





NW CORNER, NE. 1/4,  
SECTION 16, 47N, 31W

NE CORNER, NE. 1/4,  
SECTION 16, 47N, 31W

Record Drawing

BASIS OF BEARINGS:

MISSOURI STATE PLANE COORDINATE SYSTEM  
(NAD) 1983, MISSOURI, WEST ZONE

NOTES:

- ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- FOR ALL WATER LINES THE MAXIMUM DEPTH OF COVER IS SEVEN (7) FEET.

STREET LEGEND:

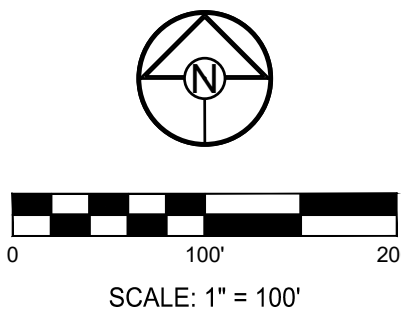
RESIDENTIAL LOCAL

RECORD DRAWING

The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information obtained by Schlagei and Associates.

"100.00 100.10", "1.00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Date: 3/19/2025  
Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlagei and Associates, P.A.



PREPARED BY:



SCHLAGEI & ASSOCIATES, P.A.

CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
WATER LINE PLANS  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
01/27/2022	City comments dated 01/10/2022
04/20/2022	City comments dated 02/28/2022
05/19/2022	City comments dated 5/1/2022
05/31/2022	City comments dated 5/24/2022
10/27/2023	Updated City Details to 2023 Details
11/30/2023	Added "New City Requirements" Note
03/19/2025	As-Built

DRAWN BY:	JRJ
CHECKED BY:	JLL
DATE PREPARED:	12/20/2021
PROJ. NUMBER:	21-136

GENERAL  
LAYOUT

SHEET

2





Record Drawing

BASIS OF BEARINGS:

MISSOURI STATE PLANE COORDINATE SYSTEM  
(NAD) 1983, MISSOURI, WEST ZONE

NOTES:

- ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- FOR ALL WATER LINES THE MAXIMUM DEPTH OF COVER IS SEVEN (7) FEET.

STREET LEGEND:

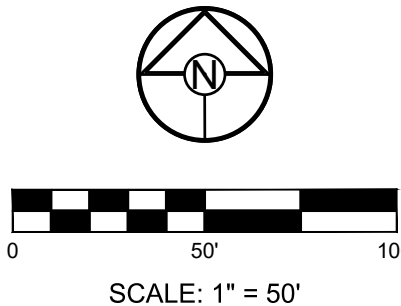
RESIDENTIAL LOCAL

RECORD DRAWING

The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information obtained by Schlager and Associates.

"400-00 100.10", "±.00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Date: 3/19/2025  
Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlager and Associates, P.A.



**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELASSOCIATES.COM  
Missouri State Certificates of Authority  
#E2002003600-F #LAC2001005237 #LS2002008659-F

PREPARED BY:



3/30/2025

SCHLAGEL & ASSOCIATES, P.A.

CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
WATER LINE PLANS  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
01/27/2022	City comments dated 01/10/2022
04/20/2022	City comments dated 02/28/2022
05/19/2022	City comments dated 5/15/22
05/31/2022	City comments dated 5/24/2022
10/27/2023	Updated City Details to 2023 Details
11/30/2023	Added "New City Requirements" Note
03/19/2025	As-Built

DRAWN BY:	JRL
CHECKED BY:	JLL
DATE PREPARED:	12/20/2021
PROJ. NUMBER:	21-136

SITE LAYOUT

SHEET

3



Record Drawing

PROJECT BENCHMARK:

Brass Disk at the Northeast Corner of the Northeast One-Quarter of Section 16, Township 47 N, Range 31 W. Intersection of SE. Bailey Road and SE. Ranson Road.

ELEV. = 939.19

NOTES:

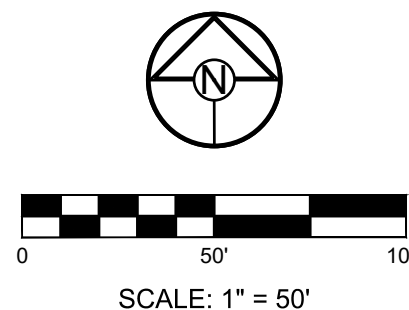
- ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- FOR ALL WATER LINES THE MAXIMUM DEPTH OF COVER IS SEVEN (7) FEET.

PREPARED BY:



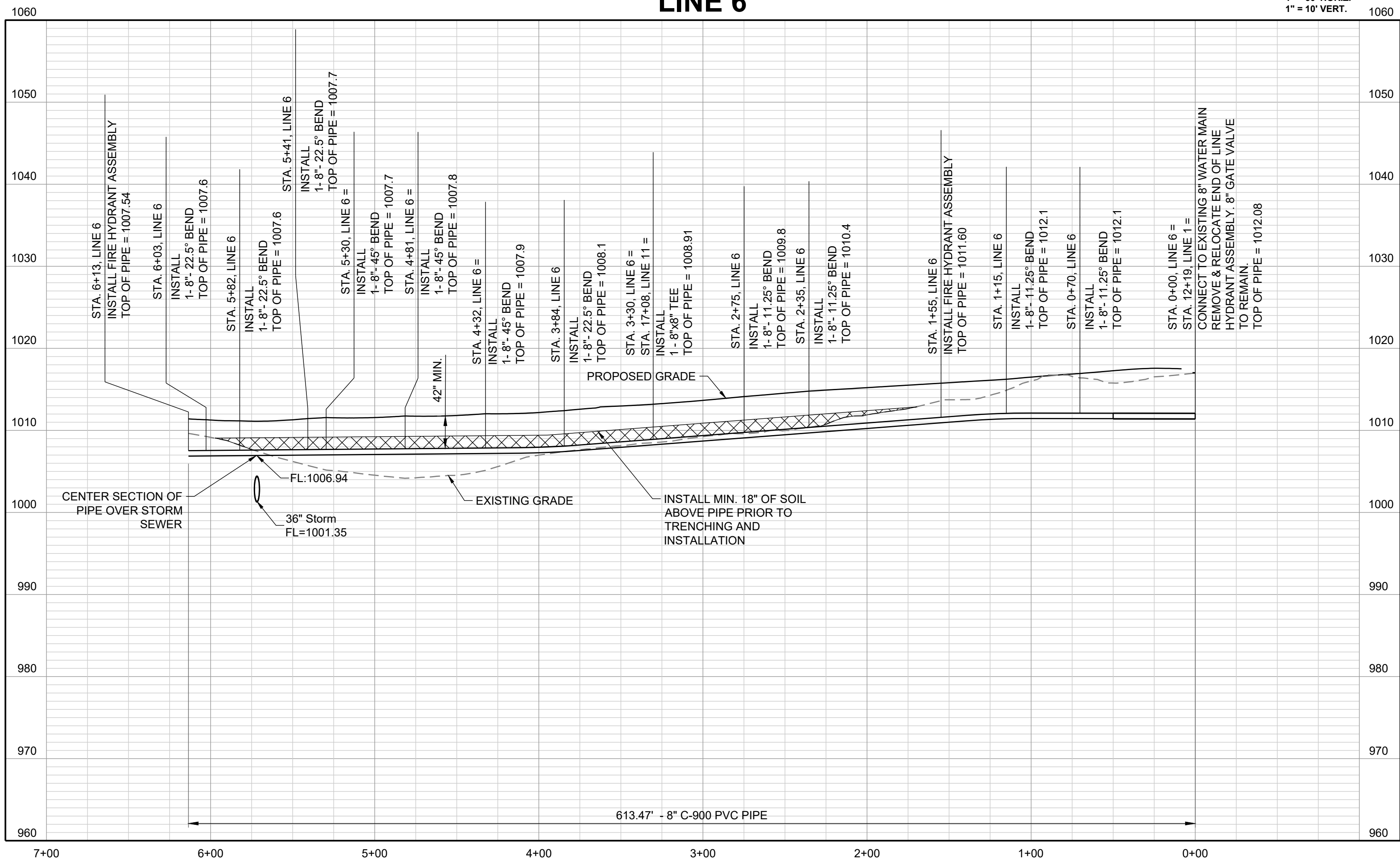
3/30/2025

SCHLAGEL & ASSOCIATES, P.A.



LINE 6

1" = 50' HORIZ.  
1" = 10' VERT.



RECORD DRAWING

The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information obtained by Schlager and Associates.

"100.00 100.10", "1.00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Date: 3/19/2025  
Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlager and Associates, P.A.

CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
WATER LINE PLANS  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
01/27/2022	City comments dated 01/10/2022
04/20/2022	City comments dated 02/28/2022
05/19/2022	City comments dated 5/1/22
05/31/2022	City comments dated 5/24/2022
10/27/2023	Updated City Details to 2023 Details
11/30/2023	Added "New City Requirements" Note
03/19/2025	As-Built

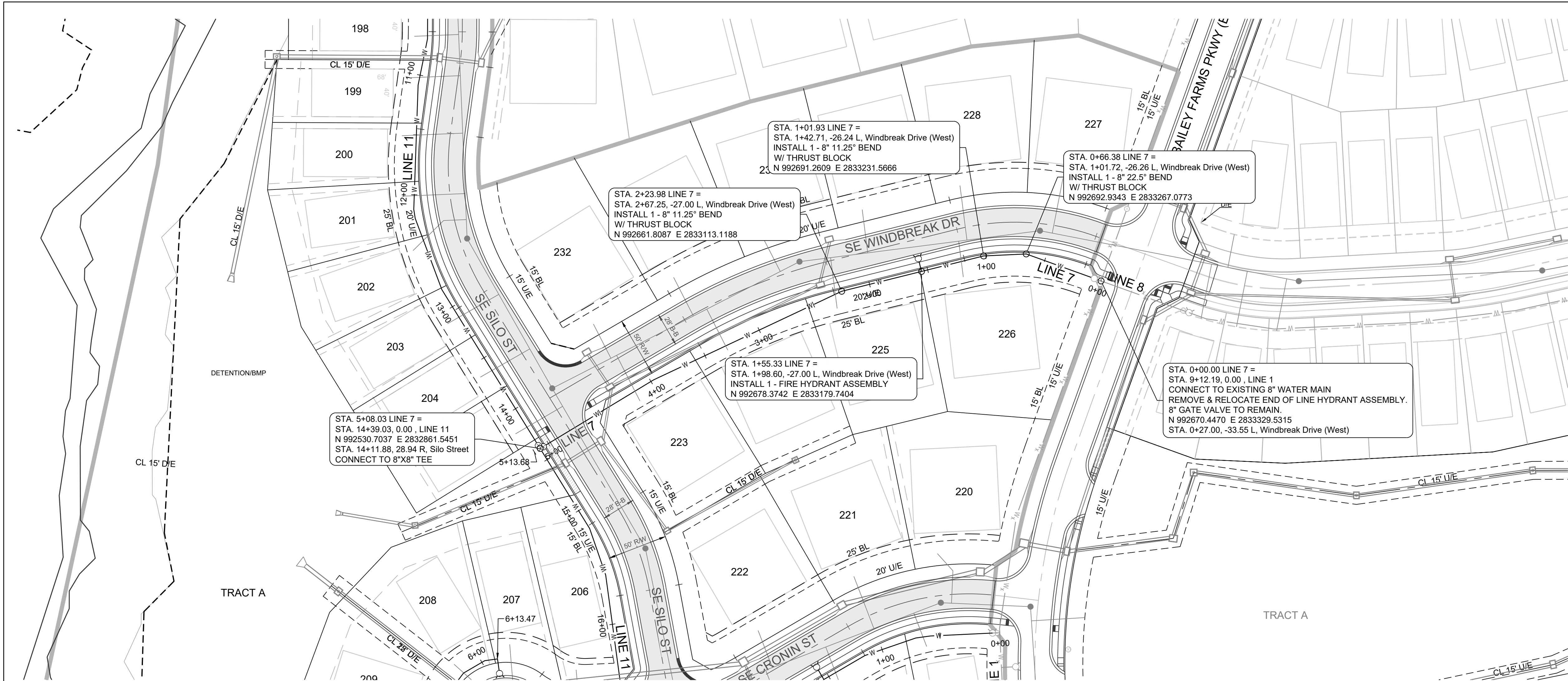
DRAWN BY:	JRJ
CHECKED BY:	JLL
DATE PREPARED:	12/20/2021
PROJ. NUMBER:	21-136

WATER LINE 6  
PLAN AND  
PROFILE

SHEET

4





Record Drawing

PROJECT BENCHMARK:

Brass Disk at the Northeast Corner of the Northeast One-Quarter of Section 16, Township 47 N, Range 31 W. Intersection of SE. Bailey Road and SE. Ranson Road.

ELEV. = 939.19

NOTES:

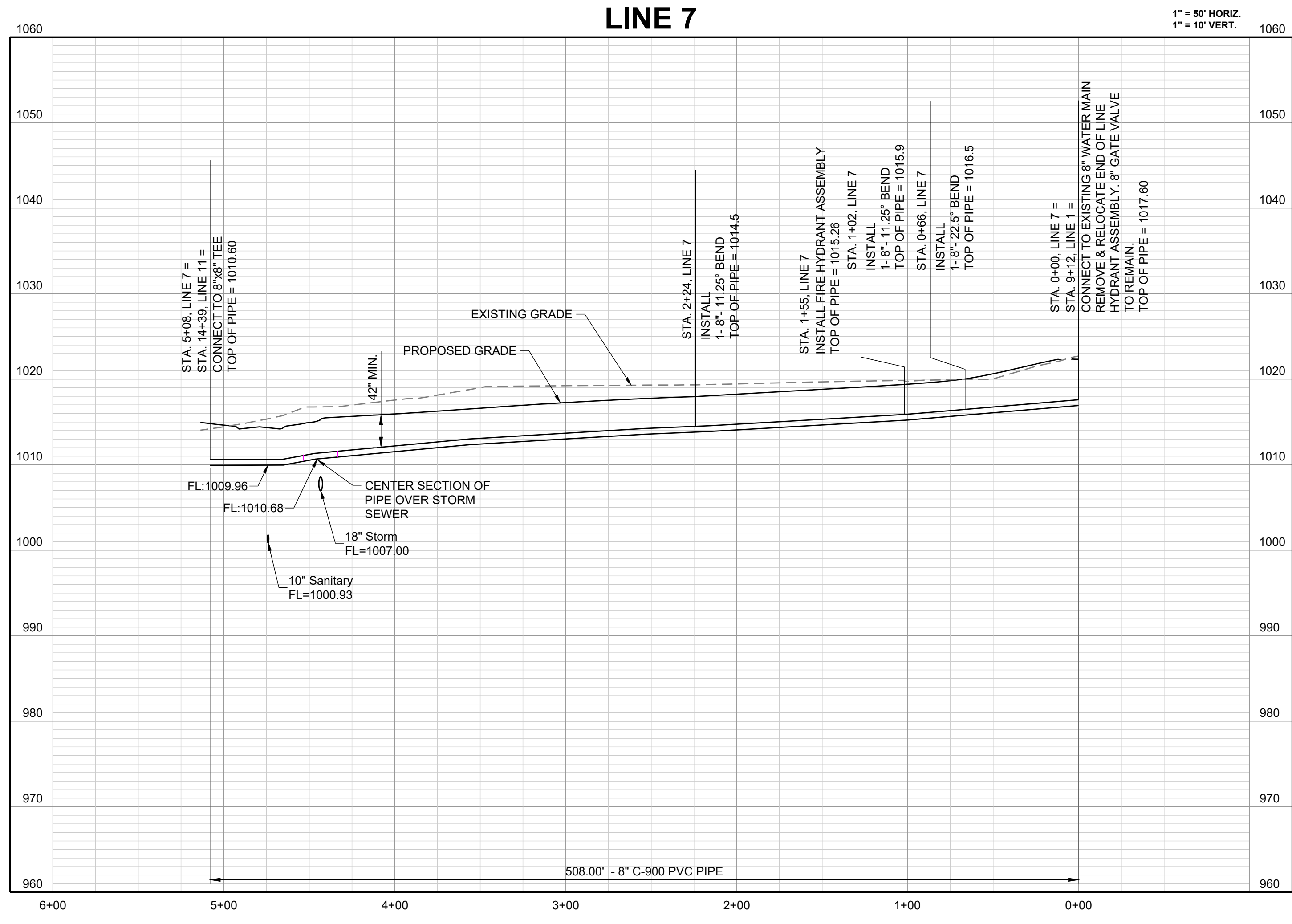
- ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- FOR ALL WATER LINES THE MAXIMUM DEPTH OF COVER IS SEVEN (7) FEET.

**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELASSOCIATES.COM  
Missouri State Certificates of Authority  
#E2002003600-F #LAC2001005237 #LS200200859-F

PREPARED BY:

JAMES L. LONG  
PROFESSIONAL ENGINEER  
NUMBER  
PE-2014010495  
3/30/2025  
SCHLAGEL & ASSOCIATES, P.A.

CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
WATER LINE PLANS  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

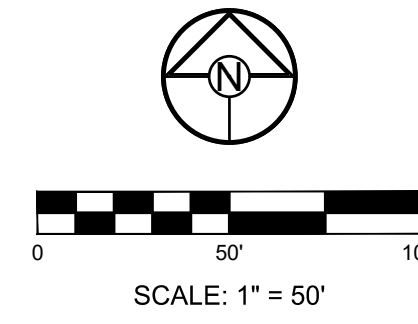


RECORD DRAWING

The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information obtained by Schlager and Associates.

“100-00 100.10”, “1-00% 1.15% slope”, or “8-inch HDPE PVC pipe” are all typical examples of revisions that indicate that design data has been replaced with “as-built” information. All other data is as designed and has not been field verified.

Date: 3/19/2025  
Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlager and Associates, P.A.



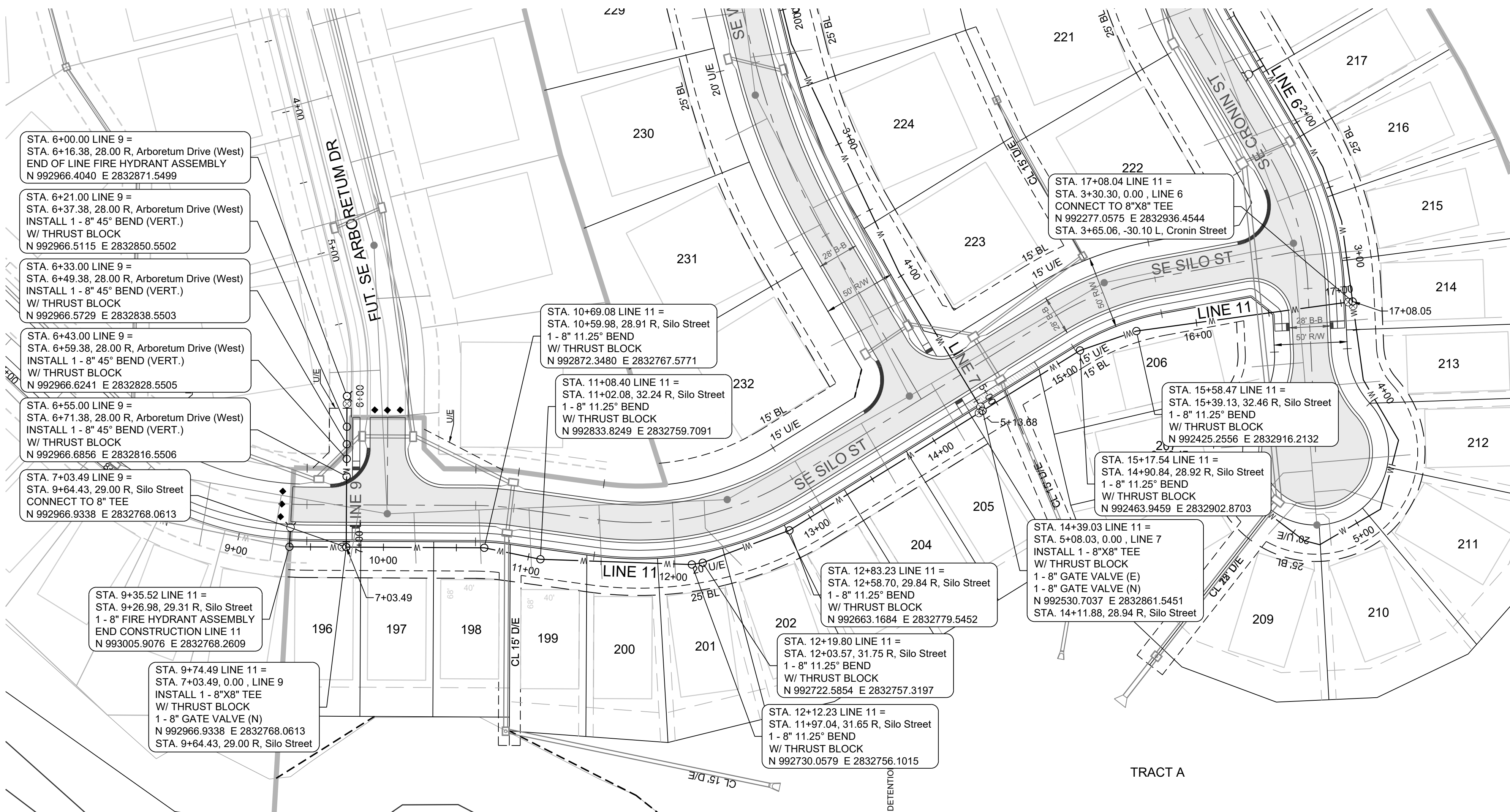
REVISION	DATE	DESCRIPTION
1	01/27/2022	City comments dated 01/10/2022
2	04/20/2022	City comments dated 02/28/2022
3	05/19/2022	City comments dated 5/1/2022
4	05/31/2022	City comments dated 5/24/2022
5	10/27/2023	Updated City Details to 2023 Details
6	11/30/2023	Added "New City Requirements" Note
7	03/19/2025	As-Built

DRAWN BY:	JRL
CHECKED BY:	JLL
DATE PREPARED:	12/20/2021
PROJ. NUMBER:	21-136

WATER LINE 7 PLAN AND PROFILE
SHEET 5



Record Drawing



PROJECT BENCHMARK:

Brass Disk at the Northeast Corner of the Northeast One-Quarter of Section 16, Township 47 N, Range 31 W, Intersection of SE. Bailey Road and SE. Ransom Road.

ELEV. = 939.19

NOTES:

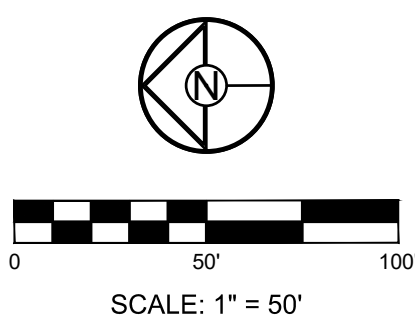
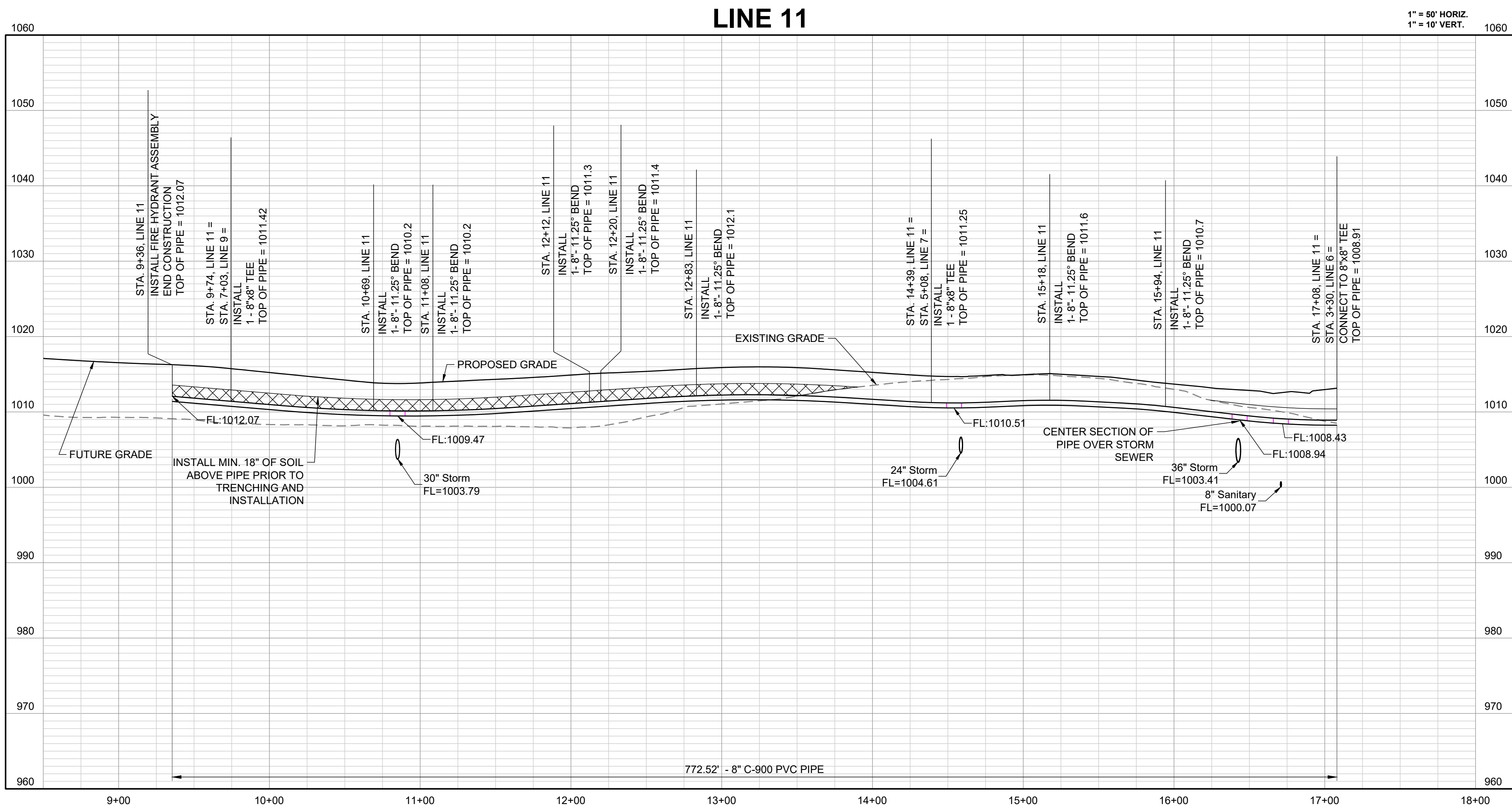
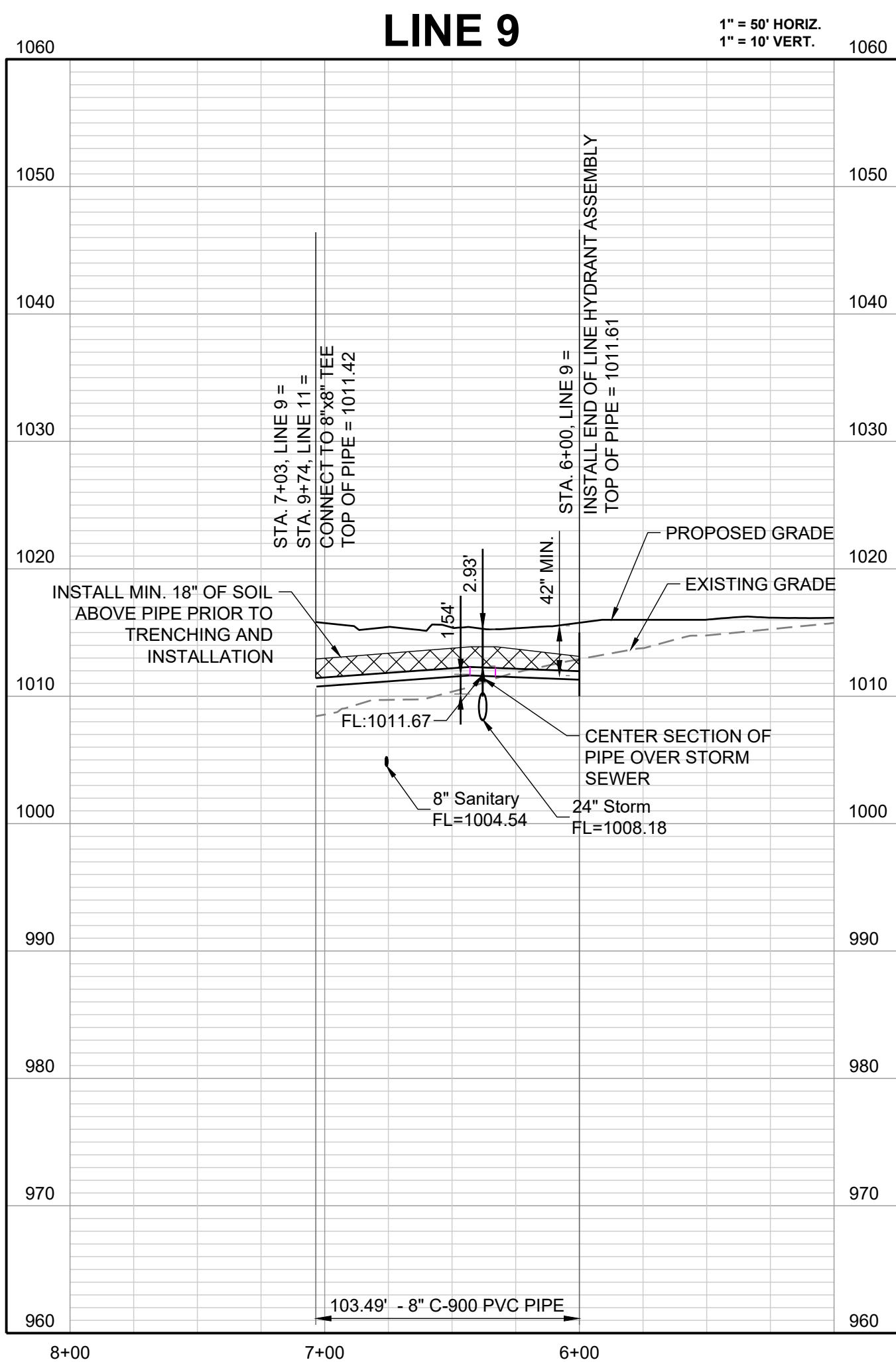
- ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- FOR ALL WATER LINES THE MAXIMUM DEPTH OF COVER IS SEVEN (7) FEET.

RECORD DRAWING

The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information obtained by Schlager and Associates.

"100% 100.10", "100% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

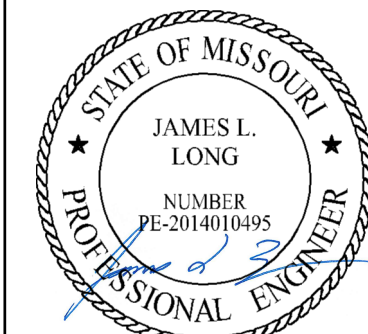
Date: 3/19/2025  
Certified by: JLL  
Title: Senior Project Engineer  
Firm: Schlager and Associates, P.A.



CORNERSTONE AT BAILEY FARMS, FIRST PLAT  
WATER LINE PLANS  
SE BAILEY ROAD AND SE RANSOM ROAD  
LEE'S SUMMIT, MISSOURI



PREPARED BY:



3/30/2025

SCHLAGEL & ASSOCIATES, P.A.

REVISION DATE	DESCRIPTION
01/27/2022	City comments dated 01/10/2022
04/20/2022	City comments dated 02/28/2022
05/19/2022	City comments dated 5/1/22
05/31/2022	City comments dated 5/24/2022
10/27/2023	Updated City Details to 2023 Details
11/30/2023	Added "New City Requirements" Note
03/19/2025	As-Built

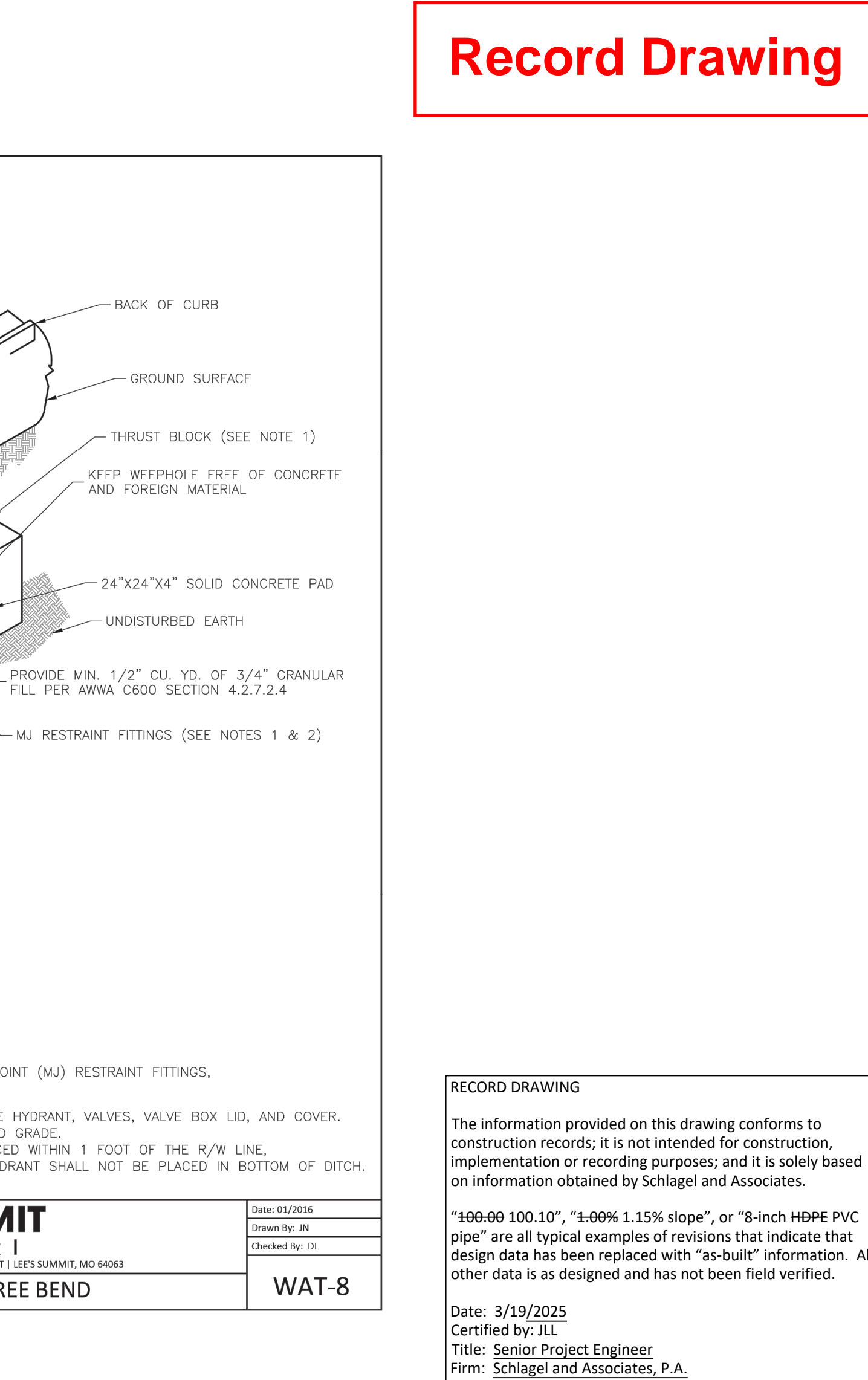
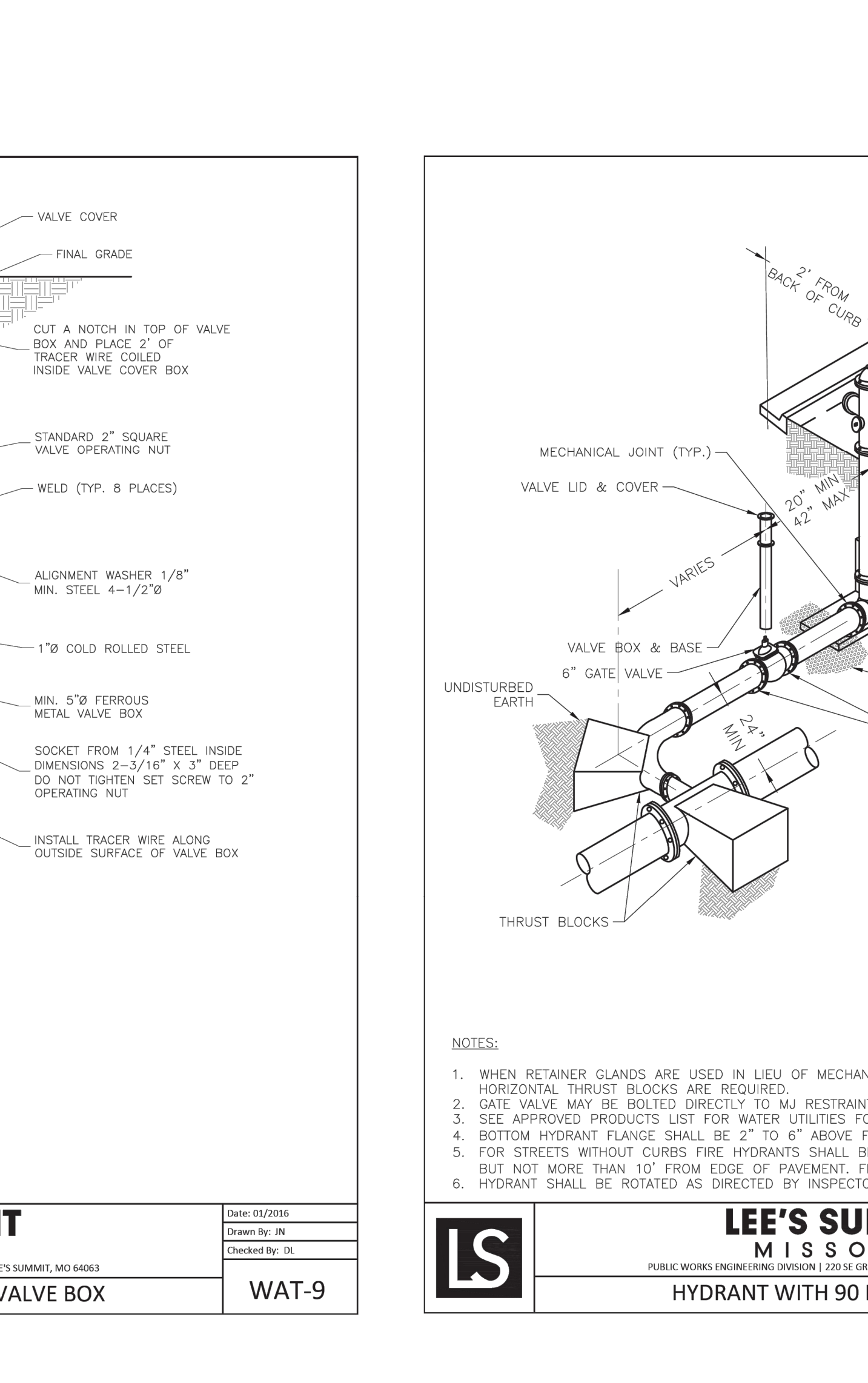
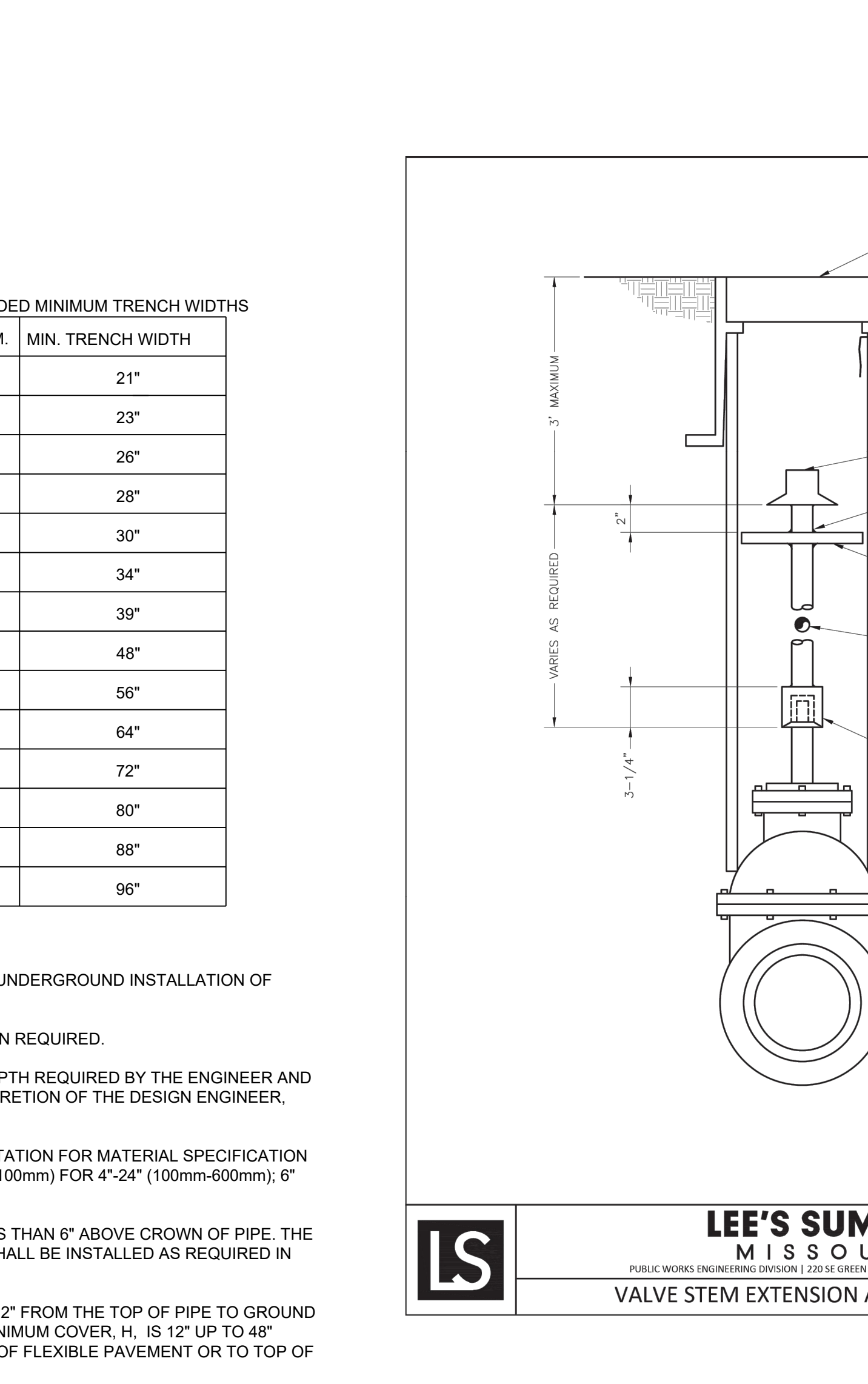
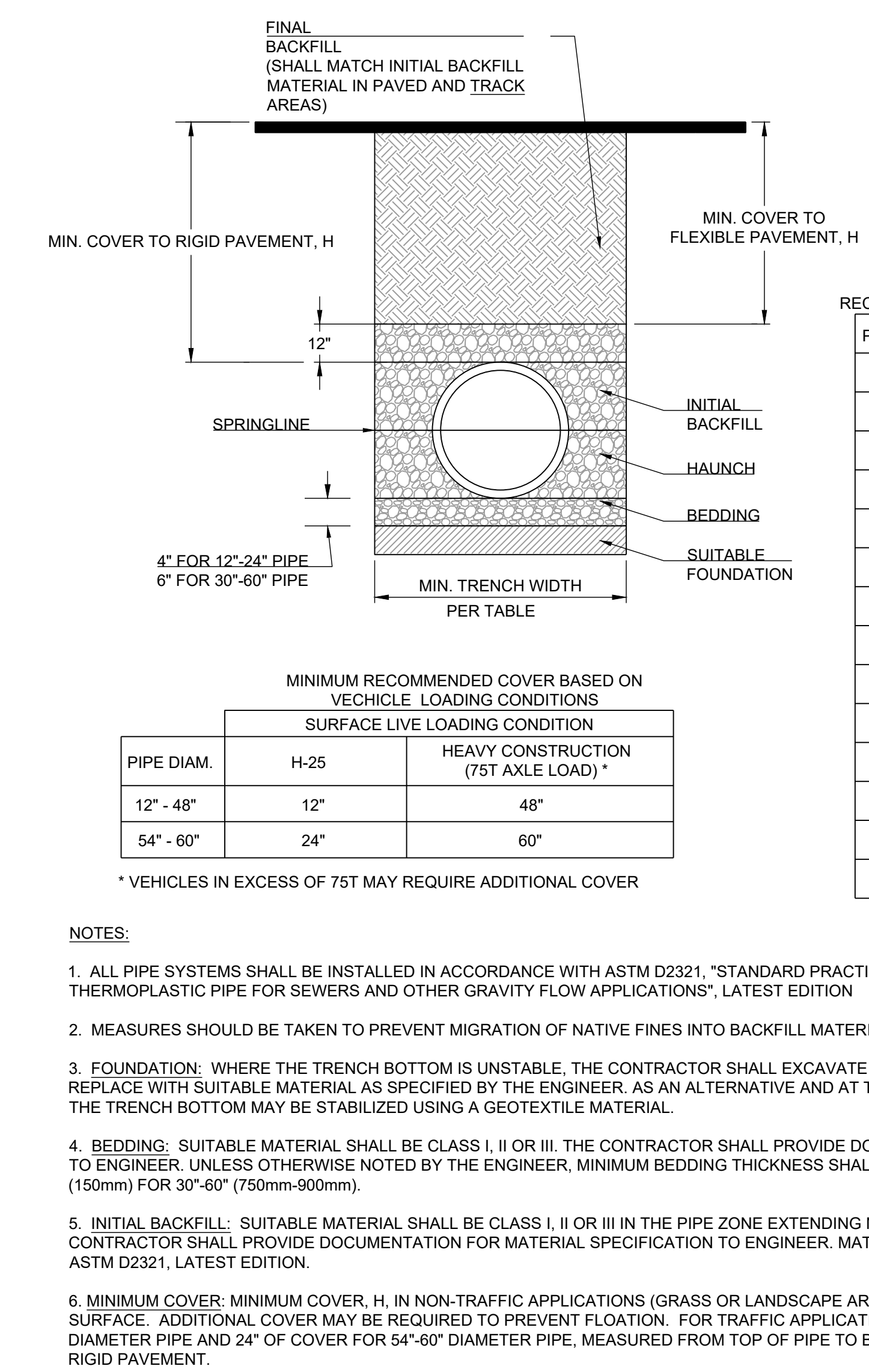
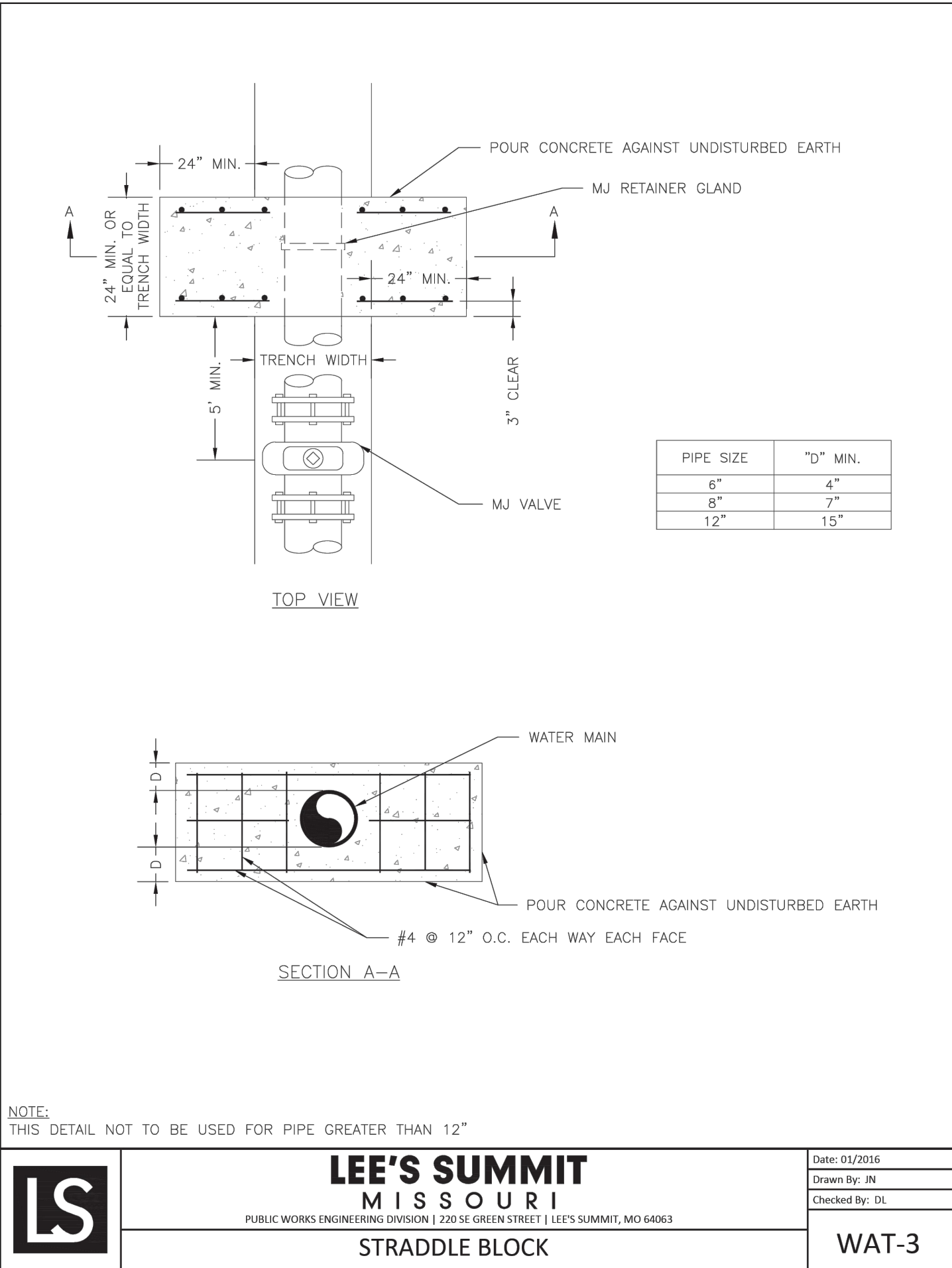
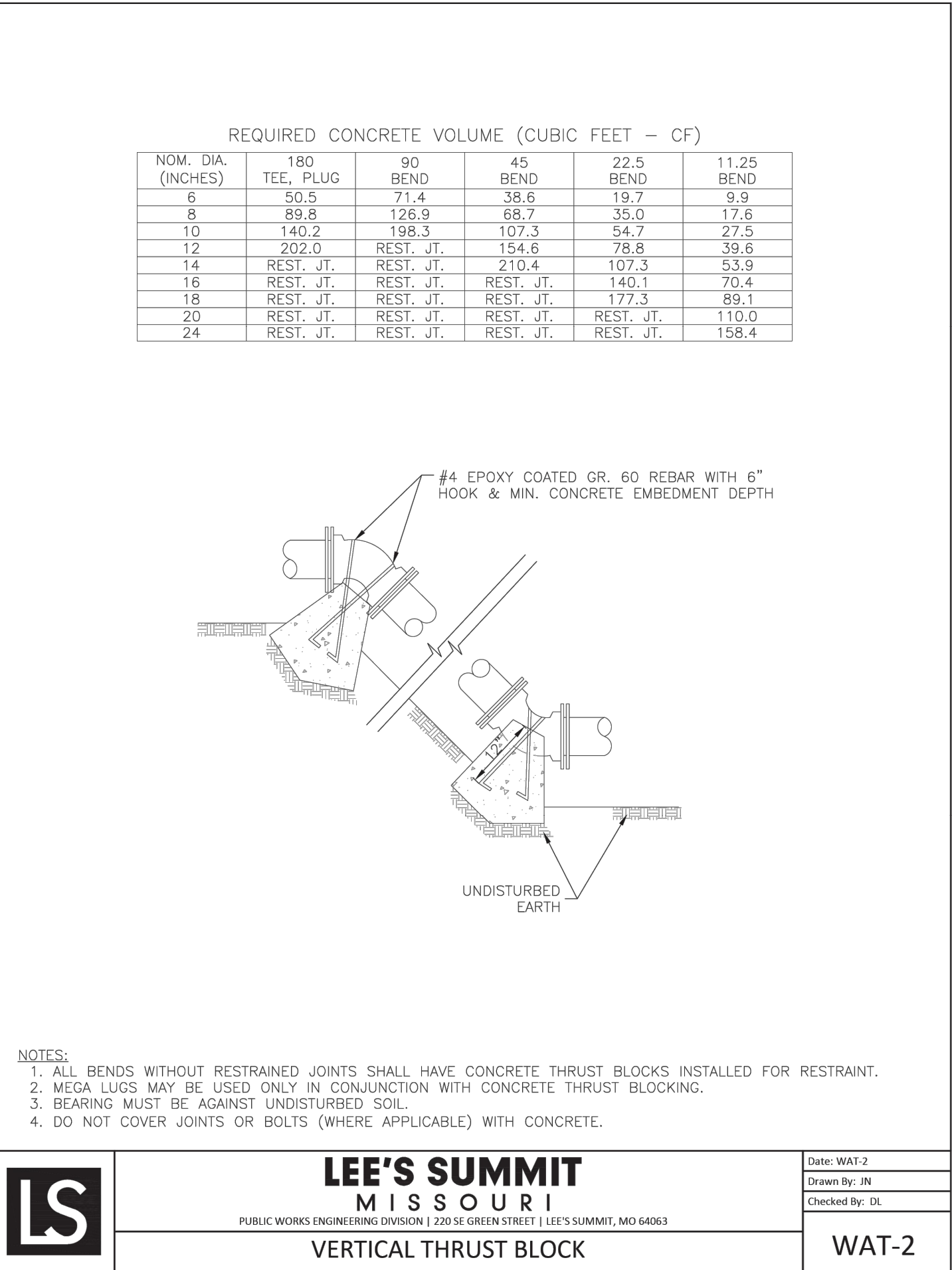
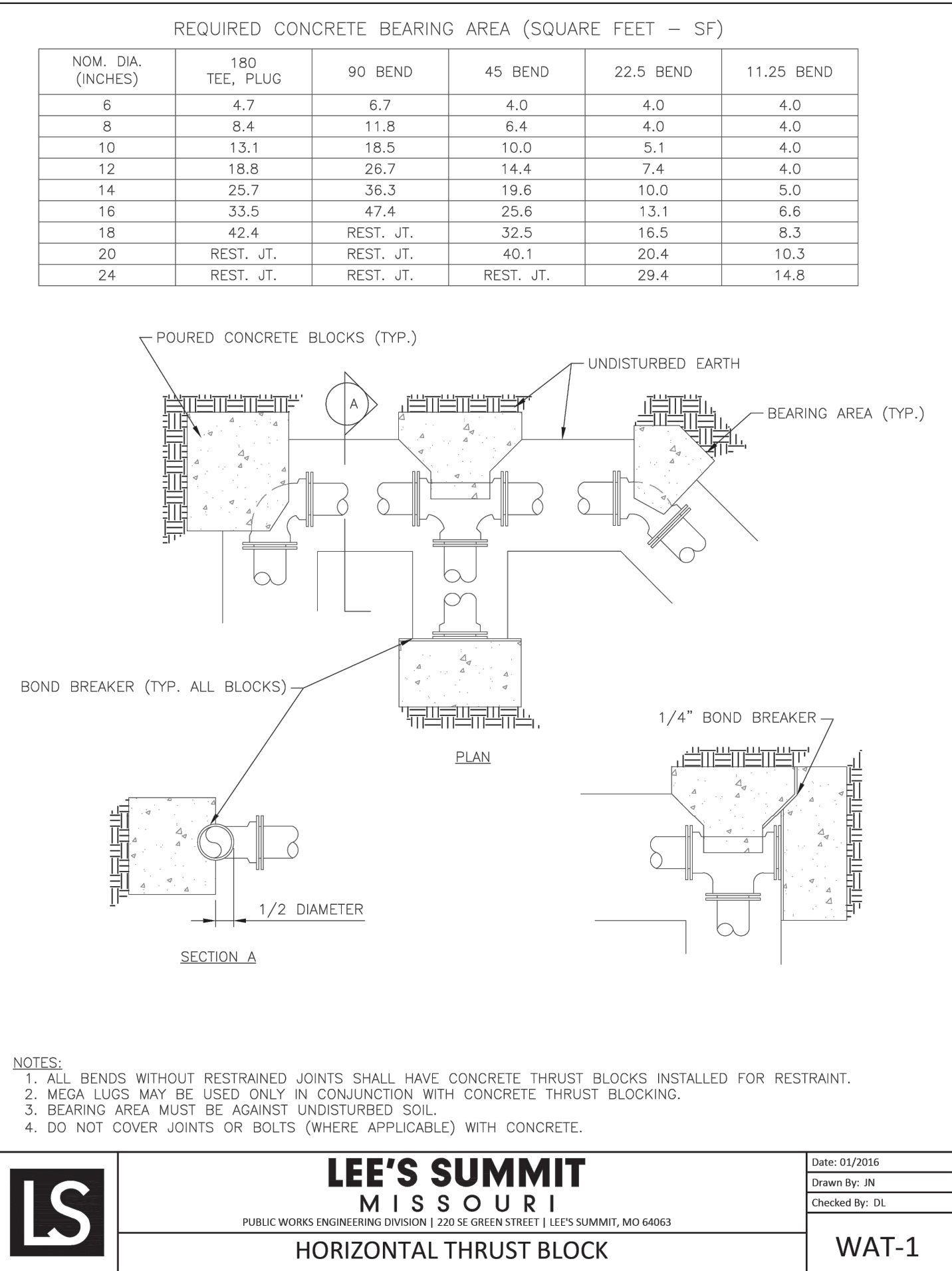
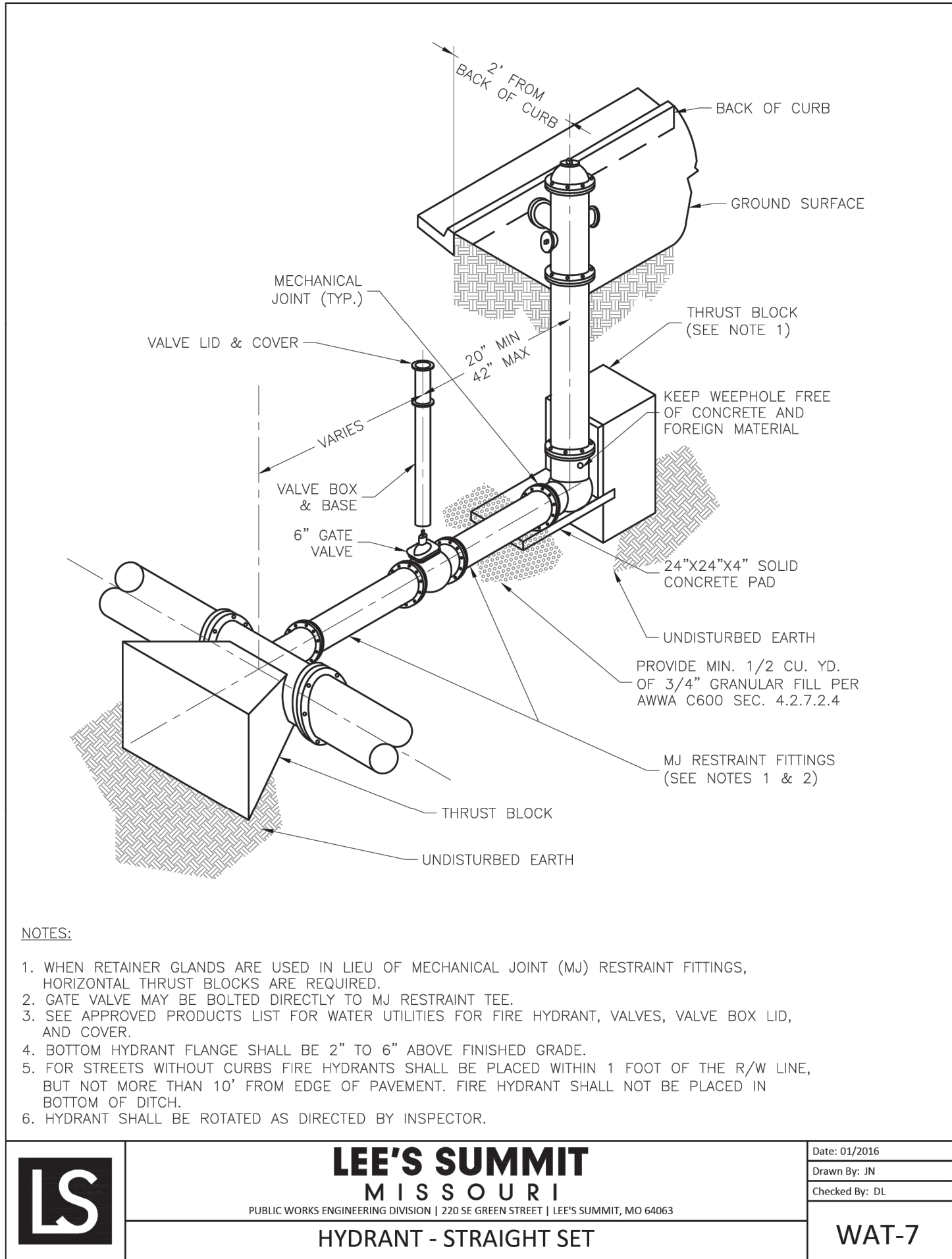
DRAWN BY:	JRL
CHECKED BY:	JLL
DATE PREPARED:	12/20/2021
PROJ. NUMBER:	21-136

WATER LINE 9  
AND 11 PLAN  
AND PROFILE

SHEET

6





Record Drawing

SCHLAGEL

ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

14920 West 107th Street • Lenexa, Kansas 66215

(913) 492-5158 • Fax: (913) 492-8400

WWW.SCHLAGELASSOCIATES.COM

Missouri State Certificates of Authority

#E2002003600-F #LAC2001005237 #LS200200859-F

PREPARED BY:

JAMES L. LONG

PROFESSIONAL ENGINEER

NUMBER PE-2014010495

3/30/2025

SCHLAGEL & ASSOCIATES, P.A.

CORNERSTONE AT BAILEY FARMS, FIRST PLAT

WATER LINE PLANS

SE BAILEY ROAD AND SE RANSON ROAD

LEE'S SUMMIT, MISSOURI

REVISION	DATE	DESCRIPTION
1	01/27/2022	City comments dated 01/10/2022
2	04/20/2022	City comments dated 02/28/2022
3	05/19/2022	City comments dated 5/1/2022
4	05/31/2022	City comments dated 5/24/2022
5	10/27/2023	Updated City Details to 2023 Details
6	11/30/2023	Added "New City Requirements" Note
7	03/19/2025	As-Built

DRAWN BY:	JRL
CHECKED BY:	JLL
DATE PREPARED:	12/20/2021
PROJ. NUMBER:	21-136

WATER LINE DETAILS

SHEET

7