

**GENERAL NOTES:**

- UTILITIES:**

- New City Requirements:

Flowable fill required per City specifications at all sanitary sewer structures.

**NOTE:**

**CONTRACTOR SHALL OBTAIN ELEVATIONS AND LOCATIONS FOR ALL SANITARY SEWER SERVICE LINES AND SHALL SUPPLY THIS INFORMATION TO THE DESIGN ENGINEER FOR INCLUSION IN THE AS-BUILT RECORD DRAWINGS.**

**APPROVED BY:**

CITY ENGINEER  
APPROVED FOR ONE YEAR FROM THIS DATE

**OWNER/DEVELOPER:**

CLAYTON PROPERTIES GROUP INC., DBA SUMMIT HOMES  
BRAD KEMPF  
120 SE 30TH STREET  
LEE'S SUMMIT, MISSOURI  
p (816) 246-6700  
BRADLEY@SUMMITHOMESKC.COM

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM**  
**BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

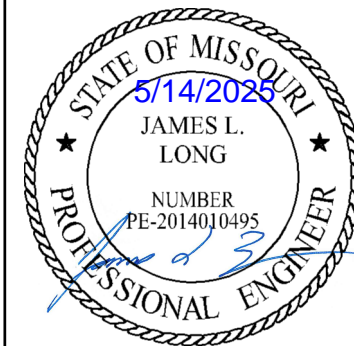
## RECORD DRAWING

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"100.00 100.10", "~~1.00~~ 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Date: 05/13/2025  
 Certified by: JLL  
 Title: Senior Project Engineer  
 Firm: Schlagel and Associates, P.A.

## PREPARED BY:



SCHLAGEL &amp; ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS

1300 SE RANSON ROAD LEE'S SUMMIT, MO

REVISION	DATE	DESCRIPTION
1	01/14/2025	As-Built
2	01/24/2023	Per City Comments Dated 11/18/2021
3	02/23/2022	Per City Comments Dated 02/15/2022
4	04/20/2022	Per City Comments Dated 02/15/2022
5	05/24/2022	Per City Comments Dated 05/24/2022
6	11/02/2023	Updated City Details to 2023
7	11/30/2023	Added "New City Requirements" Note
8	11/17/2024	Removed Line L and B 12-B13 per MONIR and Added Details on Sheet 14
9	4/1/2024	Piles Run A1-A2-A3 to get over water main

## COVER SHEET

SHEET

1





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- GENERAL NOTES:**
1. ALL WYES ARE STATIONED USING MAIN LINE STATIONS.
  2. M.S.F.E DENOTES MINIMUM SEWERABLE FLOOR ELEVATION.
  3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATIONS.
  4. ALL SERVICE LINES ARE TO BE 90° TO THE MAIN UNLESS OTHERWISE NOTED.
  5. ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER UNLESS OTHERWISE NOTED:

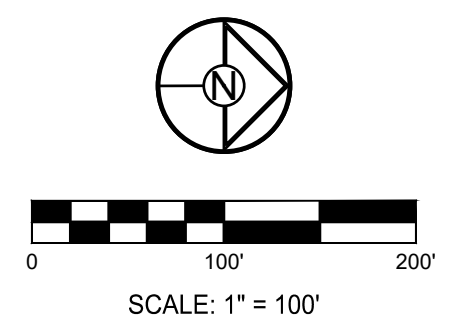


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Certified by: JLL  
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**SCHLAGER**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGERASSOCIATES.COM  
Missouri State Certificates of Authority  
#E2002003600-F #LAC2001005237 #LS200200865-F

PREPARED BY:

JAMES L. LONG  
5/14/2025  
PE-2014010095  
PROFESSIONAL ENGINEER

SCHLAGER & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS**

**1300 SE RANSON ROAD LEE'S SUMMIT, MO**

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**OVERALL SITE LAYOUT**

SHEET

**2**





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--- PHASE LINE

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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS  
1300 SE RANSON ROAD LEE'S SUMMIT, MO**

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**SITE LAYOUT  
(WEST)**

SHEET

**3**





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--- PHASE LINE

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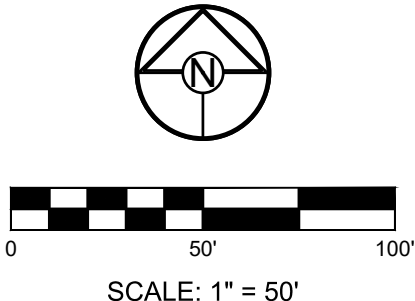


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Missouri State Certificates of Authority  
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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS  
1300 SE RANSON ROAD LEE'S SUMMIT, MO**

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9	11/17/2024	and Added Details on Sheet 14
10	4/1/2024	Pipe Run A1-A2-A3 to get over water main

**SITE LAYOUT (EAST)**

SHEET  
**4**





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--- PHASE LINE

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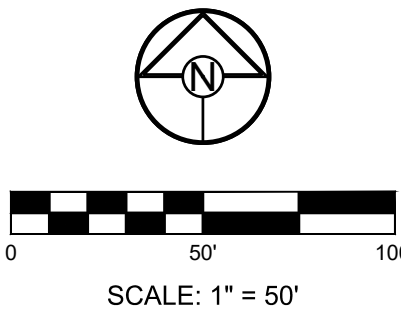


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Title: Senior Project Engineer  
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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS**

1300 SE RANSON ROAD LEE'S SUMMIT, MO

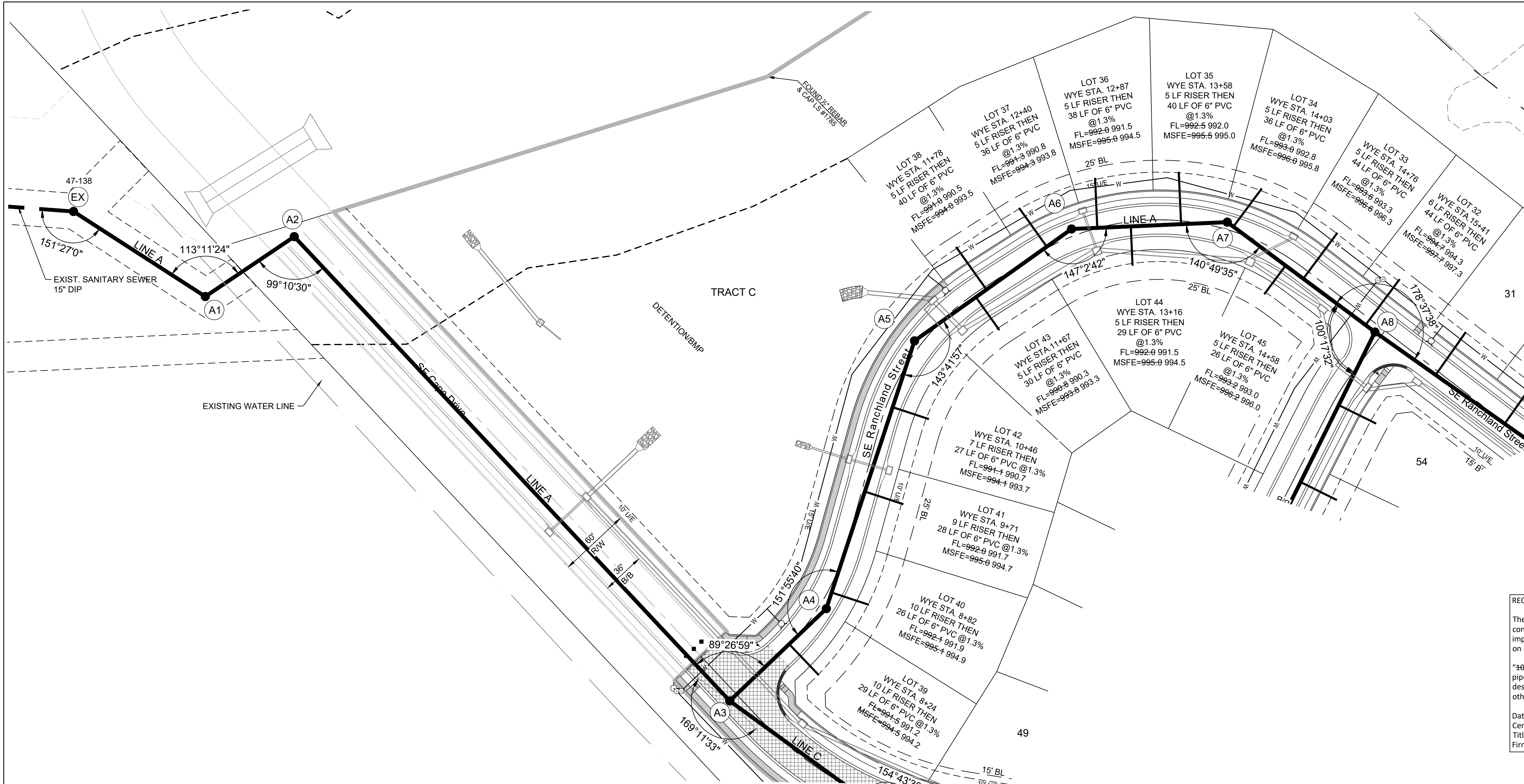
REVISION DATE	DESCRIPTION
03/11/2025	As-Built
01/24/2022	Per City Comments Dated 11/18/2021
02/23/2022	Per City Comments Dated 02/15/2022
04/20/2022	Per City Comments Dated 02/15/2022
05/24/2022	Per City Comments Dated 05/24/2022
10/27/2023	Updated City Details to 2023
11/09/2023	Added "New City Requirements" Note
01/03/2024	Removed Line L and B12-B13 per MONR and Added Details on Sheet 14
11/7/2024	Pipe Run A1-A2-A3 to get over water main
4/1/2024	21-130

SITE LAYOUT  
(NORTH)

SHEET

5





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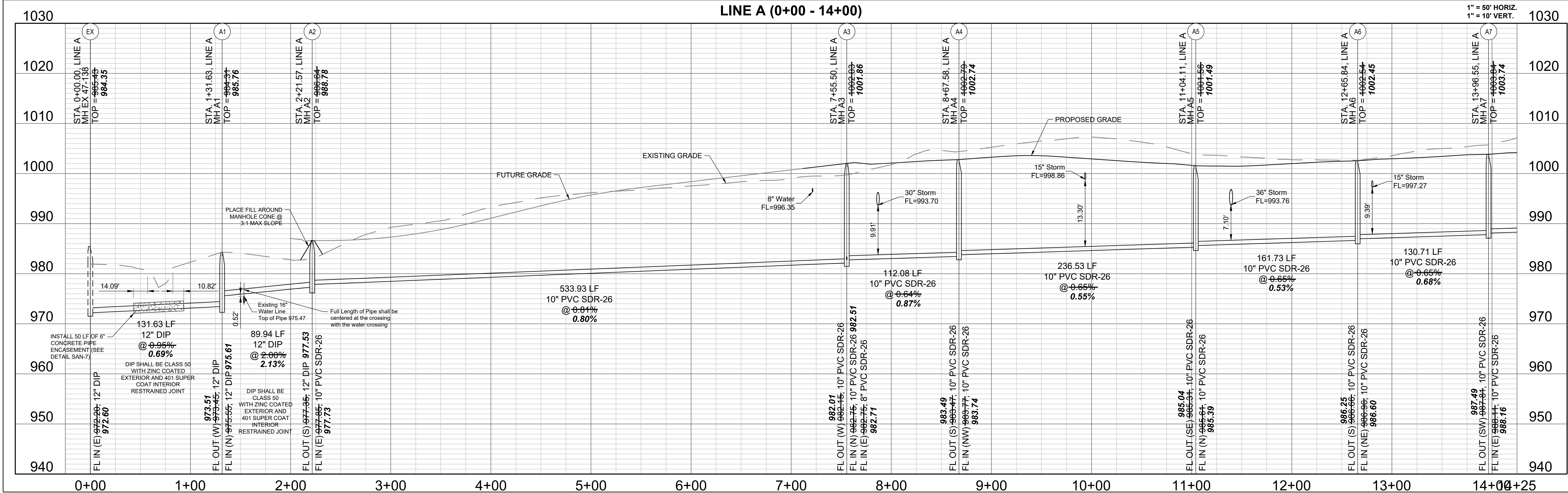
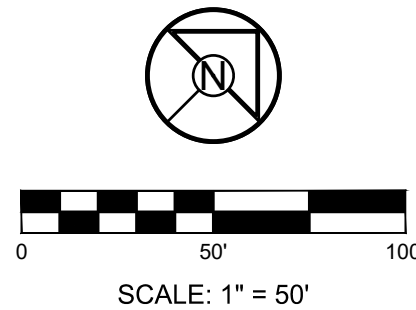


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MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS

1300 SE RANSON ROAD LEE'S SUMMIT, MO

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01/17/2024	PROJ. NUMBER: 21-130
01/20/2024	Pipe Run A1-A2-A3 to get over water main

LINE A PLAN &  
PROFILE (STA.  
0+00 - 14+00)

SHEET

6



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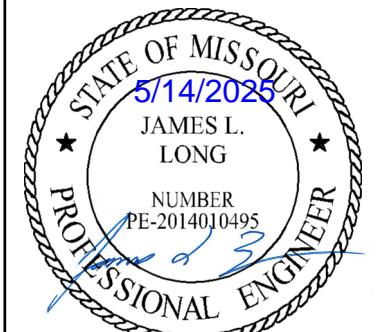
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REPAIRED BY:



SCHLAGEL &amp; ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS

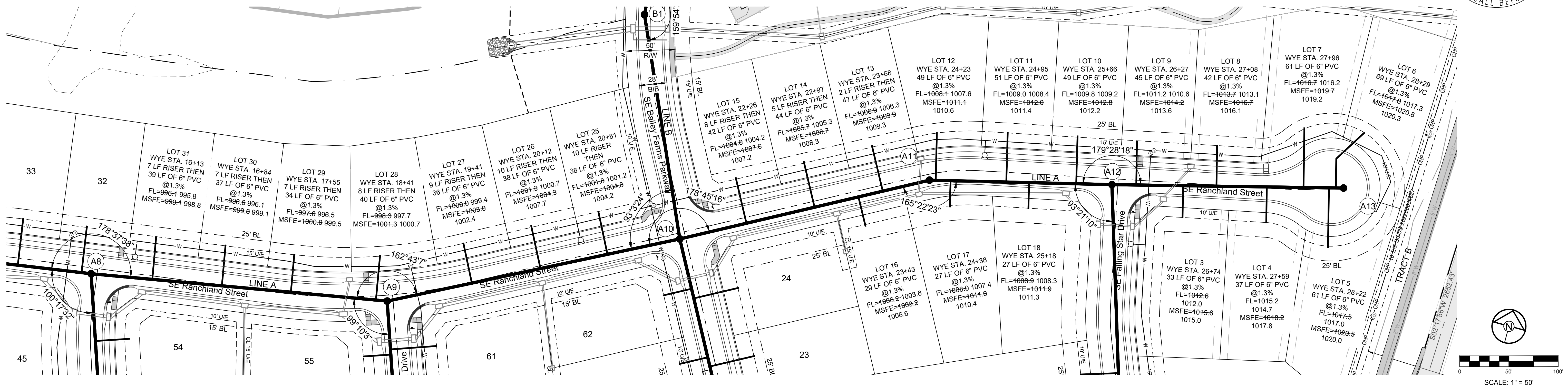
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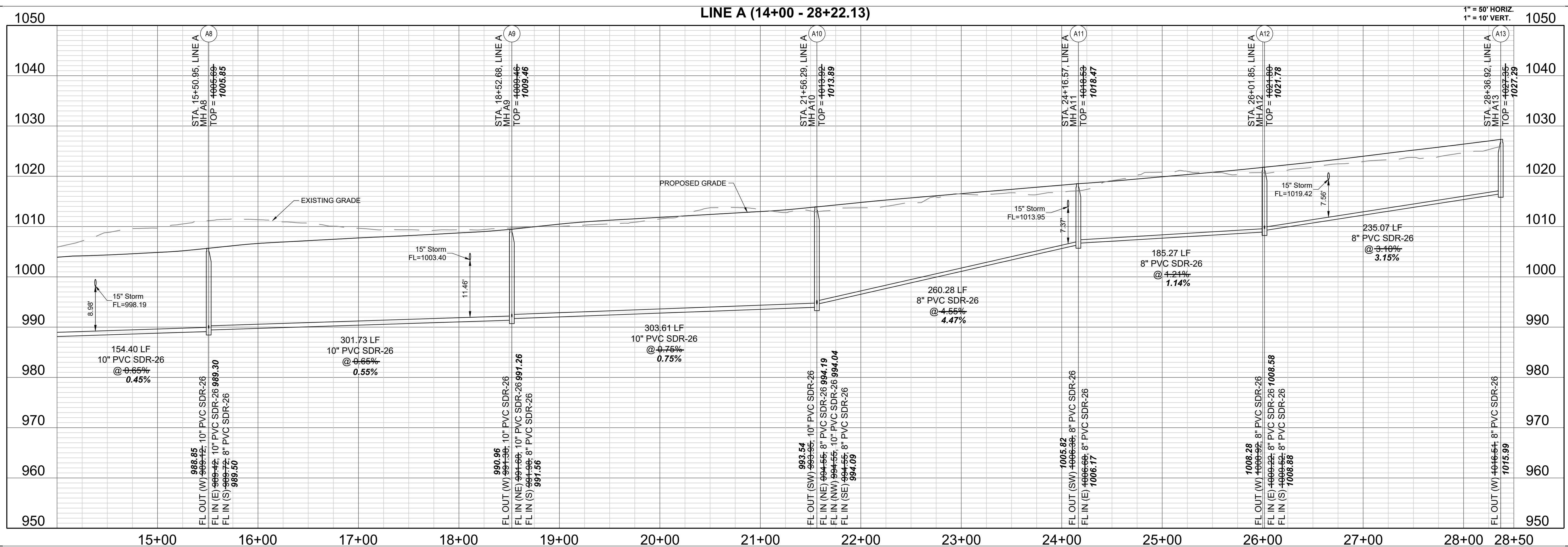
LINE A PLAN &  
PROFILE (STA.  
0+00 - 14+00) (2)

SHEET

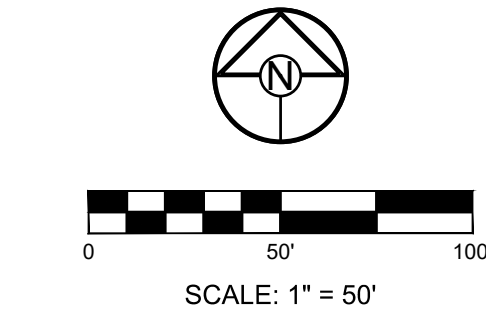
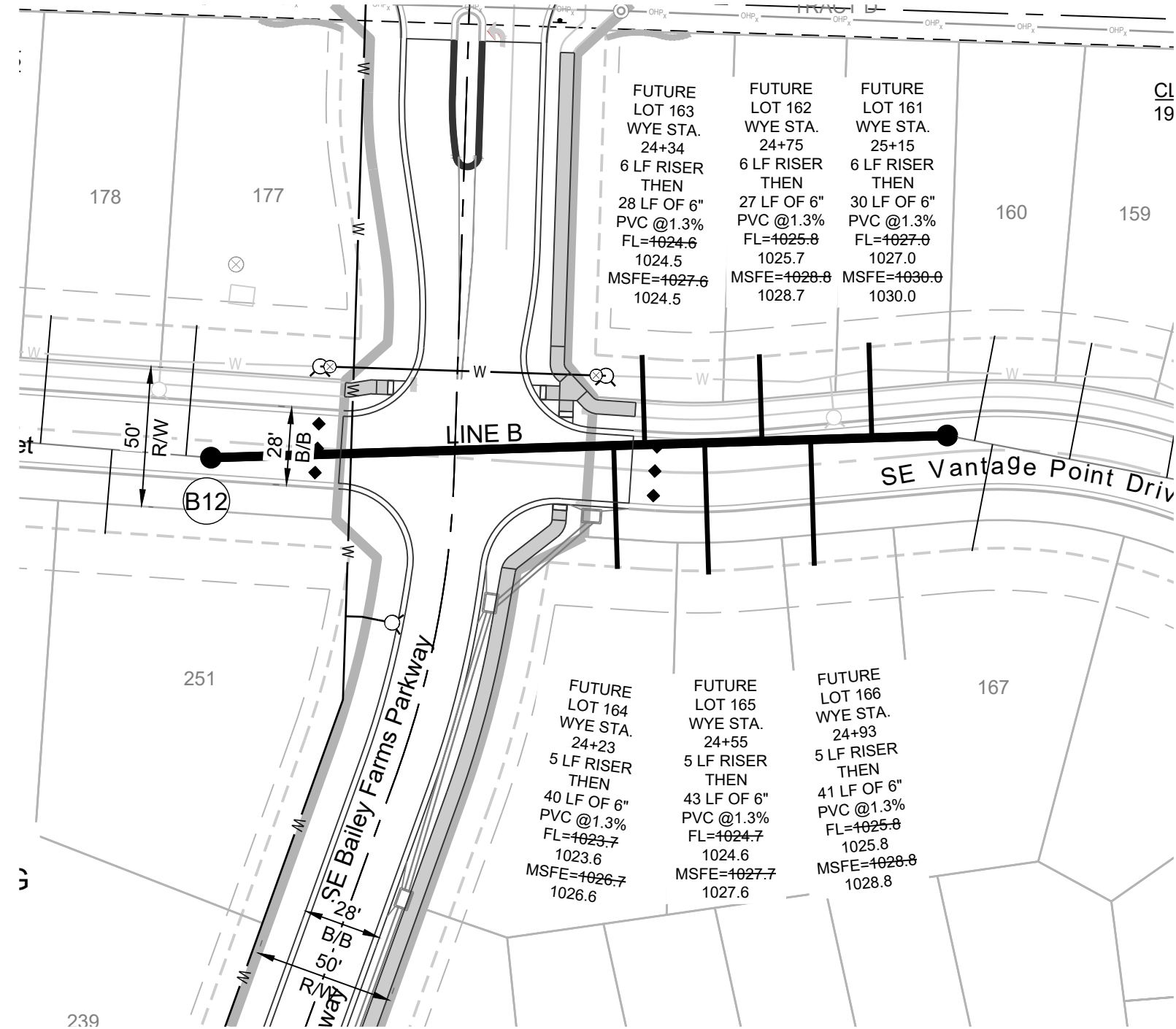
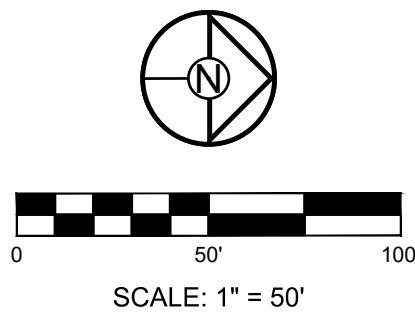
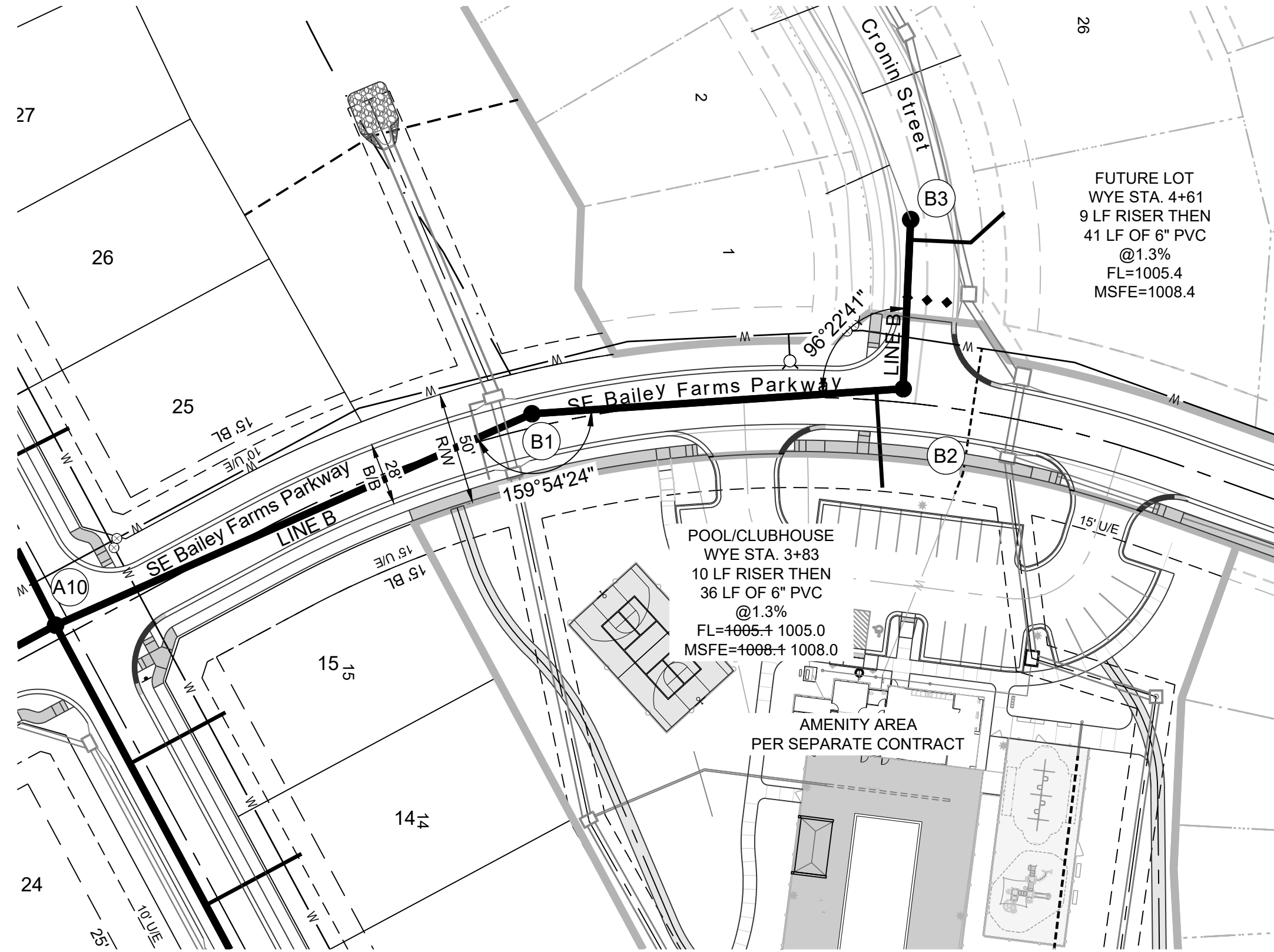
7



**LINE A (14+00 - 28+22.13)**







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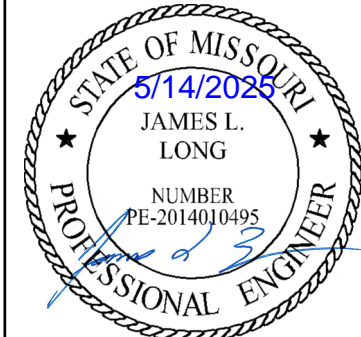
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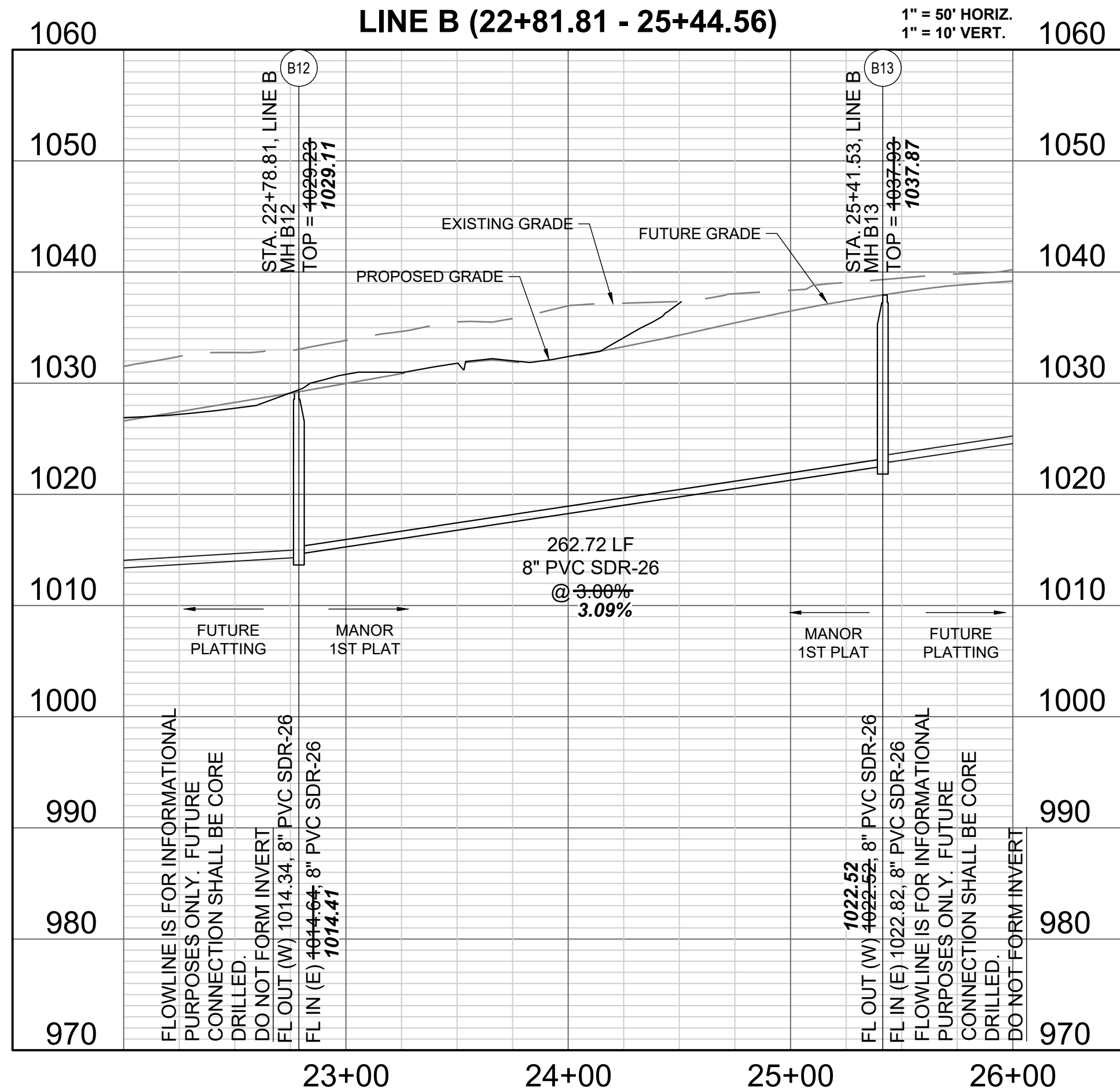
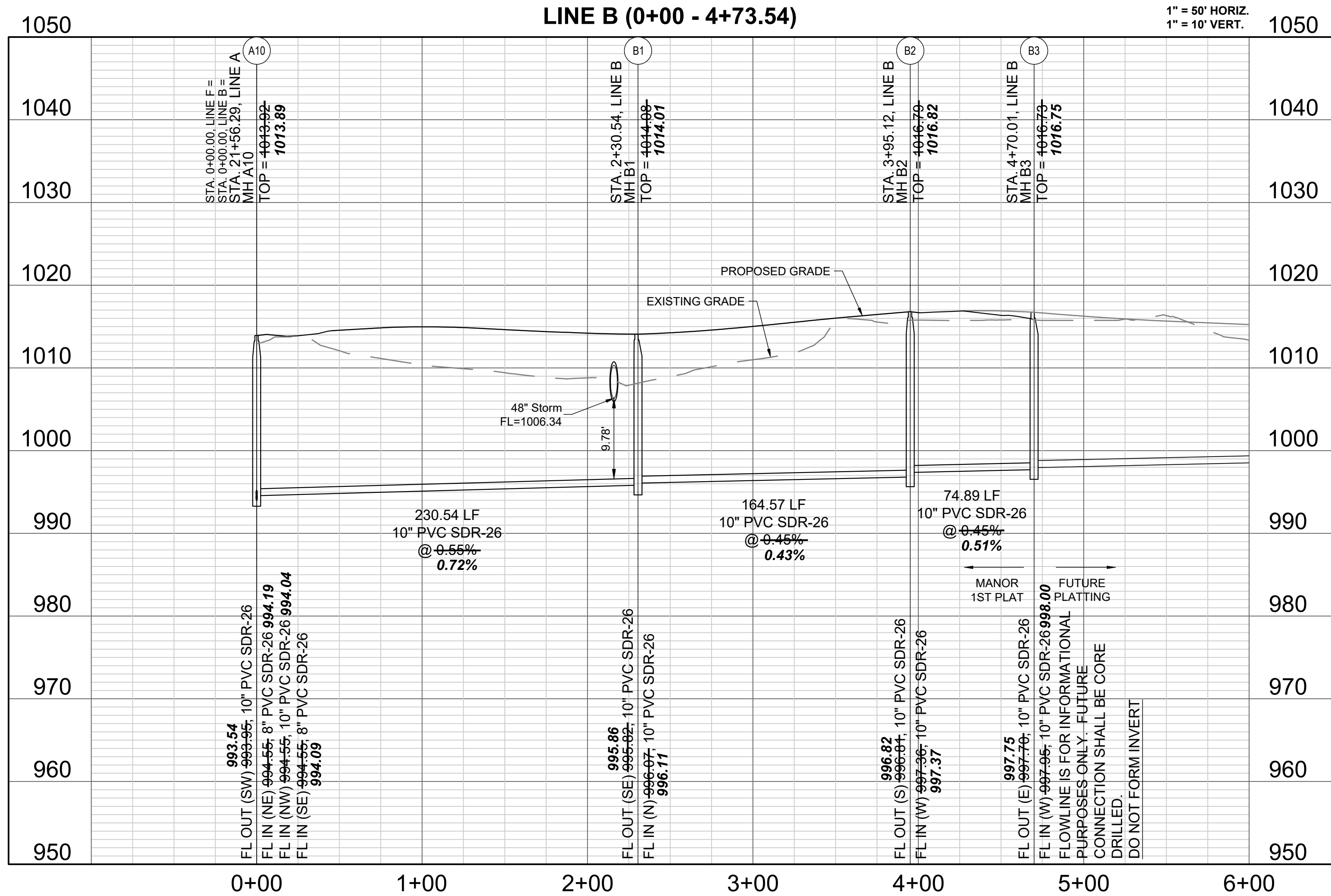


PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

## MANOR AT BAILEY FARMS, FIRST PLAT SANITARY MAIN EXTENSION PLANS 1300 SE RANSON ROAD LEE'S SUMMIT, MO



RECORD DRAWING

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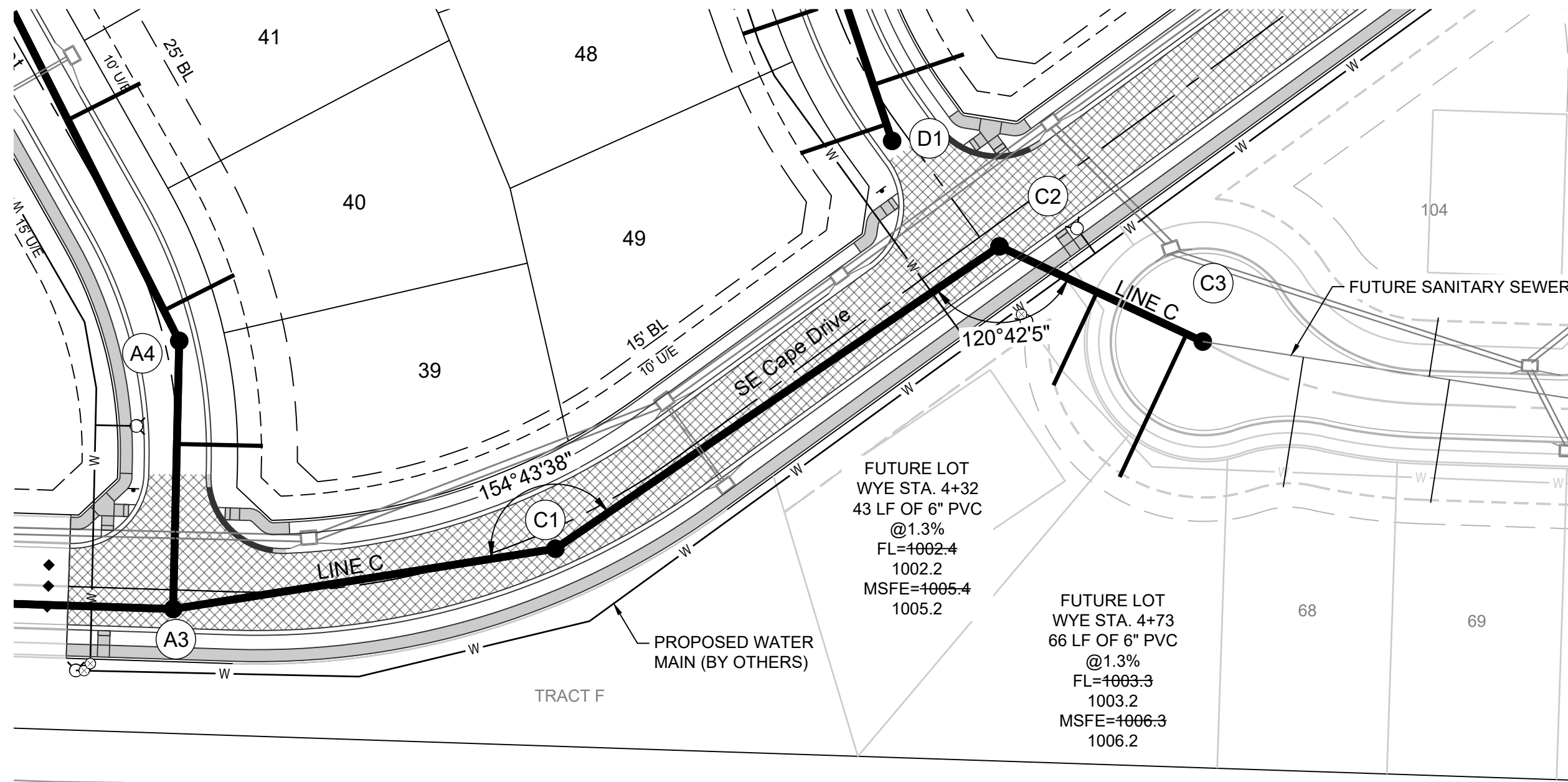
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Title: Senior Project Engineer  
Firm: Schlager and Associates, P.A.

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## LINE B PLAN & PROFILE

SHEET  
8





MISSOURI GEOGRAPHIC REFERENCE SYSTEM  
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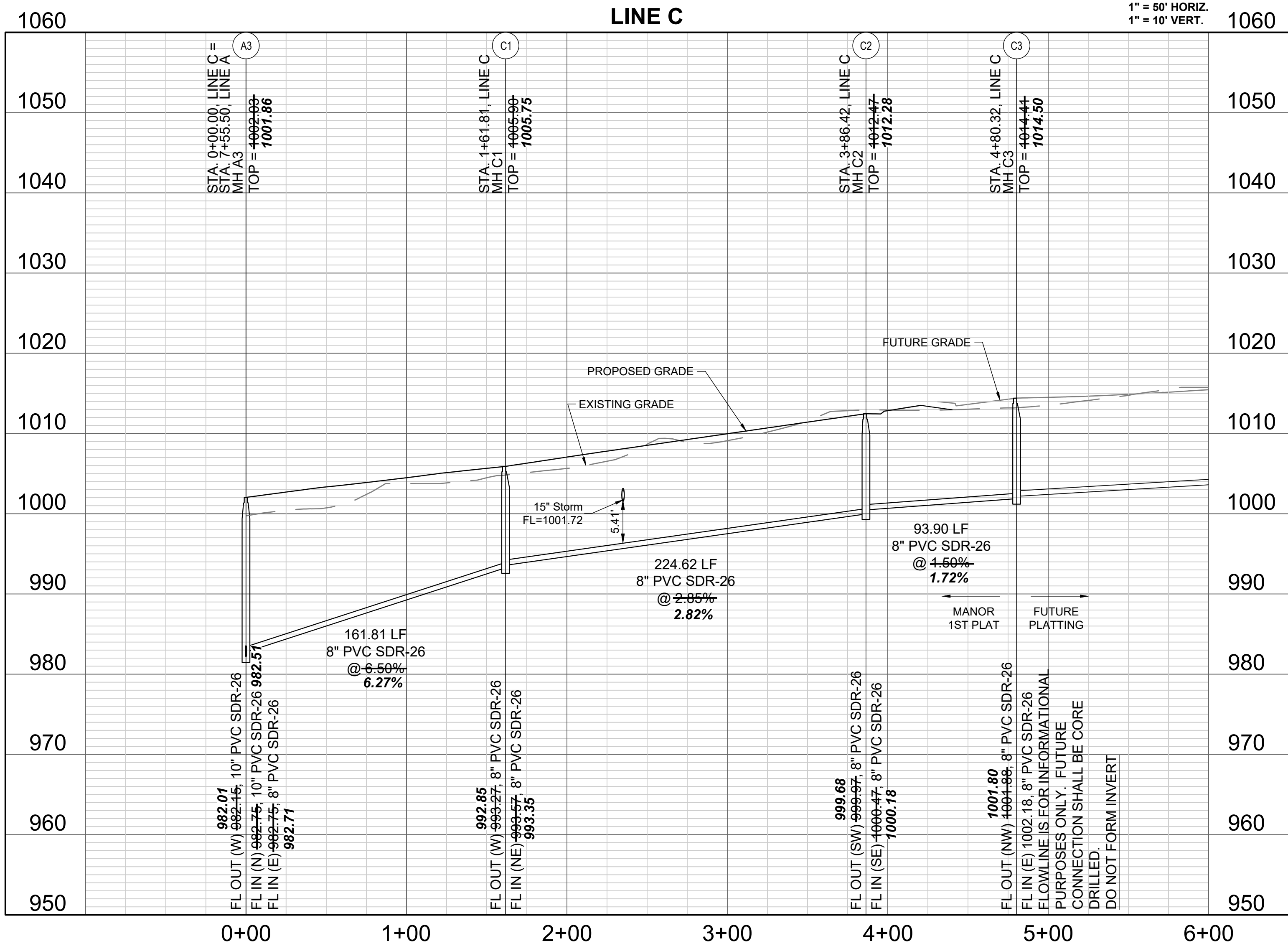
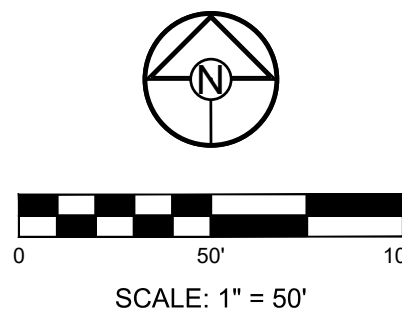
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SCHLAGEL & ASSOCIATES, P.A.



NOTE:

ALL FUTURE FLOWLINES SHOWN ARE FOR REFERENCE ONLY. FUTURE CONNECTIONS TO MANHOLES WILL BE MADE BY CORE DRILL.

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1300 SE RANSON ROAD LEE'S SUMMIT, MO

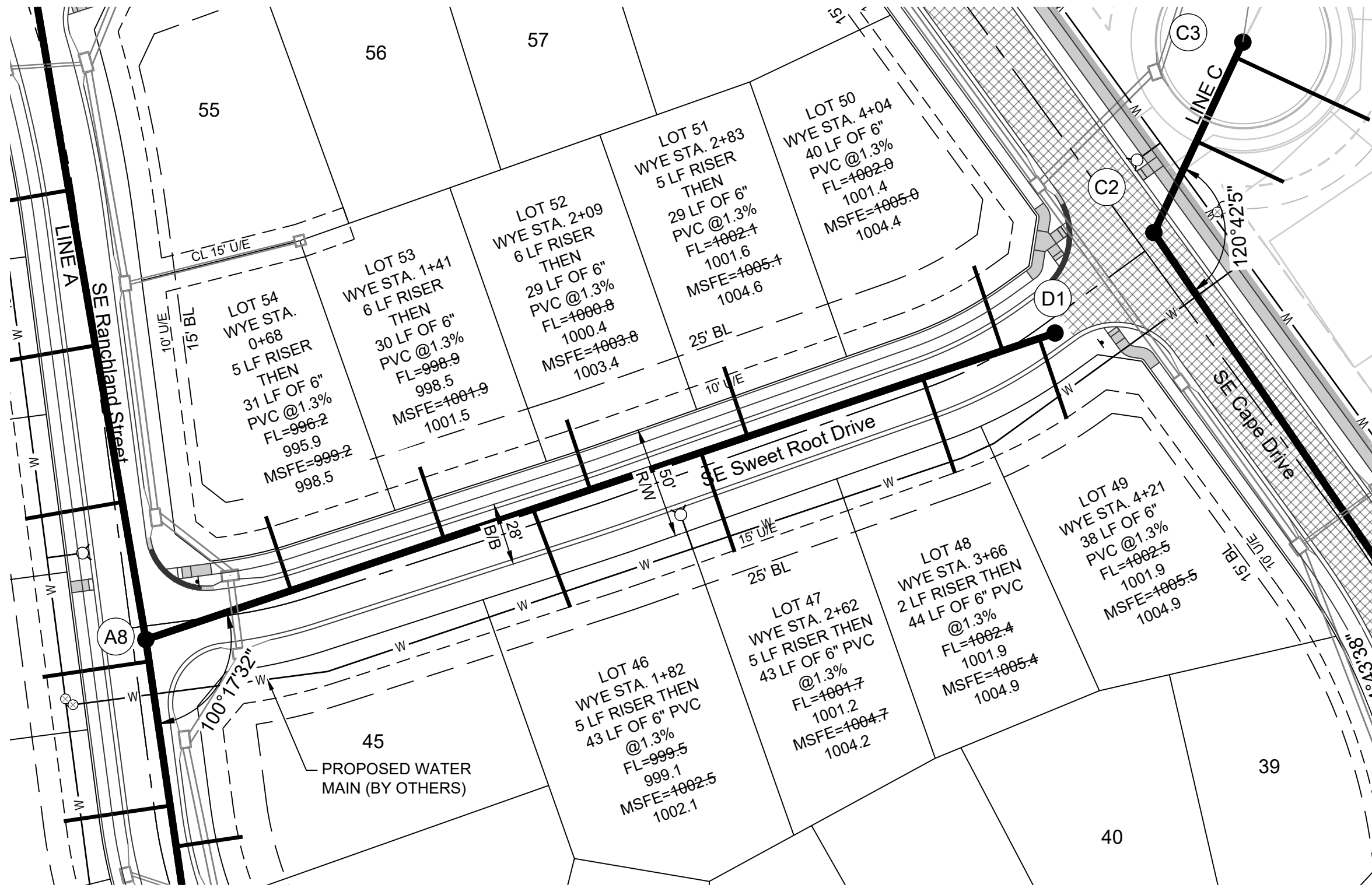
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LINE C PLAN &  
PROFILE

SHEET

9





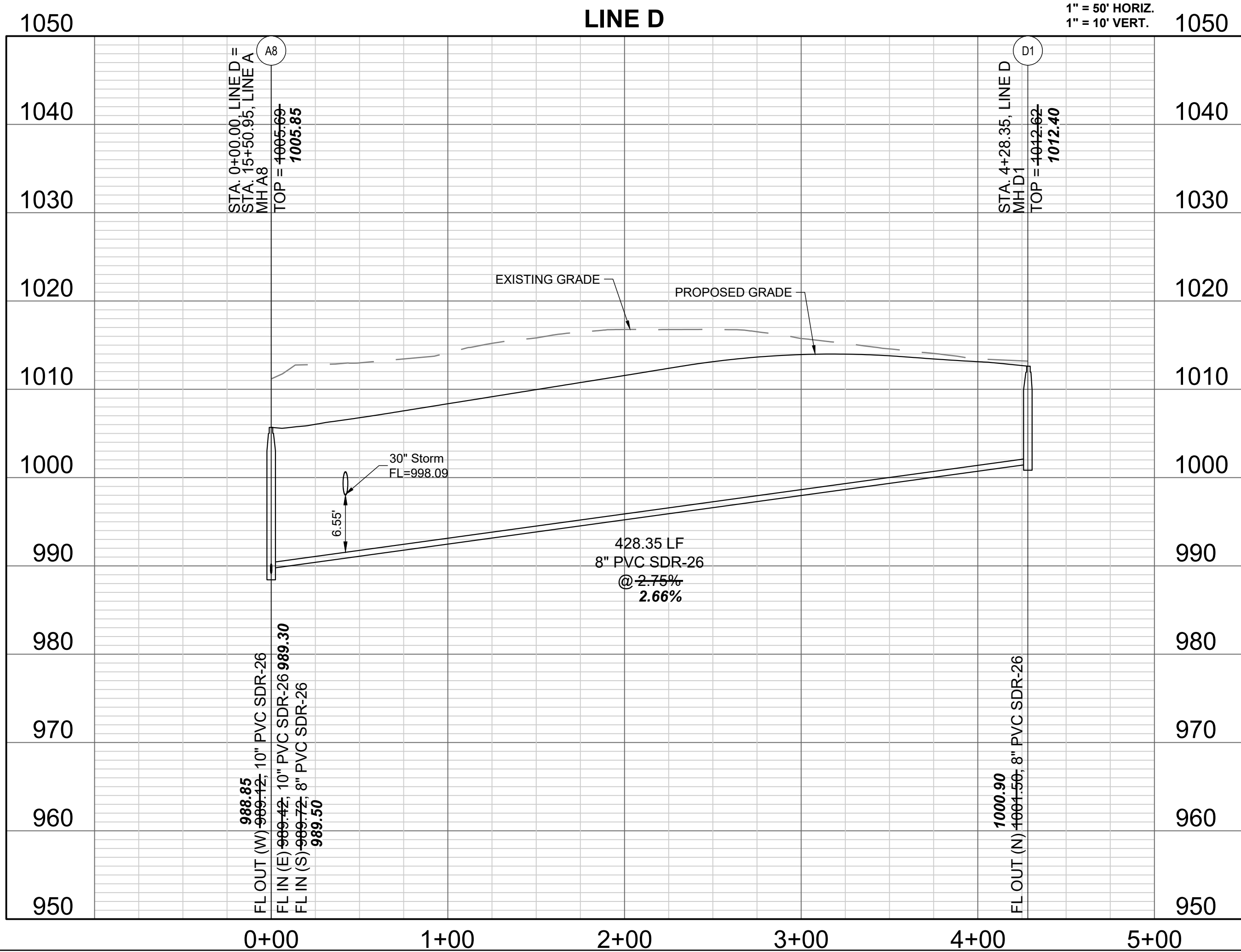
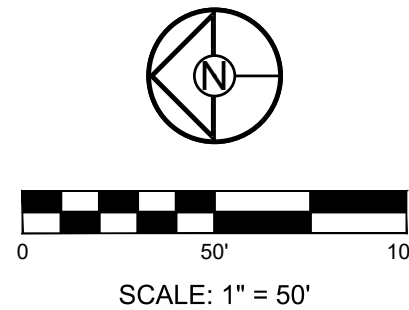
MISSOURI GEOGRAPHIC REFERENCE SYSTEM  
BENCHMARK:

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

GENERAL NOTES:

- ALL WYES ARE STATIONED USING MAIN LINE STATIONS.
- M.S.F.E DENOTES MINIMUM SEWERABLE FLOOR ELEVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATIONS.
- ALL SERVICE LINES ARE TO BE 90° TO THE MAIN UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER UNLESS OTHERWISE NOTED:



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Date: 05/14/2025  
Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlager and Associates, P.A.

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ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

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Missouri State Certificates of Authority  
#E2002003600-F #LAC2001006237 #LS2002008695-F

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT

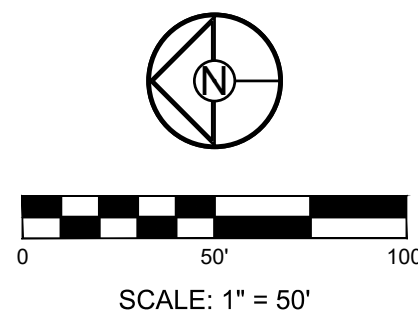
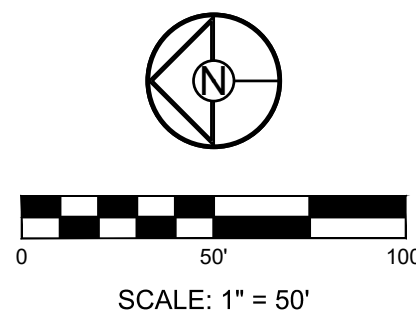
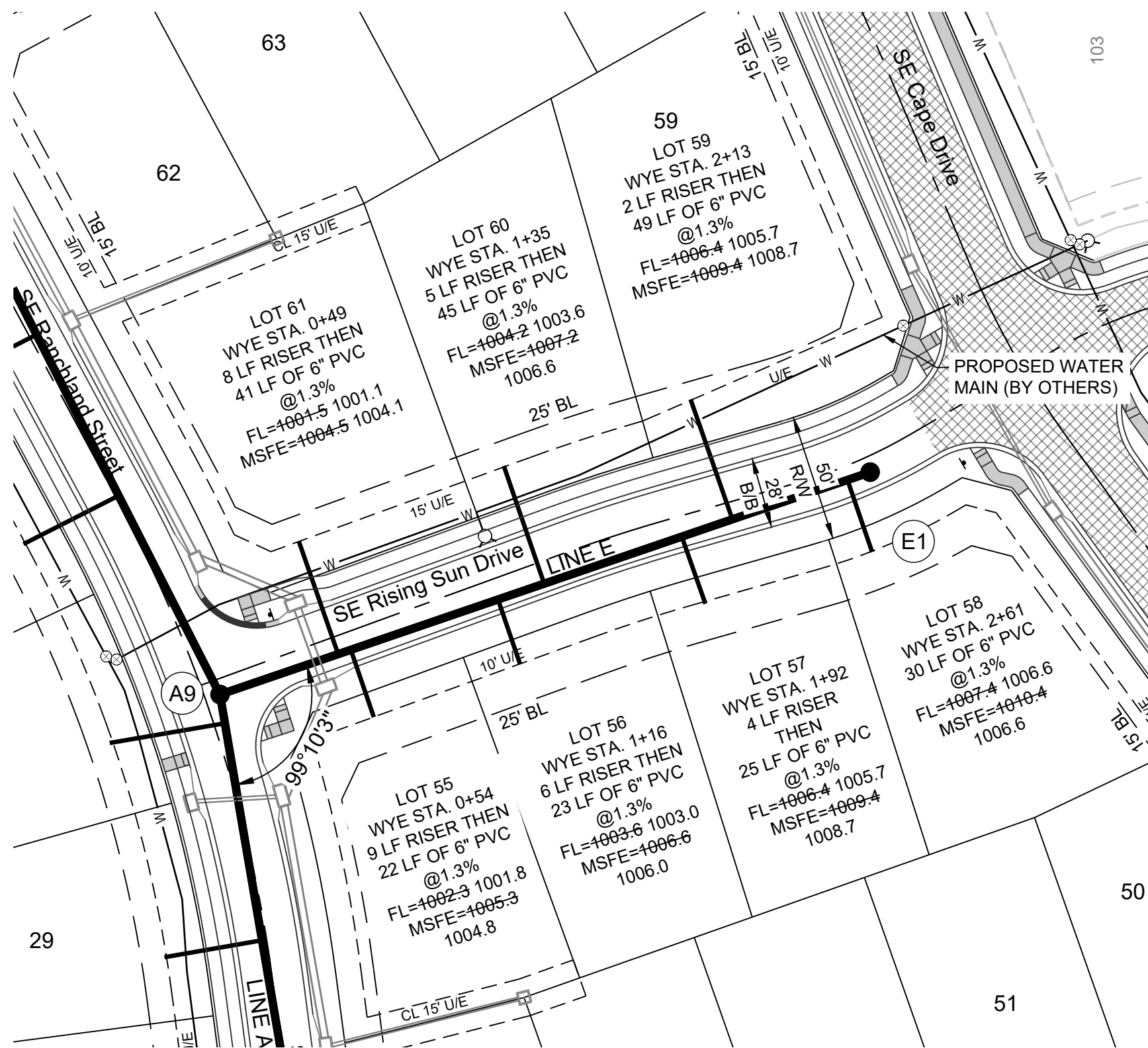
SANITARY MAIN EXTENSION PLANS

1300 SE RANSON ROAD LEE'S SUMMIT, MO

REVISION	DATE	DESCRIPTION
1	05/13/2025	As-Built
2	01/24/2022	Per City Comments Dated 11/18/2021
3	02/23/2022	Per City Comments Dated 02/15/2022
4	04/20/2022	Per City Comments Dated 02/15/2022
5	05/24/2022	Per City Comments Dated 05/24/2022
6	10/27/2023	Updated City Details to 2023
7	11/30/2023	Added "New City Requirements" Note
8	01/03/2022	Removed Line L and B12-B13 per MONR
9	11/7/2024	and Added Details on Sheet 14
10	4/1/2024	Pipe Run A1-A2-A3 to get over water main

LINE D PLAN & PROFILE





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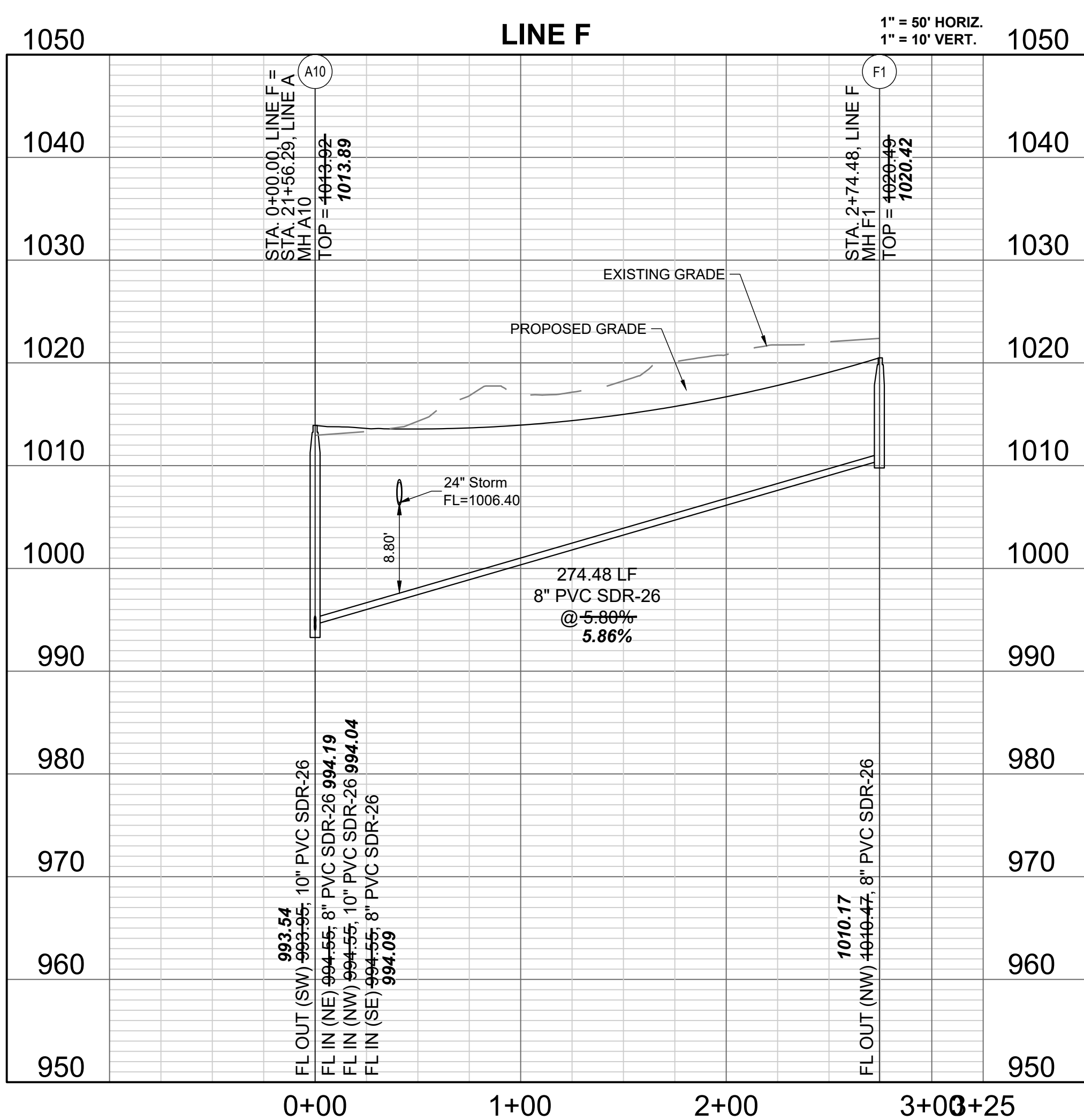
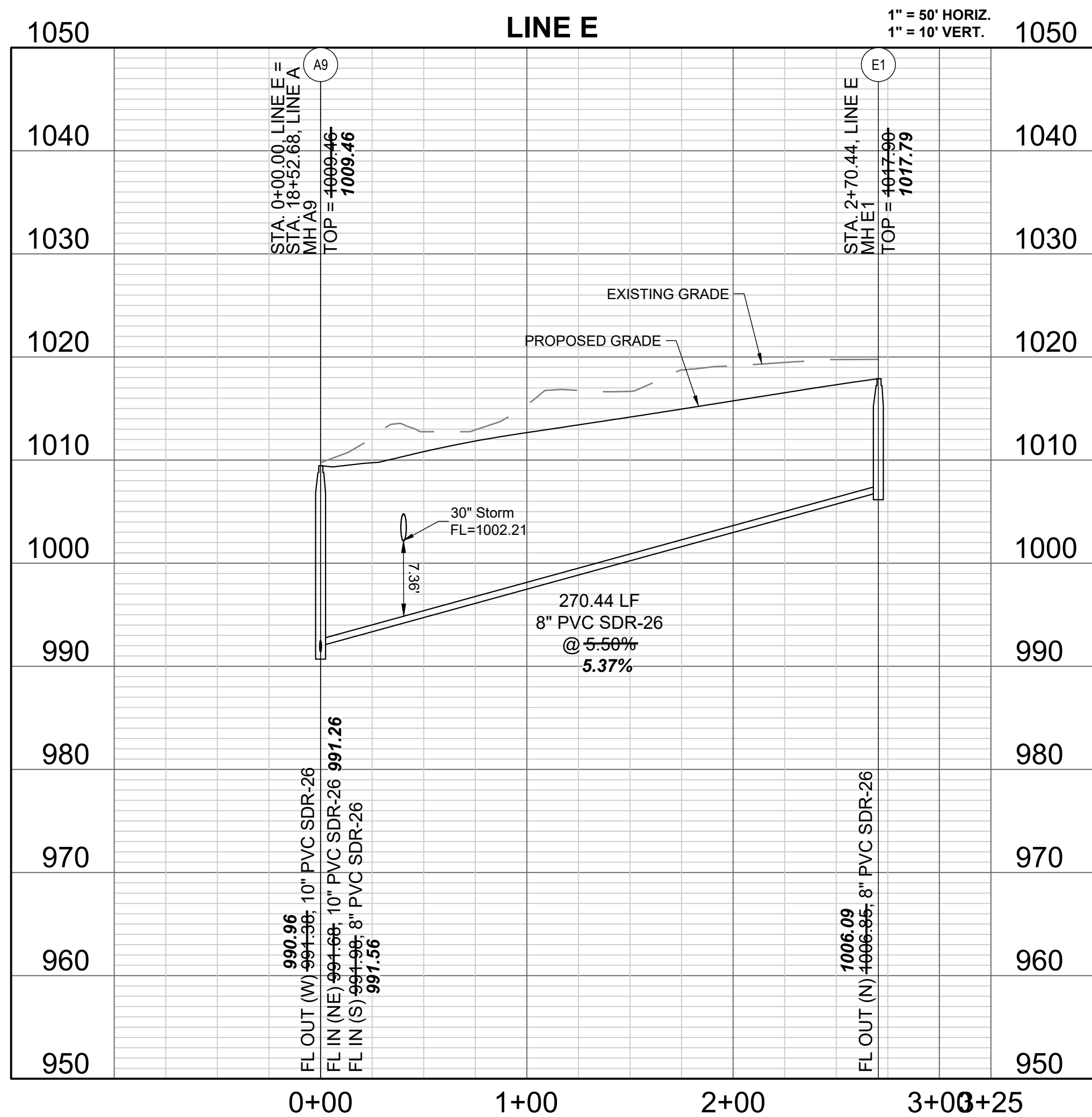
PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS

1300 SE RANSON ROAD LEE'S SUMMIT, MO



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As-Built  
05/13/2025

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05/24/2022	Per City Comments Dated 05/24/2022
10/27/2023	Updated City Details to 2023
11/30/2023	Added "New City Requirements" Note
01/03/2024	Removed Line L and B12-B13 per MONR
11/7/2024	and Added Details on Sheet 14
4/1/2024	Pipe Run A1-A2-A3 to get over water main

LINE E & F PLAN  
& PROFILE

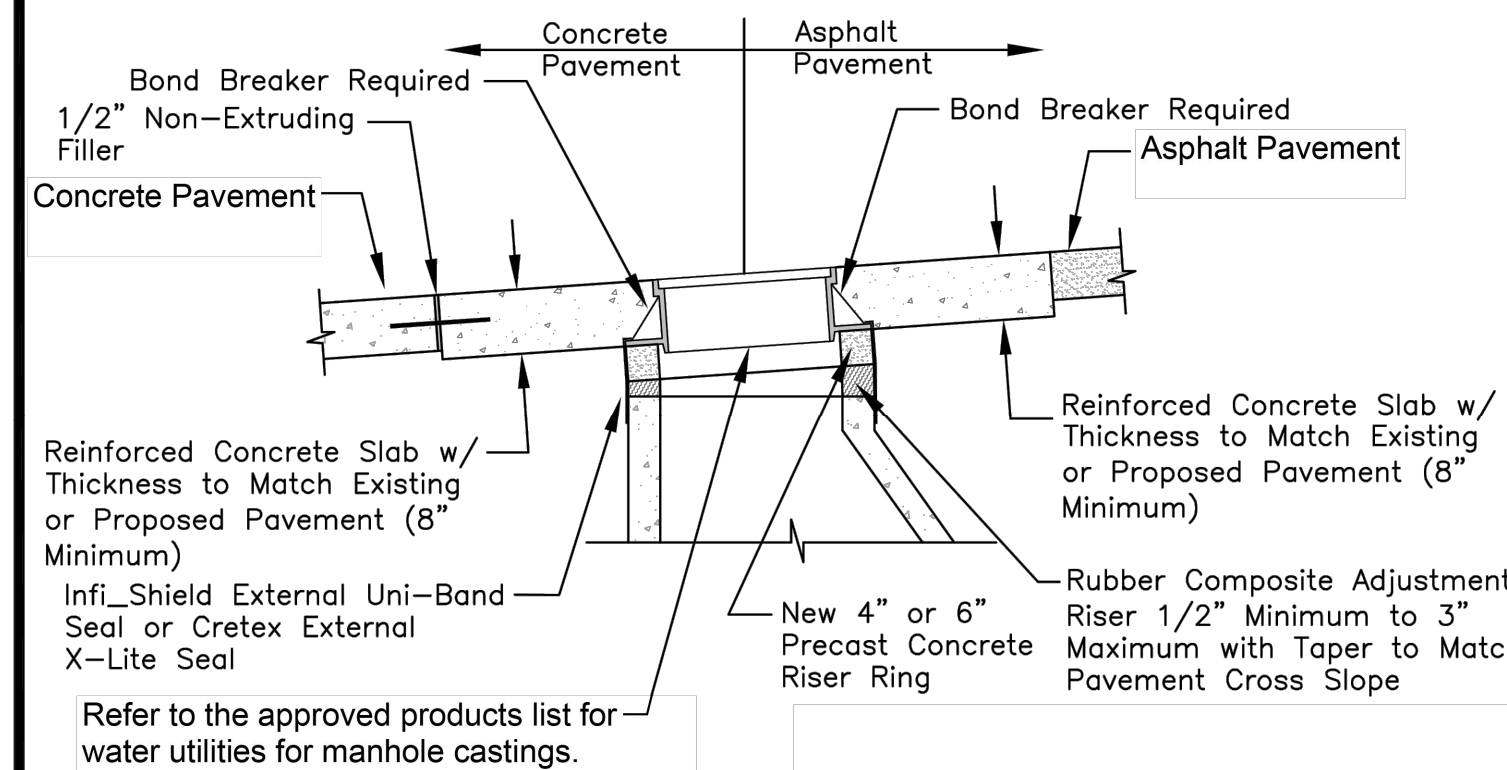
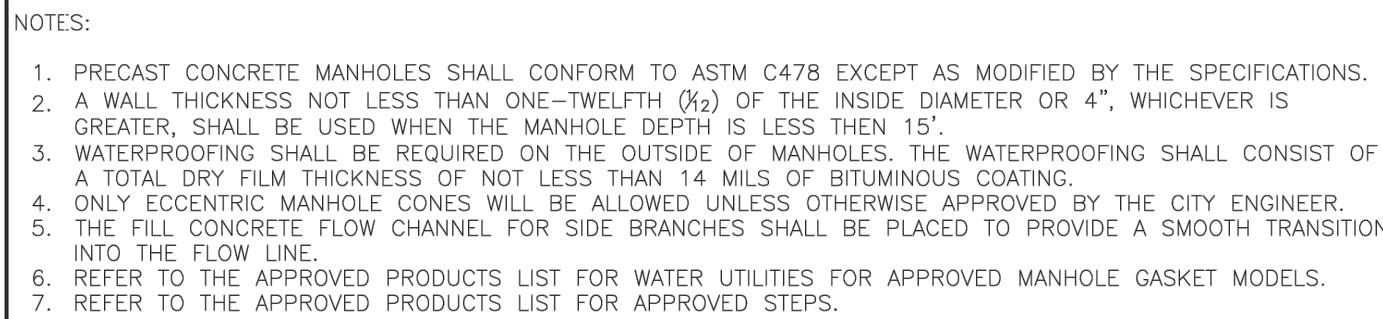
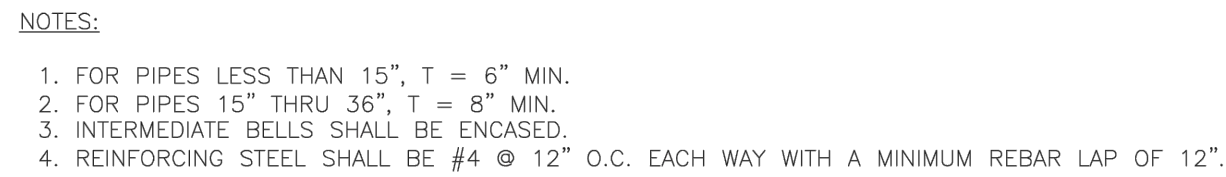
SHEET

11









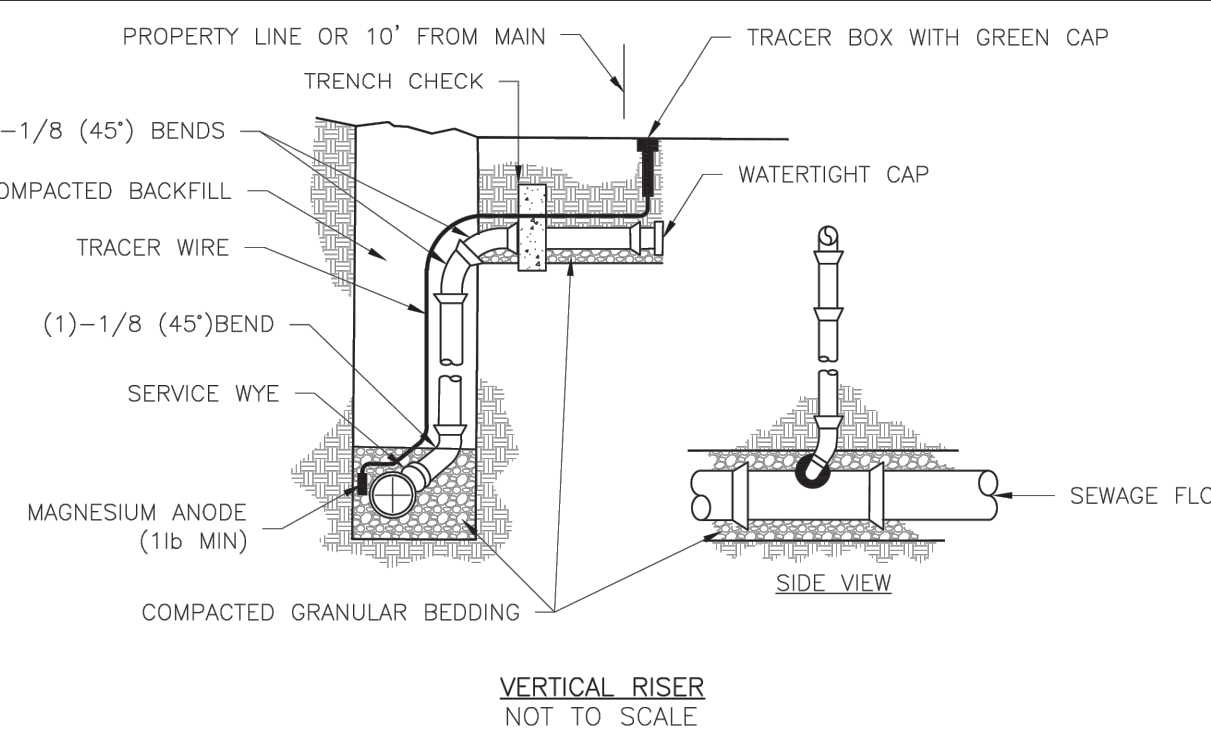
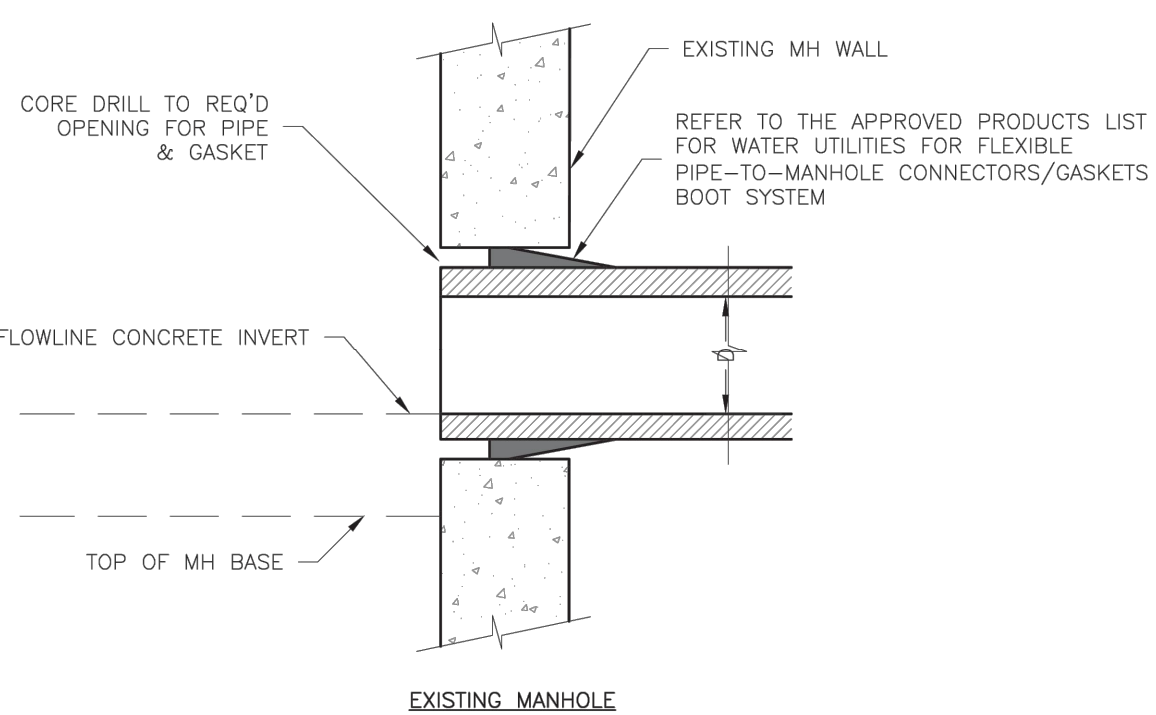
PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS		
PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
	12" - 48"	48"
	54" - 60"	60"

\* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.



- NOTES:
1. ALL SEWER STUBS SHALL BE CONSTRUCTED TO PROPERTY LINE OR 10' MINIMUM FROM THE MAIN, WHICHEVER IS GREATER, WHERE SIDEWALKS ARE PRESENT, CONTRACTOR SHALL EXTEND SERVICE LINE UNDER EXISTING SIDEWALK TO TWO FEET BEYOND.
  2. IMPERVIOUS TRENCH CHECKS SHALL BE PLACED ON BUILDING SEWER STUBS (AT LEAST 5' AWAY FROM THE SANITARY SEWER MAIN).
  3. TRENCH CHECKS ON THE BUILDING SEWER STUBS SHALL EXTEND 6" BELOW THE BOTTOM OF THE PIPE. LENGTH SHALL BE A MINIMUM OF 12". THE HEIGHT OF THE TRENCH CHECK SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE. THE WIDTH OF THE TRENCH CHECK SHALL BE THE WIDTH OF THE TRENCH.
  4. SEE SPECIFICATION SECTION 2100 FOR SEWER MAIN BEDDING AND BACKFILL.
  5. #12 GREEN GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED. TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE TRACER SERVICE AND AS DETERMINED BY THE ENGINEER.
  6. FOR SERVICES, TRACER MAIN SHALL RUN FROM THE WYE OF THE TRACER MOUNTED TRACER BOX WITH A GREEN CAST IRON LOCKABLE TOP. WIRE SHALL BE TAPED OR TIED TO THE PIPE AT 5' INTERVALS.
  7. TRACER WIRE BOX SHALL BE INSTALLED WITHIN 1.0' OF PROPERTY LINE.
  8. THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. SPICES IN THE TRACER WIRE SHALL BE MADE WITH SPIG-BOLT CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER-PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.

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PREPARED BY:



SCHLAGEL &amp; ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
SANITARY MAIN EXTENSION PLANS

1300 SE RANSON ROAD LEE'S SUMMIT, MO

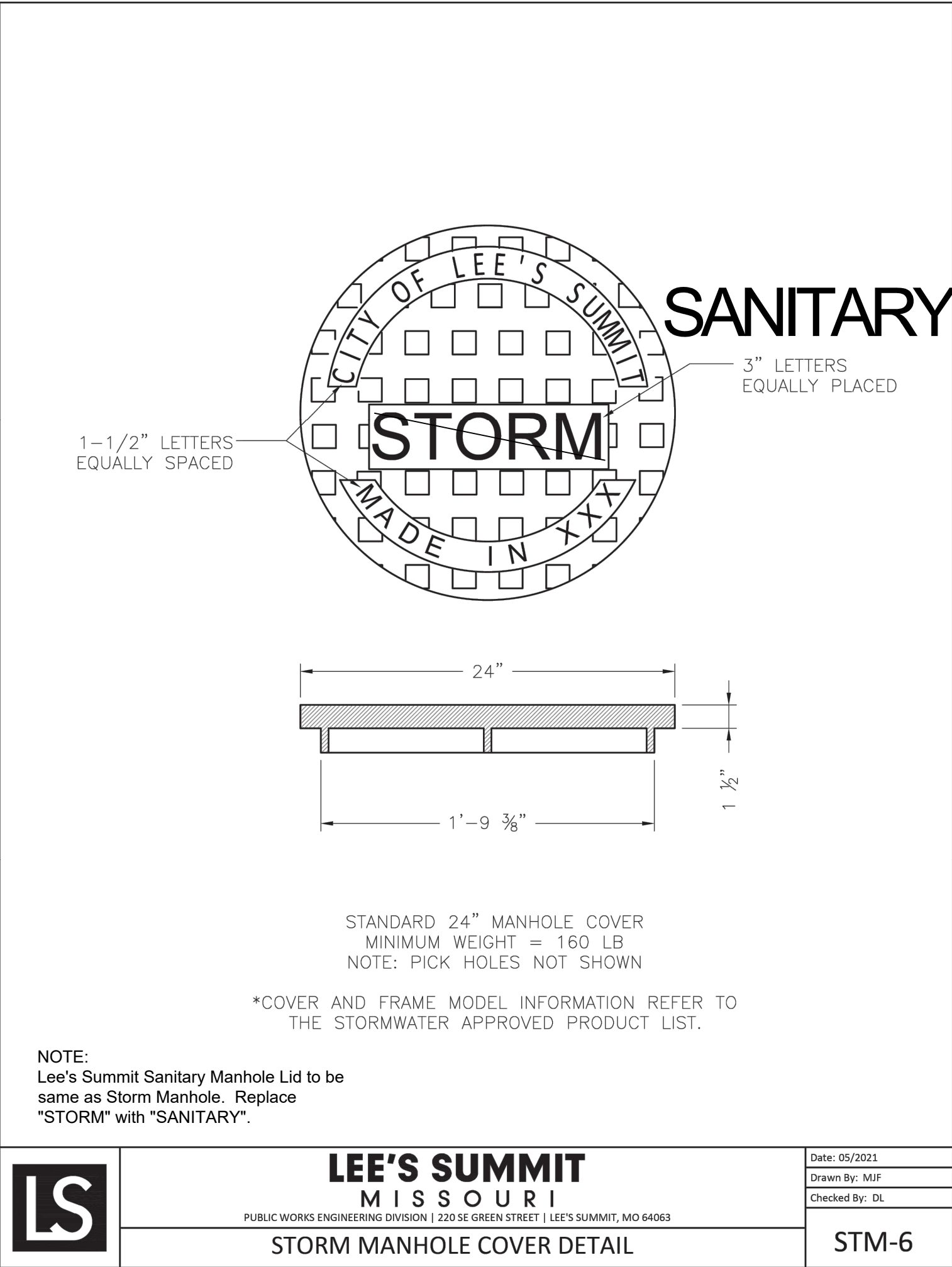
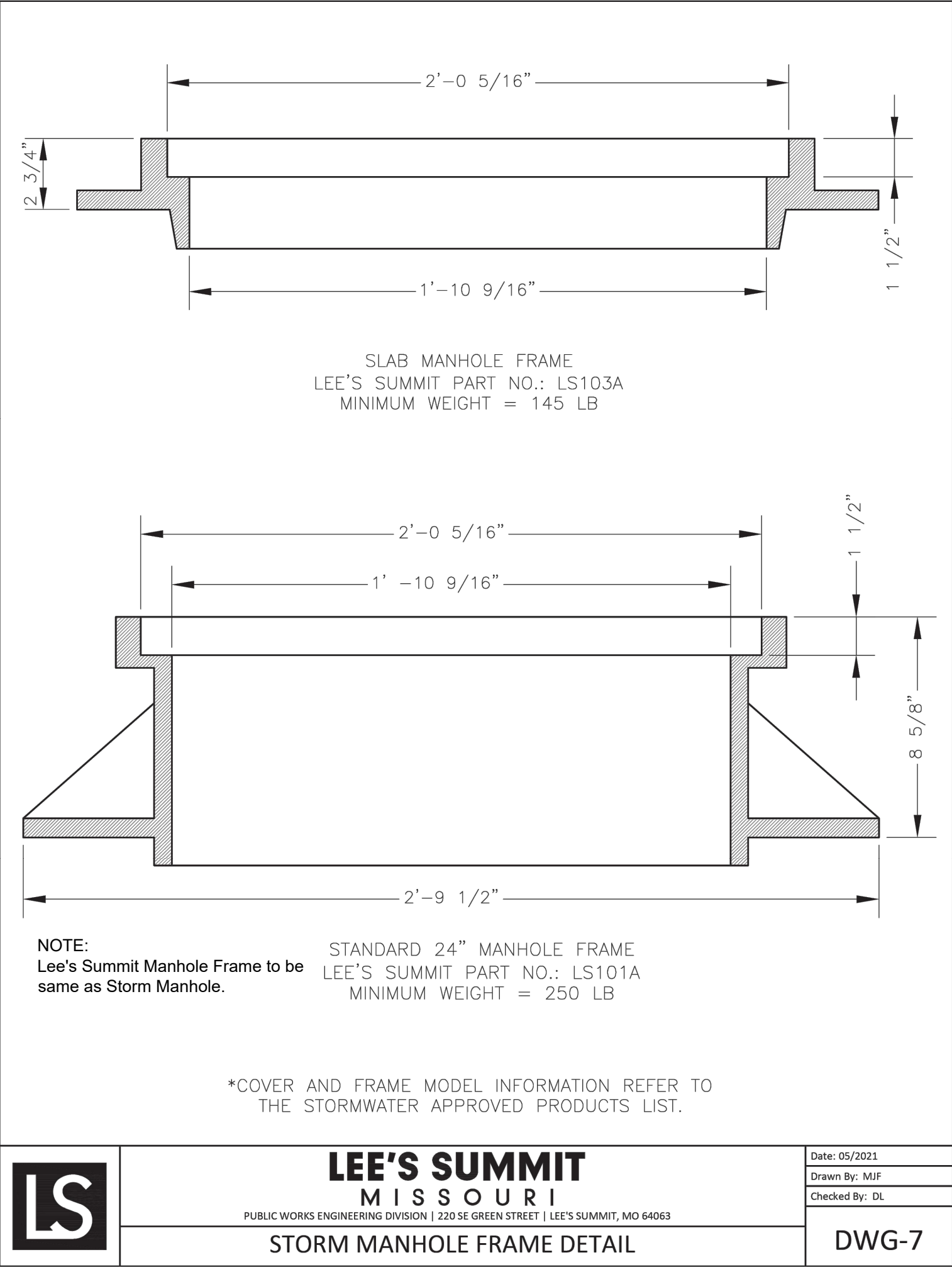
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4. 05/24/2022	Per City Comments Dated 05/04/2022
5. 10/27/2023	Updated City Details to 1054/2023
6. 11/30/2023	Added "New City Requirements" Note
7. 11/7/2024	Removed Line L and B12-B13 per MDR
8. 11/27/2024	Added Details on Sheet 14
9. 11/27/2024	Disc B per 4.1-2.4.3 to read over water main

SANITARY  
DETAILS

SHEET

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RECORD DRAWING

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PREPARED BY:

STATE OF MISSOURI

5/14/2025

JAMES L. LONG

NUMBER PE-2014010095

PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.

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8	1/17/2024	and Added Details on Sheet 14
9	4/1/2024	Pipe Run A1-A2-A3 to get over water main

DRAWN BY: NCA

CHECKED BY: JLL

DATE PREPARED: 01/03/2022

PROJ. NUMBER: 21-130

SANITARY DETAILS

SHEET 14