

**NOTICE TO PROPERTY OWNERS
PLANNING COMMISSION & CITY COUNCIL**

Date Notice Sent: April 4th, 2025

Public hearings will be held on the following application during the meeting of the Planning Commission and City Council of the City of Lee's Summit as noted below.

Application#: PL2025038 **Description of Proposal:** Commercial Preliminary Development Plan

Location of the Property (Street Address): 610 NW CHIPMAN RD, LEES SUMMIT, MO 64086

(location map must also be attached)

Applicant: JAY FERGUSON

Meeting of: **Planning Commission**

Date and Time of Hearing: Thursday, April 24, 2025, 5:00 p.m.

City Council

Date and time of Hearing: Tuesday, May 20, 2025, 6:00 p.m.

Location of public hearing (check the line that applies):

City Council Chambers, City Hall, 220 SE Green St, Lee's Summit, Missouri

Other: _____
(specify location)

All interested persons are invited to attend and will have an opportunity to be heard at the public hearing.

Protest Petition: Property owners within 185 feet of the property for which the public hearing is required before the City Council shall have the opportunity to submit a protest petition. The petition shall be in conformance with the Unified Development Ordinance and shall be filed with the office of the City Clerk prior to City Council action. Staff recommends petitions be filed at least two weeks prior to the City Council hearing so the validity of the protest will be verified prior to the hearing.

For more information, contact the Development Services Department, City of Lee's Summit, at (816) 969-1200.

*This notice is to be mailed by applicant at least fifteen (15) days prior to the date of the public hearing, to the last known record owner of all property within 300 feet from the boundaries of the property for which the application is being considered.

To Applicant: An affidavit must be filed with the Development Services Department prior to the public hearing, certifying that mailed notices have been sent in accordance with Section 4.160 of the Unified Development Ordinance.

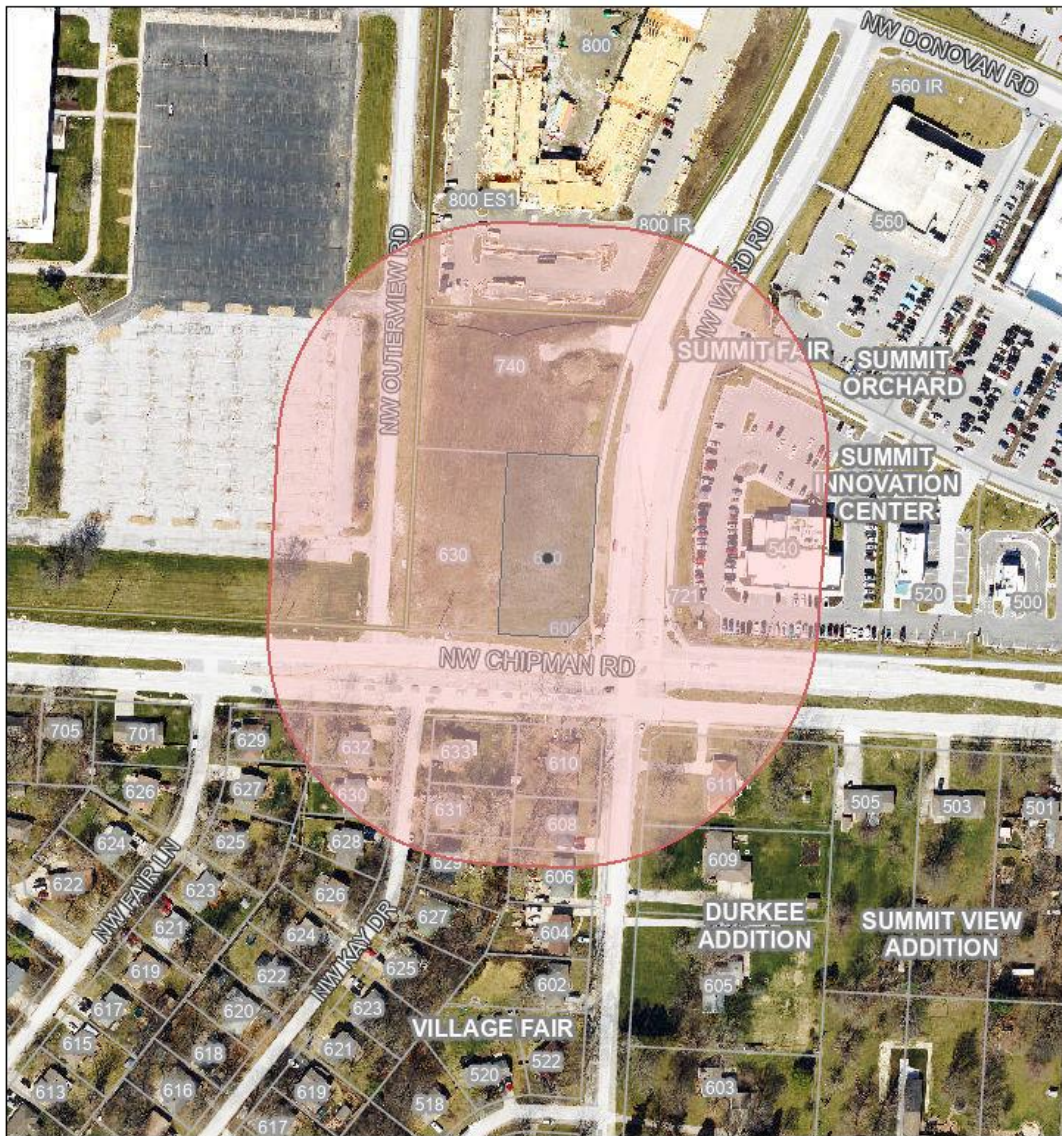


Notification Report

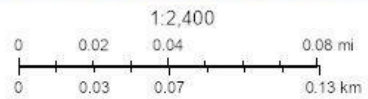
Area of Interest (AOI) Information

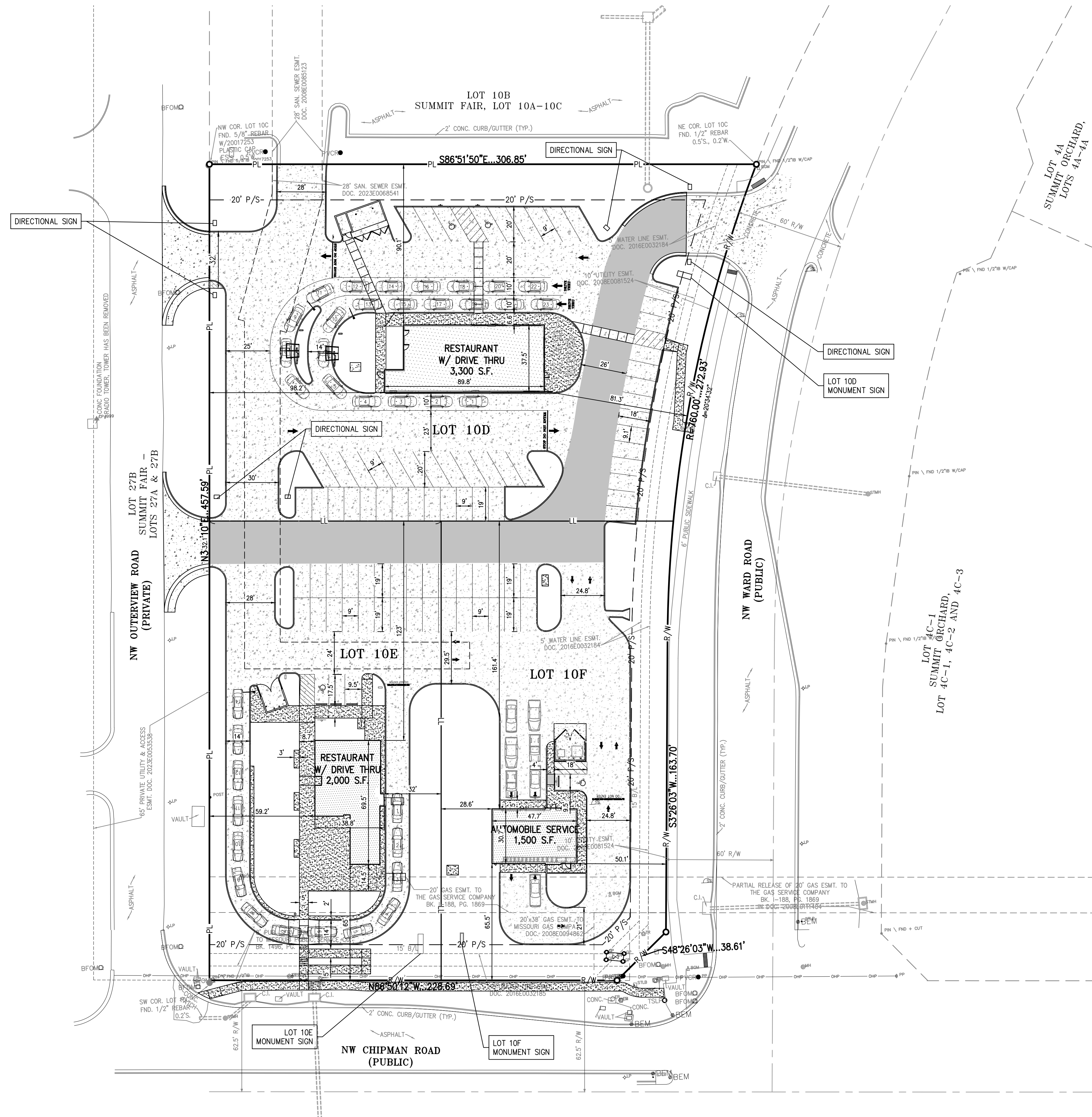
Area : 13.99 acres

Mar 4 2025 11:33:25 Central Standard Time



-  Subdivisions
-  Lees Summit Owned Parcels
-  Parcels
-  Addresses





LEGAL DESCRIPTION:
 SUMMIT FAIR, LOTS 10D-10F, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

LOT DATA TABLE

Zoning	PMIX
Lot 10D	1.28 Ac.
Lot 10E	0.77 Ac.
Lot 10F	0.74 Ac.
Total	2.79 Ac.

BUILDING SUMMARY TABLE

Lot	Use	S.F.	FAR
Lot 10D	Restaurant w/ Drive Thru	3,300 S.F.	0.0591
Lot 10E	Restaurant w/ Drive Thru	2,000 S.F.	0.0597
Lot 10F	Automobile Service	1,500 S.F.	0.0464
Approved Not Shown		5,500 S.F.	
Total Approved Building SF		12,300 S.F.	

PARKING SUMMARY

Lot	Building SF	Use	Required Parking	Parking Provided
Lot 10D	3,300 S.F.	Restaurant Fast Food and Site Down Sales	14 / 1,000 S.F.	46 Spaces
Lot 10E	2,000 S.F.	Carry out, drive up, or drive thru only	8	48 Spaces
Lot 10F	1,500 S.F.	Automobile service	2 per 1,000 S.F. indoor sales area	10 Spaces
		1 per 2,500 S.F. outdoor display		21 Spaces
		3 per service bay		3 Spaces
		Total Required Parking		6 Spaces
		Parking Provided		9 Spaces

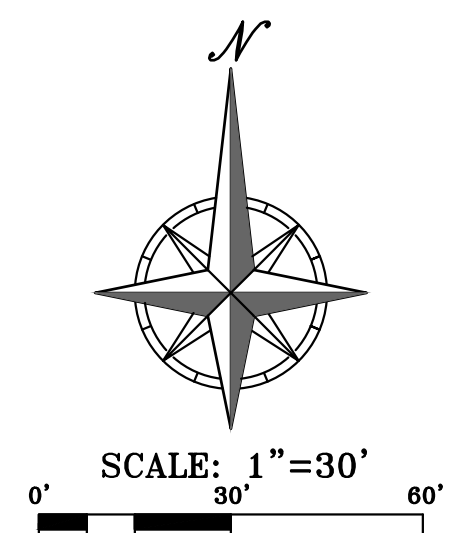
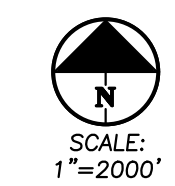
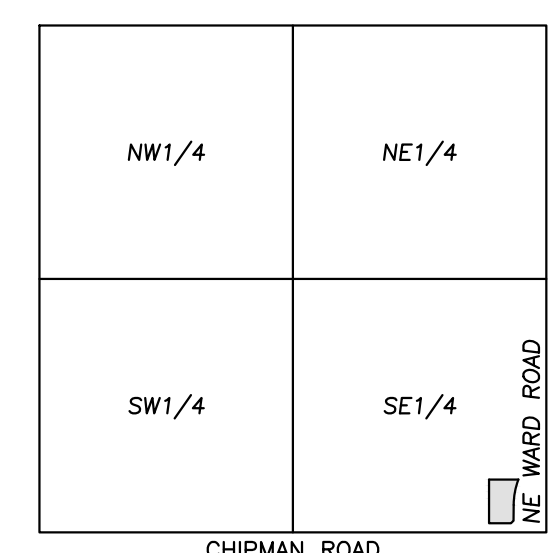
IMPERVIOUS AREA SUMMARY

Lot	Impervious Area	Open Space
Lot 10D	42,143 S.F. (76%)	13,655 S.F. (24%)
Lot 10E	22,228 S.F. (66%)	11,247 S.F. (34%)
Lot 10F	18,840 S.F. (58%)	13,469 S.F. (42%)

PERMITTED USES SUMMARY

The following uses shall be permitted on Lots 10D, 10E, and 10F.

- Retail
- Restaurant (Dine in, walk up, and drive thru)
- Commercial (including automotive oriented uses)



PHELPS ENGINEERING, INC.
 1270 N. Winchester
 Olathe, Kansas 66060
 (913) 993-1155
 Fax: (913) 993-1165
 www.pelpsengineering.com

PLANNING ENGINEERING IMPLEMENTATION

OVERALL SITE PLAN
 REVISED PRELIMINARY DEVELOPMENT PLAN FOR
 SUMMIT FAIR LOTS 10D-10F
 LEE'S SUMMIT, MISSOURI

No.	Date	By	App.	Revisions:
1.	03/25/2025	AEB	DAF	REVISED PER STAFF COMMENTS

SHEET C1

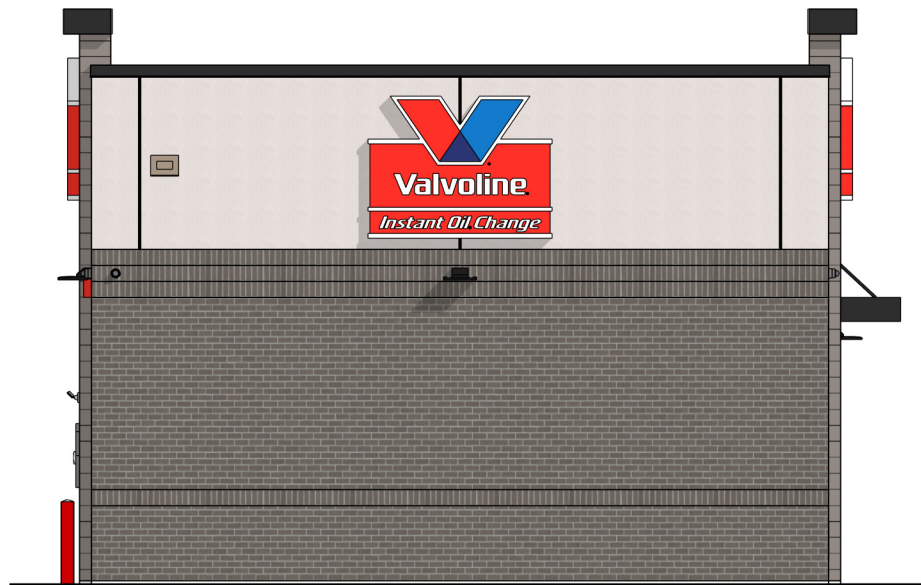


2 EXTERIOR ELEVATION (RIGHT)
Scale: 1/8" = 1'-0"



1 EXTERIOR ELEVATION (REAR)
Scale: 1/8" = 1'-0"

- T.O. TOWER ± 24' - 0"
- T.O. PARAPET ± 21' - 8"
- T.O. ACCENT BAND 14' - 0"
- B.O. ACCENT BAND 12' - 0"
- T.O. WAINSCOT 4' - 0"
- UPPER LEVEL 0' - 0"

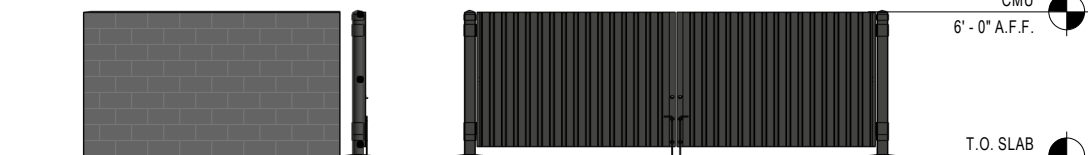


4 EXTERIOR ELEVATION (LEFT)
Scale: 1/8" = 1'-0"



3 EXTERIOR ELEVATION (FRONT)
Scale: 1/8" = 1'-0"

- FIBER CEMENT SIDING
- T.O. TOWER ± 24' - 0"
- T.O. PARAPET ± 21' - 8"
- EIFS
- BRICK (SOLDIER COURSE)
- T.O. ACCENT BAND 14' - 0"
- B.O. ACCENT BAND 12' - 0"
- METAL AWNING
- BRICK
- BRICK (SOLDIER COURSE)
- T.O. WAINSCOT 4' - 0"
- UPPER LEVEL 0' - 0"



5 TRASH ENCLOSURE ELEVATIONS
Scale: 1/8" = 1'-0"

EXTERIOR FINISHES - BRICK / BRICK / CMU

EXTERIOR INSULATED FINISH SYSTEM:	DRYVIT (SANDPEBBLE FINE) COLOR #1: #104 DOVER SKY	MASONRY SEALER:	ALL MASONRY SURFACES SHALL BE TREATED W/ SEALER.	STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES BLACK ANODIZED ALUMINUM STOREFRONT SYSTEM W/ 1" INSULATED GLAZING.
THIN BRICK:	GLEN GERY "EBONITE VELOUR THIN BRICK"	PREFABRICATED METAL CANOPY:	AWNEX INC. "SEATTLE" DESIGN PREFINISHED TO MATCH PAC-CLAD "BLACK"	TRASH ENCLOSURE:	SPLIT FACE CMU FIELD PAINTED SHERWIN-WILLIAMS SW-7050 "USEFUL GRAY". PROVIDE MOCK-UP AND VERIFY COLOR W/ OWNER.
FIBER CEMENT SIDING (TOWER):	JAMES HARDI V-GROOVE SIDING 8.25" PAINTED SW-7018 "DOVETAIL"	PARAPET CAP FLASHING:	ALUMINUM BREAK METAL PREFINISHED TO MATCH PAC-CLAD "BLACK"	GATE SYSTEM:	FIELD PAINTED SHERWIN-WILLIAMS SW-7069 "IRON ORE". PROVIDE MOCK-UP AND VERIFY COLOR W/ OWNER.
MORTAR:	LEHIGH STANDARD KIT - "CHARCOAL"	TOWER SOFFIT AND FASCIA:	PAC-CLAD SNAP EDGE EXTENDED FASCIA (12-12") PREFINISHED TO MATCH PAC-CLAD "BLACK"	O.H. DOOR FINISH:	PREFINISHED TO MATCH PAC-CLAD "BLACK"
		THRU-WALL SCUPPER:	ALUMINUM BREAK METAL - PREFINISHED TO MATCH DIMENSIONAL METALS, INC. - "BLACK"	ACCESS PANEL:	PREFINISHED TO MATCH PAC-CLAD "BLACK"

ISSUE RECORD

DATE

HFA-AE, L.T.D.

VALVOLINE INSTANT OIL CHANGE

LEE'S SUMMIT, MO.



Project No: 06-24-20062