EXISTING SANITARY MANHOLE

EXISTING AREA INLET

EXISTING CURB INLET

EXISTING GRATE INLET

EXISTING JUNCTION BOX

EXISTING STORM MANHOLE

PROPOSED SANITARY MANHOLE

S.E. Bailey Road PROJECT LOCATION NE1/4 NW1/4 SW1/4 SECTION 16-47-31

LOCATION MAP SCALE 1" = 2000' **BASIS OF BEARINGS** MISSOURI COORDINATE SYSTEM 1983, **WEST ZONE**

UTILITY CONTACTS:

MISSOURI DEPARTMENT OF TRANSPORTATION (MODOT) Steve Holloway 600 NE Colbern Road Lee's Summit, MO 64086 (816) 607-2186

MISSOURI GAS ENERGY (MGE) Brent Jones 3025 SE Clover Drive Lee's Summit, MO 64082 (816) 399-9633

brent.jones@spireenergy.com **EVERGY**

Ron Dejarnette 1300 SE Hamblin Road Lee's Summit, MO 64081 Office: (816) 347-4316 Cell: (816) 810-5234 ron.dejarnette@evergy.com

CITY OF LEES SUMMIT PUBLIC WORKS Michael Park

220 SE Green Street Lee's Summit, MO 64063 (816) 969-1800

Mark Manion or Marty Loper 500 E. 8th Street, Room 370 Kansas City, MO 64106 (816) 275-2341 or (816) 275-1550

John Meadows 4700 Little Blue Parkway Independence, MO 64057 (816) 795-2257

(816) 969-1900

CITY OF LEE'S SUMMIT WATER UTILITIES Mark Schaufler 1200 SE Hamblen Road Lee's Summit, MO 64081

SUMMARY OF QUANTITIES ITEM QUANTITY UNITS 12" DIP (RESTRAINED JOINT) 222 LF 2 10" PVC SDR-26 2405 LF 3 8" PVC SDR-26 3074 LF 3149 LF 4 6" PVC SDR-26 EΑ 5 10" x 6" WYES EΑ 6 8" x 6" WYES STD. 4' DIAMETER MANHOLE EΑ LF CONCRETE ENCASEMENT EΑ TRACER WIRE AND BOXES MANHOLE FRAME AND LID PLACEMENT EΑ WITHIN PAVEMENT 11 CONNECT TO EXISTING MANHOLE EΑ 12 EXTRA DEPTH IN MANHOLE 253 VF 13 ROCK EXCAVATION (ESTIMATED) CY 500 14 MANHOLE BARREL ADJUSTMENT EA 15 MANHOLE RING ADJUSTMENT EΑ 12 LS 16 | EROSION CONTROL LS 17 BONDS

SANITARY MAIN EXTENSION PLANS MANOR AT BAILEY FARMS, FIRST PLAT

IN THE CITY OF LEE'S SUMMIT JACKSON COUNTY, MO

GENERAL NOTES

- ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS
- ADOPTED BY ORDINANCE 5813. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI.
- LINEAL FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS, NOT SLOPE MEASUREMENTS. ALL PAYMENTS SHALL BE MADE ON HORIZONTAL MEASUREMENTS
- THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND
- THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT OF WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. THE CONTRACTOR MAY ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC.": 1-800-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED
- PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.
- THE CONTRACTOR SHALL PROTECT ALL MAJOR TREES FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE.
- CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED
- BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES. ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE
- CONTRACTOR, OR AS DIRECTED BY THE OWNER AT NO ADDITIONAL COST. ALL EXCAVATIONS SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK
- THE CONTRACTOR SHALL CONTROL THE EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION
- AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO
- THE CONTRACTOR SHALL CONTACT THE RIGHT OF WAY INSPECTOR AT 816-969-1800 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHT OF WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TRAFFIC HANDLING MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION)
- ALL SANITARY SEWER LATERALS SHALL HAVE A TRENCH CHECK, CONSISTING OF FLOWABLE BACKFILL INSTALLED DURING CONSTRUCTION. TRENCH CHECK SHALL EXTEND TO BOTTOM OF TRENCH, TO WIDTH OF TRENCH, TO 12 INCHES ABOVE PIPE, FOR A MINIMUM LENGTH OF 12 INCHES. TRENCH CHECK SHALL BE LOCATED AT LEAST 5 FEET FROM SANITARY MAIN.

UTILITIES:

- Existing utilities have been shown to the greatest extent possible based upon information provided to the Engineer. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer.
- The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
- Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of
- Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines, manholes, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations can not be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict.
- Payment for trenching, backfilling, pipe embedment, flowable fill, backfill materials, clean up, seeding, sodding and any other items necessary for the construction of the utility line shall be included in the contract price for the utility installation.
- The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
- Trench spoils shall be neatly placed onsite adjacent to the trench, and compacted to prevent saturation and excess sediment runoff. Unsuitable materials, excess rock and shale, asphalt, concrete, trees, brush etc. shall be properly disposed of offsite. Materials may be wasted onsite at the direction of the Owner or his appointed representative.
- All excavation is considered unclassified, unless noted otherwise. Unclassified excavation for utility trenching is subsidiary to the unit price provided for the pipe. Any quantity provided for rock excavation is estimated based on the best information provided to the Project Engineer. The Engineer has the authority to identify and define the physical characteristics to determine the classification. Unit price quantities for rock excavation will be paid at a trench width of the nominal pipe diameter of the installed main plus 18 inches. Contractor is required to dispose of excess rock from their trenches by disposing it in areas as specified by the Project Engineer.

New City Requirements:

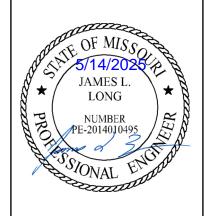
Flowable fill required per City specifications at all sanitary sewer structures.

CONTRACTOR SHALL OBTAIN ELEVATIONS AND LOCATIONS FOR ALL SANITARY SEWER SERVICE LINES AND SHALL SUPPLY THIS INFORMATION TO THE DESIGN ENGINEER FOR INCLUSION IN THE AS-BUILT RECORD DRAWINGS.

	Sheet List Table
Sheet Number	Sheet Title
1	COVER SHEET
2	OVERALL SITE LAYOUT
3	SITE LAYOUT (WEST)
4	SITE LAYOUT (EAST)
5	SITE LAYOUT (NORTH)
6	LINE A PLAN & PROFILE (STA. 0+00 - 14+00)
7	LINE A PLAN & PROFILE (STA. 0+00 - 14+00) (2)
8	LINE B PLAN & PROFILE
9	LINE C PLAN & PROFILE
10	LINE D PLAN & PROFILE
11	LINE E & F PLAN & PROFILE
12	LINE G & K PLAN & PROFILE
13	SANITARY DETAILS
14	SANITARY DETAILS

凸

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A

APPROVED BY

CITY ENGINEER APPROVED FOR ONE YEAR FROM THIS DATE

OWNER/DEVELOPER

CLAYTON PROPERTIES GROUP INC., DBA SUMMIT HOMES 120 SE 30TH STREET LEE'S SUMMIT, MISSOURI p (816) 246-6700 BRADLEY@SUMMITHOMESKC.COM



MISSOURI GEOGRAPHIC REFERENCE SYSTEM **BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

RECORD DRAWING

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"100.00 100.10", "1.00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Date: 05/13/2025 Certified by: JLL Title: Senior Project Engineer Firm: Schlagel and Associates, P.A.

COVER SHEET



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PHASE LINE

GENERAL NOTES:

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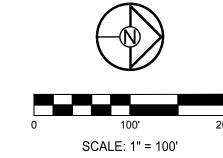


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OVERALL SITE LAYOUT

SHEET

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.



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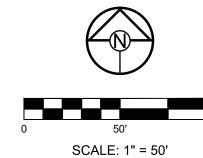


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PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

SITE LAYOUT (WEST)



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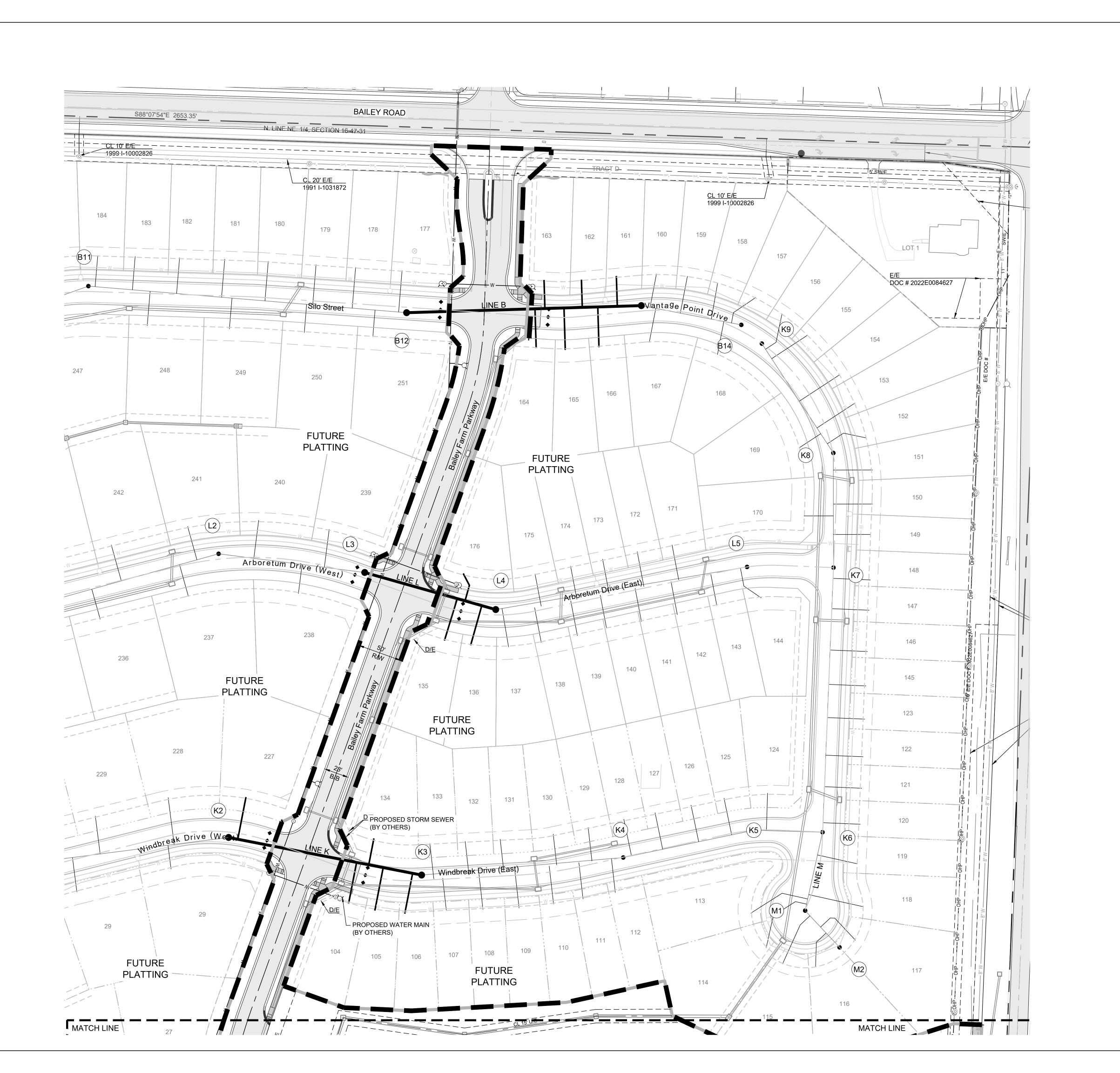
Date: 05/14/2025 Certified by: JLL Title: Senior Project Engineer Firm: Schlagel and Associates, P.A.



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

SITE LAYOUT (EAST)



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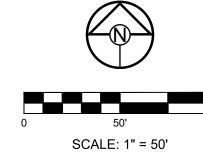


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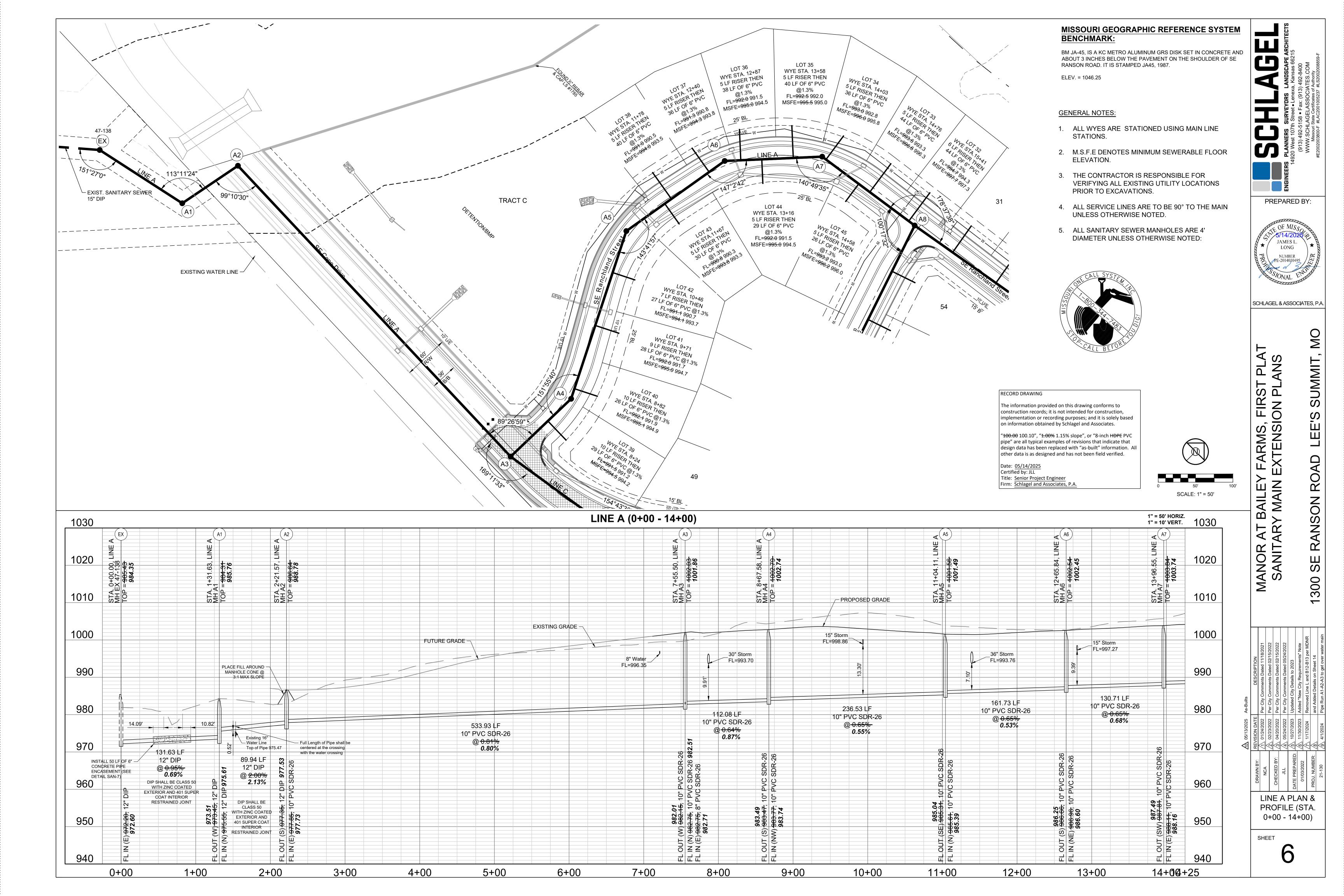
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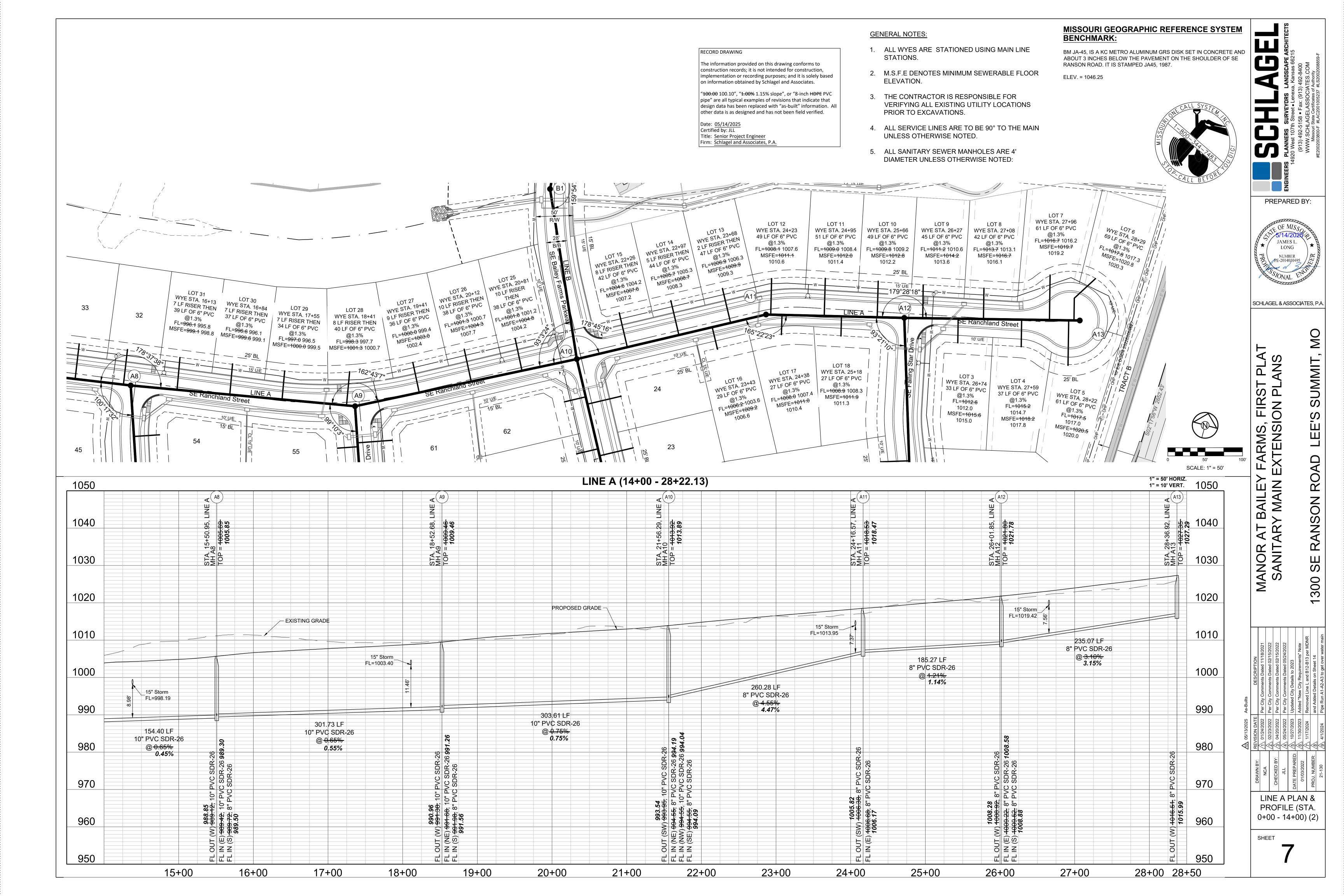


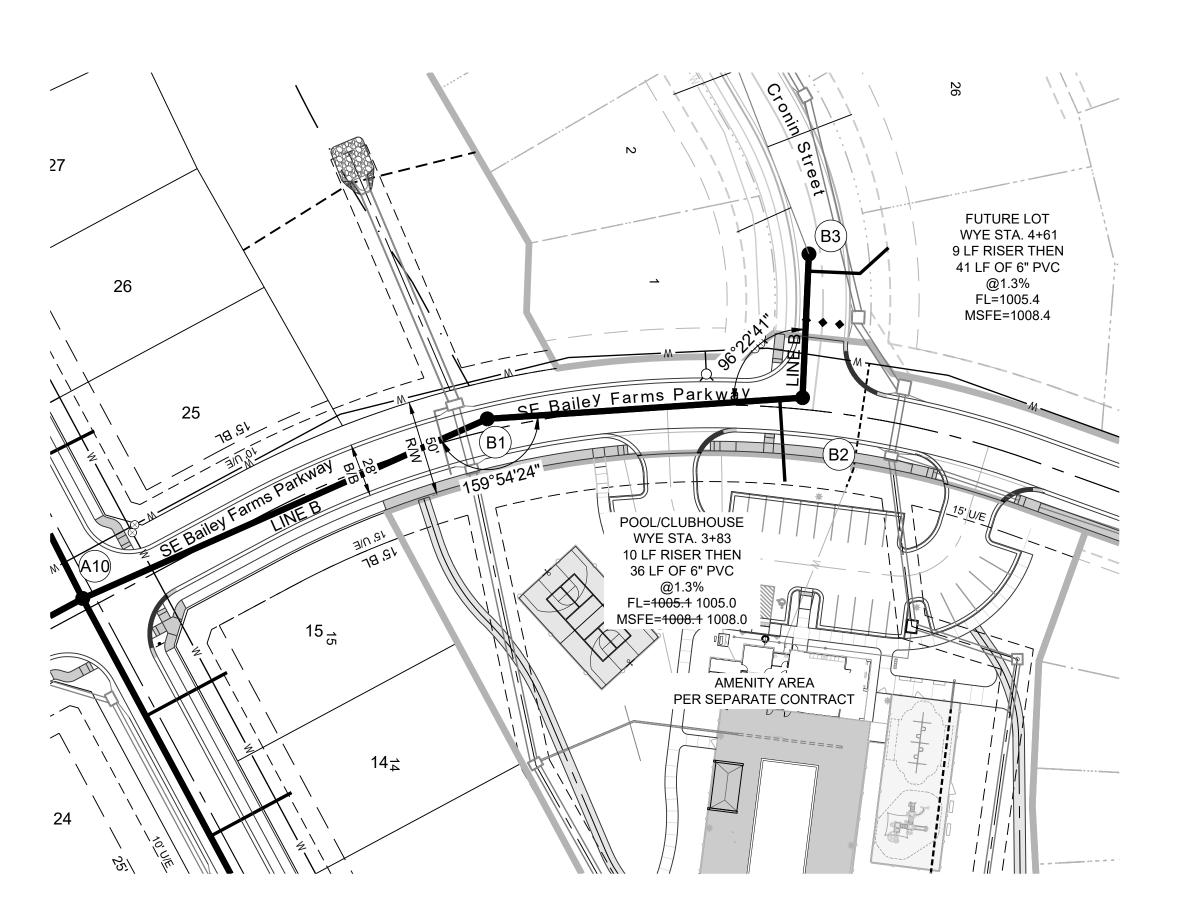
SCHLAGEL & ASSOCIATES, P.A.

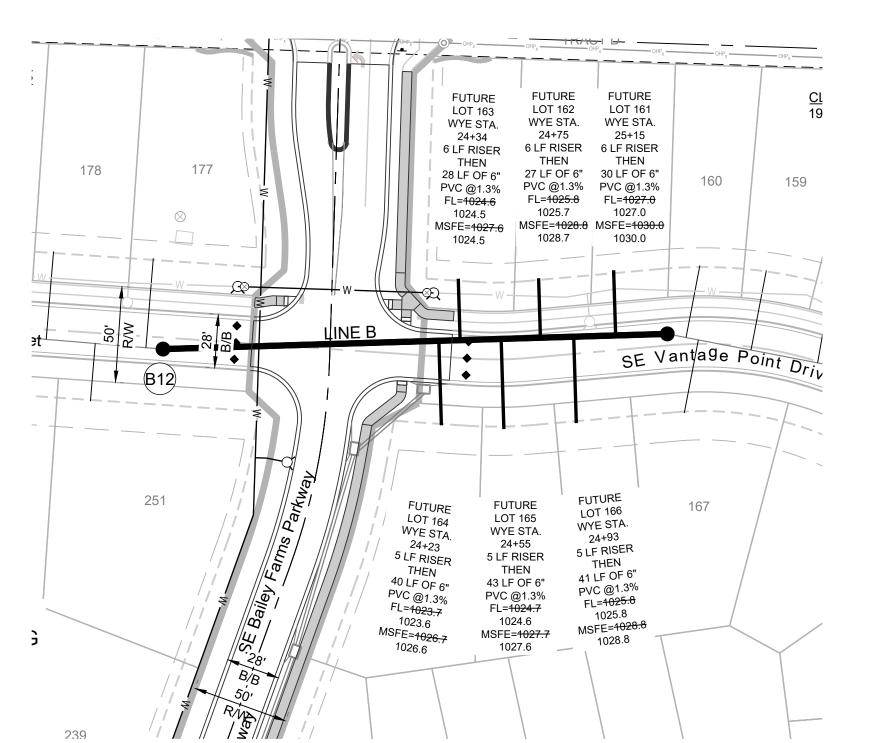
SITE LAYOUT

(NORTH)









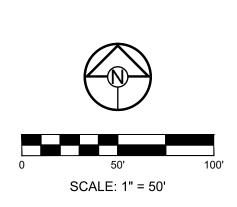
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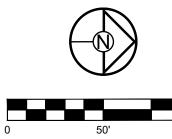
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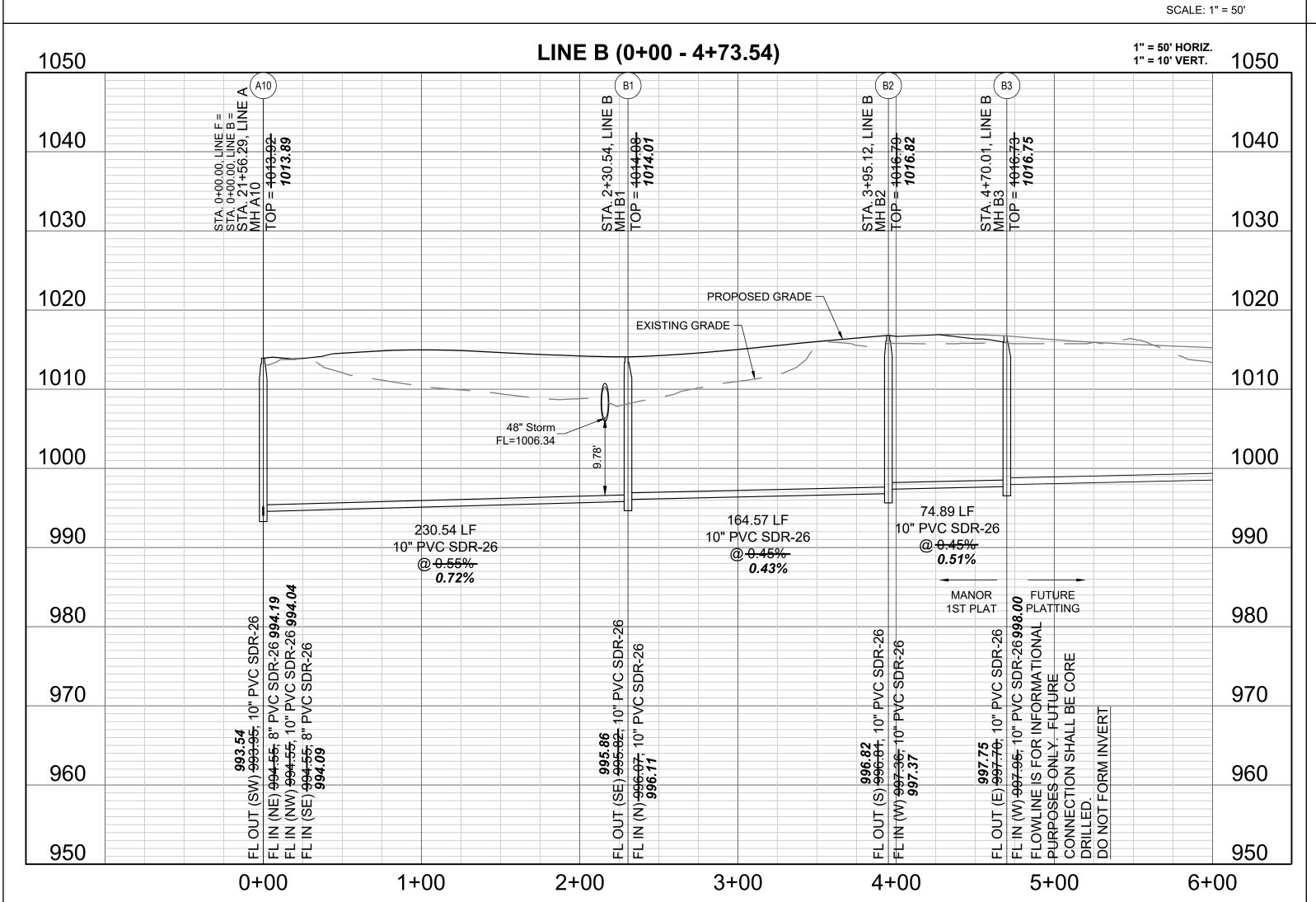
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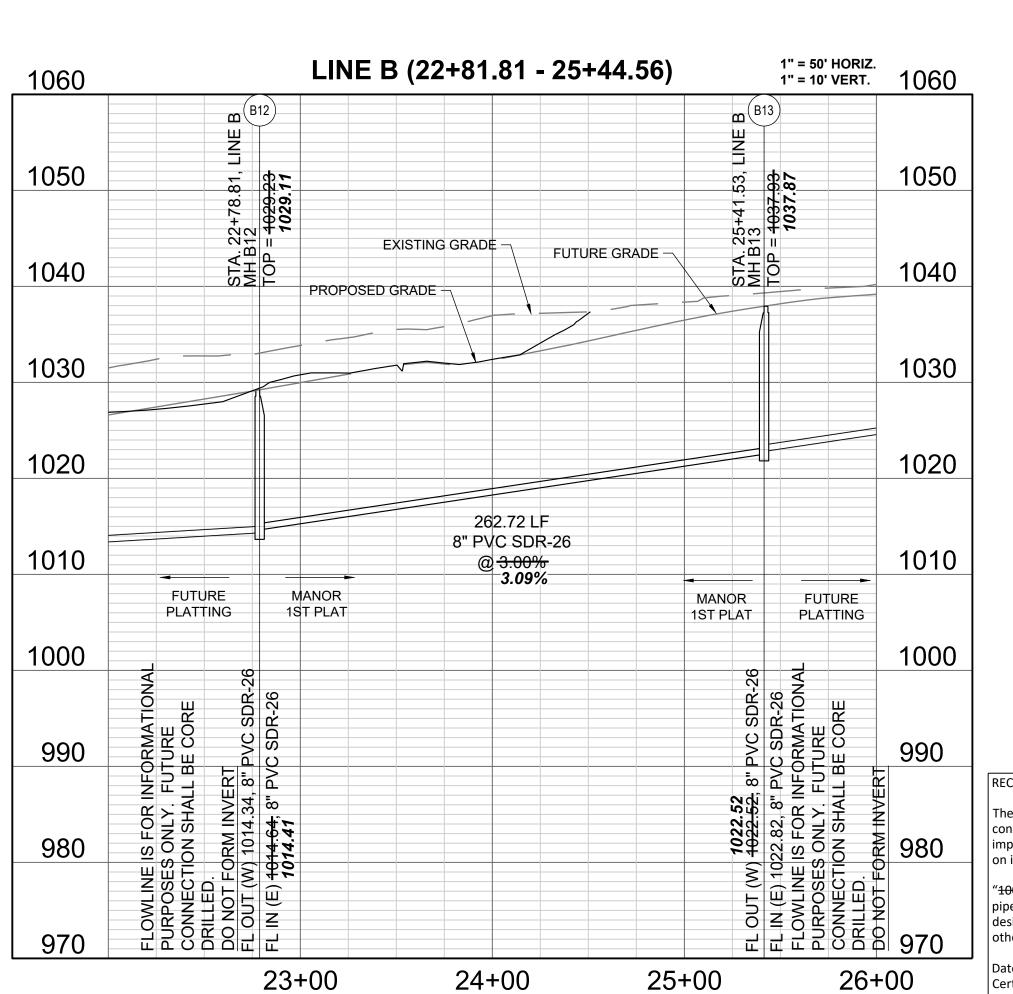
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JAMES L. SCHLAGEL & ASSOCIATES, P.A. FARMS, FIRST XTENSION PL

PREPARED BY:

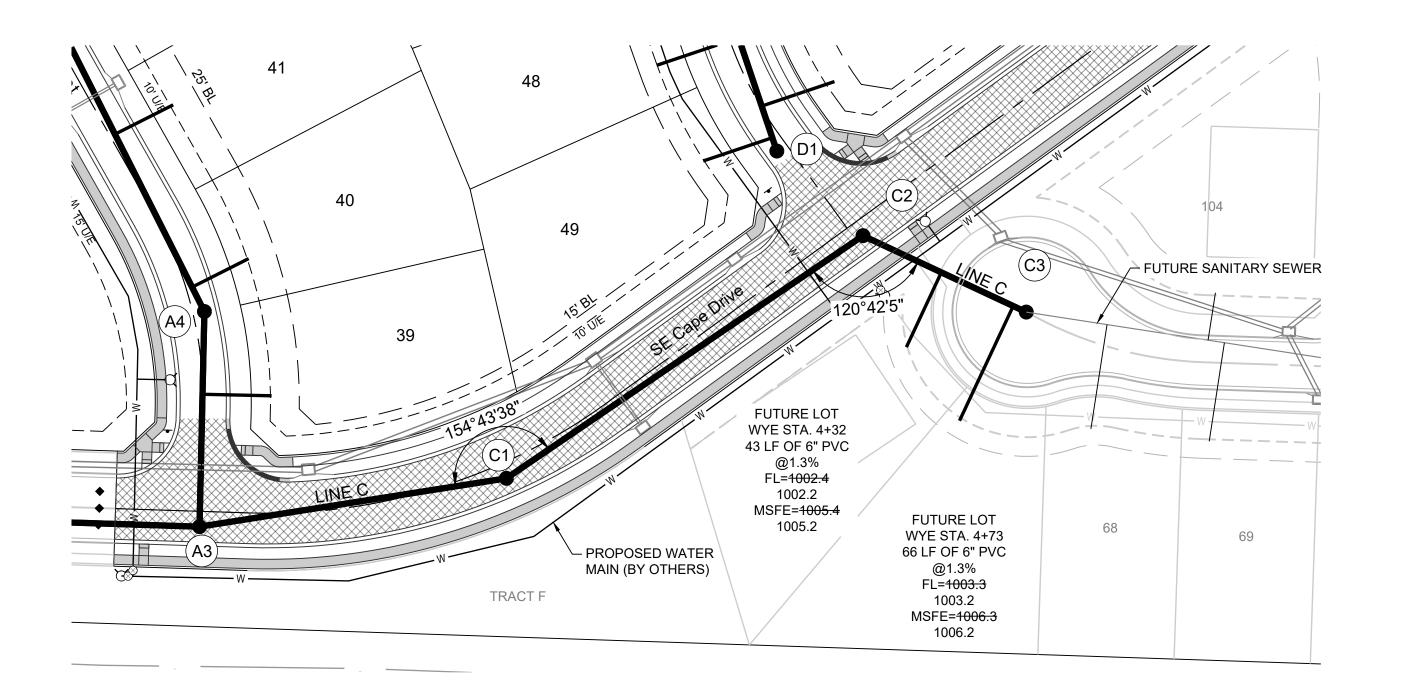
RANSON ROA MANOR AT BAILEY SANITARY MAIN E 1300 SE

√1	/1\ 01/24/2022 Per City Comments Dated 11/18/2021
2 02/23/2022	
3 04/20/2022	(3) 04/20/2022 Per City Comments Dated 02/15/2022
4 05/24/2022	Per City Comments Dated 05/24/2022
5 10/27/2023	10/27/2023 Updated City Details to 2023
6 11/30/2023	Added "New City Requirements" Note
1/17/2024	Removed Line L and B12-B13 per MDNR
8/	and Added Details on Sheet 14
1000, 11 V	-:

LINE B PLAN & PROFILE

SHEET

8



LINE C

PROPOSED GRADE

224.62 LF

8" PVC SDR-26

@ 2.85% **2.82%**

3+00

- EXISTING GRADE

FL=1001.72

2+00

161.81 LF 8" PVC SDR-26

@-6.50% **6.27%**

1+00

(C1)

1060

1050

1040

1030

1020

1010

1000

990

980

970

960

950

STA. 0+00.00, LINE (STA. 7+55.50, LINE / MH A3 TOP = 4002.03

0+00

MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:

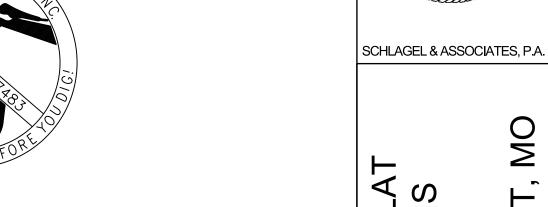
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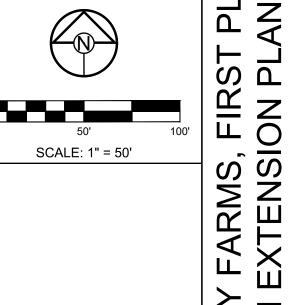
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PREPARED BY:

NOTE:

1" = 50' HORIZ.

C3)

FUTURE GRADE -

93.90 LF 8" PVC SDR-26

@ 1.50% **1.72%**

4+00

MANOR 1ST PLAT

FUTURE PLATTING

5+00

1" = 10' VERT. 1060

1050

1040

1030

1020

1000

990

980

970

960

950

6+00

ALL FUTURE FLOWLINES SHOWN ARE FOR REFERENCE ONLY. FUTURE CONNECTIONS TO MANHOLES WILL BE MADE BY CORE DRILL.

The information provided on this drawing conforms to

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RECORD DRAV	ΛII	

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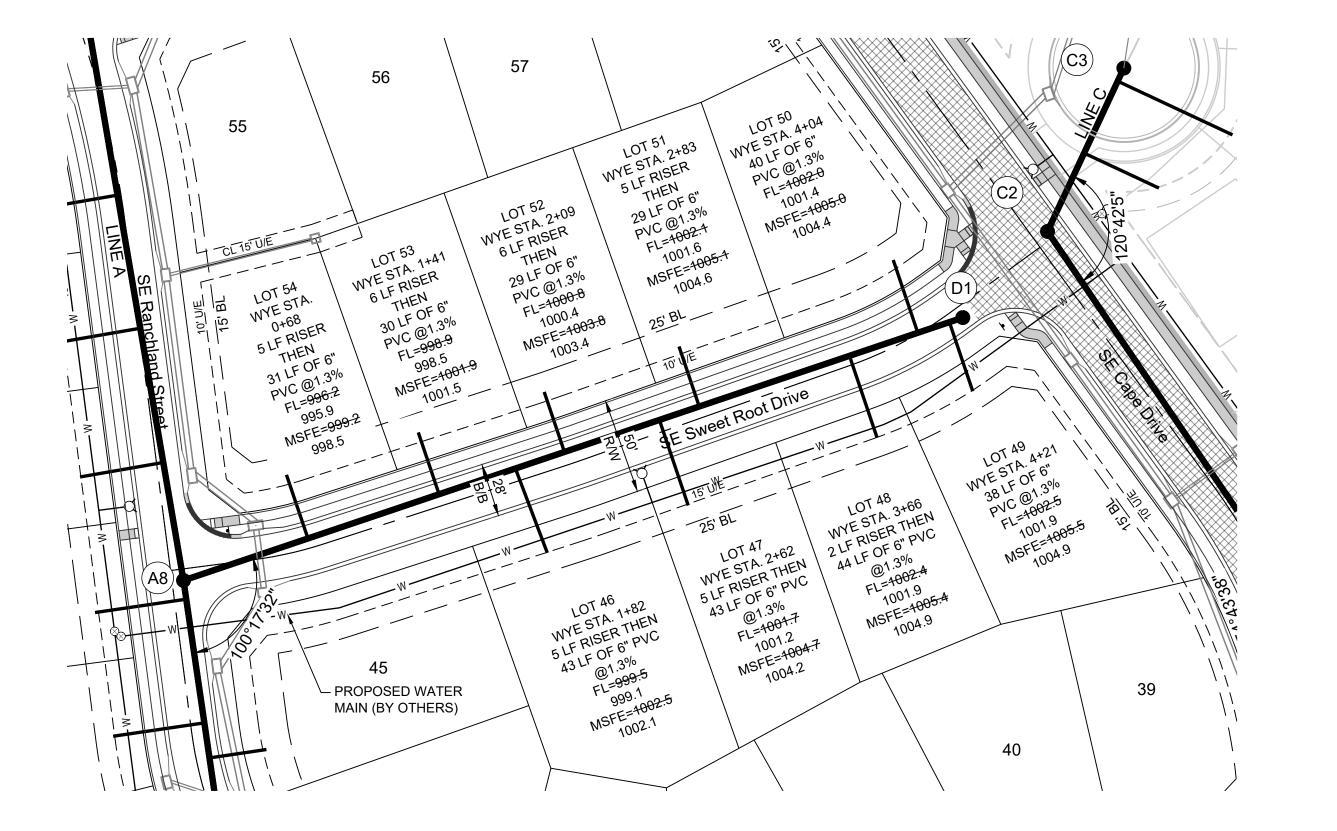
RANSON ROA

SE

1300

MANOR AT BAILEY SANITARY MAIN E

LINE C PLAN & PROFILE



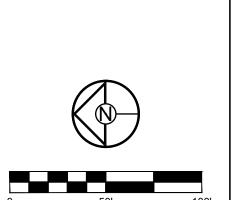
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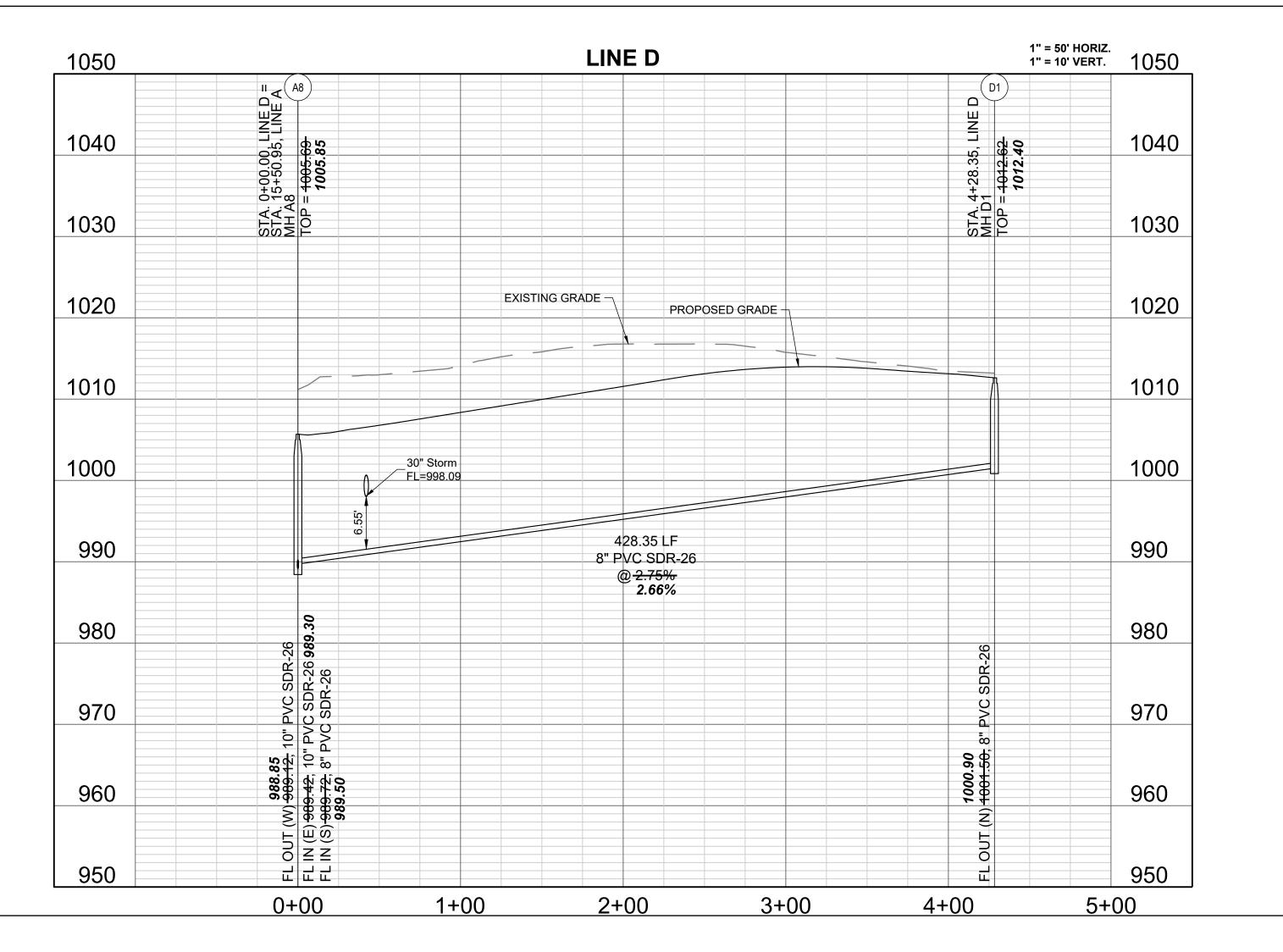
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SCALE: 1" = 50'



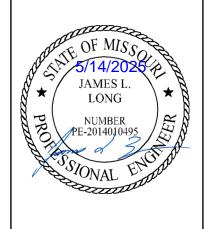
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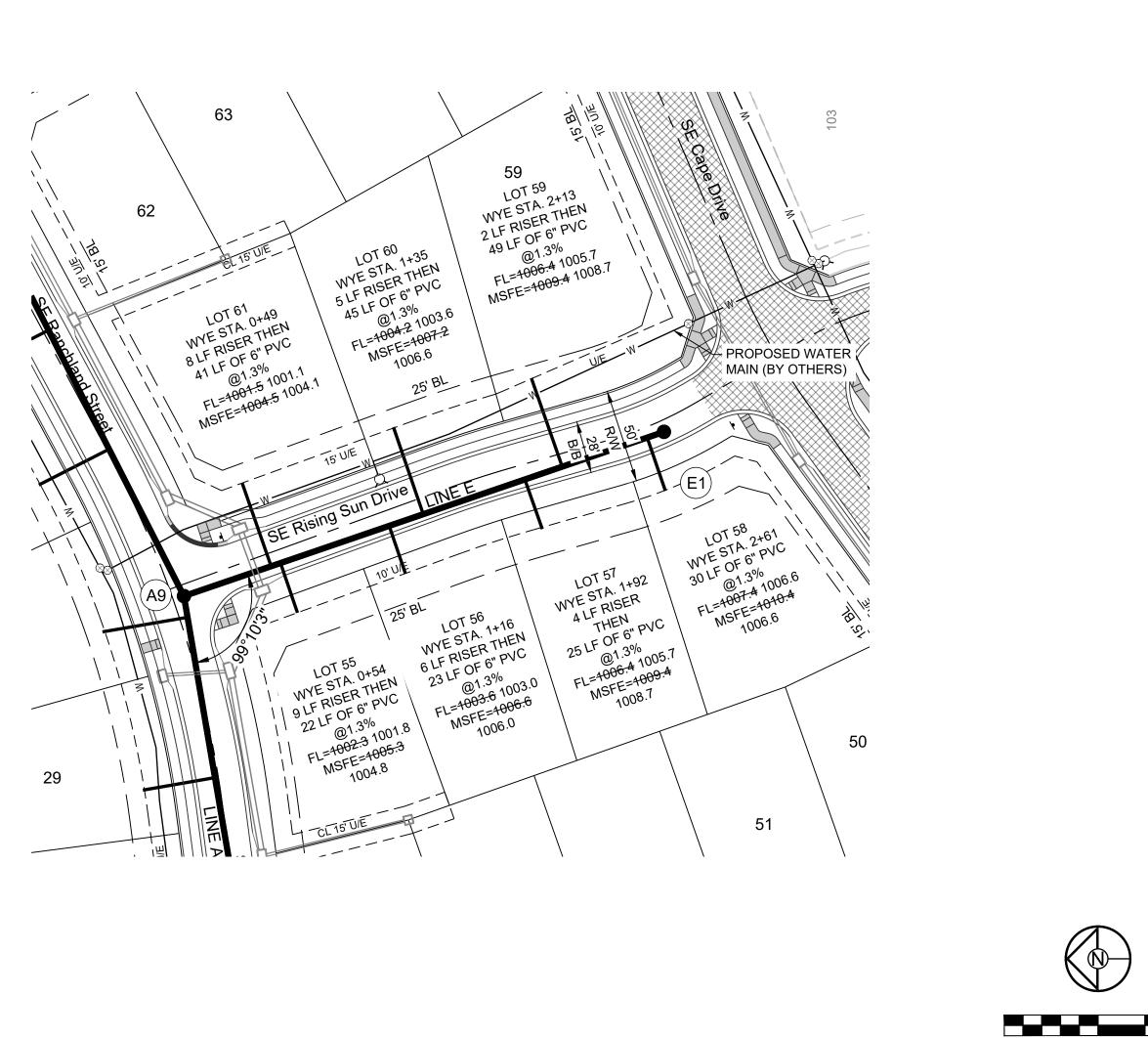
PREPARED BY:

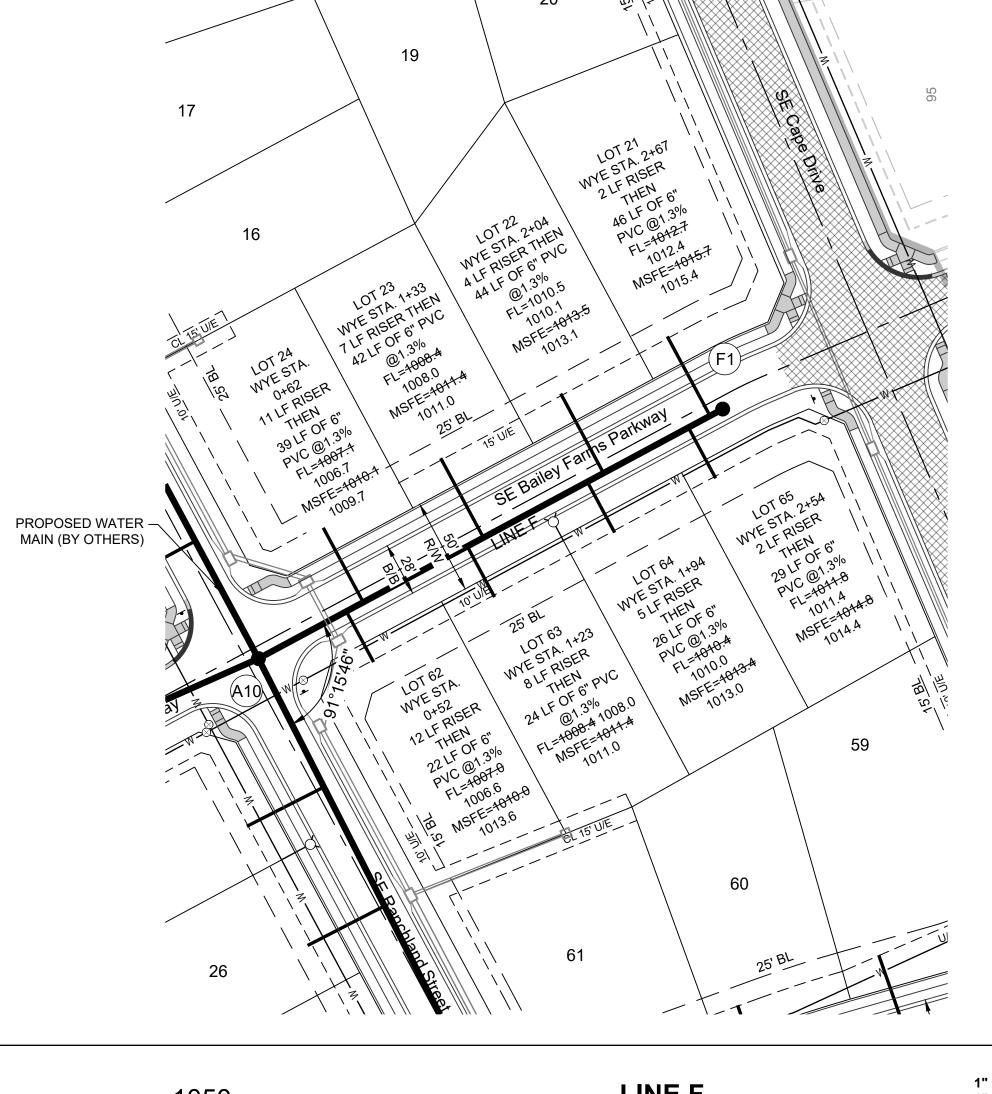


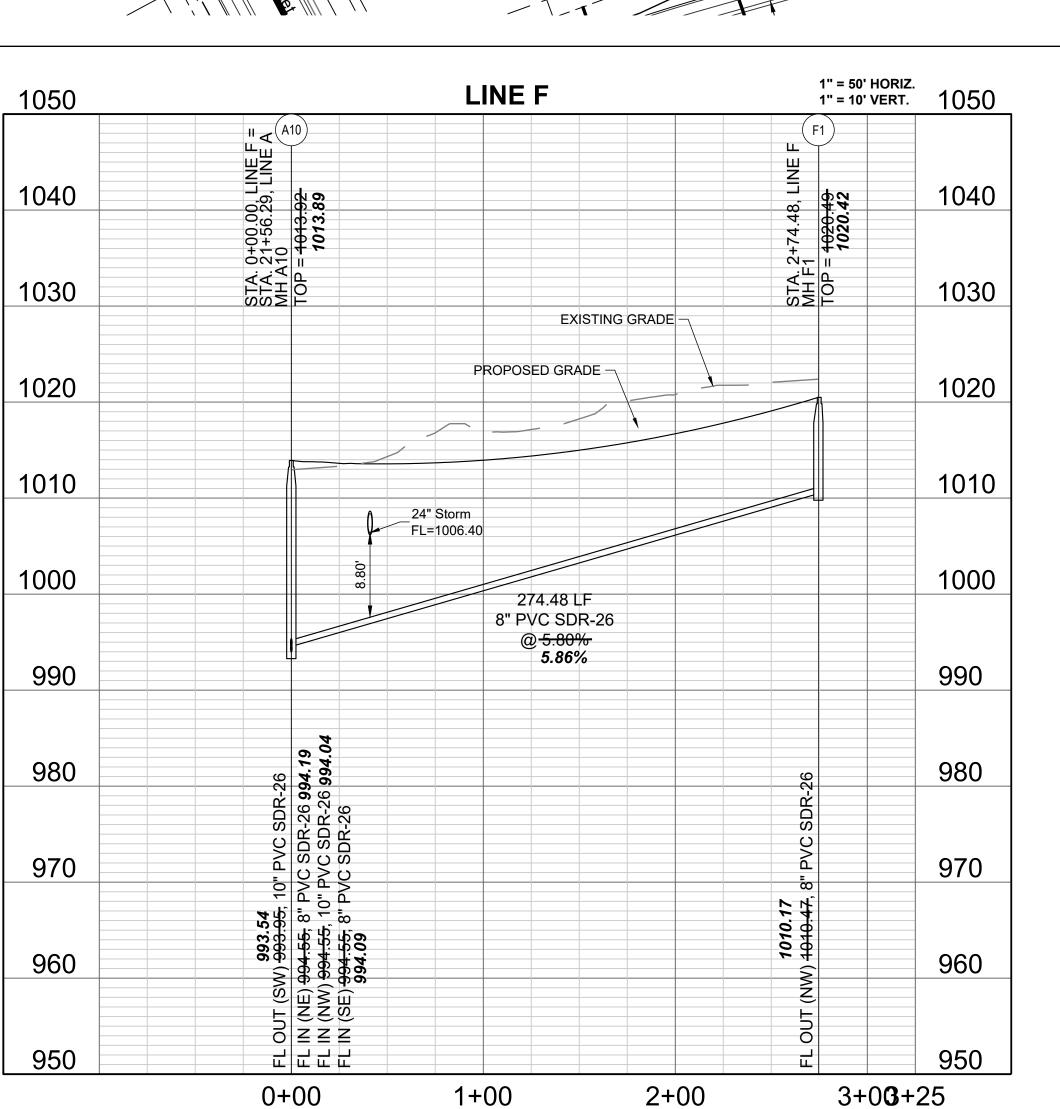
SCHLAGEL & ASSOCIATES, P.A.

-ARMS, FIRST XTENSION PL/ MANOR AT BAILEY F. SANITARY MAIN EX RANSON ROA SE 1300

LINE D PLAN & PROFILE







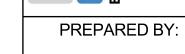
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SCHLAGEL & ASSOCIATES, P.A.

RANSON ROA

SE

300

MANOR AT BAILEY SANITARY MAIN E

SCALE: 1" = 50'

LINE E & F PLAN & PROFILE

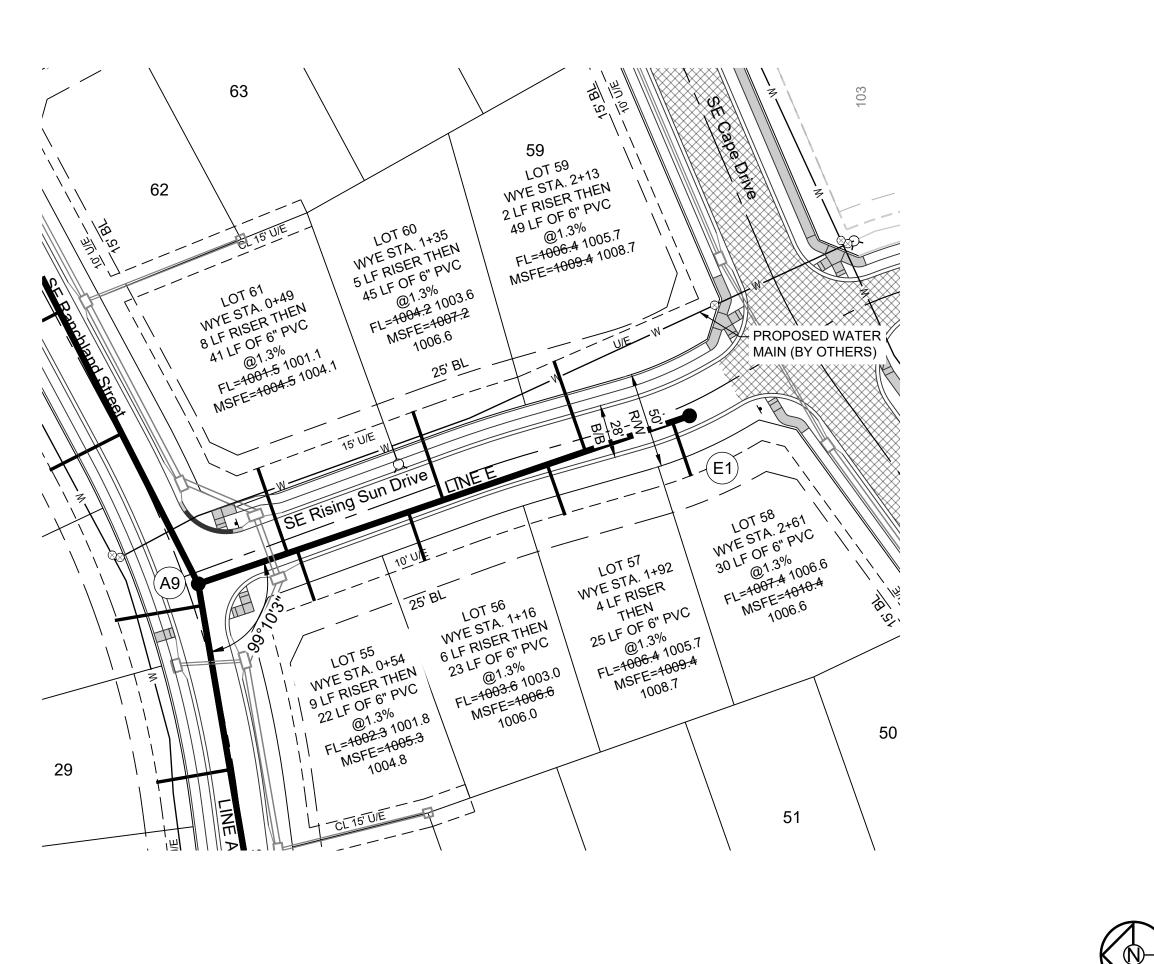
SHEET

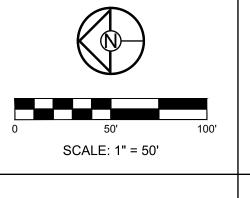
RECORD DRAWING

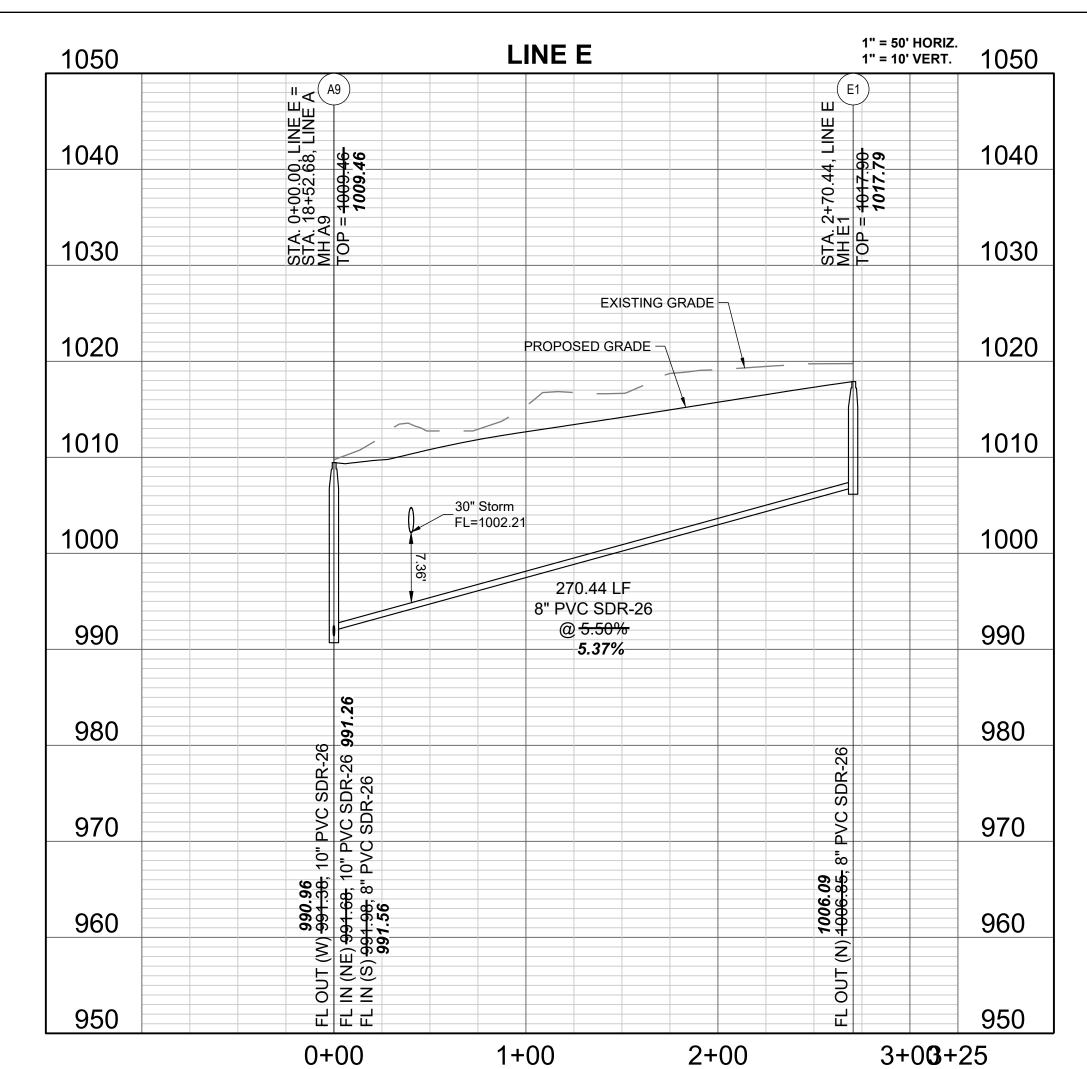
The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information obtained by Schlagel and Associates.

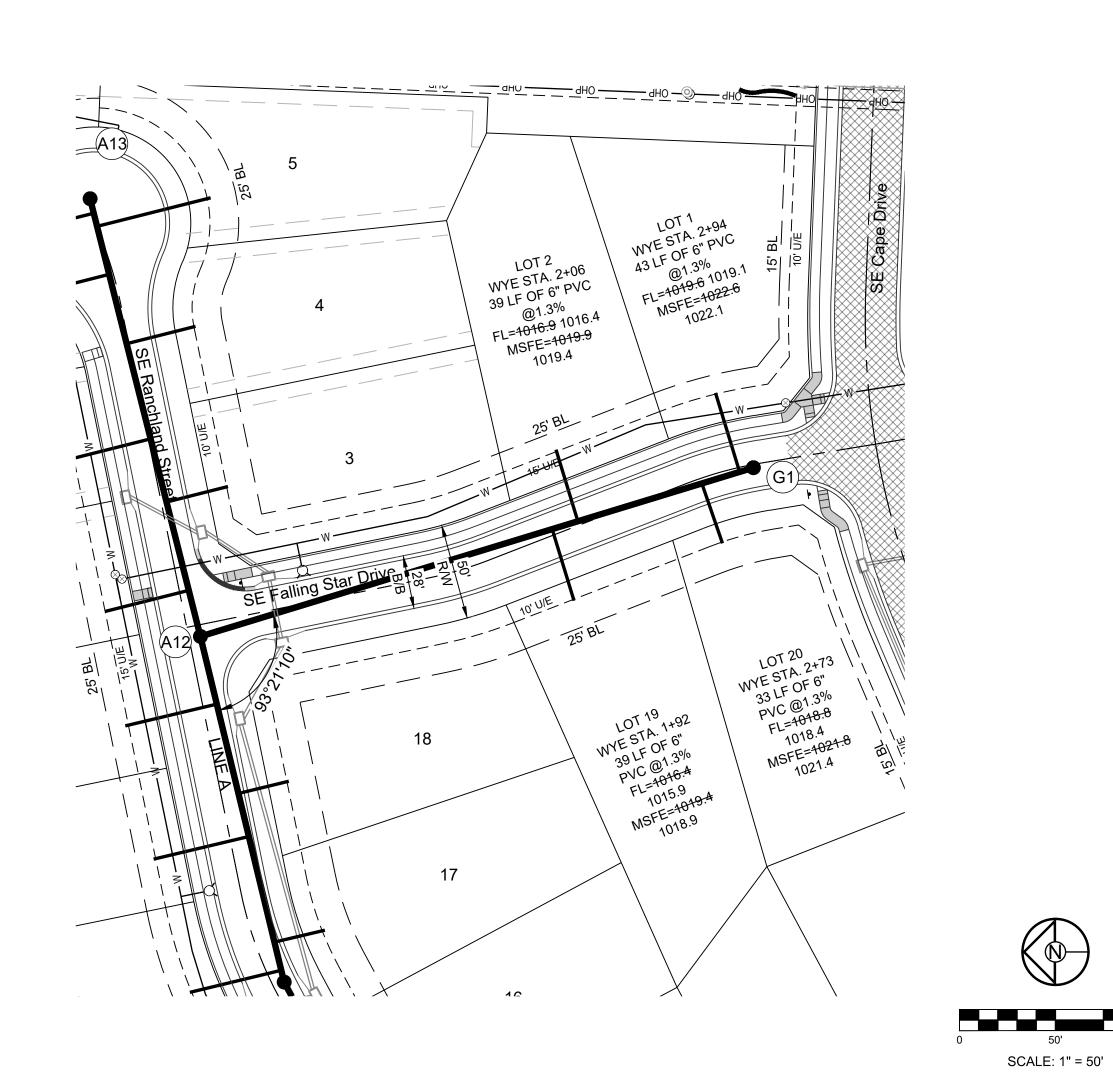
"100.00 100.10", "1.00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

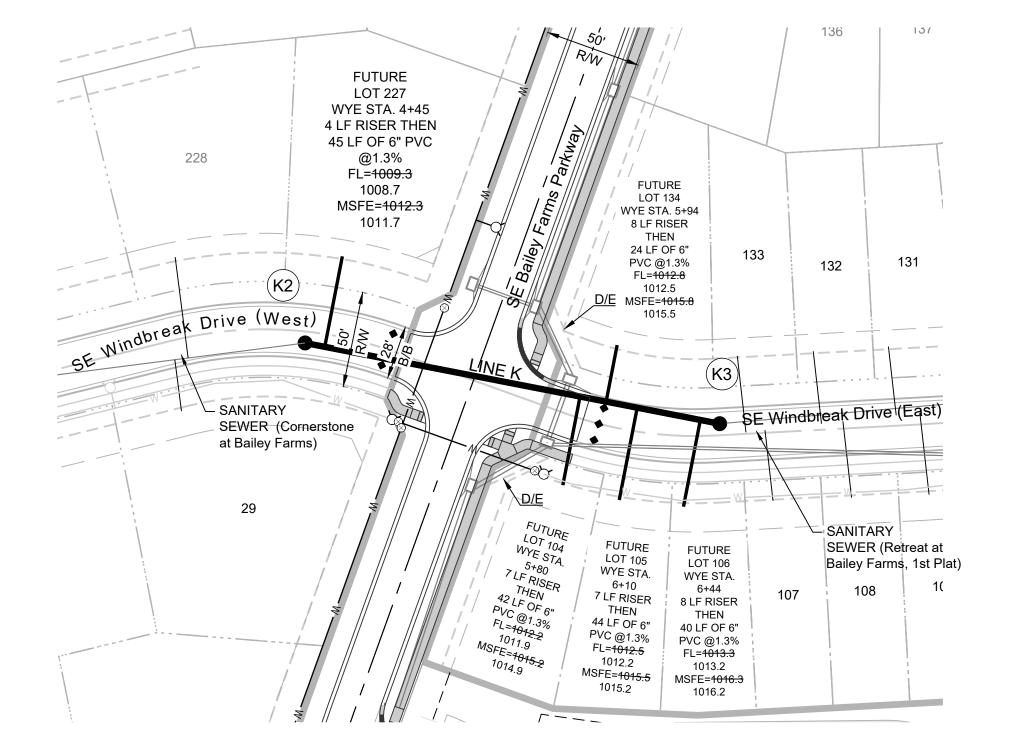
Date: 05/14/2025 Certified by: JLL Title: Senior Project Engineer
Firm: Schlagel and Associates, P.A.











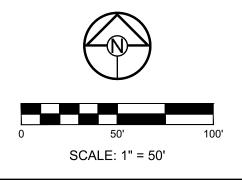
BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

GENERAL NOTES:

- 1. ALL WYES ARE STATIONED USING MAIN LINE STATIONS.
- 2. M.S.F.E DENOTES MINIMUM SEWERABLE FLOOR ELEVATION.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATIONS.
- 4. ALL SERVICE LINES ARE TO BE 90° TO THE MAIN UNLESS OTHERWISE NOTED.
- 5. ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER UNLESS OTHERWISE NOTED:





1" = 50' HORIZ. 1" = 10' VERT. LINE G 1060 1060 STA. 0+00.00, LINE G = STA. 26+01.85, LINE A MH A12 TOP = 4021.89 1050 1050 1040 1040 EXISTING GRADE -1030 1030 PROPOSED GRADE 1020 1020 18" Storm FL=1017.62 1010 1010 301.11 LF 8" PVC SDR-26 @ 3.00% 3.07% 1000 1000 990 990 980 970

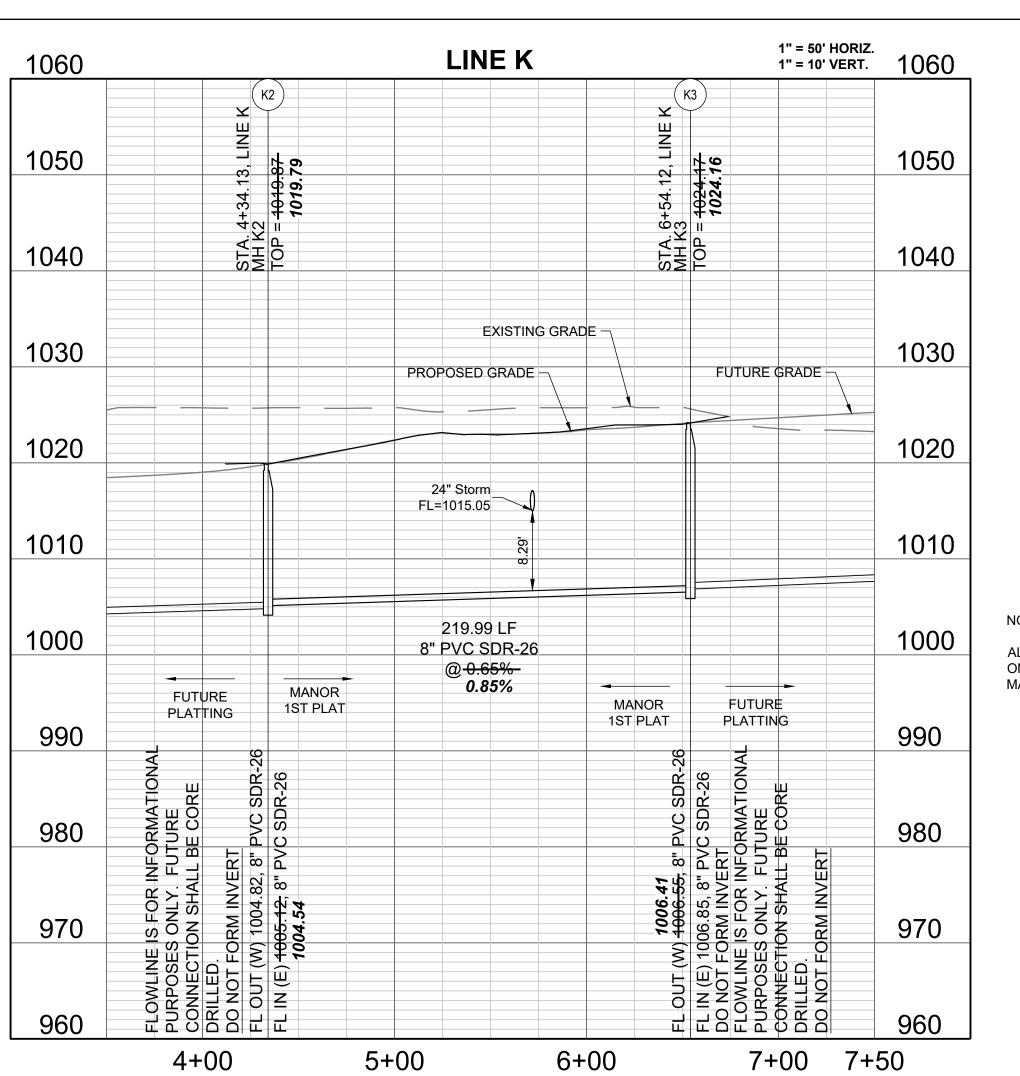
1+00

2+00

3+00

4+00

0+00



NOTE:

ALL FUTURE FLOWLINES SHOWN ARE FOR REFERENCE ONLY. FUTURE CONNECTIONS TO MANHOLES WILL BE MADE BY CORE DRILL.

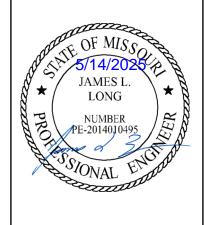
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PREPARED BY:



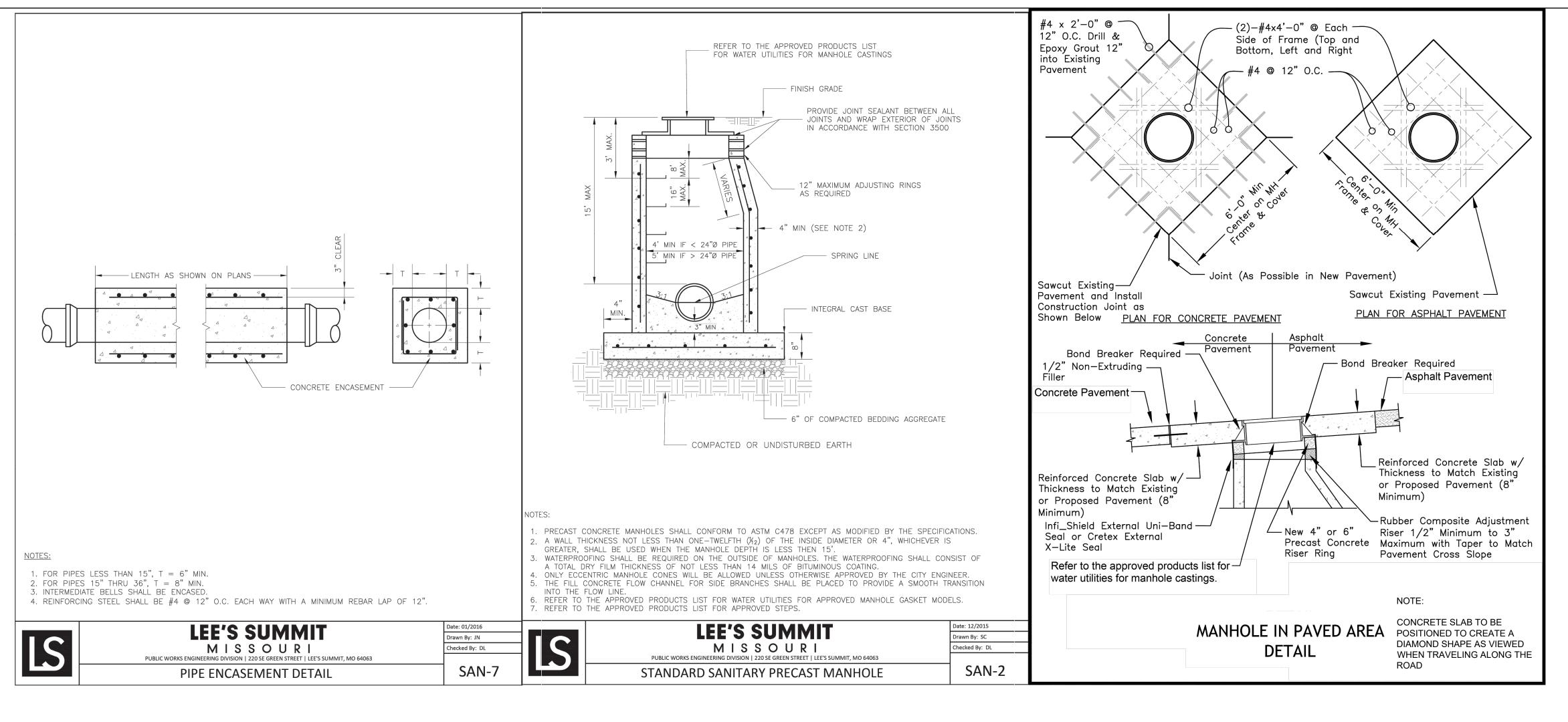
SCHLAGEL & ASSOCIATES, P.A.

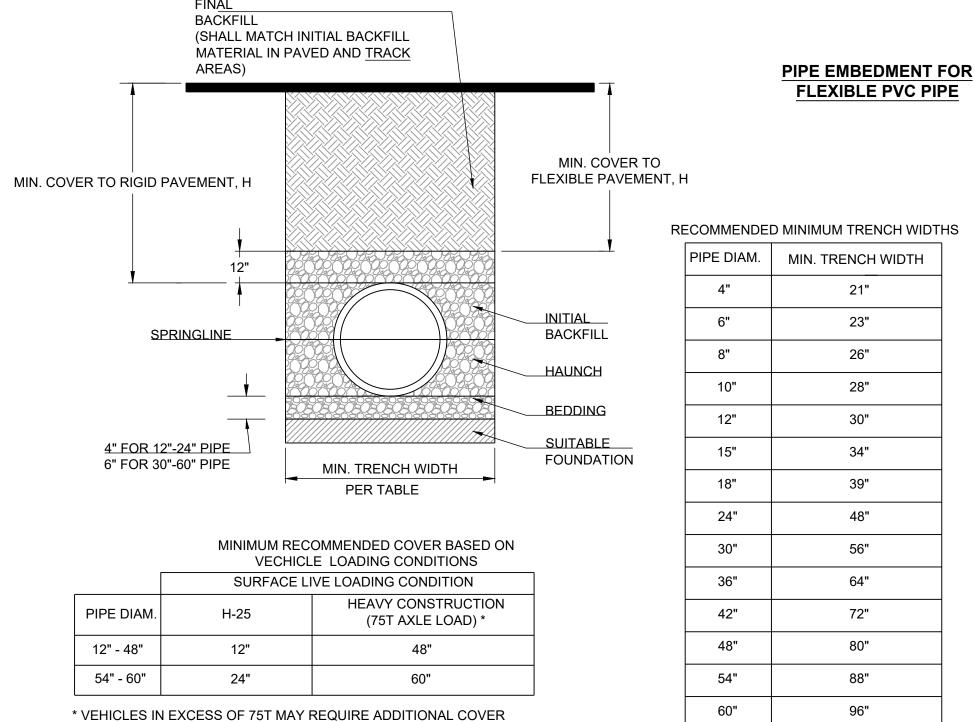
FARMS, FIRST XTENSION PL RANSON ROA MANOR AT BAILEY SANITARY MAIN E

S E

1300

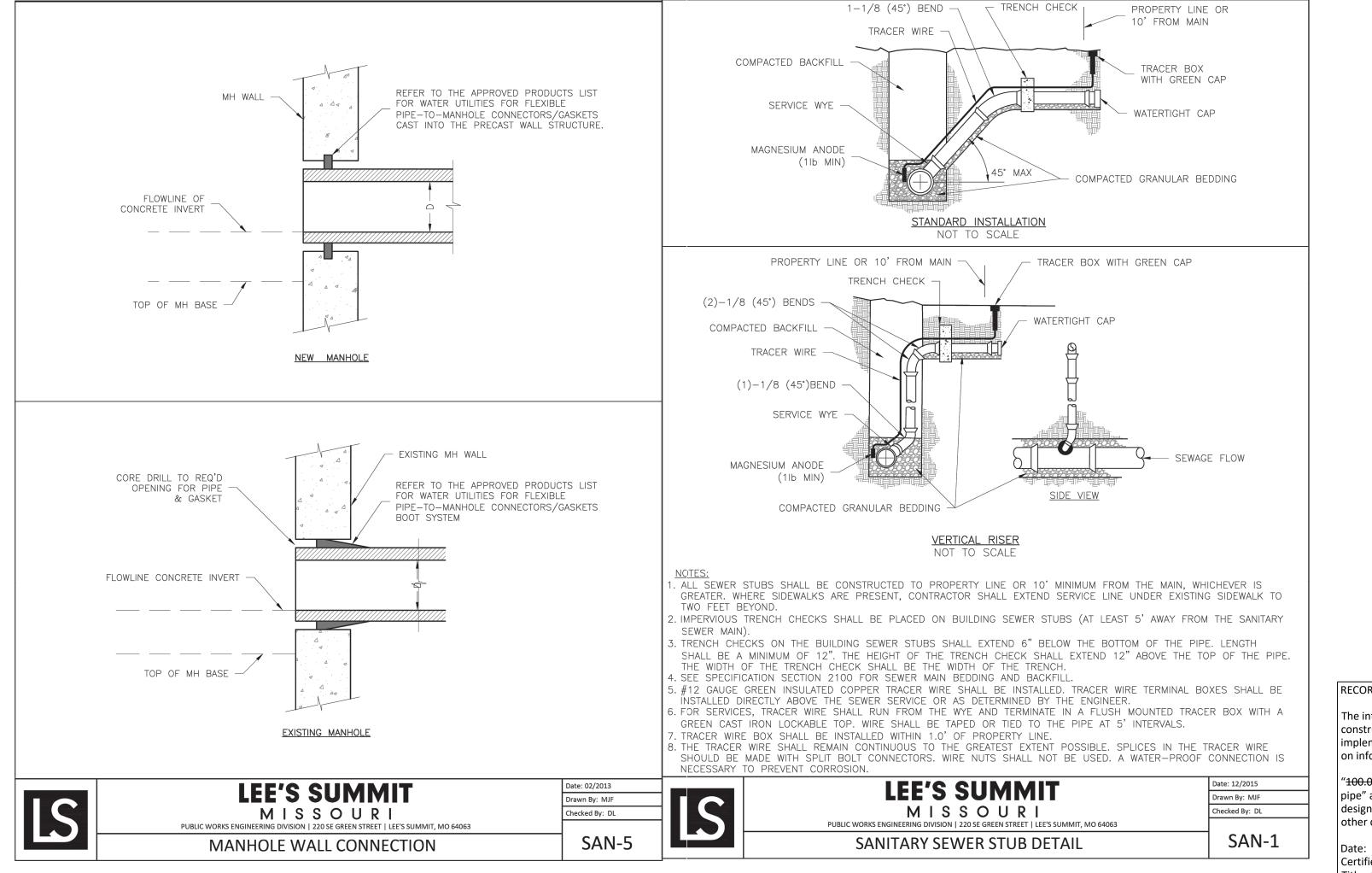
LINE G & K PLAN & PROFILE





NOTES:

- 1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION
- 2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- 3. <u>FOUNDATION:</u> WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- 4. <u>BEDDING:</u> SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
- 5. <u>INITIAL BACKFILL:</u> SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- 6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.



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SANITARY
DETAILS

PREPARED BY:

JAMES L.

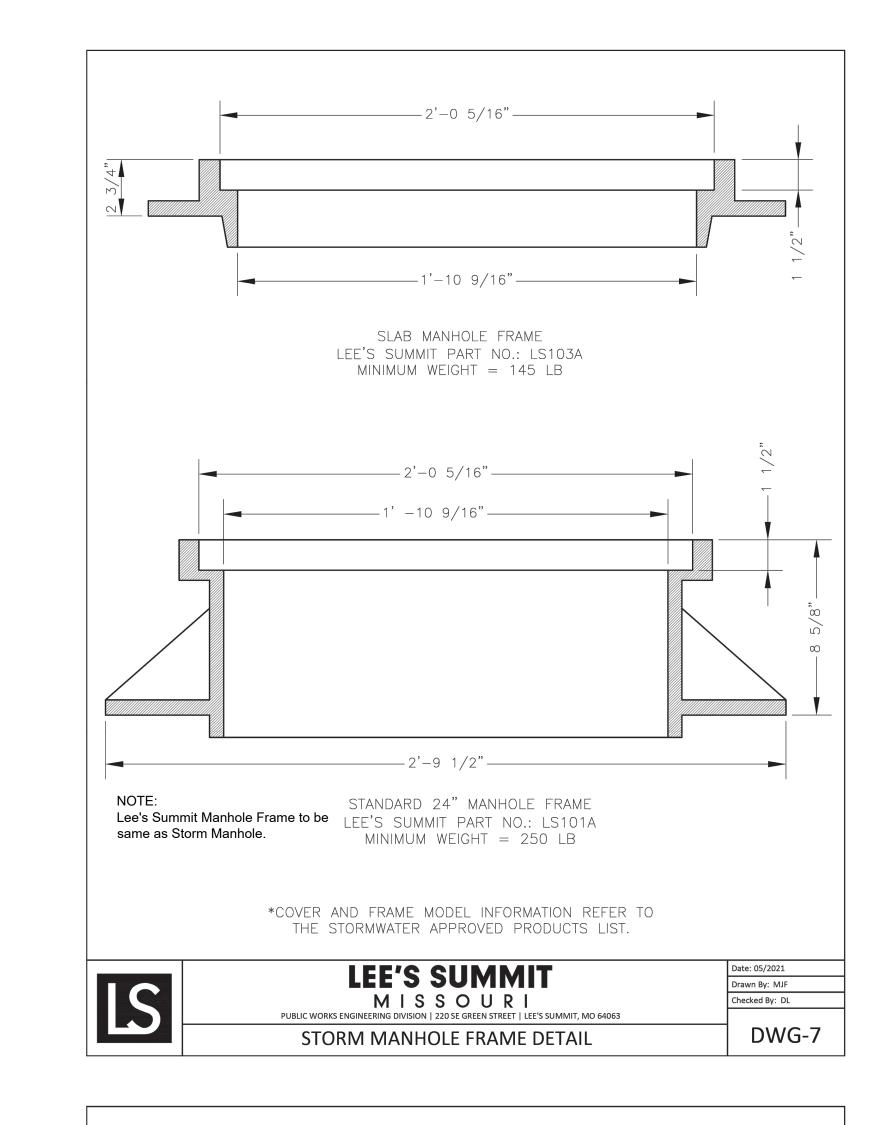
LONG

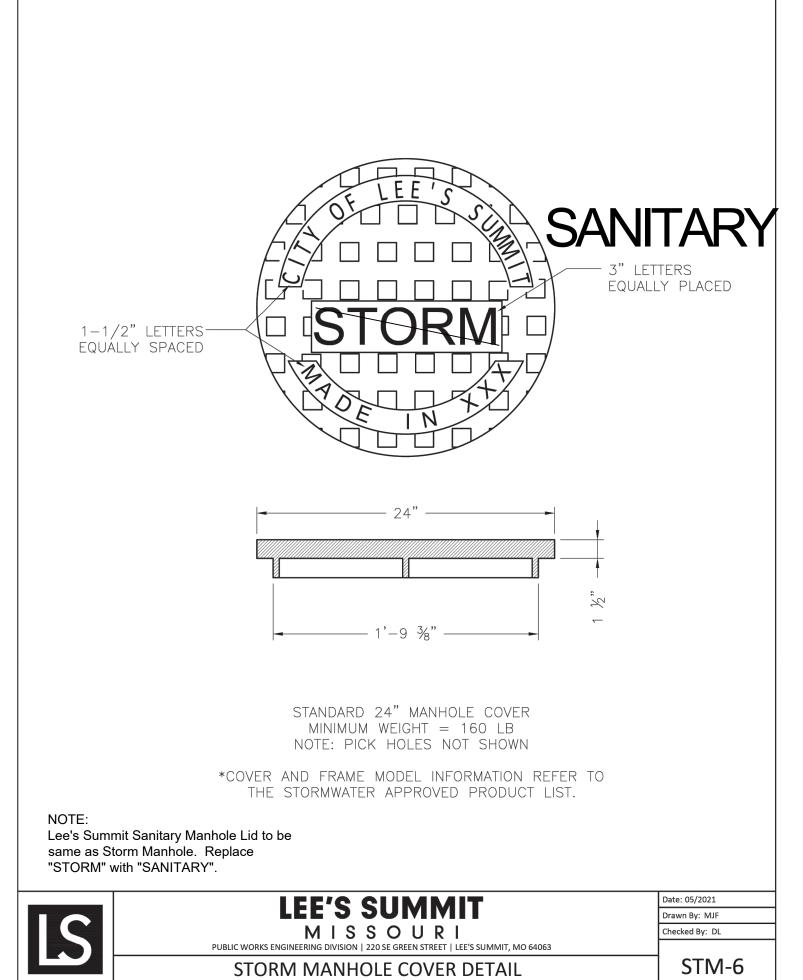
SCHLAGEL & ASSOCIATES, P.A.

FIRS-ION PI

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13







RANSON ROAD

SE

1300

PREPARED BY:

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