITERIA. CONTACT ENGINEER IF THIS CRITERIA CANNOT BE MET PRIOR TO PLACEMENT OF CONCRETE.

KEYNOTES

1. CONSTRUCT CONCRETE PAVING; REF: C3.00
2. CONSTRUCT CONCRETE PAVERS, CONCRETE PAVER PATTERN SHALL BE 90° HERRINGBONE PATTERN; REF: C3.00; CONTRACTOR TO REMOVE ALL PAVERS, REPAIR AND LEVEL OUT UNSTABLE SUBGRADE, AND RESET PAVERS PER DETAIL TO BE FLUSH WITH ADJACENT SIDEWALK. ANY DAMAGED PAVERS SHALL BE REPLACED LIKE AND KIND.



LEGEND

	CONCRETE SIDEWALK
	CONCRETE PAVERS
	PROPOSED PATIO FENCE
	EXISTING GAS LINE
	EXISTING UNDERGROUND TELECOMM
	EXISTING UNDERGROUND FIBER OPTICS
	EXISTING STORM SEWER

7301 West 133rd Street
Suite 200
Overland Park, KS 66213
olsson.com
TEL 913.381.1170
FAX 913.381.1174
Olsson - Engineering
Missouri COA #001592

BY

DESCRIPTION

DATE

REV. NO.

REVISIONS

DEMOLITION & SITE PLAN
PATIO IMPROVEMENTS

ANCHO & AGAVE
860-A NW BLUE PARKWAY

LEE'S SUMMIT, MO

drawn by: JMA
designed by: JMA
project no.: 025-01325
date: 05.15.2025

SHEET
C1.00

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DATE: May 15, 2025 4:08pm USER: jalmiff



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EXISTING BUILDING

PRIVATE DRIVE

NW MIDWAY XING

DETAIL A

SITE PLAN NOTES

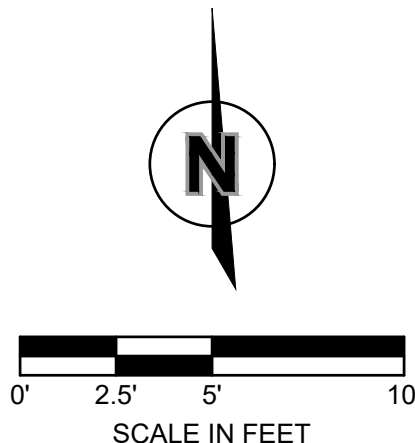
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LEGEND

- CONCRETE SIDEWALK
- CONCRETE PAVERS
- PROPOSED PATIO FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND TELECOMM
- EXISTING UNDERGROUND FIBER OPTICS
- EXISTING STORM SEWER

KEYNOTES

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2. CONSTRUCT CONCRETE PAVERS, CONCRETE PAVES PATTERN SHALL BE 90° HERRINGBONE PATTERN; REF: C3.00
3. EXPANSION JOINT; REF: C3.00
4. CONTROL JOINT; REF: C3.00



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STATE OF MISSOURI

TERRY M. PARSONS
NUMBER
PE-2018010505
5/15/2025

PROFESSIONAL ENGINEER

BY

DESCRIPTION

DATE

REV. NO.

SITE PLAN
PATIO IMPROVEMENTS

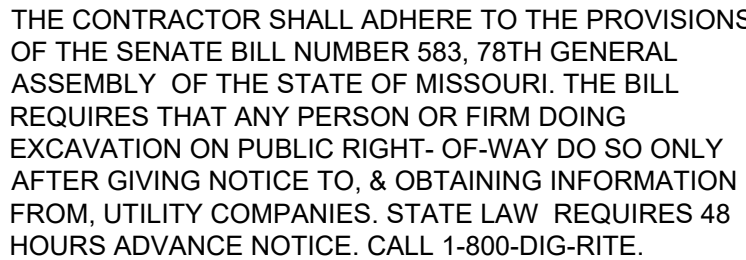
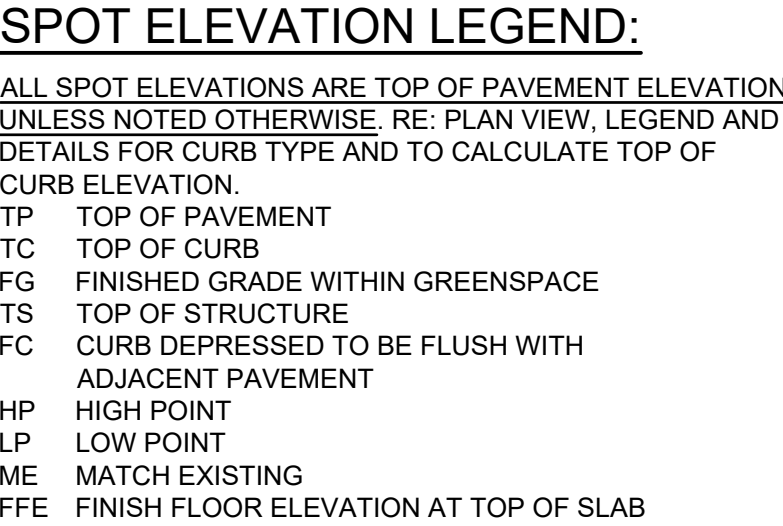
ANCHOR & AGAVE
860-A NW BLUE PARKWAY

LEE'S SUMMIT, MO

2025

drawn by: JMA
designed by: JMA
project no.: 025-01325
date: 05.15.2025

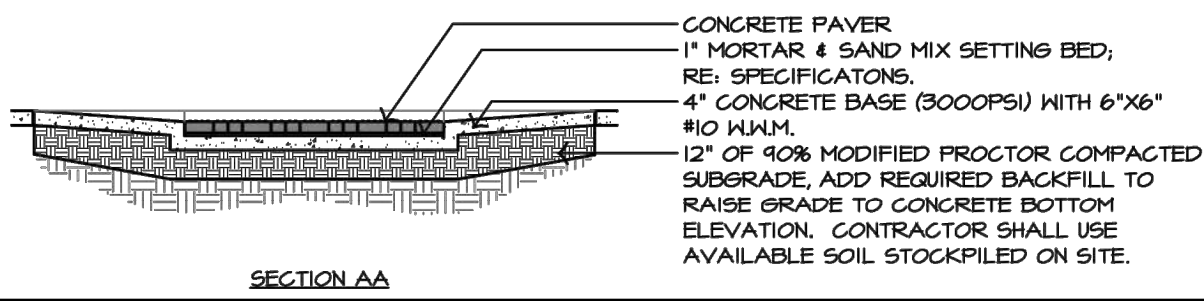
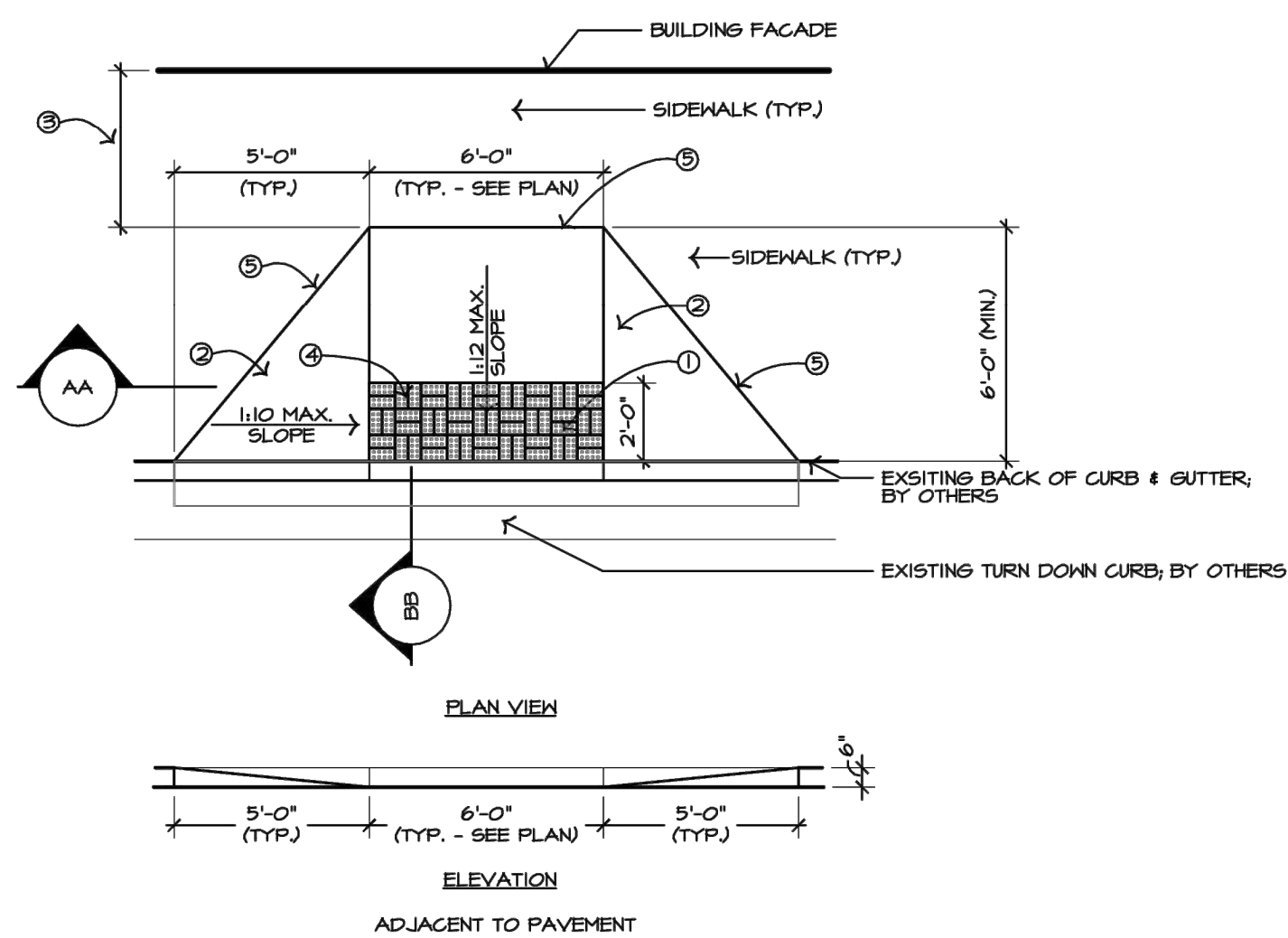
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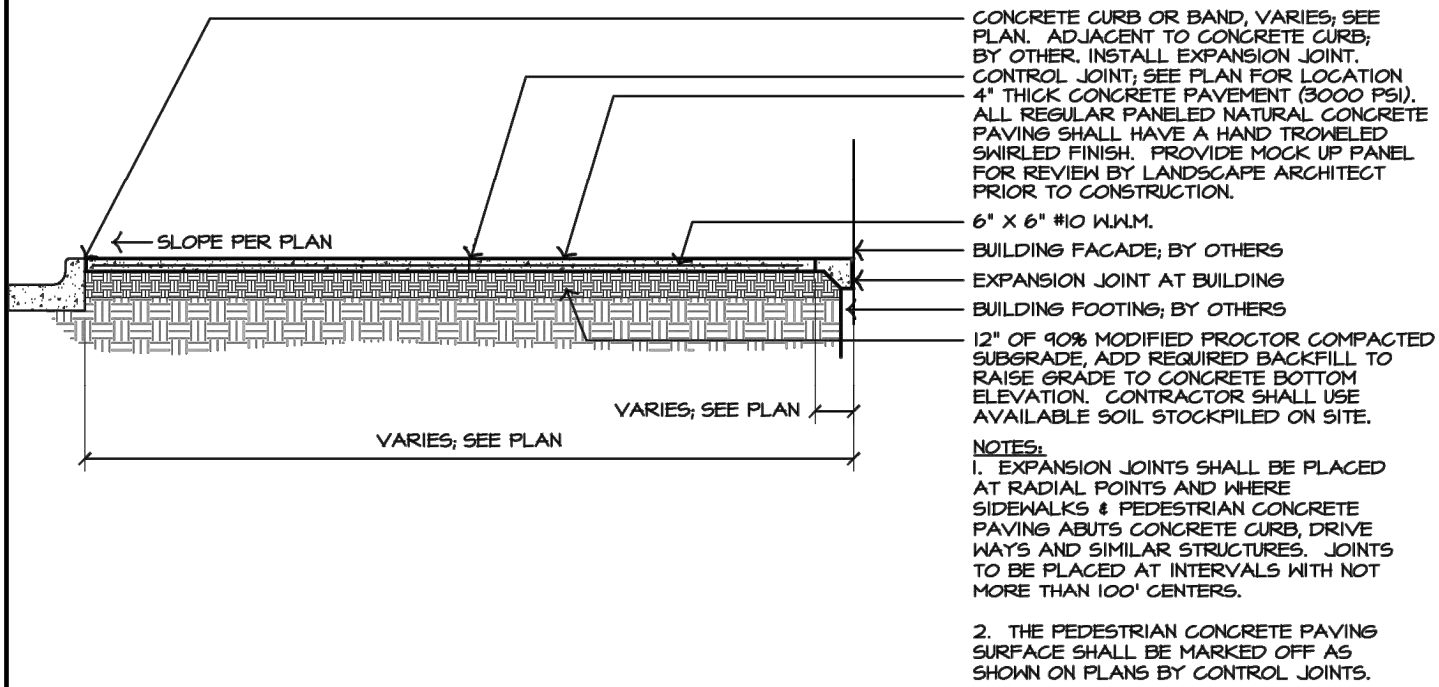
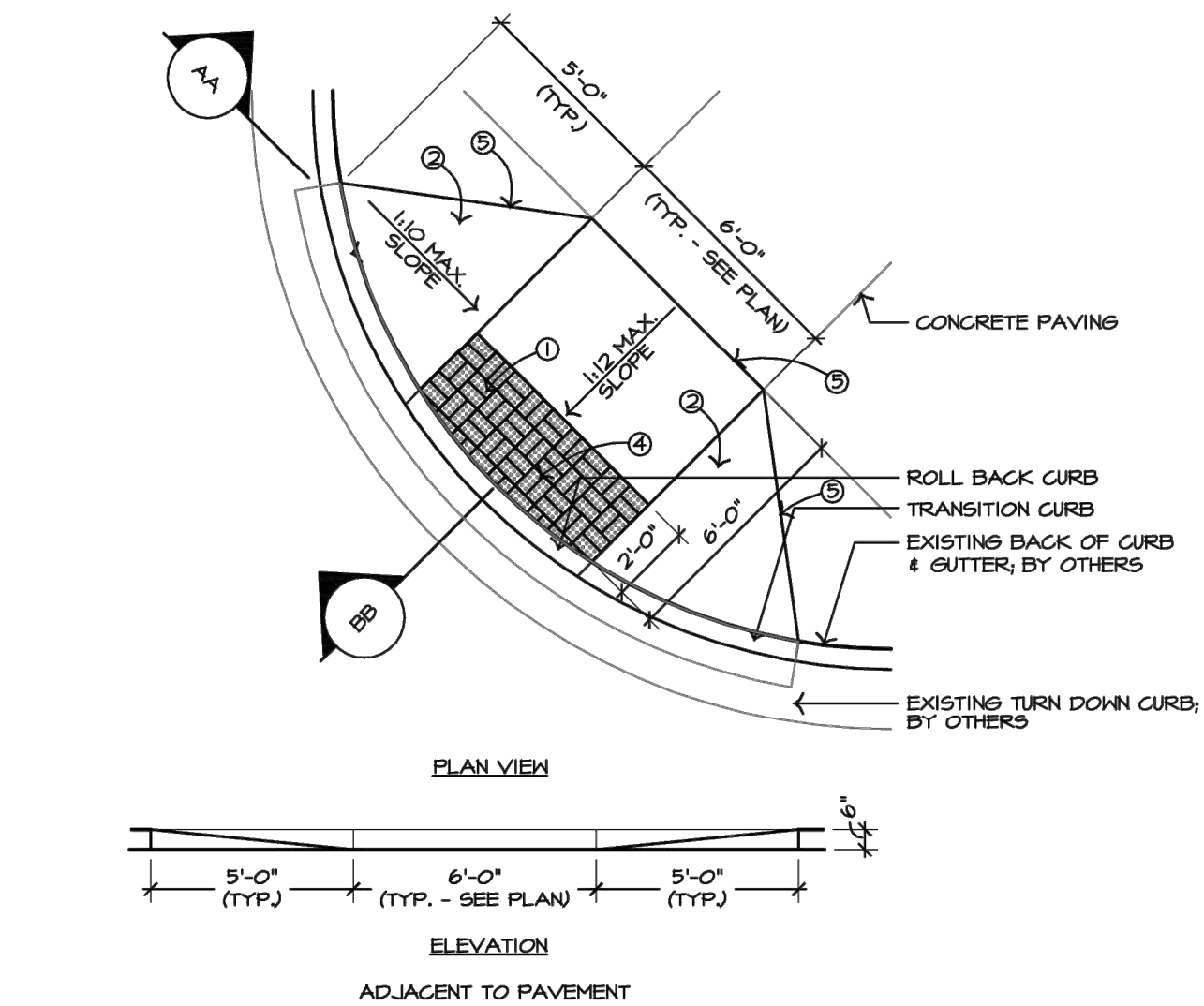
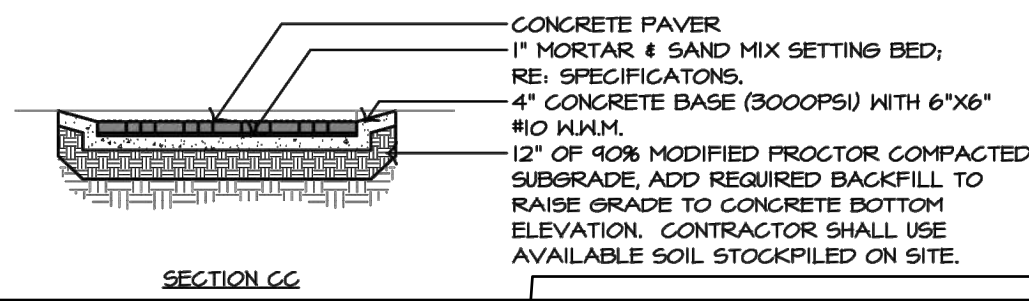
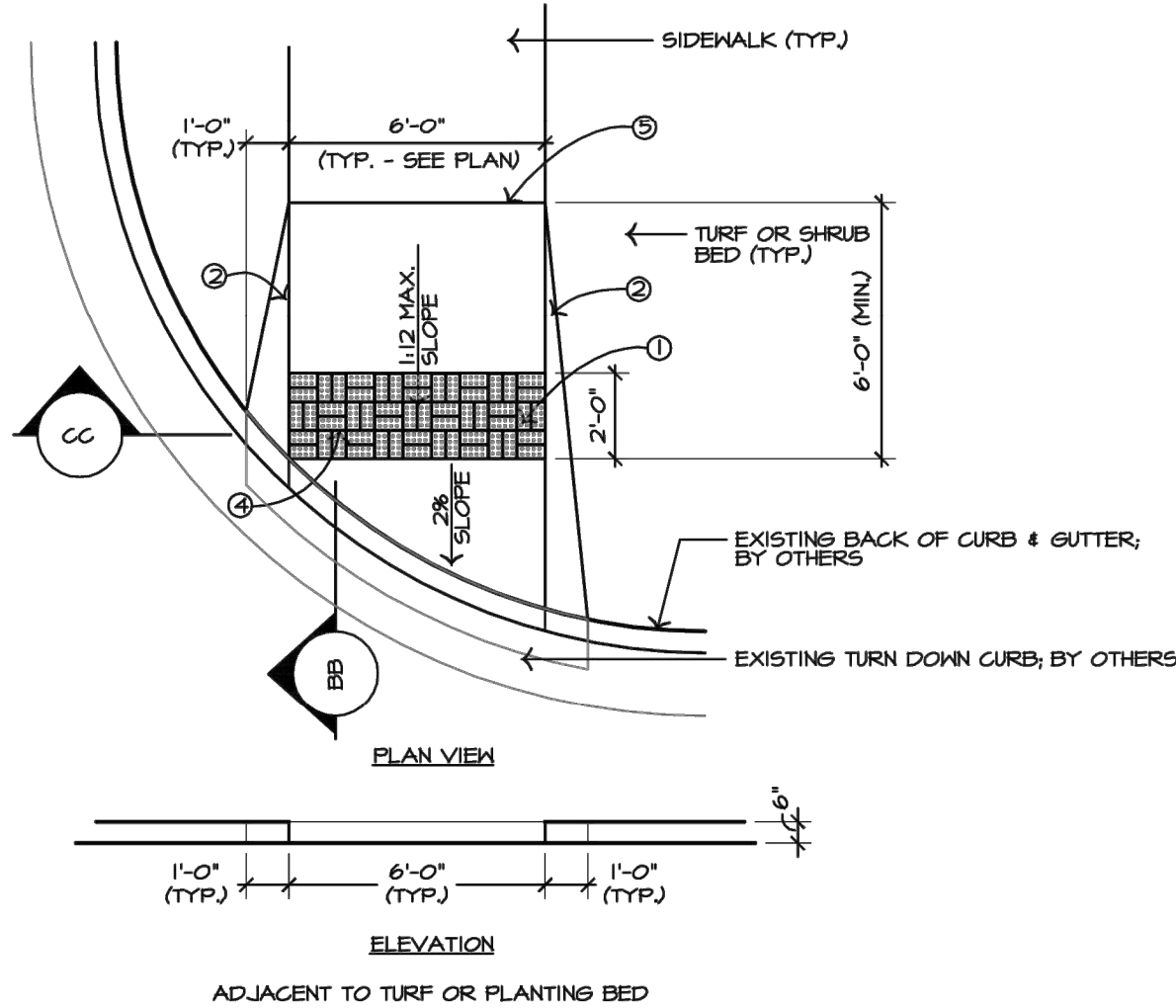
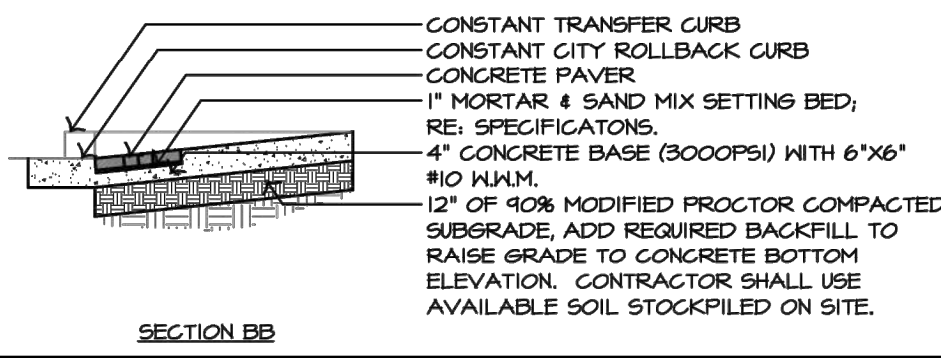
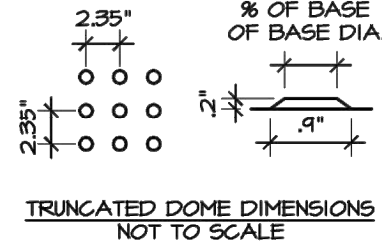
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DATE: May 15, 2025 4:09pm USER: jalm1aff



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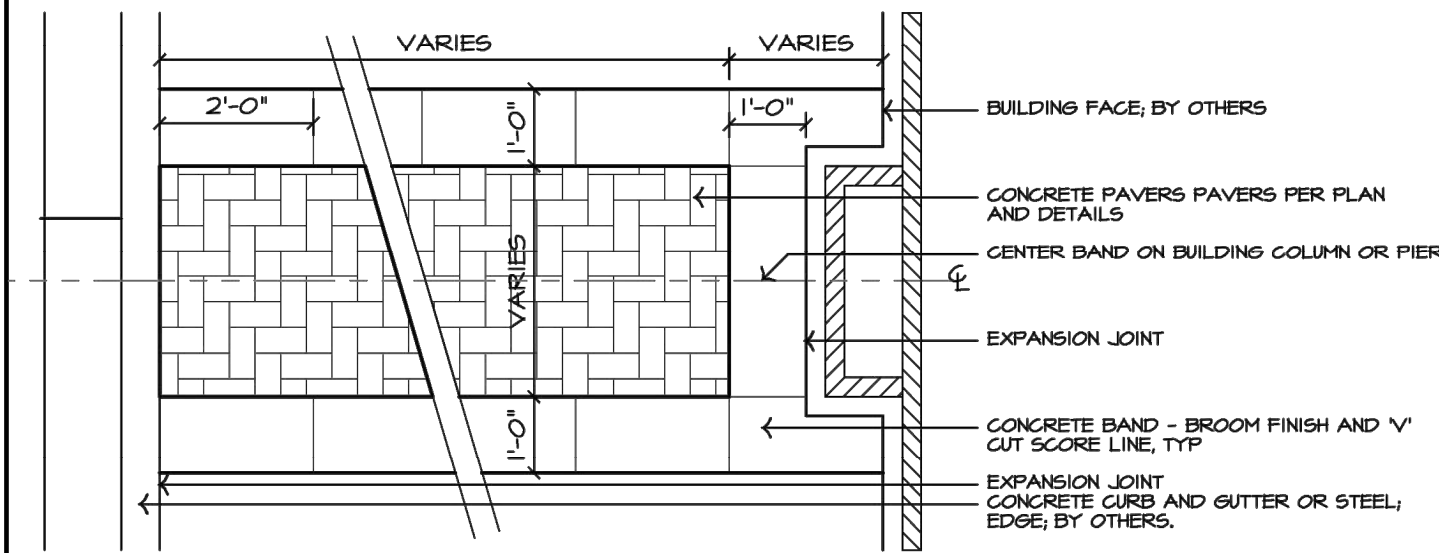


- NOTES:
1. SURFACE TEXTURE SHALL BE TRUNCATED DOMES WITH 9/16" DIAMETER, 21/32" HEIGHT, AND CENTER TO CENTER SPACING OF 2-35/100" PER ADAAG.
 2. CONCRETE FLARED SIDES, SURFACE TEXTURE OF FLARED SIDES SHALL BE MOOD FLOAT WITH LIGHT BROOM FINISH.
 3. IF DISTANCE TO BUILDING IS LESS THAN 48" THEN THE SLOPE OF THE FLARED SIDE SHALL NOT EXCEED 1:12
 4. CONCRETE PAVES, PAVESTONE DETECTABLE WARNING PAVES, 7 1/8" X 9 1/8" X 2 3/8" SIZE, COLOR CHARGEOAL, PARQUET PATTERN. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL. CONTRACTOR SHALL APPLY SUREBOND SB-1800-1810 TO ALL CONCRETE PAVES SURFACES PER MANUFACTURER'S RECOMMENDATIONS.
 5. EXPANSION JOINT



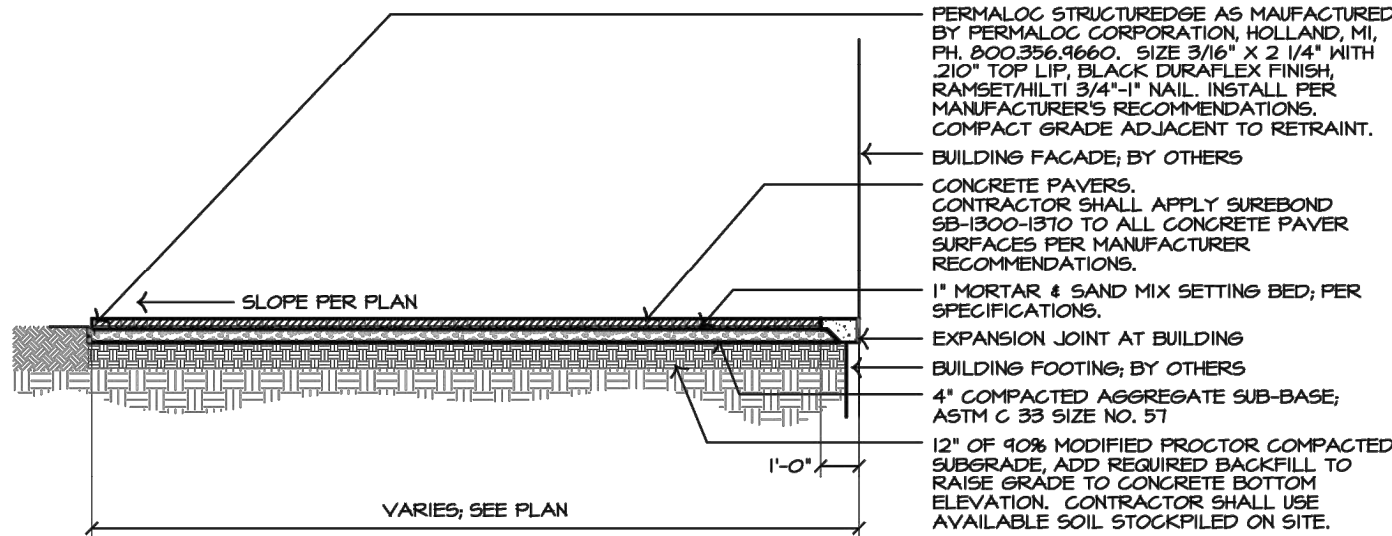
CONCRETE PAVING TYPICAL

SCALE: N.T.S.



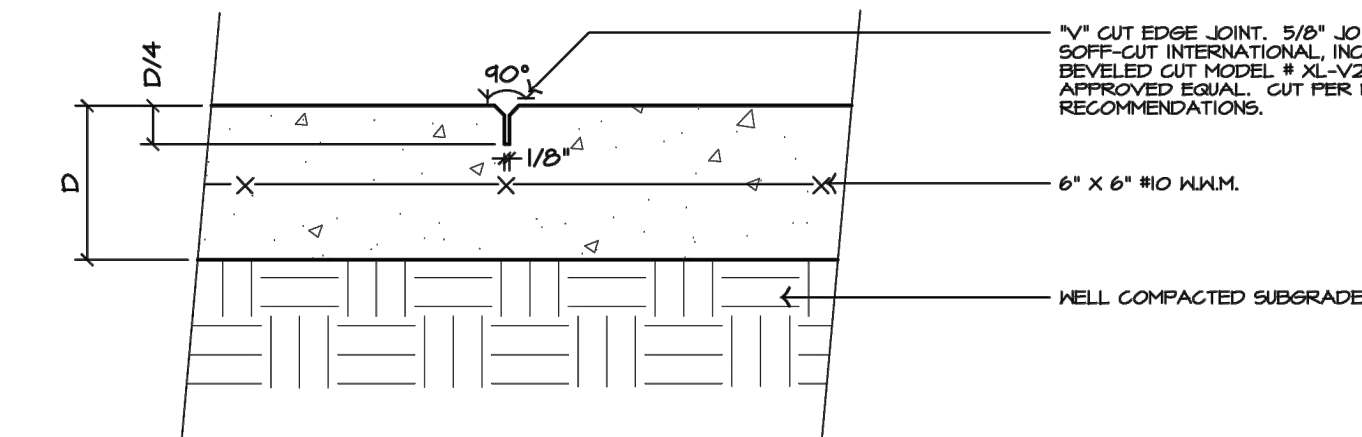
CONCRETE PAVER LAYOUT TYPICAL

SCALE: N.T.S.

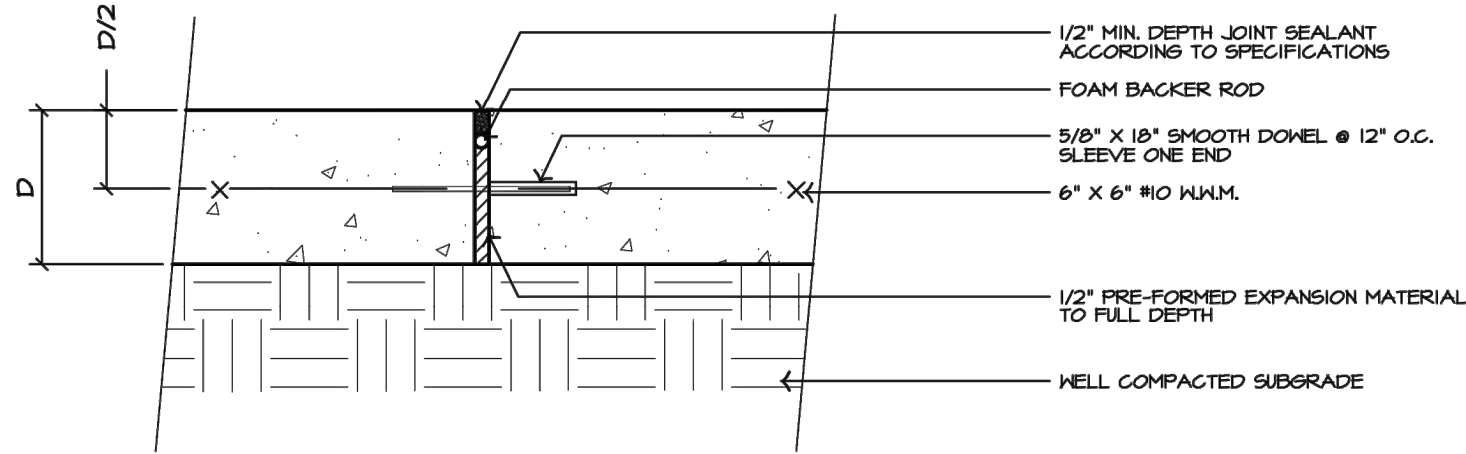


CONCRETE PAVER STEEL EDGE TYPICAL

SCALE: N.T.S.

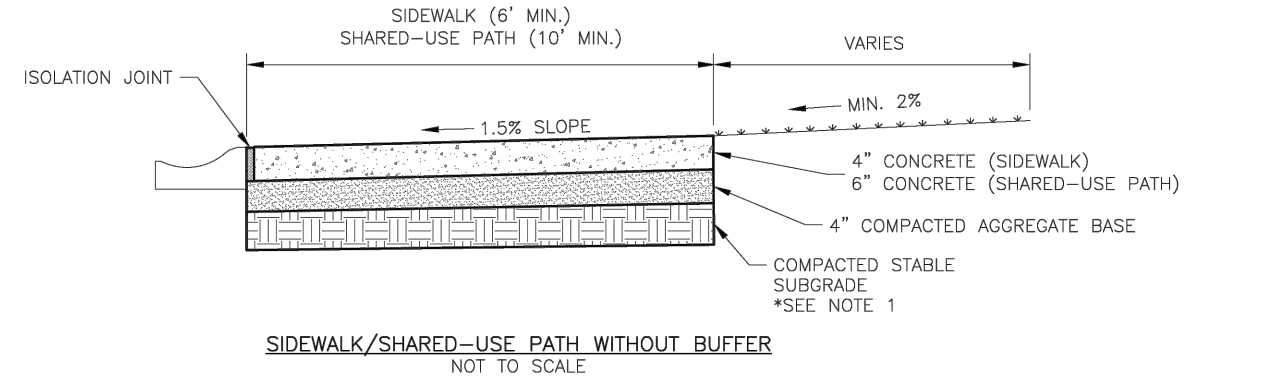


CONTROL JOINT DETAIL - CONCRETE PAVEMENT AREAS

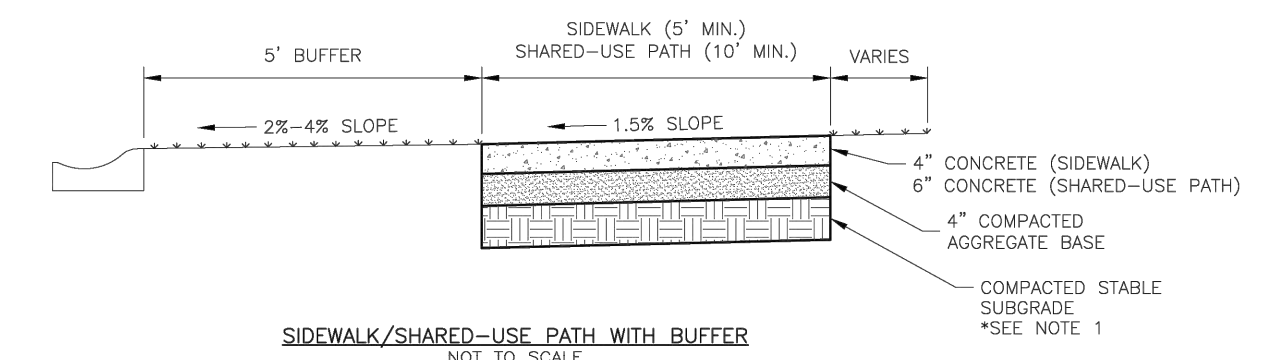


EXPANSION JOINT DETAIL
CONCRETE JOINTS TYPICAL

SCALE: N.T.S.



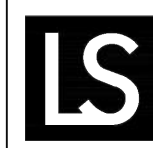
SIDEWALK/SHARED-USE PATH WITHOUT BUFFER
NOT TO SCALE



SIDEWALK/SHARED-USE PATH WITH BUFFER
NOT TO SCALE

GENERAL NOTES:

1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
3. KOMBS 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS/SHARED-USE PATHS.
4. ALL SIDEWALK/SHARED-USE PATHS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
5. AN ISOLATION JOINT SHALL BE PLACED AT A MAXIMUM OF 100 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME. WIDTH OF SIDEWALK/SHARED-USE PATHS, BUT NO GREATER THAN 10 FT.
6. AN ISOLATION JOINT SHALL BE PLACED WHERE THE SIDEWALK/SHARED-USE PATH MEETS A RESIDENTIAL DRIVEWAY.
7. SHARED-USE PATHS WIDTH SHALL BE 10 FT. WIDE.
8. SIDEWALK/SHARED-USE PATHS FINISHING SHALL BE FULL BROOM FINISH OR AS DIRECTED BY CITY INSPECTOR.
9. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063
SIDEWALK/SHARED-USE PATH DETAIL

DATE: 08/2023
DRAWN BY: MIF
CHECKED BY: DL
GEN-2

BY

DESCRIPTION

DATE

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designed by: JMA
project no.: 025-01325
date: 05.15.2025

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