

FDP FOR COBEY CREEK COMMUNITY CENTER

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SEC. 29, TWP. 47N, RNG. 31W

DATE: 02/27/2025

TOTAL LOTS: 1

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8455 College Boulevard
Overland Park, KS 66210
816.777.0400
weareown.com

FORMERLY ANDERSON ENGINEERING

CLAYTON
PROPERTIES GROUP

COBEY CREEK -
COMMUNITY CENTER

S29, T47N, R31W
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

REVISIONS

| NO. | DESCRIPTION | DATE |
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| 1 | REVISED PER CITY COMMENTS | 04/22/2025 |
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DRAWING INFORMATION

PROJECT NO: 21KC10060

DRAWN BY: MF

CHECK BY: JB

ISSUED FOR: OWNER REVIEW

ISSUED DATE: 02/27/2025



ISSUED BY: JEFFREY BARTZ

LICENSE NO: PE - 201202594

A licensed Missouri
Engineering Corporation
COA 00062

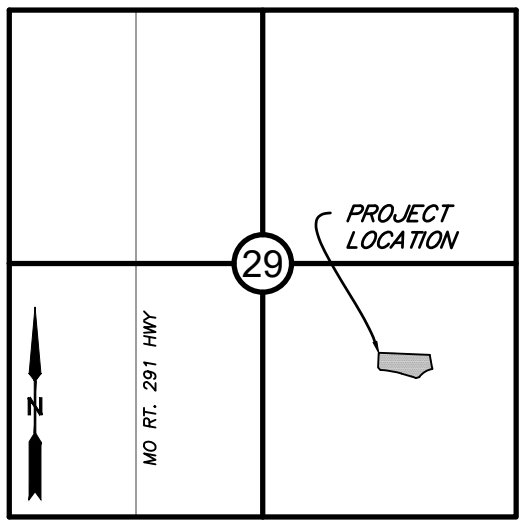
SHEET TITLE

COVER
SHEET

SHEET NUMBER

CVR

1 OF 17



VICINITY MAP

SECTION 29, TOWNSHIP 47, RANGE 31
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
NOT TO SCALE

LEGAL DESCRIPTION:

TRACT M, COBEY CREEK - 2ND PLAT. LOCATED
IN THE SOUTHEAST QUARTER OF SECTION 29,
TOWNSHIP 49 NORTH, RANGE 31 WEST, IN THE
CITY OF LEE'S SUMMIT, JACKSON COUNTY,
MISSOURI, REFER TO FINAL PLAT FOR FULL LEGAL
DESCRIPTION.

OIL AND GAS WELL NOTES:

NO ABANDONED OIL OR GAS WELLS HAVE BEEN
IDENTIFIED WITHIN THE PROPERTY LIMITS OF THE
PROPOSED CONSTRUCTION ACTIVITIES, PER THE
MISSOURI DEPARTMENT OF NATURAL RESOURCES
(MDNR) PERMITTED OIL AND GAS DATABASE, DATED
JUNE 2, 2020.



Know what's below.
Call before you dig.



UTILITY CONTACTS:

SANITARY & WATER:

CITY OF LEE'S SUMMIT
JEFF THORN
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
PHONE (816) 969-1900

STORMWATER:

CITY OF LEE'S SUMMIT
PUBLIC WORKS
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
PHONE (816) 969-1800

STREETS:

CITY OF LEE'S SUMMIT
MICHAEL PARK
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
PHONE (816) 969-1900

AT&T:

RONALD GIPFERT
500 E 8TH STREET
KANSAS CITY, MO 64106
PHONE (816) 275-1550

EVERGY:

DOUG DAVIN
1300 SE HAMLEN ROAD
LEE'S SUMMIT, MO 64081
PHONE (816) 347-4320

MISSOURI GAS ENERGY:

RICHARD FROCK
3025 SW CLOVER DRIVE
LEE'S SUMMIT, MO 64082
PHONE (816) 472-3489

FEMA FLOOD INFORMATION:

THE SUBJECT PROPERTY LIES IN ZONE X, OTHER FLOOD
AREAS, AREAS DETERMINED TO BE OUTSIDE THE 0.2%
CHANCE ANNUAL FLOODPLAIN, AS SHOWN ON FLOOD
INSURANCE RATE MAP 29095C0551G EFFECTIVE JANUARY
20, 2017.

BENCHMARK:

PROJECT BENCHMARK T 201
ALUMINUM CAP IN TOP OF CONCRETE BASE OF FIRST
PILLAR OF HWY 150 AND MISSOURI PACIFIC RAILROAD.
ELEV=917.39



WATERSHED: BIG CREEK

DISTURBED AREA: 2.52 AC

SURVEY CONTROL:

CP #100
CHISELED "+" ON CURB INLET
CURB INLET AT THE SOUTHWEST
CORNER OF SE GILLETTE ROAD
AND SE COBEY CREEK DRIVE
N: 978174.32
E: 2827539.80
EL: 1005.17

CP #9039
BAR AND CAP STAMPED
2006016633 CENTERLINE OF SE
COBEY CREEK DRIVE AT THE
DEAD END
N: 979305.16
E: 2827174.35
EL: 1002.42

CP #40001
ALUMINUM CAP STAMPED KS
1069 MO 2134 NORTHEAST
CORNER OF THE PROJECT
N: 980459.77
E: 2828336.04
EL: 967.82

GENERAL NOTES:

- CONTRACTOR SHALL SATISFY
THEMSELVES AS TO THE EXISTING
CONDITIONS OF THE SITE AND
HAVE ALL UTILITIES MARKED PRIOR
TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL POTHOLE ALL
CONNECTION POINTS TO EXISTING
UTILITIES AND POTENTIAL UTILITY
CONFLICT LOCATIONS PRIOR TO
ANY CONSTRUCTION ACTIVITIES.
NOTIFY ENGINEER IMMEDIATELY IF
CONFLICT OR DISCREPANCY EXISTS.
- CONTRACTOR SHALL PROTECT
EXISTING STRUCTURES TO REMAIN
FROM DAMAGE DURING DEMOLITION
AND CONSTRUCTION. ANY DAMAGE
SHALL BE REPAIRED/ REPLACED TO
PRE-CONSTRUCTION CONDITION AT
CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CONTACT
THE CITY'S DEVELOPMENT
SERVICES ENGINEERING INSPECTION
TO SCHEDULE A
PRE-CONSTRUCTION MEETING WITH
A FIELD ENGINEERING INSPECTOR
PRIOR TO ANY LAND DISTURBANCE
WORK AT (816) 969-1200.

PROJECT SPECIFICATIONS:

THE SPECIFICATIONS FOR THIS PROJECT
SHALL BE THE FOLLOWING:

- MOST CURRENT VERSION OF THE
DESIGN AND CONSTRUCTION MANUAL
OF THE CITY OF LEE'S SUMMIT AS
ADOPTED BY ORDINANCE 5813.

THE STANDARD SPECIFICATIONS THROUGH
AND INCLUDING THE LATEST AMENDMENTS
SHALL BE PART OF THESE PROJECT
DRAWINGS AND SPECIFICATIONS AND ARE
INCORPORATED HEREIN BY REFERENCE.
THE MORE STRINGENT OF THESE
STANDARD SPECIFICATIONS AND THOSE
PREPARED BY THE ENGINEER PREPARING
THESE PLANS SHALL GOVERN.

PREPARED & SUBMITTED BY:

OWN, INC.
OVERLAND PARK, KANSAS

Jeffrey W. Bartz

JEFFREY BARTZ, P.E.
MISSOURI P.E. NO. 2012022594

04/22/2025

DATE

GENERAL NOTES

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL STATE AND CITY PERMITS, INCLUDING PERMITS REQUIRED BY OTHER GOVERNING BODIES, REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT.

2. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND NOTIFYING ALL UTILITY COMPANIES AND SHALL FIELD VERIFY ALL UTILITIES THAT MAY BE ENCOUNTERED. THE INFORMATION SHOWN ON THESE PLANS CONCERNING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IN THE EVENT THAT EXISTING UTILITIES ARE CONTACTED, DISRUPTED, OR IN ANY WAY ALTERED, CONTACT THE RESPECTIVE UTILITY COMPANY IMMEDIATELY. IN CASE OF EMERGENCY, DIAL 911.

3. THE CONTRACTOR SHALL PROVIDE EROSION AND SILT PROTECTION AS REQUIRED DURING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR KEEPING EXISTING STREET AND ADJACENT LAND FEATURES AND PROPERTY FREE OF MUD AND SILT. SEE "EROSION CONTROL PLAN" FOR MINIMUM EROSION CONTROL MEASURES REQUIRED BY THESE PLANS. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ONCE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES AND SHALL PROMPTLY REPAIR ANY AREA REQUIRING ATTENTION UNTIL SUBSTANTIAL COMPLETION.

4. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO CERTIFY THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER OBSERVES AND CONTROLS THE PHYSICAL CONSTRUCTION AND THE CONTINUAL BASIS AT THE SITE.

5. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813. WHERE DISCREPANCIES EXIST BETWEEN THESE PLANS AND THE DESIGN AND CONSTRUCTION MANUAL, THE DESIGN AND CONSTRUCTION MANUAL SHALL PREVAIL.

6. THE CONTRACTOR SHALL PROVIDE AT LEAST ONE (1) CHEMICALLY TREATED PORTABLE TOILET UNIT, "SATELLITE CORPORATION", OR EQUAL FOR EVERY 20 WORKMEN ON THE JOB SITE. IN NO CASE SHALL LESS THAN ONE (1) BE PROVIDED. THE UNITS(S) SHALL REMAIN ON THE SITE DURING ALL ACTIVE PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL ENFORCE THE USE OF THE PUBLIC VIEW TO THE GREATEST EXTENT PRACTICABLE.

7. ALL AREA TO BE FILLED AND SUBGRADES UNDER PAVEMENTS SHALL BE PROOF-ROLLED WITH A LOADED, RUBBER TIRED TRUCK PRIOR TO FILL PLACEMENT OR ROADWAY PAVING OPERATIONS BEGIN. SOFT OR UNSTABLE AREA SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL.

8. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A COPY OF AND BECOME FAMILIAR WITH THE GEOTECHNICAL REPORT, UNLESS SPECIFICALLY NOTED ON THE PLANS. COORDINATE WITH OWNER TO OBTAIN ORIGINAL GEOTECHNICAL REPORT COMPLETED BY OTHERS FOR PHASE 1 CONSTRUCTION.

9. THE CONTRACTOR SHALL COORDINATE WITH OWN INC. FOR ALL CONSTRUCTION LAYOUT AND STAKING FOR THIS PROJECT.

10. ALL PIPE LENGTHS ARE SHOWN FROM STRUCTURE CENTER TO STRUCTURE CENTER.

11. ALL STRUCTURE STATION AND OFFSET CALLOUTS ARE TO THE CENTER OF STRUCTURE.

12. ALL CURB STATIONS, OFFSETS AND ELEVATIONS ARE TO THE TOP BACK OF CURB UNLESS OTHERWISE NOTED.

13. ALL CONNECTIONS TO EXISTING DRAINAGE STRUCTURES SHALL BE SUBSIDIARY TO NEW DRAINAGE CONSTRUCTION.

14. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ACCESS TO ALL PROPERTIES IS AVAILABLE DURING CONSTRUCTION OF THE PROJECT.

15. ALL SAW CUTS SHOWN ON THE PLANS SHALL NOT BE PAID FOR DIRECTLY, BUT SHALL BE CONSIDERED SUBSIDIARY TO OTHER ITEMS OF THE CONTRACT. THE DEPTH OF THE CUT SHALL BE FULL DEPTH.

16. EXISTING CONCRETE PAVEMENT AND EXISTING BITUMINOUS PAVEMENT THAT IS REMOVED WILL BECOME THE PROPERTY OF THE CONTRACTOR & DISPOSED OF AT HIS EXPENSE.

17. EXISTING DRAINAGE STRUCTURES THAT ARE REMOVED, INCLUDING END SECTIONS, SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED ON THE PLANS.

18. CONTRACTOR SHALL FIELD VERIFY EXISTING PIPE ELEVATIONS.

19. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE UTILITY OWNERS TO LOCATE AND FLAG ALL RELOCATED UNDERGROUND UTILITIES PRIOR TO EXCAVATION TO AVOID DAMAGING THE UTILITIES. THE LOCATIONS SHOWN ON THE PLANS ARE THE ORIGINAL SURVEYED LOCATION, PRIOR TO RELOCATION IN SOME CASES. THE INFORMATION SHOWN IN THESE PLANS CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES PROVIDED FOR FIELD LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY OWNERS DURING CONSTRUCTION OF THE PROPOSED STORM SEWER SYSTEM TO AVOID DAMAGES TO EXISTING FACILITIES. DAMAGE TO ANY FACILITIES WILL BE PAID FOR AT THE CONTRACTOR'S EXPENSE.
20. ALL TREES, SHRUBS, BUSHES, AND BRUSH WITHIN THE GRADING LIMITS SHALL BE REMOVED BY THE CONTRACTOR UNLESS SPECIFICALLY INDICATED TO BE SAVED ON THE PLANS.

21. ALL SIGNS REMOVED BY THE CONTRACTOR SHALL BECOME PROPERTY OF THE CITY, UNLESS NOT DESIRED BY CITY. IF NOT DESIRED BY CITY, CONTRACTOR SHALL REMOVE AND DISPOSE OF SIGNS AT HIS EXPENSE.

22. DRAINAGE STRUCTURES WHICH ARE TO REMAIN, WHETHER EXTENDED OR NOT, SHALL BE CLEANED OUT BY THE CONTRACTOR, AS DIRECTED BY THE CITY.

23. CONTRACTOR SHALL ACCOMPANY A DESIGNATED CITY REPRESENTATIVE DURING A PHOTOGRAPHY & VIDEO TOUR BEFORE ANY CONSTRUCTION BEGINS TO RECORD EXISTING CONDITIONS.

24. THE CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THE PROJECT PLANS, SPECIFICATIONS AND ANY SPECIAL CONDITIONS OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING CONSTRUCTION OF THIS PROJECT.

25. DRIVEWAYS, SIDEWALKS, PARKING LOTS, YARD LIGHTS, FENCES, SPRINKLER SYSTEMS, UTILITY SERVICE LINE CONNECTIONS, LANDSCAPING, SEPTIC SYSTEMS, AND OTHER AREAS OUTSIDE THE CONSTRUCTION EASEMENTS THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED AT HIS EXPENSE TO A CONDITION EQUAL TO OR BETTER THAN EXISTING BEFORE DAMAGE OCCURRED.

26. ALL WORK SHALL BE CONFINED WITHIN THE EASEMENTS AND/OR GRADING LIMITS AS DIRECTED BY THE ENGINEER. ALL TEMPORARY CONSTRUCTION EASEMENTS SHALL BE STAKED BY THE CONTRACTOR PRIOR TO BEGINNING OF CONSTRUCTION. ALL GRADING LIMITS SHOWN ARE APPROXIMATE AND MAY BE EXTENDED OR REDUCED AT THE DIRECTION OF THE ENGINEER.

27. THE CONTRACTOR SHALL PROVIDE ADEQUATE SEDIMENT AND EROSION CONTROL TO PREVENT SEDIMENT AND/OR DEBRIS FROM ENTERING STREETS OPEN TO TRAFFIC THE COMPLETED STORM SEWER SYSTEM, OR YARDS OF ADJACENT RESIDENCES AND BUSINESSES.

28. ALL TEMPORARY TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE LATEST M.U.T.C.D. THE TRAFFIC CONTROL PLANS SHOWN ARE MINIMUM REQUIREMENTS ONLY AND DO NOT ATTEMPT TO ADDRESS IN DEPTH THE VARIETY OF SITUATIONS THAT MAY OCCUR ONCE CONSTRUCTION BEGINS. THE REQUIREMENTS SHOWN IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR SELECTING & IMPLEMENTING THE PROPER DEVICES AND PROCEDURES THAT WILL ASSURE THE SAFETY OF MOTORISTS, PEDESTRIANS, & WORKERS AT ALL TIMES.

29. LABOR, TOOLS, MATERIALS, AND EQUIPMENT REQUIRED FOR TEMPORARY CONNECTIONS TO MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION SHALL BE SUBSIDIARY TO OTHER PAY ITEMS.

30. REMOVAL OF EXISTING STRUCTURES SHALL INCLUDE, BUT NOT BE LIMITED TO, THE ITEMS NOTED IN THE PLANS AND IN THE SUMMARY OF QUANTITIES. WORK SHALL BE PAID FOR UNDER BID ITEM "REMOVAL OF EXISTING STRUCTURES". CONTRACTOR WILL DISPOSE OF EXISTING STRUCTURES AT HIS EXPENSE.

31. THE CONTRACTOR WILL BE RESPONSIBLE FOR SUPPORTING AND PROTECTING ALL EXPOSED UTILITIES IN OPEN TRENCHES. WORK SHALL BE SUBSIDIARY TO OTHER PAY ITEMS.

32. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE EXISTING STORM SEWER PIPES AND ADJUST THE PROPOSED FLOWLINE ELEVATIONS, PIPE LENGTHS, AND STRUCTURES AS EACH SECTION OF THE EXISTING DRAINAGE STRUCTURE IS REMOVED AND UNCOVERED.

33. EXCESS MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR DISPOSAL.

34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AT ALL TIMES.

35. CONTRACTOR RESPONSIBLE FOR CONSTRUCTION OF ALL ADA-ACCESSIBLE RAMPS, AS WELL AS ANY SIDEWALK ADJACENT TO TRACTS OR UNPLATTED LAND, AT THE TIME OF INFRASTRUCTURE IMPROVEMENTS.

36. CONTRACTOR TO CONSTRUCT STORMWATER MANAGEMENT FACILITIES, SPECIFICALLY THOSE FEATURES RELATED TO DETENTION, PRIOR TO ANY LAND DISTURBANCE OF THE SITE AND PRIOR TO THE CONSTRUCTION OF ANY OTHER SITE DEVELOPMENT WORK AS NOT TO EFFECT DOWNSTREAM NEIGHBORS WITH UNDETAINED STORMWATER DISCHARGE.

37. AN AS-GRADED AND AS-BUILT DRAWING SHALL BE SUBMITTED TO AND REVIEWED BY THE CITY FOR THE DETENTION BASIN. THIS SHALL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF SUBSTANTIAL COMPLETION. ALL PRECAUTIONS SHOULD BE TAKEN TO ENSURE DETENTION POND AND OUTLET STRUCTURE ARE CONSTRUCTED ACCORDING TO THE APPROVED PLANS. VOLUMES AND ELEVATIONS ARE CRITICAL FOR AS-BUILT APPROVAL. THE CITY SHALL BE PROVIDED WITH AN AS-BUILT SURVEY OF THE DETENTION, OUTLET STRUCTURE INCLUDING ALL WEIR ELEVATIONS AND STORM SYSTEM INCLUDING ALL THE INVERTS, STAMPED BY A MISSOURI LICENSED ENGINEER.



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LICENSE NO: PE - 2012022594

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COA 00062

SHEET TITLE

GENERAL
NOTES

SHEET NUMBER

C050

2 OF 17



Engineering beyond.™

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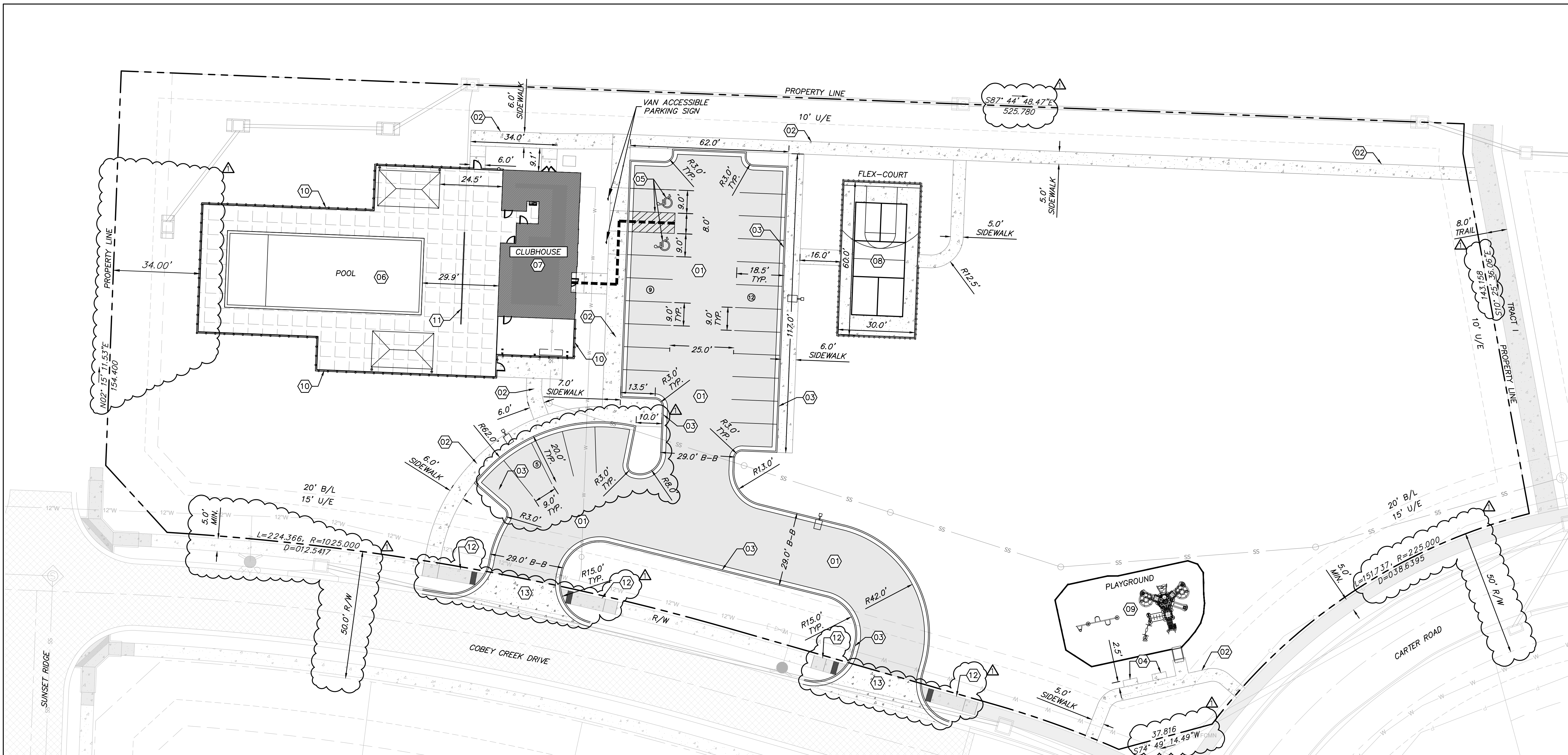
SHEET TITLE

SITE PLAN

SHEET NUMBER

C100

3 OF 17



LEGEND

| | |
|------|--------------------------------|
| --- | PROPERTY LINE |
| --- | BUILDING SETBACK LINE |
| --- | UTILITY EASEMENT |
| 12"W | EXISTING WATER MAIN |
| W-W | PROPOSED WATER SERVICE LINE |
| SS | PROPOSED SANITARY SERVICE LINE |
| ① | PARKING STALL COUNT |
| == | PROPOSED CURB AND GUTTER |
| --- | PROPOSED ACCESSIBLE PATH |
| ■ | PROPOSED ASPHALT PAVEMENT |
| ■ | PROPOSED CONCRETE DRIVE ENTRY |
| ■ | PROPOSED CONCRETE SIDEWALK |
| ■ | PROPOSED SIDEWALK ADA RAMP |

SITE PLAN GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF LEES SUMMIT, MO AND/OR THE KANSAS CITY METROPOLITAN CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION (KCAPWA) STANDARD SPECIFICATION & DESIGN CRITERIA.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL STATE, AND LOCAL PERMITS REQUIRED FOR THIS PROJECT PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL PREVENT ANY TRASH, DEBRIS, OR LIQUID WASTES FROM BEING DISPOSED OF IN SANITARY SEWERS, STORM SEWERS, OR OPEN DRAINAGE SYSTEMS.
- CONTRACTORS AT THE SITE SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY FOR ALL ASPECTS OF WORK SHOWN HEREON.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES AFFECTED BY THE CONTRACT. ALL EXISTING UTILITIES INDICATED ON THESE PLANS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- ANY AND ALL HAZARDS SHALL BE PROPERLY IDENTIFIED AND BARRICADED FROM ACCESS DURING ALL NON-CONSTRUCTION PERIODS.

OIL AND GAS WELL NOTES

NO ABANDONED OIL OR GAS WELLS HAVE BEEN IDENTIFIED WITHIN THE PROPERTY LIMITS OF THE PROPOSED CONSTRUCTION ACTIVITIES, PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR) PERMITTED OIL AND GAS WELL DATABASE, DATED JUNE 2, 2020.

PROPERTY ADDRESS

NE OF THE INTERSECTION OF SE COBEY CREEK DRIVE AND SE SUNSET RIDGE

ZONING

CDO - CORRIDOR DEVELOPMENT OVERLAY DISTRICT (M-150)

CDO - PMIX - PLANNED MIXED USE

DEVELOPER

BRAD KEMPF
CLAYTON PROPERTIES GROUP
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082
GRADLEY@SUMMITTHOMESKC.COM
(816) 927-9711

KEY NOTES:

- CONSTRUCT ASPHALTIC CONCRETE PAVEMENT PER DETAIL ON SHEET C108.
- CONSTRUCT CONCRETE SIDEWALK RE:DETAIL ON SHEET C108.
- CONSTRUCT CONCRETE CG-1 CURB & GUTTER RE:DETAIL ON SHEET C108.
- CONSTRUCT CONCRETE BUMP-OUT FOR BENCH.
- CONSTRUCT ADA PARKING STALLS. CHEVRON PAINT TO BE 4" WIDE PAINTED AT 45° TO PERPENDICULAR, SPACING TO BE 2' O.C. PAINT TO BE LEAD-FREE, WATER BORNE, EMULSION-BASED TRAFFIC PAINT. INSTALL VAN ACCESSIBLE SIGNAGE PER DETAIL ON SHEET C108. HANDICAP PARKING SYMBOL PER DETAIL ON SHEET C108.
- PROPOSED SWIMMING POOL RE:DESIGN BY OTHERS.
- PROPOSED CLUBHOUSE RE:ARCH PLANS.
- PROPOSED FLEX-COURT RE:DESIGN BY OTHERS.
- PROPOSED PLAYGROUND RE:DESIGN BY OTHERS.
- PROPOSED STEEL FENCE RE:ARCH PLANS.
- INSTALL ACO K-100 TRENCH DRAIN. RE:UTILITY PLAN ON SHEET C104.
- CONSTRUCT SIDEWALK ADA RAMP RE:DETAIL ON SHEET C108.
- CONSTRUCT CONCRETE ENTRY DRIVE RE:DETAIL ON SHEET C109.

SITE DATA

SITE

LAND AREA:

109,832 SF (2.52 AC)

IMPERVIOUS AREA:

32,760 SF (29.83%)

CURRENT LAND USE:

VACANT

PROPOSED LAND USE:

CLUBHOUSE/POOL

BUILDING

AREA:

1,810 SF

HEIGHT:

21'-2 3/4"

TOTAL FLOOR AREA:

1,810 SF

FLOOR AREA RATIO (FAR):

0.02

PARKING

REQUIRED TOTAL STALLS:

25 (1 PER 16 UNITS, 387 TOTAL UNITS)

TOTAL PARKING STALLS:

26

REQUIRED HANDICAPPED STALLS:

2

HANDICAP STALLS PROVIDED:

2



LEGAL DESCRIPTION

TRACT H, COBEY CREEK - 2ND PLAT, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 49 NORTH, RANGE 31 WEST, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, REFER TO FINAL PLAT FOR FULL LEGAL DESCRIPTION.



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**COBEY CREEK -
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REVISIONS











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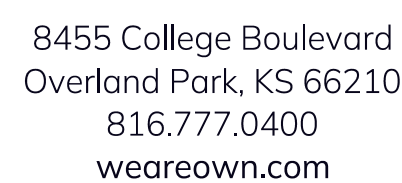
SHEET NUMBER
C101
4 OF 17



- LEGEND*

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 901
 900
 901
-  TS XXX.XX
 TP XXX.XX
 ME XXX.XX
 HP XXX.XX
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- EXISTING MAJOR CONTOUR
 EXISTING MINOR CONTOUR
 PROPOSED MAJOR CONTOUR
 PROPOSED MINOR CONTOUR
 TOP OF SIDEWALK SPOT ELEVATION
 TOP OF PAVEMENT SPOT ELEVATION
 MATCH EXISTING SPOT ELEVATION
 HIGH POINT SPOT ELEVATION
 SWALE FLOW PATH
 PROPERTY LINE





**CLAYTON
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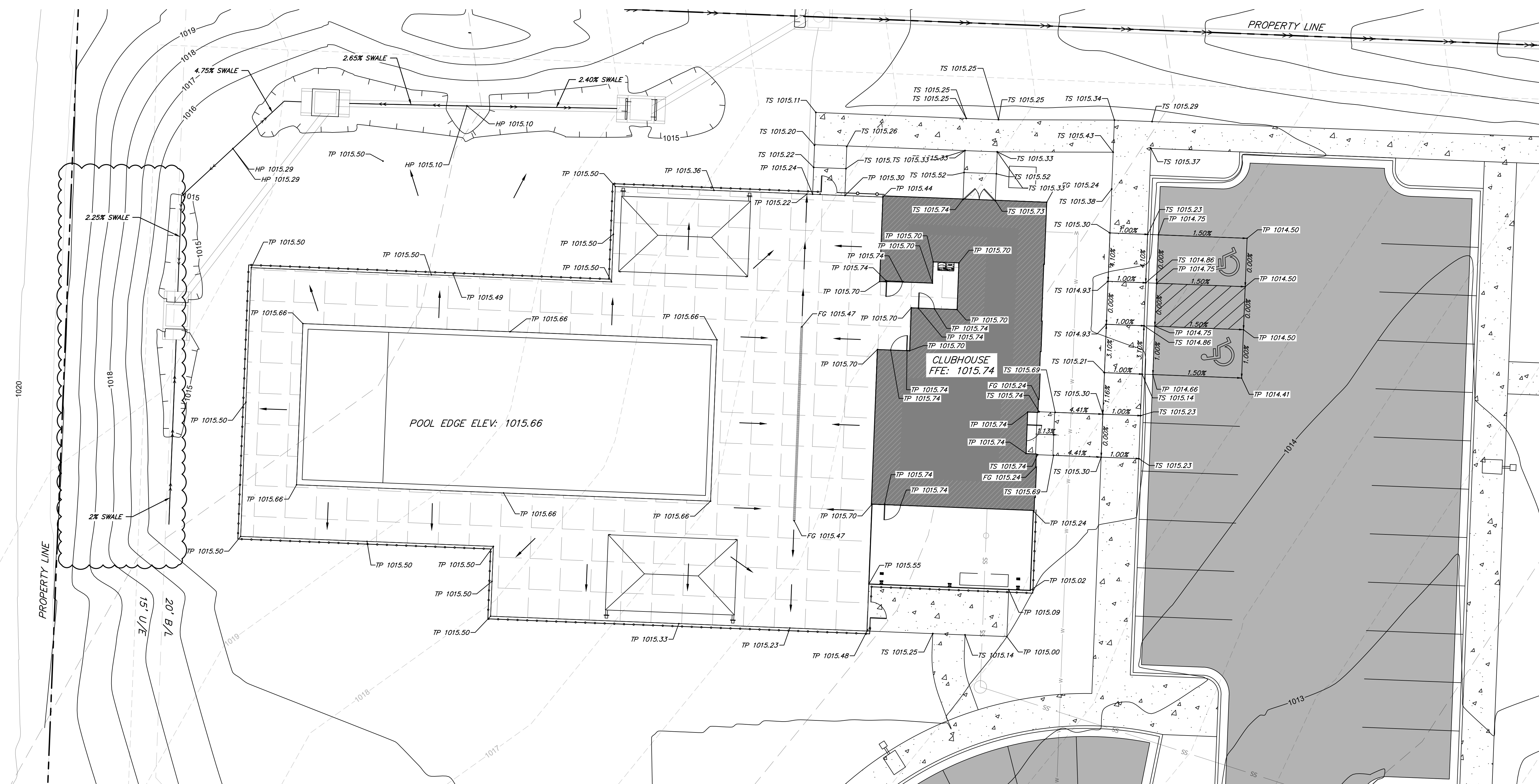
A licensed Missouri
Engineering Corporation
COA 00062

SHEET TITLE
DETAILED
GRADING
PLAN

SHEET NUMBER

C102



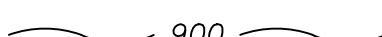

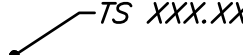
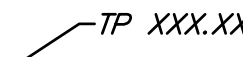


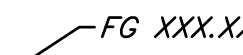



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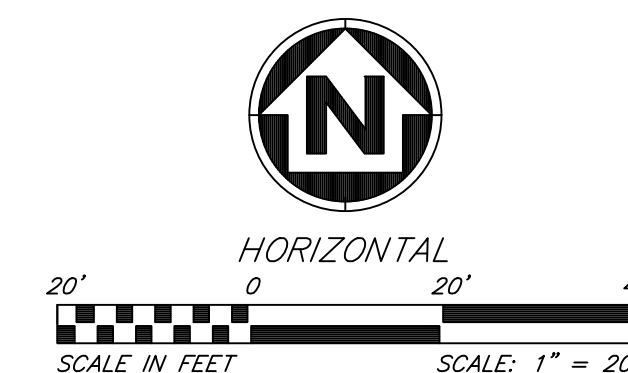


GRADING PLAN GENERAL NOTES

1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE OF ALL PROPOSED PAVEMENT INCLUDING BUT NOT LIMITED TO AREAS OUTSIDE OF SURVEY LIMITS.
2. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS.
3. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED (GREEN SPACES) SHALL BE FINISH GRADED WITH A MINIMUM 6 INCHES OF TOPSOIL.
4. EXISTING CONTOURS SHOWN AT 1 FOOT INTERVALS. PROPOSED CONTOURS SHOWN AT 1 FOOT INTERVALS.
5. WITHIN FORTY-EIGHT HOURS PRIOR TO ANY PAVING ACTIVITY, THE SUBGRADE SHALL BE PROOF-ROLLED WITH A FULLY-LOADED TANDEM WHEEL DUMP TRUCK AND OBSERVED BY THE ON-SITE GEOTECHNICAL ENGINEER. AREAS OF THE SUBGRADE WITH EXCESSIVE RUTTING AND/OR PUMPING SHALL BE RE-WORKED OR REMOVED IN ACCORDANCE WITH THE PROJECT SPECIFICATION. FLY ASH OR GRANULAR MATERIAL MAY BE ADDED BY THE CONTRACTOR (AS APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER) TO STABILIZE THE SUBGRADE.
6. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
7. MAXIMUM GRADE SHALL BE 3:1 UNLESS OTHERWISE NOTED.

LEGEND

| | |
|---|--------------------------------|
|  | EXISTING MAJOR CONTOUR |
|  | EXISTING MINOR CONTOUR |
|  | PROPOSED MAJOR CONTOUR |
|  | PROPOSED MINOR CONTOUR |
|  | TOP OF SIDEWALK SPOT ELEVATION |
|  | TOP OF PAVEMENT SPOT ELEVATION |
|  | MATCH EXISTING SPOT ELEVATION |
|  | HIGH POINT SPOT ELEVATION |
|  | FINISH GRADE SPOT ELEVATION |
|  | SWALE FLOW PATH |
|  | PROPERTY LINE |
|  | DRAINAGE ARROW |





FORMERLY ANDERSON ENGINEERING

**COBEY CREEK -
COMMUNITY CENTER**

REVISIONS

DRAWING INFORMATION

PROJECT NO: 21KC10060

DRAWN BY: MF

CHECK BY: JB

ISSUED FOR: OWNER REVIEW

ISSUED DATE: 02/27/2025



LICENSE NO: PE - 2012022594

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Engineering Corporation
COA 00062

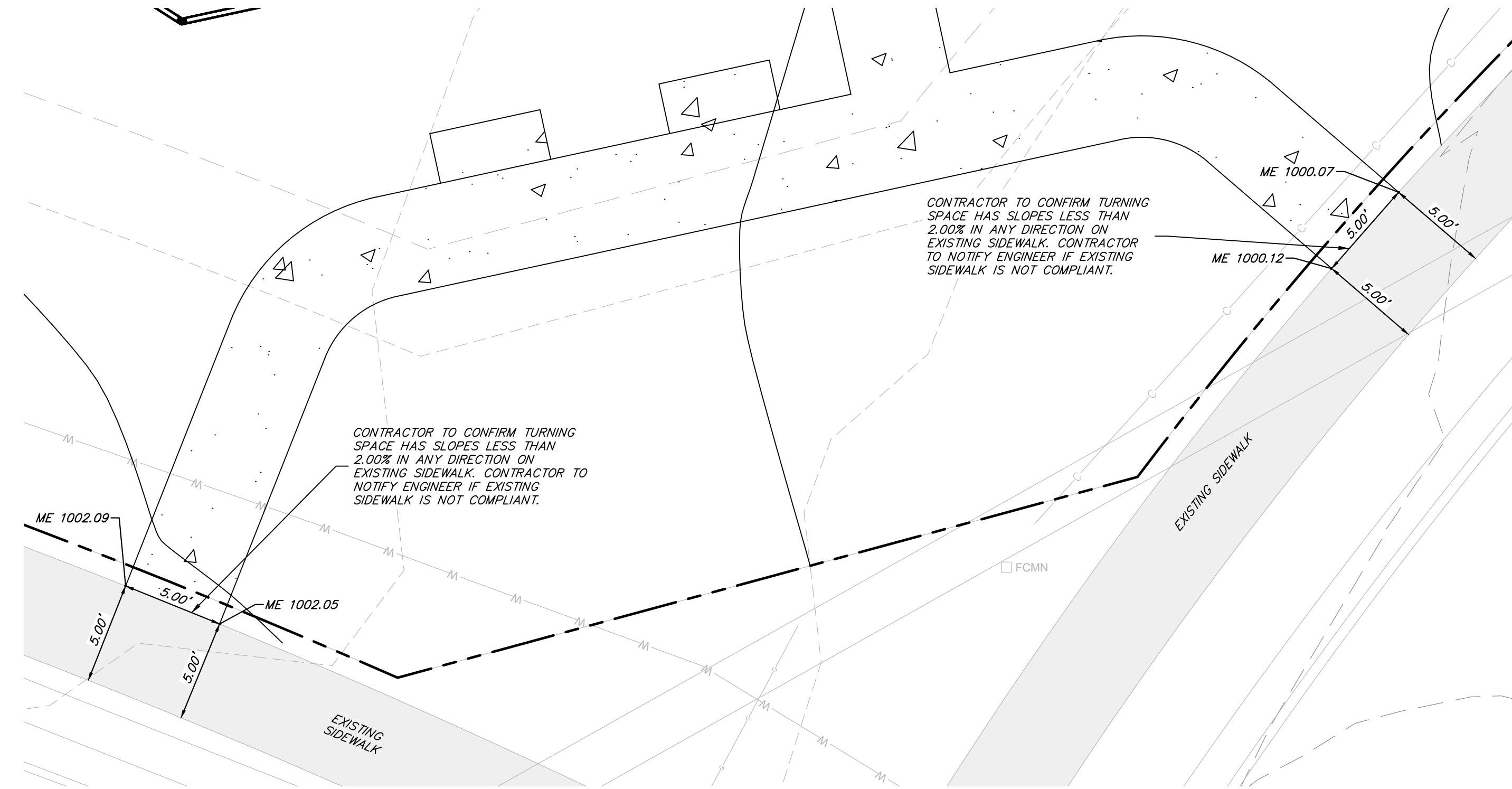
SHEET TITLE

DETAILED ADA GRADING PLAN

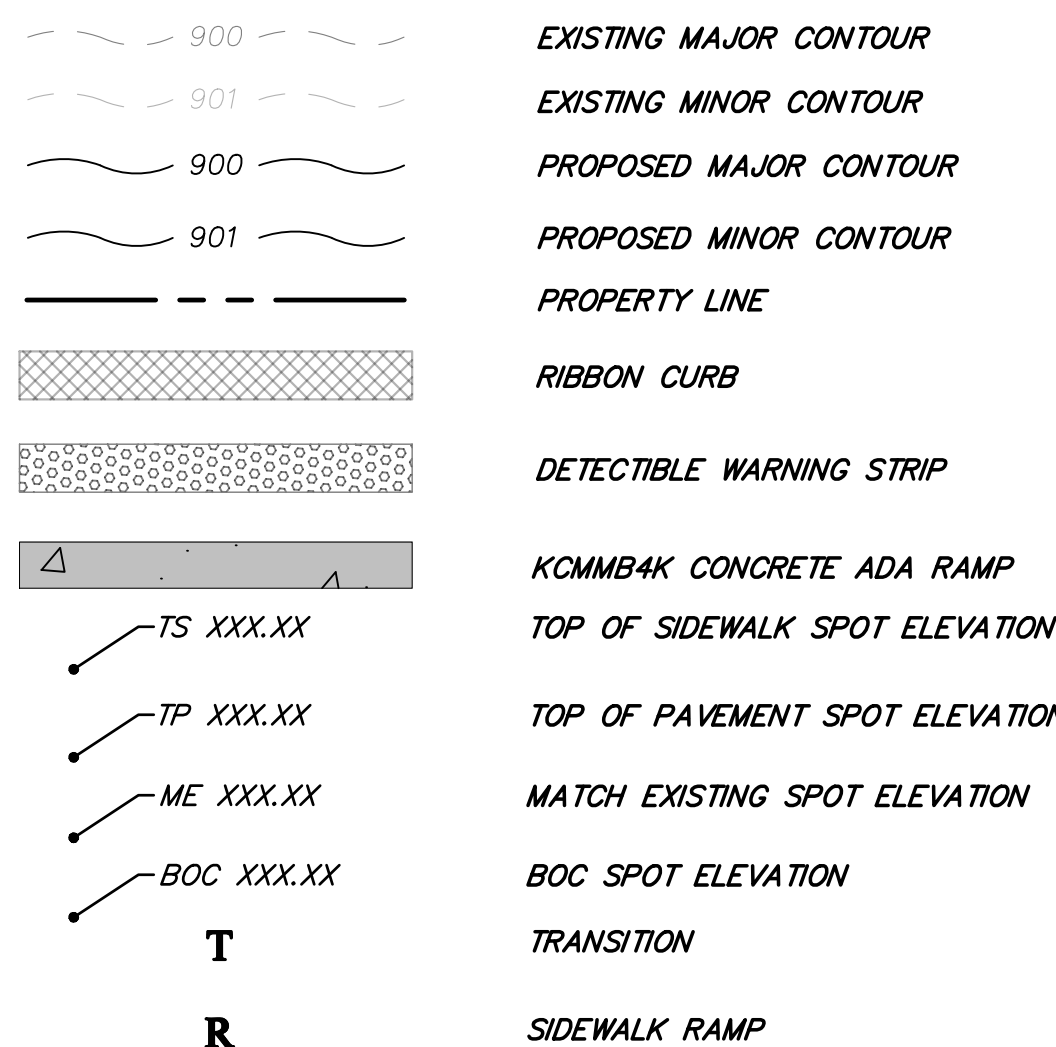
SHEET NUMBER

C103

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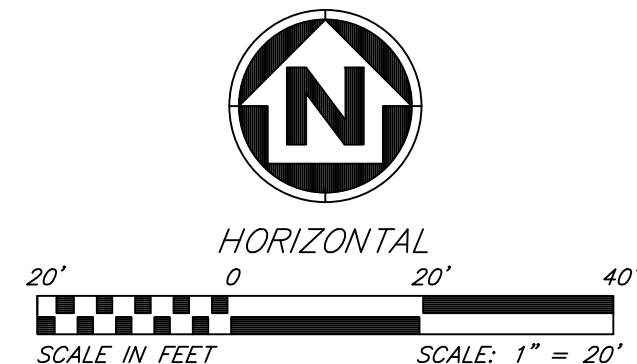


LEGEND



GRADING PLAN GENERAL NOTES

1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE OF ALL PROPOSED PAVEMENT INCLUDING BUT NOT LIMITED TO AREAS OUTSIDE OF SURVEY LIMITS.
2. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS.
3. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED (GREEN SPACES) SHALL BE FINISH GRADED WITH A MINIMUM 6 INCHES OF TOPSOIL.
4. EXISTING CONTOURS SHOWN AT 1 FOOT INTERVALS. PROPOSED CONTOURS SHOWN AT 1 FOOT INTERVALS.
5. WITHIN FORTY-EIGHT HOURS PRIOR TO ANY PAVING ACTIVITY, THE SUBGRADE SHALL BE PROOF-ROLLED WITH A FULLY-LOADED TANDEN WHEEL DUMP TRUCK AND OBSERVED BY THE ON-SITE GEOTECHNICAL ENGINEER. AREAS OF THE SUBGRADE WITH EXCESSIVE RUTTING AND/OR PUMPING SHALL BE RE-WORKED OR REMOVED IN ACCORDANCE WITH THE PROJECT SPECIFICATION. FLY ASH OR GRANULAR MATERIAL MAY BE ADDED BY THE CONTRACTOR (AS APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER) TO STABILIZE THE SUBGRADE.
6. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
7. MAXIMUM GRADE SHALL BE 3:1 UNLESS OTHERWISE NOTED.





FORMERLY ANDERSON ENGINEERING

**COBEY CREEK -
COMMUNITY CENTER**

REVISIONS

DRAWING INFORMATION

ISSUED DATE: 02/27/2025



SHEET TITLE

SHEET NUMBER

7 OF 17

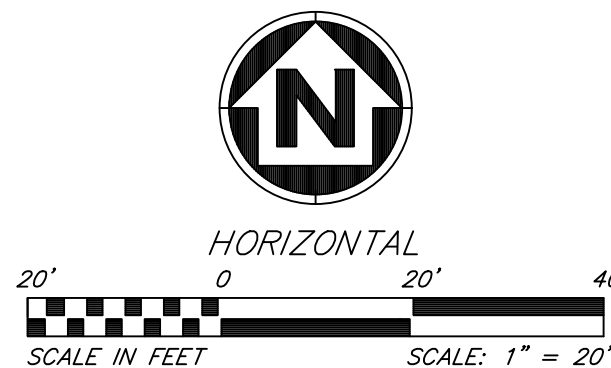


-  **KEY NOTES:**

- ### LEGEND



1. COORDINATES AT TOP ELEVATIONS ARE LOCATED AT CENTER OF STRUCTURES.
2. PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
3. WATER MAINS AND STORM SEWERS SHALL HAVE AT LEAST 3' OF CLEAR HORIZONTAL SEPARATION.
4. CONTRACTOR SHALL FILL: PRIOR TO INSTALLATION OF STORM SEWER PIPE IN FILL AREAS, FILL SHALL BE PLACED AND COMPACTED TO A MINIMUM 95% OF STANDARD PROCTOR DENSITY PER ASTM D 698 TO A MINIMUM DEPTH OF 2 FEET ABOVE THE TOP OF PIPE.
5. CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL STATE, AND LOCAL PERMITS REQUIRED FOR ANY PROJECT PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO CALL 911 DIG SAFE, PRIOR TO ANY CONSTRUCTION ACTIVITIES.





FORMERLY ANDERSON ENGINEERING

**COBEY CREEK -
COMMUNITY CENTER**

REVISIONS

[illegible]

DRAWING INFORMATION

PROJECT NO: 21KC10060

DRAWN BY: MF

CHECK BY: JB

ISSUED FOR: OWNER REVIEW

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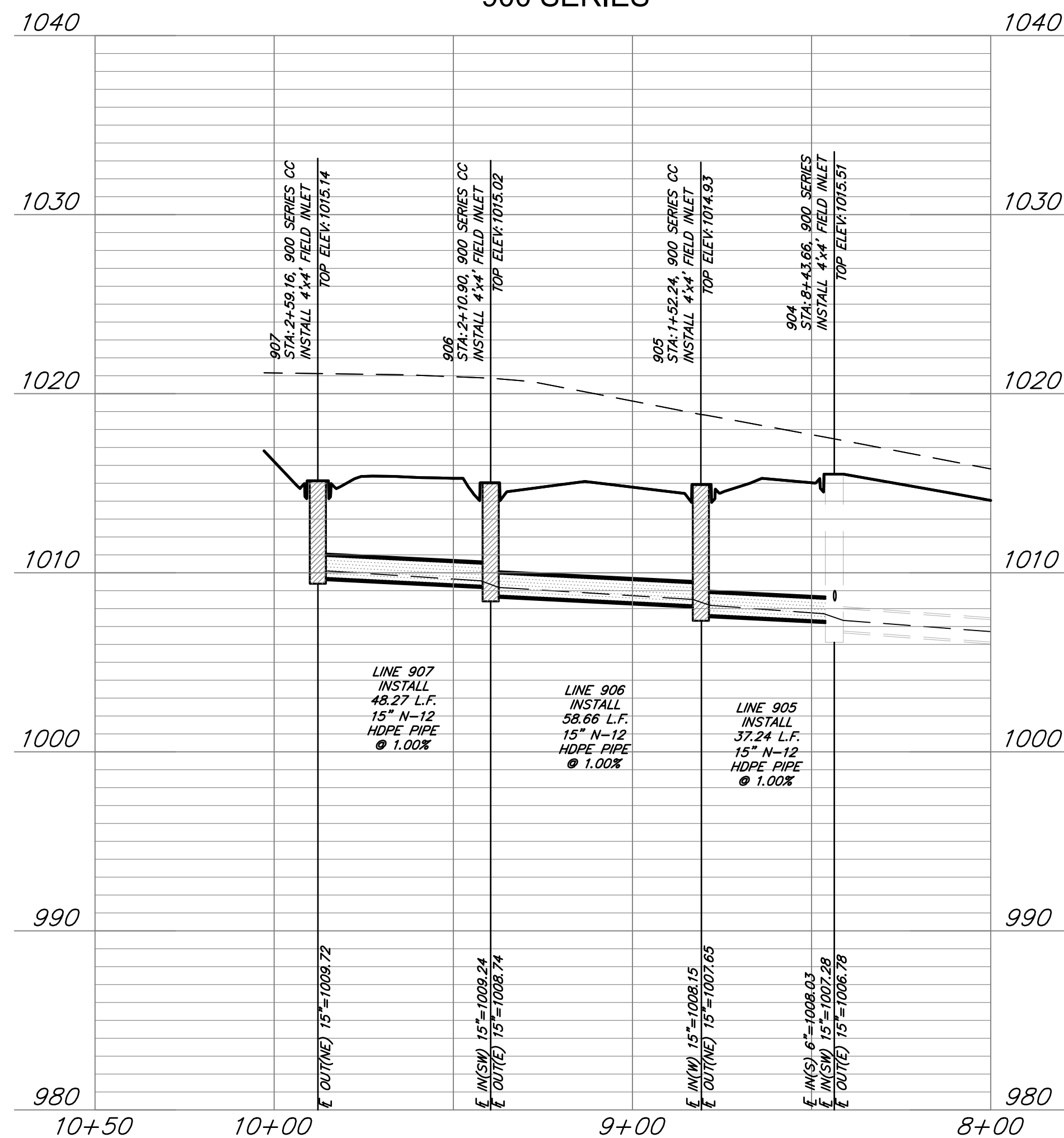
ISSUED BY: JEFFREY BARTZ

LICENSE NO: PE - 2012022594












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Engineering Corporation
COA 00062

SHEET NUMBER

8 OF 17



LEGEND

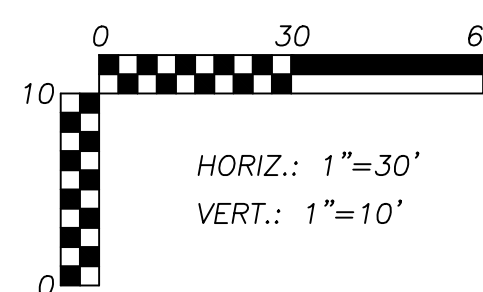
| | | | |
|---|-----------------------------------|---|-------------------------|
|  | EX. RIGHT-OF-WAY |  | PROP. POOL DECK |
|  | EX. PROPERTY LINE | | |
|  | EX. STORM DRAIN |  | PROP. ASPHALT PAVEMENT |
|  | PROP. STORM DRAIN | | |
|  | PROP. SANITARY SEWER SERVICE LINE |  | PROP. CONCRETE SIDEWALK |
|  | PROP. WATER SERVICE LINE |  | EX. CONCRETE SIDEWALK |
|  | EX. ASPHALT PAVEMENT | | |

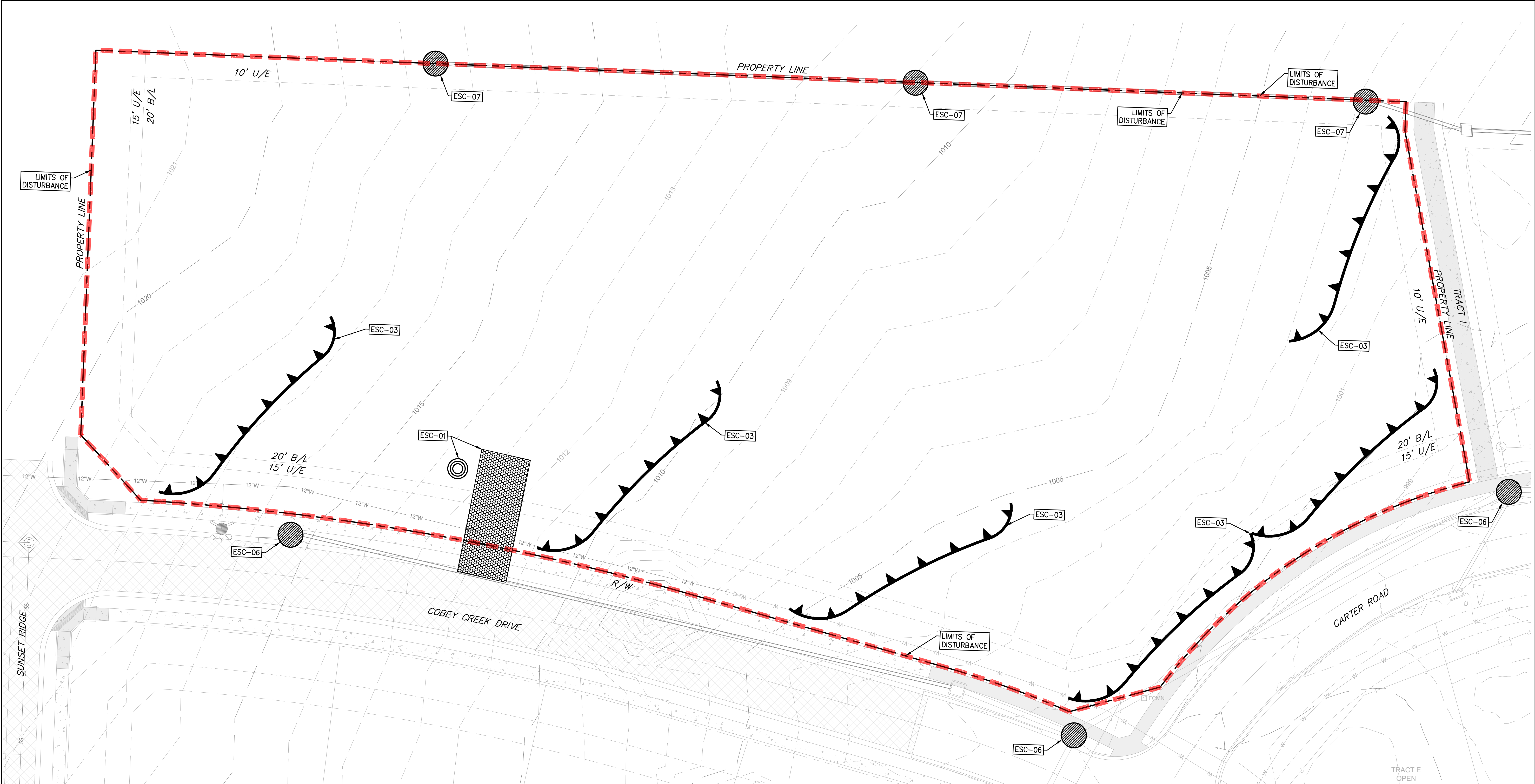
GENERAL NOTES:

1. COORDINATE WAYS AT TOP ELEVATIONS ARE LOCATED AT CENTER OF STRUCTURES.
2. PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
3. WATER MAINS AND STORM SEWERS SHALL HAVE AT LEAST 3' OF CLEAR HORIZONTAL SEPARATION.
4. COMPACTED FILL: PRIOR TO INSTALLATION OF STORM SEWER PIPING IN FILL AREAS, FILL SHALL BE PLACED AND COMPACTED TO A MINIMUM 95% OF STANDARD PROCTOR DENSITY PER ASTM D 698 TO A MINIMUM DEPTH OF 2 FEET ABOVE THE TOP OF PIPE.
5. CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL STATE, AND LOCAL PERMITS REQUIRED FOR THIS PROJECT PRIOR TO COMMENCING CONSTRUCTION.
6. CONTRACTOR TO CALL 811, DIG SAFE, PRIOR TO ANY CONSTRUCTION ACTIVITIES.

STORM PIPE AND STRUCTURES:

1. HOPE PIPE SHALL CONFORM TO ASTM 2306. JOINTS SHALL BE INTEGRAL BELL AND SPIGOT WITH RUBBER GASKETS. JOINTS SHALL BE WATER TIGHT AS DEFINED BY ASTM 2306.
2. CONCRETE PIPE SHALL CONFORM TO ASTM C76, CLASS III, WALL TYPE B. JOINTS SHALL BE TONGUE-IN-GROOVE WITH PREFORMED, FLEXIBLE SEALANTS AND RUBBER CONFORM TO ASTM 2306.
3. PROPOSED AREA INLETS SHALL CONFORM TO THE CITY OF LEE'S SUMMIT STANDARD DETAILS.
4. DRAINAGE WALL POLYPROPYLENE PIPE IS AN APPROVED EQUAL AND SHALL CONFORM TO THE CITY OF LEE'S SUMMIT SPECIFICATIONS PER SECTION 2602.2.G OF THE DESIGN AND CONSTRUCTION MANUAL.
5. ALL STRUCTURAL DIMENSIONS ARE MEASURED TO THE INNER WALL OF THE STRUCTURE.





GENERAL NOTES:

1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("EROSION CONTROL"), THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS ("SWPPP"), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 21 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. STABILIZATION MAY CONSIST OF SEED, SOD, ROCK, PAVEMENT, STRUCTURE OR OTHER NON-ERODIBLE COVER.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES CONSISTING OF TOPSOIL, CLAY, OR SILT SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
21. CONTRACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE. PONDING OF WATER WILL NOT BE ALLOWED ON SITE. IF NECESSARY, CONTRACTOR TO PROVIDE TEMPORARY SWALES OR PUMPING IN LOW POINT SUMP CONDITIONS UNTIL THE INSTALLATION OF STORM SEWER.

EROSION CONTROL MAINTENANCE:

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS FOR GOOD HOUSEKEEPING, SPILL CONTROL AND EROSION AND SEDIMENT CONTROL AS SPECIFIED IN THE KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION SECTION 2150.
2. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
3. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
4. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
5. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
6. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
7. DRAINAGE SWALES WITH SLOPES STEEPER THAN 15% SHALL BE INSPECTED AFTER EACH RAINFALL EVENT. THESE CHANNELS AND SLOPES SHOULD BE TREATED WITH EROSION FABRIC. IF THE CHANNELS OR SLOPES SHOW ANY SIGN OF FAILURE, COORDINATE WITH THE ENGINEER TO DEVELOP A PLAN TO RE-STABILIZE THE FAILED AREA.

SEQUENCE OF CONSTRUCTION:

SITE IMPROVEMENTS CONSIST OF CLEARING VEGETATION AND GRADING OPERATIONS, ALONG WITH RE-ACTIVATION OF A SEDIMENT BASIN FROM AN EXISTING DRY DETENTION BASIN. WORK SHALL BE CONDUCTED AS FOLLOWS:

1. CONSTRUCT CONSTRUCTION VEHICLE ENTRANCE AND INSTALL PERIMETER SILT FENCE AND INLET PROTECTION TO EXISTING INLETS SURROUNDING THE LIMITS OF DISTURBANCE.
2. CLEAR TREES AND VEGETATION WHERE GRADING OPERATIONS WILL BE COMPLETED. ONLY REMOVE THOSE TREES NECESSARY TO ACCOMPLISH GRADING ACTIVITIES AS SHOWN ON PLAN. INSTALL ROCK DITCH CHECKS AS ACCESS TO DRAINAGE DITCHES BECOMES AVAILABLE.
3. INSTALL SILT FENCE AND/OR DIVERSION BERM(S) AT TOE OF SLOPE ALONG PERIMETER OF PHASE I AREA. PHASE II ACTIVITIES CANNOT BEGIN UNTIL PHASE I IS COMPLETED.
4. CONTRACTOR TO CONSTRUCT STORMWATER MANAGEMENT FACILITIES, SPECIFICALLY THOSE FEATURES RELATED TO DETENTION, PRIOR TO ANY LAND DISTURBANCE OF THE SITE AND PRIOR TO THE CONSTRUCTION OF ANY OTHER SITE DEVELOPMENT WORK AS NOT TO EFFECT DOWNSTREAM NEIGHBORS WITH UNDETAINED STORMWATER DISCHARGE.
5. CLEAR REMAINING TREES AND VEGETATION WHERE PHASE II GRADING OPERATIONS WILL BE COMPLETED. ONLY REMOVE THOSE TREES NECESSARY TO ACCOMPLISH GRADING ACTIVITIES.
6. FINISH ANY MASS GRADING AND/OR STEEP SLOPE STABILIZATION ACTIVITIES.
7. AS TREE CLEARING AND GRADING OPERATIONS ARE COMPLETED, AREAS TO REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH SEED AND COMPOST MULCH AND/OR STEEP SLOPE PROTECTION. SEE PHASE II EROSION CONTROL PLAN.
8. BEGIN INSTALLING UNDERGROUND INFRASTRUCTURE STARTING WITH SANITARY SEWER, FOLLOWED BY STORM SEWER, THEN WATER LINE. INSTALL INLET PROTECTION AND SLOPE INTERRUPT SILT FENCE ONCE PIPE BACKFILLING HAS BEEN COMPLETED.



LEGEND

- EX. RIGHT-OF-WAY
- EX. PROPERTY LINE
- EX. STORM DRAIN
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- LIMITS OF DISTURBANCE
- INLET PROTECTION (ESC-06)
- SILT FENCE W/ J HOOKS (ESC-03)
- TEMPORARY STONE CONSTRUCTION EXIT (ESC-01)

GRADING NOTES:

1. ALL TREES OUTSIDE OF LIMITS OF DISTURBANCE SHALL REMAIN. ONLY THOSE TREES WITHIN LIMITS OF DISTURBANCE THAT ARE IN THE AREA TO BE GRADED SHALL BE REMOVED.
2. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS. CONTRACTOR SHALL OBTAIN THE ON-SITE GEOTECHNICAL REPRESENTATIVE'S ACCEPTANCE OF THE EXISTING GROUND SURFACE MATERIALS AND THE PROPOSED FILL MATERIAL PRIOR TO THE PLACEMENT OF FILL.
3. ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GROUND ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, TOPSOIL, ETC. WHEN GRADING THE SITE.
4. ALL DISTURBED AREAS THAT SHALL BE FINISH GRADED WITH A MINIMUM OF FOUR INCHES OF TOPSOIL.
5. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
6. ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREON.



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FORMERLY ANDERSON ENGINEERING

CLAYTON
PROPERTIES GROUP

COBEY CREEK -
COMMUNITY CENTER

S29, T47N, R31W
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|---------------------------|------------|
| 1 | REVISED PER CITY COMMENTS | 04/22/2025 |
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DRAWING INFORMATION

PROJECT NO: 21KC10060

DRAWN BY: MF

CHECK BY: JB

ISSUED FOR: OWNER REVIEW

ISSUED DATE: 02/27/2025



ISSUED BY: JEFFREY BARTZ

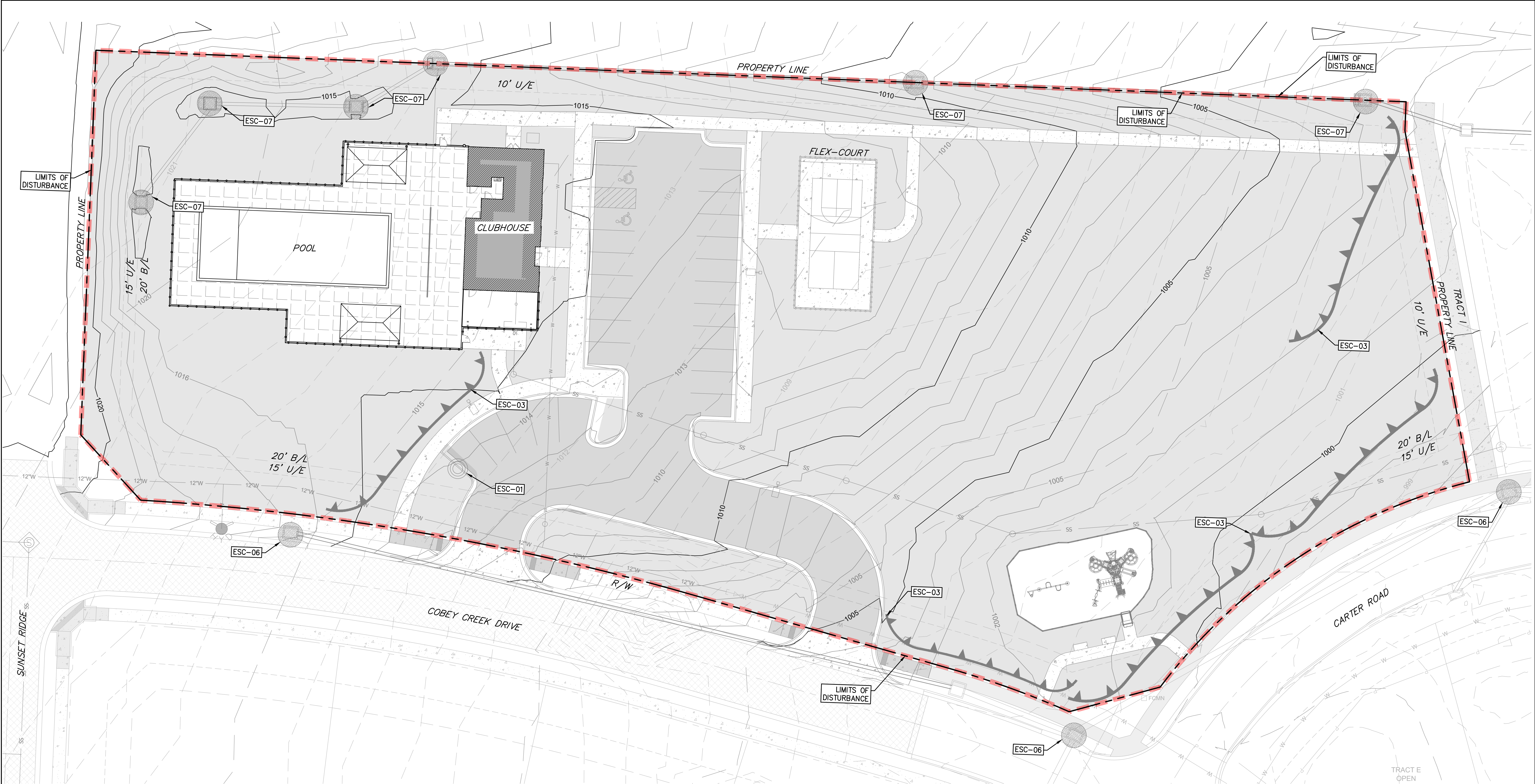
LICENSE NO: PE - 2012022594

A licensed Missouri
Engineering Corporation
COA 00062

SHEET TITLE
**ESC PHASE I
- PRE
CLEARING**

SHEET NUMBER

C106



GENERAL NOTES:

- THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("EROSION CONTROL"), THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS ("SWPPP"), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 21 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. STABILIZATION MAY CONSIST OF SEED, SOD, ROCK, PAVEMENT, STRUCTURE OR OTHER NON-ERODIBLE COVER.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES CONSISTING OF TOPSOIL, CLAY, OR SILT SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE. PONDING OF WATER WILL NOT BE ALLOWED ON SITE. IF NECESSARY, CONTRACTOR TO PROVIDE TEMPORARY SWALES OR PUMPING IN LOW POINT SUMP CONDITIONS UNTIL THE INSTALLATION OF STORM SEWER.

EROSION CONTROL MAINTENANCE:

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS FOR GOOD HOUSEKEEPING, SPILL CONTROL AND EROSION AND SEDIMENT CONTROL AS SPECIFIED IN THE KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION SECTION 2150.
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- DRAINAGE SWALES WITH SLOPES STEEPER THAN 15% SHALL BE INSPECTED AFTER EACH RAINFALL EVENT. THESE CHANNELS AND SLOPES SHOULD BE TREATED WITH EROSION FABRIC, IF THE CHANNELS OR SLOPES SHOW ANY SIGN OF FAILURE. COORDINATE WITH THE ENGINEER TO DEVELOP A PLAN TO RE-STABILIZE THE FAILED AREA.



SEQUENCE OF CONSTRUCTION:

SITE IMPROVEMENTS CONSIST PAVING STREETS, RE-ESTABLISHING GROUND COVER VEGETATION, DEACTIVATING SEDIMENT BASIN, AND REMOVING SILT FENCE AND INLET PROTECTION. WORK SHALL BE COMPLETED IN THE SEQUENCE AS FOLLOWS:

- REMOVE CONSTRUCTION ENTRANCE/EXIT AS PAVEMENT AND CURB IS INSTALLED.
- INSTALL CURB, ROAD PAVEMENT, AND REQUIRED SIDEWALKS ADJACENT TO TRACTS. ADJUST SILT FENCE AND SLOPE INTERRUPTS AS NECESSARY TO PREVENT MUD AND SILT FROM FLOWING LONG DISTANCES.
- SEED AND/OR SOD ALL DISTURBED AREAS ONCE FINISH GRADE HAS BEEN ACHIEVED. MAINTAIN SILT FENCE, SLOPE INTERRUPTS, STEEP SLOPE PROTECTION, AND INLET PROTECTION UNTIL VEGETATIVE COVER HAS BEEN ESTABLISHED OVER 70% OF THE TOTAL DISTURBED AREA.
- AS ALL DISTURBED AREAS ARE STABILIZED WITH VEGETATIVE COVER, STORM SEWER INLET PROTECTION, SILT FENCE, SLOPE INTERRUPTS, ROCK DITCH CHECKS, AND DIVERSION BERMS CAN BE REMOVED UPON CITY INSPECTION AND APPROVAL. ENSURE ENTIRE SITE IS STABILIZED PRIOR TO DEACTIVATION.

LEGEND

- EX. RIGHT-OF-WAY
- EX. PROPERTY LINE
- EX. STORM DRAIN
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- LIMITS OF DISTURBANCE
- INLET PROTECTION (ESC-06) (ESC-07)
- SILT FENCE W/ J HOOKS (ESC-03)
- PROP ASPHALT PAVEMENT
- FINAL SEEDING (ALL AREAS UNPAVED)

GRADING NOTES:

- ALL TREES OUTSIDE OF LIMITS OF DISTURBANCE SHALL REMAIN. ONLY THOSE TREES WITHIN LIMITS OF DISTURBANCE THAT ARE IN THE AREA TO BE GRADED SHALL BE REMOVED.
- ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS. CONTRACTOR SHALL OBTAIN THE ON-SITE GEOTECHNICAL REPRESENTATIVE'S ACCEPTANCE OF THE EXISTING GROUND SURFACE MATERIALS AND THE PROPOSED FILL MATERIAL PRIOR TO THE PLACEMENT OF FILL.
- ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GROUND ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, TOPSOIL, ETC. WHEN GRADING THE SITE.
- ALL DISTURBED AREAS THAT SHALL BE FINISH GRADED WITH A MINIMUM OF FOUR INCHES OF TOPSOIL.
- FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
- ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREON.



8455 College Boulevard
Overland Park, KS 66210
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FORMERLY ANDERSON ENGINEERING

CLAYTON PROPERTIES GROUP COBEY CREEK - COMMUNITY CENTER

S29, T47N, R31W
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

REVISIONS

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| 1 | REVISED PER CITY COMMENTS | 04/22/2025 |
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DRAWING INFORMATION

PROJECT NO: 21KC10060

DRAWN BY: MF

CHECK BY: JB

ISSUED FOR: OWNER REVIEW

ISSUED DATE: 02/27/2025



ISSUED BY: JEFFREY BARTZ
LICENSE NO: PE - 2012022594

A licensed Missouri
Engineering Corporation
COA 00062

SHEET TITLE ESC PHASE II & FINAL STABILIZATION

SHEET NUMBER

C107

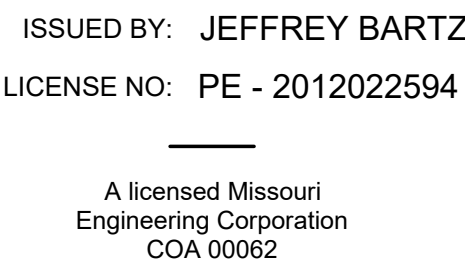
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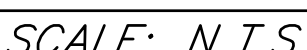
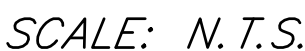
S29, T47N, R31W
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

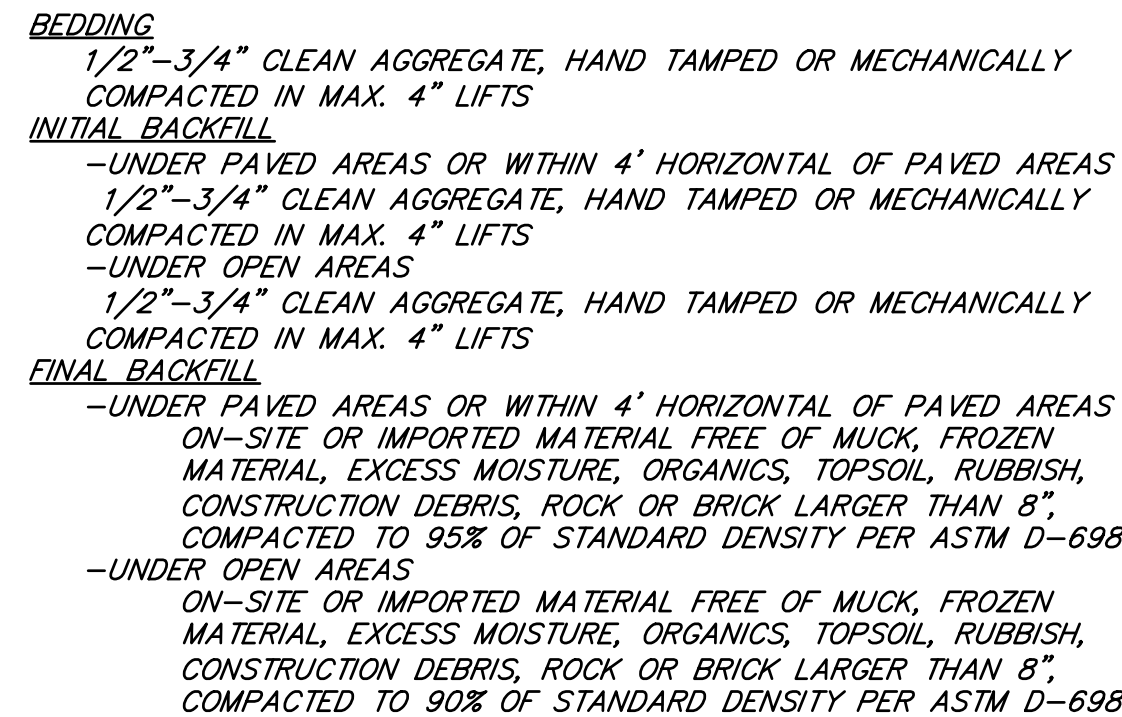
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PROJECT NO: 21KC10060
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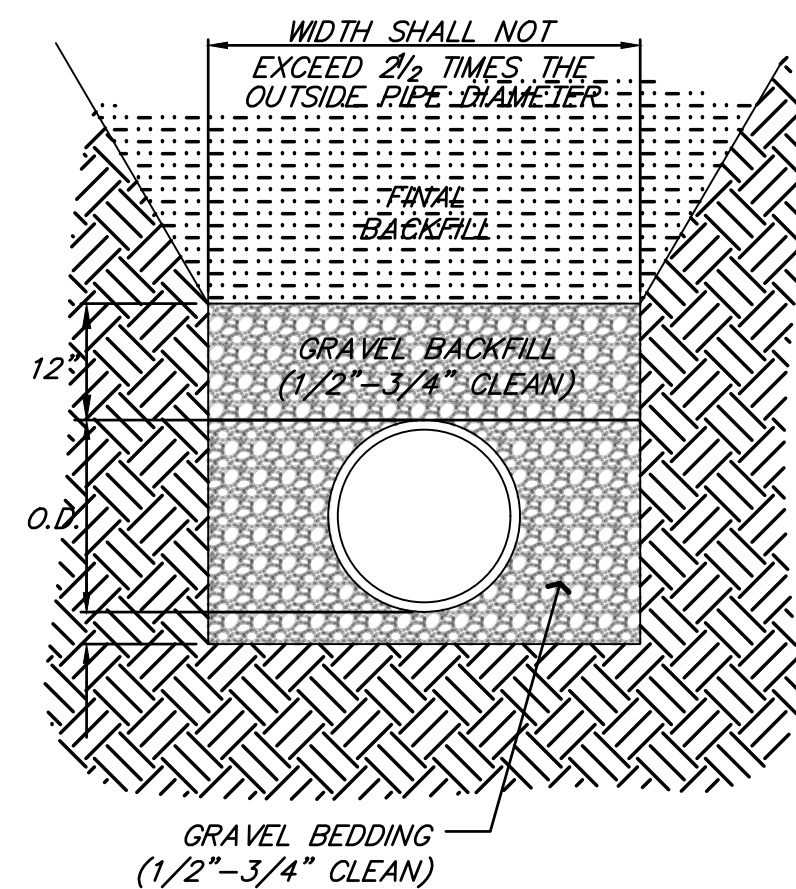


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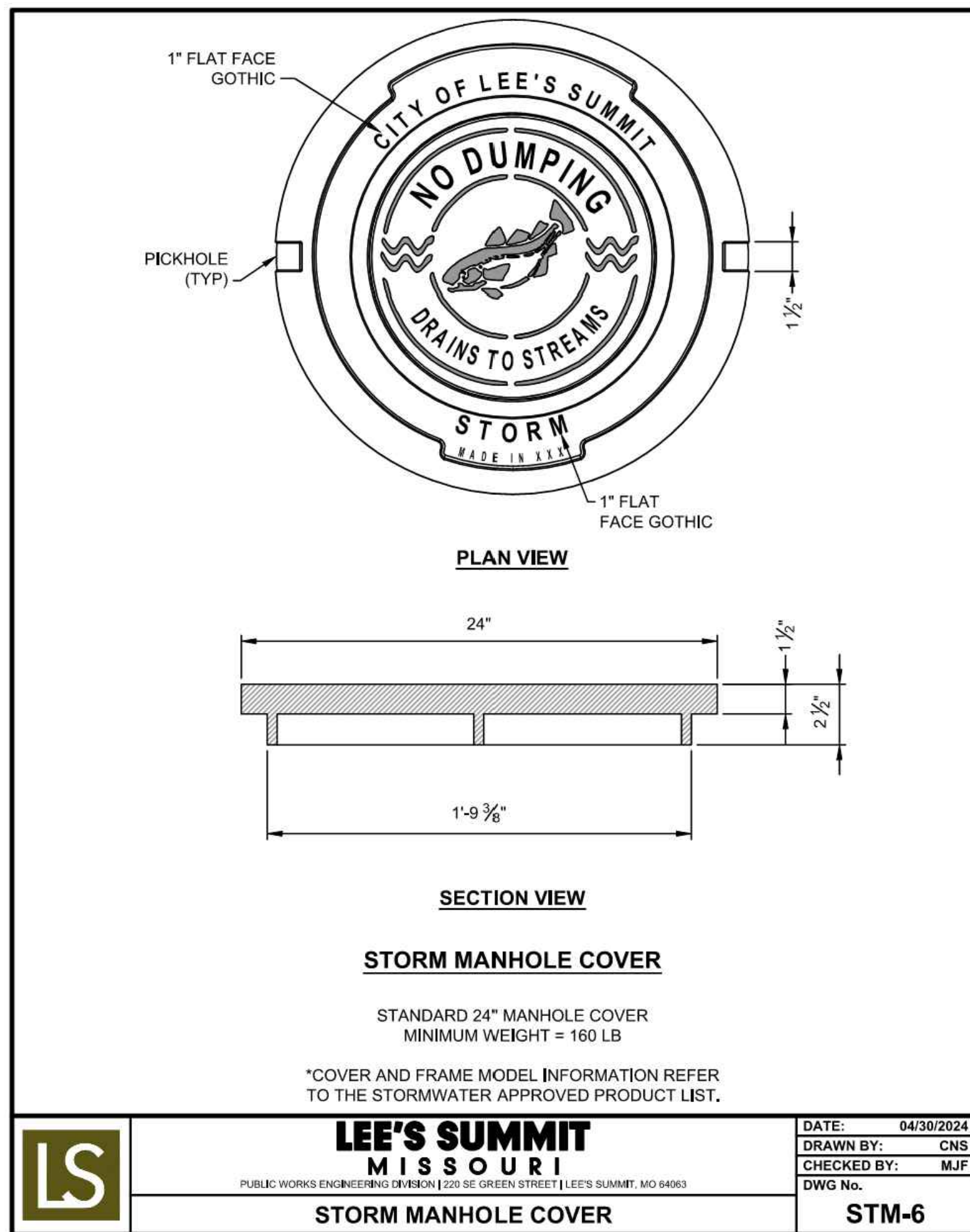
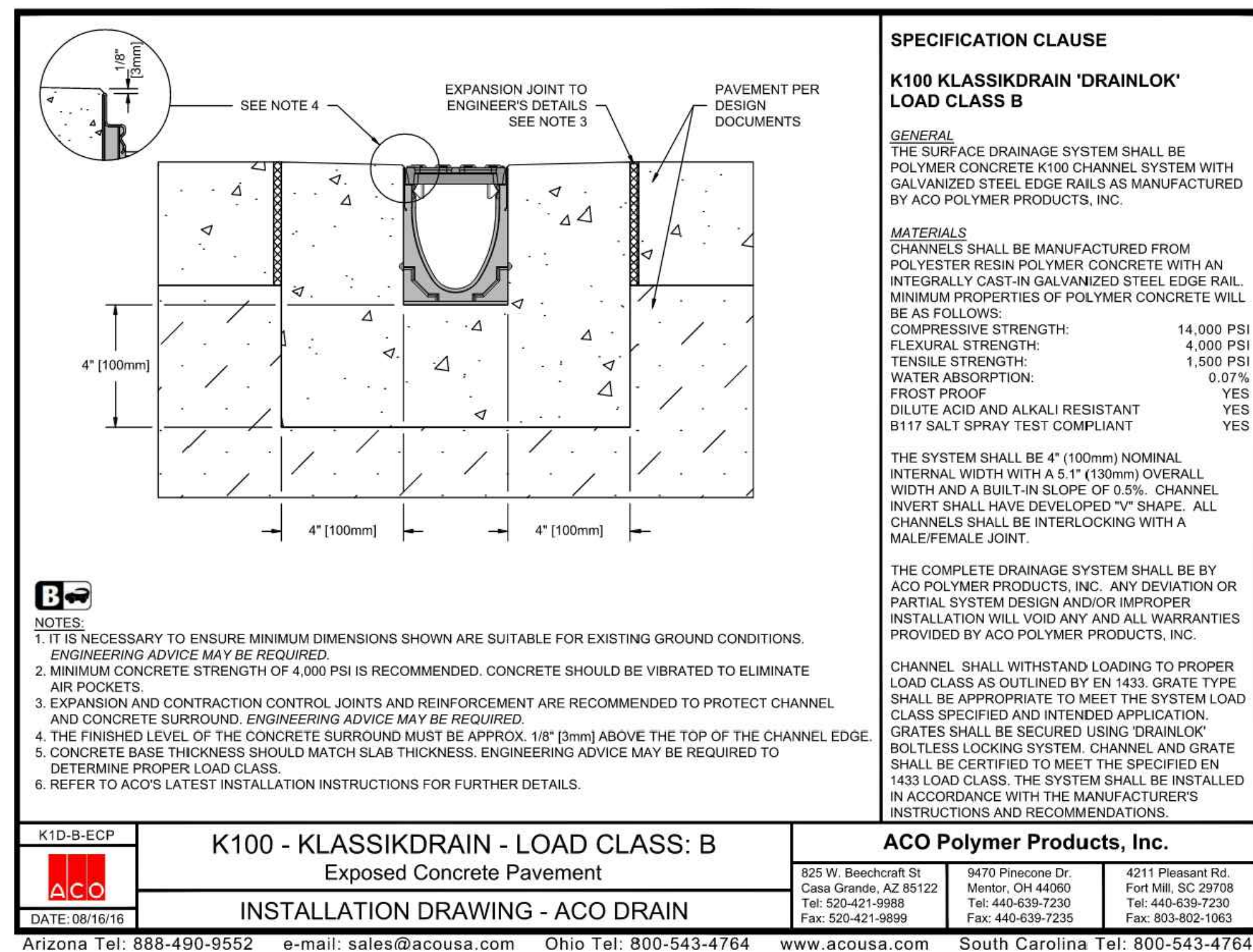




| BEDDING DEPTH BELOW PIPE | | |
|--------------------------|---------|---------|
| PIPE DIAMETER | IN SOIL | IN ROCK |
| 24" AND LESS | 4" | 6" |
| 27" THRU 60" | 4" | 9" |



PIPE BEDDING DETAIL
NOT TO SCALE



FORMERLY ANDERSON ENGINEERING

**COBEY CREEK -
COMMUNITY CENTER**

S29, T47N, R31W
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

[illegible]

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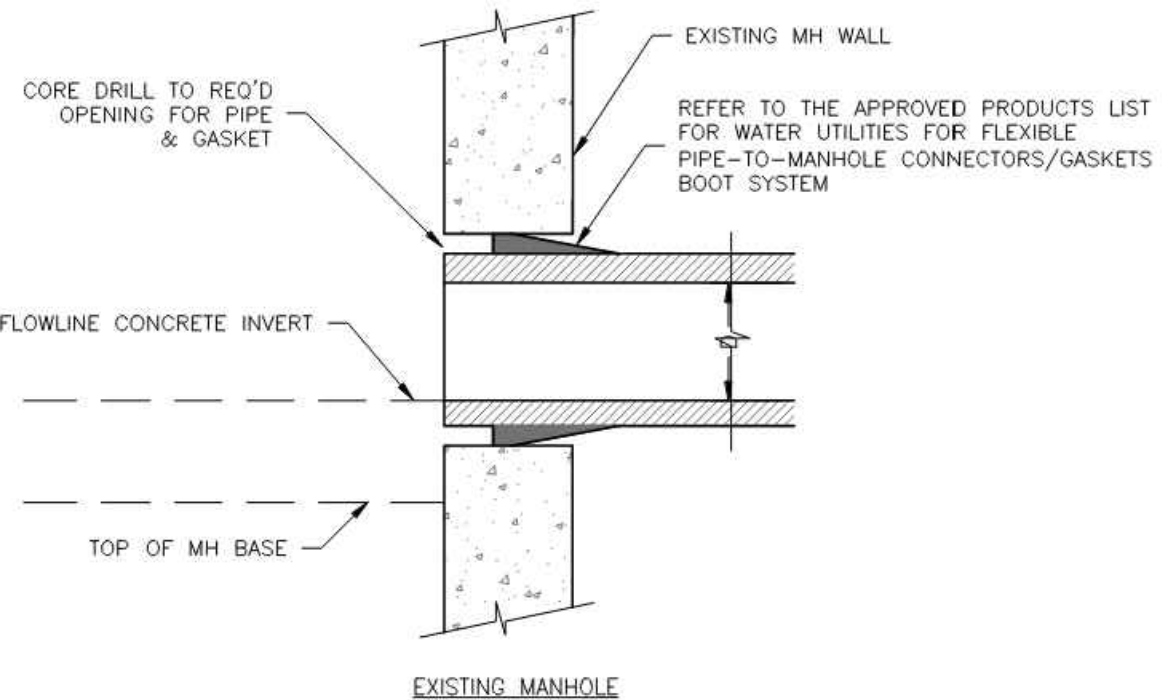
SHEET TITLE

STORM SEWER DETAILS

SHEET NUMBER

C110

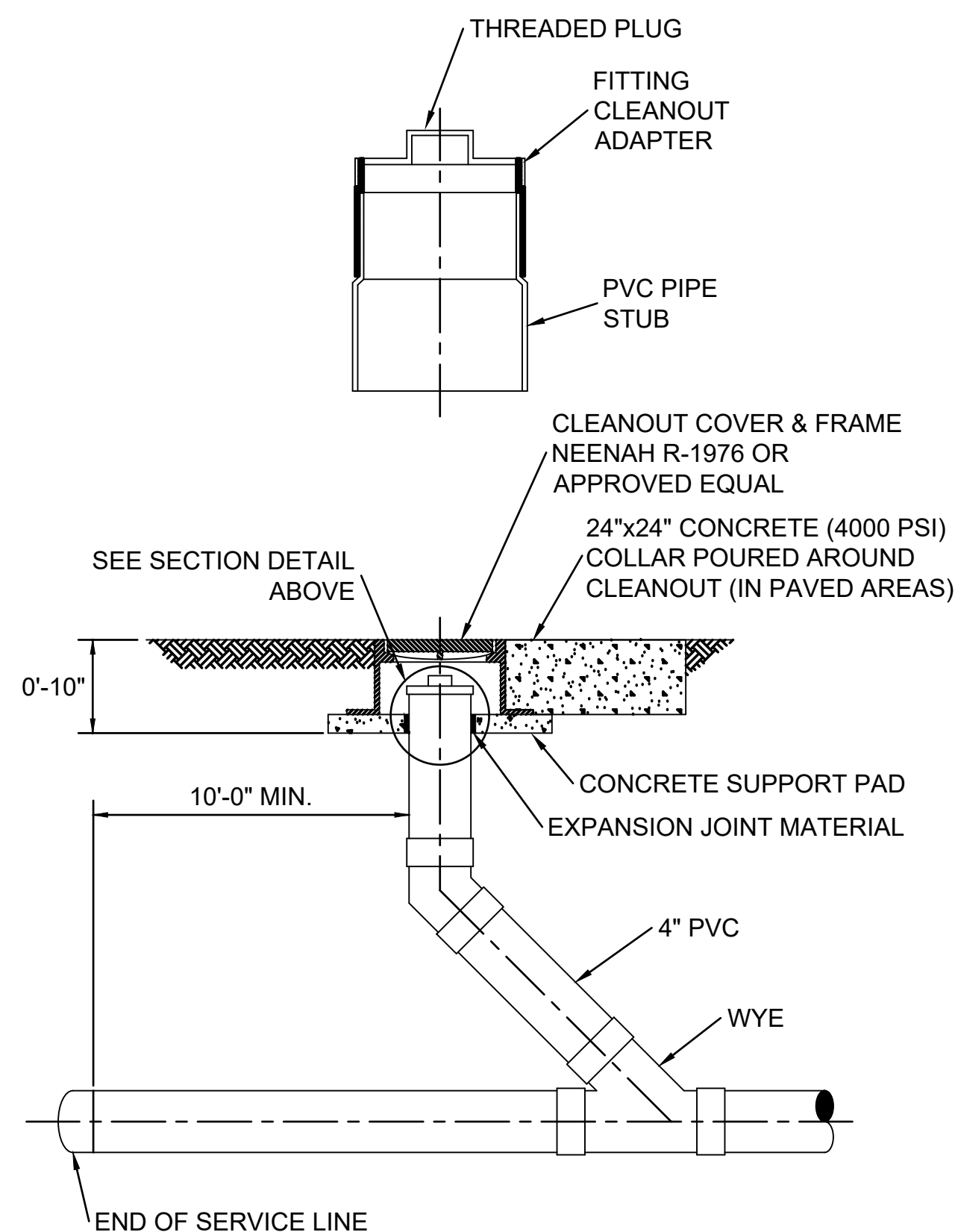
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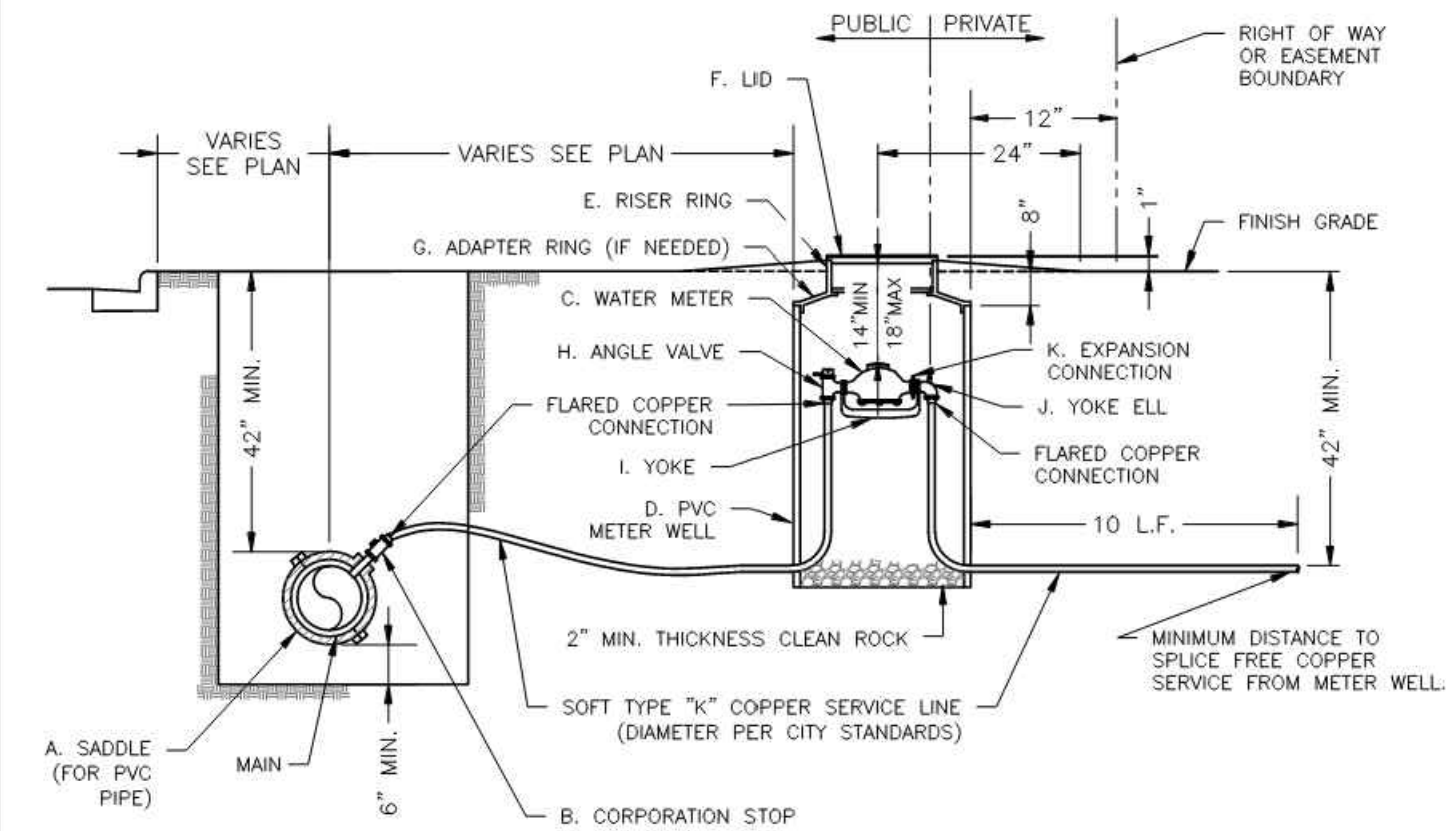
MANHOLE WALL CONNECTION

Checked By: AS

SAN-5



CLEANOUT DETAIL
NOT TO SCALE



1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
3. CITY TO FURNISH ITEMS A-K.
4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
5. 42" MINIMUM BURIED DEPTH FOR ALL SERVICE LINES.
6. EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
7. NO SPLICES ALLOWED BETWEEN METER AND MAIN.
8. SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
9. MAIN AND RISER RING SHALL BE SET SO THAT GROUNDWATER WILL DRAIN AWAY FROM THE WELL.
10. CONTACT WATER UTILITIES, 916-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2".



SERVICE CONNECTION WITH METER WELL

Checked By: KJ

WAT-11

**CLAYTON
PROPERTIES GROUP**

**COBEY CREEK -
COMMUNITY CENTER**

S29, T47N, R31W
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

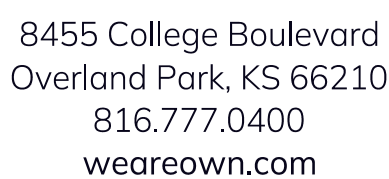
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SANITARY SEWER & WATER DETAILS

C111

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**CLAYTON
PROPERTIES GROUP**

**COBEY CREEK -
COMMUNITY CENTER**

REVISIONS

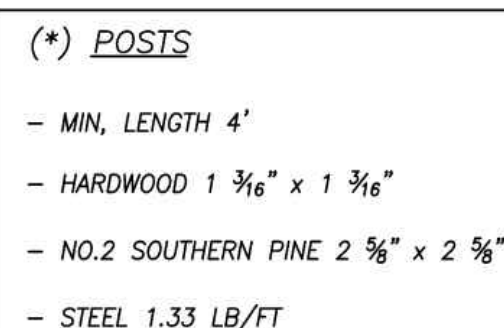
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SILT FENCE DETAILS

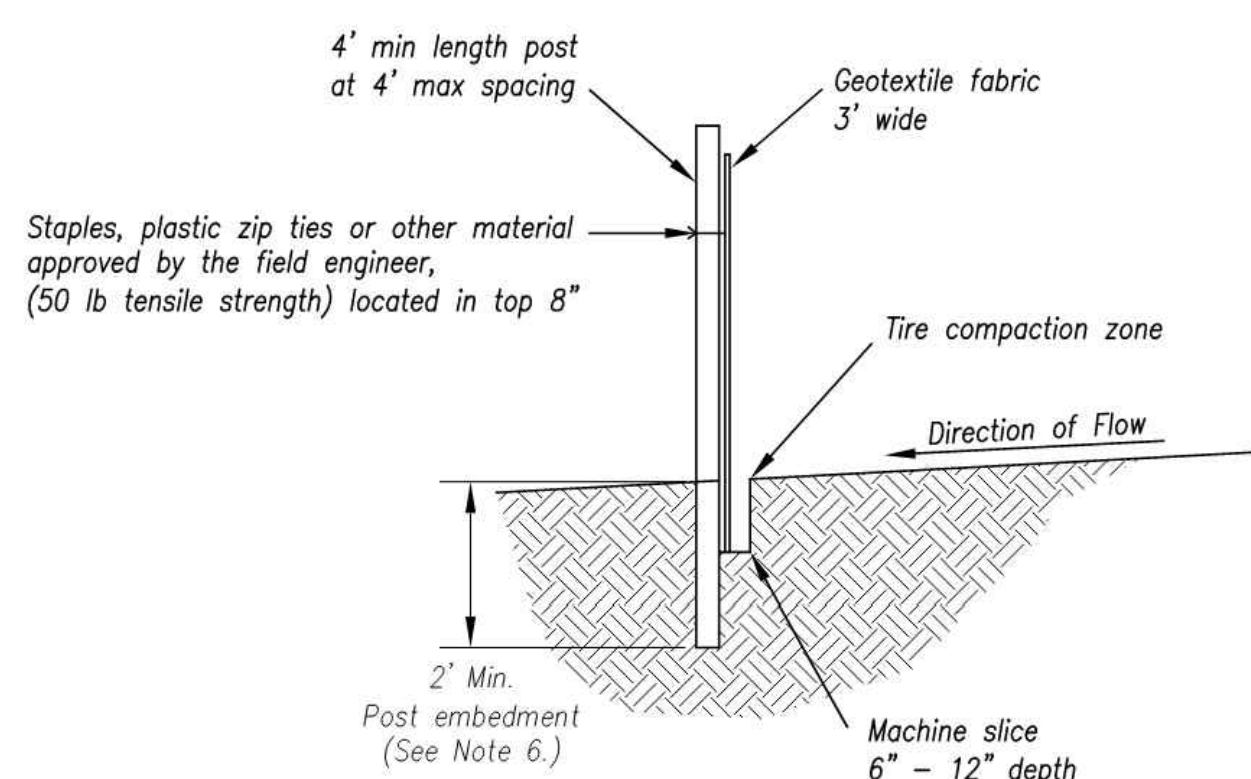
C112

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SILT FENCE DETAILS

Not to Scale



1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

1. Remove and dispose of sediment deposits when the deposit approaches $\frac{1}{3}$ the height of silt fence.
2. Repair as necessary to maintain function and structure.

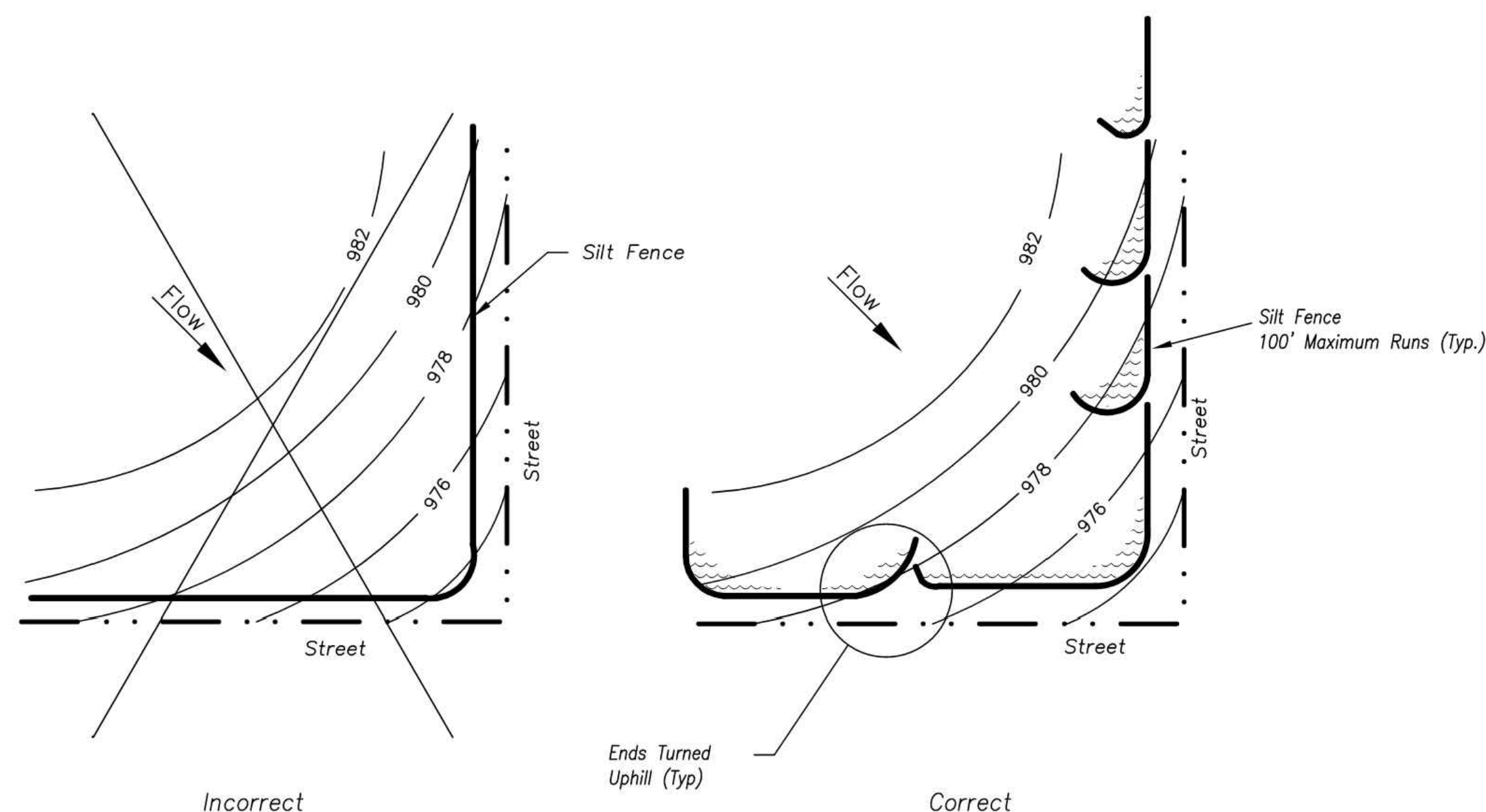
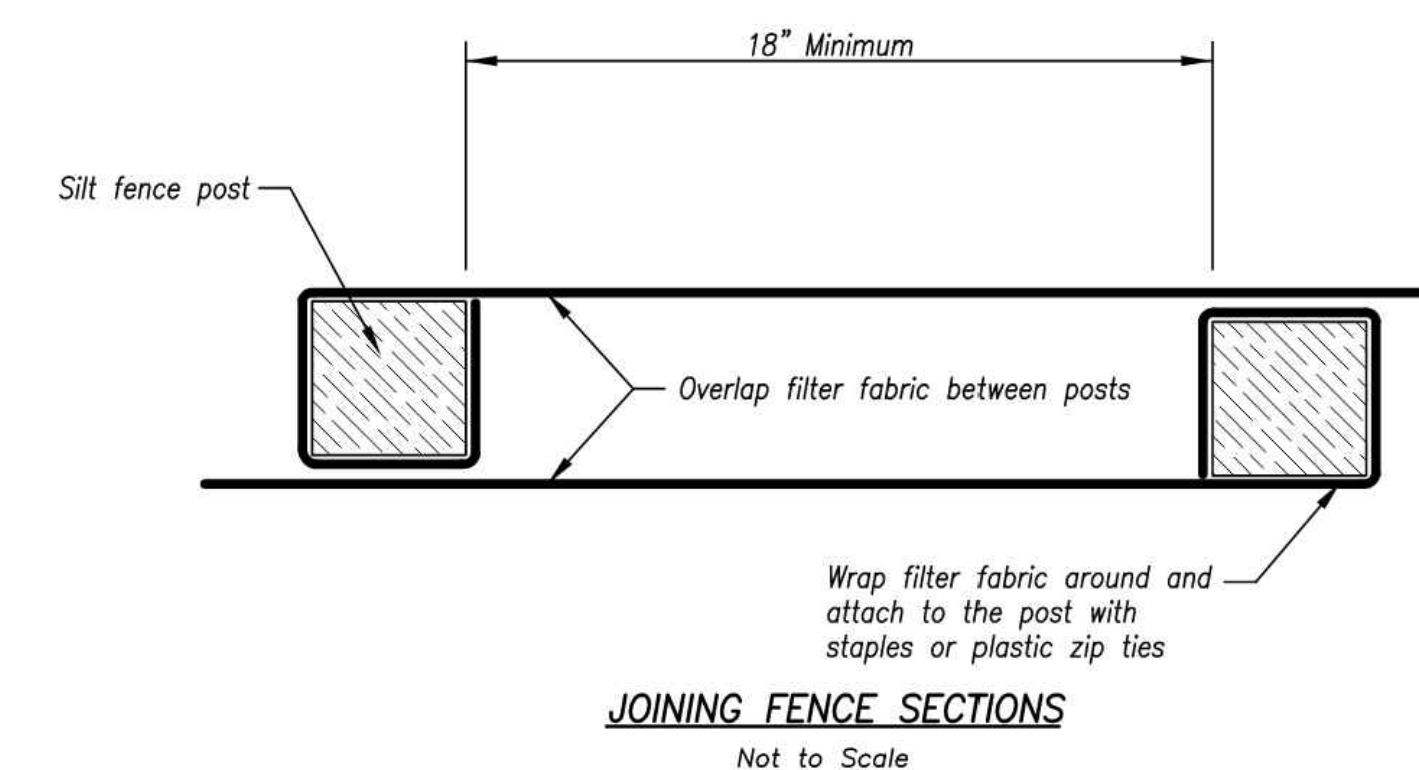
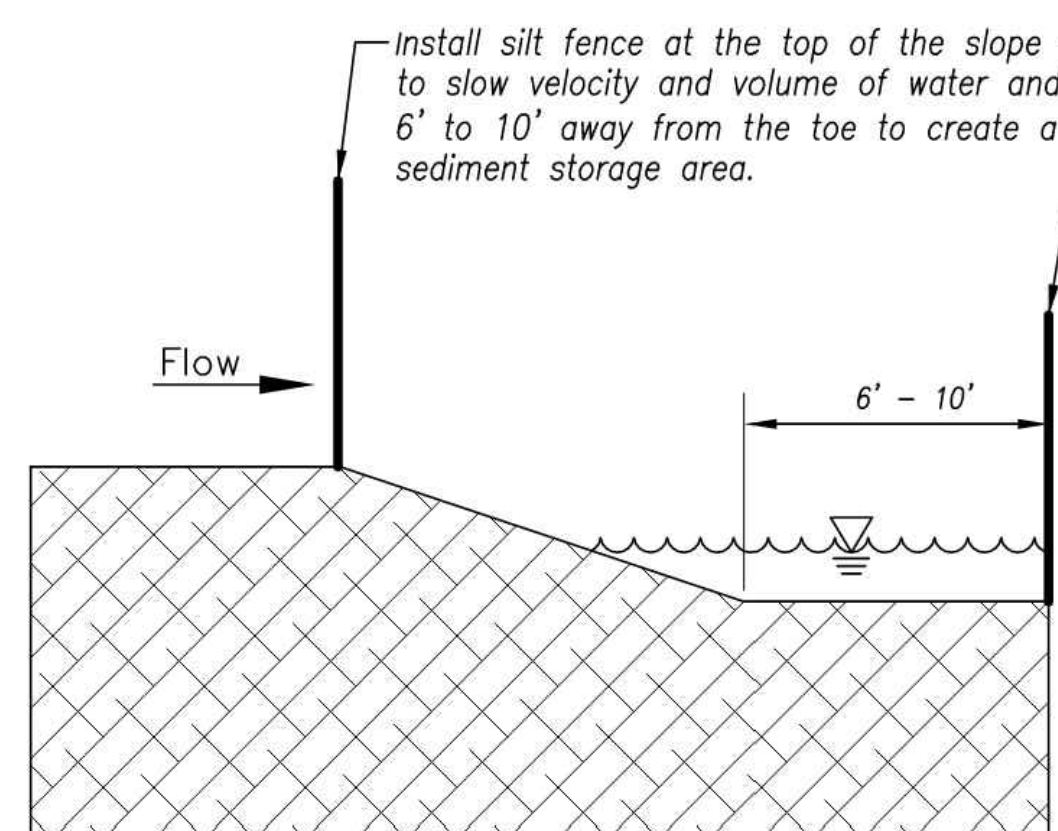



Figure A

SILT FENCE LAYOUT

Not to Scale



| | | | |
|---|--|---|--|
|  | | KANSAS CITY METRO CHAPTER | |
| SILT FENCE | | STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016 | |

CLAYTON
PROPERTIES GROUP

COBEY CREEK -
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S29, T47N, R31W
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

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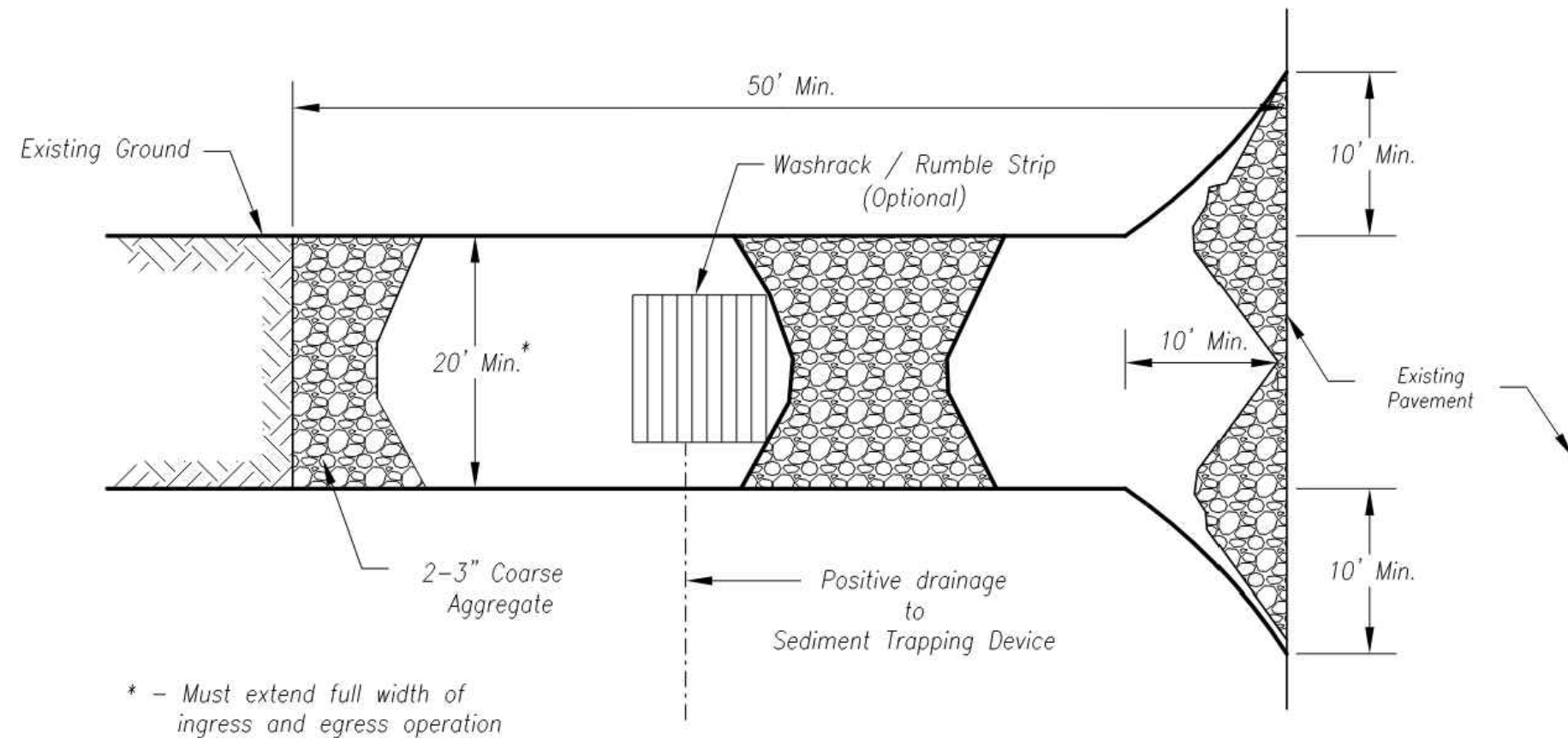
SHEET TITLE

CONSTRUCTION
ENTRANCE
DETAILS

SHEET NUMBER

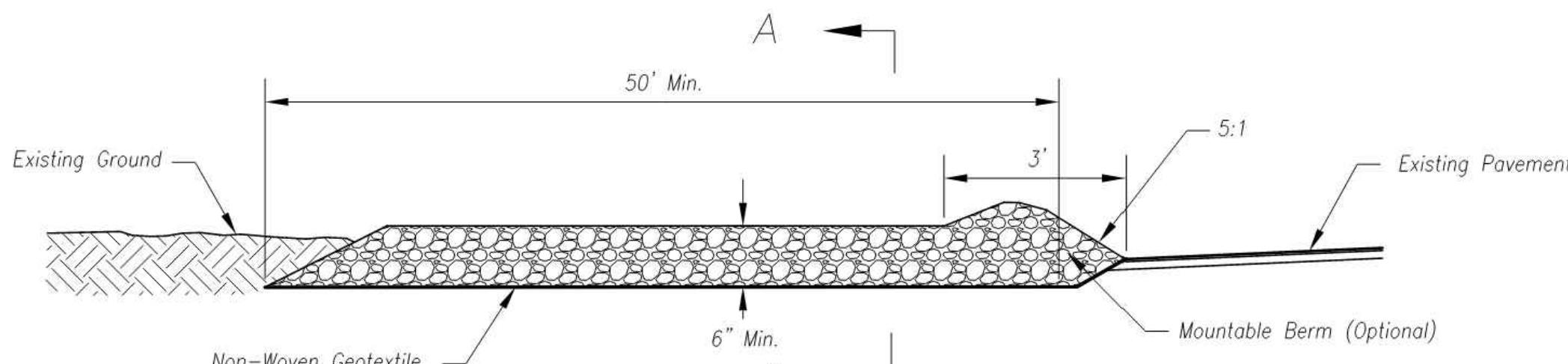
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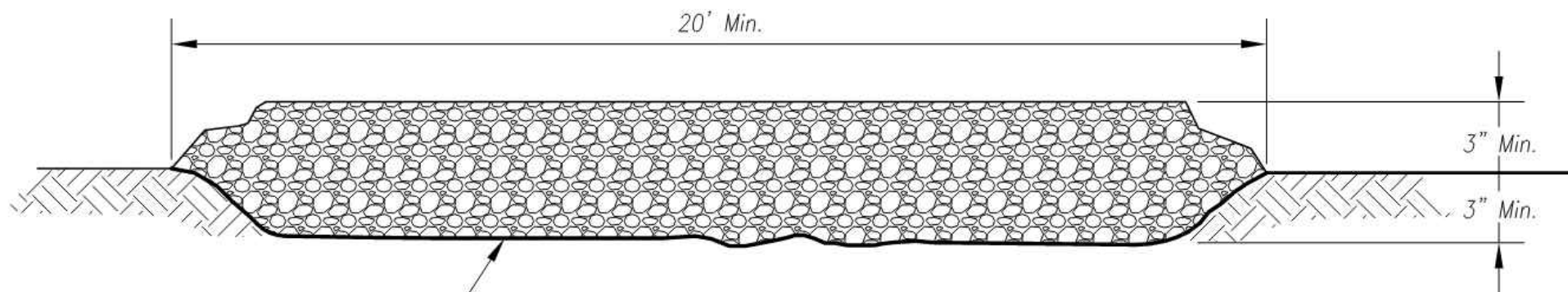
Plan View

Not to Scale



Side Elevation

Not to Scale



Section A-A

Not to Scale

Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of Installation. Top dress with clean aggregate as needed.

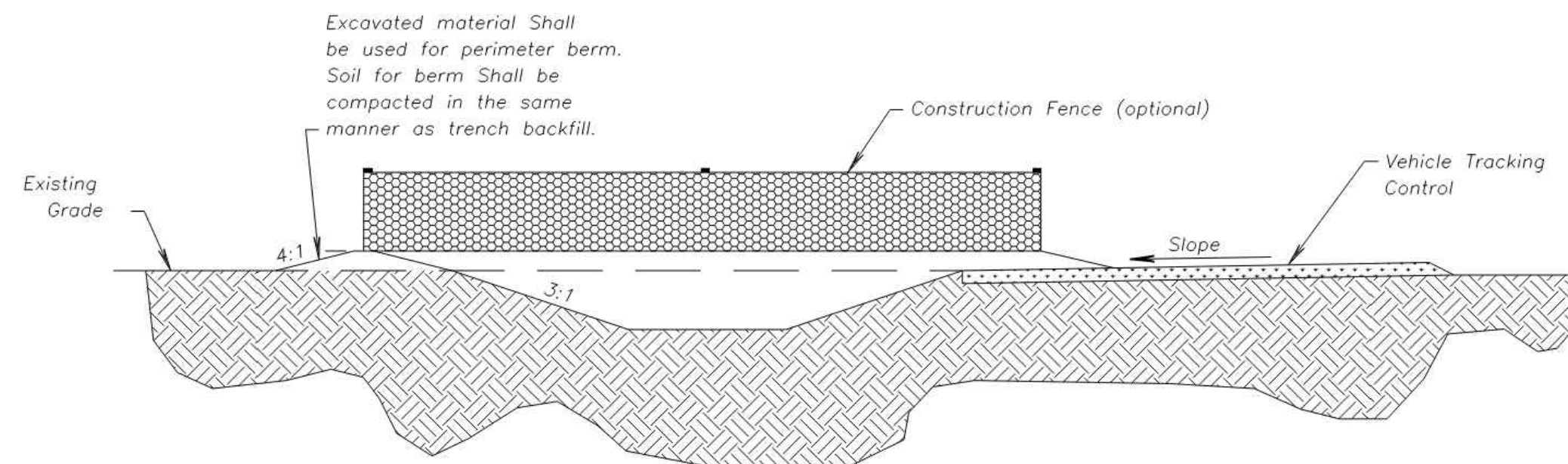
CONSTRUCTION ENTRANCE

Notes for Concrete Washout:

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION



KANSAS CITY
METRO CHAPTER

CONSTRUCTION ENTRANCE
AND CONCRETE WASHOUT

STANDARD DRAWING
NUMBER ESC-01
ADOPTED:
10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

**CLAYTON
PROPERTIES GROUP**
**COBEY CREEK -
COMMUNITY CENTER**

S29, T47N, R31W
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

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DRAWING INFORMATION

PROJECT NO: 21KC10060

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ISSUED DATE: 02/27/2025



ISSUED BY: JEFFREY BARTZ

LICENSE NO: PE - 201202594

A licensed Missouri
Engineering Corporation
COA 00062

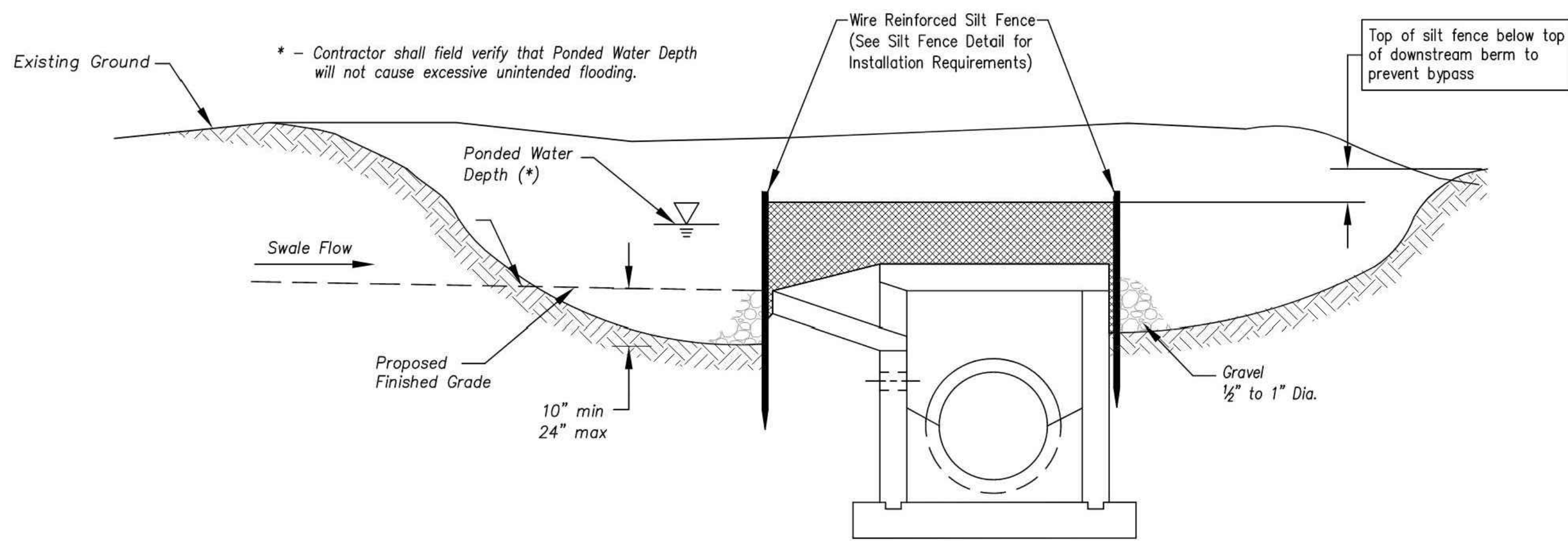
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**AREA INLET
PROTECTION
DETAILS**

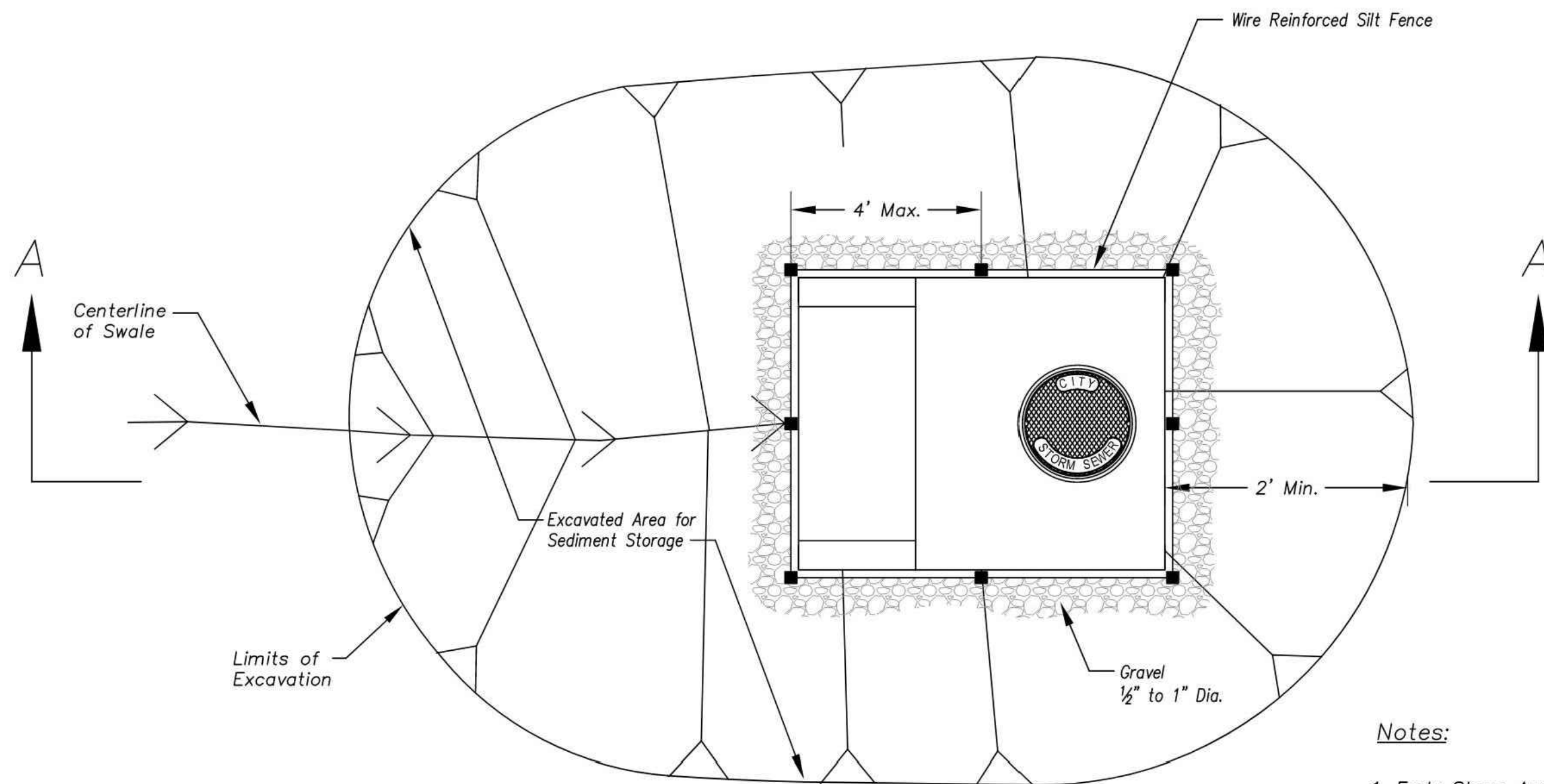
SHEET NUMBER

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Section A-A
Not to Scale

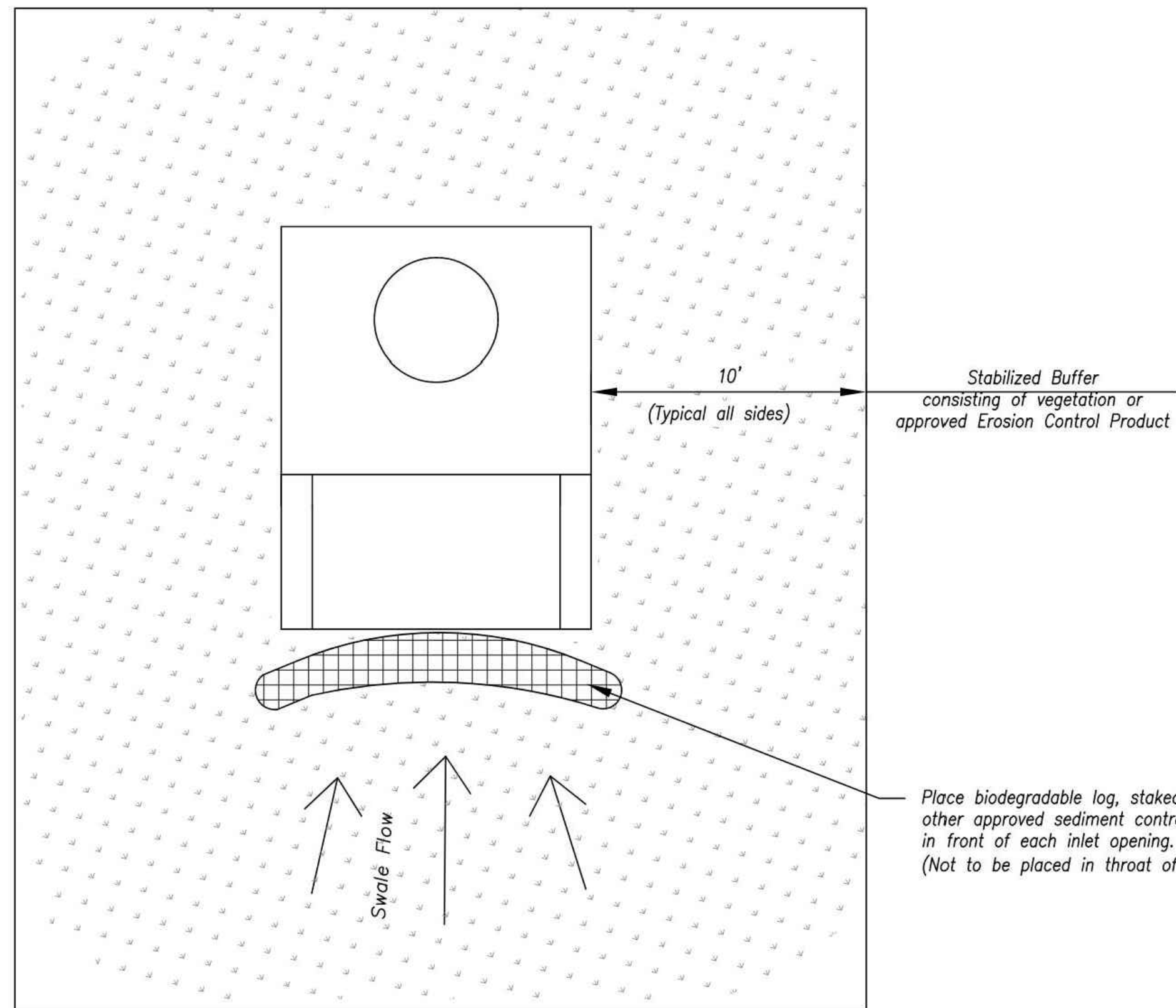


Plan
Not to Scale

EARLY STAGE AREA INLET
(All open boxes and inlets not at final grade)

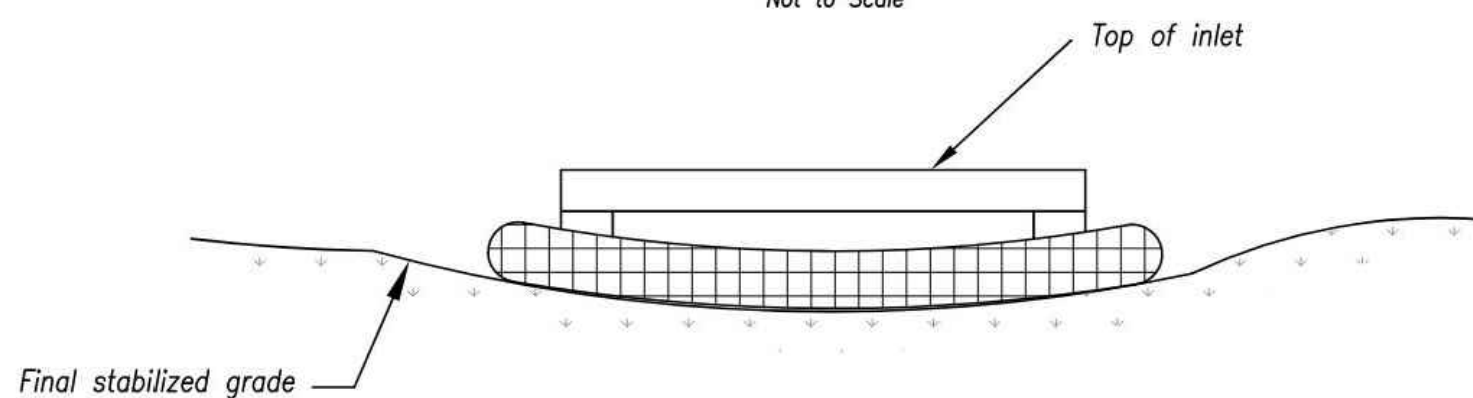
Notes:

1. Early Stage Area Inlet Sediment Barrier to be installed immediately after inlet or junction box is constructed.
2. Silt fence shall remain in place until excavated area is removed and Late Stage Area Inlet is being installed.
3. Backfill excavated area ONLY after final grading of the site. Stabilization of the site is to immediately follow.
4. Wire reinforced silt fence may be used in place of silt fence attached to wood frame.



Plan

Not to Scale



Front View

LATE STAGE AREA INLET
(Area inlets at final grade and existing inlets)

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

AMERICAN PUBLIC WORKS ASSOCIATION



KANSAS CITY
METRO CHAPTER

AREA INLET AND
JUNCTION BOX PROTECTION

STANDARD DRAWING
NUMBER ESC-07
ADOPTED:
10/24/2016

Modified from 2015 Overland Park Standard Details
for Erosion and Sediment Control.