STORM SEWER - EXISTING CABLE TV - EXISTING FIBER OPTIC CABLE - EXISTING ---- OHP_y ---- OVERHEAD POWER LINE - EXIST —— UGE_Y —— UNDERGROUND ELECTRIC - EX. GAS LINE - EXISTING WATERLINE WATERLINE - EXISTING LIGHT - EXISTING **EXISTING MANHOLE**

CLEANOUT

EXISTING SANITARY MANHOLE

EXISTING AREA INLET

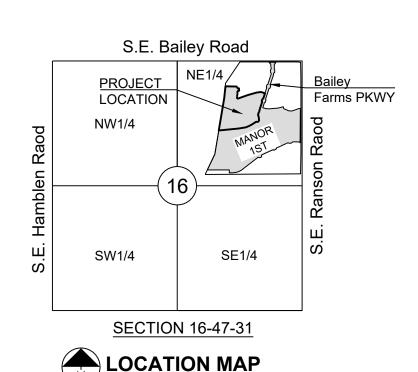
EXISTING CURB INLET

EXISTING GRATE INLET

EXISTING JUNCTION BOX

EXISTING STORM MANHOLE

PROPOSED SANITARY MANHOLE



SCALE 1" = 2000

BASIS OF BEARINGS

MISSOURI COORDINATI

SYSTEM 1983,

WEST ZONE

WATER LINE PLANS CORNERSTONE AT BAILEY FARMS, FIRST PLAT

IN THE CITY OF LEE'S SUMMIT JACKSON COUNTY, MISSOURI

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL LAYOUT
3	SITE LAYOUT
4	WATER LINE 6 PLAN AND PROFILE
5	WATER LINE 7 PLAN AND PROFILE
6	WATER LINE 9 AND 11 PLAN AND PROFILE
7	WATER LINE DETAILS

Record Drawing

UTILITY CONTACTS:

MISSOURI DEPARTMENT OF TRANSPORTATION (MODOT 600 NE Colbern Road Lee's Summit, MO 64086

MISSOURI GAS ENERGY (MGE) **Brent Jones**

3025 SE Clover Drive Lee's Summit, MO 64082 (816) 399-9633 brent.jones@spireenergy.com

KANSAS CITY POWER & LIGHT COMPANY (KCP&L) Ron Dejarnette

1300 SE Hamblin Road Lee's Summit, MO 6408 Office: (816) 347-4316 Cell: (816) 810-5234 ron.dejarnette@kcpl.com

CITY OF LEES SUMMIT PUBLIC WORKS Dena Mezger

220 SE Green Street Lee's Summit, MO 64063 (816) 969-1800

Mark Manion or Marty Lope

Kansas City, MO 64106 (816) 275-2341 or (816) 275-1550

COMCAST CABLE John Meadows 4700 Little Blue Parkway Independence, MO 64057 (816) 795-2257

CITY OF LEE'S SUMMIT WATER UTILITIES

Mark Schaufler 1200 SE Hamblen Road Lee's Summit, MO 64081 (816) 969-1900



GENERAL NOTES

- ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE

- THE CONTRACTOR SHALL PROTECT ALL MAJOR TREES FROM DAMAGE. NO TREE SHALL BE REMOVED
- WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
- ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, OR AS DIRECTED BY THE OWNER AT NO ADDITIONAL COST.
- 11. ALL EXCAVATIONS SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK
- 12. THE CONTRACTOR SHALL CONTROL THE EROSION AND SILTATION DURING ALL PHASED OF CONSTRUCTION AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS. 13. THE CONTRACTOR SHALL CONTACT DEVELOPMENT SERVICES INSPECTIONS AT: 816-969-1800 TO OBTAIN A DEVELOPMENT SERVICES CONSTRUCTION PERMIT. A MINIMUM 48 HOUR NOTICE SHALL BE GIVEN PRIOR TO
- 14. THE CONTRACTOR SHALL CONTACT THE RIGHT OF WAY INSPECTOR AT 816-969-1800 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHT OF WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TRAFFIC HANDLING MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO
- THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION). ALL SANITARY SEWER LATERALS SHALL HAVE A TRENCH CHECK, CONSISTING OF FLOWABLE BACKFILL INSTALLED DURING CONSTRUCTION. TRENCH CHECK SHALL EXTEND TO BOTTOM OF TRENCH, TO WIDTH OF TRENCH, TO 12 INCHES ABOVE PIPE, FOR A MINIMUM LENGTH OF 12 INCHES. TRENCH CHECK SHALL BE

LOCATED AT LEAST 5 FEET FROM SANITARY MAIN.

EARTHWORK

- PRIOR TO EARTHWORK ACTIVITIES, PRE-DISTURBANCE EROSION AND SEDIMENT CONTROL DEVICES SHALI BE IN PLACE PER THE STORM WATER POLLUTION PREVENTION PLAN AND/OR THE EROSION AND SEDIMENT
- ALL BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM 6-INCH LIFTS AND COMPACTED TO 95-PERCENT OF MAXIMUM DENSITY AS DEFINED USING A STANDARD PROCTOR TEST (AASHTO T99/ASTM 698).
- BACKFILL MATERIALS SHALL NOT INCLUDE ORGANIC MATTER, DEBRIS OR TOPSOIL
- LANDSCAPED AREAS TO A MINIMUM DEPTH OF 6-INCHES BELOW FINAL GRADE.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. UNLESS NOTED OTHERWISE THE FOLLOWING

- DEVICES SHALL BE PROPERLY MAINTAINED AND KEPT CLEAN OF SILT AND DEBRIS AND IN GOOD WORKING ORDER. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.

- EXISTING UTILITIES HAVE BEEN SHOWN TO THE GREATEST EXTENT POSSIBLE BASED UPON INFORMATION PROVIDED TO THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE RESPECTIVE UTILITY COMPANIES AND FIELD LOCATING UTILITIES PRIOR TO CONSTRUCTION AND IDENTIFYING ANY POTENTIAL CONFLICTS. ALL CONFLICTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY REQUIRED UTILITY RELOCATIONS. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED AT THE
- CONTRACTOR SHALL VERIFY FLOW-LINES AND STRUCTURE TOPS PRIOR TO CONSTRUCTION, AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. PROVIDE SHOP DRAWINGS FOR ALL PRECAST AND MANUFACTURED UTILITY STRUCTURES FOR REVIEW BY THE ENGINEER PRIOR TO CONSTRUCTION OF THE
- 4. UTILITY SEPARATION: WATERLINES SHALL HAVE A MINIMUM OF 10 FEET HORIZONTAL AND 2 FEET VERTICAL SEPARATION FROM ALL SANITARY AND STORM SEWER LINES. IF MINIMUM SEPARATIONS CAN NOT BE OBTAINED, DUCTILE IRON PIPE, DIP, SHALL BE REQUIRED 10 FEET IN EACH DIRECTION OF THE CONFLICT ON
- 5. PAYMENT FOR TRENCHING, BACKFILLING, PIPE EMBEDMENT, FLOWABLE FILL, BACKFILL MATERIALS, CLEAN UP, SEEDING, SODDING AND ANY OTHER ITEMS NECESSARY FOR THE CONSTRUCTION OF THE UTILITY LINE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE UTILITY INSTALLATION.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING RESPECTIVE UTILITY COMPANIES 48-HOURS IN ADVANCE FOR THE INSPECTION OF ANY PROPOSED UTILITY MAIN EXTENSION OR SERVICE LINE OR SERVICE CONNECTION TO ANY EXISTING MAIN.
- 7. TRENCH SPOILS SHALL BE NEATLY PLACED ONSITE ADJACENT TO THE TRENCH, AND COMPACTED TO PREVENT SATURATION AND EXCESS SEDIMENT RUNOFF. UNSUITABLE MATERIALS, ROCK AND SHALE, ASPHALT, CONCRETE, TREES, BRUSH ETC. SHALL BE PROPERLY DISPOSED OF OFFSITE. MATERIALS MAY BE WASTED ONSITE AT THE DIRECTION OF THE OWNER OR HIS APPOINTED REPRESENTATIVE.

APPROVED BY

CITY ENGINEER APPROVED FOR ONE YEAR FROM THIS DATE

OWNER/DEVELOPER

CLAYTON PROPERTIES GROUP, INC., DBA SUMMIT HOMES DBA SUMMIT HOMES BRADLEY KEMPF 120 SE 30TH STREET

LEE'S SUMMIT, MO 64082

p (816) 246-6700

SUMMARY OF QUANTITIES ITEM QUANTITY UNITS CONNECT TO EXISTING WATER LINE EΑ 2 FIRE HYDRANT ASSEMBLY EΑ 3 END OF LINE TEMPORARY FIRE HYDRANT ASSEMBLY EΑ 4 REMOVE AND RELOCATE TEMPORARY FIRE HYDRANT ASSEMBLY EA 5 8" C-900 PVC 2,010 LF 6 8" GATE VALVE EA 7 8" X 8" TEE EΑ 8 8" 11.25° PVC BEND EΑ EΑ 9 8" 22.5° PVC BEND 10 8" 45° PVC BEND EA

New City Requirements:

Flowable fill required per City specifications at all water structures.

RECORD DRAWING

The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information obtained by Schlagel and Associates.

"100.00 100.10", "1.00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Date: 3/19/2025 Certified by: JLL Title: Senior Project Engineer Firm: Schlagel and Associates, P.A.

BENCHMARK:

ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE

ELEV. = 939.19

MISSOURI GEOGRAPHIC REFERENCE SYSTEM

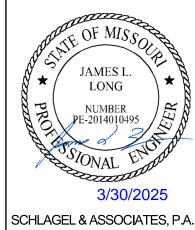
BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

PROJECT BENCHMARK:

Brass Disk at the Northeast Corner of the Northeast One-Quarter of Section 16, Township 47 N, Range 31 W. Intersection of SE. Bailey Road and SE. Ranson





TONE

COVER SHEET



BASIS OF BEARINGS:

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

NOTES:

- 1. ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- 3. FOR ALL WATER LINES THE MAXIMUM DEPTH OF COVER IS SEVEN (7) FEET.

STREET LEGEND:

RESIDENTIAL LOCAL

RECORD DRAWING

Date: 3/19/2025 Certified by: JLL

Title: Senior Project Engineer Firm: Schlagel and Associates, P.A.

The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based

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on information obtained by Schlagel and Associates.

JAMES L. LONG SCHLAGEL & ASSOCIATES, P.A.

PREPARED BY:

ROAD SE RANSON F , MISSOURI

 \cap

GENERAL LAYOUT

SHEET

SCALE: 1" = 100'



BASIS OF BEARINGS:

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

NOTES:

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 FOR ALL WATER LINES THE MAXIMUM DEPTH OF COVER IS SEVEN (7) FEET.

STREET LEGEND:

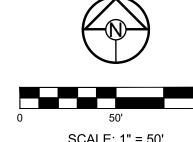
RESIDENTIAL LOCAL

RECORD DRAWING

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Date: 3/19/2025 Certified by: JLL Title: Senior Project Engineer
Firm: Schlagel and Associates, P.A.



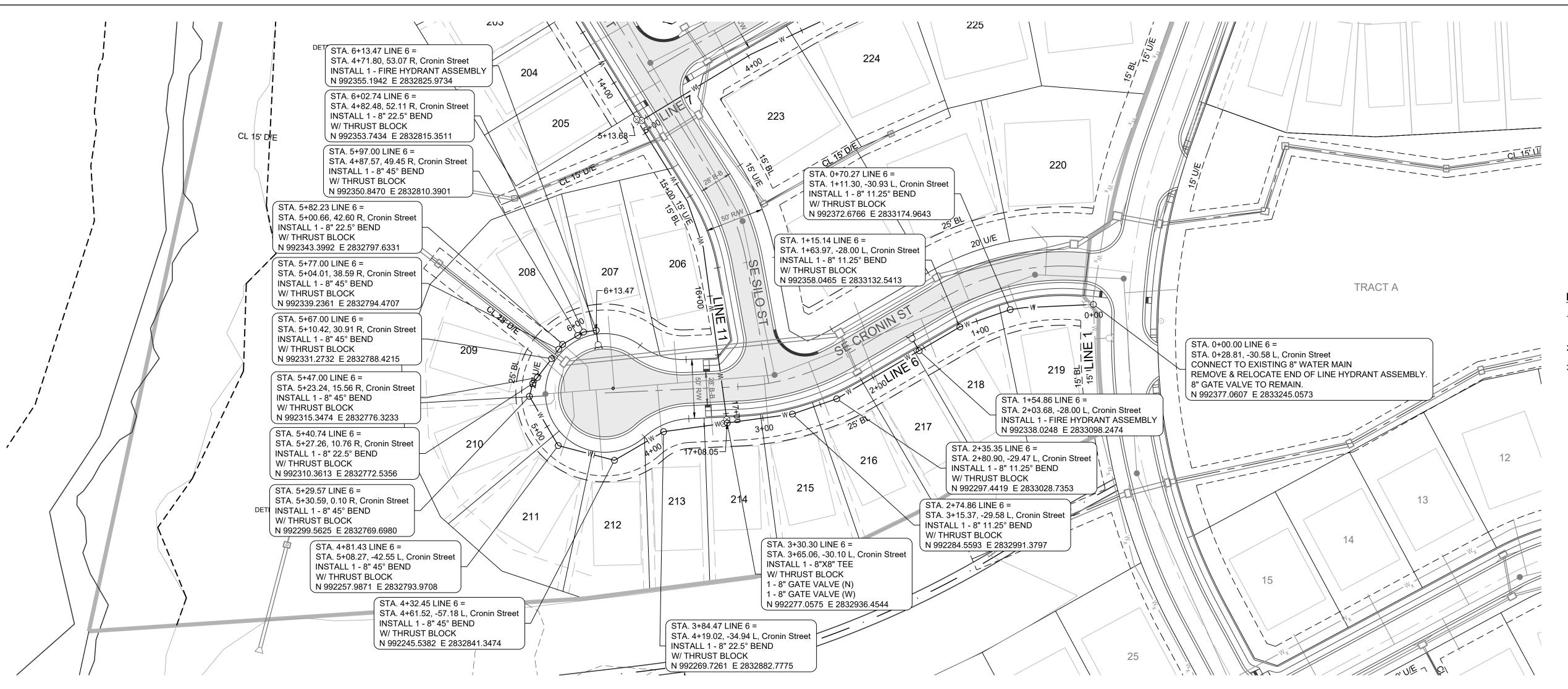
SCALE: 1" = 50'

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

SE RANSON ROAD MISSOURI

SITE LAYOUT



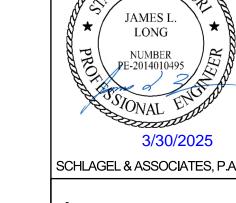
PROJECT BENCHMARK:

Brass Disk at the Northeast Corner of the Northeast One-Quarter of Section 16, Township 47 N, Range 31 W. Intersection of SE. Bailey Road and SE. Ranson

ELEV. = 939.19

NOTES:

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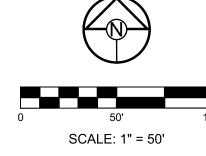


SUMMI

 $\mathbf{\Omega}$

CORNERSTONE AT BAIL
WATER LIN

PREPARED BY:



1050 1040 1030 STA. 5+82, LIN INSTALL 1-8"- 22.5° BEI TOP OF PIPE: 1020 PROPOSED GRADE 1010 -FL:1006.94 CENTER SECTION OF INSTALL MIN. 18" OF SOIL - EXISTING GRADE 1000 PIPE OVER STORM ABOVE PIPE PRIOR TO 36" Storm SEWER TRENCHING AND FL=1001.35 INSTALLATION 990 970 970 613.47' - 8" C-900 PVC PIPE

3+00

2+00

7+00

6+00

5+00

4+00

LINE 6

1" = 50' HORIZ. 1" = 10' VERT.

0+00

1+00

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pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Date: 3/19/2025 Certified by: JLL Title: Senior Project Engineer Firm: Schlagel and Associates, P.A.

RECORD DRAWING

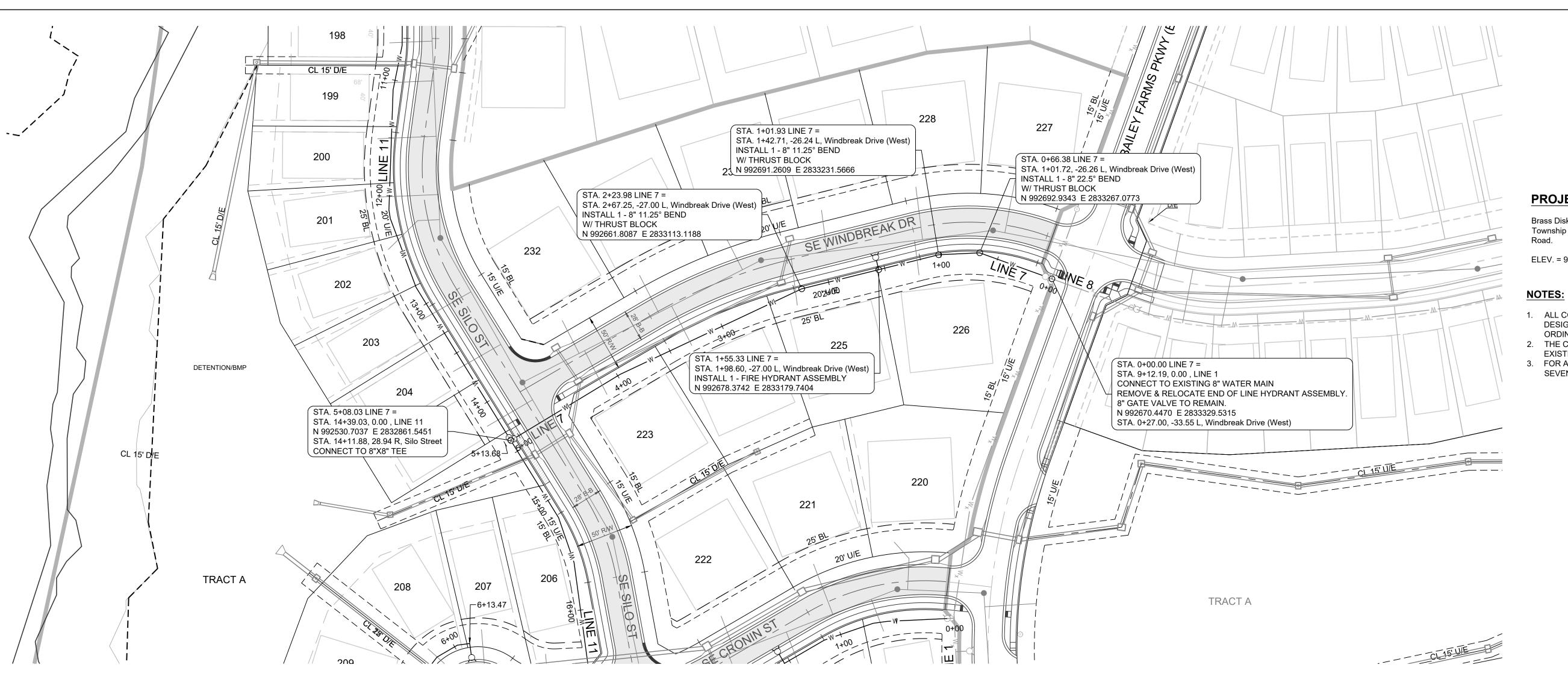
"100.00 100.10", "1.00% 1.15% slope", or "8-inch HDPE PVC

SHEET

WATER LINE 6

PLAN AND

PROFILE



LINE 7

508.00' - 8" C-900 PVC PIPE

2+00

1+00

3+00

EXISTING GRADE -

PROPOSED GRADE -

CENTER SECTION OF

PIPE OVER STORM

SEWER

4+00

18" Storm

_10" Sanitary

FL=1000.93

FL=1007.00

FL:1009.96-

5+00

FL:1010.68-

1020

1000

6+00

1" = 50' HORIZ

1" = 10' VERT.

1030

1020

1010

1000

970

Record Drawing

PROJECT BENCHMARK:

Brass Disk at the Northeast Corner of the Northeast One-Quarter of Section 16, Township 47 N, Range 31 W. Intersection of SE. Bailey Road and SE. Ranson

ELEV. = 939.19

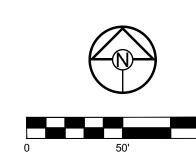
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- 3. FOR ALL WATER LINES THE MAXIMUM DEPTH OF COVER IS SEVEN (7) FEET.

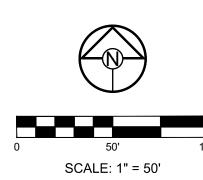
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Date: 3/19/2025 Certified by: JLL Title: Senior Project Engineer
Firm: Schlagel and Associates, P.A.





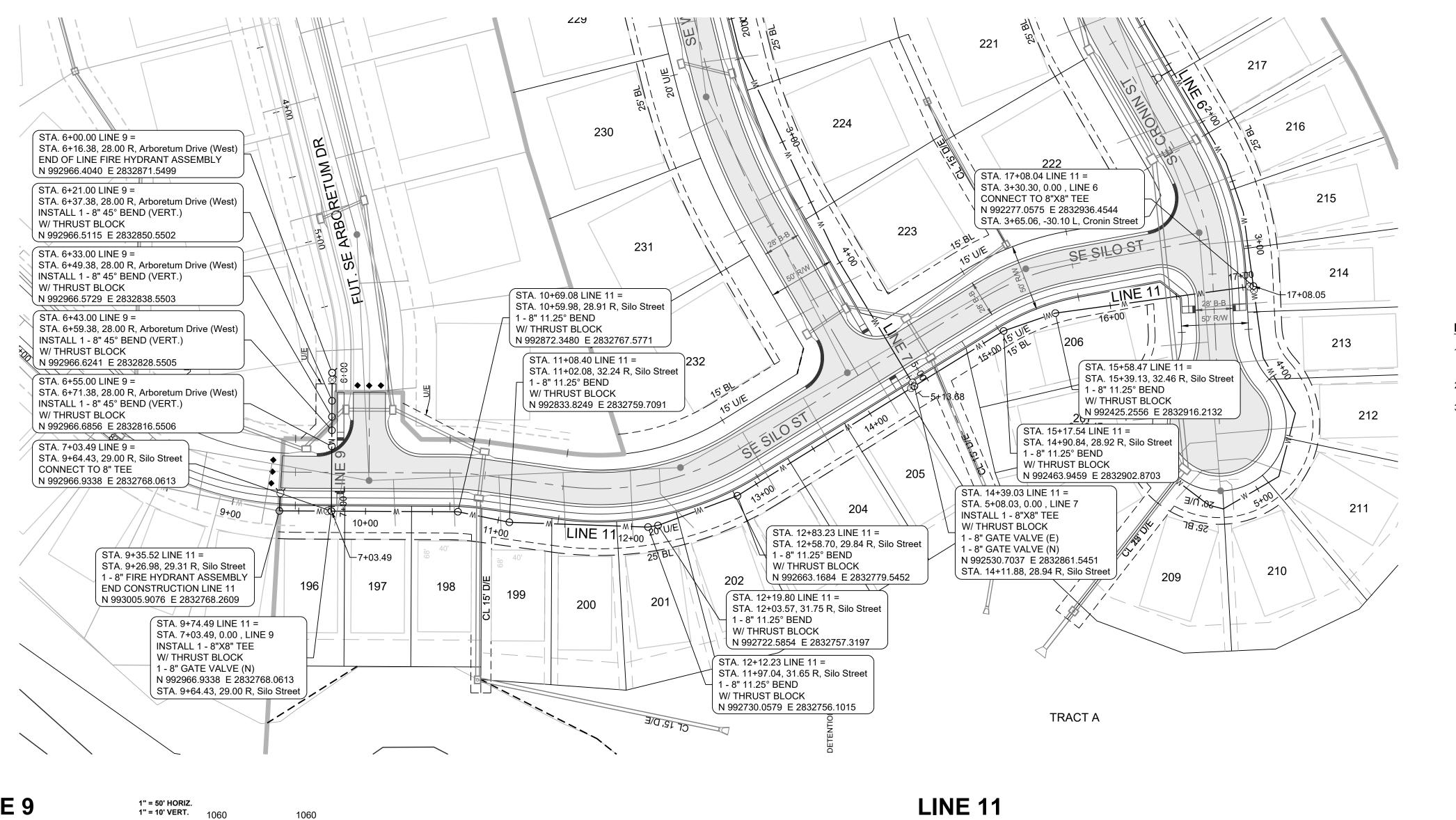
PREPARED BY: JAMES L. LONG

3/30/2025

SCHLAGEL & ASSOCIATES, P.A.

SE RANSON I MISSOURI CORNERSTONE AT BAIL WATER LII

WATER LINE 7 PLAN AND PROFILE



PROJECT BENCHMARK:

Brass Disk at the Northeast Corner of the Northeast One-Quarter of Section 16, Township 47 N, Range 31 W. Intersection of SE. Bailey Road and SE. Ranson

ELEV. = 939.19

NOTES:

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Date: 3/19/2025
Certified by: JLL
Title: Senior Project Engineer
Firm: Schlagel and Associates, P.A.

1030

1020

1010

1000

18+00

FL:1008.43

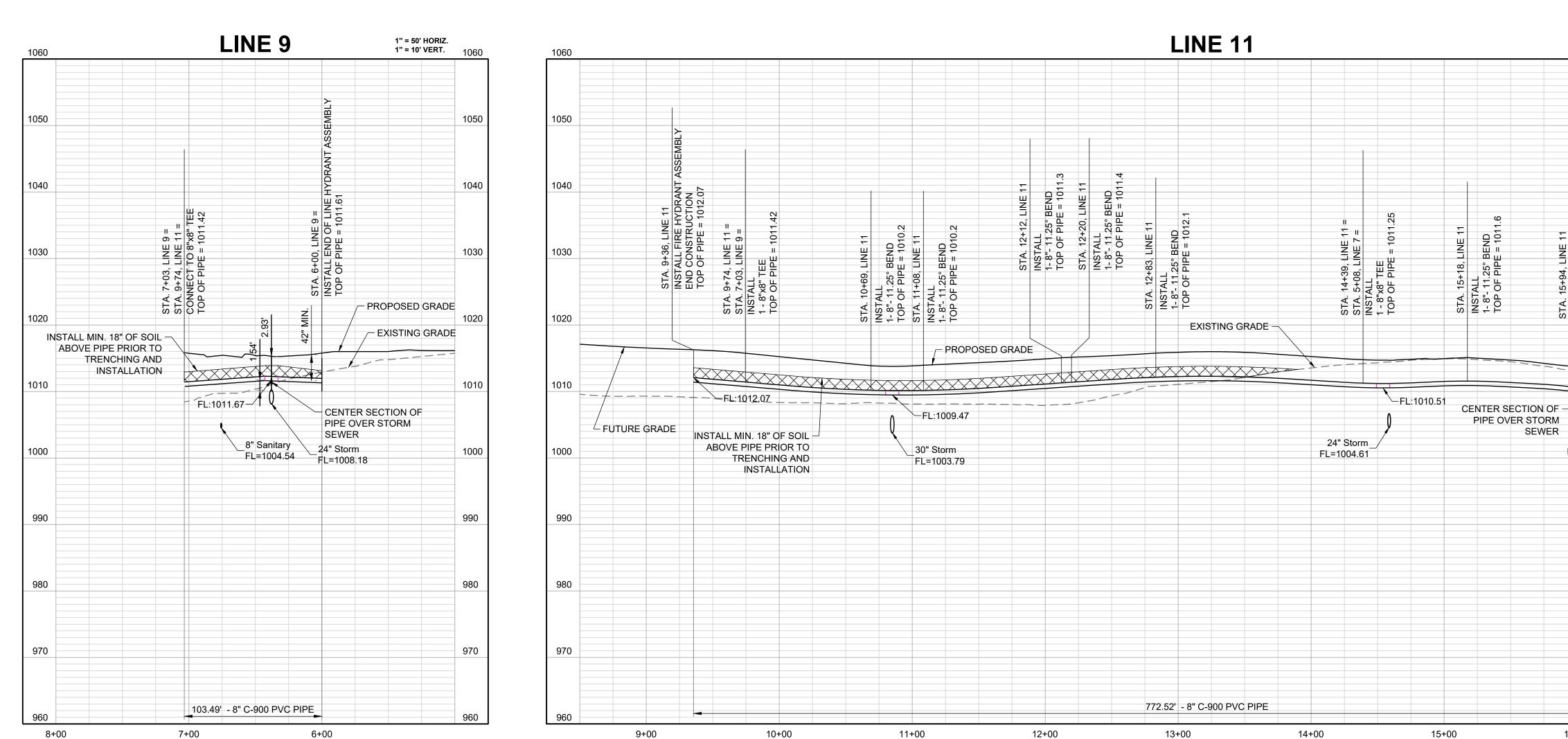
17+00

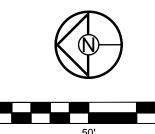
−FL:1008.94

36" Storm_ FL=1003.41

16+00

8" Sanitary _ FL=1000.07 1" = 50' HORIZ. 1" = 10' VERT.





SCALE: 1" = 50'

CORNERSTONE AT BAILEY FARMS, FIRST PLA WATER LINE PLANS SE BAILEY ROAD AND SE RANSON ROAD LEE'S SUMMIT, MISSOURI

PREPARED BY:

JAMES L.

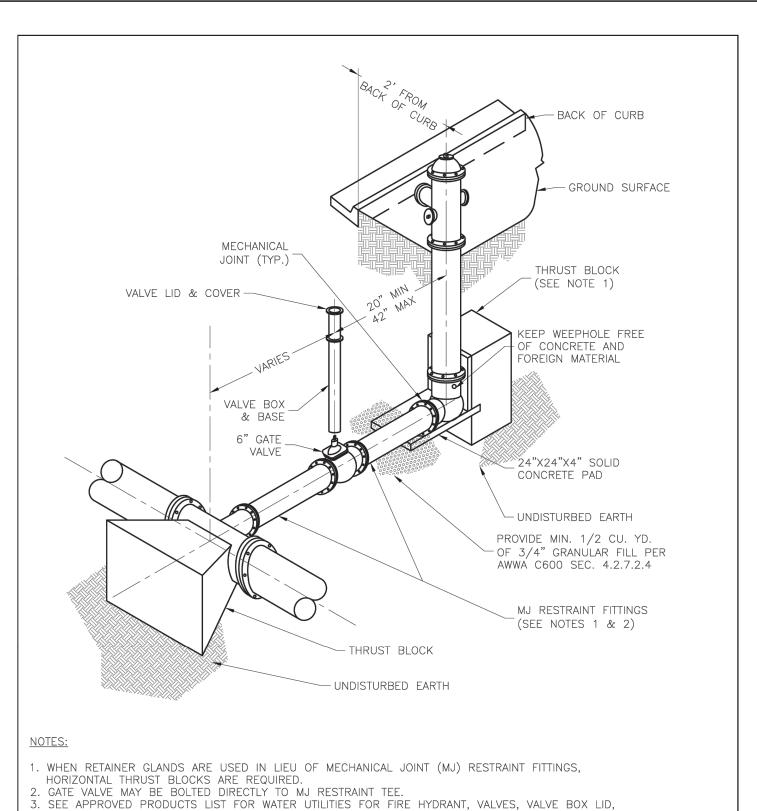
LONG

SCHLAGEL & ASSOCIATES, P.A.

3/30/2025

WATER LINE 9 AND 11 PLAN AND PROFILE





4. BOTTOM HYDRANT FLANGE SHALL BE 2" TO 6" ABOVE FINISHED GRADE.

6. HYDRANT SHALL BE ROTATED AS DIRECTED BY INSPECTOR.

BOTTOM OF DITCH.

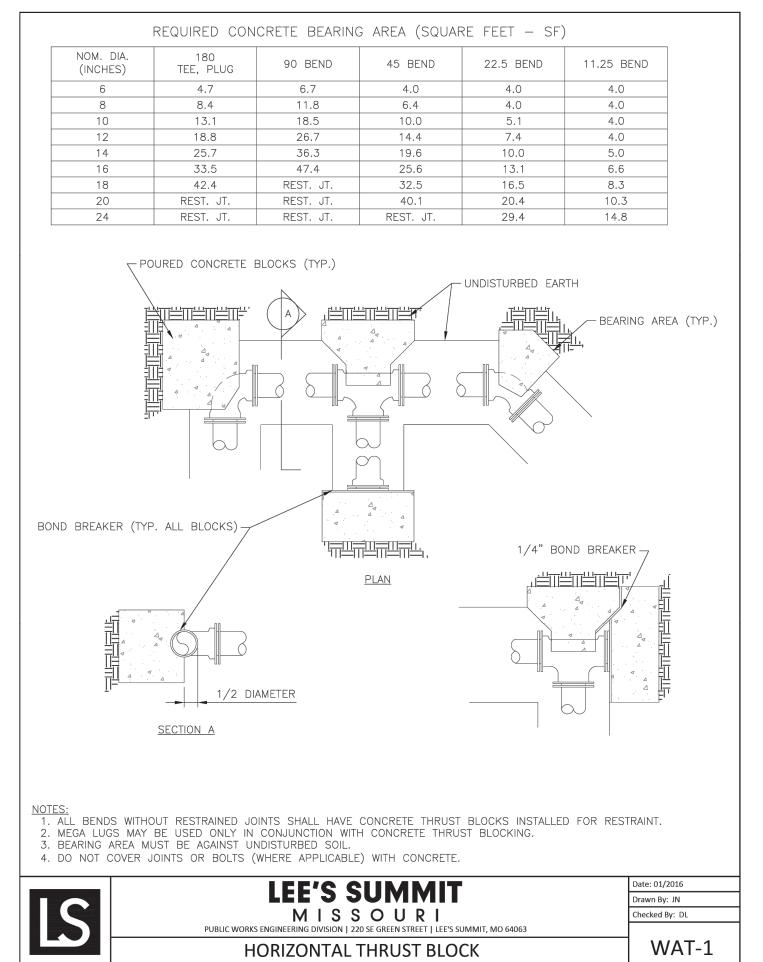
5. FOR STREETS WITHOUT CURBS FIRE HYDRANTS SHALL BE PLACED WITHIN 1 FOOT OF THE R/W LINE,

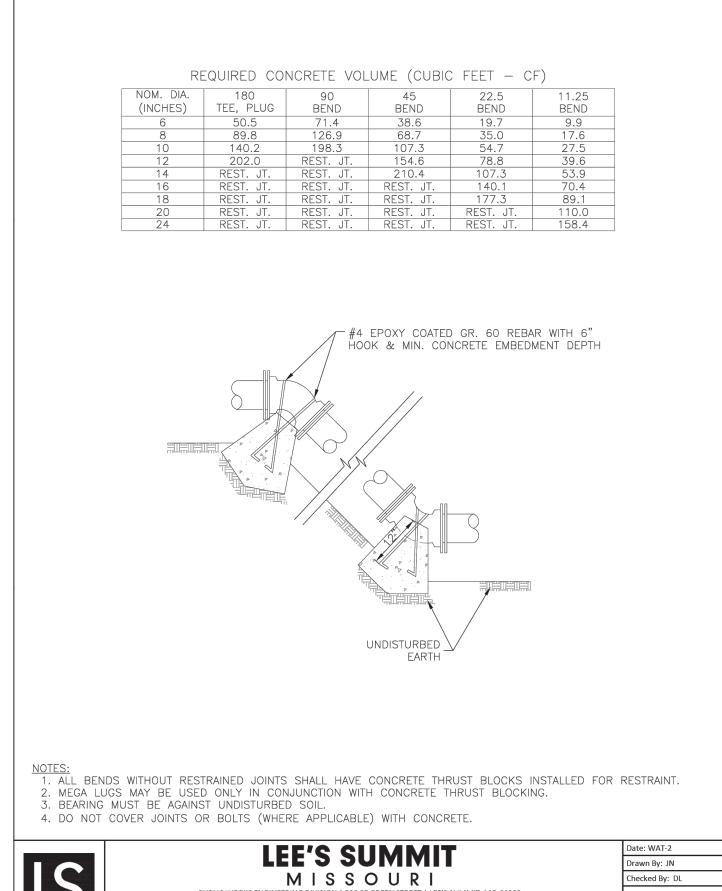
LEE'S SUMMIT

MISSOURI

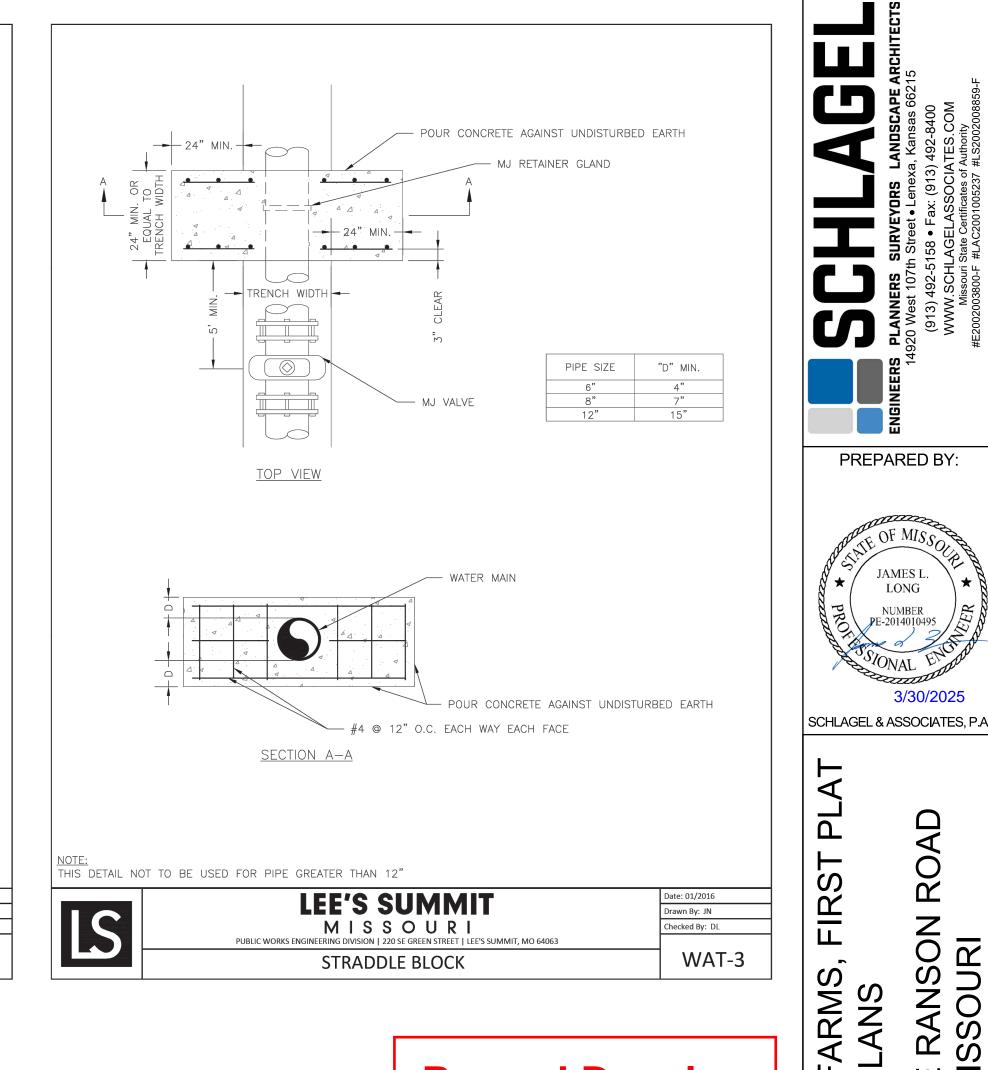
HYDRANT - STRAIGHT SET

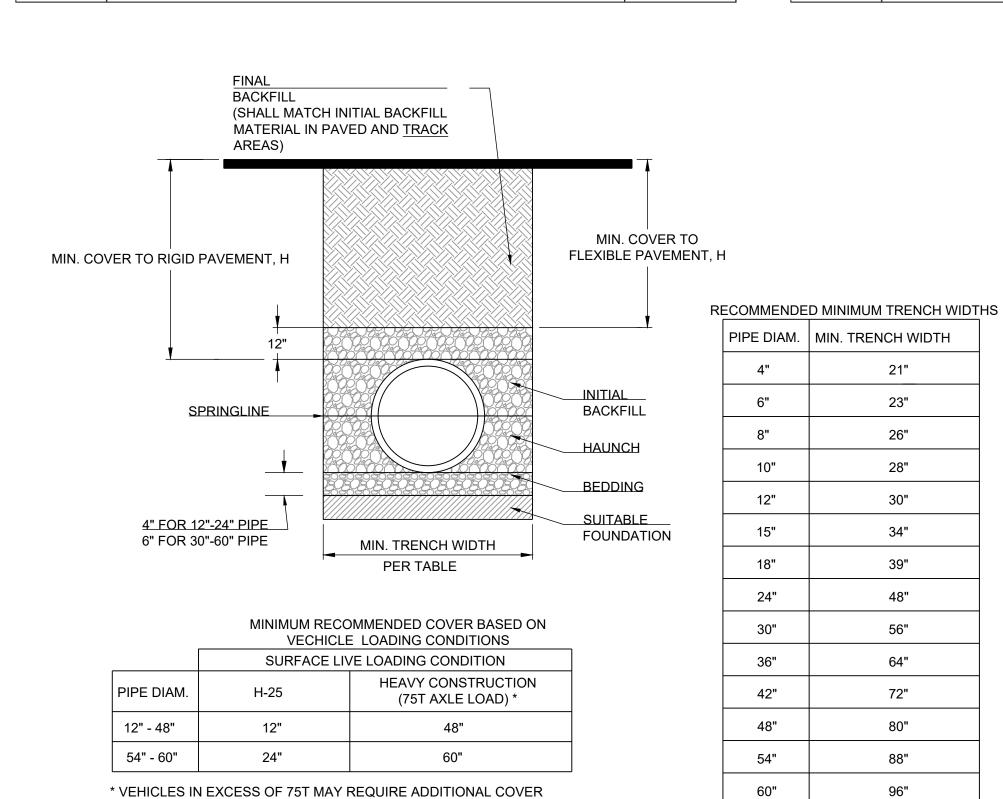
BUT NOT MORE THAN 10' FROM EDGE OF PAVEMENT. FIRE HYDRANT SHALL NOT BE PLACED IN





VERTICAL THRUST BLOCK





1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF

3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND

4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION

5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE

6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48"

DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF

CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN

TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6"

REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER,

2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.

THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION

THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.

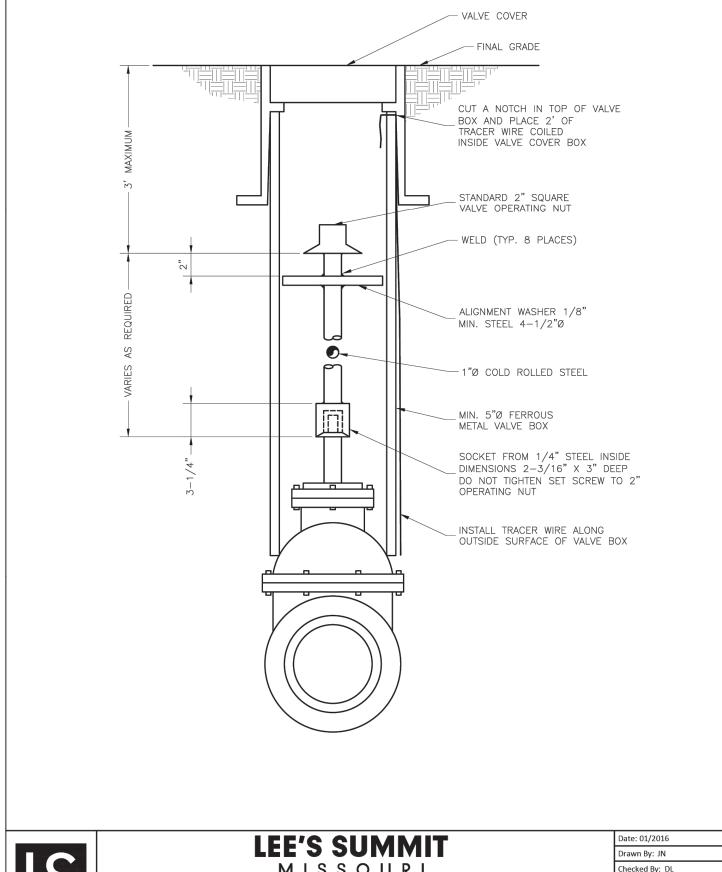
(150mm) FOR 30"-60" (750mm-900mm).

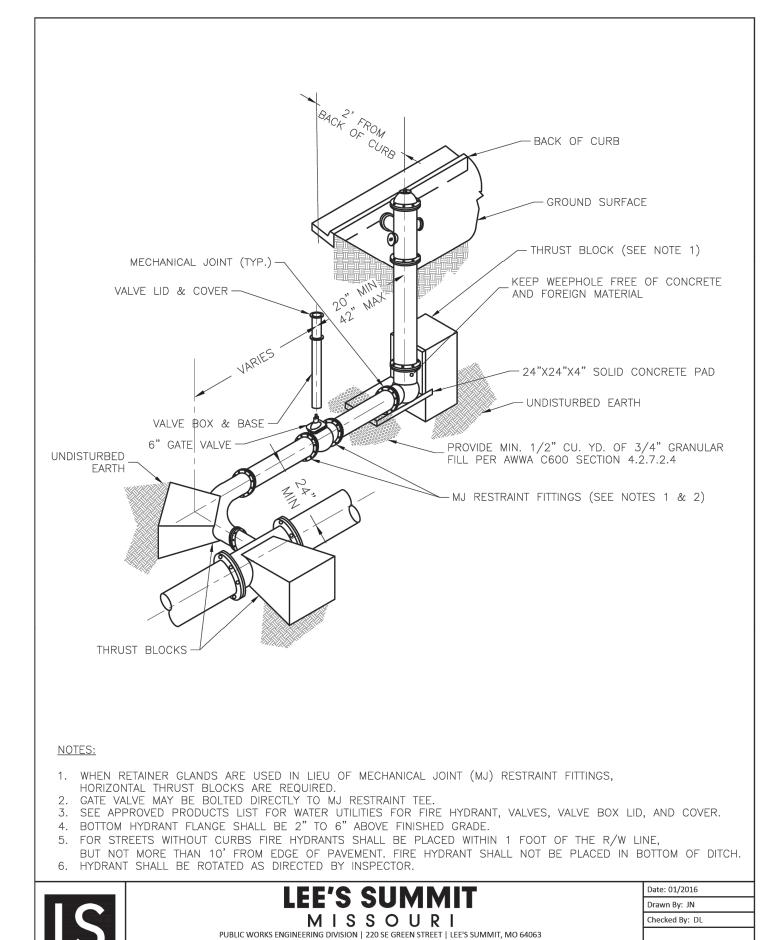
ASTM D2321, LATEST EDITION.

RIGID PAVEMENT.

awn By: JN

ecked By: DL





HYDRANT WITH 90 DEGREE BEND

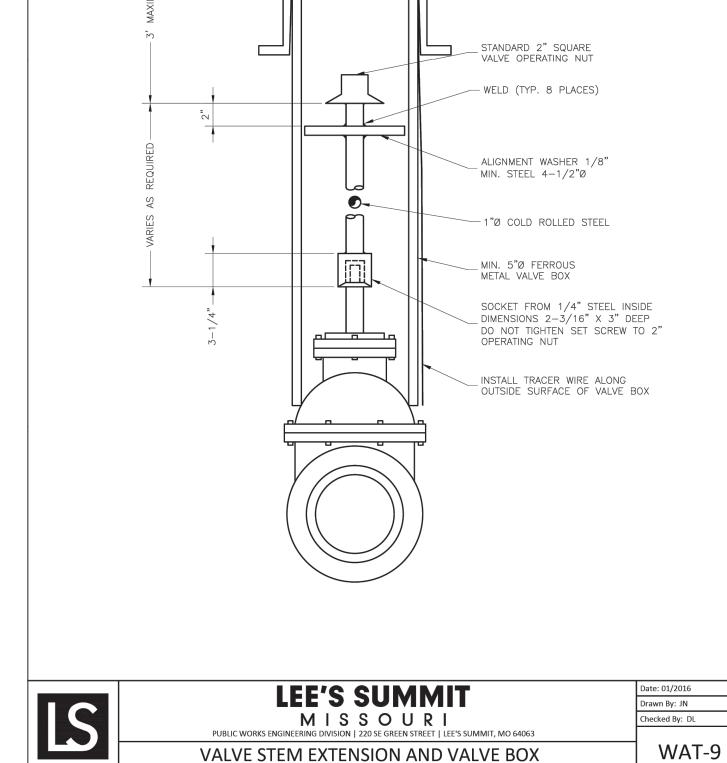
WAT-2

Record Drawing

₩ N

O

WATER LINE DETAILS



RECORD DRAWING The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information obtained by Schlagel and Associates. WAT-8

"100.00 100.10", "1.00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Certified by: JLL

Title: Senior Project Engineer

Firm: Schlagel and Associates, P.A.

JAMES L. LONG

3/30/2025