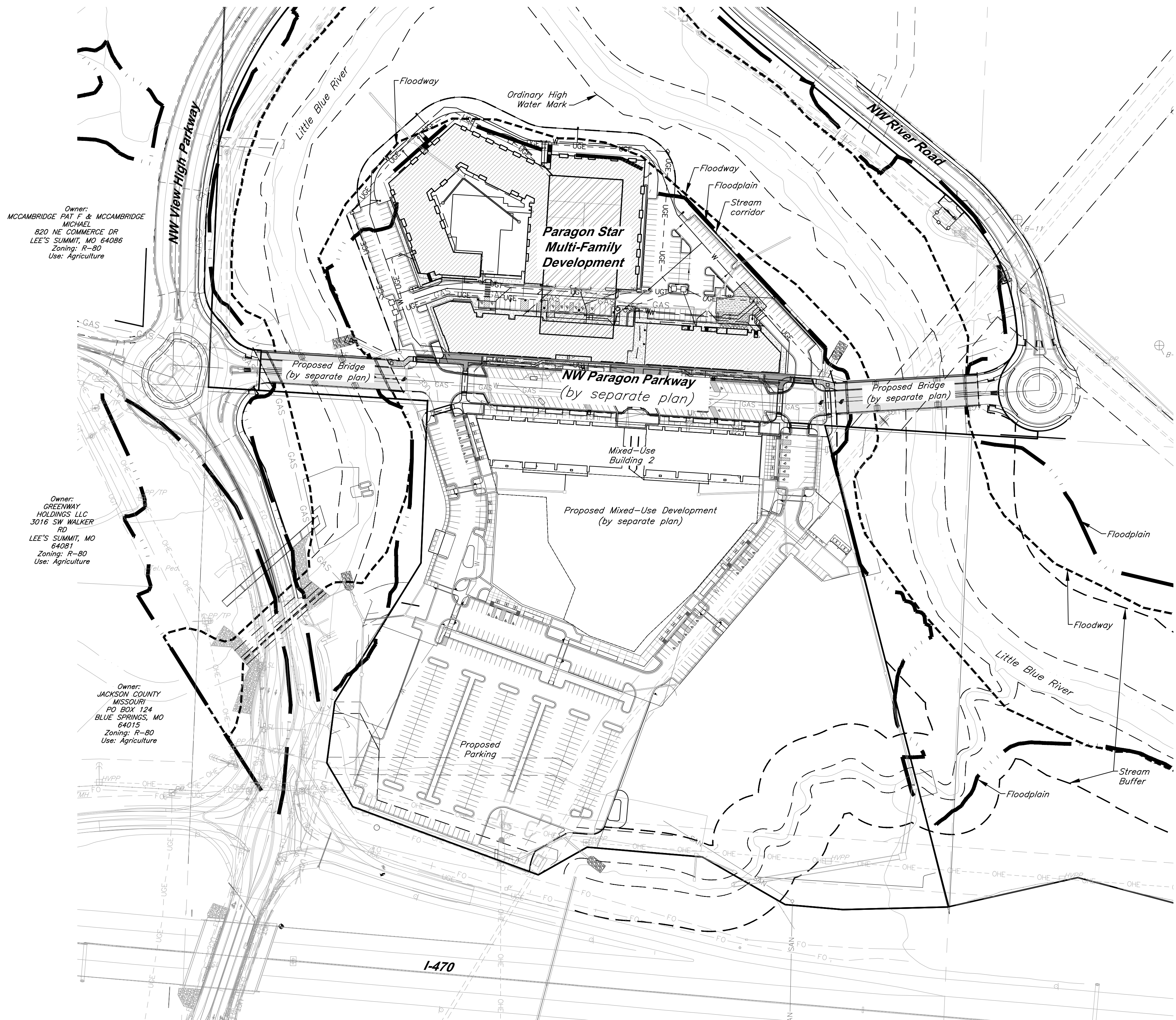


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Owner:
MCCAMBRIDGE PAT F & MCCAMBRIDGE
MICHAEL
820 NE COMMERCE DR
LEE'S SUMMIT, MO 64086
Zoning: R-80
Use: Agriculture

Owner:
GREENWAY
HOLDINGS LLC
3016 SW WALKER
RD
LEE'S SUMMIT, MO
64081
Zoning: R-80
Use: Agriculture

Owner:
JACKSON COUNTY
MISSOURI
PO BOX 124
BLUE SPRINGS, MO
64015
Zoning: R-80
Use: Agriculture

Prepared and Submitted By:

George Butler Associates, Inc.
9801 Renner Boulevard Lenexa, Kansas 66219
Phone: 913-492-0400 Fax: 913-577-8312
Contact: Jay Healy, P.E.
Email: jhealy@gbateam.com

Floodplain:

According to FEMA Flood Insurance Rate Map (FIRM) Community Panel No. 29095C0404G, effective Date 1/20/17, the tract lies partially within an area designated as Special Flood Hazard Areas. Special Flood Hazard Areas defined on portions of the site include regulatory floodway, Zone AE (with depths identified on site from 810 to 811), and 0.2% Annual Chance Flood Hazard Areas.

A CLOMR has been issued for this project, case number 20-07-0520R, dated 2/14/20. Proposed Floodplain/ Floodway refers to boundary set by this CLOMR.

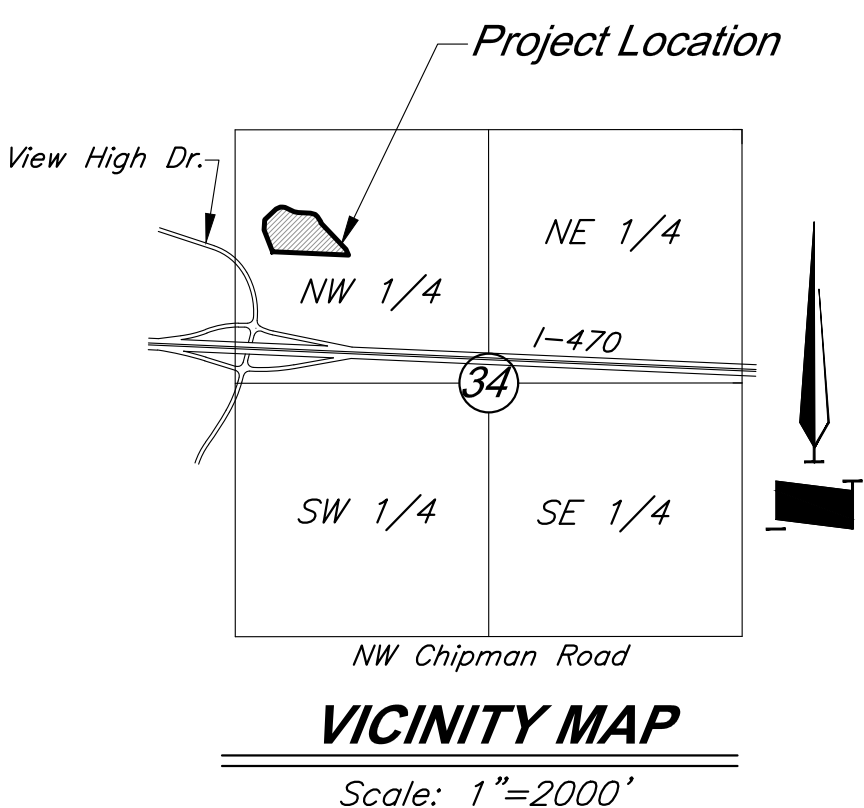
Zoning:

PMIX - Planned Mixed Use

Notes:

1. No oil or gas wells are located on site per Missouri Department of Natural Resources.

Land Use	
Total Site Area (AC)	19.63
Total Impervious Area(SF)	202,990 (23.74%)
Lot 5 Area (AC)	14.20
Lot 6 Area (AC)	0.72
Lot 7A Area (AC)	1.11
Lot 7B Area (AC)	0.69
Lot 7C Area (AC)	1.78
Lot 8 Area (AC)	1.13
Residential Building Area (SF)	344,995
Retail Building Area (SF)	35,232
Garage Area (SF)	168,460
Use	Mixed Use
Zoning	PMIX
Setback	0
Dwelling Units	374
Bedroom Count	426
Total Parking Spaces	660
Regular Parking Spaces	647
ADA Parking Spaces	13



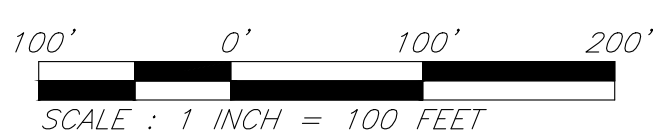
Legend

- Power Pole
- Guy Anchor
- Electric Meter
- Electrical Transformer
- Electric Pedestal
- Power Pole/Telephone Pole
- Power Pole/Light Pole
- Gas Meter
- Gas Valve
- Curb Inlet
- Junction Box
- Sanitary Sewer Manhole
- Light Pole
- Boring Hole
- Sign
- Property Corner
- Telephone Manhole
- Telephone Pedestal
- Telephone Pole
- Proposed Building
- Barbed Wire Fence
- Centerline
- Fiber Optic Line
- Gas Line
- Guard Rail
- Over Head Electric
- Over Head Telephone
- Property Line
- Right-of-Way Line
- Sanitary Sewer Line
- Stream
- Underground Electric
- Underground Telephone
- Underground Cable TV
- Water Line
- Proposed Grades
- Proposed Storm Sewers
- Existing Grades
- Existing Storm Sewers
- Tree Deciduous
- Fire Hydrant
- Water Meter
- Proposed Floodway
- Proposed Floodplain
- Stream Corridor

PROJECT BENCHMARK

BM #11 - Chiseled "L" on top Northeast corner of concrete guardrail at the Northeast corner of I470 bridge spanning View High Drive. Coordinates: N=1008590.33', E=2803864.07', EL=833.80

BM #13 - Chiseled "L" on NE corner of Interstate 470 and Cedar Creek Bridge. Coordinates: N=1008342.79', E=2806758.22', EL=852.04'



GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64083
www.land3studio.com
MO Certificate of Authority # 200801860

Hoerr Schaudt Landscape Architects
2105 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority #201904088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finklewilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24	Revision
12/10/24	City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

General Site Plan

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

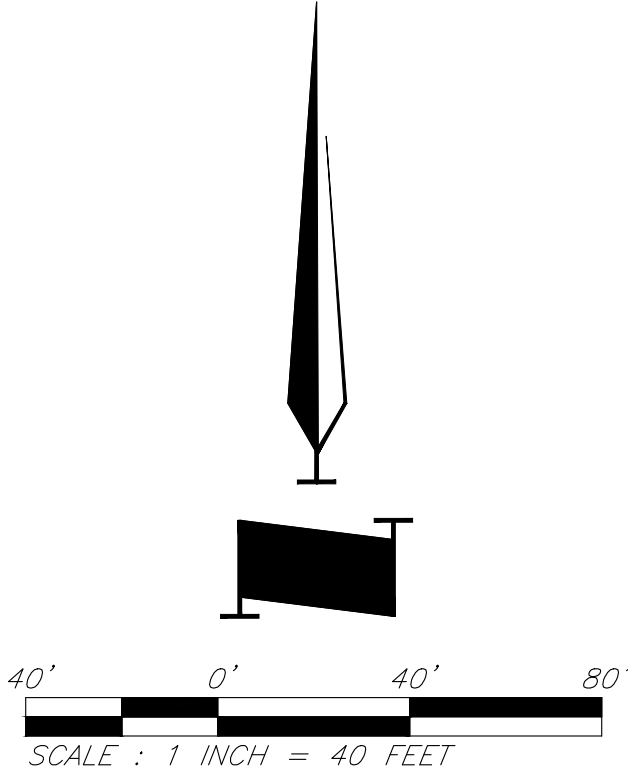
C001

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CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

- LEGEND**
- Existing Contour
 - Existing Flood Zone AE
 - Existing Flood Zone X
 - Stream Corridor
 - Proposed Floodplain
 - Proposed Floodway



GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
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HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finkewilliams.com
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PROJECT:

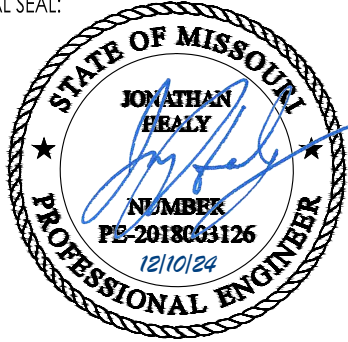
Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

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ISSUE:

11/5/24	Revision
12/10/24	City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

Existing Conditions

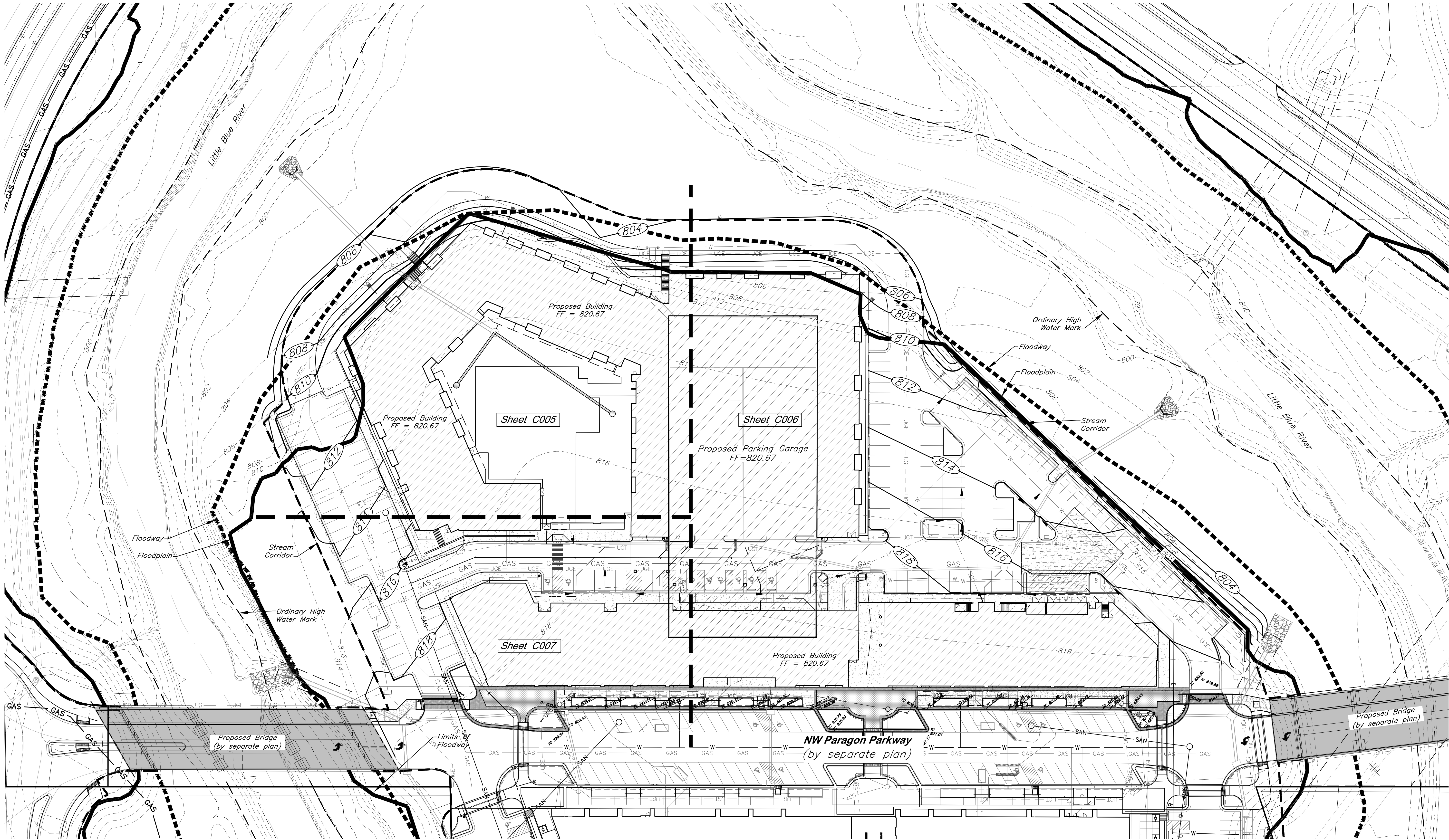
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DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C002

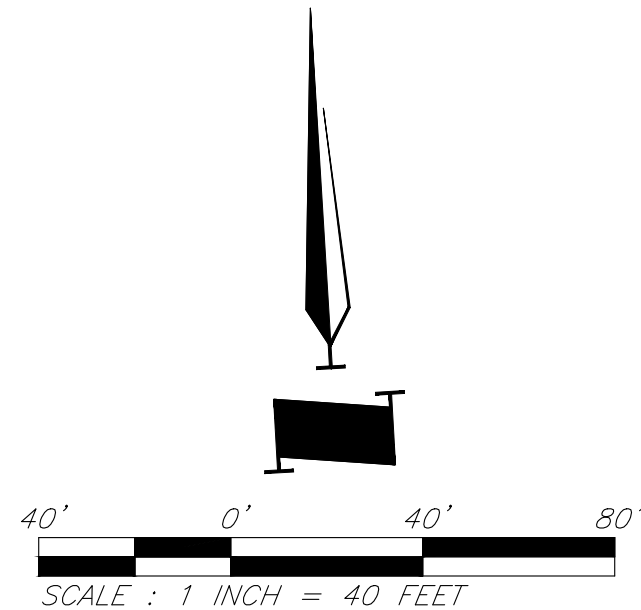
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CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

- LEGEND**
- | | | | |
|-----------|----------------------|-----|------------------------|
| ---XXX--- | Existing Contour | --- | Existing Flood Zone AE |
| ---XXX--- | Proposed Contour | --- | Existing Flood Zone X |
| TC XXX.XX | Proposed Top of Curb | --- | Stream Corridor |
| XXX.XX | Proposed Spot Grade | --- | Proposed Floodplain |
| --- | Drainage Flow Arrow | --- | Proposed Floodway |



GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 201904088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
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PROJECT:

Paragon Star North Village

3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24	Revision
12/10/24	City Comments

PROFESSIONAL SEAL:



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Overall Grading Plan

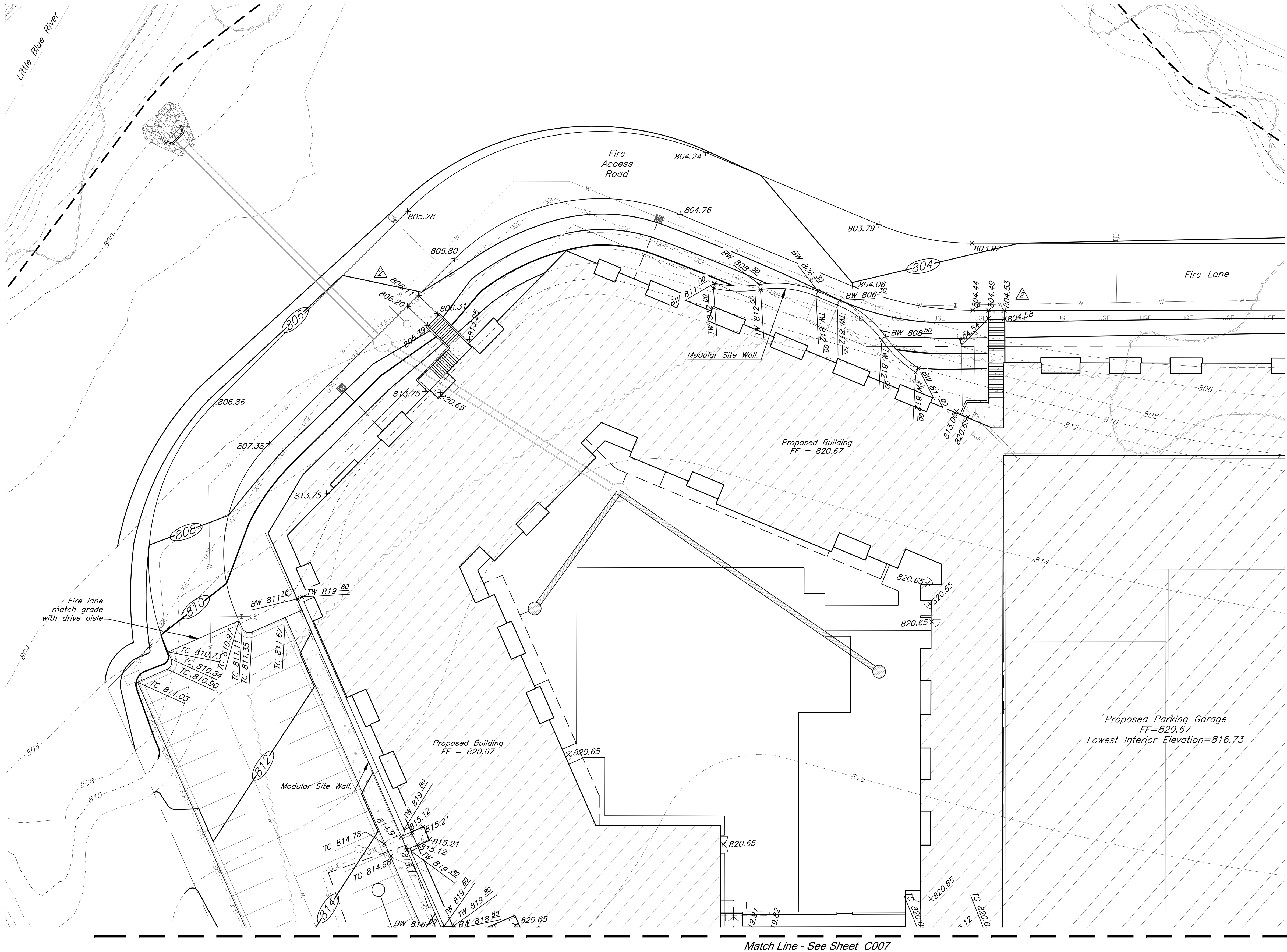
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DATE: 08.12.2022 DRAWN BY: JRH

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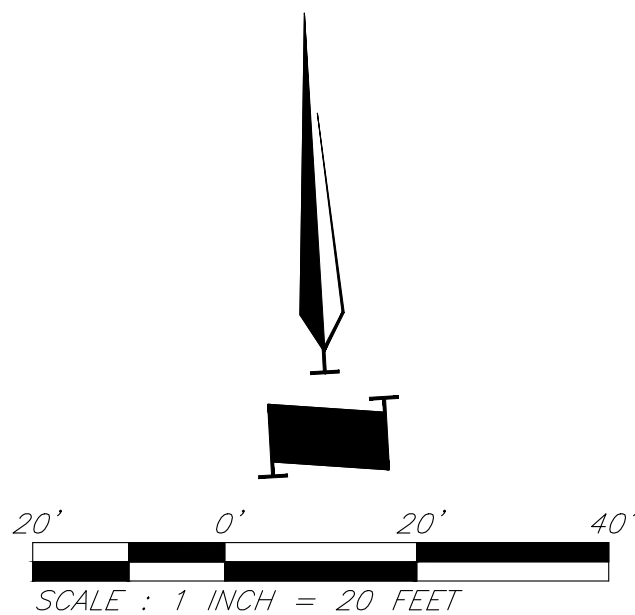
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utilities prior to commencing
construction.

- LEGEND**
- | | | | |
|-----------|----------------------|-----|------------------------|
| ---XXX--- | Existing Contour | --- | Existing Flood Zone AE |
| ---XXX--- | Proposed Contour | --- | Existing Flood Zone X |
| TC XXX.XX | Proposed Top of Curb | --- | Stream Corridor |
| xxx.xx | Proposed Spot Grade | --- | Proposed Floodplain |
| ➔ | Drainage Flow Arrow | --- | Proposed Floodway |



GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 2019004088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finklewilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

Paragon Star North Village

3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

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7/11/22	Addendum 1
11/5/24	Revision
12/10/24	City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

Grading Plan

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

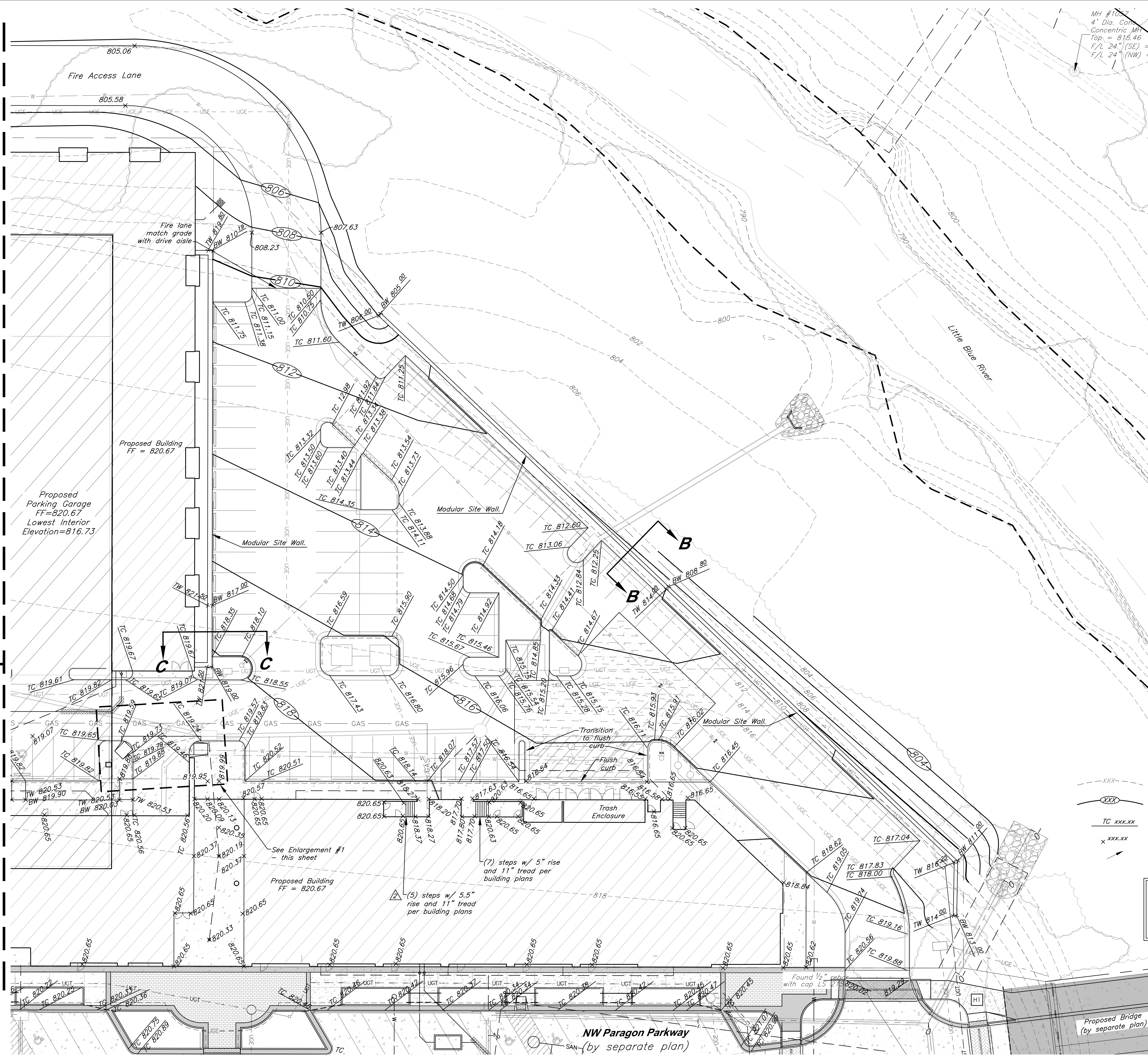
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C005

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Match Line - See Sheet C009

Match Line - See Sheet C007



MH #100
4" Dia. Conc.
Concentric MH
Top = 815.46
F/L 24" (SE) =
F/L 24" (NW) =

Top of Wall elevation
varies. See Grading
Plan this sheet

Big Block or
approved equal

Final Grade
Slope 3:1

Existing
Grade

SITE WALL SECTION B-B

Not to Scale

Top of Wall = 821.50

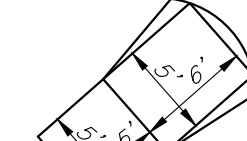
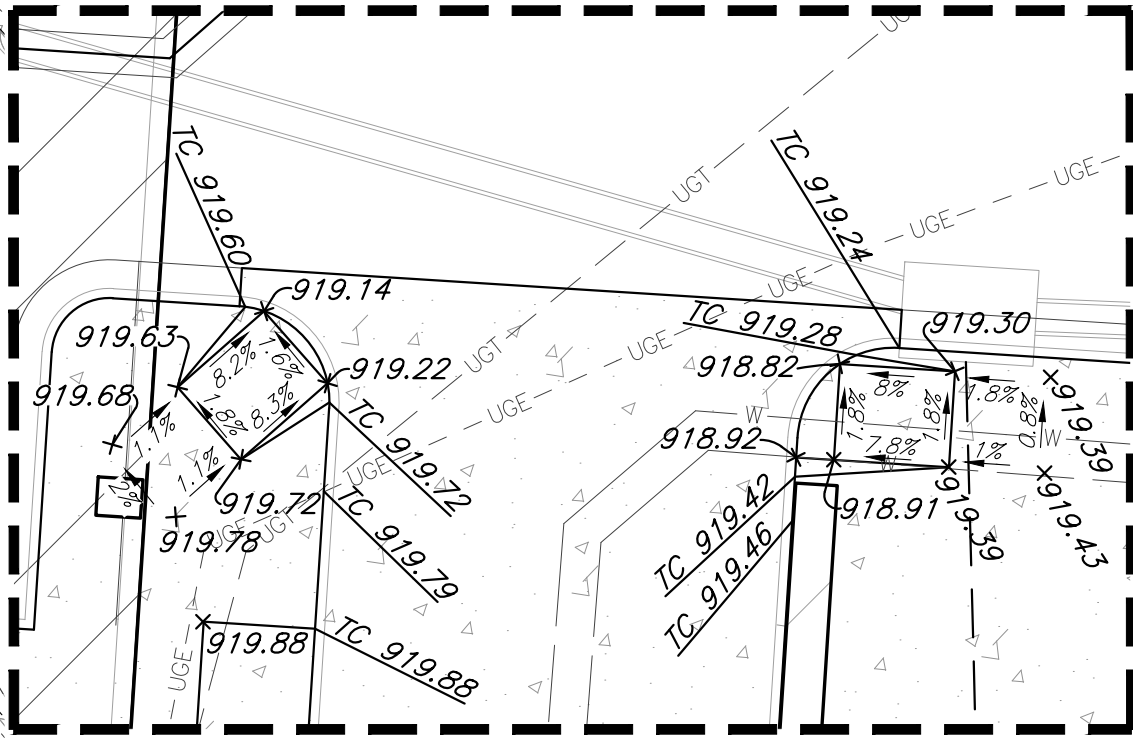
Big Block or
approved equal

Parking Lot
grade

Existing
Grade

SITE WALL SECTION C-C

Not to Scale



Ramp Dimensions

Enlargement #1

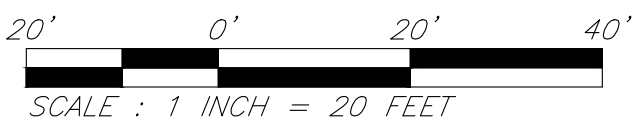
Scale: 1" = 10'

LEGEND

- | | |
|----------------------|------------------------|
| Existing Contour | Existing Flood Zone AE |
| Proposed Contour | Existing Flood Zone X |
| Proposed Top of Curb | Stream Corridor |
| Proposed Spot Grade | Proposed Floodplain |
| Drainage Flow Arrow | Proposed Floodway |

CAUTION!

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GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 201904088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.495.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finkewilliams.com
Missouri Certificate of Authority # F00453304

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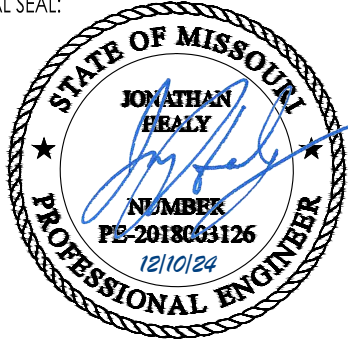
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7/11/22	Addendum 1
11/5/24	Revision
12/10/24	City Comments

PROFESSIONAL SEAL:



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Grading Plan

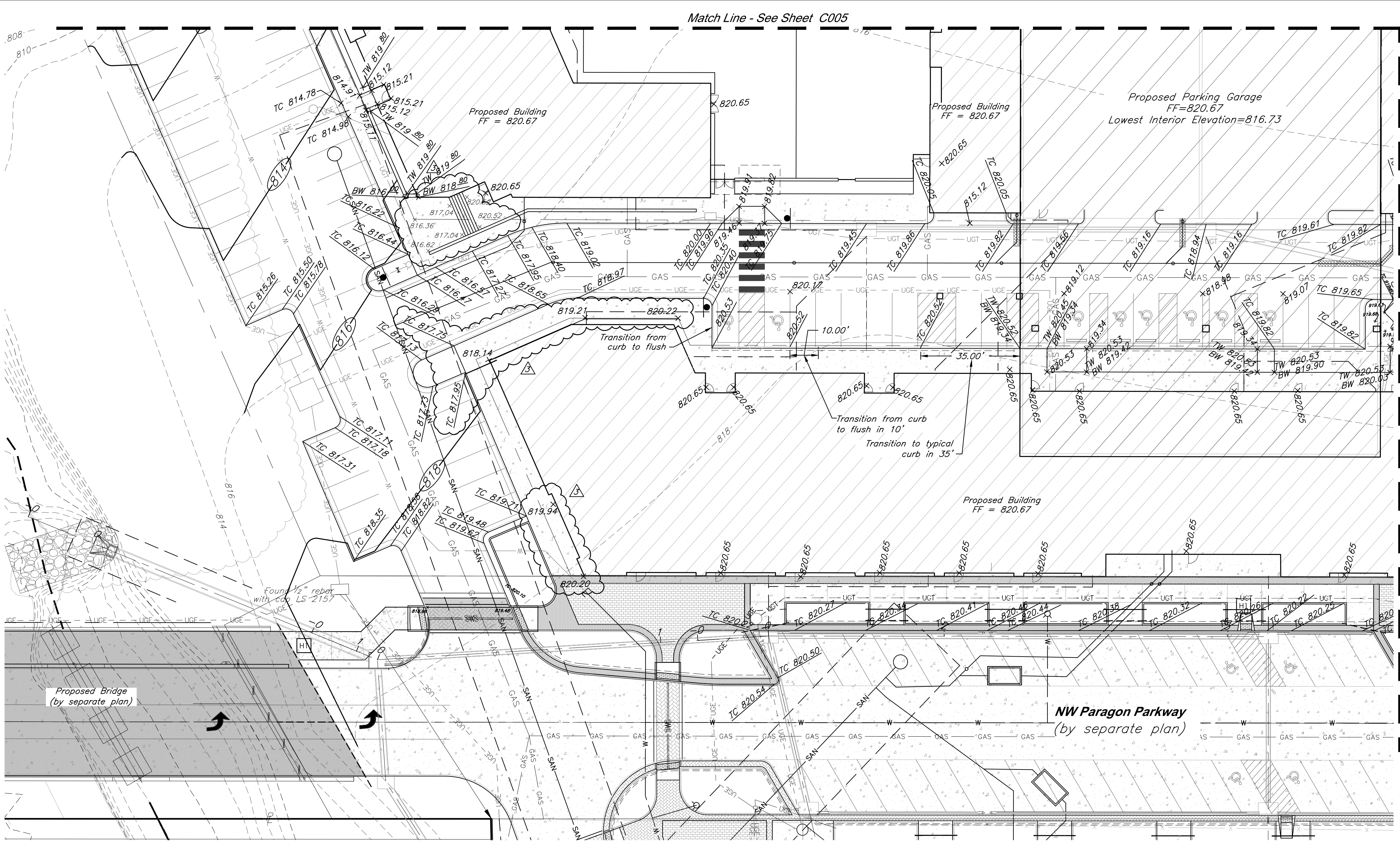
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

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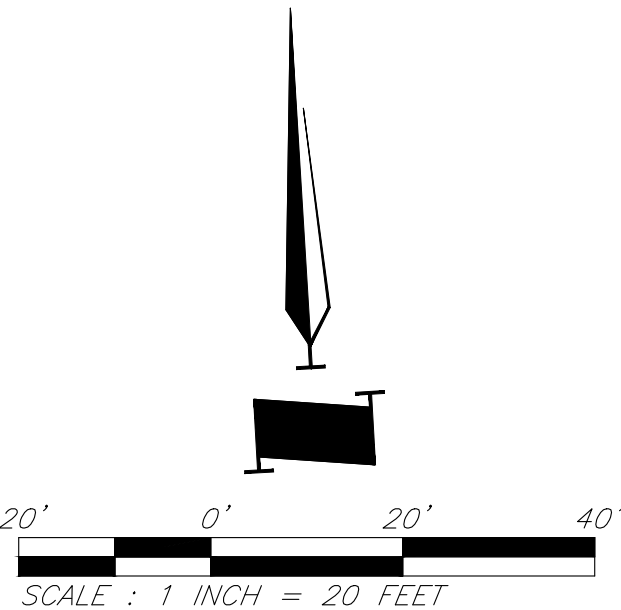
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CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND			
	Existing Contour		Existing Flood Zone AE
	Proposed Contour		Existing Flood Zone X
	Proposed Top of Curb		Stream Corridor
	Proposed Spot Grade		Proposed Floodplain
	Drainage Flow Arrow		Proposed Floodway



GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64663
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 201904088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finklewilliams.com
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PROJECT:

Paragon Star North Village

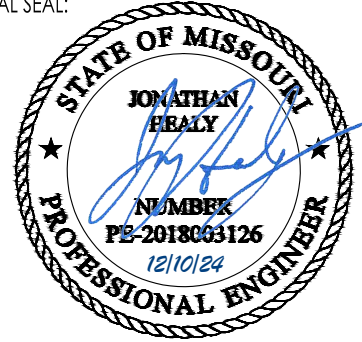
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ISSUE:

	7/20/22	Addendum 2
	11/5/24	Revision
	12/10/24	City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

Grading Plan

JOB NO: 18017, 19050.07, 19050.08

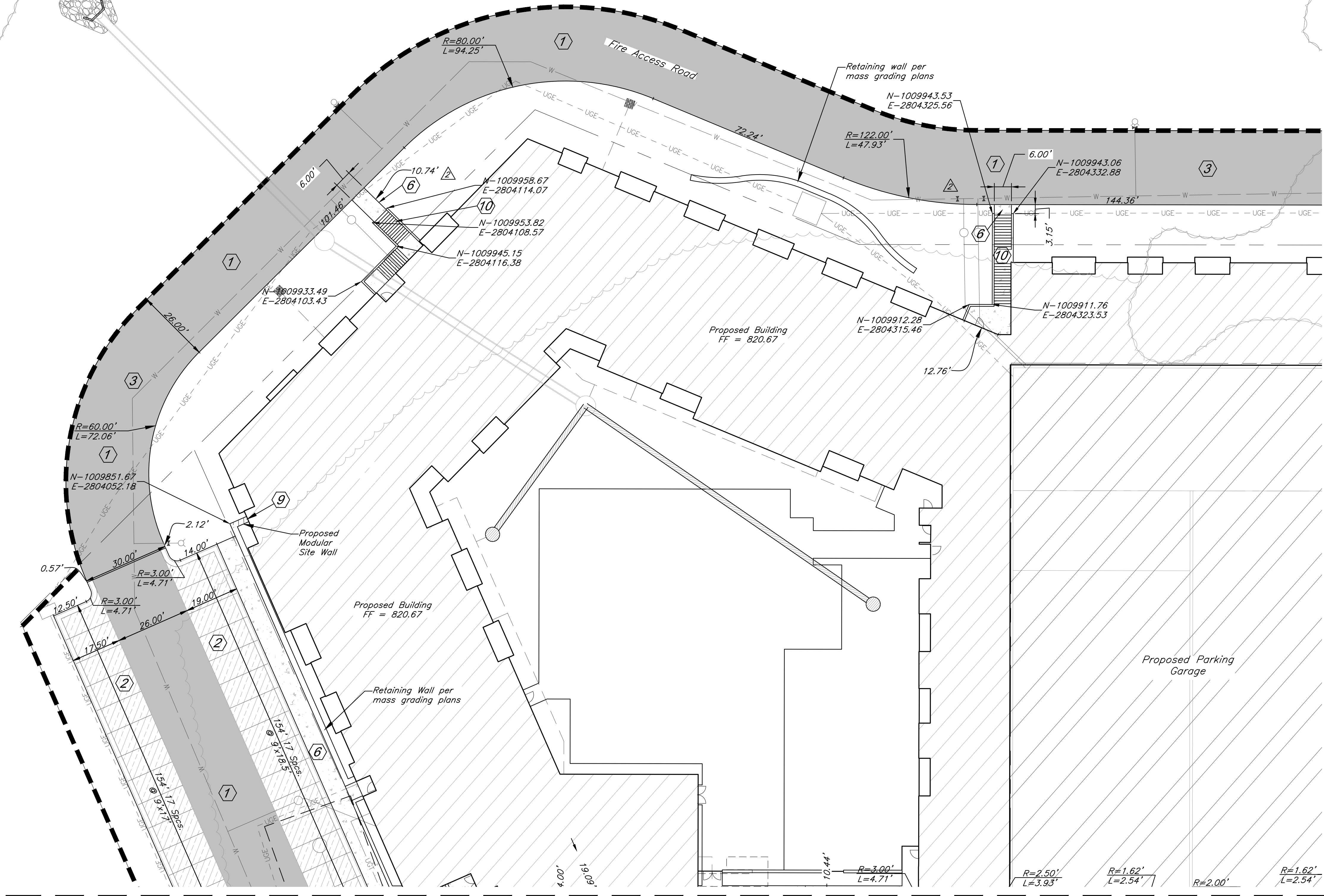
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C007

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Little Blue River



CONSTRUCTION NOTES:

- 1 Proposed HD Asphalt Pavement
- 2 Proposed LD Asphalt Pavement
- 3 Proposed Fire Access Road
- 4 Type CG-1 Curb & Gutter
- 6 Construct Concrete Sidewalk
- 9 Construct Modular Site Walls per Architectural and Structural Plans
- 10 Construct Stairs per Architectural and Structural Plans

DIMENSION NOTES:

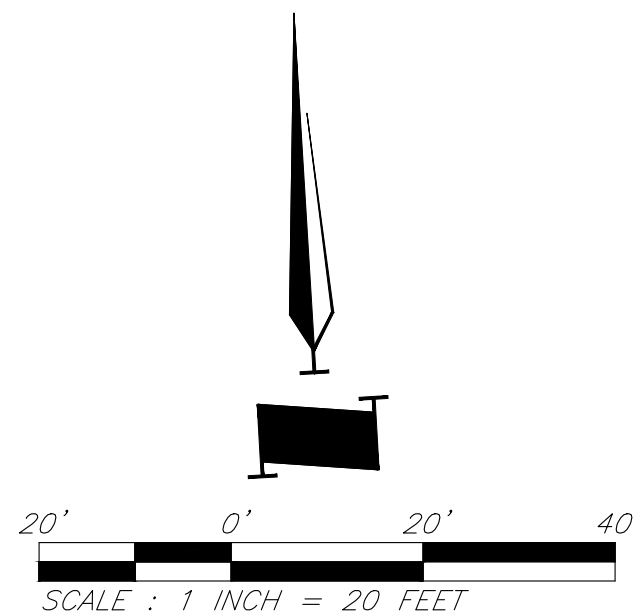
1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheets C020-C021 for construction details.

CAUTION!

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND

- | | | | |
|--|-----------------------------|--|----------------------------------|
| | Proposed HD Asphalt Surface | | Proposed Water Line |
| | Proposed LD Asphalt Surface | | Proposed Storm Sewer |
| | Type CG-1 "Dry Curb" | | Existing Sanitary Sewer |
| | Proposed Modular Site Wall | | Crosswalk Sign / Stop Sign (Typ) |
| | Proposed Concrete Walk | | Proposed Grass Paver |



GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 200801860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
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8345 Lenexa Drive
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8787 Renner Boulevard, Suite 100
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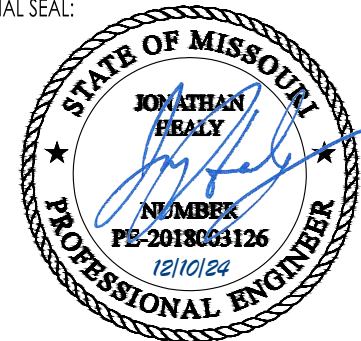
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	11/5/24	Revision
	12/10/24	City Comments

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JOB NO: 18017, 19050.07, 19050.08

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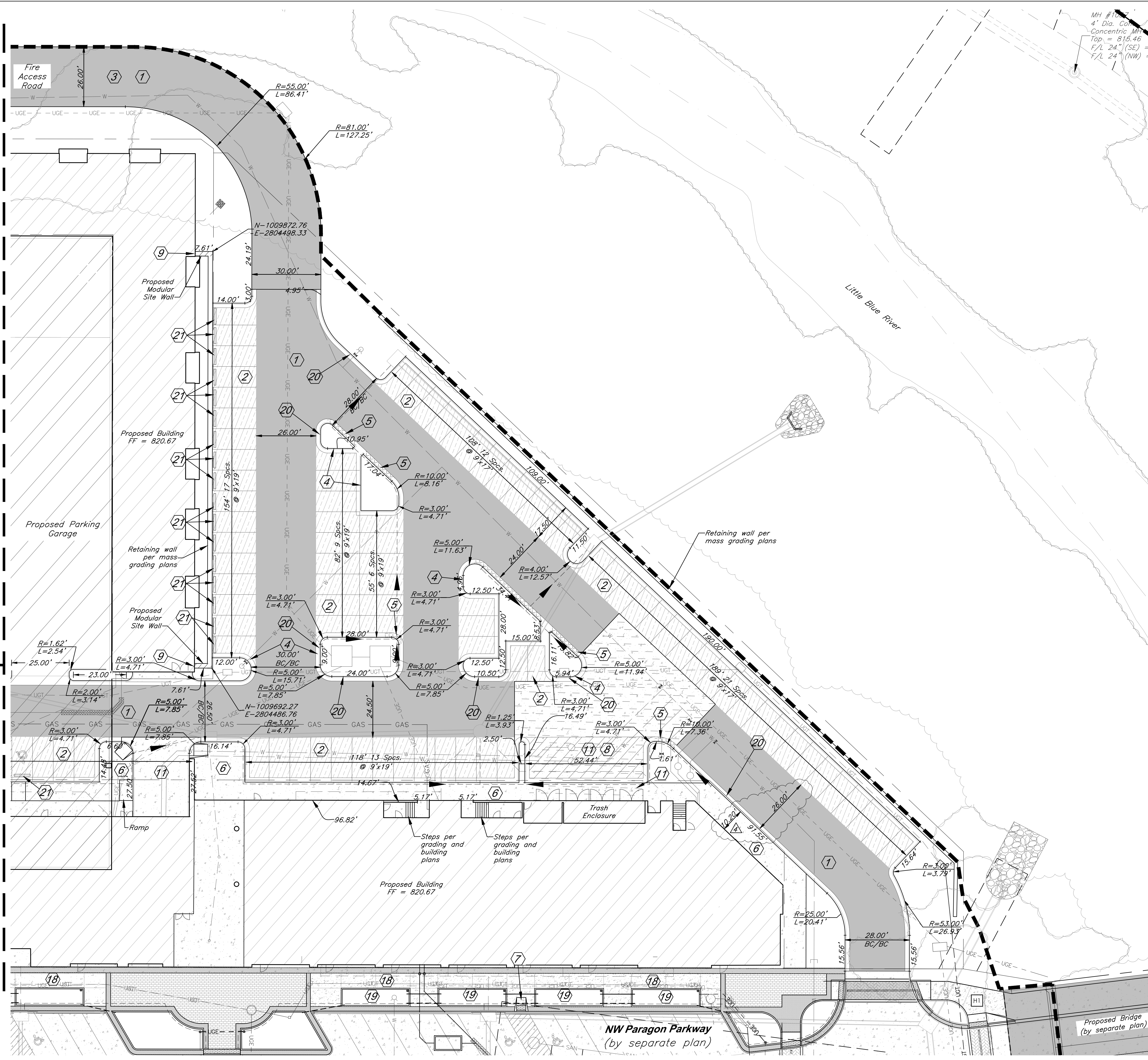
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C009

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Match Line - See Sheet C009

Match Line - See Sheet C011



CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

CONSTRUCTION NOTES:

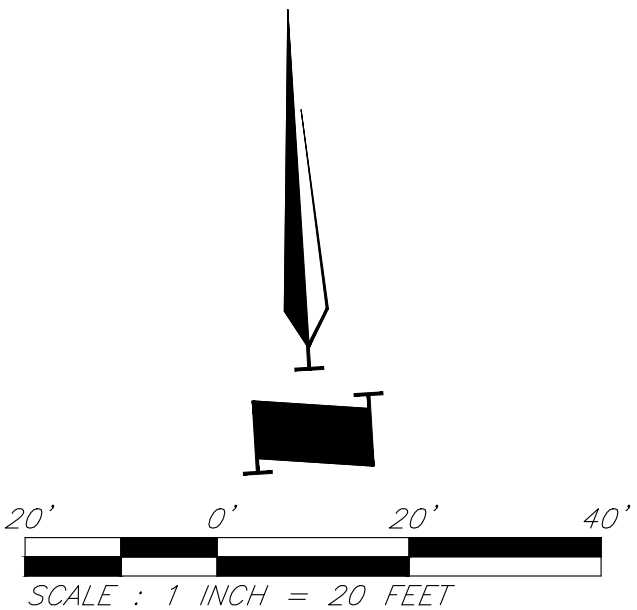
- 1 Proposed HD Asphalt Pavement
- 2 Proposed LD Asphalt Pavement
- 3 Proposed Fire Access Road
- 4 Type CG-1 Curb & Gutter
- 5 Type CG-1 "Dry" Curb & Gutter
- 6 Construct Concrete Sidewalk
- 7 Construct ADA Ramp
- 8 No Parking Pavement Striping for Trash Enclosure
- 9 Construct Modular Site Walls per Architectural and Structural Plans
- 11 Proposed HD Concrete Pavement
- 18 Construct typical sidewalk per streetscape details
- 19 Construct raised planter per streetscape details
- 20 Paint each edge of paved fire lane per Lee's Summit Code Chapter 13, Article III, Section 13-44-503.3. Paint 6 inch wide stripe on asphalt with 4 inch white lettering stating "FIRE LANE-NO PARKING". Warding shall not be spaced greater than 15 feet apart.
- 21 Install Concrete Stop Block. See Sht. C020 for Detail.

DIMENSION NOTES:

1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheet C020-C021 for construction details.

LEGEND

- Proposed HD Asphalt Surface
- Proposed LD Asphalt Surface
- Proposed Concrete Pavement
- Proposed HD Concrete Pavement (Trash Enclosure)
- Proposed Grass Paver
- Type CG-1 "Dry Curb"
- Proposed Water Line
- Proposed Storm Sewer
- Existing Sanitary Sewer



GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64083
816.510.0438
www.land3studio.com
MO Certificate of Authority # 200801860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 201904088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.498.1550
www.finklewilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

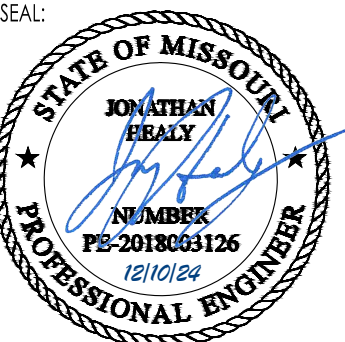
Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

4	9/28/22	ASI 1
	11/5/24	Revision
	12/10/24	City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

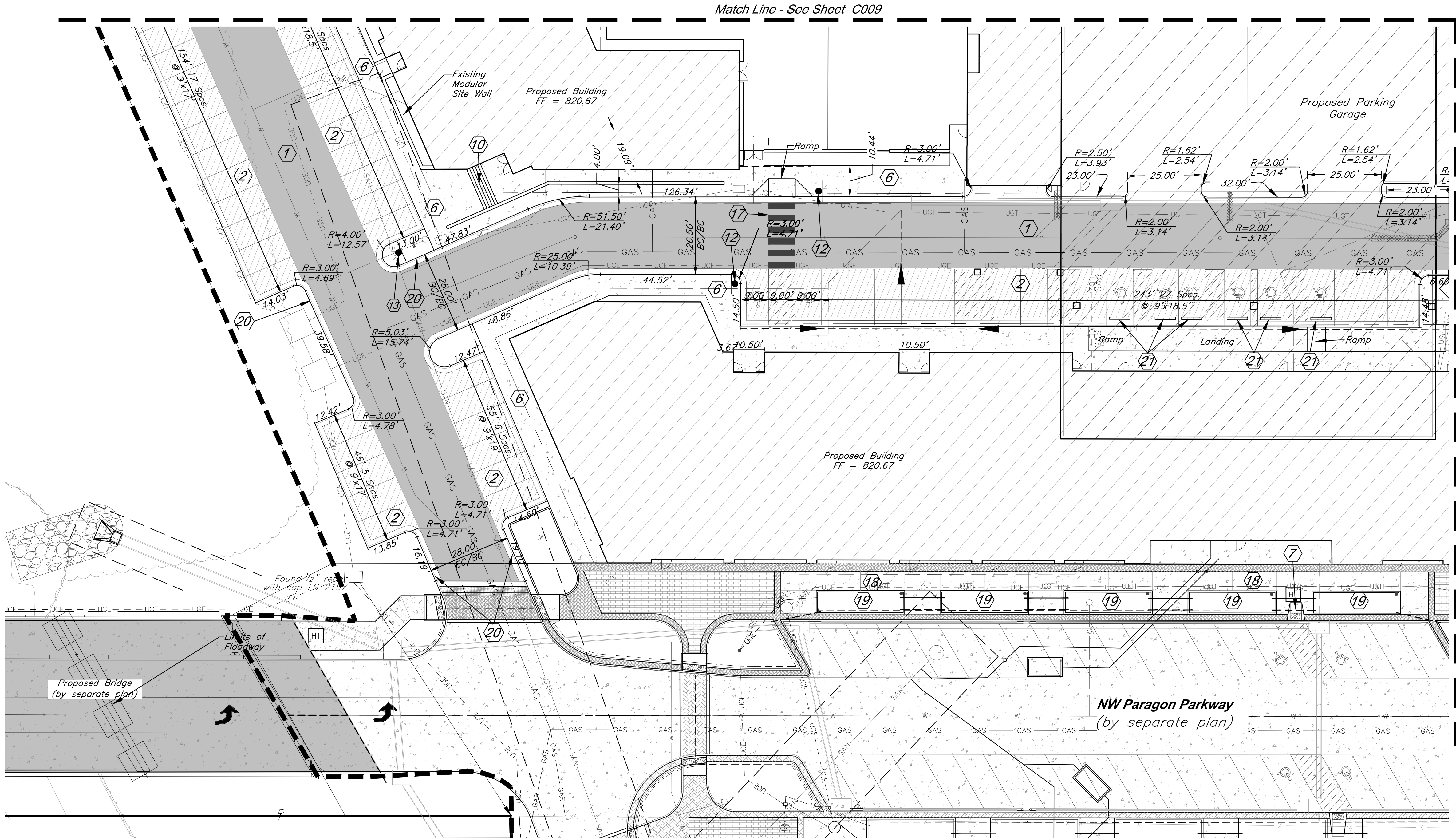
Dimension Plan

JOB NO: 18017, 19050.07, 19050.08
DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

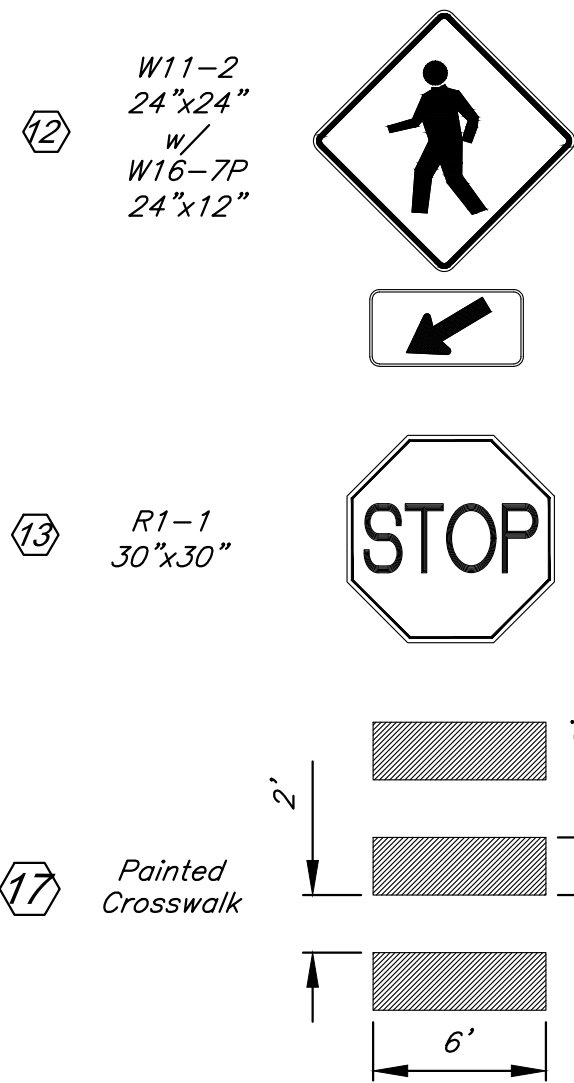
C010

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Notes:

1. All signs shall be placed 2' behind back of curb unless otherwise noted.
2. All ADA accessible parking stalls to be painted in accordance with U.S. Dept. of Justice specifications.
3. All pavement markings on private property shall be waterborne paint.
4. All pavement markings in public Right of Way shall be preformed Thermoplastic conforming to AASHTO M249-79.



CONSTRUCTION NOTES:

- 1 Proposed HD Asphalt Pavement
- 2 Proposed LD Asphalt Pavement
- 4 Type CG-1 Curb & Gutter
- 5 Type CG-1 "Dry" Curb & Gutter
- 6 Construct Concrete Sidewalk
- 7 Construct ADA Ramp
- 10 Construct Stairs per Architectural and Structural Plans
- 12 Crosswalk Signage (See Detail this Sheet)
- 13 Stop Sign Signage (See Detail this Sheet)
- 17 White Traffic Paint Crosswalk
- 18 Construct typical sidewalk per streetscape details
- 19 Construct raised planter per streetscape details
- 20 Paint each edge of paved fire lane per Lee's Summit Code Chapter 13, Article III, Section 13-44-503.3. Paint 6 inch wide stripe on asphalt with 4 inch white lettering stating "FIRE LANE-NO PARKING". Wordings shall not be spaced greater than 15 feet apart.
- 21 Install Concrete Stop Block. See Sht. C020 for Detail.

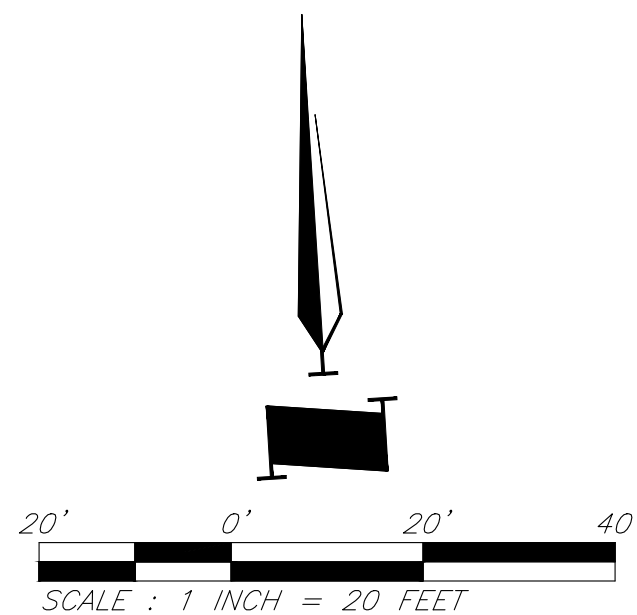
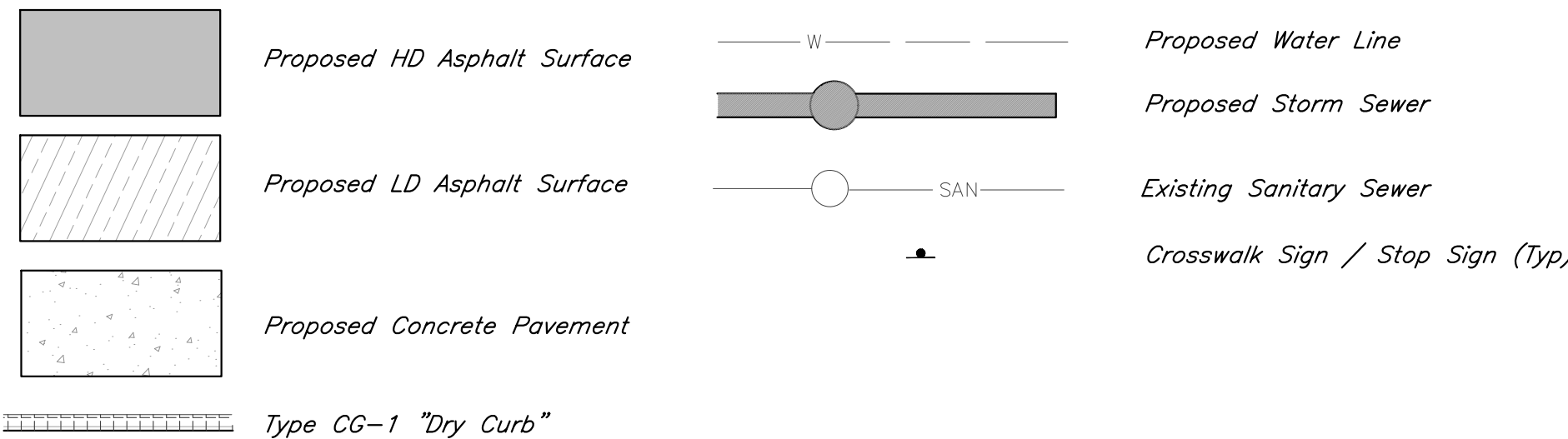
DIMENSION NOTES:

1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheet C020 - C021 for construction details.

CAUTION!

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND



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9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gba-team.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64083
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816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 201904088

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8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
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FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finklewilliams.com
Missouri Certificate of Authority # F00453304

PROJECT:

Paragon Star North Village
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FDP Resubmittal

ISSUE:

11/5/24	Revision
12/10/24	City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

Dimension Plan

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C011

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Sanitary Sewer Construction Notes

- (S1) Connect 6" Service Line to Sanitary Sewer Line A with cut-in wye, Sta=14+18.41, ℓ =809.26. ℓ End of wye=809.93. Install 67 LF 6" Dia. SDR26 PVC Pipe @ 1% to S3.
- (S2) Install Cleanout
- (S3) Connect to 6" building stub, ℓ =814.67. See MEP plan for continuation.
- (S4) Connect 6" Service Line to Sanitary Sewer Line A with cut-in wye, Sta=14+8.20, ℓ =809.17. ℓ End of Tee=809.84. Install 200 LF 6" Dia. SDR26 PVC Pipe @ 1% to S5.
- (S5) Install wye connection, ℓ =811.83. Install 21 LF 6" Dia. SDR26 PVC Pipe @ 1% to S6. Install 60.5 LF 6" Dia. SDR26 PVC Pipe @ 1% to S7.
- (S6) Connect to 6" building stub, ℓ =812.04. See MEP plan for continuation.
- (S7) Install wye connection, ℓ =812.44. Install 19 LF 6" Dia. SDR26 PVC Pipe @ 1% to S8. Install 95 LF 6" Dia. SDR26 PVC Pipe @ 1% to S9.
- (S8) Connect to 6" building stub, ℓ =812.63. See MEP plan for continuation.
- (S9) Connect to 6" building stub, ℓ =813.39. See MEP plan for continuation.
- (S10) 45° Bend
- (S11) 22.5° Bend
- (S12) Sanitary line crosses under storm sewer. Construct 10 LF Reinforced Concrete Encasement, centered on crossing.
- (S13) Sanitary line crosses under storm sewer. Construct 30 LF Reinforced Concrete Encasement, centered on crossing.
- (S14) Connect 6" Service Line to existing Sanitary Sewer Service Stub, ℓ =811.41±. Install 6 LF 6" dia. SDR26 PVC north to building stub, ℓ =813.67.
- (S15) Connect 4" Service Line to existing Sanitary Sewer Service Stub, ℓ =811.41±. Install 6 LF 4" dia. SDR26 PVC north to building stub (grease line), ℓ =813.67.
- (S16) Connect 6" Service Line to existing Sanitary Sewer Service Stub, ℓ =813.20±.
- (S17) Connect 4" Service Line to existing Sanitary Sewer Service Stub (grease line), ℓ =813.20±.

Storm Sewer Construction Notes

- (ST1) Connect roof drain line to Structure 5002, ℓ =813.00. Install 6 LF 10" Dia. SDR 26 PVC @ 2% to ST2.
- (ST2) Install tee connection, ℓ =813.12. Install 21 LF 10" Dia. SDR26 PVC @ 2% to ST3. Install 14 LF 10" Dia. SDR26 PVC @ 2% to ST4.
- (ST3) Connect to building stub, ℓ =813.54. See MEP Plan for continuation.
- (ST4) Install tee connection, ℓ =813.40. Install 6.5 LF 10" Dia. SDR26 PVC @ 2% to ST5. Install 70.5 LF 10" Dia. SDR26 PVC @ 2% to ST6.
- (ST5) Connect to building stub, ℓ =813.53. See MEP Plan for continuation.
- (ST6) Install tee connection, ℓ =814.81. Install 2.5 LF 10" Dia. SDR26 PVC @ 5% to ST7. Install 29 LF 10" Dia. SDR26 PVC @ 2% to ST8.
- (ST7) Connect to building stub, ℓ =814.94. See MEP Plan for continuation.
- (ST8) Connect to building stub, ℓ =815.39. See MEP Plan for continuation.
- (ST9) Connect roof drain line to Structure 5901, ℓ =813.00. Install 4 LF 12" Dia. SDR 26 PVC @ 2% to ST10.
- (ST10) Install tee connection, ℓ =813.08. Install 25 LF 12" Dia. SDR26 PVC @ 2% to ST11. Install 27.5 LF 12" Dia. SDR26 PVC @ 2% to ST12.
- (ST11) Connect to building stub, ℓ =813.58. See MEP Plan for continuation.
- (ST12) Install tee connection, ℓ =813.63. Install 6 LF 12" Dia. SDR26 PVC @ 2% to ST13. Install 60.5 LF 12" Dia. SDR26 PVC @ 2% to ST14.
- (ST13) Connect to building stub, ℓ =813.75. See MEP Plan for continuation.
- (ST14) Connect to building stub, ℓ =814.84. See MEP Plan for continuation.

- (ST15) Connect roof drain line to Structure 4301, ℓ =813.71. Install 18 LF 8" Dia. SDR 26 PVC @ 2% to ST16. Install tee connection, ℓ =814.07. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST17. Install 57 LF 8" Dia. SDR26 PVC @ 2% to ST18.
- (ST17) Connect to building stub, ℓ =814.15. See MEP Plan for continuation.
- (ST18) Install tee connection, ℓ =815.21. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST19. Install 62 LF 8" Dia. SDR26 PVC @ 2% to ST20.
- (ST19) Connect to building stub, ℓ =815.29. See MEP Plan for continuation.
- (ST20) Connect to building stub, ℓ =816.45. See MEP Plan for continuation.

- (ST21) Connect roof drain line to Structure 4302, ℓ =815.53. Install 22 LF 8" Dia. SDR 26 PVC @ 2% to ST22.
- (ST22) Connect to building stub, ℓ =815.97. See MEP Plan for continuation.

- (ST23) Connect roof drain line to Structure 5401, ℓ =815.03. Install 18 LF 8" Dia. SDR 26 PVC @ 2% to ST24. Install tee connection, ℓ =815.39. Install 18 LF 8" Dia. SDR26 PVC @ 2% to ST25. Install 33 LF 8" Dia. SDR26 PVC @ 2% to ST28.
- (ST25) Install tee connection, ℓ =815.75. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST26. Install 60 LF 8" Dia. SDR26 PVC @ 2% to ST27.

- (ST26) Connect to building stub, ℓ =815.83. See MEP Plan for continuation.
- (ST27) Connect to building stub, ℓ =816.95. See MEP Plan for continuation.

- (ST28) Install tee connection, ℓ =816.05. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST29. Install 52 LF 8" Dia. SDR26 PVC @ 2% to ST30.
- (ST29) Connect to building stub, ℓ =816.13. See MEP Plan for continuation.
- (ST30) Connect to building stub, ℓ =817.09. See MEP Plan for continuation.
- (ST31) Connect 8" PVC pipe to structure 5702, ℓ =815.44. Install 49.67 LF 8" PVC pipe @ 2% to ST32.
- (ST32) Construct 12" Nyloplast Drain Basin with Pedestrian Grate Top elev.=820.19. ℓ 8" In (S)=816.93. ℓ 8" Out (N)=816.43. Install 36.5 LF 8" PVC pipe @ 2% to ST33.
- (ST33) Construct 12" Nyloplast Inline Drain with Pedestrian Grate Top elev.=820.33. ℓ 8" Out (N)=817.66.

- (ST34) Construct 3'x3' riprap pad. D50=6", depth=12". ℓ 6"=808.00. Install 21 LF 6" PVC roof drain SW @ 5% to ST35.

- (ST35) Connect to building stub, ℓ =809.05. See MEP Plan for continuation.
- (ST36) Construct 3'x3' riprap pad. D50=6", depth=12". ℓ 6"=806.00. Install 23.5 LF 6" PVC roof drain SW @ 5% to ST37.

- (ST37) Connect to building stub, ℓ =807.18. See MEP Plan for continuation.
- (ST38) Construct 3'x3' riprap pad. D50=6", depth=12". ℓ 8"=808.00. Install 12.5 LF 6" PVC roof drain SW @ 5% to ST39.

- (ST39) Connect to building stub, ℓ =808.63. See MEP Plan for continuation.

- (ST40) Connect roof drain line to Structure 5705, ℓ =816.25. Install 46.5 LF 6" Dia. SDR 26 PVC @ 2% to ST41.
- (ST41) Install tee connection, ℓ =817.18. Install 42.5 LF 8" Dia. SDR26 PVC @ 2% to ST42. Install 27.5 LF 8" Dia. SDR26 PVC @ 2% to ST43.
- (ST42) Connect to building stub, ℓ =818.03. See MEP Plan for continuation.
- (ST43) Connect to building stub, ℓ =817.73. See MEP Plan for continuation.

- (ST44) Connect roof drain line to Structure 5705, ℓ =816.25. Install 37 LF 12" Dia. SDR 26 PVC @ 2% to ST41.
- (ST45) Install tee connection, ℓ =816.99. Install 76.5 LF 8" Dia. SDR26 PVC @ 2% to ST46. Install 16 LF 12" Dia. SDR26 PVC @ 2% to ST47.

- (ST46) Connect to building stub, ℓ =818.52. See MEP Plan for continuation.
- (ST47) Install tee connection, ℓ =817.31. Install 5 LF 8" Dia. SDR26 PVC @ 2% to ST48. Install 36 LF 8" Dia. SDR26 PVC @ 2% to ST49.

- (ST48) Connect to building stub, ℓ =817.41. See MEP Plan for continuation.
- (ST49) Connect to building stub, ℓ =818.03. See MEP Plan for continuation.

- (ST50) Connect roof drain line to Structure 5704, ℓ =816.10. Install 35 LF 6" Dia. SDR 26 PVC @ 2% to ST51.
- (ST51) Install wye connection, ℓ =816.80. Install 32 LF 4" Dia. SDR26 PVC @ 2% to ST52. Install 23 LF 4" Dia. SDR26 PVC @ 2% to ST53.

- (ST52) Connect to building stub, ℓ =817.44. See MEP Plan for continuation.
- (ST53) Connect to building stub, ℓ =817.26. See MEP Plan for continuation.

- (ST54) Connect roof drain line to Structure 5704, ℓ =815.93. Install 21 LF 8" Dia. SDR 26 PVC @ 2% to ST55.

- (ST55) Install wye connection, ℓ =816.35. Install 3 LF 6" Dia. SDR26 PVC @ 2% to ST56. Install 2.5 LF 6" Dia. SDR26 PVC @ 2% to ST57.
- (ST56) Connect to building stub, ℓ =816.41. See MEP Plan for continuation.

- (ST57) Connect to building stub, ℓ =816.40. See MEP Plan for continuation.
- (ST58) Connect roof drain line to Structure 5703, ℓ =815.00. Install 23 LF 8" Dia. SDR 26 PVC @ 2% to ST59.

- (ST59) Install wye connection, ℓ =815.46. Install 34.5 LF 6" Dia. SDR26 PVC @ 2% to ST60. Install 66 LF 6" Dia. SDR26 PVC @ 2% to ST61.
- (ST60) Connect to building stub, ℓ =816.15. See MEP Plan for continuation.

- (ST61) Connect to building stub, ℓ =816.78. See MEP Plan for continuation.
- (ST62) Connect roof drain line to Structure 5701, ℓ =815.73. Install 30 LF 8" Dia. SDR 26 PVC @ 2% to ST59.

- (ST63) Install wye connection, ℓ =816.33. Install 4 LF 6" Dia. SDR26 PVC @ 2% to ST64. Install 67 LF 6" Dia. SDR26 PVC @ 2% to ST65.
- (ST64) Connect to building stub, ℓ =816.41. See MEP Plan for continuation.

- (ST65) Connect to building stub, ℓ =817.67. See MEP Plan for continuation.
- (ST66) Connect roof drain line to Structure 5701, ℓ =815.73. Install 91.5 LF 8" Dia. SDR 26 PVC @ 2% to ST67.

- (ST67) Connect to building stub, ℓ =817.56. See MEP Plan for continuation.

Gas Construction Notes

- (G1) Gas service line per service provider
- (G2) Retail Gas Meter
- (G3) Retail Gas Meter
- (G4) Multi-Family Gas Meter
- (G5) Multi-Family gas service

General Utility Notes:

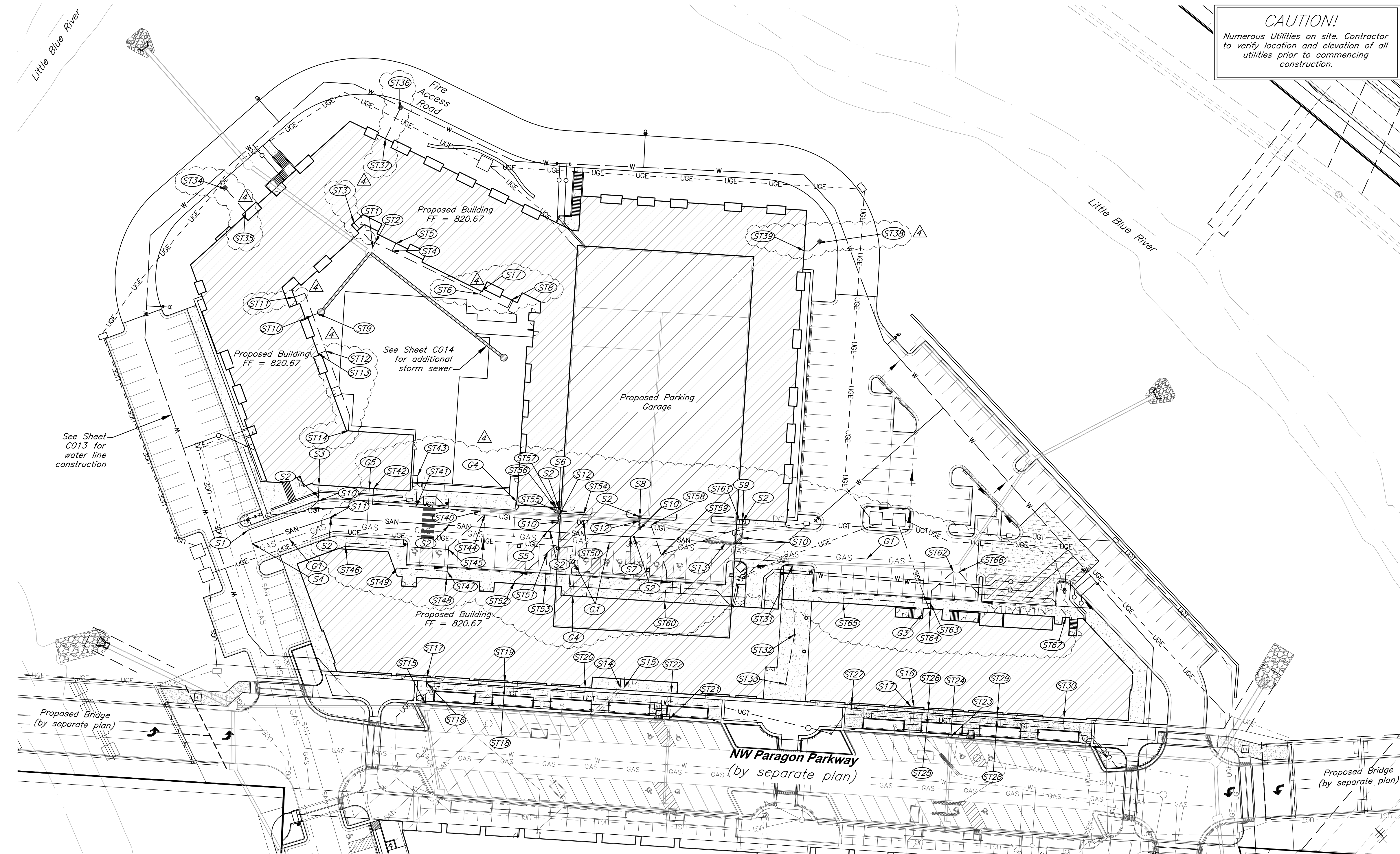
- See Sheet C020 for Construction Details.
- Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
- Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
- Water line minimum burial depth shall be 42 inches. All other pipe burial shall be minimum 12 inches.

Notes:

- Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
- Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
- Taps on all in grade inlets shall maintain street slope, low point inlets to be set level.
- Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.

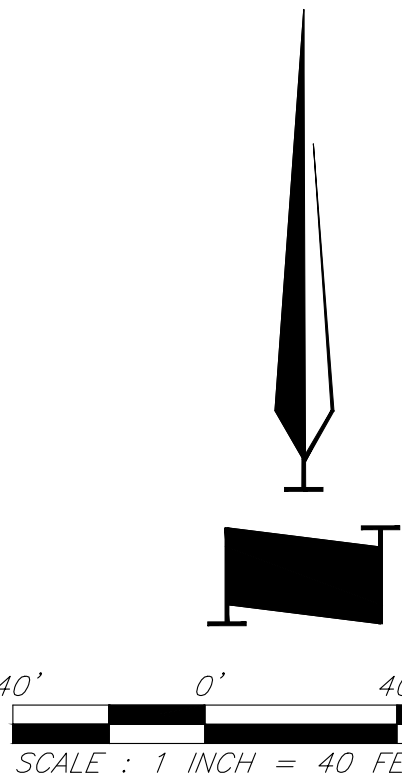
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Legend

- W ————— Proposed Water Line
- Proposed Storm Sewer
- SAN ————— Proposed Sanitary Sewer
- GAS— GAS ————— Proposed Gas Line
- UGE— — UGE— — Proposed Underground Electric
- UGT— — — — — Proposed Telecom



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Lenexa, KS 66219
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Paragon Star North Village
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FDP Resubmittal

ISSUE:

9/28/22	ASI 1
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Utility Plan

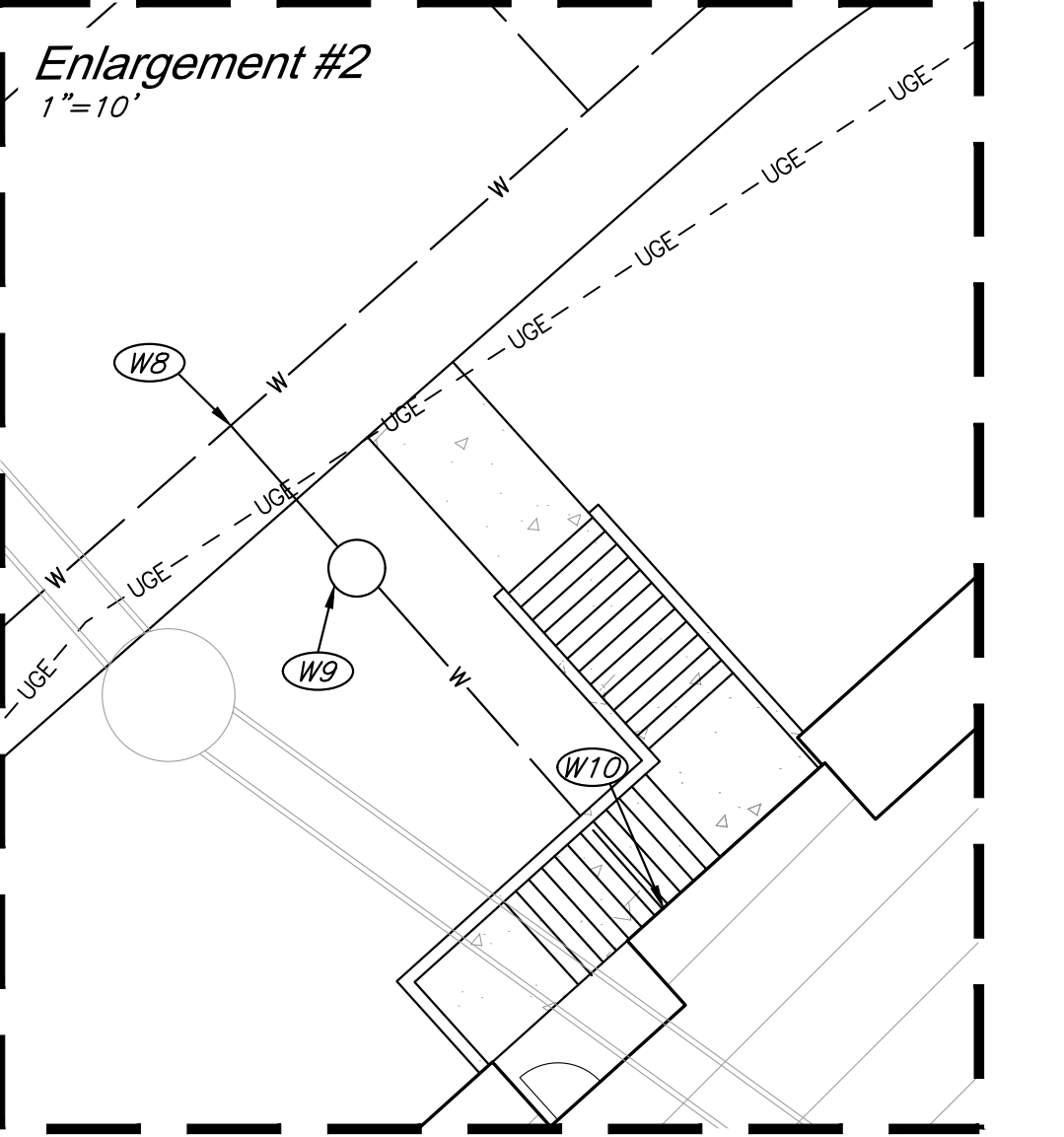
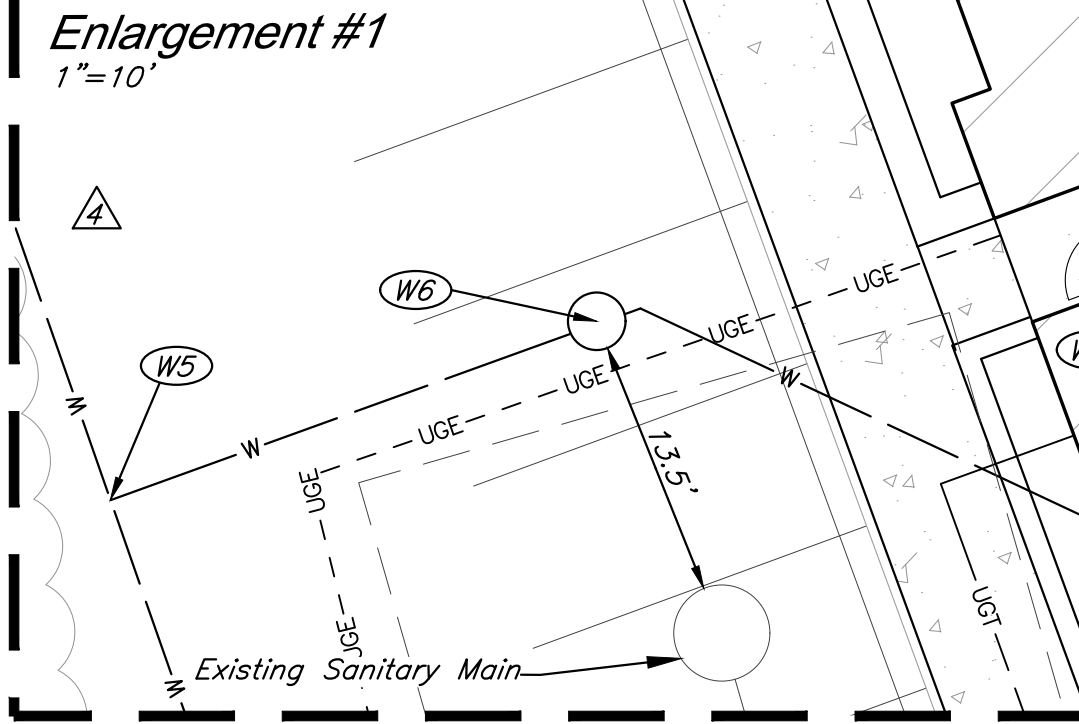
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DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C012

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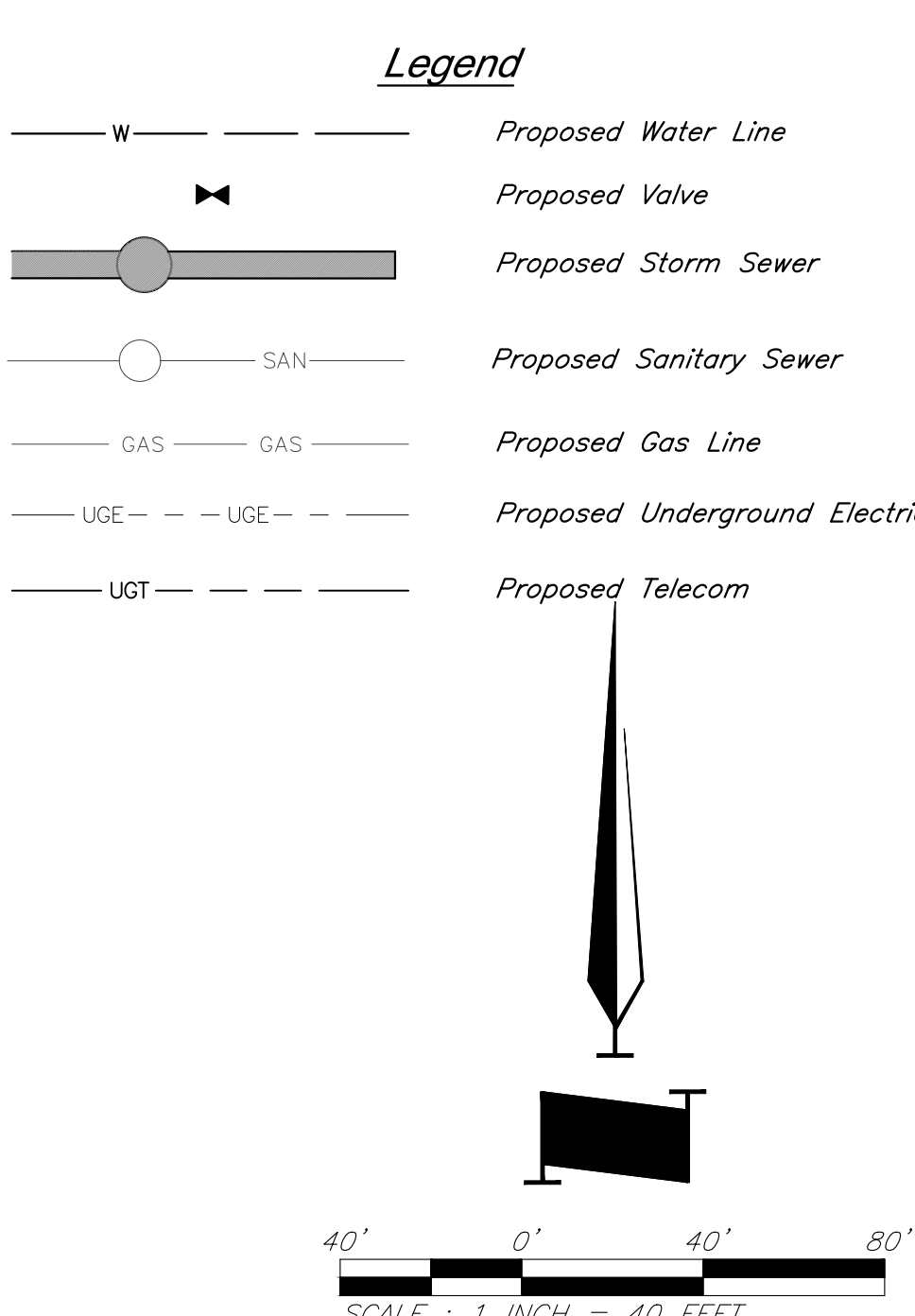
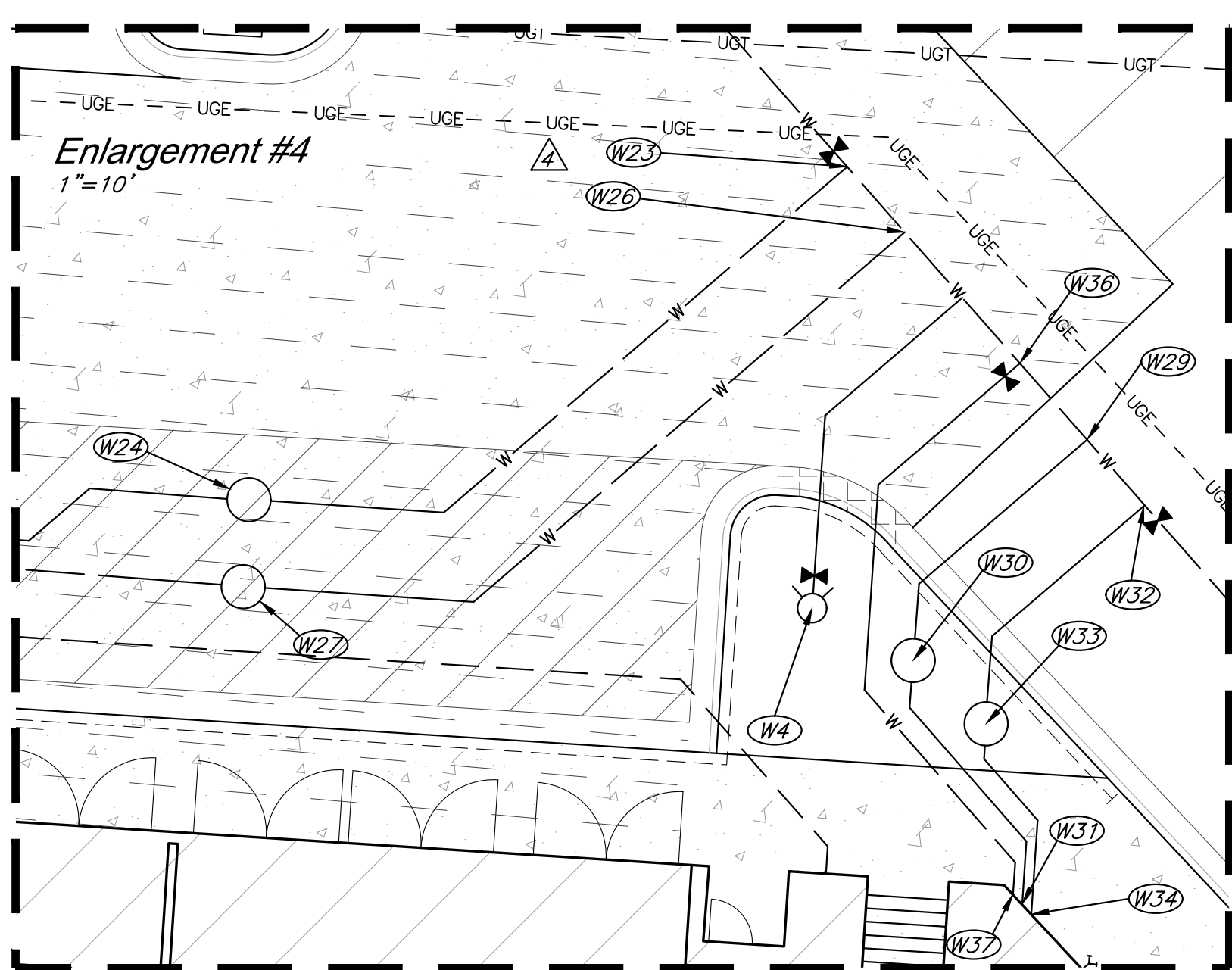
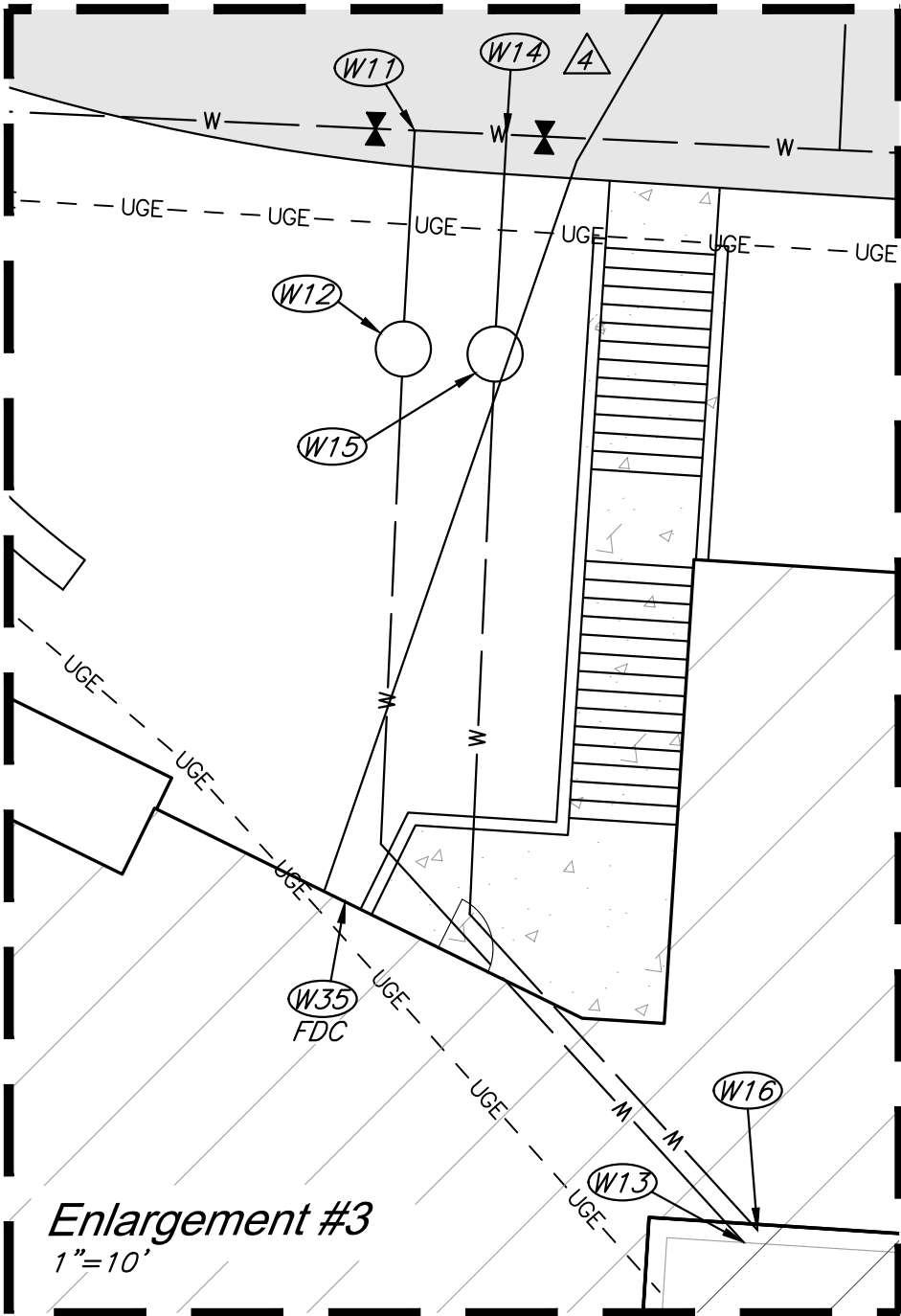
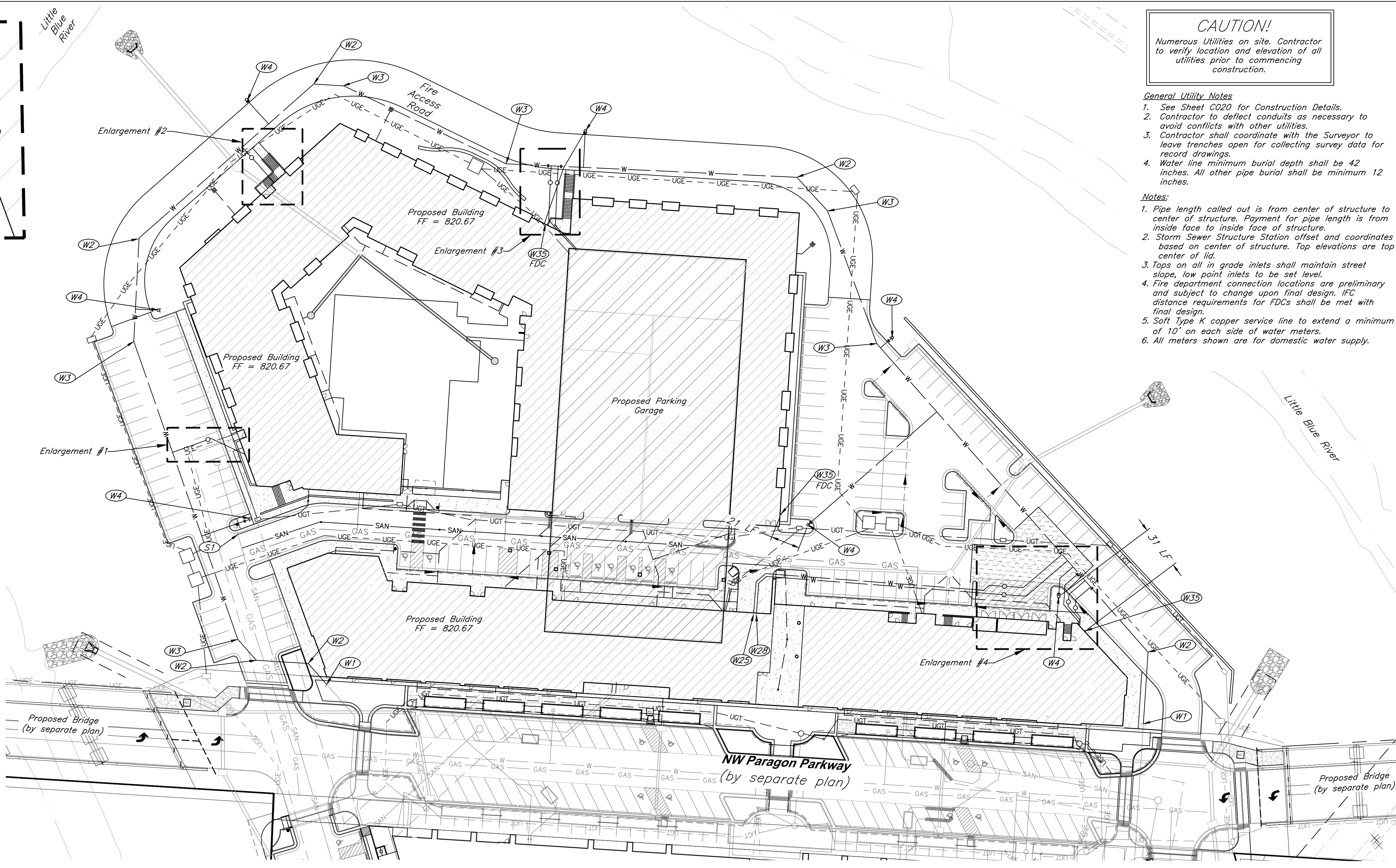


Water Line Construction Notes

- (W1) Connect to 12" water main. Install 8" Dia. Class 305 C900 PVC.
(W2) Install 45° Bend with Thrust Block
(W3) Install 22.5° Bend with Thrust Block
(W4) Install Fire Hydrant Assembly
(W5) Connect to water main via 8"x8"x8" tee with 2" reducer E for domestic water service. Install 2" dia. C901 HDPE E to W6.
(W6) Install 2" Water Meter in City provided vault. Install 2" dia. C901 HDPE to W7.
(W7) 2" Domestic Water Line Building Connection. Utilize 6" casing pipe installed per mass grading plans. See casing pipe detail, sheet C017. See MEP Plan for Continuation.
(W8) Connect to water main via 8"x8"x8" tee with 2" reducer SE for domestic water service. Install 2" dia. C901 HDPE SE to W9.
(W9) Install 2" Water Meter in City provided vault. Install 2" dia. C901 HDPE to W10.
(W10) 2" Domestic Water Line Building Connection. See MEP Plan for Continuation.
(W11) Connect to water main via 8"x8"x8" tee with 2" reducer S for domestic water service. Install (1) gate valve W. Install 2" dia. C901 HDPE S to W12.
(W12) Install 2" Water Meter in City provided vault. Install 2" dia. C901 HDPE to W13.
(W13) 2" Domestic Water Line Building Connection. See MEP Plan for Continuation.
(W14) Connect to water main via 8"x8"x8" tee with 2" reducer S for domestic water service. Install (1) gate valve E. Install 2" dia. C901 HDPE S to W15.
(W15) Install 2" Water Meter in City provided vault. Install 2" dia. C901 HDPE to W16.
(W16) 2" Domestic Water Line Building Connection. See MEP Plan for Continuation.
(W17) removed
(W18) removed
(W19) removed
(W20) removed
(W21) removed
(W22) removed
(W23) Connect to water main via 8"x8"x8" tee with 2" reducer SW for domestic water service. Install (1) gate valve NW. Install 2" dia. C901 HDPE SW to W24.
(W24) Install 2" Water Meter in City provided vault. Install 2" dia. C901 HDPE to W25.
(W25) 2" Domestic Water Line Building Connection. See MEP Plan for Continuation.
(W26) Connect to water main via 8"x8"x8" tee with 2" reducer SW for domestic water service. Install 2" dia. C901 HDPE SW to W27.

- (W27) Install 2" Water Meter in City provided vault. Install 2" dia. C901 HDPE to W28.
(W28) 2" Domestic Water Line Building Connection. See MEP Plan for Continuation.
(W29) Connect to water main via 8"x8"x8" tee with 2" reducer SW for domestic water service. Install 2" dia. C901 HDPE SW to W30.
(W30) Install 2" Water Meter in City provided vault. Install 2" dia. C901 HDPE to W31.
(W31) 2" Domestic Water Line Building Connection. See MEP Plan for Continuation.
(W32) Connect to water main via 8"x8"x8" tee with 2" reducer SW for domestic water service. Install (1) gate valve SE. Install 2" dia. C901 HDPE SW to W33.
(W33) Install 2" Water Meter in City provided vault. Install 2" dia. C901 HDPE to W34.
(W34) 2" Domestic Water Line Building Connection. See MEP Plan for Continuation.
(W35) Fire Department Connection
(W36) Connect to water main via 8"x8"x8" tee w/ thrust block for fire protection service. Install (1) gate valve SW. Install 8" dia. C900 PVC SW to W37.
(W37) 8" Fire Protection Line Building Connection. See MEP Plan for Continuation.

Available flow for Paragon North Village:
169 psi static and 2200 GPM at 84 psi residual



CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

General Utility Notes

- See Sheet C020 for Construction Details.
- Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
- Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
- Water line minimum burial depth shall be 42 inches. All other pipe burial shall be minimum 12 inches.

Notes:

- Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
- Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
- Tops on all in grade inlets shall maintain street slope, low point inlets to be set level.
- Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.
- Soft type K copper service line to extend a minimum of 10' on each side of water meters.
- All meters shown are for domestic water supply.

GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 200801860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
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Lenexa, KS 66214
913.742.5000
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8787 Renner Boulevard, Suite 100
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913.495.1550
www.finkewilliams.com
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PROJECT:

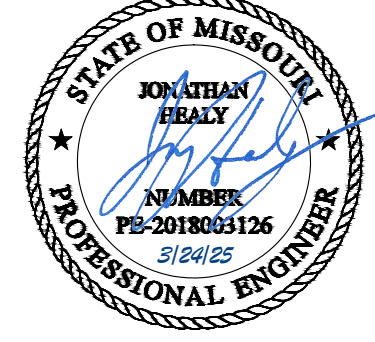
Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

7/11/22	Addendum 1
9/9/22	ASI 1
9/28/22	ASI 1
11/5/24	Revision
12/10/24	City Comments
3/24/25	City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

Utility Plan

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C013

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Electrical Service Construction Notes

- E1 Install 9'x9' Building Transformer Pad per Every Standards
E2 Install 200 Amp Sectionalizer Furnished by Every per Detail 760.1-3
E3 Connect to existing 200 Amp Sectionalizer constructed per Paragon Parkway Plans
E4 Install 64 LF 4" Dia. Sch. 40 PVC Conduit.
E5 Install 300 LF (8) 3" Dia. Sch. 40 PVC Conduit to building electrical room. Continue per MEP Plans.
E6 Install 9 LF 4" Dia. Sch. 40 PVC Conduit.
E7 Install 122 LF (8) 3" Dia. Sch. 40 PVC Conduit to building electrical room. Continue per MEP Plans.
E8 Install 168 LF 4" Dia. Sch. 40 PVC Conduit.
E9 Install 356 LF 4" Dia. Sch. 40 PVC Conduit.
E10 See MEP Plan for electrical service conduit.
E11 Install 266 LF 4" Dia. Sch. 40 PVC Conduit.
E12 Install 242 LF 4" Dia. Sch. 40 PVC Conduit.
E13 Install 8 LF 4" Dia. Sch. 40 PVC Conduit.
E14 See MEP Plan for electrical service conduit.
E15 See MEP Plan for electrical service conduit.
E16 Install 287 LF 4" Dia. Sch. 40 PVC Conduit.
E17 Connect to existing 4" Dia. PVC Conduit installed per the Multifamily Mass Grading Plans.
E18 Connect to existing 3" Dia. PVC Conduit installed per the Multifamily Mass Grading Plans.

Amenity Zone Electrical Construction Notes

- AE1 Install 35 LF 1" HDPE Conduit from existing connection to Planter Box
AE2 Install 39 LF 1" HDPE Conduit from existing connection to Planter Box

Telecom Construction Notes

- T1 Install Telecom Utility Pull Box.
T2 Connect to existing Telecom Pull Box installed per Paragon Parkway Plans
T3 Install 119 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
T4 Install 108 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
T5 Install 109 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
T6 Install 82 LF (2) 5" HDPE Conduit to building mail room. Two conduits shall have (4) 2" fabric innerducts.
T7 Install 285 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
T8 Install 98 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
T9 Install 98 LF (3) 5" HDPE Conduit to IT Room. Two conduits shall have (4) 2" fabric innerducts.

Amenity Zone Telecom Construction Notes

- AT1 Install Digital Display with Power/Data Connections, Unswitched Hot Power
AT2 Install Telecom Utility 12"x12" Quazite Box
AT3 Install 281 LF 2" PVC Conduit
AT4 Install 15 LF 2" PVC Conduit
AT5 Install 215 LF 2" PVC Conduit
AT6 Install 19 LF 2" PVC Conduit

Underdrain Construction Notes

- UD1 Install 4" Dia. Perforated HDPE @ 0.5% minimum slope.
UD2 Install 4" Dia. HDPE Tee
UD3 Connect to Storm Structure 5705, $\ell=817.50$.
UD4 Connect to Storm Structure 5702, $\ell=816.60$.
UD5 Connect to Storm Structure 5701, $\ell=813.28$.
UD6 Connect to Storm Structure 5101, $\ell=809.75$.
UD7 Connect to Storm Structure 5102, $\ell=808.75$.
UD8 Connect to Storm Structure 4301, $\ell=817.70$.
UD9 Connect to Storm Structure 4302, $\ell=817.80$.
UD10 Connect to Storm Structure 5401, $\ell=817.50$.

General Utility Notes

- See Sheet C020 for Construction Details.
- Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
- Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
- Water line minimum burial depth shall be 42 inches. All other pipe burial shall be minimum 12 inches.

Electrical Service General Notes

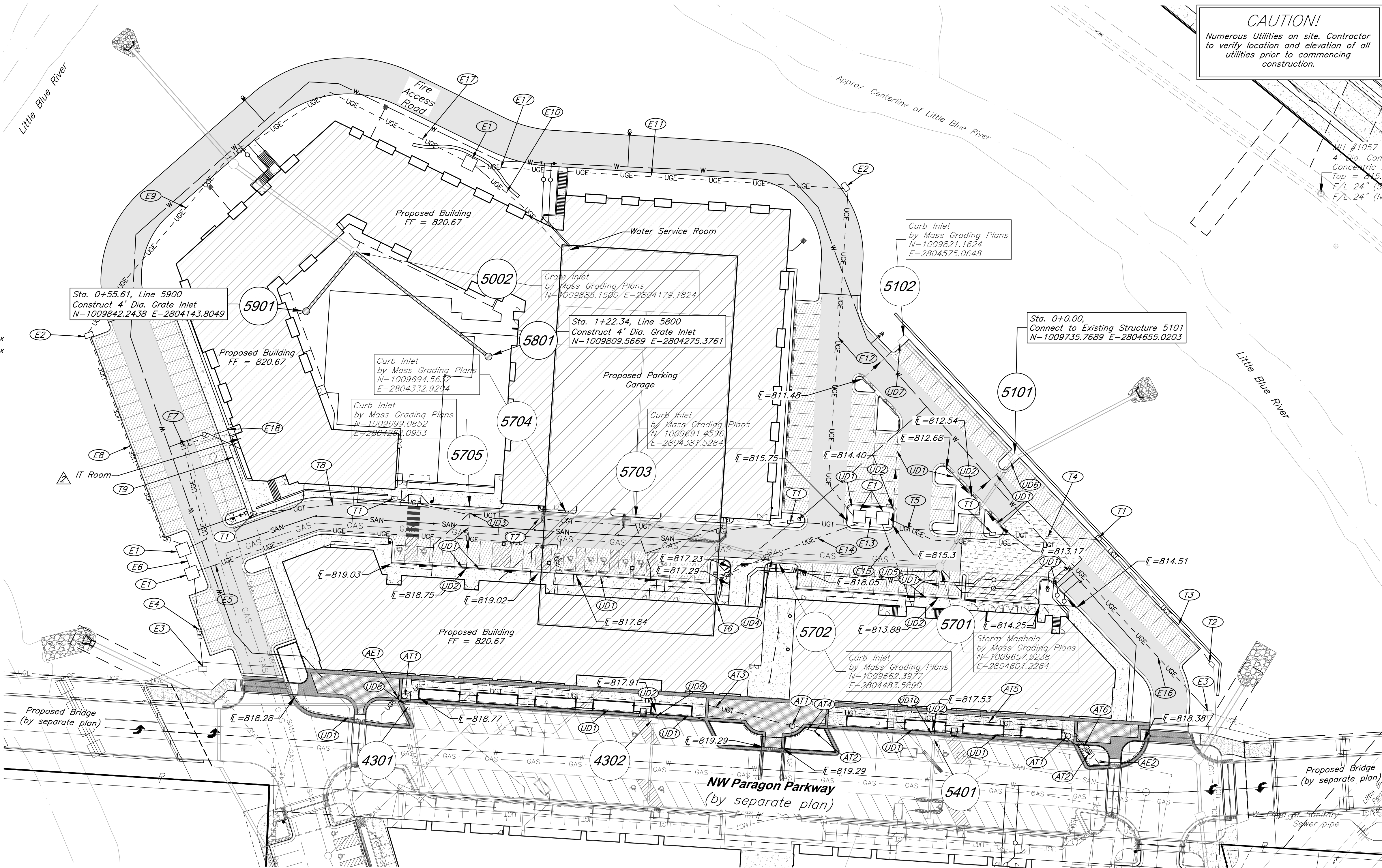
- Electrical routing reflects the latest, although preliminary designs from Every. Final routing of conduit shall match final design from Every.
- Electrical conduit shall be NEC approved schedule 40 gray PVC.
- Electrical trench, conduit, and backfill per Every Standards (Typ. All).

Legend

— W —	Proposed Water Line		Proposed Building
	Proposed Storm Sewer		Proposed HD Asphalt Surface
— SAN —	Proposed Sanitary Sewer		Proposed LD Asphalt Surface
— GAS — GAS —	Proposed Gas Line		Proposed Concrete
— UGE — — UGE — —	Proposed Underground Electric		
— UGT — — UGT — —	Proposed Telecom		
	Flow Path		

Notes:

- Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
- Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
- Tops on all in grade inlets shall maintain street slope, low point inlets to be set level.
- Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.



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9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64083
www.land3studio.com
MO Certificate of Authority # 200801860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 201904088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.he-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finklewilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

	7/11/22	Addendum 1
	9/28/22	ASI 1
	11/5/24	Revision
	12/10/24	City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

Utility Plan

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

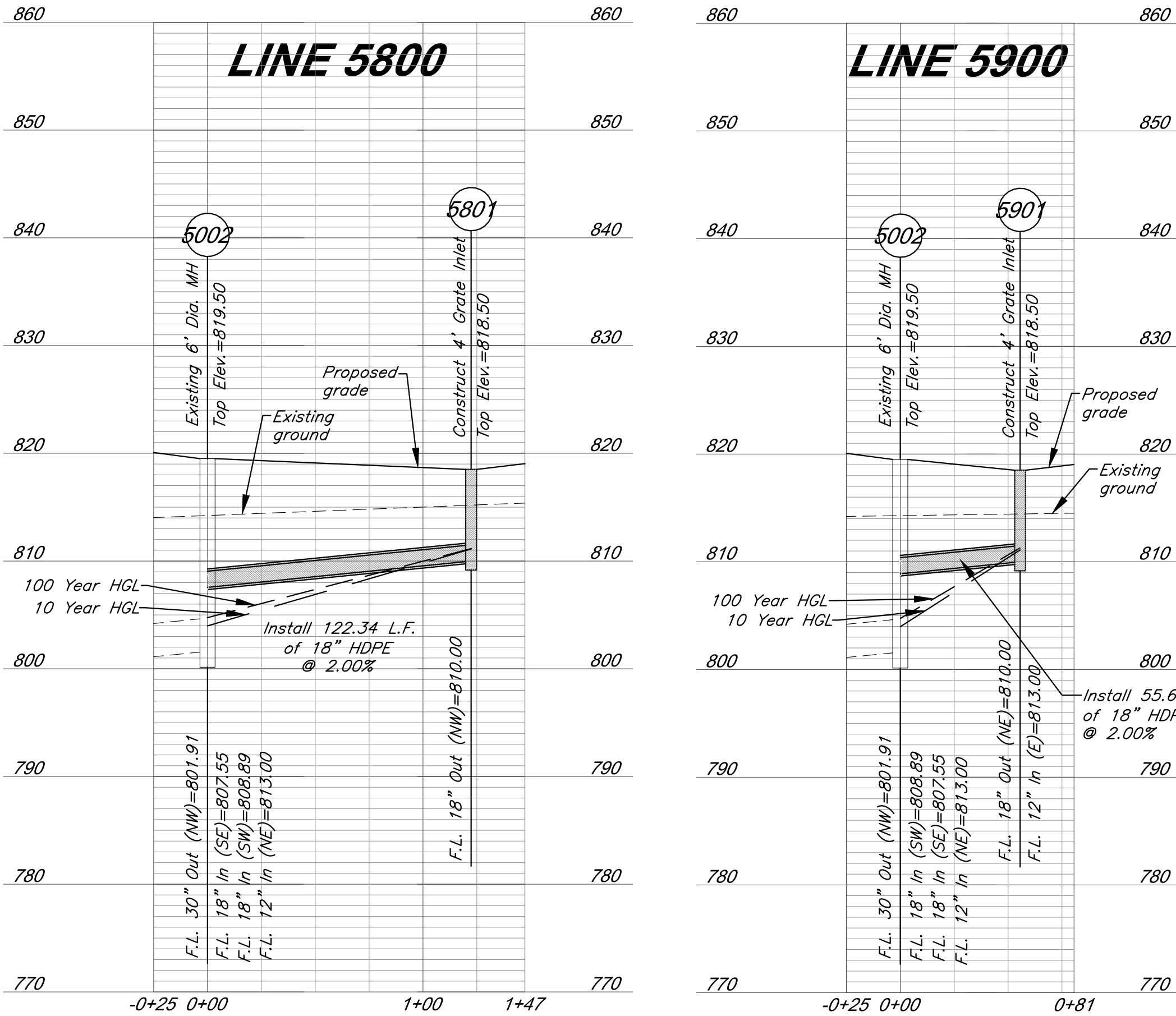
SHEET NO:

C014

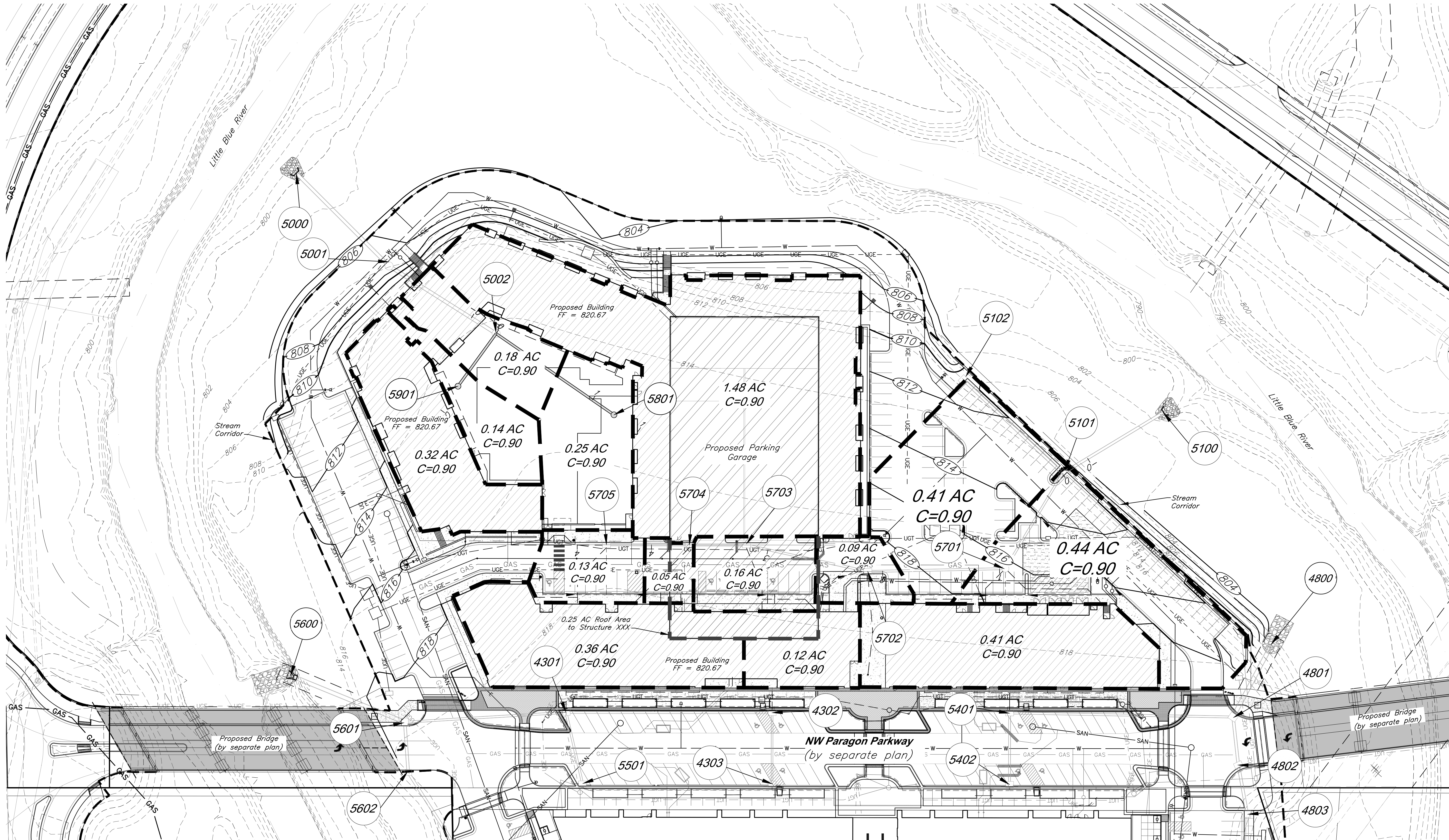
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10 Year Storm																			
Structures		Runoff Calculations								Pipe Design									
From	To	Direct Area (acre)	Line In (acre)	Total Area (acre)	C	K	Tc (min)	Flow Time (min)	Intensity (in/hr)	Design Q (cfs)	Description	Pipe length (lin ft)	Pipe Slope Slope, %	Pipe dia (in)	Manning's n Value	Q full (cfs)	Pipe Area, sf	V full fps	Design V fps
Line 5800	5801		0.25		0.90	1.00	5.00		7.35	1.7	Curb Inlet								
	5002			0.25	0.90	1.00	5.00	0.36	7.35	1.7	RCP	122.34	2.00	18	0.013	14.90	1.77	8.43	5.59
Line 5900	5901		0.14	0.32	0.90	1.00	5.00		7.35	0.9	Curb Inlet								
	5002			0.46	0.90	1.00	5.00	0.14	7.35	3.0	RCP	55.61	2.00	18	0.013	14.90	1.77	8.43	6.58

100 Year Storm																			
Structures		Runoff Calculations								Pipe Design									
From	To	Direct Area (acre)	Line In (acre)	Total Area (acre)	C	K	Tc (min)	Flow Time (min)	Intensity (in/hr)	Design Q (cfs)	Description	Pipe length (lin ft)	Pipe Slope Slope, %	Pipe dia (in)	Manning's n Value	Q full (cfs)	Pipe Area, sf	V full fps	Design V fps
Line 5800	5801		0.25		0.90	1.25	5.00		10.32	2.9	Curb Inlet								
	5002			0.25	0.90	1.25	5.00	0.36	10.32	2.9	RCP	122.34	2.00	18	0.013	14.90	1.77	8.43	5.59
Line 5900	5901		0.14	0.32	0.90	1.25	5.00		10.32	1.6	Curb Inlet								
	5002			0.46	0.90	1.25	5.00	0.14	10.32	5.3	RCP	55.61	2.00	18	0.013	14.90	1.77	8.43	6.58

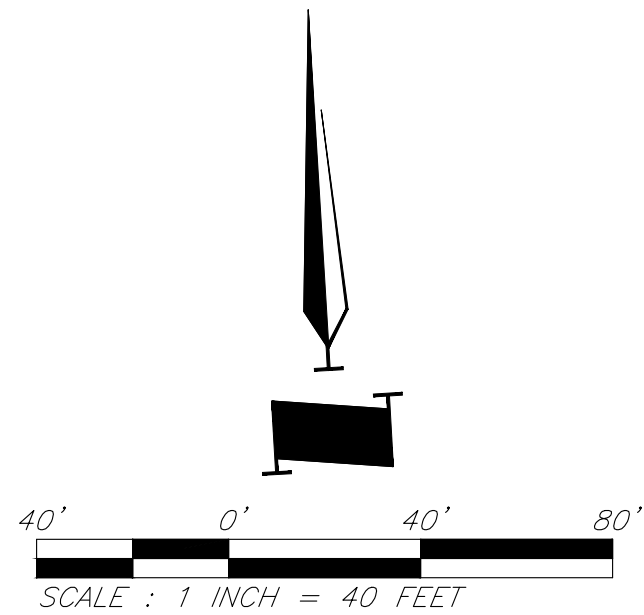


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CAUTION!
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- LEGEND**
- XXX--- Existing Contour
 - XXX--- Proposed Contour
 - Proposed Drainage Area
 - 0.28 Acres Drainage Area
 - Proposed Storm Sewer
 - Future Storm Sewer



GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 201904088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finklevilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

Paragon Star North Village

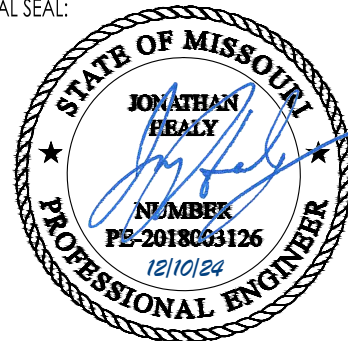
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FDP Resubmittal

ISSUE:

11/5/24	Revision
12/10/24	City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

Drainage Map

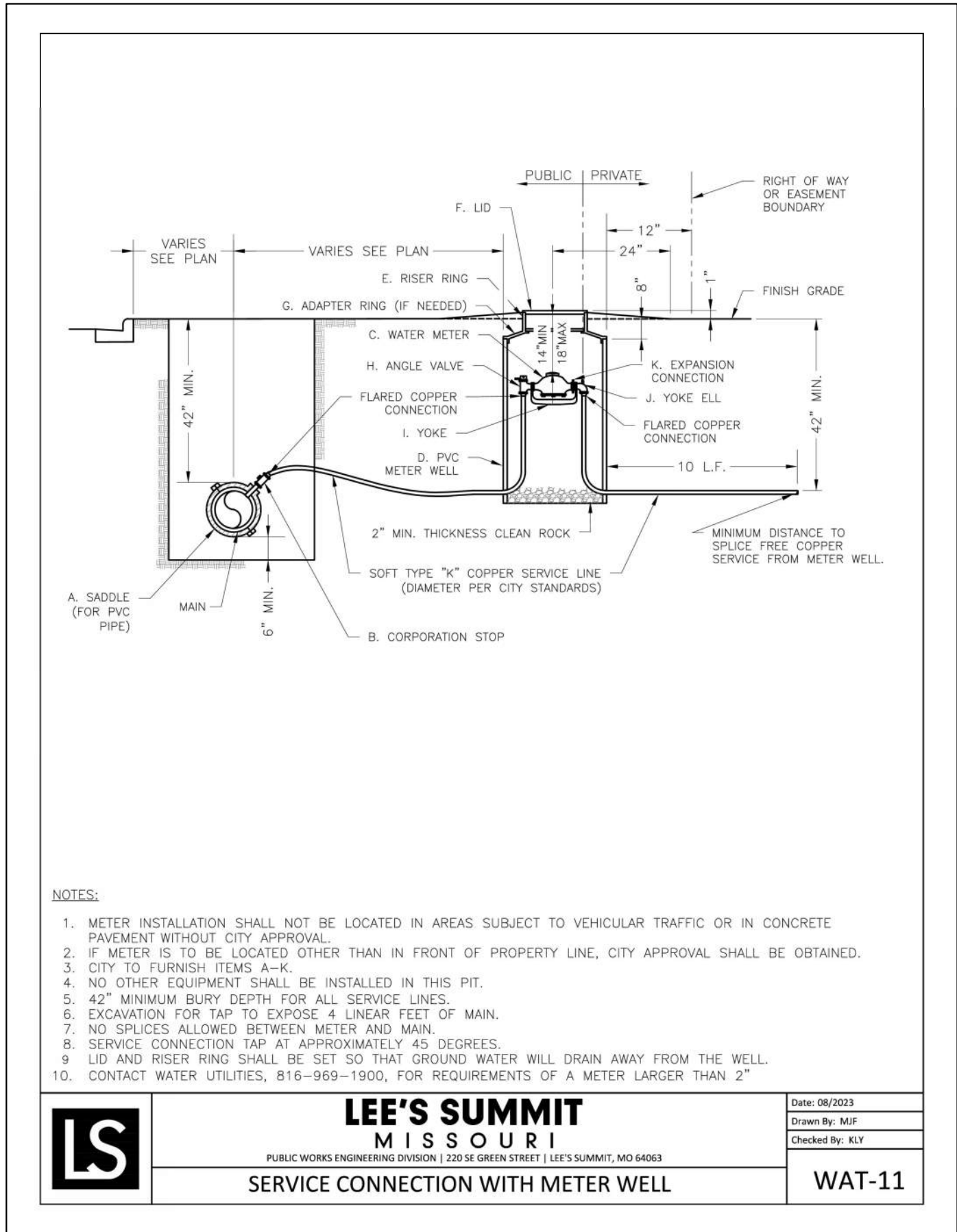
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DATE: 08.12.2022 DRAWN BY: JRH

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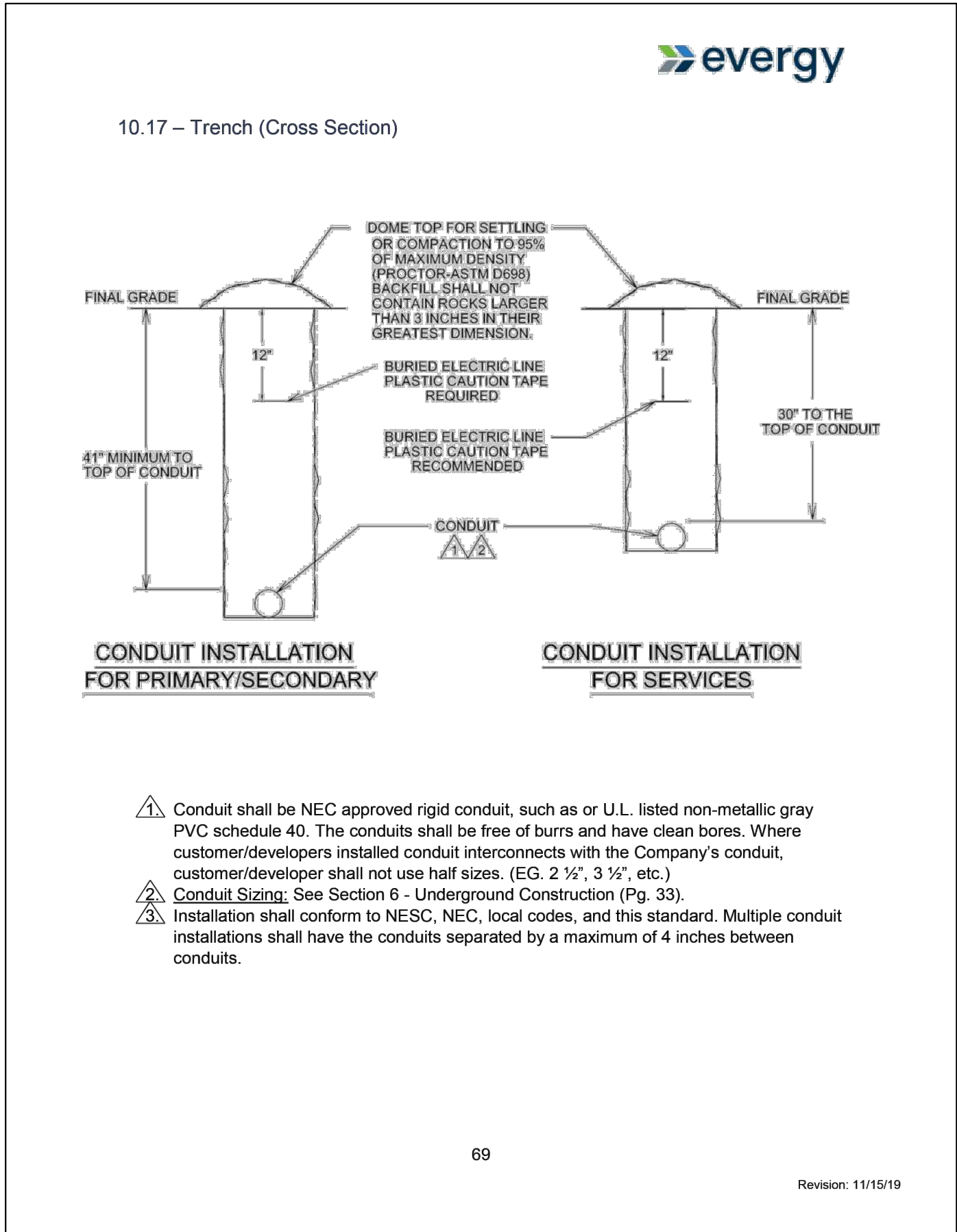
C016

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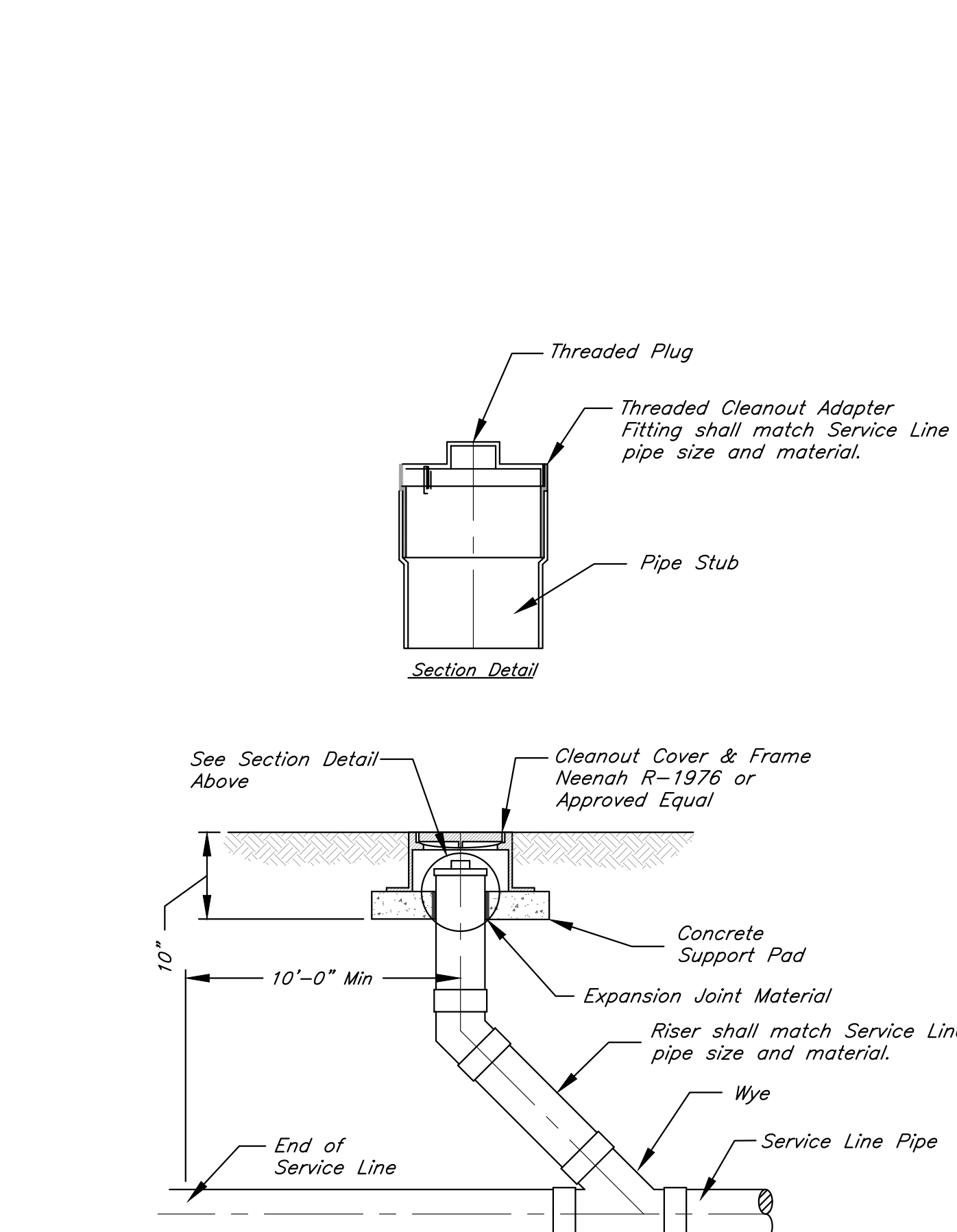
WATER METER VAULT DETAIL

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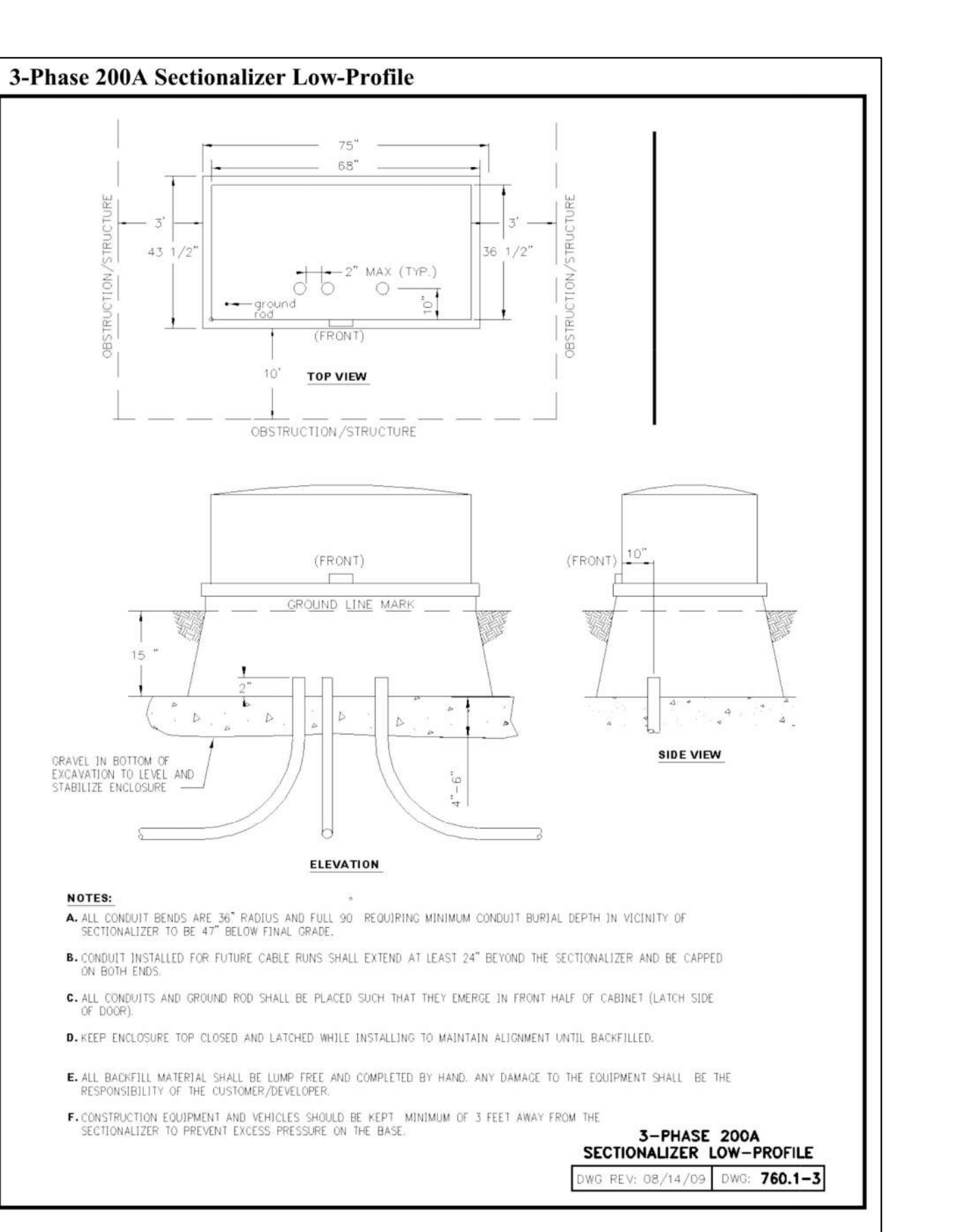
EVERGY STANDARD TRENCH DETAIL

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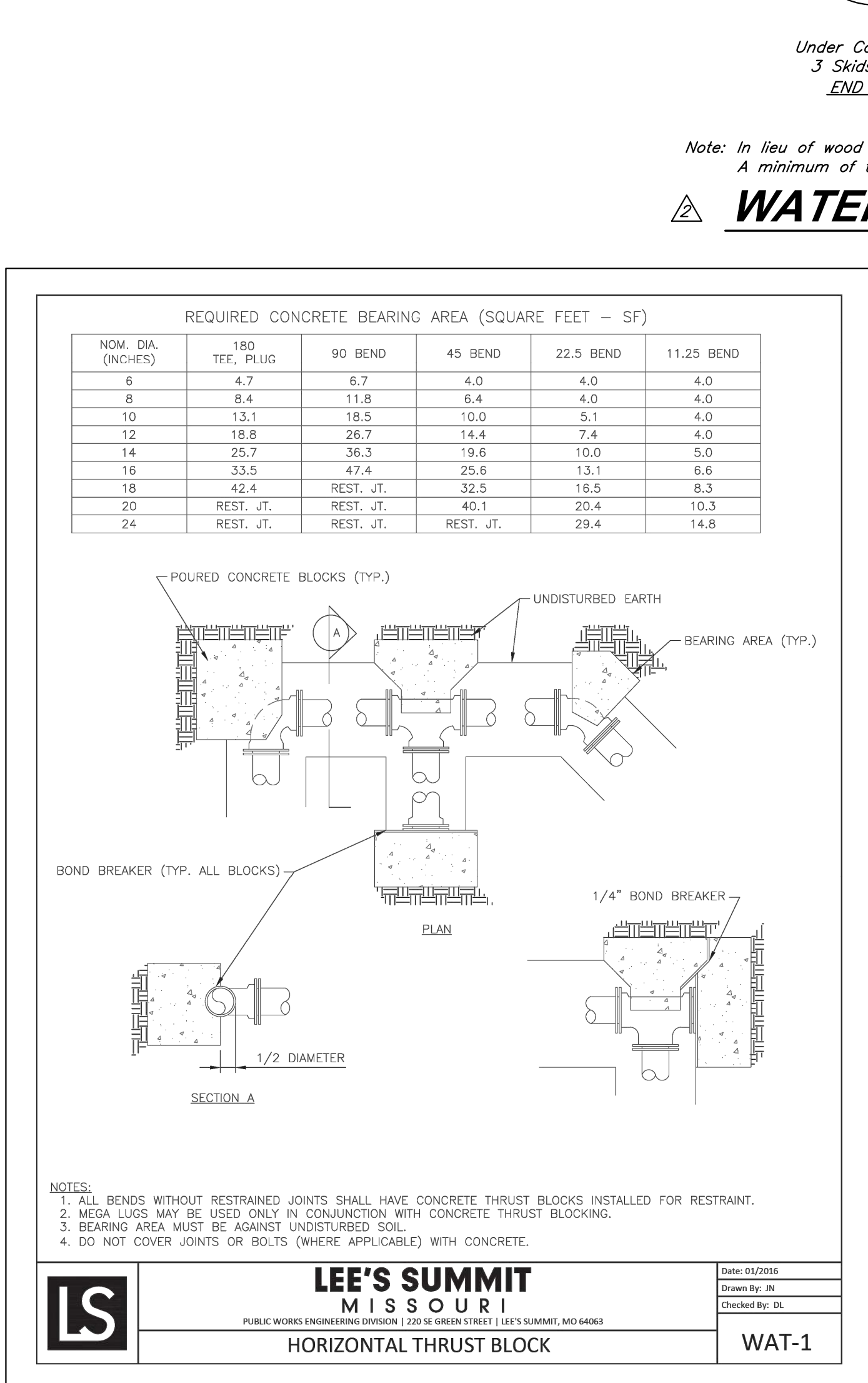
CLEANOUT DETAIL

No Scale



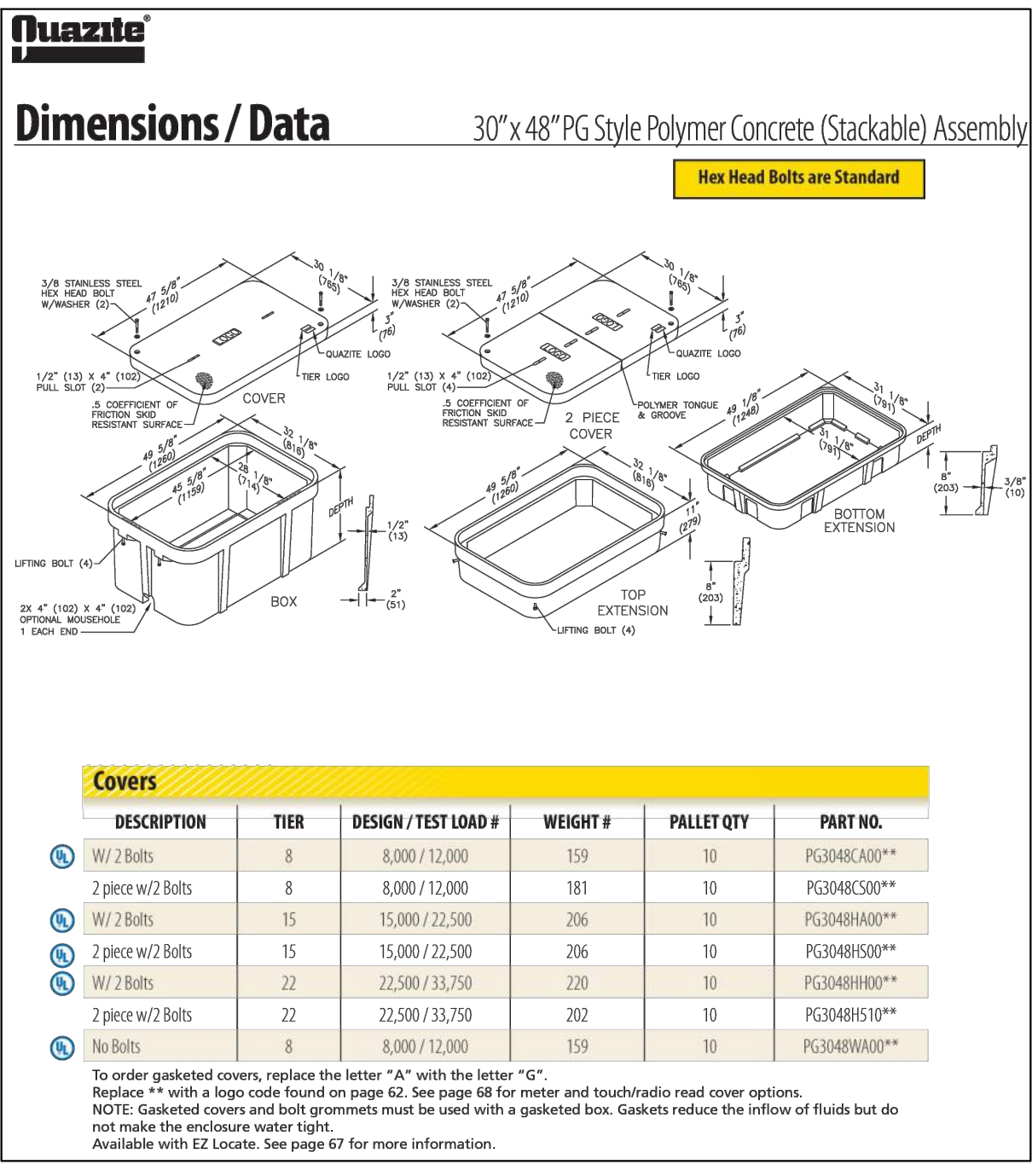
SECTIONALIZER DETAIL

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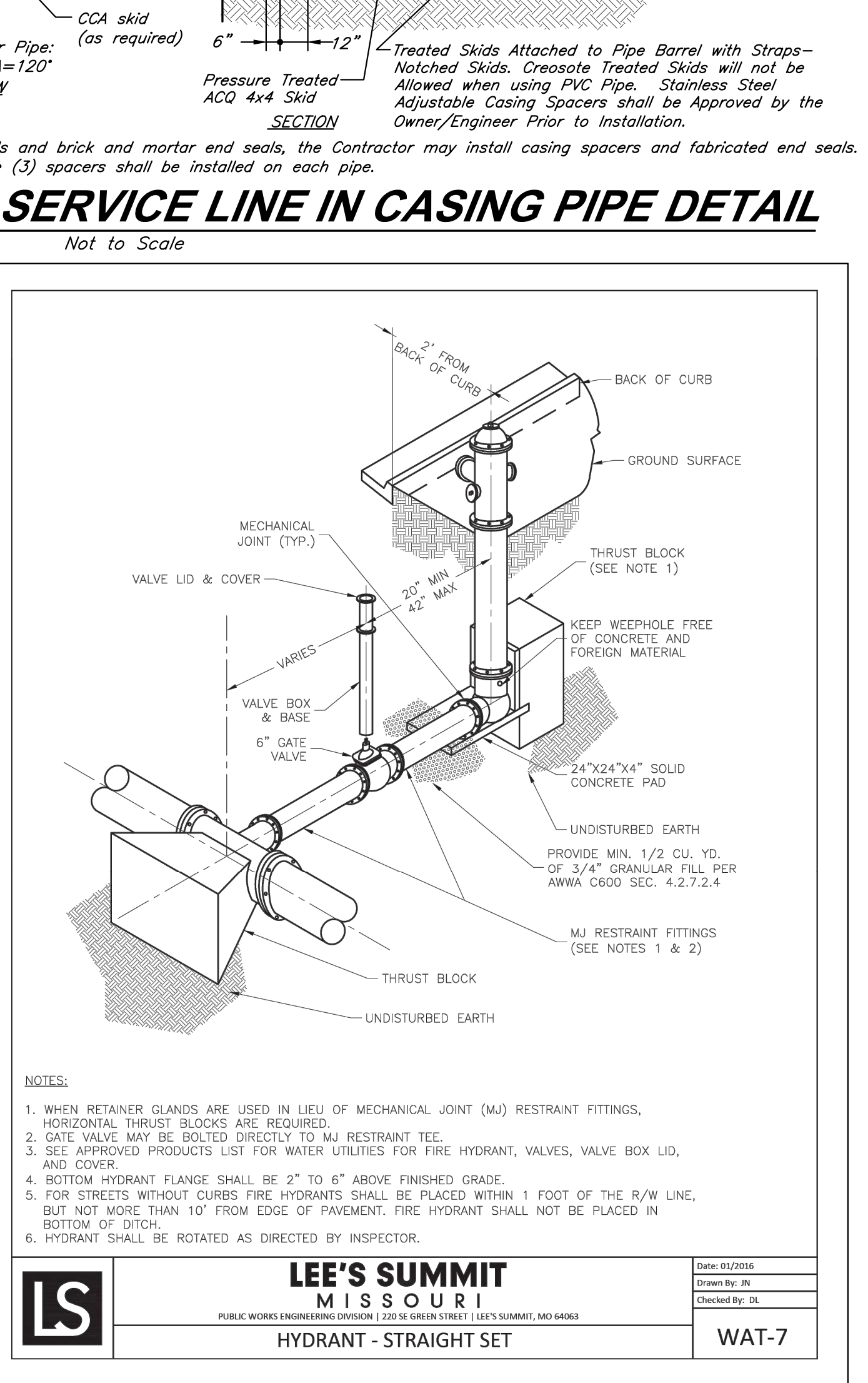
THRUST BLOCK DETAIL

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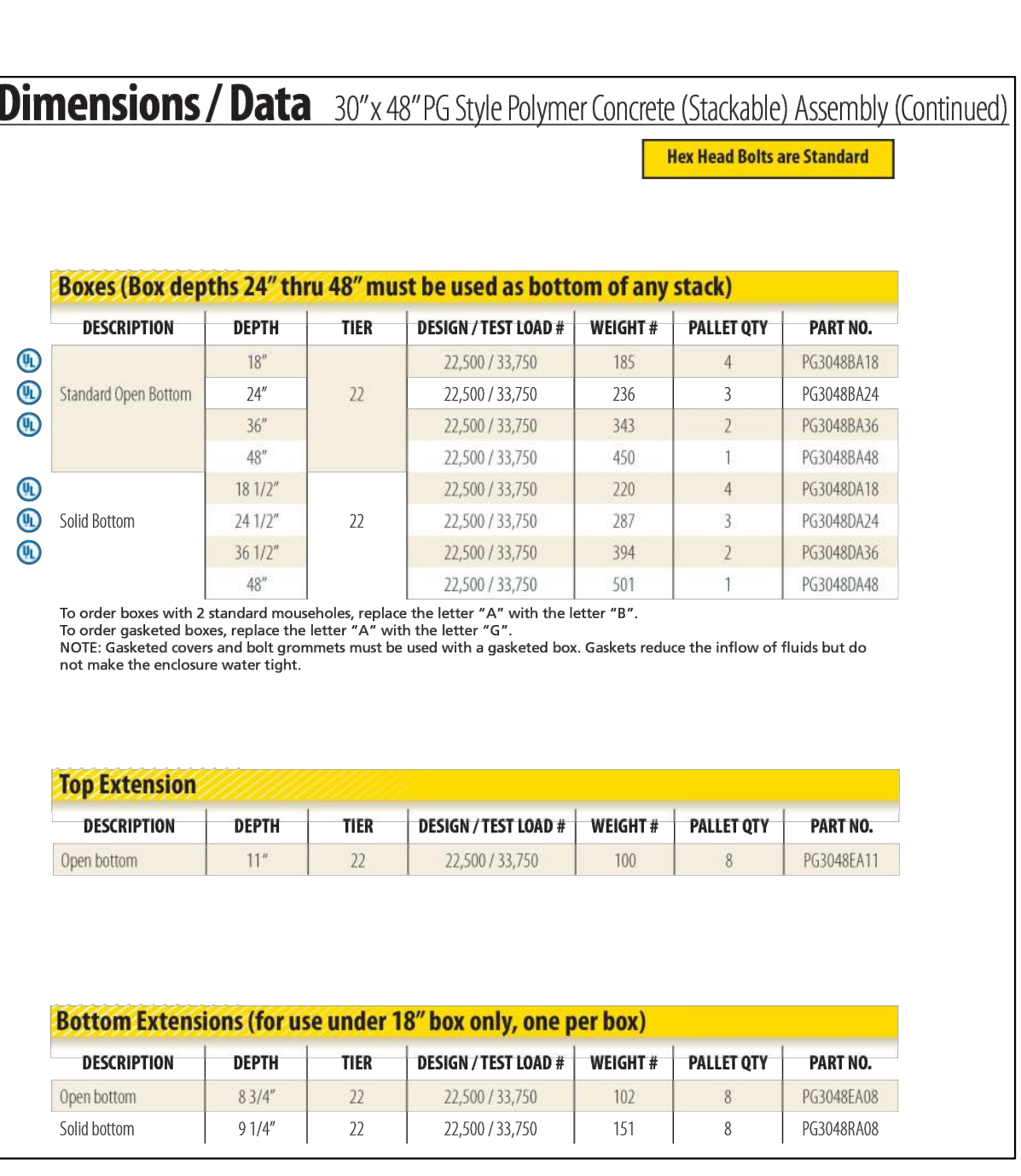
TELECOM PULL BOX

Not to Scale



FIRE HYDRANT DETAIL

Not to Scale



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Lenexa, KS 66219
913.492.0400
www.gbateam.com
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317 SE Main
Lee's Summit, MO 64083
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PROJECT:

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3200 NW Paragon Parkway, Lee's Summit, MO 64081

ISSUE:

7/11/22 Addendum 1
11/5/24 Revision
12/10/24 City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

Utility Details

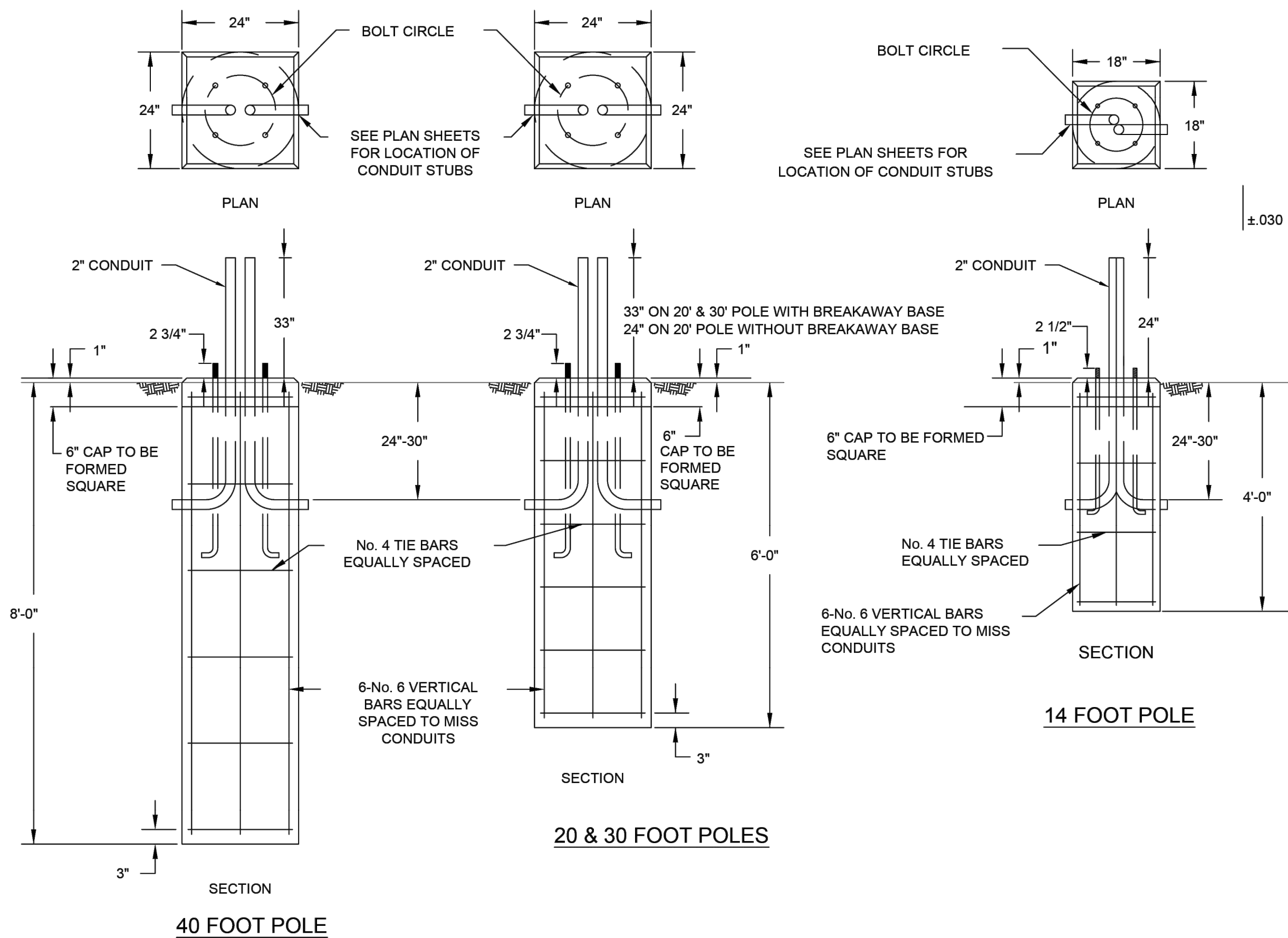
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

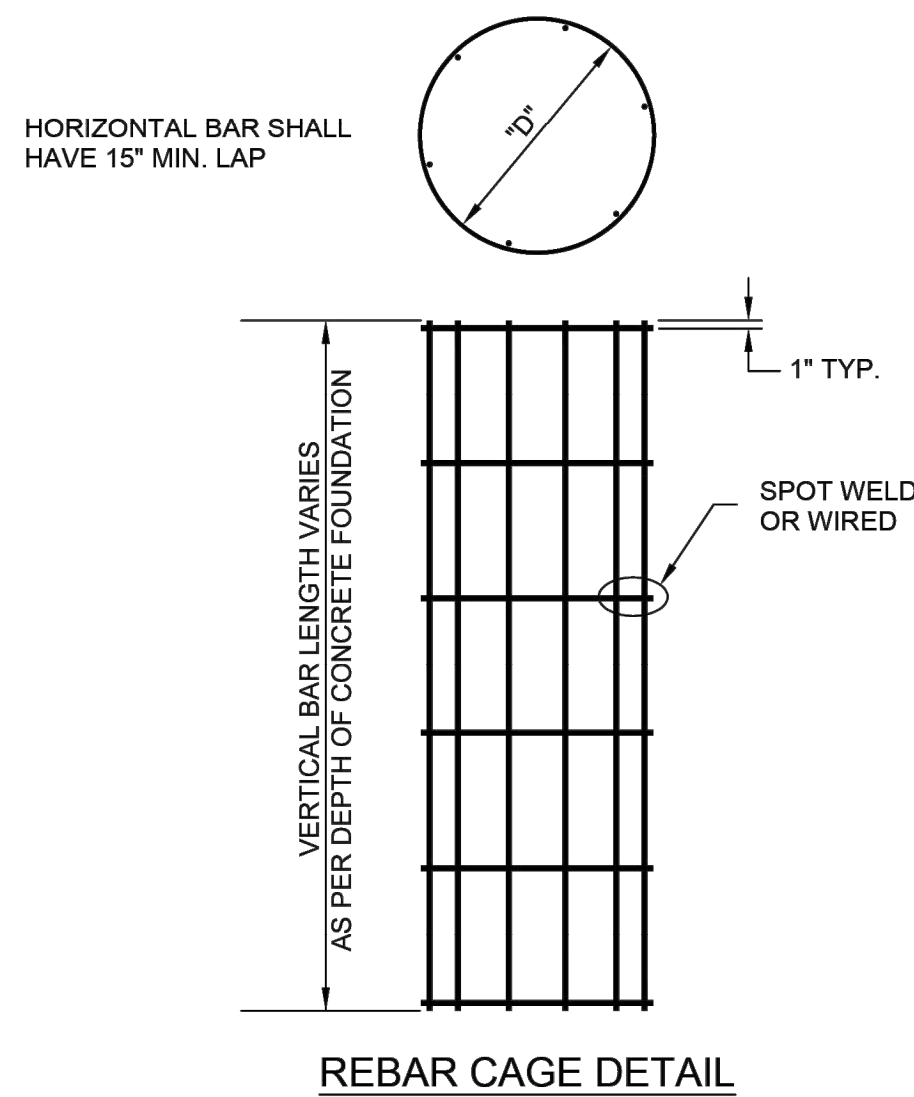
SHEET NO:

C017

FDP Resubmittal



CONCRETE FOUNDATION DETAILS



REBAR SCHEDULE				
FDN. DIA.	FDN. LENGTH	REBAR CIRCLE "D"	VERTICAL REBAR LENGTH	HORIZONTAL REBAR SPACING
18"	4'	14"	3'-6"	14" MAX.
24"	6'	20"	5'-6"	14" MAX.
24"	8'	20"	7'-6"	14" MAX.
36"	8'	30"	7'-8"	12" MAX.
36"	10'	30"	9'-8"	12" MAX.
36"	12'	30"	11'-8"	9" MAX.

TYPE	MOUNTING HEIGHT	ARM SPECIFICATION	MAXIMUM TORQUE RATING (lbs ft)	A SHAFT DIA.	B SHAFT LENGTH	C HELIX DIA.	D PLATE SIZE	E PLATE THICKNESS	F BOLT CIRCLE	G SLOT LOCATION
1	14', 20'	—	15,000	6"	48"	12"	10"	0.75"	9.5"	12"
2A	30'	SINGLE/TWIN	15,000	6"	60"	12"	12"	1.0"	11.0"	18"
2B	40'	SINGLE/40-A-8-8	20,000	8"	60"	14"	14.5"	1.0"	11.5"	18"
3	40'	TWIN	20,000	8"	60"	14"	15"	1.25"	14.5"	18"

NOTES:

- | | |
|--|---|
| <p>FINISH: HOT DIP GALVANIZE PER ASTM-A153 (LATEST REVISION), UNLESS OTHERWISE SPECIFIED IN THE PLANS.</p> | <p>9. ALL MATERIAL IS TO BE NEW, UNUSED AND MILL TRACEABLE MEETING THE FOLLOWING SPECIFICATIONS:</p> |
| <p>2. BASEPLATE TO BE PERPENDICULAR TO SHAFT AXIS (± 1) AND HOLE AND CONCENTRIC (± 1.8 I.D. FIM) TO SHAFT AXIS</p> | <p>BASEPLATE: ASTM A36-(LATEST REVISION) HOT ROLLED STEEL PLATE
SHAFT: STEEL PIPE PILES, SEAMLESS OR STRAIGHT WELDED, GRADE 2 PER ASTM A252. ALTERNATE MATERIAL PIPE TYPE E OR S, GRADE B PER ASTM A53.</p> |
| <p>3. ALL BASES SHALL BE IDENTIFIED BY THE MANUFACTURER'S INITIALS AND THE ANCHOR TYPE (1,2 & 3) PERMANENTLY STAMP INTO THE TOP PLATE WITH 1/2" LETTERS. THE JULIAN DATE OF MANUFACTURE SHALL BE PERMANENTLY STAMPED IN 1/4" NUMERALS.</p> | <p>HELIX: ASTM A635-(LATEST REVISION) HOT ROLLED STEEL PLATE
PILOT POINT: ASTM A575-(LATEST REVISION) HOT ROLLED STEEL</p> |
| <p>4. PILOT POINT AND SHAFT AXES TO BE CONCENTRIC ($\pm .125$ FIM) AND IN LINE ($\pm 2"$)</p> | <p>10. ALL 30' AND 40' ALUMINUM LIGHT POLES SHALL BE FURNISHED WITH BREAKAWAY BASES.</p> |
| <p>5. TAP 1" HOLES ON THE SPECIFIED BOLT CIRCLE PERPENDICULAR TO THE BASEPLATE. CLEAN AND CHASE THE THREADS AFTER HOT-DIP GALVANIZING SO THAT A BOLT MAY BE HAND INSTALLED.</p> | <p>11. THE DESIGN AND PERFORMANCE INTEGRITY OF THE FOUNDATION SHALL BE VERIFIED BY FULL-SCALE TESTS BY QUALIFIED ENGINEERS INDEPENDENT OF THE MANUFACTURER. CERTIFIED TEST REPORTS SHALL BE PROVIDED UPON REQUEST.</p> |
| <p>6. PREHEAT (ROOM TEMPERATURE 70°F), TUMBLEBLAST, HANDGRIND, AND CLEAN BASEPLATE, HELIX, AND CORE ON ALL WELD AREAS.</p> | <p>12. FLAME CUT NOTCH OR PROJECTION WILL BE ON BASE PLATE TO INDICATE SLOT ORIENTATION.</p> |
| <p>7. FLAMECUT IRREGULARITIES PERMISSIBLE:</p> <p>(1) VALLEYS NOT TO EXCEED 3/32 IN. BELOW NOMINAL SURFACE LEVEL.</p> <p>(2) PEAKS OR POSITIVE IRREGULARITIES NOT TO EXCEED 1/32 IN. ABOVE NOMINAL SURFACE LEVEL OR INTERSECTIONS OF NOMINAL SURFACES.</p> | <p>13. ALL CONDUITS AND ANCHOR BOLTS FOR CONTROL PADS AND POLE FOUNDATIONS SHALL BE RIGIDLY INSTALLED BEFORE CONCRETE IS PLACED. ANCHOR BOLTS SHALL BE SPACED BY MEANS OF A TEMPLATE, THE CENTER OF WHICH SHALL COINCIDE WITH THE CENTER OF THE BASE.</p> |
| <p>8. MANUFACTURER TO HAVE IN EFFECT INDUSTRY RECOGNIZED WRITTEN QUALITY CONTROL FOR ALL MATERIALS AND MANUFACTURING PROCESSES.</p> | <p>14. ALL CONCRETE POLE BASES SHALL BE PLACED IN TWO SEPARATE PLACEMENTS. THE FINAL 6 INCHES SHALL BE PLACED AFTER THE POLE IS SET AND FINAL ADJUSTMENTS HAVE BEEN MADE.</p> |

LIGHT POLE BASE FOUNDATION
Not to Scale

GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority #2019004088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.498.1550
www.finklewilliams.com
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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

12/10/24 City Comments

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Utility Details

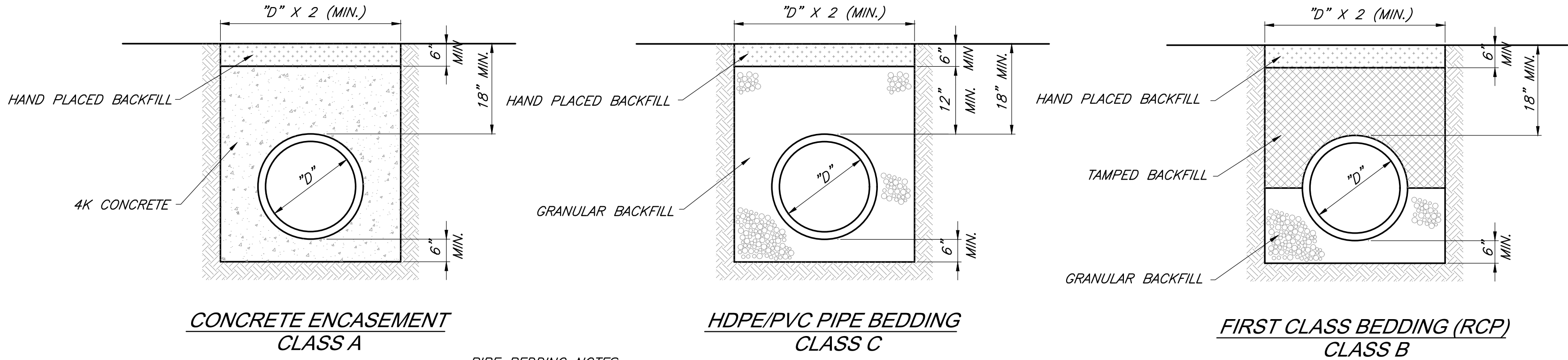
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO.

C018

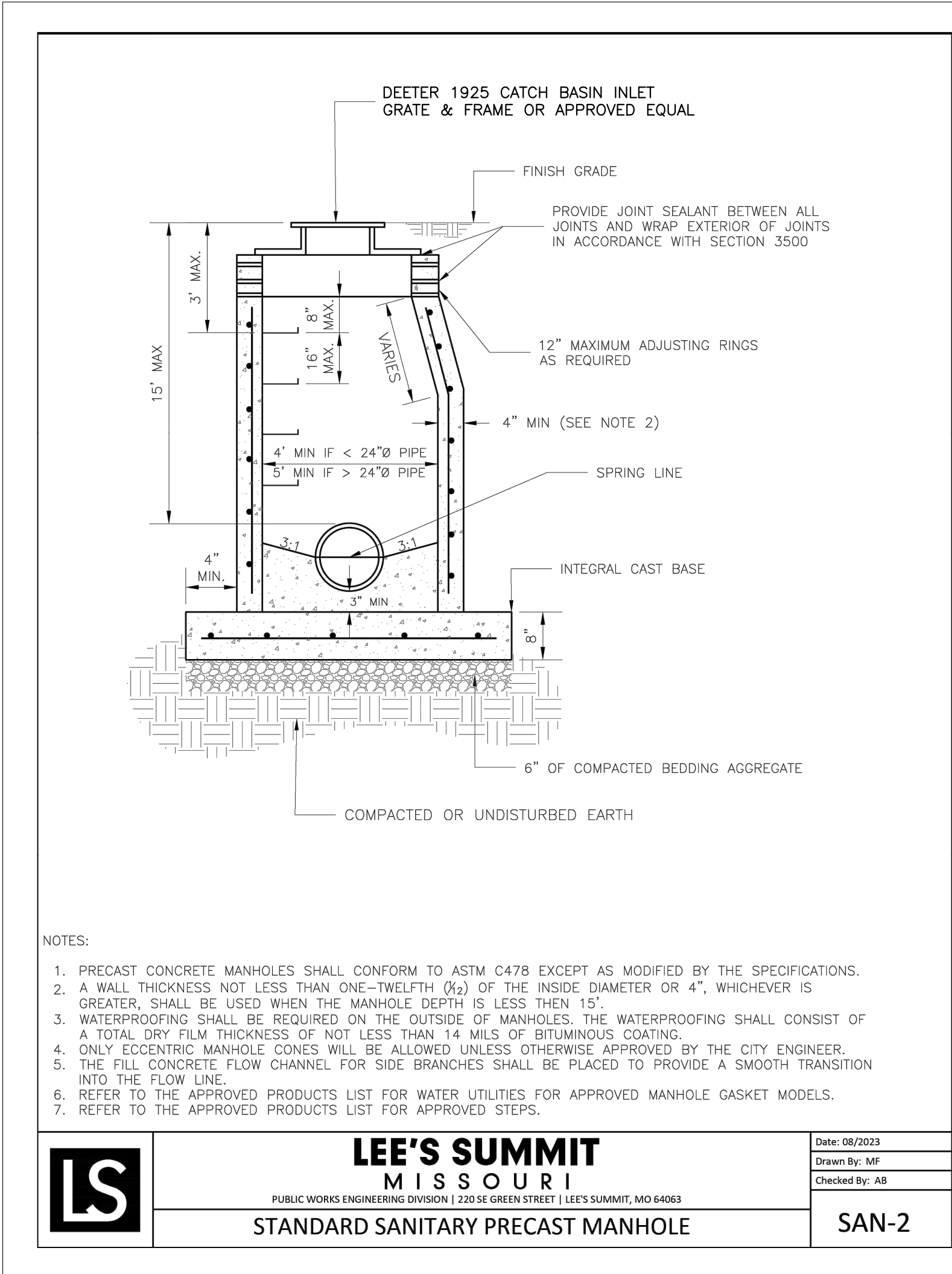
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PIPE BEDDING NOTES:

1. GRANULAR FILL SHALL BE 1/2" CLEAN ROCK, PLACED IN 6" LIFTS AND COMPACTED BY SLICING WITH A SHOVEL.
2. TAMPED FILL SHALL BE FINELY DIVIDED, JOB EXCAVATED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND STONES, COMPACTED TO TYPE AA MR-5 COMPACTION.
3. HAND PLACED FILL SHALL BE FINELY DIVIDED MATERIAL, FREE OF DEBRIS AND STONES, COMPACTED TO TYPE 95%.

PIP BEDDING DETAILS
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GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerrschaudt.com
MO Certificate of Authority #2019004088

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8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finkewilliams.com
Missouri Certificate of Authority #F00453304

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3200 NW Paragon Parkway, Lee's Summit, MO 64081

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11/5/24	Revision
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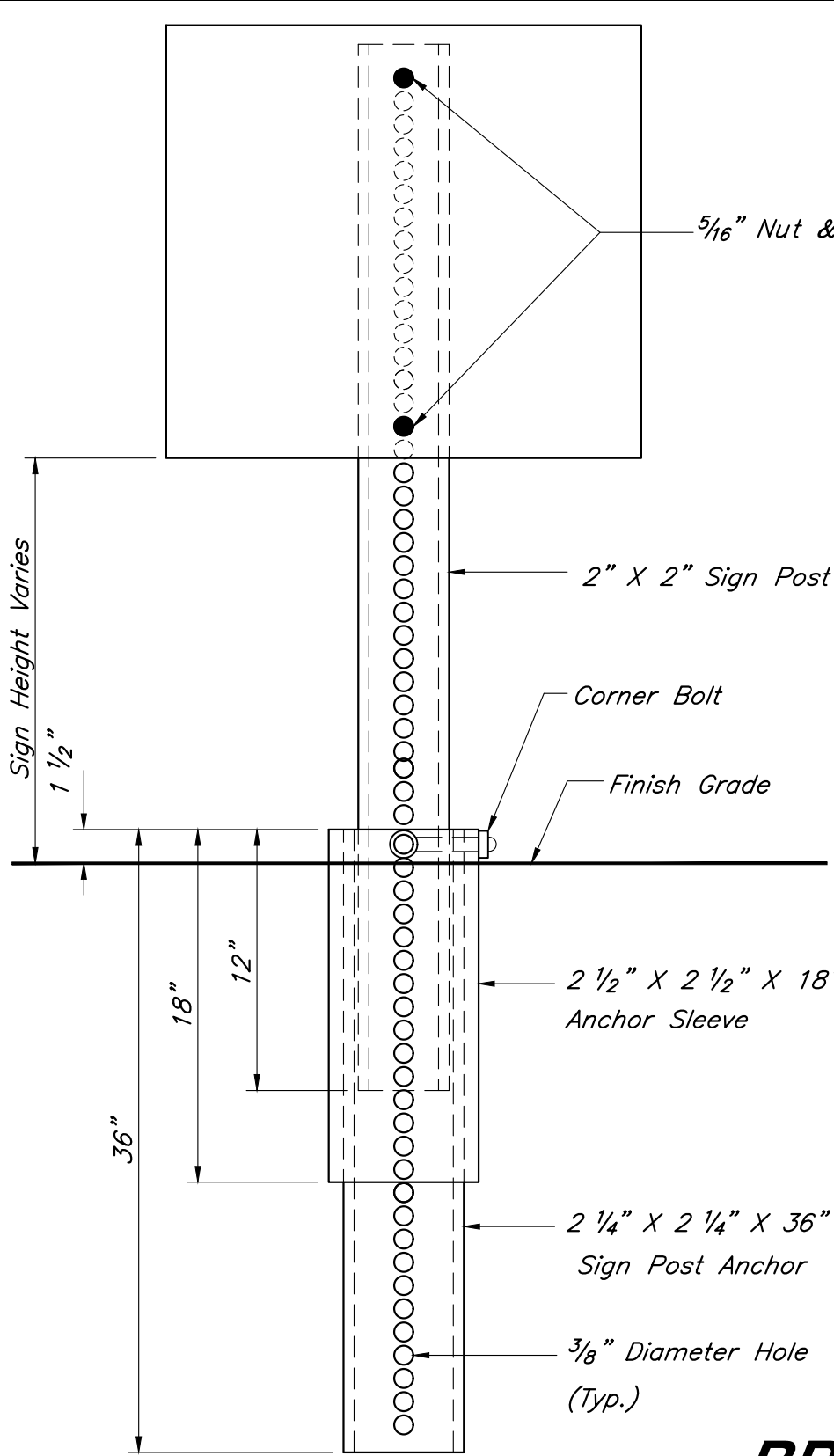
Storm Sewer Details

JOB NO: 18017, 19050.07, 19050.08
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C019

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BREAK-AWAY SIGN POST DETAIL

Not to Scale

- Pavement Installation Sequence
1. Sign post anchor driven into subgrade prior to the placement of the pavement.
 2. Anchor sleeve driven into subgrade over the sign post anchor prior to the placement of the pavement.
 3. Insert sign post into the sign post anchor and bolt in place.

- Ground Installation Sequence
1. Sign post anchor driven into the ground.
 2. Anchor sleeve driven into the ground over the sign post anchor.
 3. Insert sign post into the sign post anchor and bolt in place.

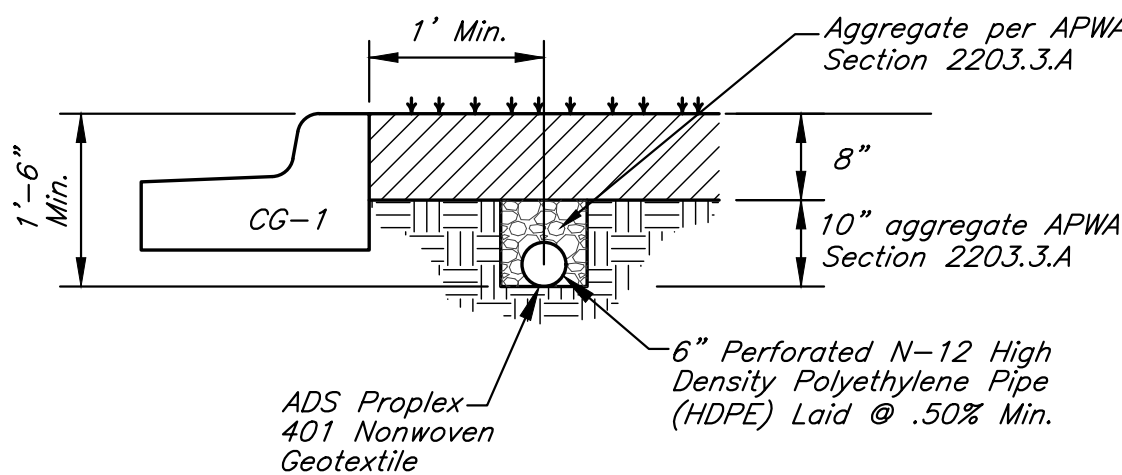
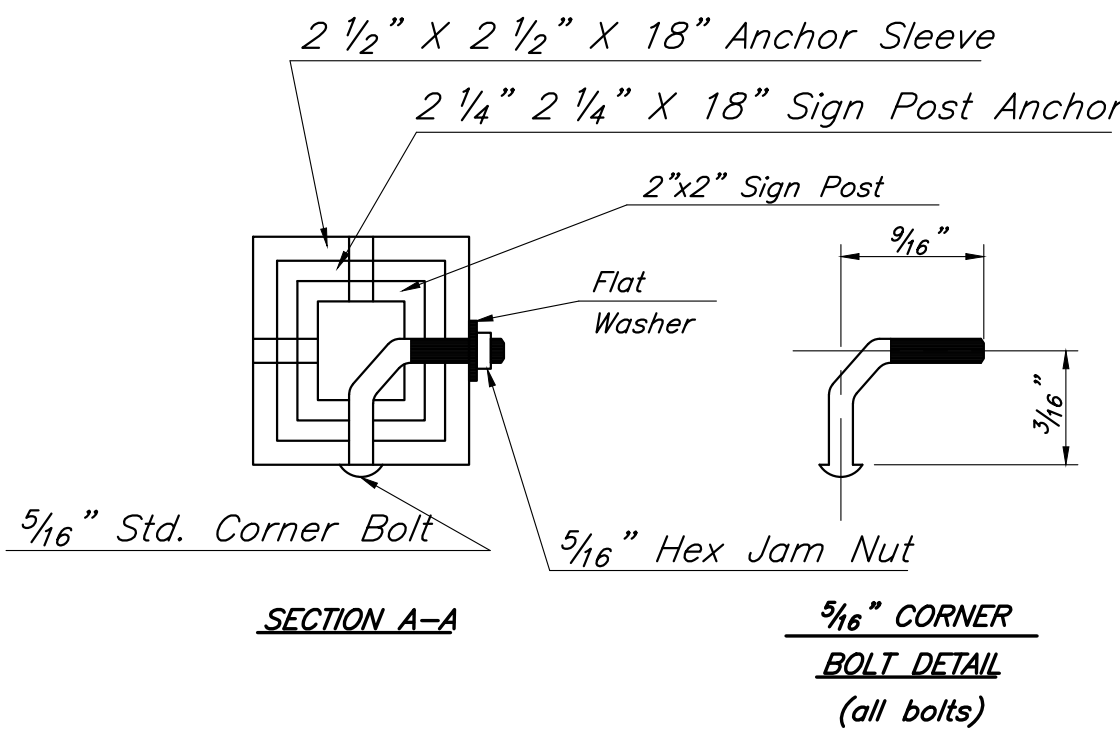
Note:
In all installations the first hole above the finished grade level in all three units must be in line for insertion of the corner bolt.

All corner bolts and nuts for fastening the signs and sign post assembly shall comply the applicable ANSI standards and ASTM testing requirements and shall be subsidiary items.

All Components shall be galvanized.

Sign Notes:

1. All letter, number & symbol sizes, spacing & colors, and the sign colors shall conform to the current "Manual On Uniform Traffic Control Devices."
2. Sign blank material shall be as follows:
Signs 36"x36" or greater 0.100" thick
Guide Signs 0.125" thick
All other signs 0.080" thick
3. All sign mounting hardware shall be galvanized.
4. All sign faces shall be fabricated using ASTM Type III Prismatic reflective sheeting.

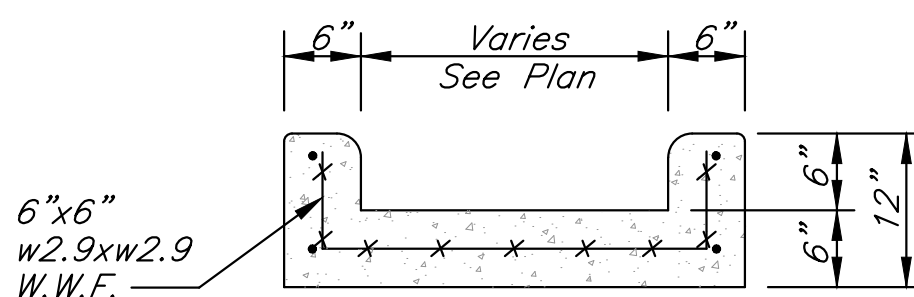


UNDERDRAIN DETAIL

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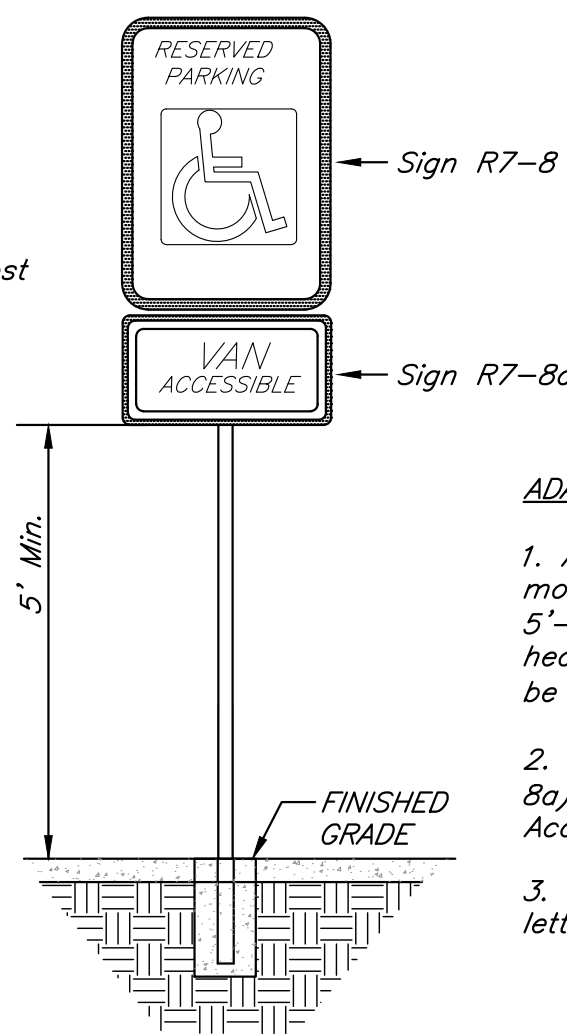
STOP SIGN DETAIL

Not to Scale



CONCRETE FLUME

Not To Scale

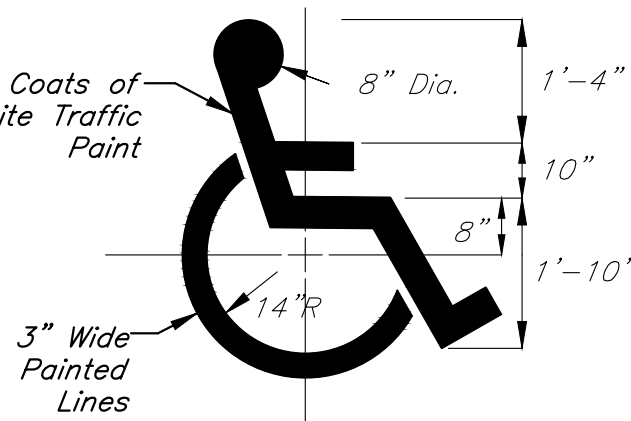


TYPICAL ACCESSIBLE SIGNAGE

Not to Scale

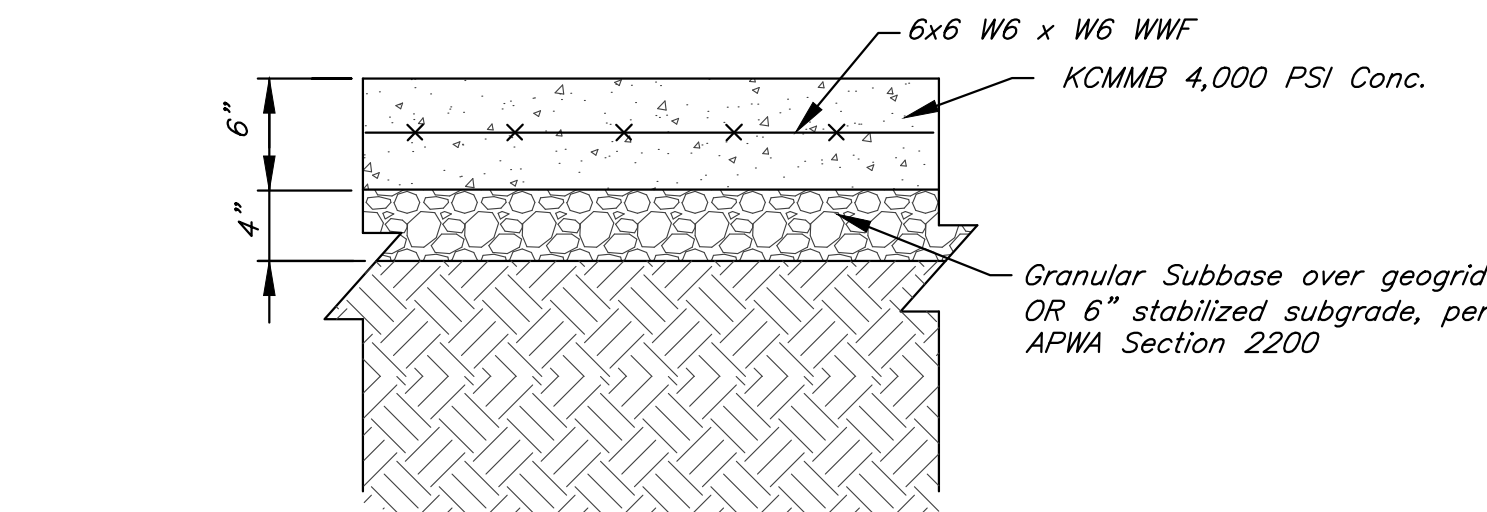
ADA Sign Notes:

1. Accessible Sign (R7-8) Shall be mounted on a pole or other structure 5'-6" above the parking surface, at the head of the parking space, and shall be at least 12"x18" in area.
2. Supplemental Accessible Sign (R7-8a) shall be used on all required Van Accessible Spaces.
3. Signs shall be blue with white lettering.



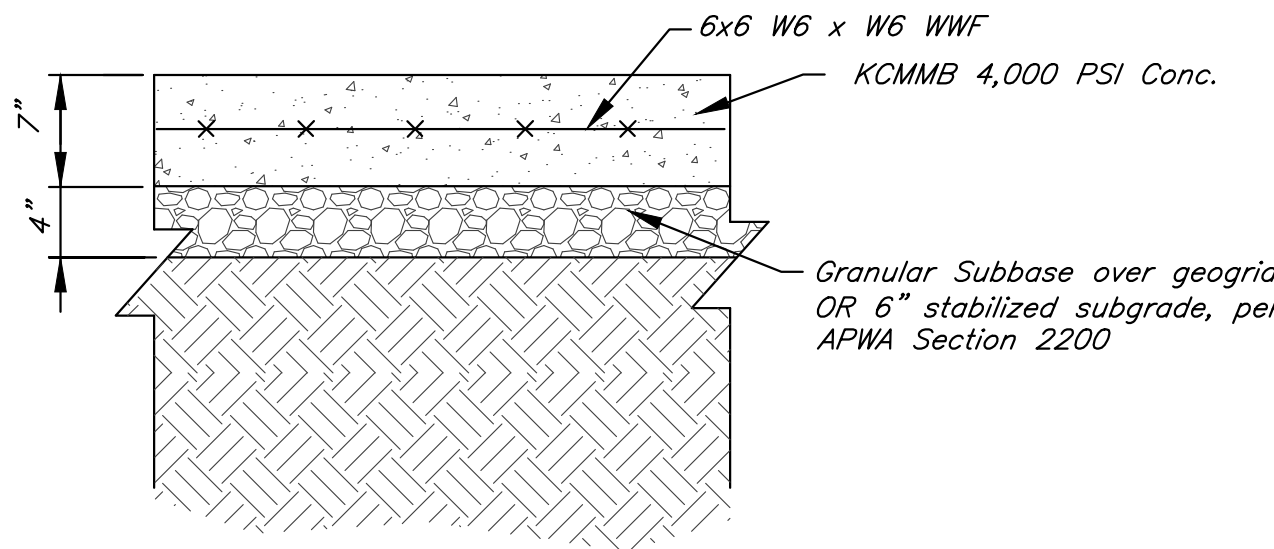
ACCESSIBLE PARKING SYMBOL DETAIL

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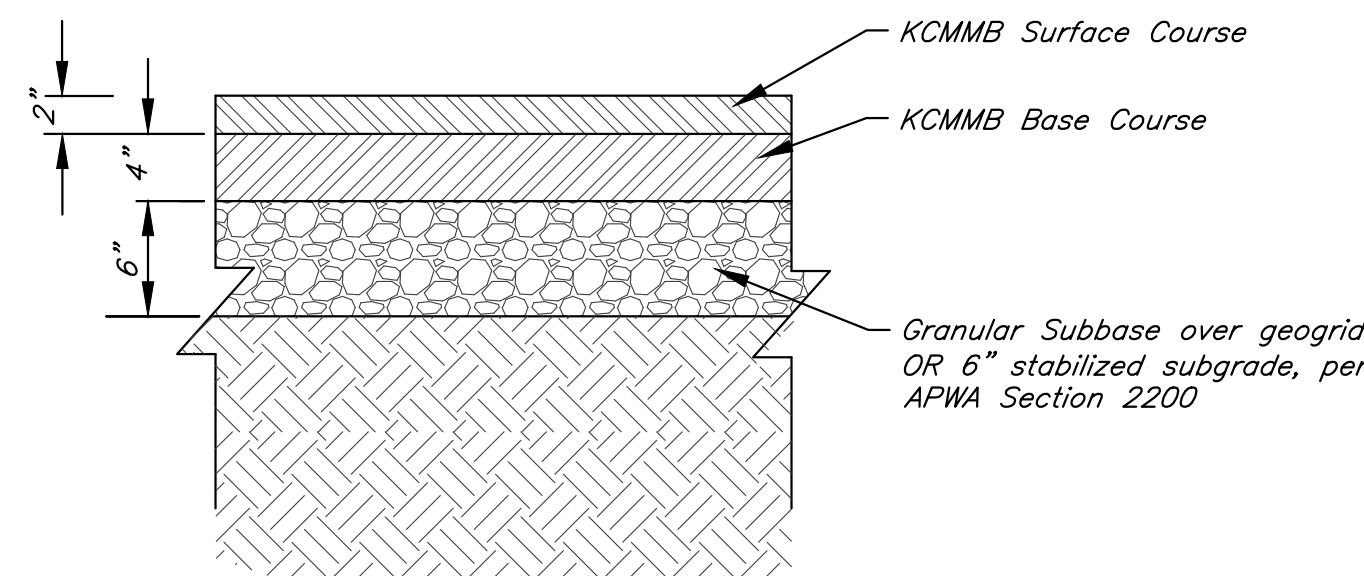
CONCRETE PAVEMENT SECTION

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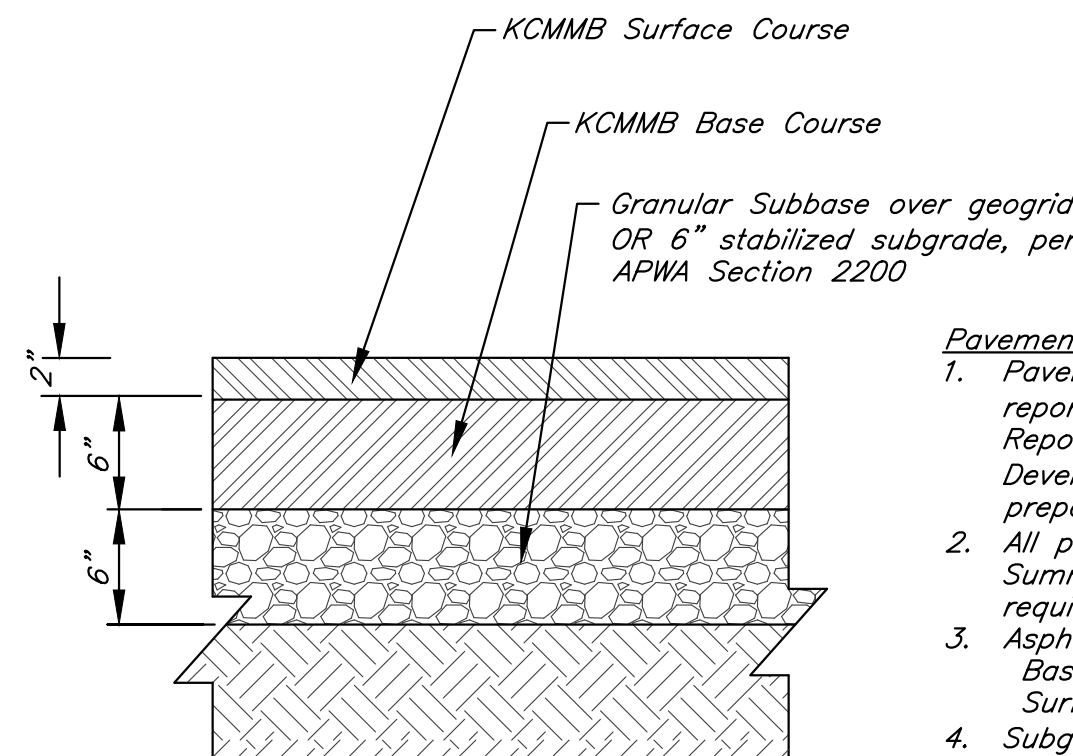
HEAVY DUTY CONCRETE PAVEMENT SECTION

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LIGHT DUTY ASPHALT PAVEMENT SECTION

Not To Scale

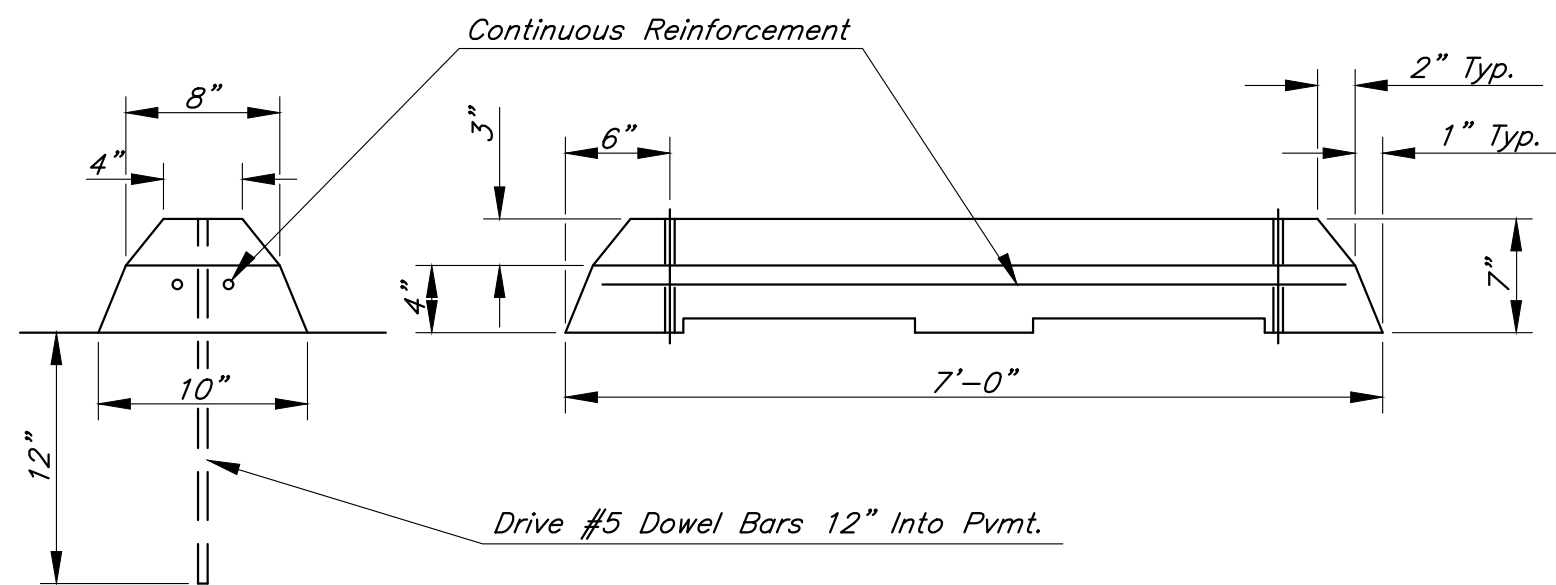


HEAVY DUTY ASPHALT PAVEMENT SECTION

Not To Scale

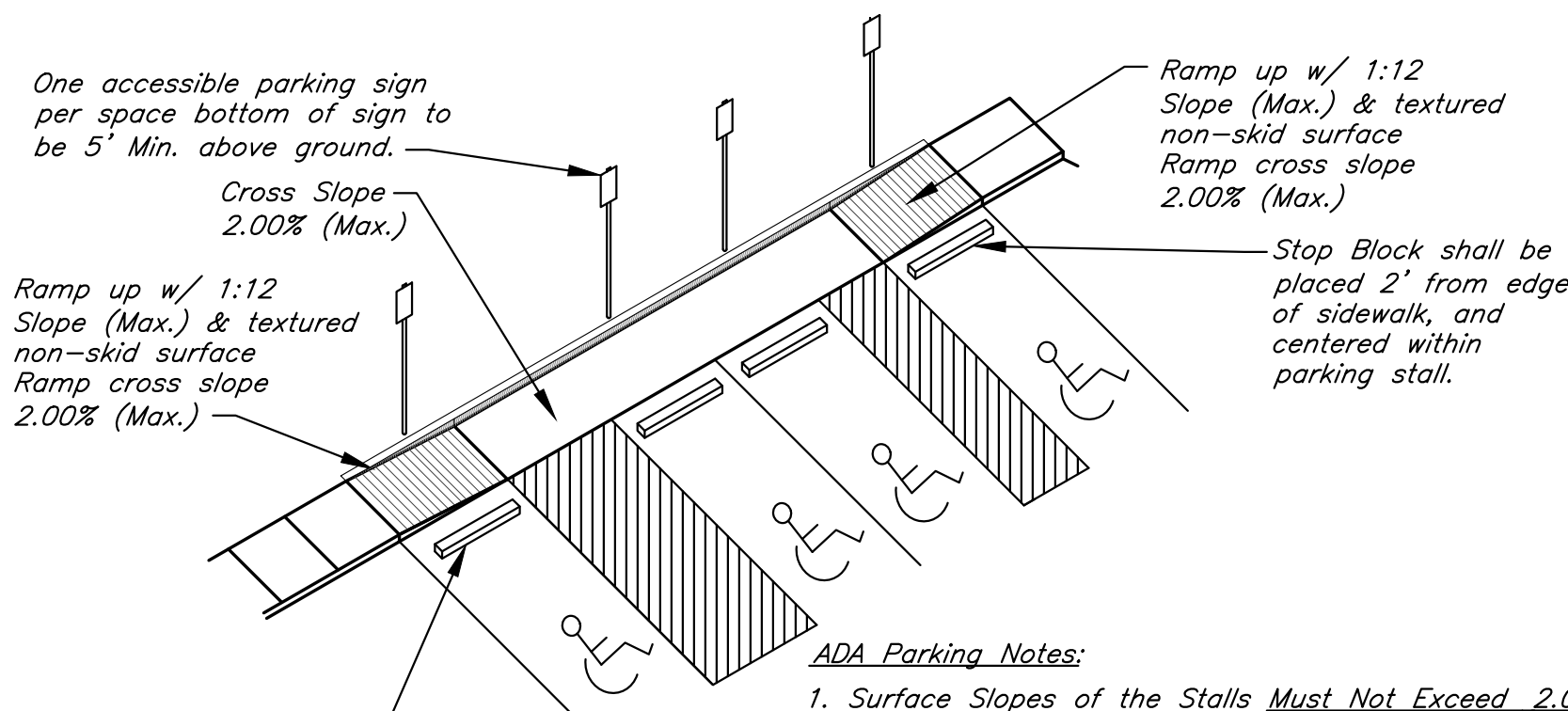
Pavement Notes:

1. Pavement sections from geotechnical report title "Geotechnical Engineering Report - Paragon Multi-Family Development", dated August 11, 2021, prepared by Terracon Consultants, Inc.
2. All pavement shall meet City of Lee's Summit UDO Section 8.620 requirements.
3. Asphalt mix shall be APWA Base: 1-01, 2-01 or 5-01 Surface: 2-01, 3-01 or 5-01
4. Subgrade stabilization shall be per Lee's Summit Standard Specifications - APWA Section 2200.



PRECAST CONCRETE STOP BLOCK

Not to Scale



ADA Parking Notes:

1. Surface Slopes of the Stalls Must Not Exceed 2.00% in ANY Direction.
2. Van Accessible Spaces are denoted on the plan.
3. Parking Blocks shall be placed 24" from edge of sidewalk to center line of parking block.

ADA PARKING DETAIL

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GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 2019040088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finkewilliams.com
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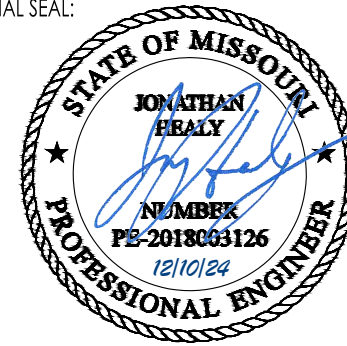
Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

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ISSUE:

11/5/24	Revision
12/10/24	City Comments

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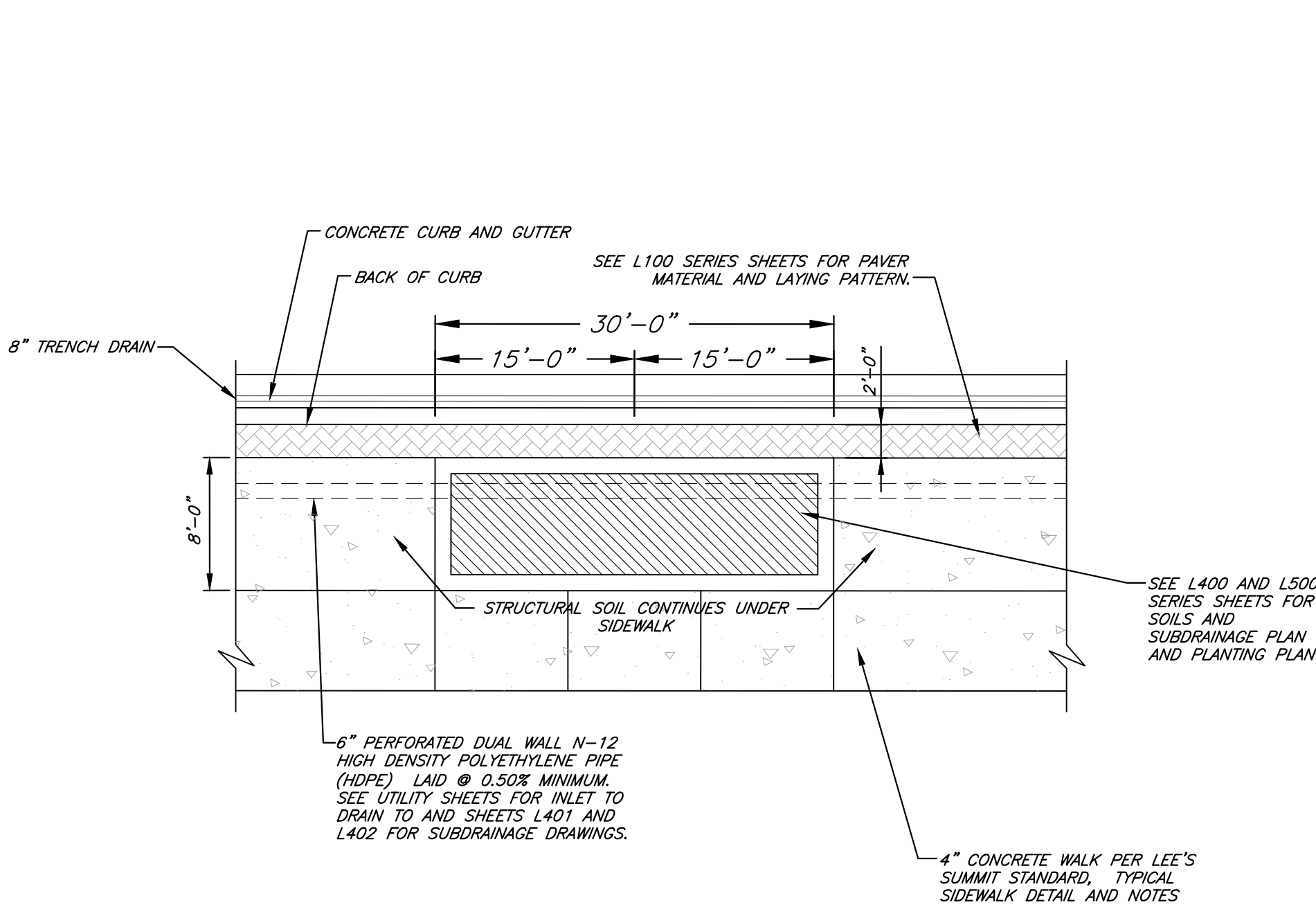
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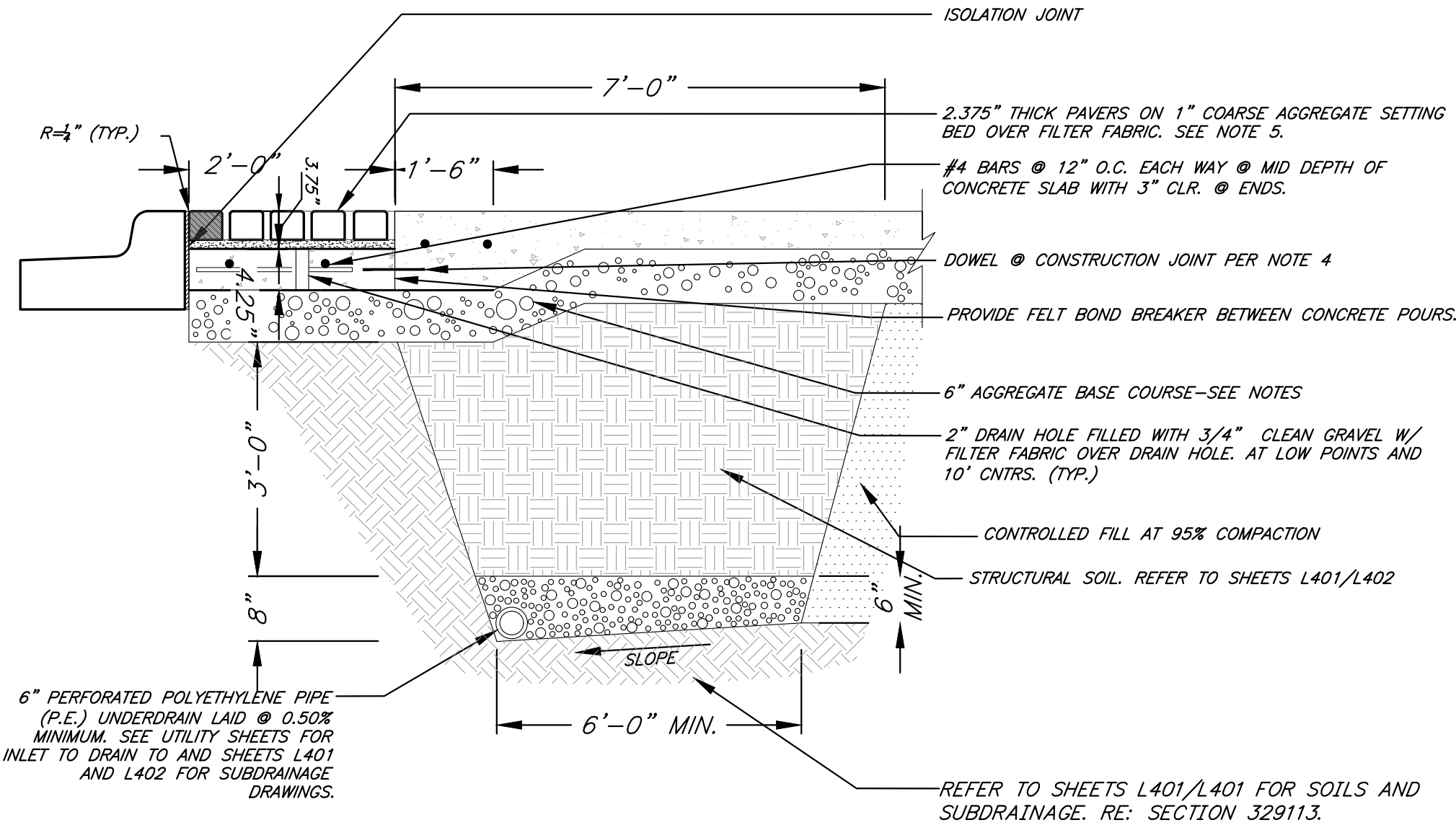
C020

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RAISED PLANTER PLAN

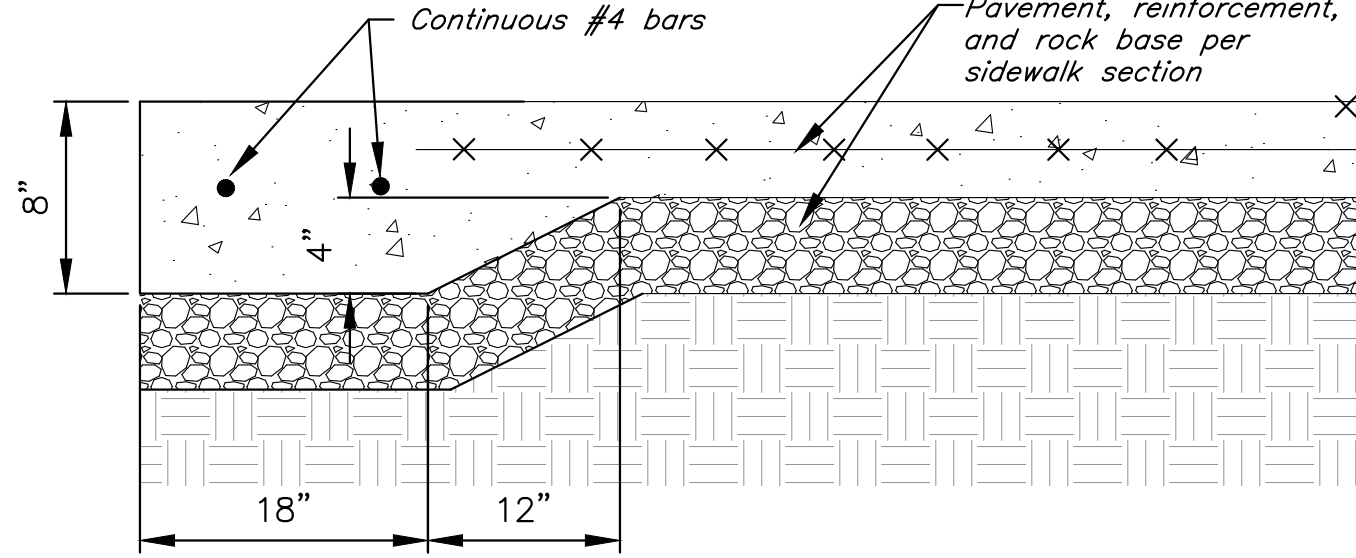
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- NOTES:
1. ALL CONCRETE SHALL BE KCMMB-4K.
 2. LEE'S SUMMIT STANDARD TYPE 1 JOINTS SHALL BE PLACED AS SHOWN ON PLANS.
 3. AGGREGATE BASE COURSE SHALL BE 97% COMPACTED AB-3 OR Limestone SCREENINGS WITH A WATER CONTENT BETWEEN -2 AND +1 PERCENTAGE POINTS OF THE OPTIMUM WATER CONTENT.
 4. AT CONSTRUCTION JOINTS IN CONCRETE SLAB, INSTALL #5 X 12" LONG SMOOTH DOWELS @ 12" SPACING ALONG THE CONSTRUCTION JOINT. GREASE AND WRAP ONE END SIMILAR TO LEE'S SUMMIT STANDARD TYPE 2 JOINT. DOWEL INSTALLED ON EACH SIDE OF JOINT. (NO 1/2" PREMOLED NON-EXTRUDING FILLER.)
 5. PAVERS WILL BE SELECTED BY THE LANDSCAPE ARCHITECT. SEE L100 SERIES SHEETS FOR MATERIAL TYPE AND LAYING PATTERN.

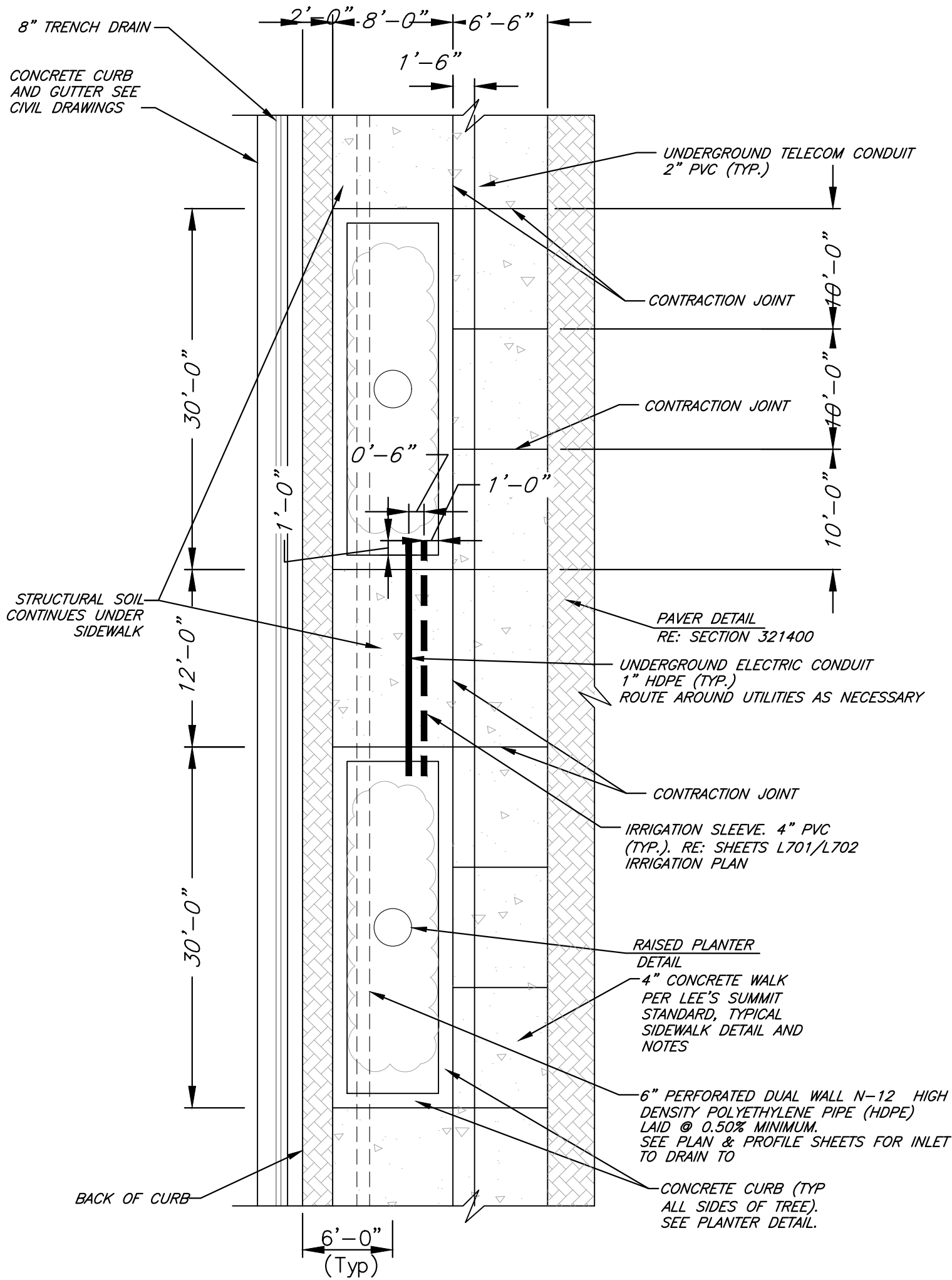
AMENITY ZONE PAVER DETAIL

Not to Scale



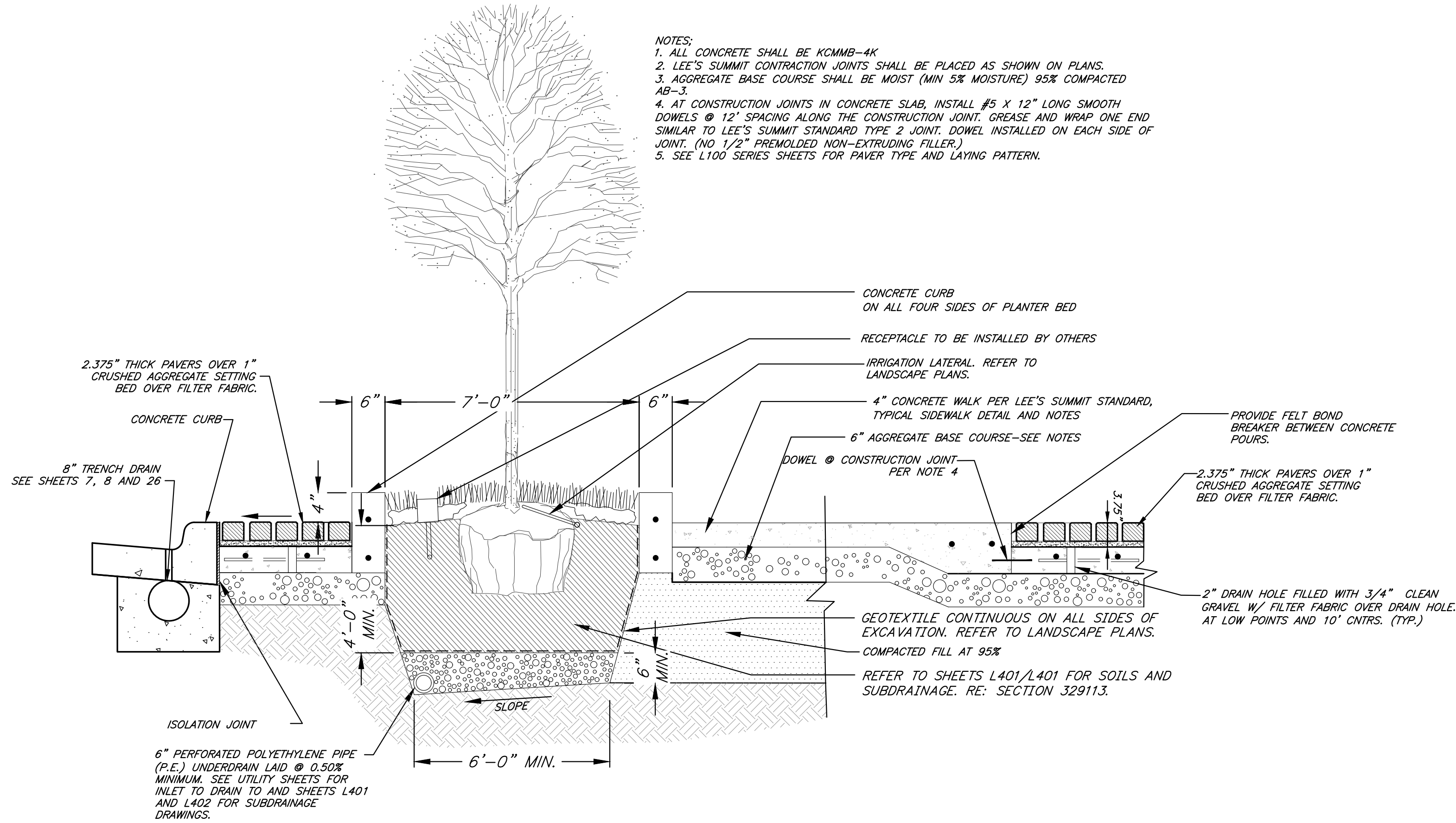
THICKENED EDGE DETAIL

Not to Scale



TYPICAL SIDEWALK LAYOUT

Not to Scale



TREE PLANTER DETAIL

Not to Scale

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9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 201904088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.495.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finklevilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

Paragon Star North Village

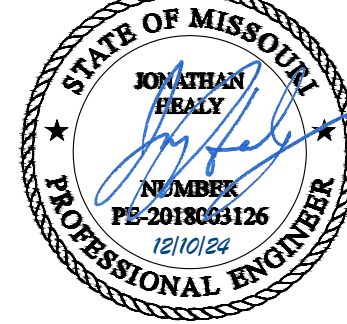
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12/10/24	City Comments

PROFESSIONAL SEAL:



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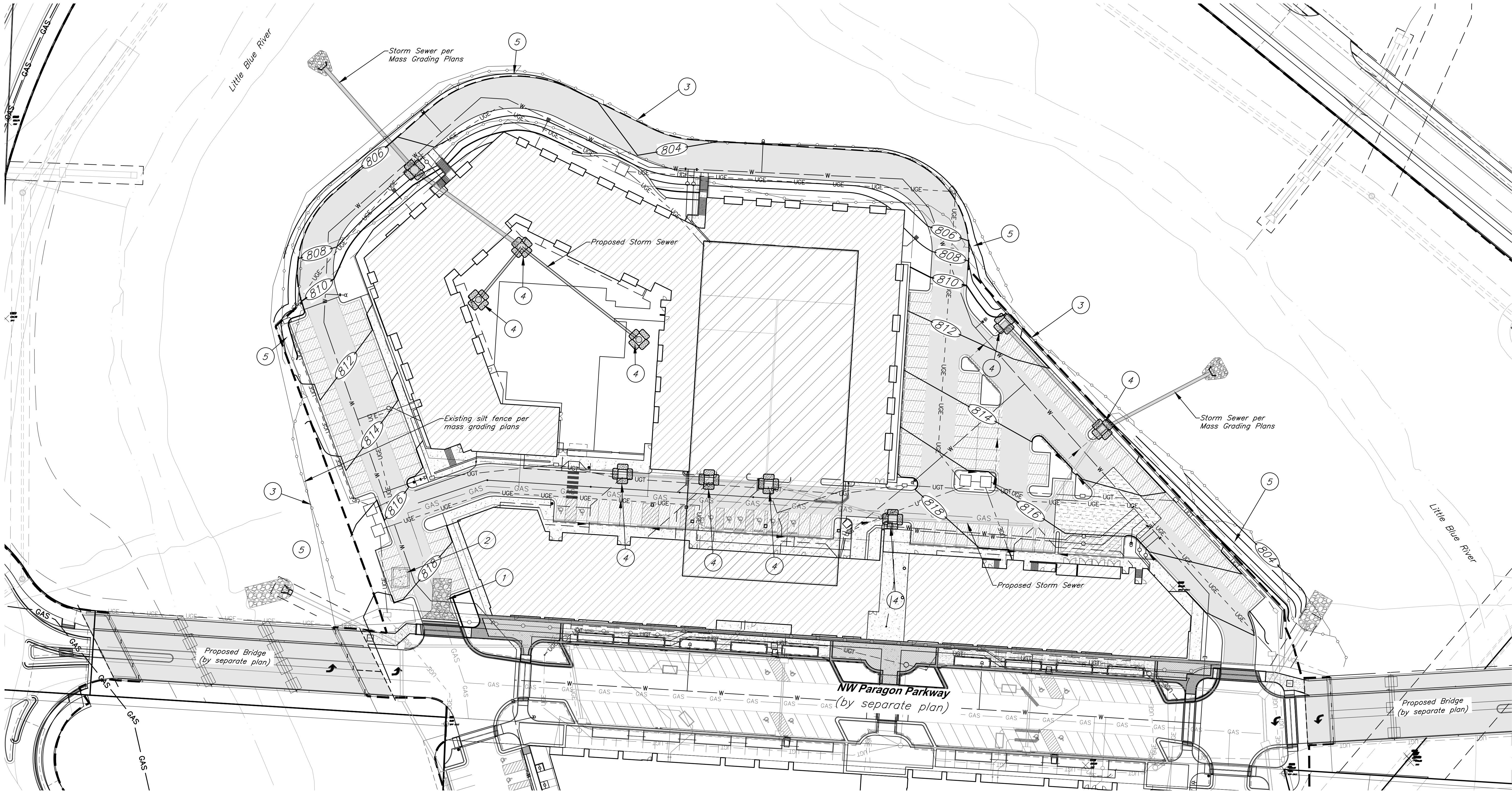
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DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C022

G:\127201 Civil 3D\Production Drawings\LS Multifamily FDP\127201C023 Erosion Control Plan --- Tuesday December 10, 2024, 11:43am --- Copyright 2024, George Butler Associates, Inc. THE PROFESSIONAL WHOSE SEAL SIGNATURE AND PERSONAL SEAL APPEARS ON THE PAGE ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THE PAGE. NO DISCLAIMER PERMISSIBLE TO SECTION 327.411, RSMO ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL RELATING TO, OR INTENDING TO BE USED FOR, ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.

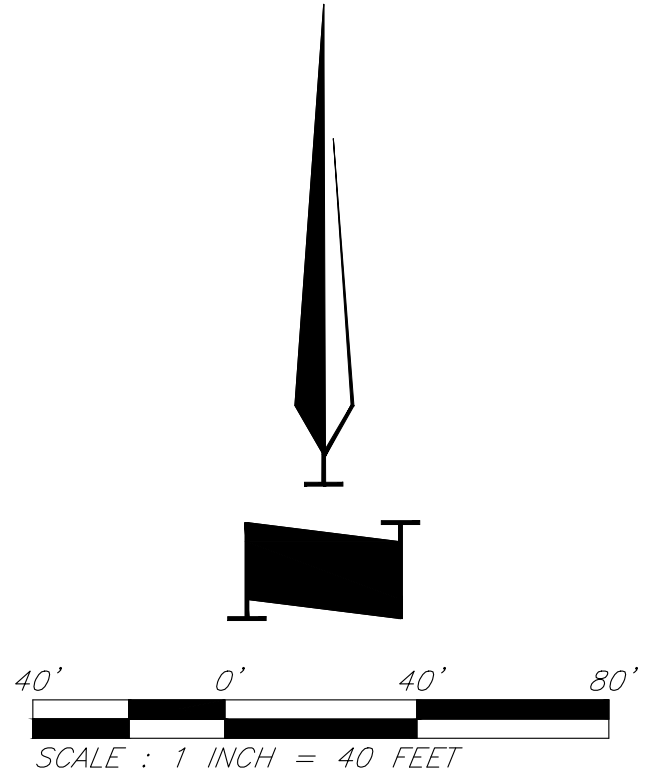


EROSION & SEDIMENT CONTROL STAGING CHART

Project Stage	Ref. No.	BMP Description	May Remove after Stage	Notes
A. Place Erosion Control Prior to Land Disturbance	1	Const. Entrance & Staging Area	C	
	2	Construct Concrete Wash-out	C	
	3	Perimeter Silt Fence	C	
B. Final Grading, Paving, and Landscaping	4	Inlet Protection	C	
	5	Seed & Mulch or Blanket or Sod		Erosion control blanket to be installed w/ seed. Check approved seeding dates and install temporary stabilization if out of seeding season. Install blanket according to manufacturer's instructions and stapling pattern.

Note: Permanent Stabilization will be considered stabilized when 100% of disturbed area is established with perennial vegetation with a density of 70%.

- Legend
- Proposed Contour
 - Existing Contour
 - Geotechnical Boring Location
 - Straw Wattles
 - Inlet Filter Sock
 - Grading Limits
 - Sediment Fence
 - Exist. Sediment Fence (to be maintained on perimeter)



PROJECT BENCHMARK:

BM #11 - Chiseled "L" on top Northeast corner of concrete guardrail at the Northeast corner of 1470 bridge spanning View High Drive. EL=833.80

GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority #2019004088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

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913.495.1550
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3200 NW Paragon Parkway, Lee's Summit, MO 64081

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Erosion Control Plan

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DATE: 08.12.2022 DRAWN BY: JRH

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C023

The layout of erosion control best management practices (BMPs) shown on the engineering plans is intended to control erosion and minimize, if not eliminate, the transport of sediment from the disturbed areas. The Contractor shall be responsible for the evaluation of existing surface drainage patterns and for making adjustments to the BMP locations to best control erosion and minimize, if not eliminate, the transport of sediment from the disturbed areas. The following are measures to achieve the control of erosion and sediment.

- a. *Temporary Seeding Stabilization* – During acceptable growing periods (see Table 1 below); temporary seeding of annual vegetation with a straw mulch cover shall be used as a temporary cover until permanent vegetation is established. If there is a possibility that a vegetative cover will be required to control erosion for more than 1 year, then consider the addition of a perennial/permanent grass species as part of a seeding mixture.

Seeding Dates	Temporary Seed Species	Minimum Application Rates (pure live seed lbs. per acre)	Straw Mulch (tons per acre)
Jan. 1 – Jan. 31	None	Not Applicable	2.5
Feb. 1 – May 31	Annual Ryegrass	120	1.5
June 1 – Aug. 4	None	Not Applicable	2.5
Aug. 15 – Nov. 15	Cereal/Winter Rye	120	1.5
Nov. 16 – Dec. 31	None	Not Applicable	2.5

Installation – For the best results use certified seed. Apply seed uniformly using a cyclone seeder, drop-type spreader, drill, cultipacker seeder or hydroseeder. When using a drill seeder, plant rye or other grains about 1 inch deep and plant grasses no more than ½ inch. A vegetative straw mulch cover shall be applied over the seed mixture to help germinate and establish plant cover, control weeds, and protect seed mixture against temperature extremes. Follow straw mulch preparation and application procedures described herein.

- Application** – Spread straw mulch uniformly over the area with a power blower, hydrosower, or by hand. No more than 25% of the ground surface should be visible after spreading. Apply straw mulch at a rate of 1.5 tons per acre as a seed cover or 2.5 tons per acre as a stand alone cover. The straw should be dry, unchopped/unweathered; free of weed seeds and rot. In areas of steep slopes or high winds, or in critical areas such as swales, mulching may need to be secured to the ground with a binder, netting, or tacking.

- Installation – For the best results use certified seed. Apply seed uniformly using a hydroseeder. A vegetative straw mulch cover shall be applied over the seed mixture to help germinate and establish plant cover, control weeds, and protect seed mixture against temperature extremes. Follow straw mulch preparation and application procedures described in the Standards and Specifications of the City of Lee's Summit, Missouri.*

- Trench – Bottom 1 foot of fence must be buried minimum of 4 inches deep.*

3. *Maintenance* – The contractor shall repair all erosion control measures or re-seed areas that are disturbed or damaged as a result of weather or other situations, within 2 days after the occurrence. This will include all areas bare of vegetation.

10. Mulch shall be Vegetative type, cereal straw form stalks of oats, rye, or barley, or approved equal. The straw shall be free of prohibited weed seed and relatively free of all other noxious and undesirable seed. Apply straw mulch at a rate of 1.5 tons per acre as a seed cover or 2.5 tons per acre as a stand alone cover. Mulch shall be embedded by a mulch anchoring tool or disk type roller having flat serrated disks spaced not more than 10 inches apart and cleaning scrapers shall be provided.

PROJECT

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ISSUE:

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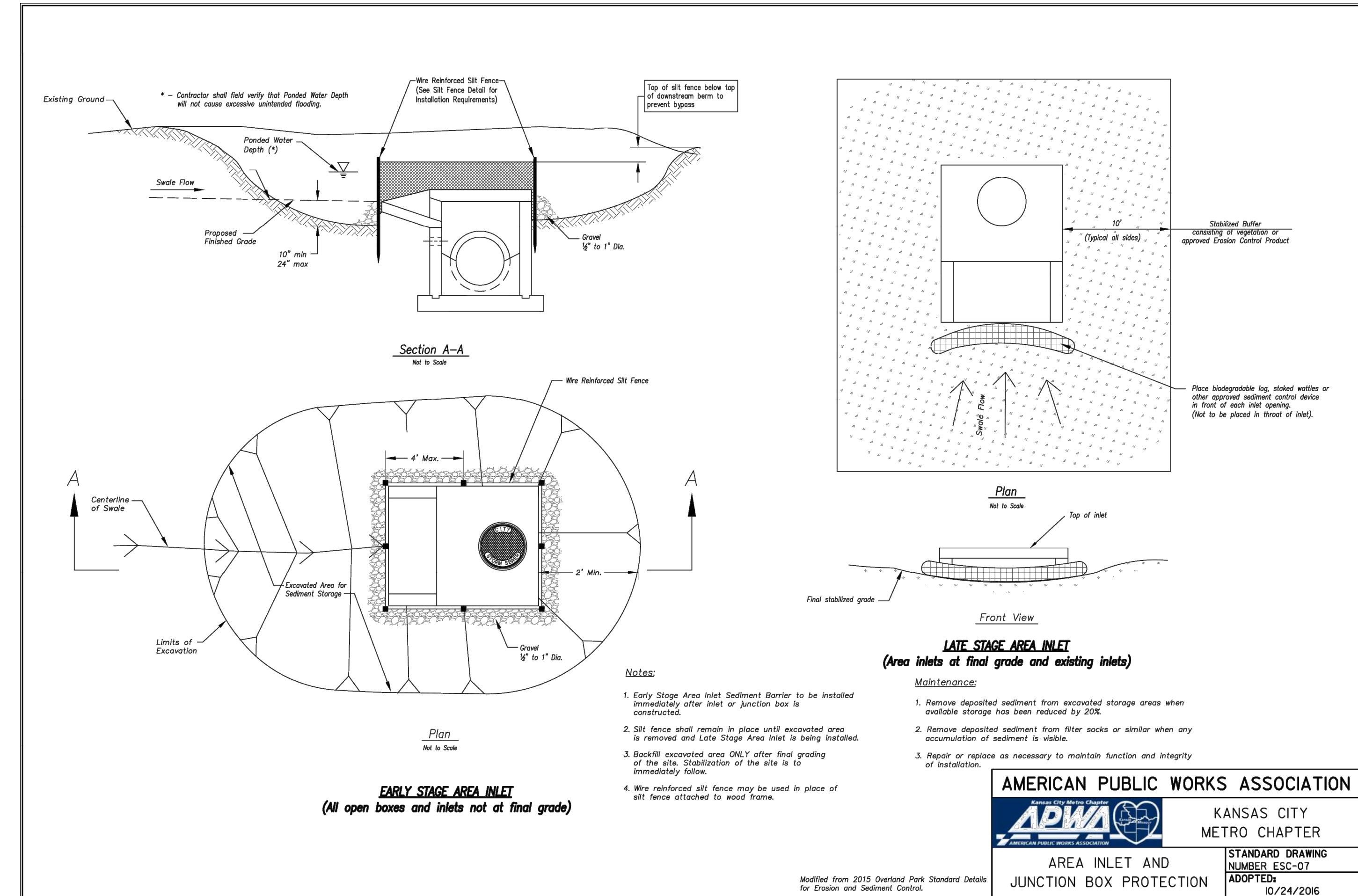
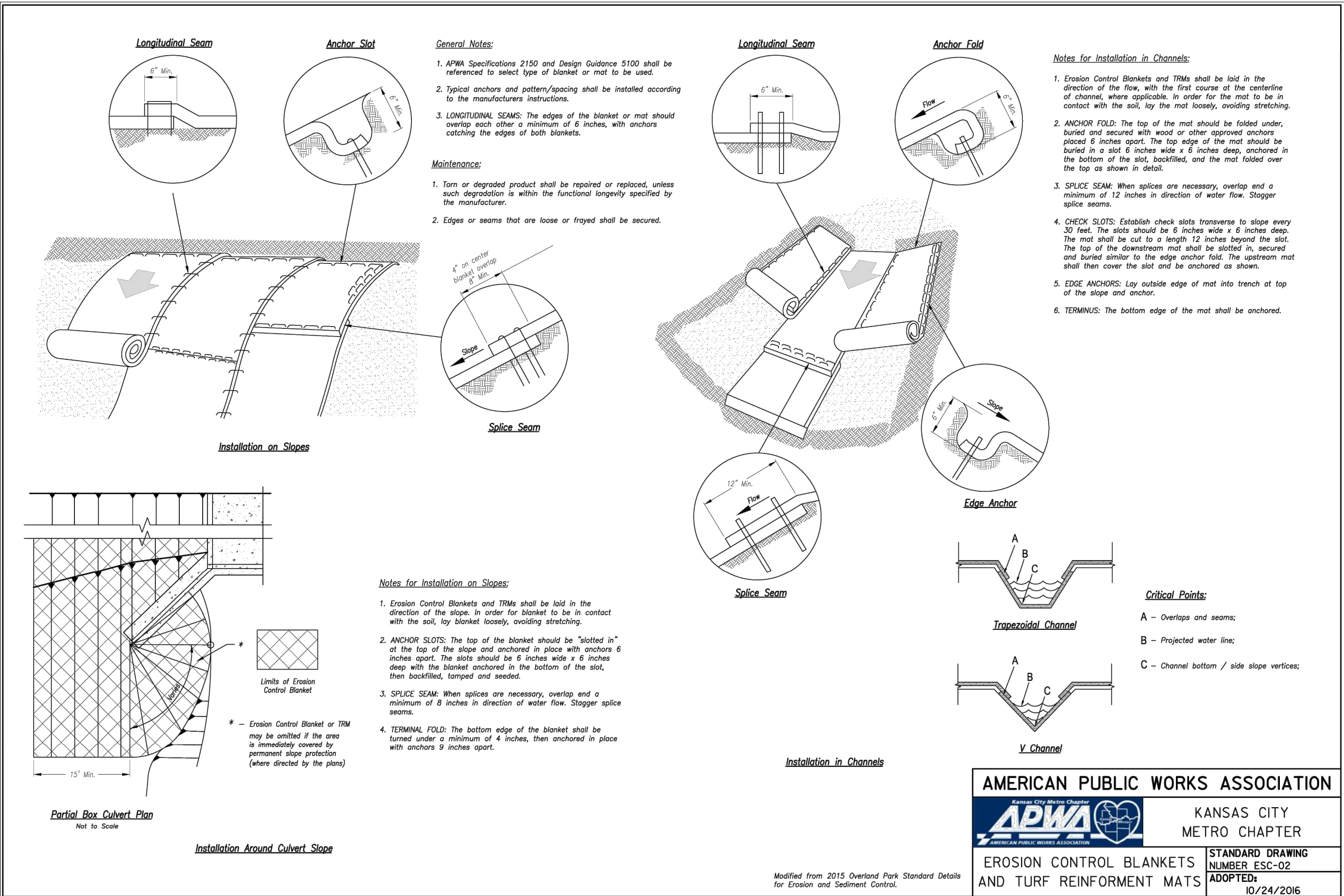
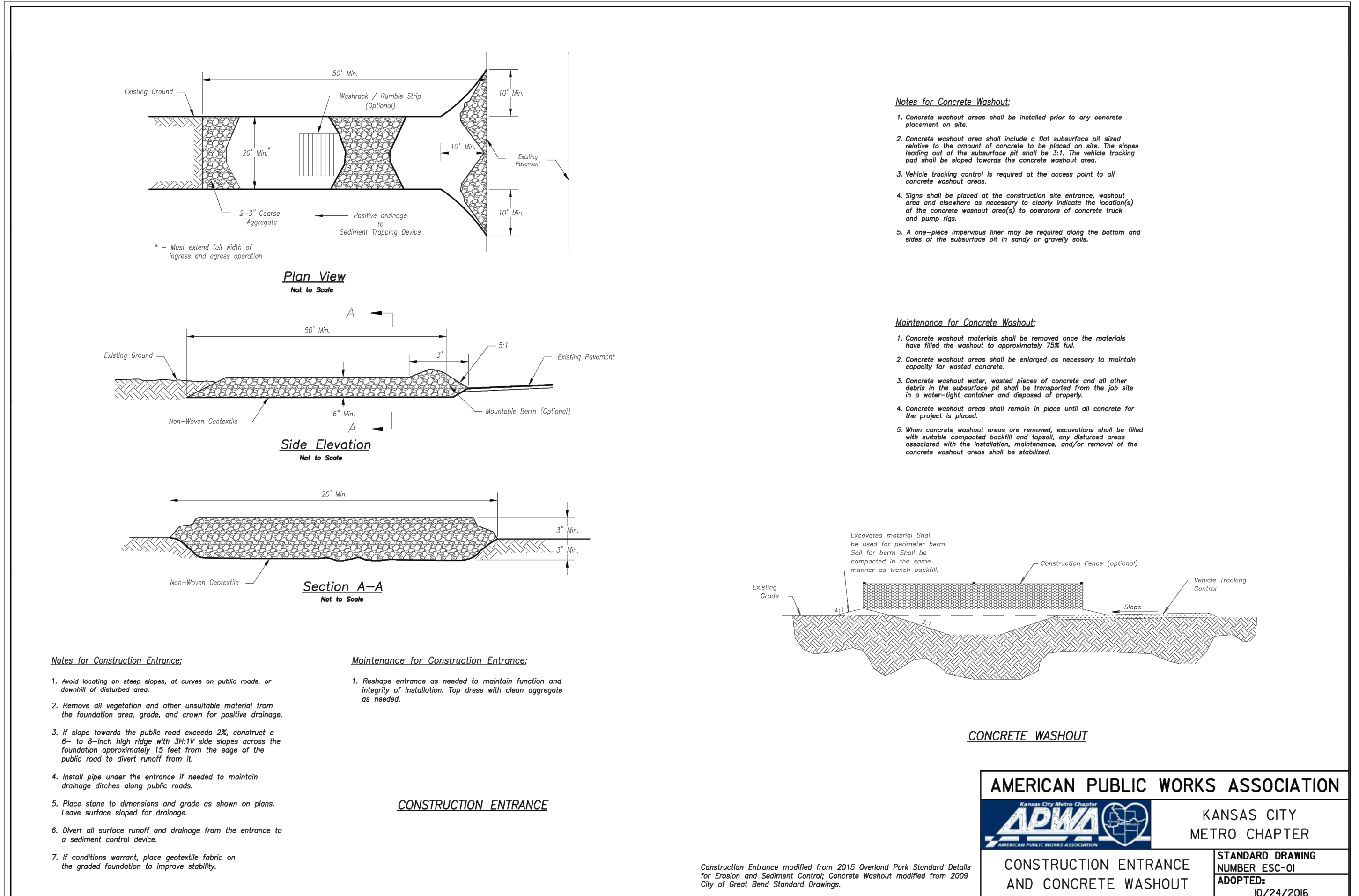
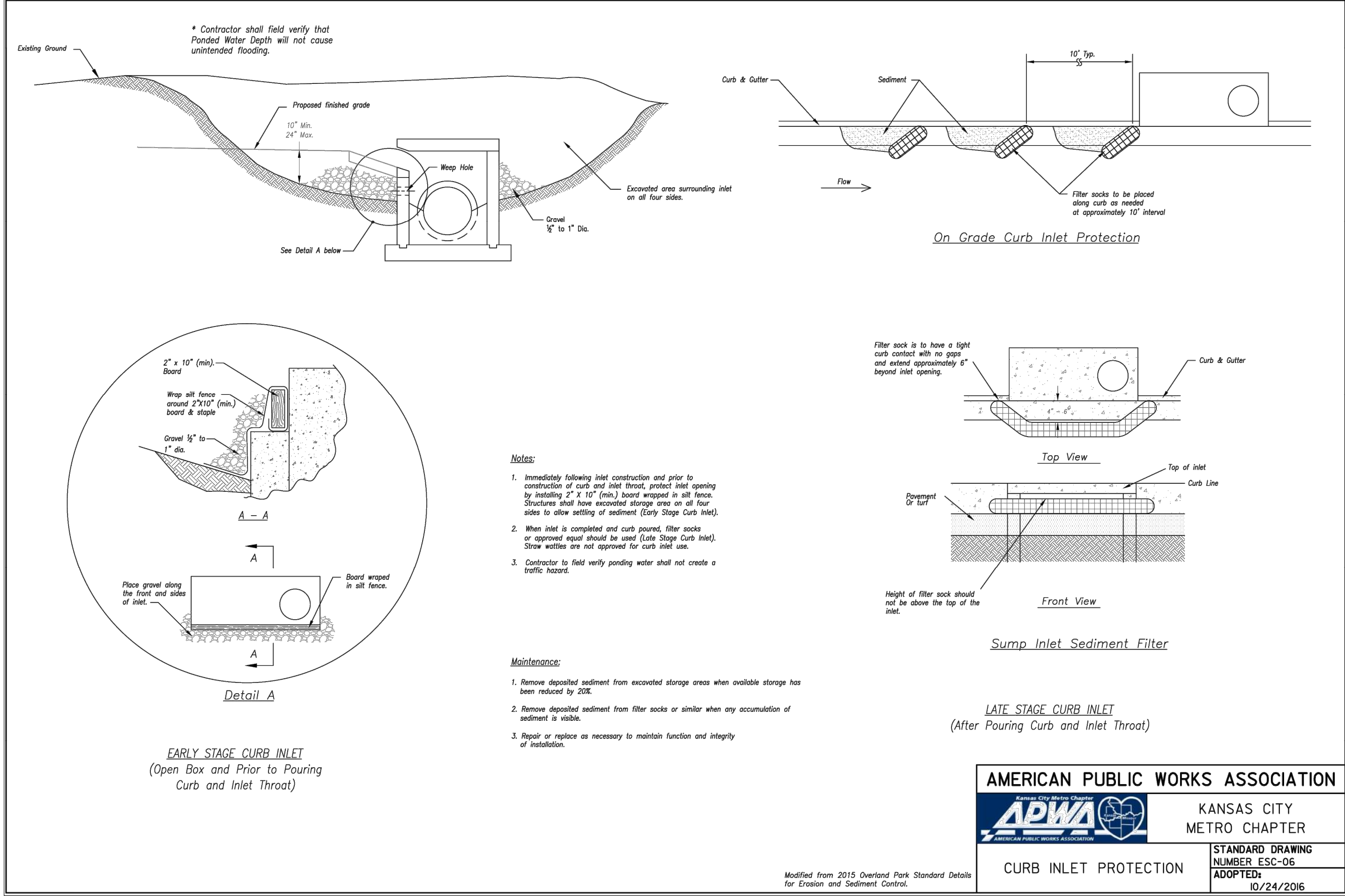
Erosion Control Notes

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SHEET NO.

C024

G:\127201 Civil 3D\Production Drawings\LS Multifamily FDP\1272004600.dwg Layout: C025 Erosion Control Details --- Tuesday, December 10, 2024, 11:43:am --- Copyright 2024, George Butler Associates, Inc. THE PROFESSIONAL WHOLE SEAL SIGNATURE AND PERSONAL SEAL APPEAR ON THE PAGE ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THE PAGE AND DISCLAIMS PERSUASION TO SECTION 327.411, RSMo) ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL RELATING TO, OR INTENDING TO BE USED FOR, ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.



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2100 Central Street, Suite 01C
Kansas City, MO 64108
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PROJECT:

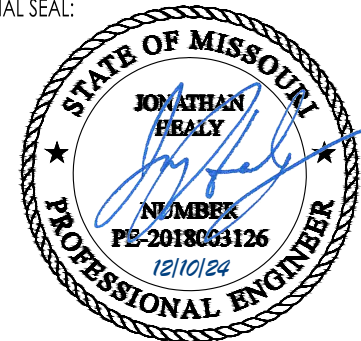
Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24 Revision
12/10/24 City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

Erosion Control Details

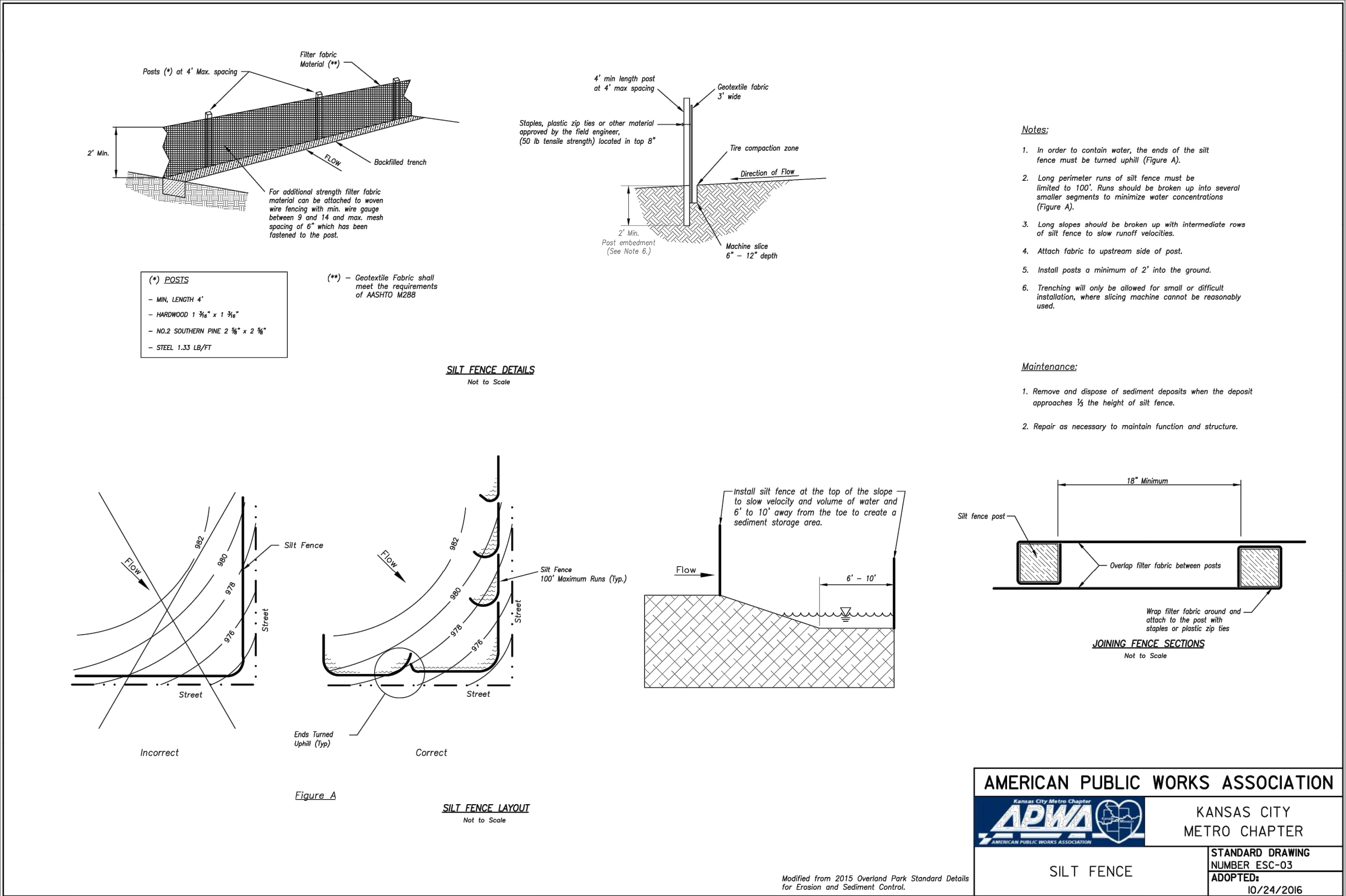
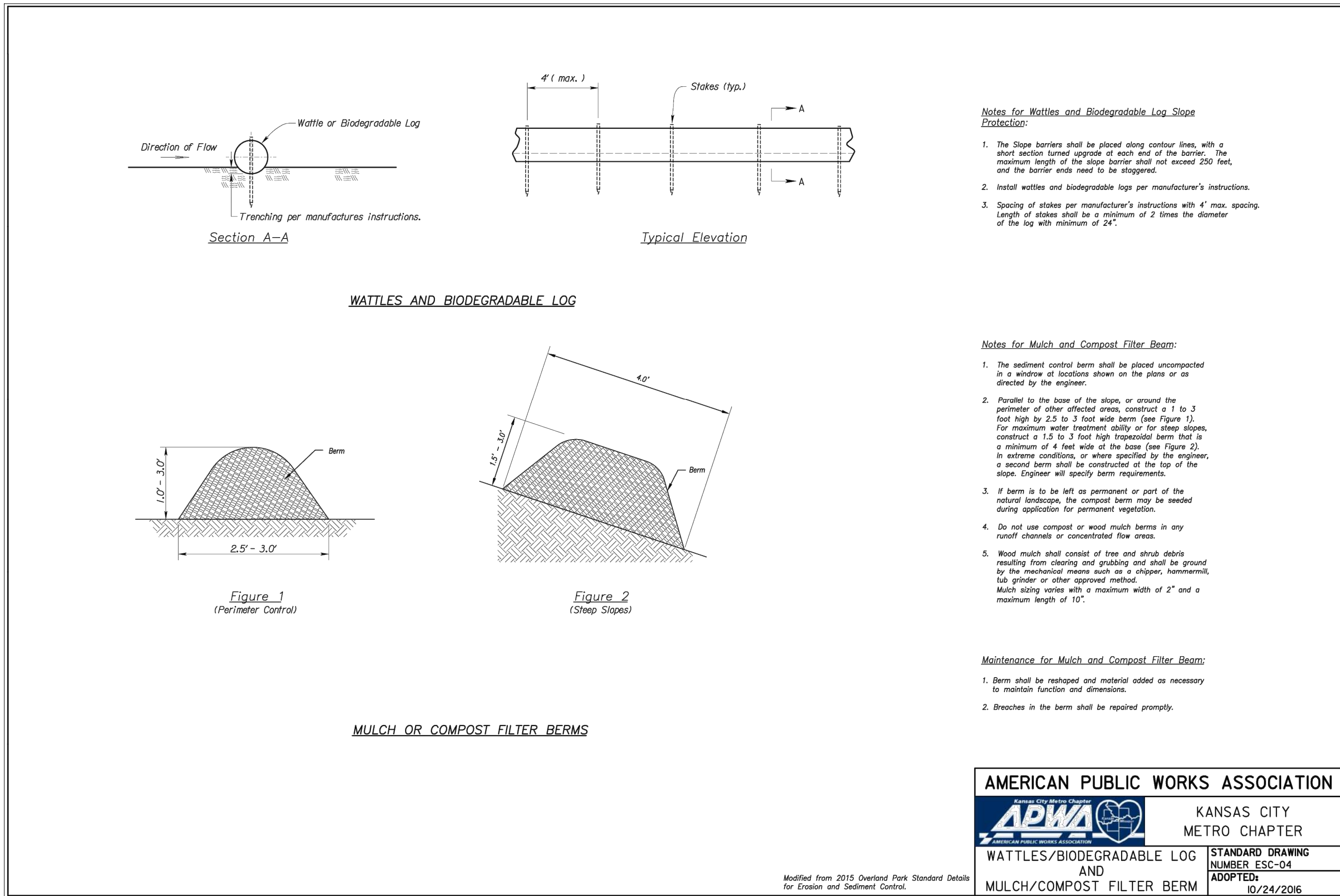
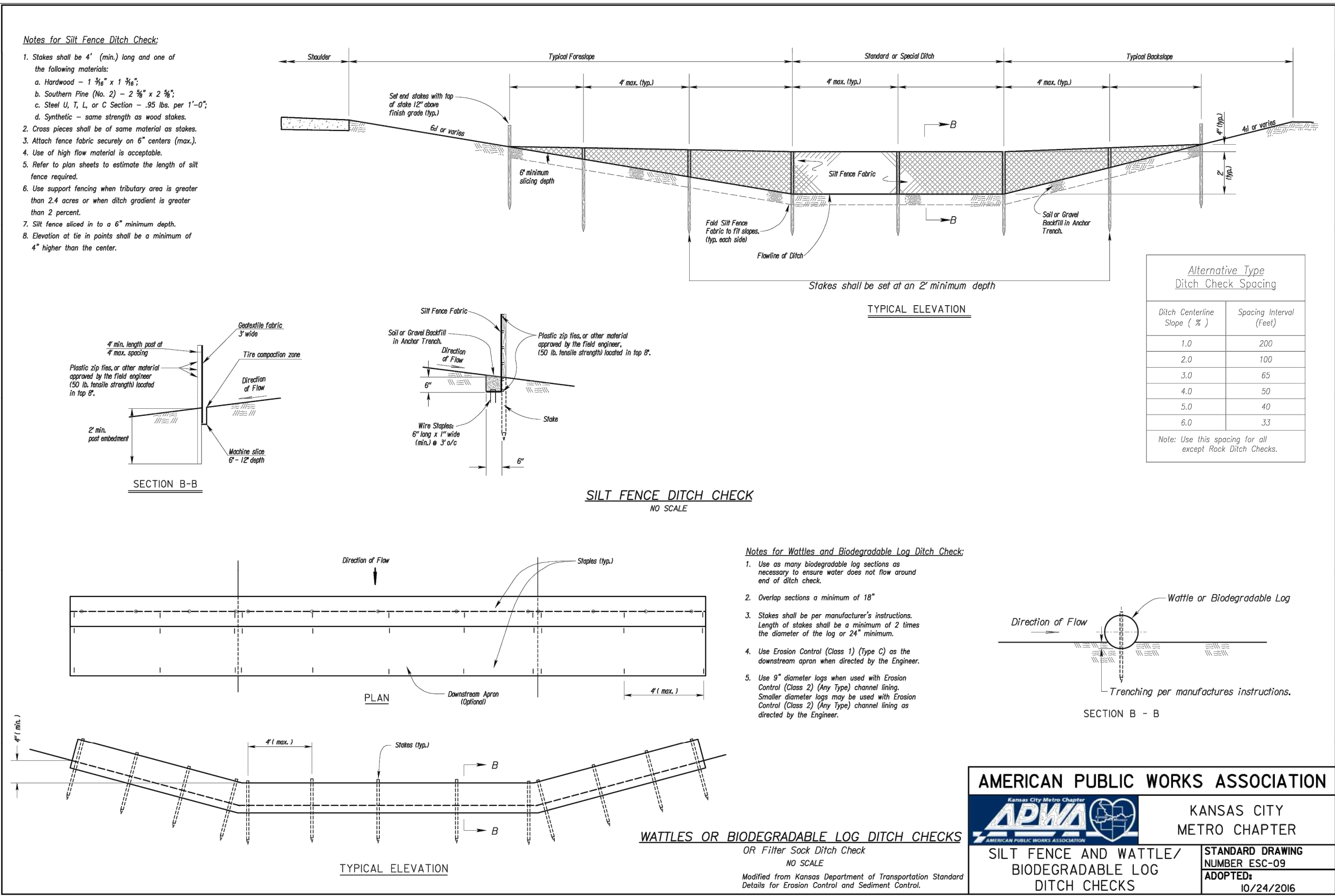
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C025

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Lenexa, KS 66219
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LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoern Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
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HENDERSON ENGINEERS, INC.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finklevilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24 Revision
12/10/24 City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

Erosion Control Details

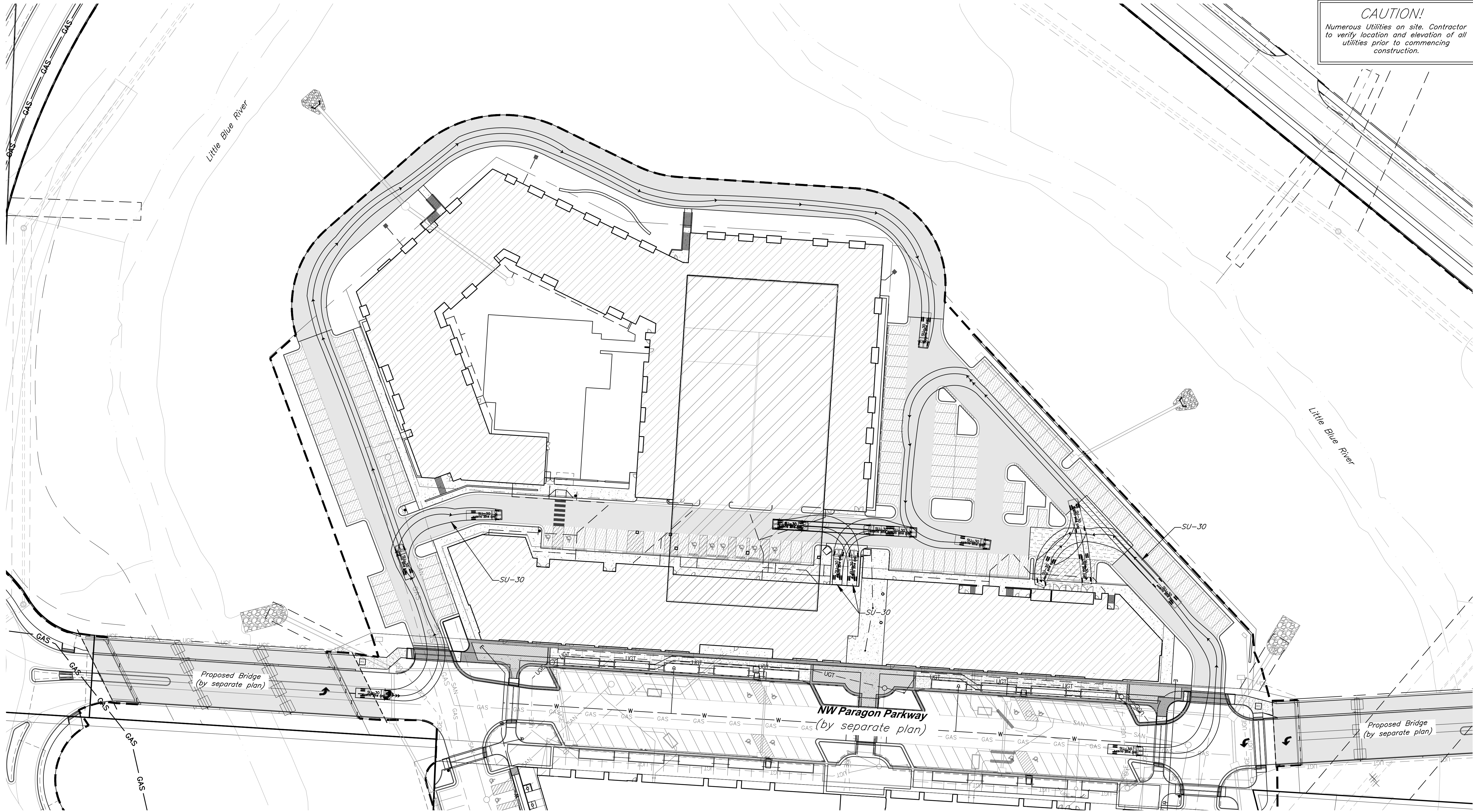
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DATE: 08.12.2022 DRAWN BY: JRH

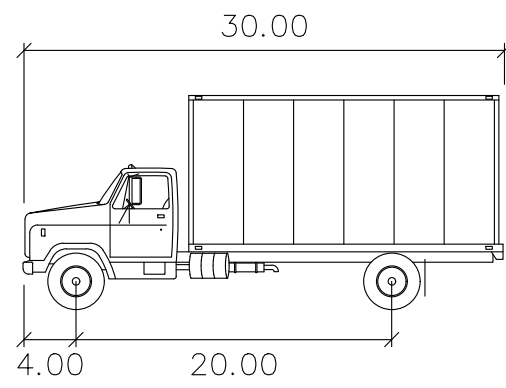
SHEET NO:

C026

G:\127201 Civil 3D\Production Drawings\LS Multifamily FDP\1272015900.dwg Layout: C027 Turning Movements -- Tuesday, December 10, 2024, 11:44am -- Copyright 2024, George Buller Associates, Inc.
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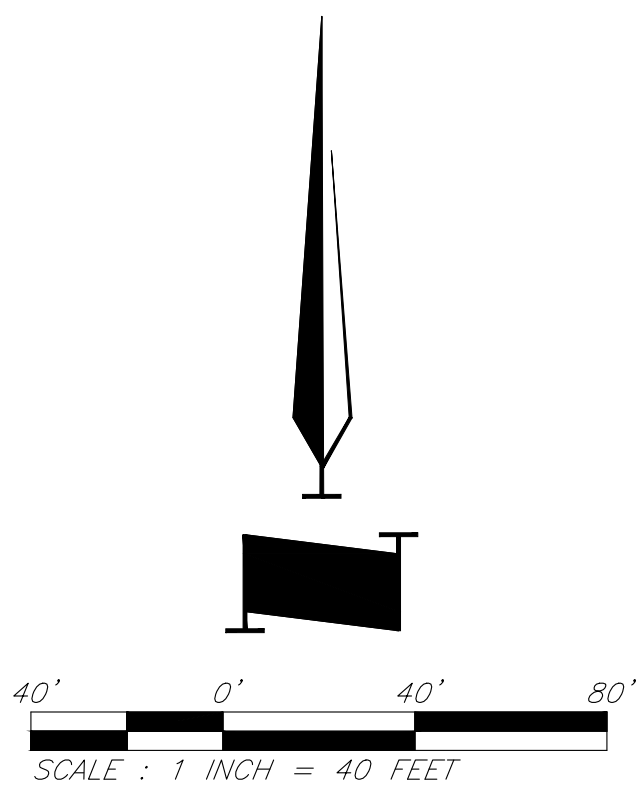


CAUTION!
Numerous Utilities on site. Contractor
to verify location and elevation of all
utilities prior to commencing
construction.



SU-30

Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8



GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority #2019004088

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
Missouri Certificate of Authority # 000556

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finkewilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24	Revision
12/10/24	City Comments

PROFESSIONAL SEAL:



DRAWING TITLE:

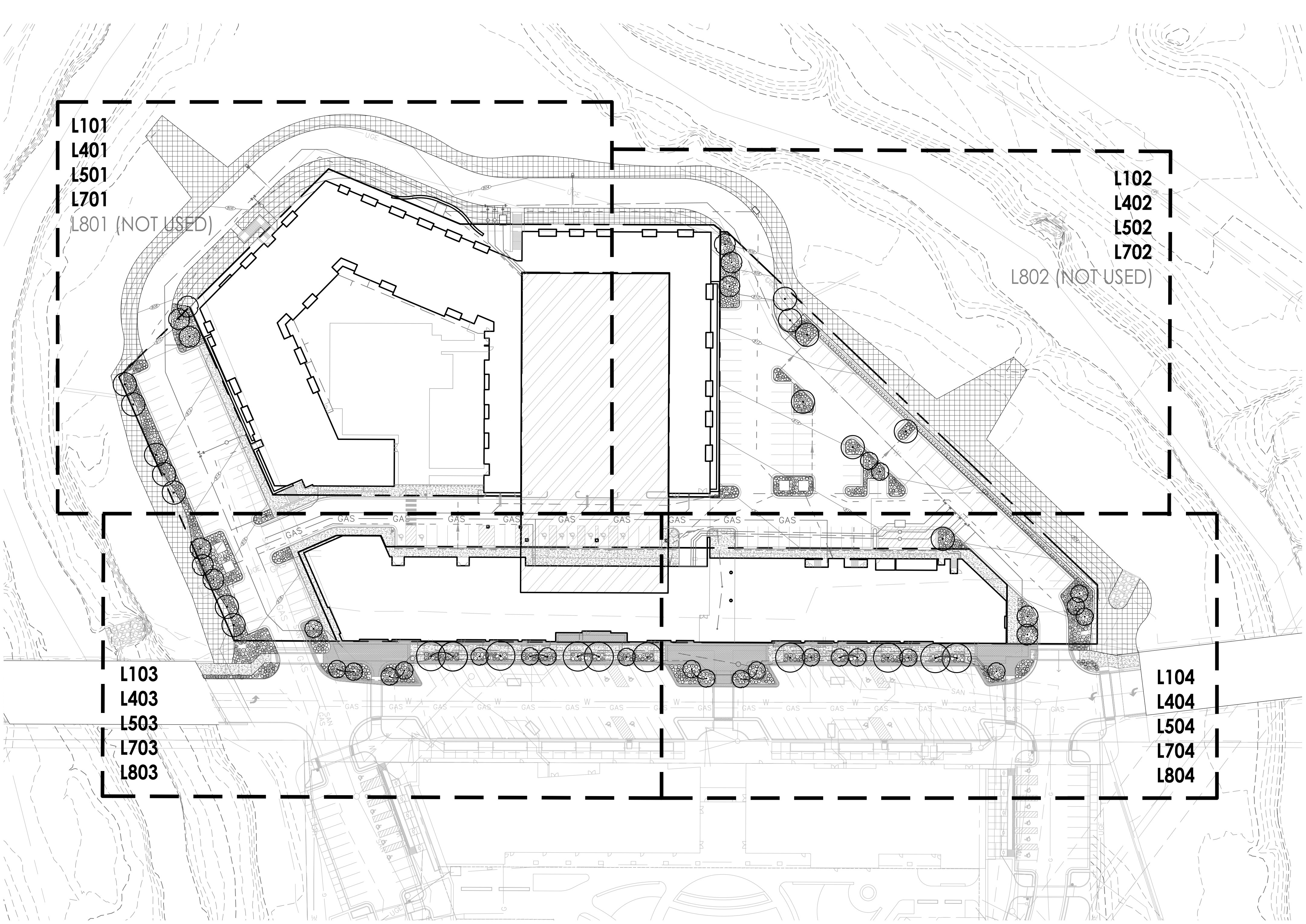
**Turning
Movements**

JOB NO: 18017, 19050.07, 19050.08
DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C027

G:\Archive\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTIFAMILY\L000 KEY PLAN\MULTIFAM.dwg 7/11/2022 11:16:22 AM
O.386921
MICHAEL KILLEN
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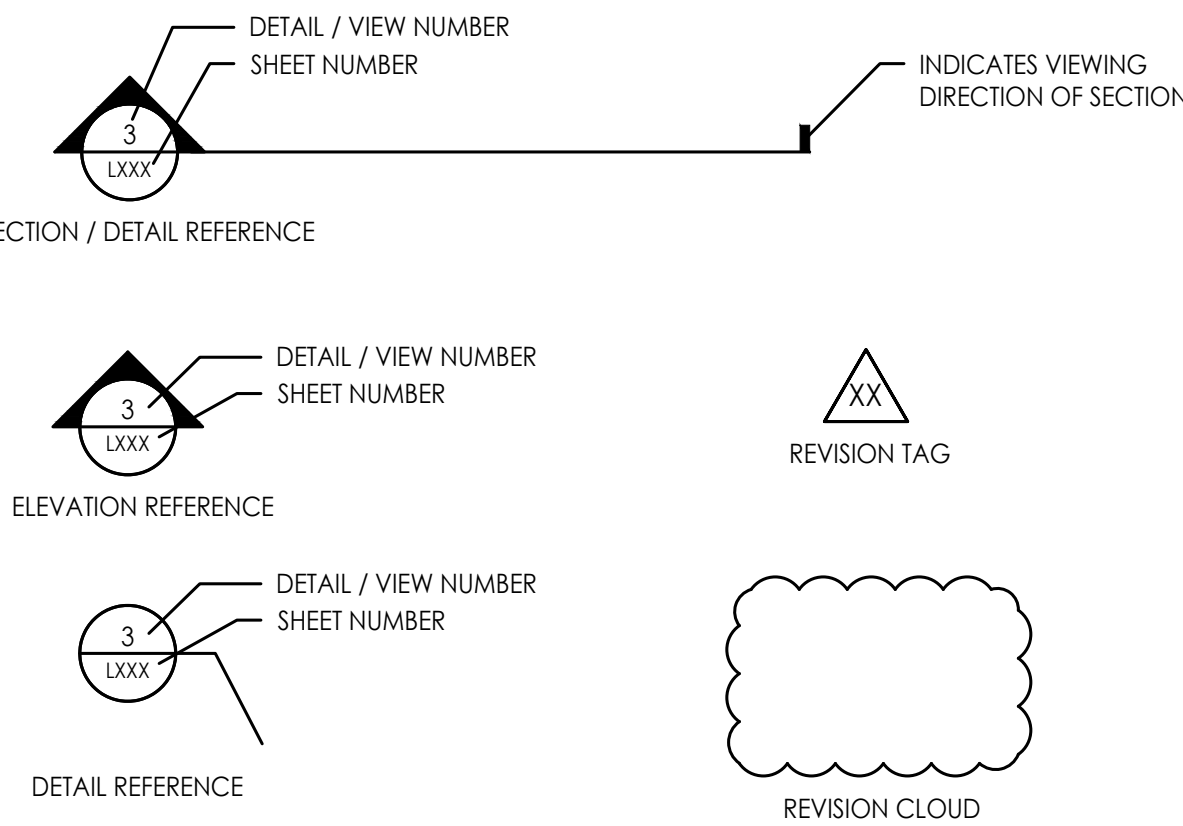
GENERAL NOTES

- ALL SITE AND UTILITY INFORMATION SHOWN IS BASED UPON INFORMATION AVAILABLE AT THE TIME OF DESIGN. VERIFY ALL SITE CONDITIONS, ELEVATIONS, UTILITY LOCATIONS AND DIMENSIONS INCLUDING NEW IMPROVEMENTS PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
- ALL DIMENSIONS SHOWN ARE REPRESENTED USING U.S. SURVEY DIMENSION STANDARDS.

COMMON ABBREVIATIONS

APPROX	APPROXIMATE	MH	MANHOLE
ARCH	ARCHITECT	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
B&B	BALLED AND BURLAPPED	N	NORTH
BC	BOTTOM OF CURB	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BM	BENCHMARK	NOM	NOMINAL
BOC	BACK OF CURB	NTS	NOT TO SCALE
BW	BOTTOM OF WALL	OC	ON CENTER
CAL	CALIPER	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	PC	POINT OF CURVATURE
CF	CUBIC FEET	PE	POLYURETHANE
CIP	CAST IN PLACE	PERF	PERFORATED
CL	CENTERLINE	PI	POINT OF INTERSECTION
CLR	CLEAR, CLEARANCE	PL	PROPERTY LINE
CJ	CONTROL JOINT	PT	POINT, POINT OF TANGENCY
CM	CENTIMETER	PVC	POLYVINYL CHLORIDE
CO	CLEAN OUT	QTY	QUANTITY
CONT	CONTINUOUS	R	RADIUS
CY	CUBIC YARD	RE	REFERENCE, REFER TO
DEG	DEGREE	REINF	REINFORCED
DEMO	DEMOLISH, DEMOLITION	REQ'D	REQUIRED
DIA	DIAMETER	REV	REVISION, REVISED
DIM	DIMENSION	ROW	RIGHT OF WAY
DTL	DETAIL	S	SOUTH
DWG	DRAWING	SAN	SANITARY
E	EAST	SEC	SECTION
EA	EACH	SF	SQUARE FOOT (FEET)
EJ	EXPANSION JOINT	SHT	SHEET
EL	ELEVATION	SIM	SIMILAR
ENG	ENGINEER	SPECS	SPECIFICATIONS
EQ	EQUAL	STM	STORM SEWER
EST	ESTIMATE	SY	SQUARE YARD
E.W.	EACH WAY	STA	STATION
EXIST	EXISTING	STD	STANDARD
EXP	EXPANSION, EXPOSED	SYM	SYMMETRICAL
FFE	FINISHED FLOOR ELEVATION	T&B	TOP AND BOTTOM
FG	FINISHED GRADE	T&C	TOP OF BACK CURB
FL	FLOW LINE	TC	TOP OF CURB
FT	FOOT (FEET)	TF	TOP OF FOOTING
FIG	FOOTING	TH	THICK
GA	GAUGE	TOPO	TOPOGRAPHY
GEN	GENERAL	TW	TOP OF WALL
GR	GRADE ELEVATION	TYP	TYPICAL
HDPE	HIGH-DENSITY POLYURETHANE	VAR	VARIES
HORIZ	HORIZONTAL	VOL	VOLUME
HP	HIGH POINT	W/	WITH
HT	HEIGHT	W/O	WITHOUT
ID	INSIDE DIAMETER	WT	WEIGHT
INV	INVERT ELEVATION	WL	WATER LEVEL
IN	INCH(ES)	WWF	WELDED WIRE FABRIC
INCL	INCLUDE(D)	YD	YARD
JT	JOINT	@	AT
LF	LINEAR FEET		
LP	LOW POINT		
MAX	MAXIMUM		

SYMBOLS LEGEND



1 KEY PLAN

Scale: 1:50

LANDSCAPE REQUIREMENTS - Paragon Star North Village Final Development Plan CITY: LEE'S SUMMIT, MISSOURI

Code	Requirement	Location	Dimension	Required	Provided	Additional Notes
8.790.A.1 Street Frontage Trees	One (1) tree shall be planted for each 30lf of street frontage	Paragon Parkway	743 LF	25 Trees	27	Trees part of streetscape designs
8.790.A.2 Street Frontage Green Strip	Any parking or loading visible from a street shall be separated with a 20 ft wide landscape strip	East & West Ends of Paragon Parkway		20 FT	20 FT	
8.790.A.3 Street Frontage Shrubs	One (1) shrub shall be provided for each 20ft of street frontage	Paragon Parkway	743 LF	25 Shrubs	25	Provided as part of streetscape design
8.790.B.1 Open Yard Areas	Provide two (2) shrubs per 5,000 square feet of total lot area excluding building footprint area.	North Village Lot	120683 SF	48 Shrubs	48	236,554 SF of lot area 115,871 SF building footprint
8.790.B.2 Open Yard Areas	All portions of the site not covered with paving or buildings shall be landscaped.	North Village Lot	N/A			Refer to site landscape beds
8.790.B.3 Open Yard Areas	In addition to trees required based upon street frontage, provide one (1) tree for every 5,000 square feet of lot area not covered by buildings/structures.	North Village Lot	120683 SF	24 Trees	30	236,554 SF of lot area 115,871 SF building footprint
8.810.A Parking Lot Landscaping & Trees	Landscape islands, strips or other planting areas shall constitute 5% of the entire area devoted to parking spaces, aisles and driveways.	Northeast Parking Lot West Parking Lot	42346 SF 22310 SF	2117 SF 1116 SF	2538 SF 1368 SF	
8.810.B Parking Lot Landscaping & Trees	Landscape island shall be located at the end of every parking bay. The island shall be planted in trees, shrubs, grass, or ground cover.	Northeast and West Parking Lots	N/A			Refer to site landscape beds
8.810.C Parking Lot Landscaping & Trees	Tree planting areas shall be no less than ten feet in width. No tree shall be located less than four feet from the back of curb.	Northeast and West Parking Lots	N/A			Refer to site landscape beds



CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64693
www.land3studio.com
MO Certificate of Authority # 2008001860

LANDSCAPE ARCHITECTURE
Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 2019004088

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HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
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ARCHITECTURE
FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.498.1550
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KEY PLAN &
GENERAL
INFORMATION

JOB NO: 1249

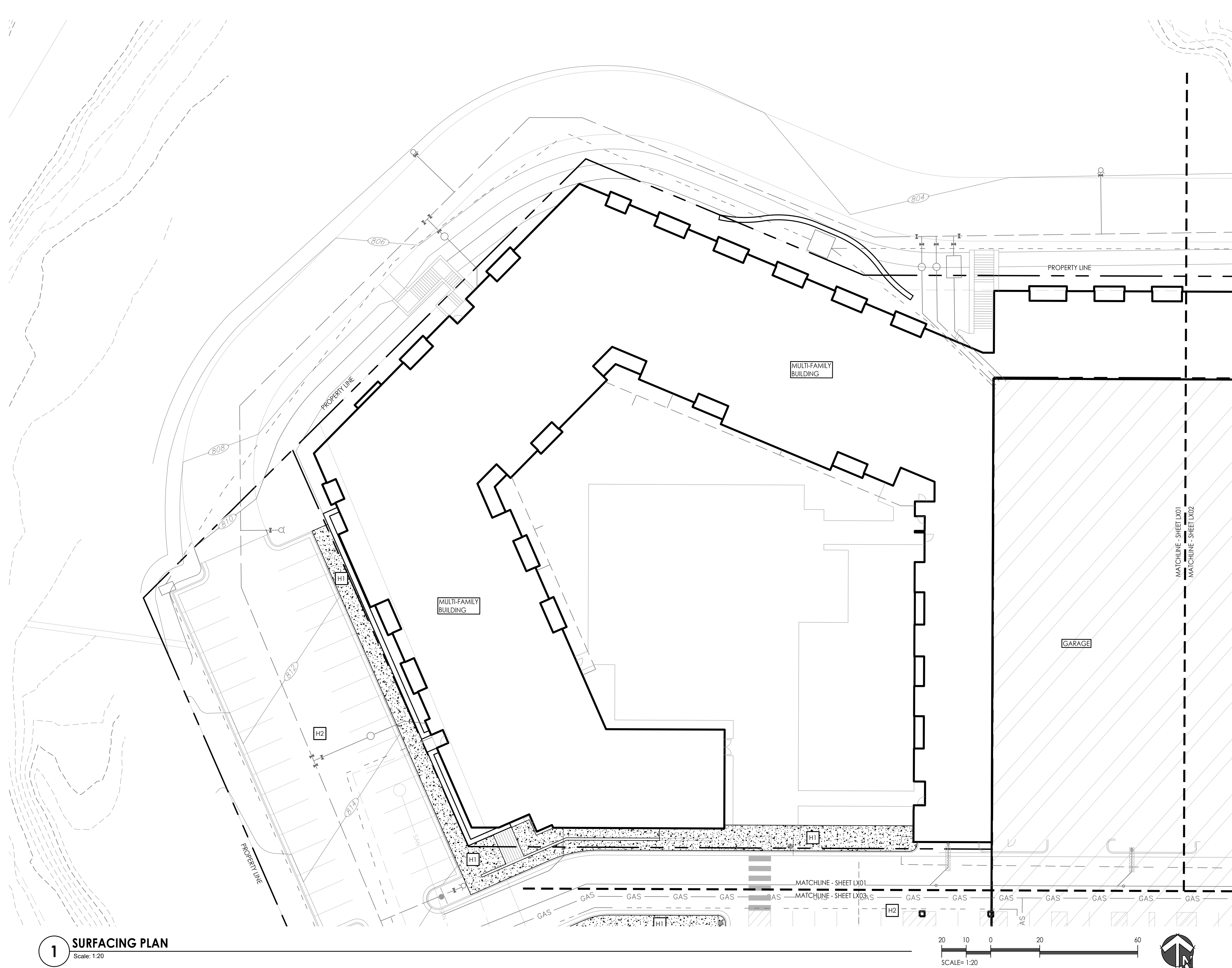
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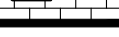
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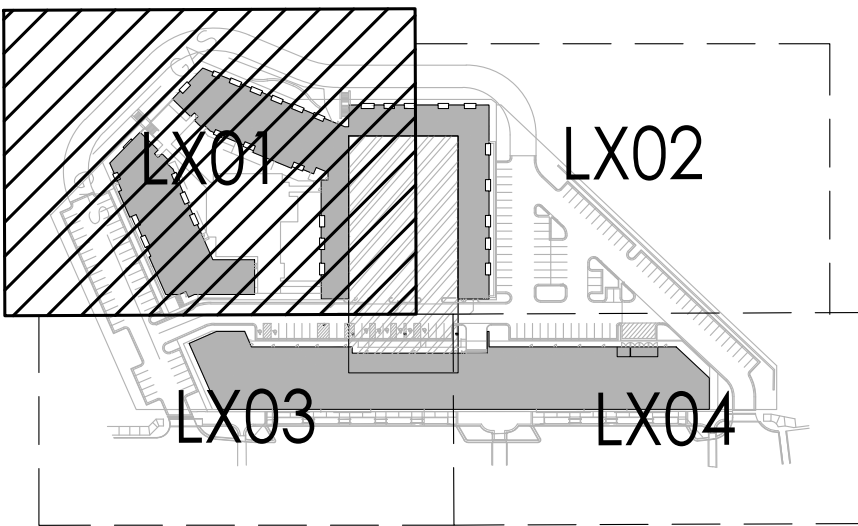
SURFACE FINISHES AND MATERIALS LEGEND

	<p>CONCRETE SIDEWALK AND PAVEMENT EDGE WITH MEDIUM BRUSH FINISH (REFER TO CIVIL DRAWINGS)</p>
	<p>ROAD AND PARKING LOT PAVING (RE: CIVIL DWGS)</p>
	<p>TYPE 1 - PRE-CAST CONCRETE PAVERS (RUNNING BOND PATTERN) (RE: 1/L1/20)</p>
	<p>TYPE 2 - PRE-CAST CONCRETE PAVERS (HERRINGBONE PATTERN) (RE: 1/L1/20)</p>
	<p>CONCRETE PLANTER CURB (RE: CIVIL DWGS)</p>

SURFACE FINISHES AND MATERIALS NOTES

3. THIS PLAN PROVIDES GENERAL LAYOUT AND TYPES OF HORIZONTAL SURFACE MATERIALS AND FINISHES TO BE PROVIDED BY THE CONTRACTOR. REFER TO THE FOLLOWING SPECIFICATION SECTIONS FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK:
- **SECTION 321316 - DECORATIVE FINISHES CONCRETE PAVING**
 - **SECTION 321400 - UNIT PAVING**
4. REFER TO CIVIL DRAWINGS FOR DIMENSIONS AND LAYOUT OF PAVING SURFACE LIMITS. DIMENSIONS ON THIS DRAWING ARE PROVIDED FOR GENERAL ARRANGEMENT AND EXTENTS OF THE FINISHES TO BE PROVIDED.

KEY PLAN



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9801 Renner Boulevard
Lenexa, KS 66219
913.472.0400
www.gbaonline.com
Missouri Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE
LANDS Studio, LLC
317 SE Main
Lee's Summit, MO 64083
www.landsstudio.com
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LANDSCAPE ARCHITECTURE
Hoerr Schaudt Landscape Architecture
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
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MEP ENGINEERING
HENNEXSON ENGINEERS, INC.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.h-ei-eng.com
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ARCHITECTURE
FINKE & WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.496.1350
www.FinkeWilliams.com
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PROJECT

Paragon Star North Village

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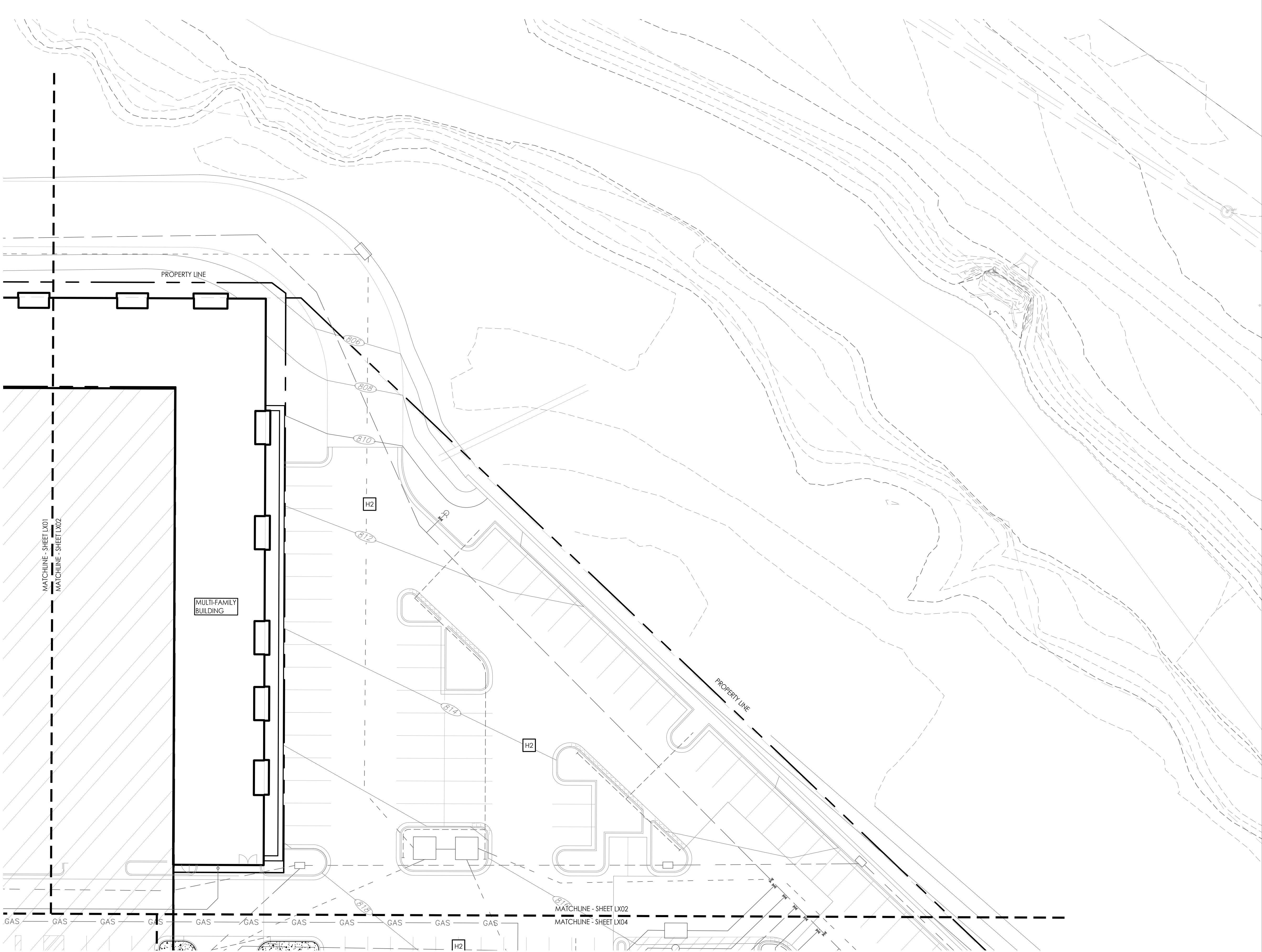
SURFACE FINISHES & MATERIALS PLAN

JOB NO: 1249 SCALE:
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO.

L101

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1 SURFACING PLAN
Scale: 1:20

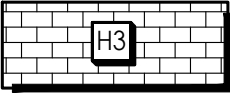
SURFACE FINISHES AND MATERIALS LEGEND



CONCRETE SIDEWALK AND PAVER EDGE w/
MEDIUM BRUSH FINISH
(REFER TO CIVIL DRAWINGS)



ROAD AND PARKING LOT PAVING
(RE: CIVIL DWGS)



TYPE 1 - PRECAST CONCRETE PAVERS
(RUNNING BOND PATTERN)
(RE: 1/L120)



TYPE 2 - PRECAST CONCRETE PAVERS
(HERRINGBONE PATTERN)
(RE: 1/L120)

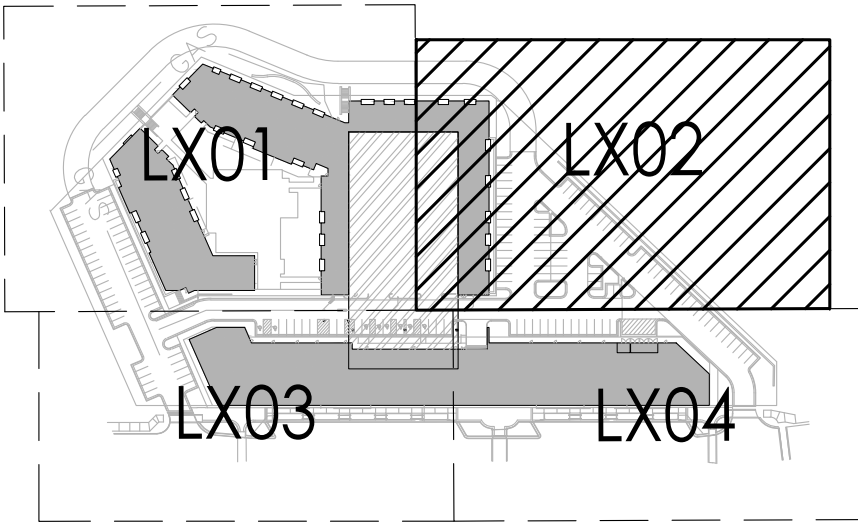


CONCRETE PLANTER CURB
(RE: CIVIL DWGS)

SURFACE FINISHES AND MATERIALS NOTES

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 - SECTION 321400 - UNIT PAVING**
 - SECTION 321316 - DECORATIVE FINISHES CONCRETE PAVING**
- REFER TO CIVIL DRAWINGS FOR DIMENSIONS AND LAYOUT OF PAVING SURFACE LIMITS. DIMENSIONS ON THIS DRAWING ARE PROVIDED FOR GENERAL ARRANGEMENT AND EXTENTS OF THE FINISHES TO BE PROVIDED.

KEY PLAN



CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133
LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64693
www.land3studio.com
MO Certificate of Authority # 2008001860
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Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
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MEP ENGINEERING
HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556
ARCHITECTURE
FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.498.1550
www.finklewilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

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**SURFACE
FINISHES &
MATERIALS
PLAN**

JOB NO: 1249

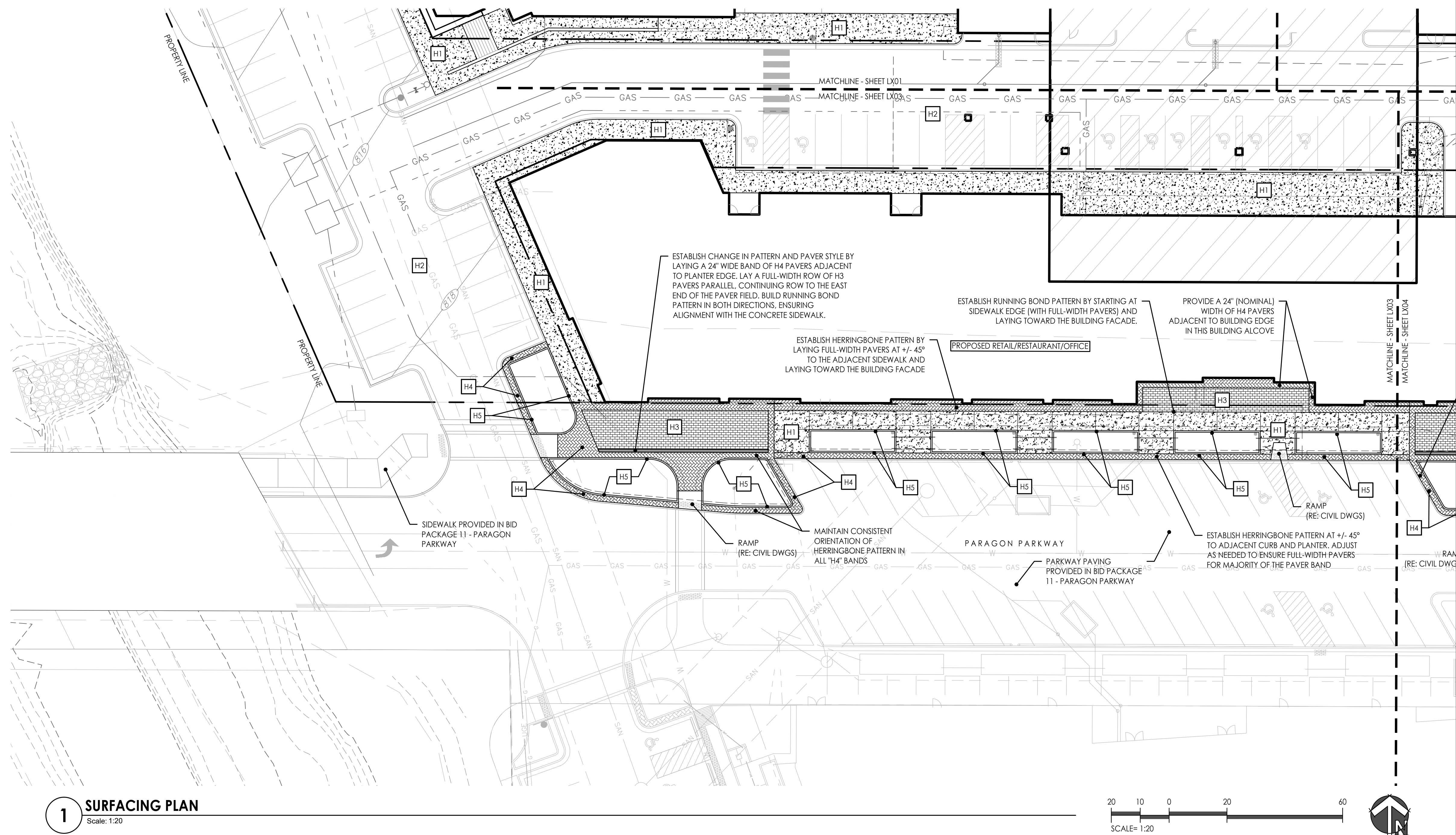
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DATE: 07.11.2022

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SHEET NO:

L102



SURFACE FINISHES AND MATERIALS LEGEND



CONCRETE SIDEWALK AND PAVER EDGE w/
MEDIUM BRUSH FINISH
(REFER TO CIVIL DRAWINGS)



ROAD AND PARKING LOT PAVING
(RE: CIVIL DWGS)



TYPE 1 - PRECAST CONCRETE PAVEMENT
(RUNNING BOND PATTERN)
(RE: 1/L120)



TYPE 2 - PRECAST CONCRETE PAVEMENT
(HERRINGBONE PATTERN)
(RE: 1/L120)

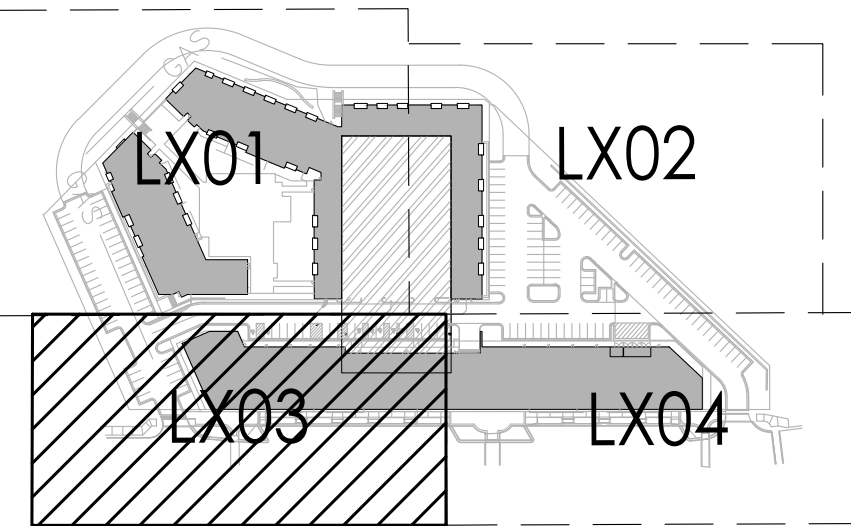


CONCRETE PLANTER CURE
(RE: CIVIL DWGS)

SURFACE FINISHES AND MATERIALS NOTES

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 - **SECTION 321316 - DECORATIVE FINISHES CONCRETE PAVING**
 - **SECTION 321400 - UNIT PAVING**
2. REFER TO CIVIL DRAWINGS FOR DIMENSIONS AND LAYOUT OF PAVING SURFACE LIMITS. DIMENSIONS ON THIS DRAWING ARE PROVIDED FOR GENERAL ARRANGEMENT AND EXTENTS OF THE FINISHES TO BE PROVIDED.

KEY PLAN



CIVIL ENGINEERING
GBA
9801 Renner Boulevard
Lenexia, KS 66219
317.492.0400
www.gbaleam.com
MO Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
317 SE Astin
Lees Summit, MO 64043
www.land3studio.com
MO Certificate of Authority # 2008001860

LANDSCAPE ARCHITECTURE
Hoer Schaud Landscape Architecture
1200 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaud.com
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MEP ENGINEERING
HENDERSON ENGINEERS, INC.
8245 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hei-eng.com
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ARCHITECTURE
FINKLE + WILLIAMS Architecture
6787 Renner Boulevard, Suite 100
Lenexia, KS 66219
317.498.1500
www.FinkleWilliams.com
Missouri Certificate of Authority #0005304

PROJECT

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Issued for GMP

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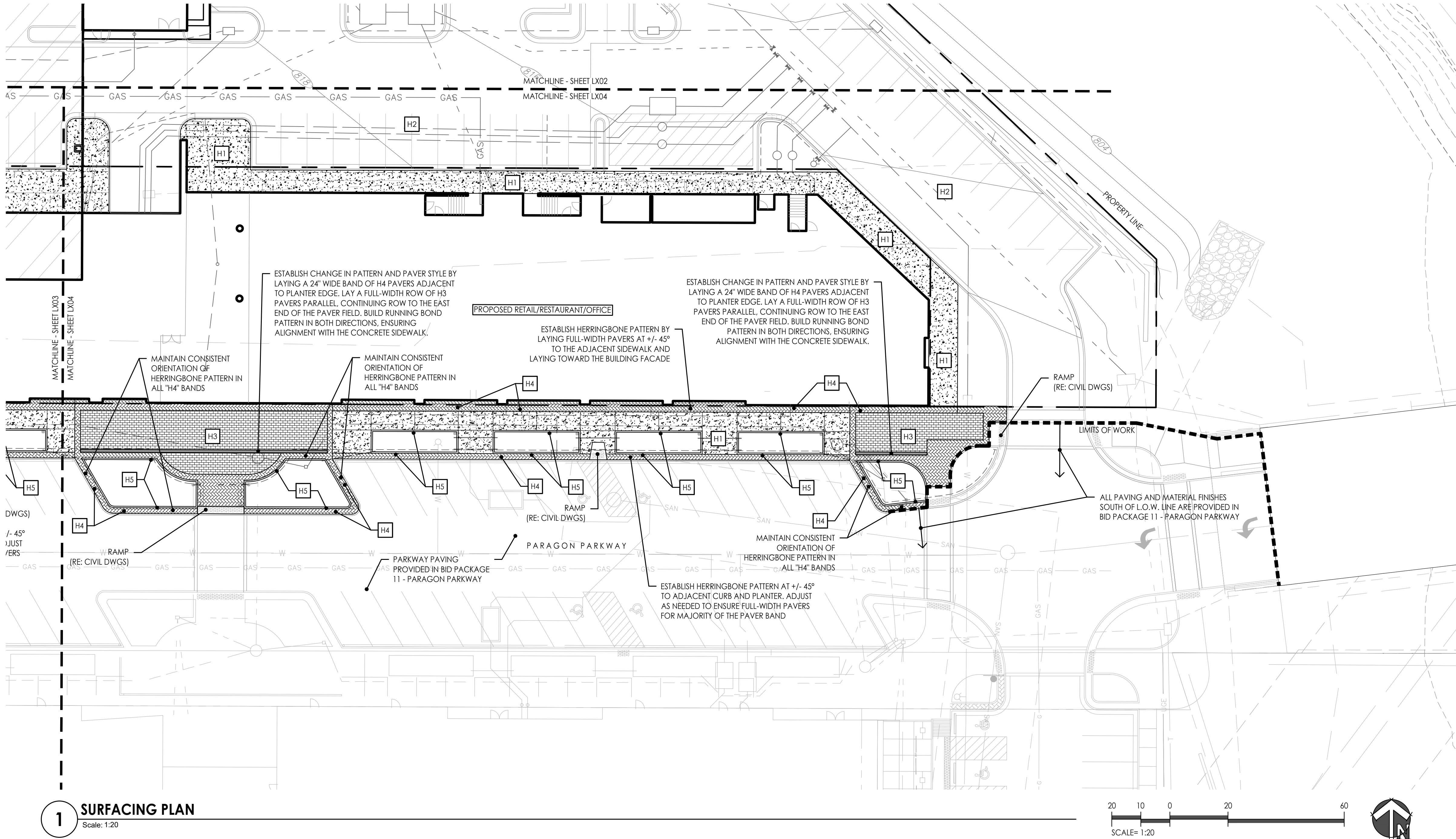
SURFACE FINISHES & MATERIALS PLAN

JOB NO: 1249 SCALE:
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO.

L103

G:\Active\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTI-FAMILY\L100 HARDSCAPE-MULTIFAM.dwg 7/11/2022 11:16:49 AM MICHAEL KILLEN 0.38491
ALL DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE INTELLECTUAL PROPERTY OF LAND3 STUDIO, LLC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THESE DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED, REPRODUCED, OR PUBLISHED BY ANY METHOD, IN WHOLE OR IN PART, OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION OF LAND3 STUDIO, LLC.



1 SURFACING PLAN
Scale: 1:20

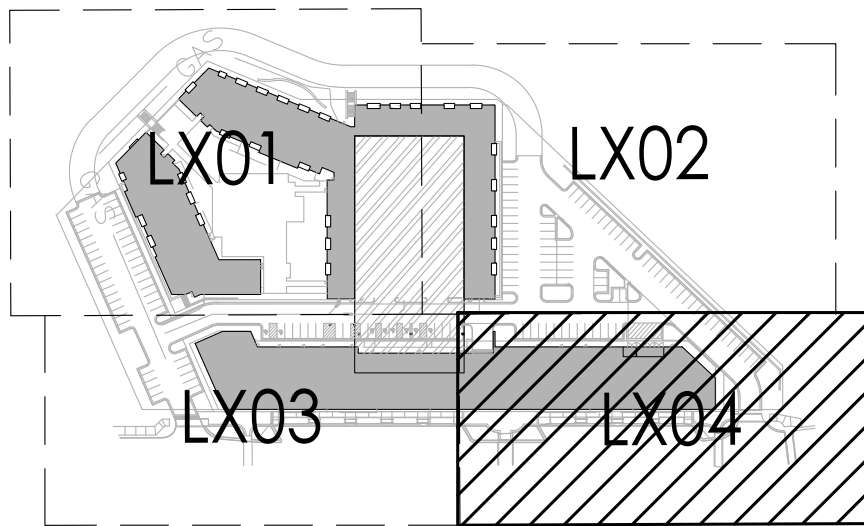
SURFACE FINISHES AND MATERIALS LEGEND

- | | |
|--|---|
| | CONCRETE SIDEWALK AND PAVER EDGE w/
MEDIUM BRUSH FINISH
(REFER TO CIVIL DRAWINGS) |
| | ROAD AND PARKING LOT PAVING
(RE: CIVIL DWGS) |
| | TYPE 1 - PRECAST CONCRETE PAVERS
(RUNNING BOND PATTERN)
(RE: 1/L120) |
| | TYPE 2 - PRECAST CONCRETE PAVERS
(HERRINGBONE PATTERN)
(RE: 1/L120) |
| | CONCRETE PLANTER CURB
(RE: CIVIL DWGS) |

SURFACE FINISHES AND MATERIALS NOTES

- THIS PLAN PROVIDES GENERAL LAYOUT AND TYPES OF HORIZONTAL SURFACE MATERIALS AND FINISHES TO BE PROVIDED BY THE CONTRACTOR. REFER TO THE FOLLOWING SPECIFICATION SECTIONS FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK:
 - SECTION 321316 - DECORATIVE FINISHES CONCRETE PAVING**
 - SECTION 321400 - UNIT PAVING**
- REFER TO CIVIL DRAWINGS FOR DIMENSIONS AND LAYOUT OF PAVING SURFACE LIMITS. DIMENSIONS ON THIS DRAWING ARE PROVIDED FOR GENERAL ARRANGEMENT AND EXTENTS OF THE FINISHES TO BE PROVIDED.

KEY PLAN



CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133
LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64693
www.land3studio.com
MO Certificate of Authority # 2008001860
LANDSCAPE ARCHITECTURE
Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority #201904088
MEP ENGINEERING
HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556
ARCHITECTURE
FINKLE + WILLIAMS Architecture
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Lenexa, KS 66219
913.498.1550
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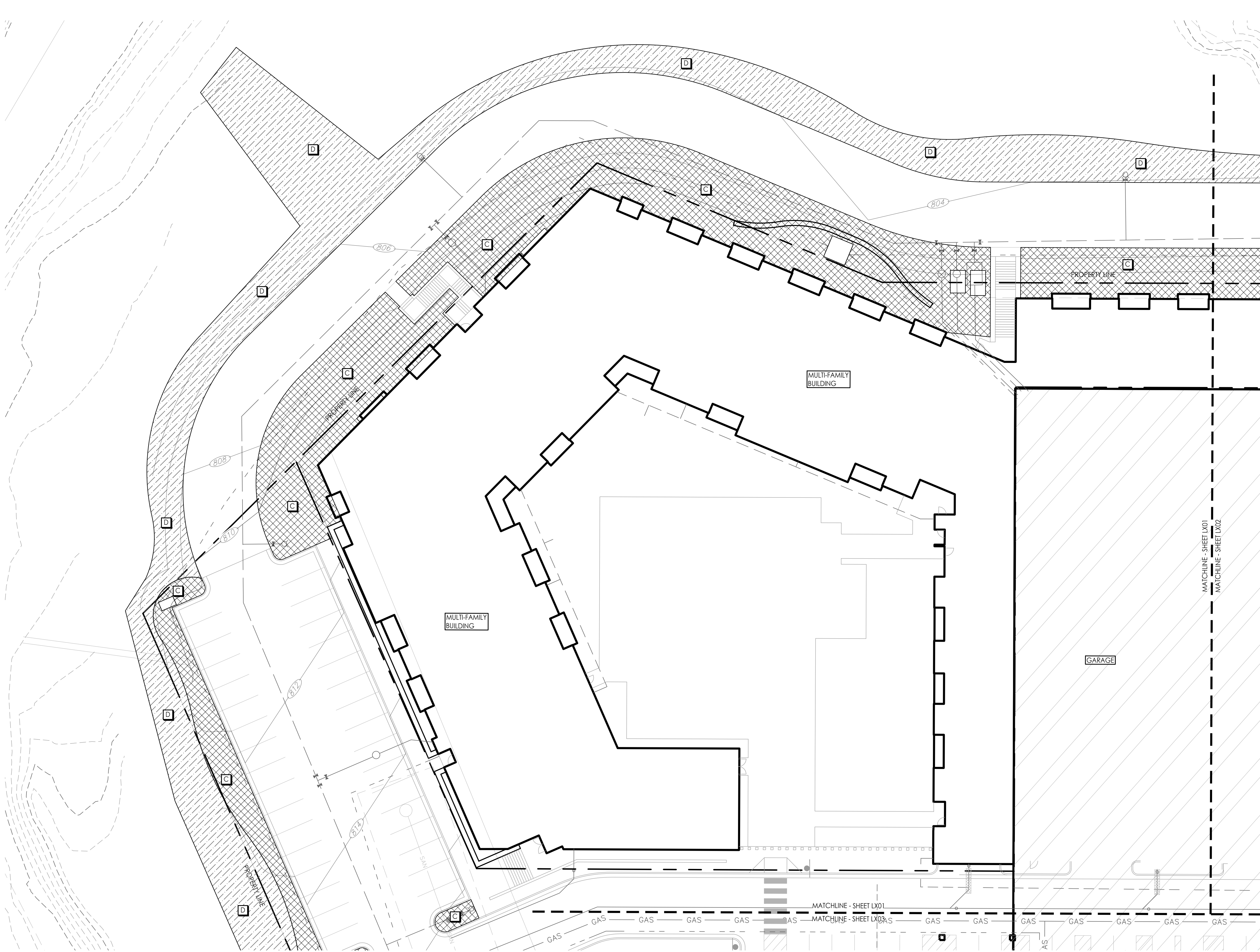
**SURFACE
FINISHES &
MATERIALS
PLAN**

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1 SOILS & SUBDRAINAGE PLAN
Scale: 1:20



SOILS LEGEND

SYMBOL	DESCRIPTION	NOTES
	SOIL TYPE A	PLANTING SOIL MIX (48" MIN. DEPTH) OVER DRAINAGE GRAVEL (6"-12" DEPTH) AND SUBDRAINAGE LINES CONNECTED TO STORM DRAIN SYSTEM. (RE: 3/L420; SECTION 329113)
	SOIL TYPE B	STRUCTURAL SOIL (48" MIN DEPTH) OVER DRAINAGE GRAVEL (6" MIN DEPTH) AND SUBDRAINAGE LINES CONNECTED TO STORM DRAIN SYSTEM. (RE: 2/L420; SECTION 329113)
	SOIL TYPE C	NATIVE TOPSOIL STRIPPED FROM SITE (12" MINIMUM)
	SOIL TYPE D	TOPSOIL STRIPPED FROM SITE: PLACED PER EARTHWORK SPEC.

SUBDRAINAGE LEGEND

	6" PLANTING BED PERFORATED HDPE PIPE (RE: 4/L420)
	6" PLANTING BED SOLID HDPE PIPE (RE: 4/L420)
	CLEANOUT (RE: 5 & 6/L420)

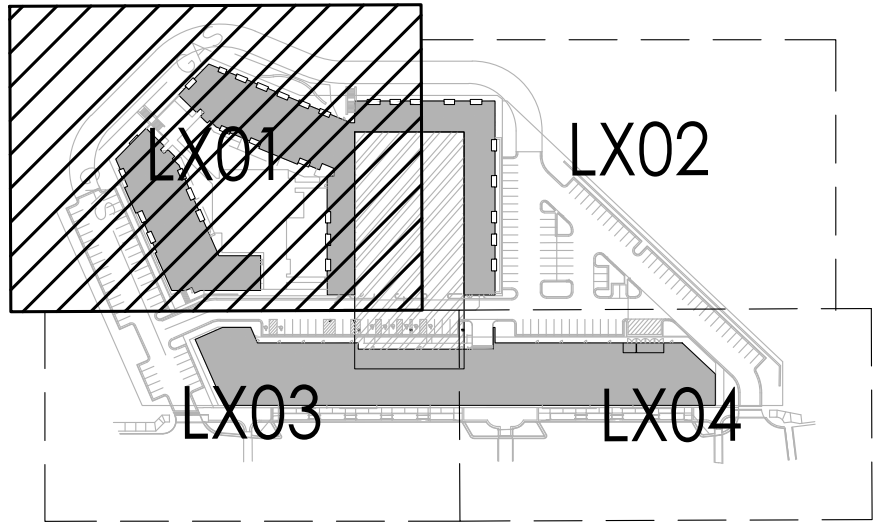
SOILS NOTES

- THIS PLAN ILLUSTRATES THE SCHEMATIC SCOPE OF WORK FOR THE CONSTRUCTION OF SOIL PROFILES FOR THE VILLAGE AT PARAGON STAR. REFER TO SPECIFICATION SECTION 329113 SOIL PREPARATION FOR SOIL TYPOLOGY AND PLACEMENT REQUIREMENTS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
- VERIFY ALL SITE CONDITIONS AND DIMENSIONS SHOWN ON THE PLAN PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS ENCOUNTERED DURING CONSTRUCTION.

SUBDRAINAGE NOTES

- THIS PLAN PROVIDES LAYOUT AND TYPES OF ALL LANDSCAPE SUBDRAINAGE TO BE PROVIDED & INSTALLED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 334610 - LANDSCAPE SUBDRAINAGE** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK.
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- CONTRACTOR TO PROTECT DRAIN LINES DURING CONSTRUCTION FROM DEBRIS (INCLUDING SOIL OR GRAVEL MATERIAL OR OTHER TRASH) FROM ENTERING OR BLOCKING LINES.
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- CONTRACTOR TO COORDINATE DRAINAGE LINES WITH ALL UNDERGROUND UTILITIES.

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CIVIL ENGINEERING
G&A
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Lenexa, KS 66219
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MO Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE
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317 SE Main
Lee's Summit, MO 64693
www.land3studio.com
MO Certificate of Authority # 2008001860

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913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556

ARCHITECTURE
FINKLE + WILLIAMS Architecture
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Lenexa, KS 66219
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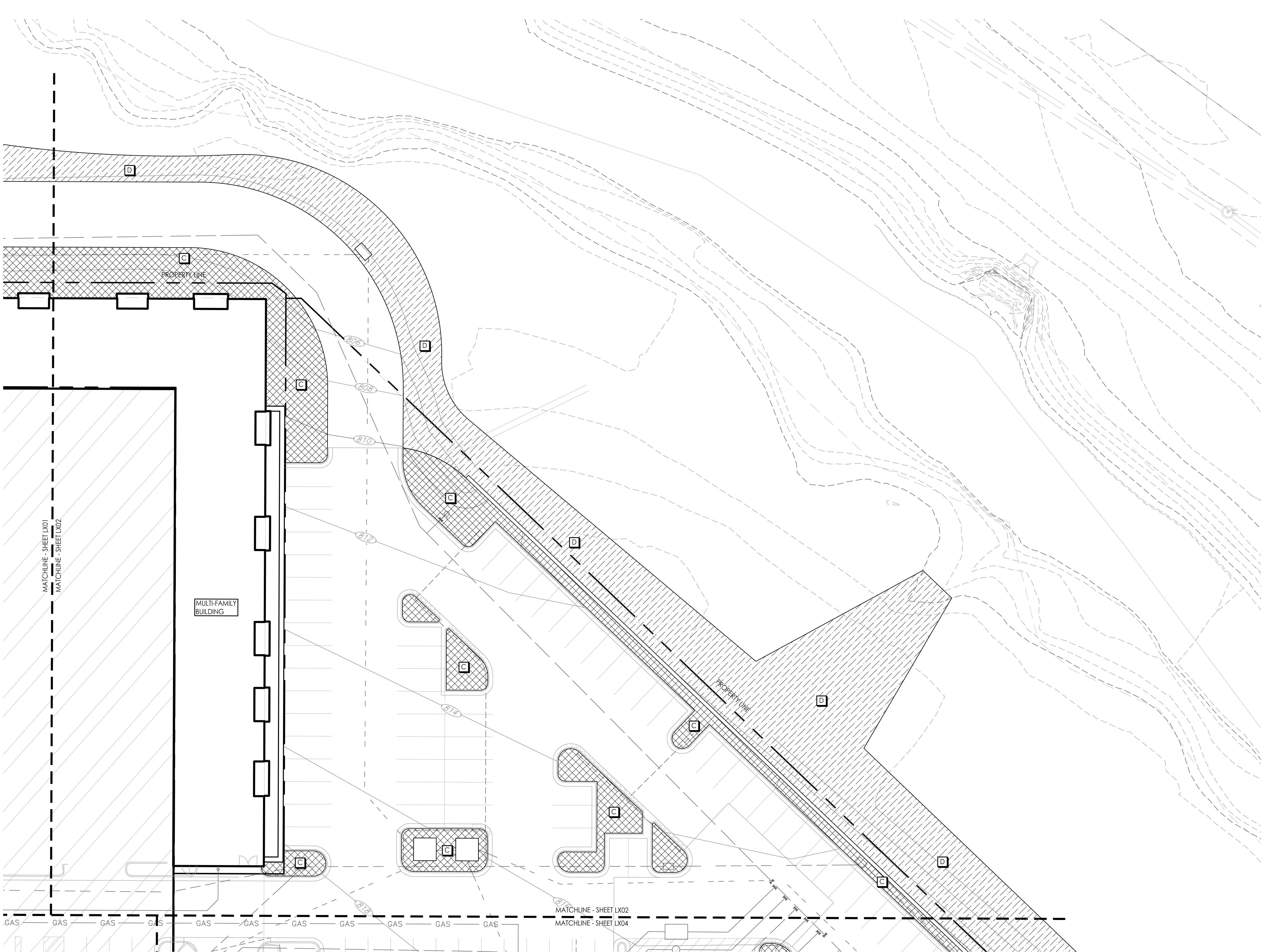
**SOILS &
SUBDRAINAGE
PLAN**

JOB NO: 1249 SCALE:
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

L401

G:\archive\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTIFAMILY\L400 SOILS-SUBDRAIN\MULTIFAM.dwg 7/11/2022 11:17:16 AM MICHAEL KILLEN 0.38491
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1 SOILS & SUBDRAINAGE PLAN
Scale: 1:20

SOILS LEGEND

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	CLEANOUT (RE: 5 & 6/L420)

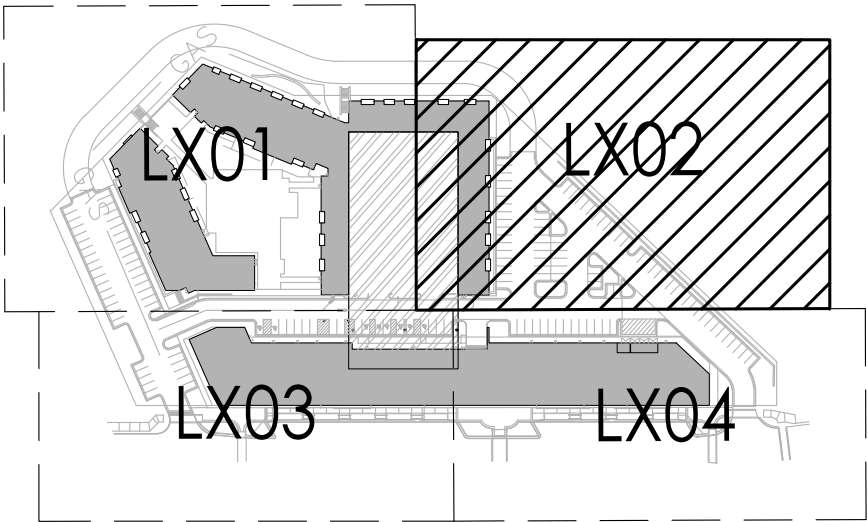
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CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64693
www.land3studio.com
MO Certificate of Authority # 2008001860

LANDSCAPE ARCHITECTURE
Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority #2019004088

MEP ENGINEERING
HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
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ARCHITECTURE
FINKLE + WILLIAMS Architecture
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Lenexa, KS 66219
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**SOILS &
SUBDRAINAGE
PLAN**

JOB NO: 1249

SCALE:

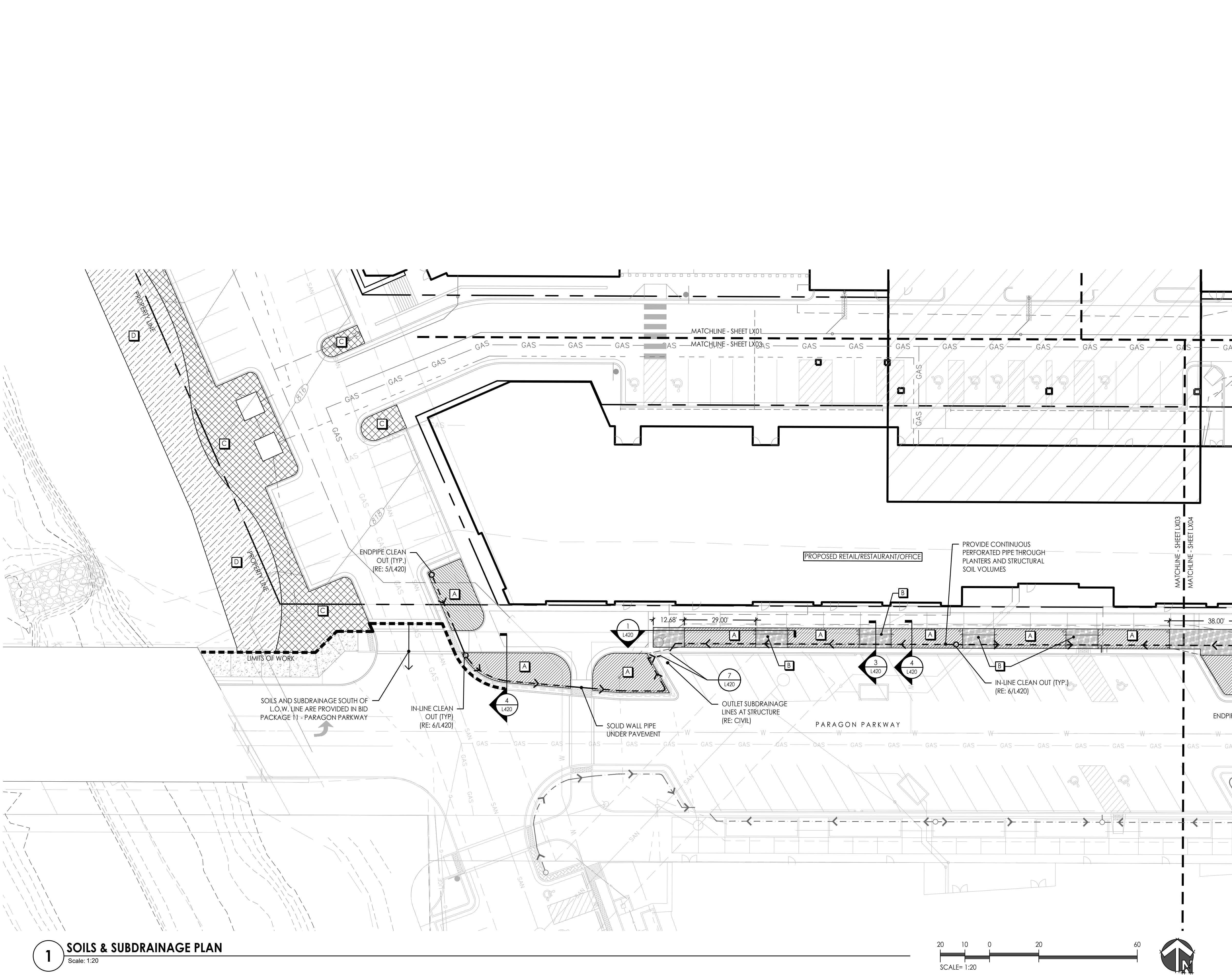
DATE: 07.11.2022

DRAWN BY: MRK

SHEET NO:

L402

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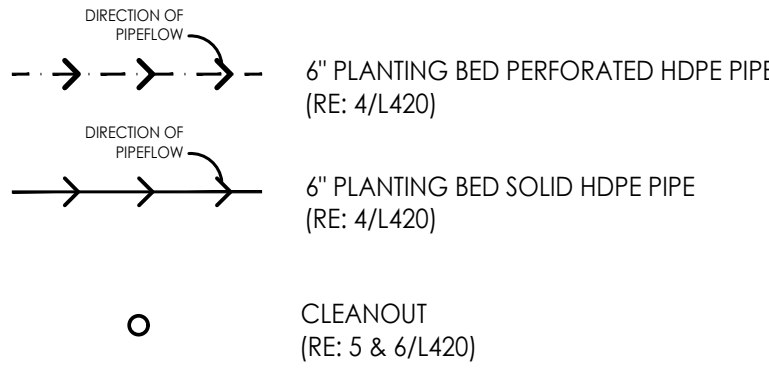
1 SOILS & SUBDRAINAGE PLAN
Scale: 1:20



SOILS LEGEND

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SUBDRAINAGE LEGEND



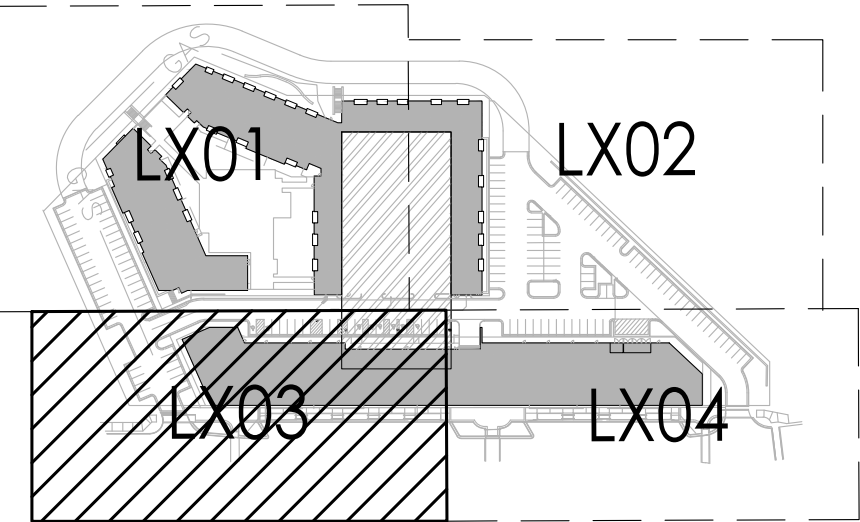
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CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
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LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64693
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Kansas City, MO 64108
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MO Certificate of Authority #2019040388

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Lenexa, KS 66214
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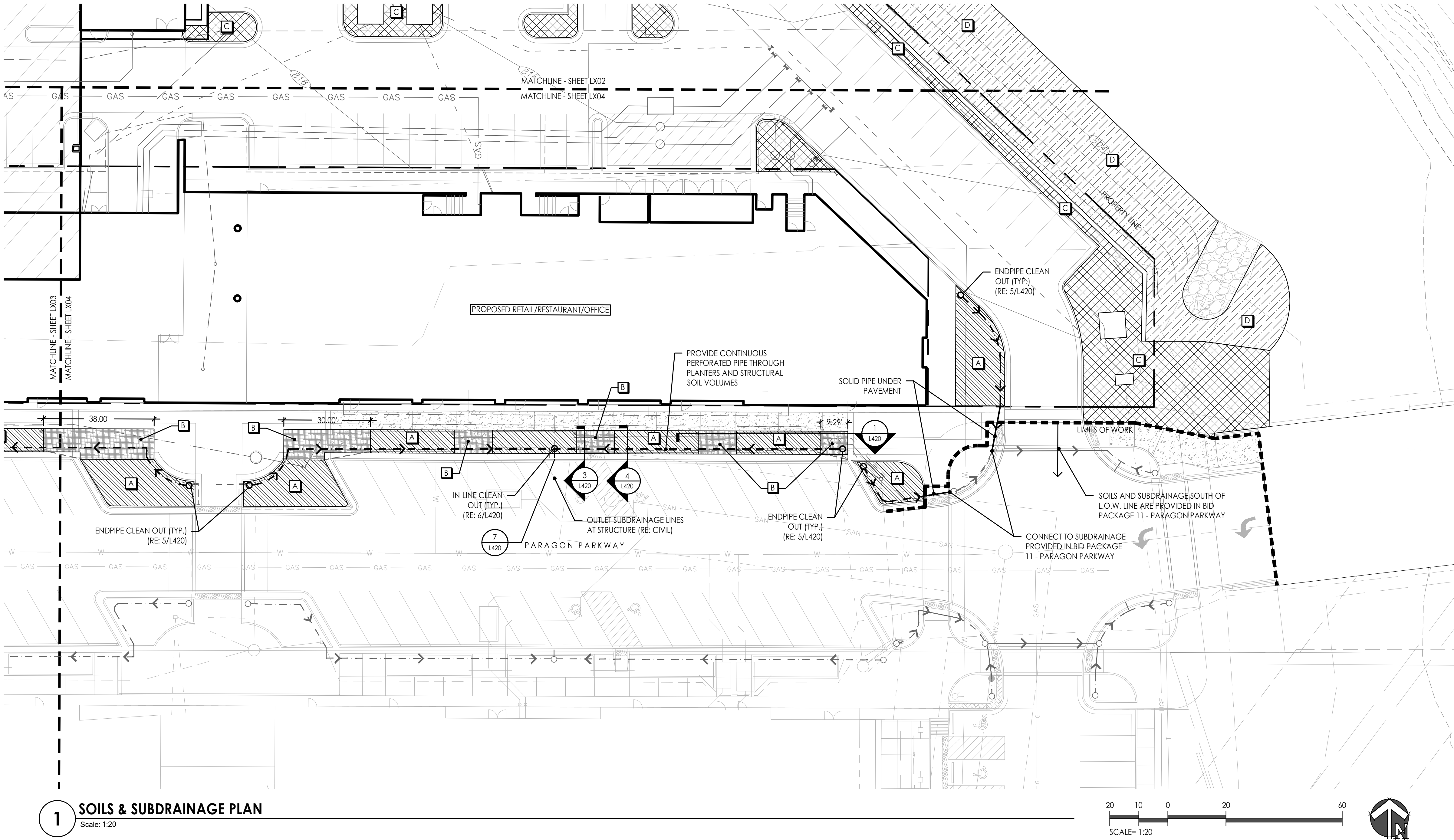
**SOILS &
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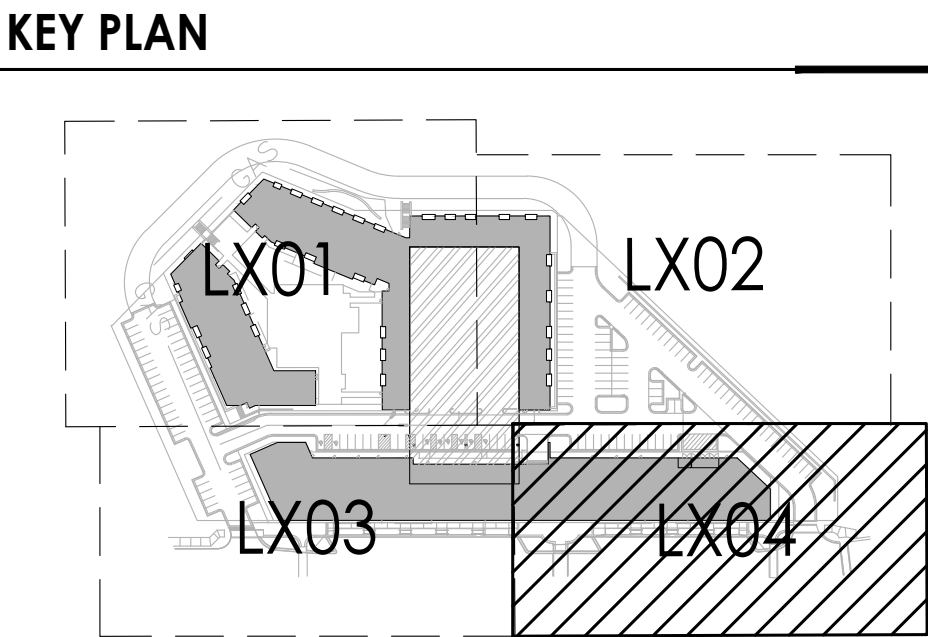


SOILS LEGEND		
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	6" PLANTING BED PERFORATED HDPE PIPE (RE: 4/L420)
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HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556

ARCHITECTURE
FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.498.1550
www.finklewilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Issued for GMP

ISSUE:

PROFESSIONAL SEAL:

NOT FOR
CONSTRUCTION

DRAWING TITLE:

SOILS &
SUBDRAINAGE
PLAN

JOB NO: 1249 SCALE:
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

L404



PROJECT:

Issued for GMP

ISSUE:

PROFESSIONAL SEAL:

NOT FOR
CONSTRUCTION

DRAWING TITLE:

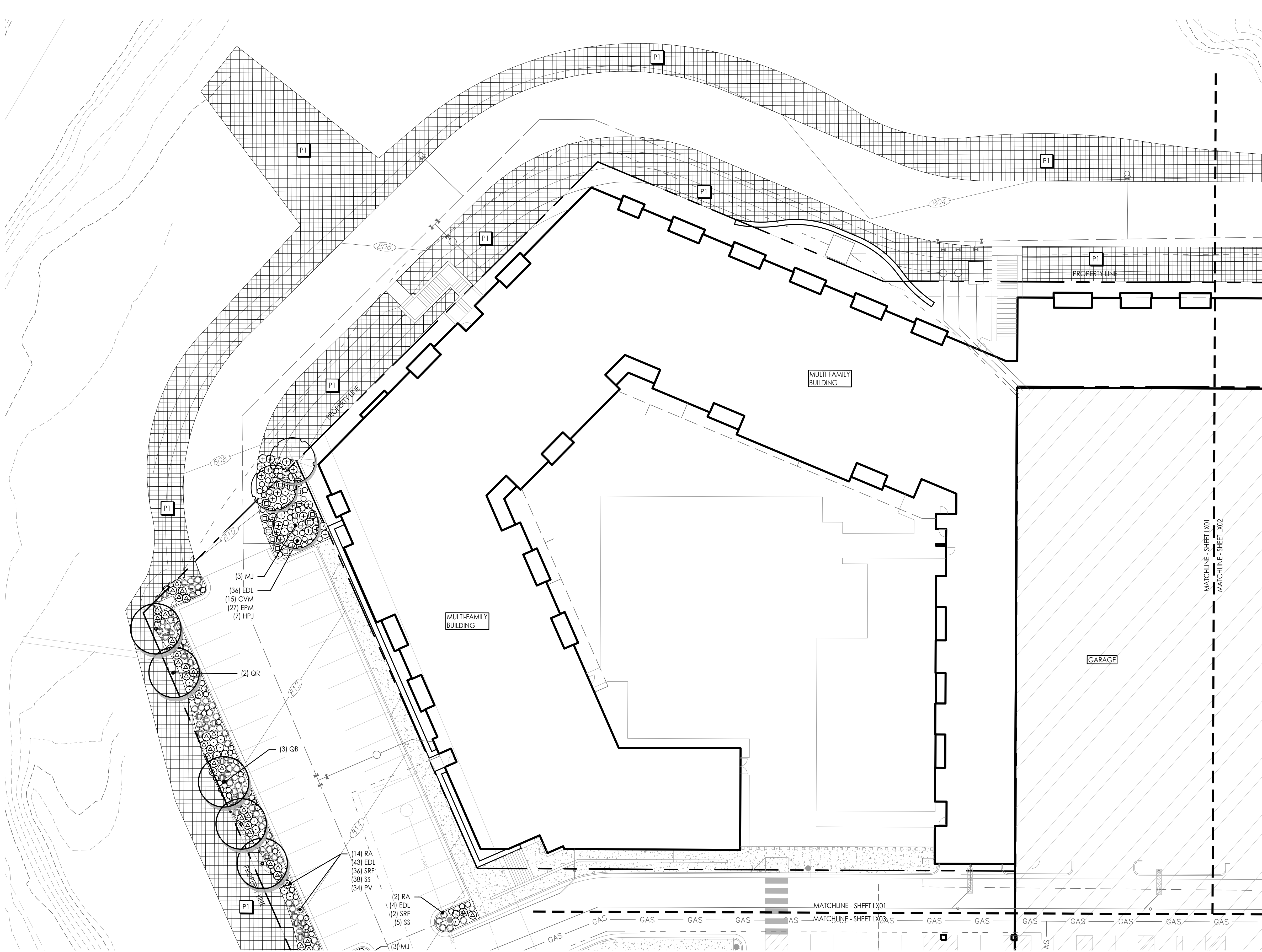
SOILS & SUBDRAINAGE DETAILS

JOB NO: 1249 SCALE:
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO.

L420

G:\Archive\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTI-FAMILY\L501 PLANTING-MULTIFAM.dwg 7/11/2022 11:17:50 AM
O.386921
MICHAEL KILLEN
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1 PLANTING PLAN

Scale: 1:20



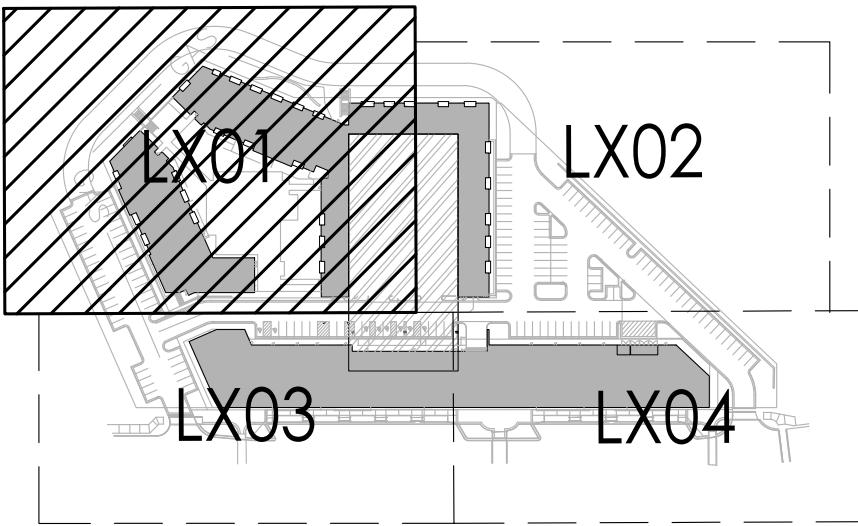
PLANTING SCHEDULE

SYMBOL	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
	SHADE/STREET TREES		
	AF	Autumn Blaze Maple <i>Acer freemanii</i> 'Autumn Blaze'	3' cal.
	QR	Northern Red Oak <i>Quercus rubra</i>	2.5" cal.
	GT	Sunburst Honeylocust <i>Gleditsia triacanthos inermis</i> 'Sunburst'	3' cal.
	QB	Swamp White Oak <i>Quercus bicolor</i>	2.5" cal.
	GB	Maidenhair Tree <i>Ginkgo biloba</i> 'Fastigiata'	2.5" cal.
	ORNAMENTAL TREE		
	CC	Eastern Redbud <i>Cercis canadensis</i>	3' cal.
	MJ	Magnolia <i>Magnolia x 'Jane'</i>	3' cal.
	MA	Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3' cal.
	AG	Autumn Brilliance Serviceberry <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	3' cal.
	DECIDUOUS SHRUB		
	RA	Grow-low Sumac <i>Rhus aromatica</i> 'Gro-low'	3 gal.
	HPJ	Little Lime® Hydrangea <i>Hydrangea paniculata</i> 'Jane'	5 gal.
ORNAMENTAL GRASS			
	BC	Side Oats Grama Grass <i>Bouteloua curtipendula</i>	3 gal.
	PV	Shennadoah Switchgrass <i>Panicum virgatum</i> 'Shennadoah'	1 gal.
	PAH	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hameln'	1 gal.
	SSC	Standing Ovation Little Bluestem <i>Schizachyrium scoparium</i> 'Standing Ovation'	1 gal.
	SS	Little Bluestem <i>Schizachyrium scoparium</i>	1 gal.
	SH	Prairie Dropseed <i>Sporobolus heterolepis</i>	1 gal.
PERENNIAL/GROUND COVER			
	SRF	Rough Goldenrod <i>Solidago rugosa</i> 'Fireworks'	1 gal.
	CVM	Moonbeam Coreopsis <i>Coreopsis verticillata</i> 'Moonbeam'	1 gal.
	EPM	Purple Coneflower <i>Echinacea purpurea</i> 'Magnus'	1 gal.
	PA	Russian Sage <i>Perovskia atriplicifolia</i>	3 gal.
	EDL	Joe-pye Weed <i>Eupatorium dubium</i> 'Little-Joe'	1 gal.
TURF/SEED MIXES			
	Native Prairie Seed Mix Butterfly Milkweed- Asclepias tuberosa (5%) Blue Wild Indigo- Baptisia australis (5%) New Jersey Tea- Ceanothus americanus (5%) Amethyst Vernal Witchhazel (10%) Switchgrass- Panicum virgatum (13%) Little Bluestem- Schizachyrium scoparium (30%) Indiangrass- Sorghastrum nutans (20%) Fall Aster - Symphoricarpos oblongifolium (10%)		

PLANTING NOTES

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KEY PLAN



CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE
LANDS Studio, LLC
317 SE Main
Lee's Summit, MO 64693
www.landsstudio.com
MO Certificate of Authority # 2008001860

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Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
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Missouri Certificate of Authority # F004S3304

PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

PROFESSIONAL SEAL:

DRAWING TITLE:

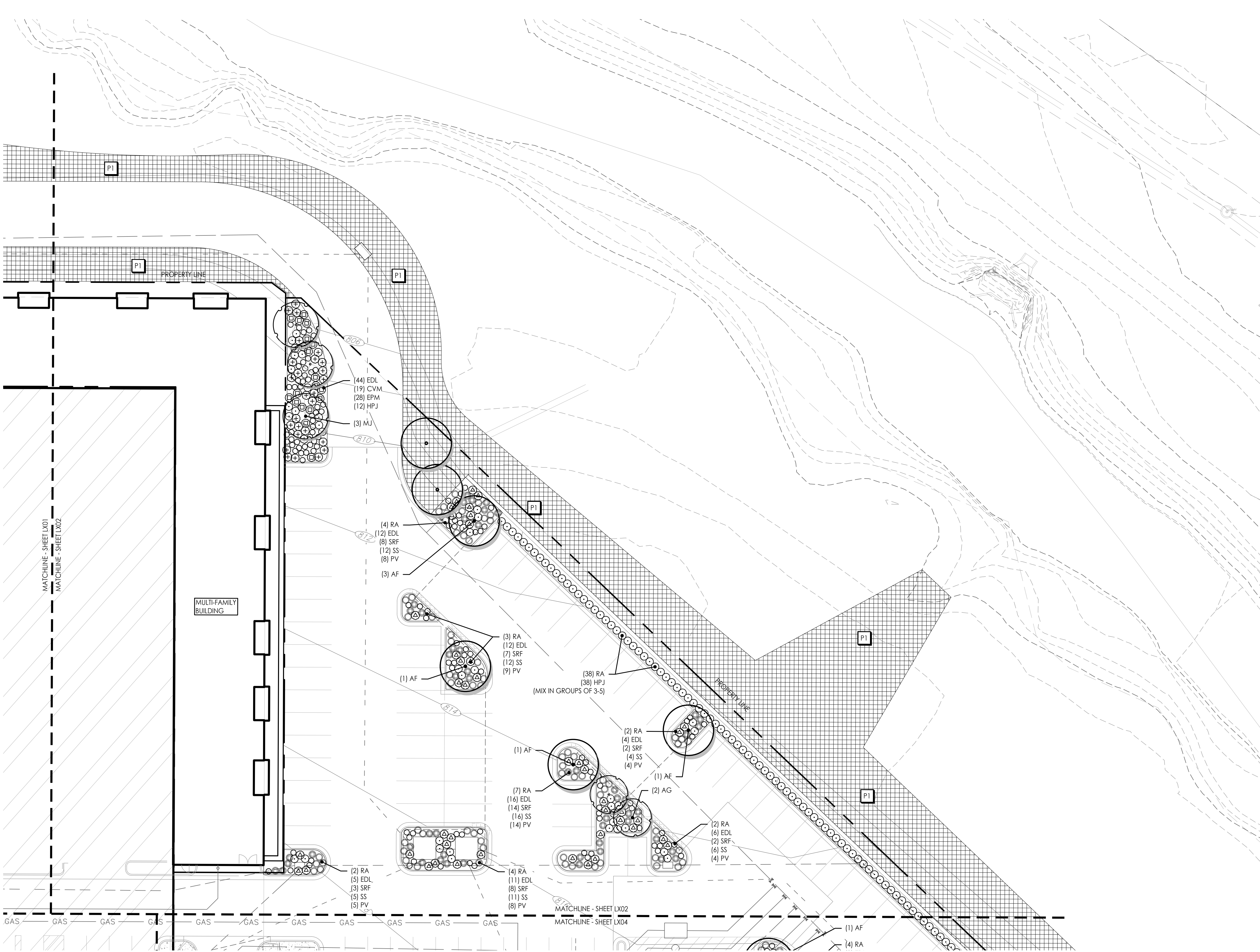
PLANTING
PLAN

JOB NO: 1249 SCALE:
DATE: 01.28.2022 DRAWN BY: MRK

SHEET NO:

L501

G:\Archive\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTI-FAMILY\LX01 PLANTING-MULTIFAM.dwg 7/11/2022 11:17:55 AM
MICHAEL KILLEN
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1 PLANTING PLAN
Scale: 1:20

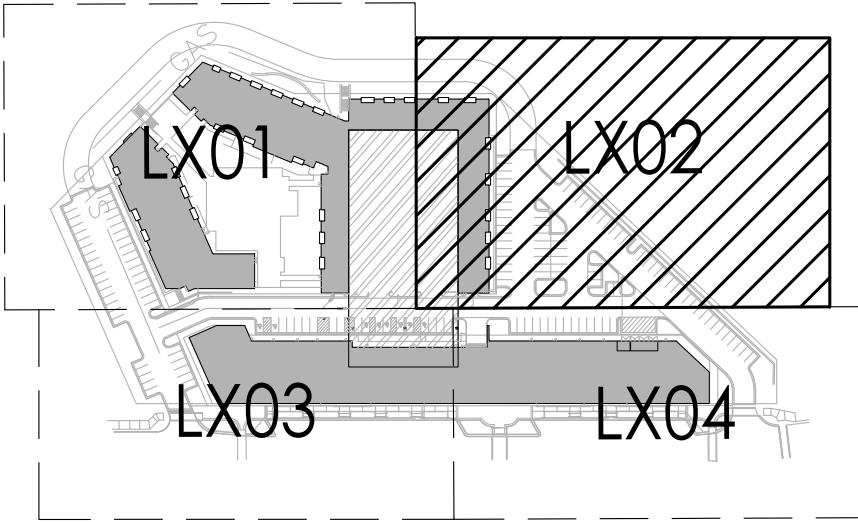
PLANTING SCHEDULE

SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
●	SHADE/STREET TREES		
	AF	Autumn Blaze Maple <i>Acer freemanii</i> 'Autumn Blaze'	3' cal.
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	GT	Sunburst Honeylocust <i>Gleditsia triacanthos inermis</i> 'Sunburst'	3' cal.
	QB	Swamp White Oak <i>Quercus bicolor</i>	2.5" cal.
	GB	Maidenhair Tree <i>Ginkgo biloba</i> 'Fastigiata'	2.5" cal.
●	ORNAMENTAL TREE		
	CC	Eastern Redbud <i>Cercis canadensis</i>	3' cal.
	MJ	Magnolia <i>Magnolia x 'Jane'</i>	3' cal.
	MA	Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3' cal.
	AG	Autumn Brilliance Serviceberry <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	3' cal.
●	DECIDUOUS SHRUB		
	RA	Grow-low Sumac <i>Rhus aromatica</i> 'Gra-low'	3 gal.
	HPJ	Little Lime® Hydrangea <i>Hydrangea paniculata</i> 'Jane'	5 gal.
ORNAMENTAL GRASS			
△	BC	Side Oats Grama Grass <i>Bouteloua curtipendula</i>	3 gal.
⊙	PV	Shennadoah Switchgrass <i>Panicum virgatum</i> 'Shennadoah'	1 gal.
⊕	PAH	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hameln'	1 gal.
⊙	SSC	Standing Ovation Little Bluestem <i>Schizachyrium scoparium</i> 'Standing Ovation'	1 gal.
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PERENNIAL/GROUND COVER			
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⊙	EDL	Joe-pye Weed <i>Eupatorium dubium</i> 'Little-Joe'	1 gal.
TURF/SEED MIXES			
P1	Native Prairie Seed Mix Butterfly Milkweed- <i>Asclepias tuberosa</i> (5%) Blue Wild Indigo- <i>Baptisia australis</i> (5%) New Jersey Tea- <i>Ceanothus americanus</i> (5%) Amethyst Vernal Witchhazel (10%) Switchgrass- <i>Panicum virgatum</i> (13%) Little Bluestem- <i>Schizachyrium scoparium</i> (30%) Indiangrass- <i>Sorghastrum nutans</i> (20%) Fall Aster - <i>Symphytrichum oblongifolium</i> (10%)		

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KEY PLAN



CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
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LANDS Studio, LLC
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Lee's Summit, MO 64693
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Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
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HENDERSON ENGINEERS, Inc.
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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

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DRAWING TITLE:

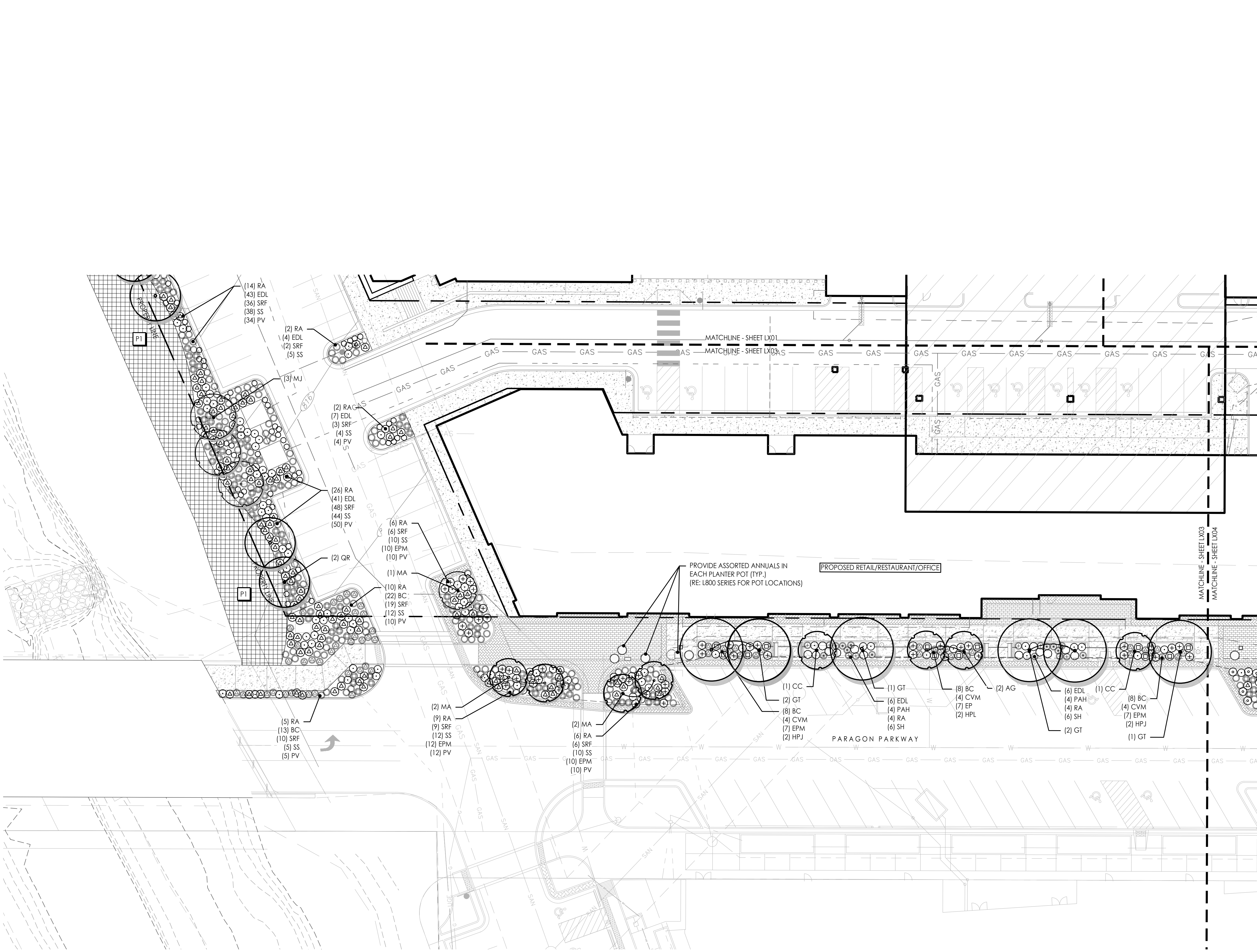
PLANTING
PLAN

JOB NO: 1249 SCALE:
DATE: 01.28.2022 DRAWN BY: MRK

SHEET NO:

L502

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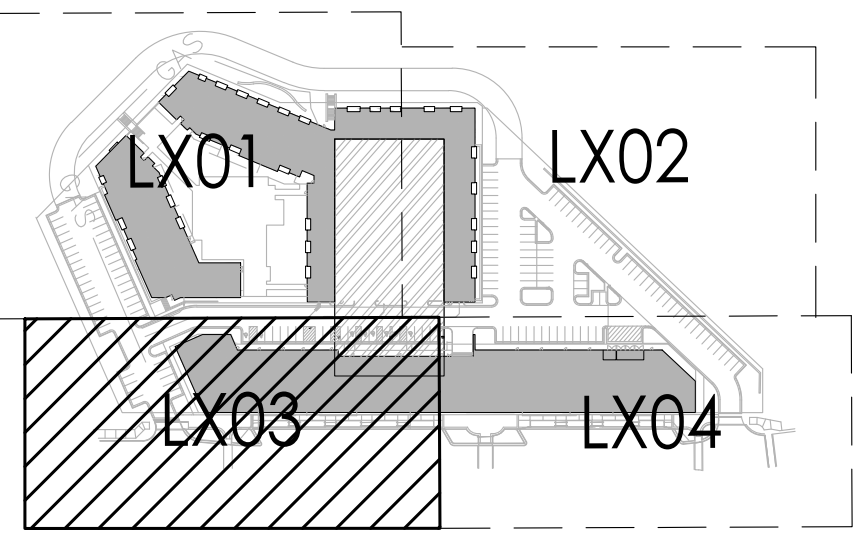
PLANTING SCHEDULE

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	RA	Grow-low Sumac <i>Rhus aromatica</i> 'Gro-low'	3 gal.
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⊙	BC	Side Oats Grama Grass <i>Bouteloua curtipendula</i>	3 gal.
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317 SE Main
Lee's Summit, MO 64693
www.land3studio.com
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Final Development Plan

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PLANTING
PLAN

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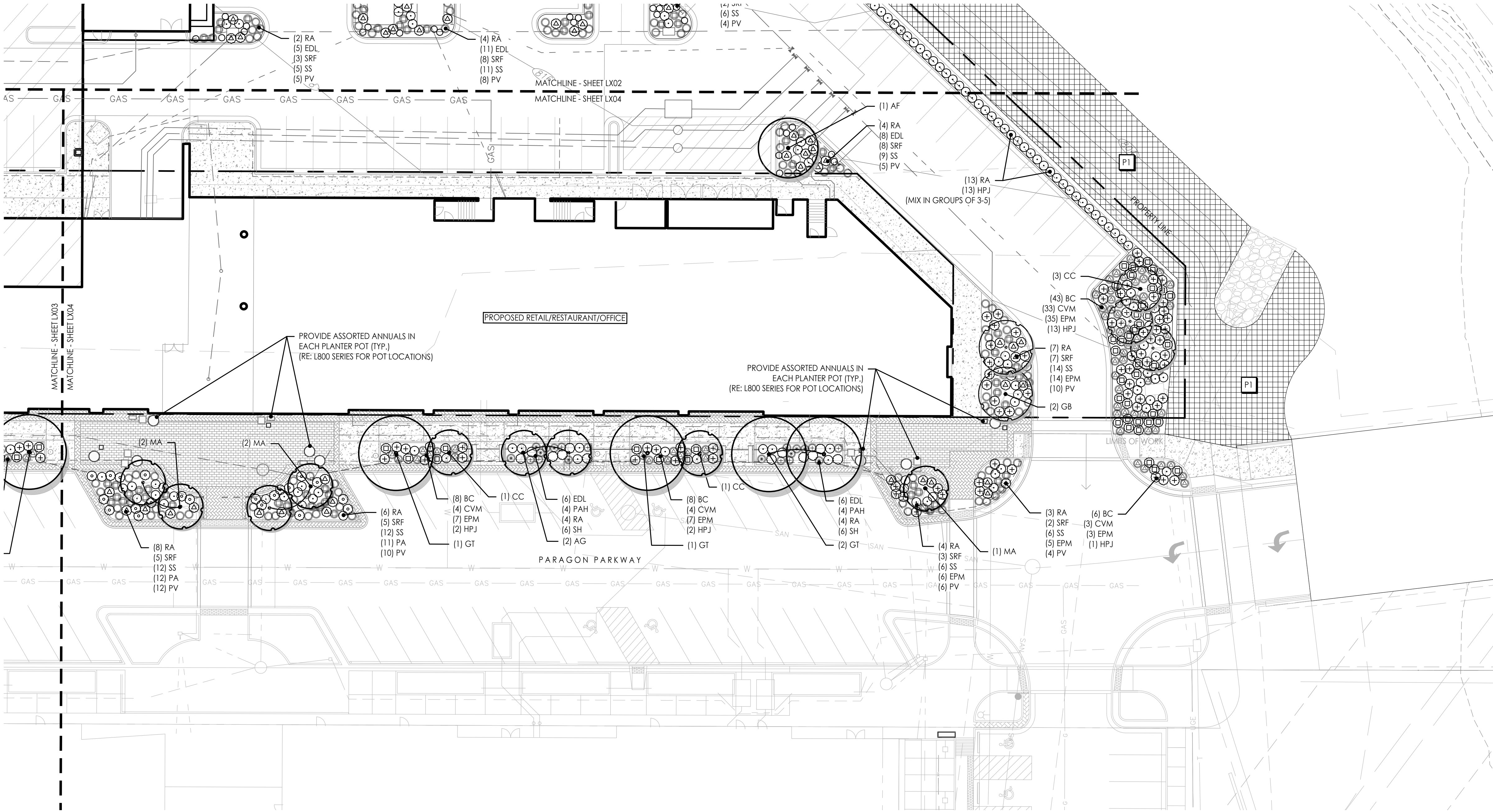
SHEET NO:

L503

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0.386/21

MICHAEL KILLEN



1 PLANTING PLAN
Scale: 1:20

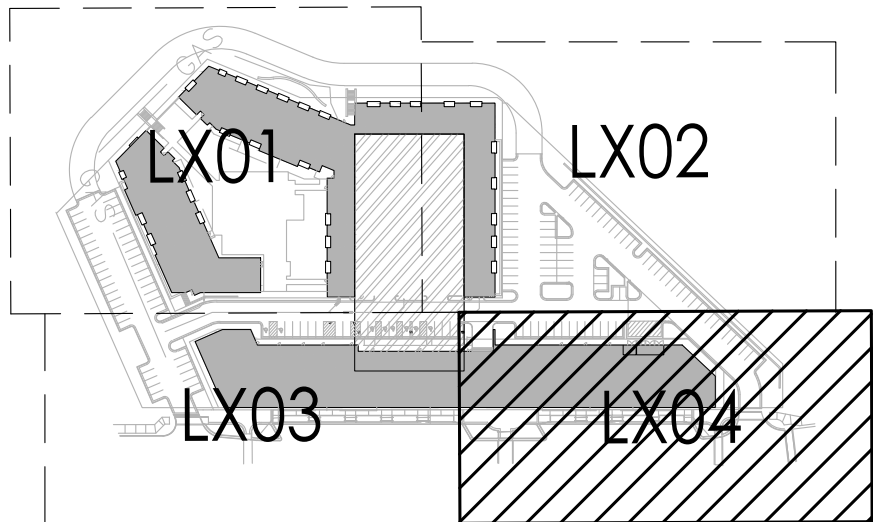
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+	PAH	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hameln'	1 gal.
⊙	SSC	Standing Ovation Little Bluestem <i>Schizachyrium scoparium</i> 'Standing Ovation'	1 gal.
○	SS	Little Bluestem <i>Schizachyrium scoparium</i>	1 gal.
⊛	SH	Prairie Dropseed <i>Sporobolus heterolepis</i>	1 gal.
PERENNIAL/GROUND COVER			
△	SRF	Rough Goldenrod <i>Solidago rugosa</i> 'Fireworks'	1 gal.
□	CVM	Moonbeam Coreopsis <i>Coreopsis verticillata</i> 'Moonbeam'	1 gal.
+	EPM	Purple Coneflower <i>Echinacea purpurea</i> 'Magnus'	1 gal.
⊙	PA	Russian Sage <i>Perovskia atriplicifolia</i>	3 gal.
○	EDL	Joe-pye Weed <i>Eupatorium dubium</i> 'Little-Joe'	1 gal.
TURF/SEED MIXES			
■	Native Prairie Seed Mix Butterfly Milkweed- <i>Asclepias tuberosa</i> (5%) Blue Wild Indigo- <i>Baptisia australis</i> (5%) New Jersey Tea- <i>Ceanothus americanus</i> (5%) Aurea Yellow Vernal Witchhazel (10%) Switchgrass- <i>Panicum virgatum</i> (13%) Little Bluestem- <i>Schizachyrium scoparium</i> (30%) Indiangrass- <i>Sorghastrum nutans</i> (20%) Fall Aster - <i>Symphyotrichum oblongifolium</i> (10%)		

PLANTING NOTES

- THIS PLAN PROVIDES LAYOUT, QUANTITY & SIZES OF ALL PLANT MATERIAL TO BE INSTALLED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 329300 - PLANTS** AND **SECTION 329200 - TURF AND GRASSES** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS & EXECUTION OF WORK.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
- LOCATIONS OF ALL PLANT MATERIALS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SEED ALL DISTURBED AREAS BACK TO ORIGINAL FINISHED GRADE ELEVATIONS, INCLUDING EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.
- PLANTING LAYOUT IS NOT INTENDED TO BE EXACT, BUT TO ILLUSTRATE THE DESIGN INTENT AS FOLLOWS:
 - CLUSTER THE SAME TYPE OF PLANT IN GROUPS OF 2-5. ADJUSTING BASED ON OVERALL PLANT COUNTS IN THE PLANTING BED (FEWER TOTAL PLANTS WILL HAVE SMALLER GROUPINGS, MORE TOTAL PLANTS WILL HAVE LARGER GROUPINGS)
 - PLACE SHORTER (AT MATURITY) PLANTS AT THE EDGES OF PLANTERS OR WHERE CAR DOORS OR BUMPERS MAY OVERHANG.
 - PLACE TALLER (AT MATURITY) PLANTS IN THE CENTER OF PLANTERS OR THE TRANSITION EDGE TO NATIVE SEEDED AREAS.

KEY PLAN



CIVIL ENGINEERING

G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbteam.com
MO Certificate of Authority # 000133
LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64693
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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

PROFESSIONAL SEAL:

DRAWING TITLE:

PLANTING
PLAN

JOB NO: 1249

SCALE:

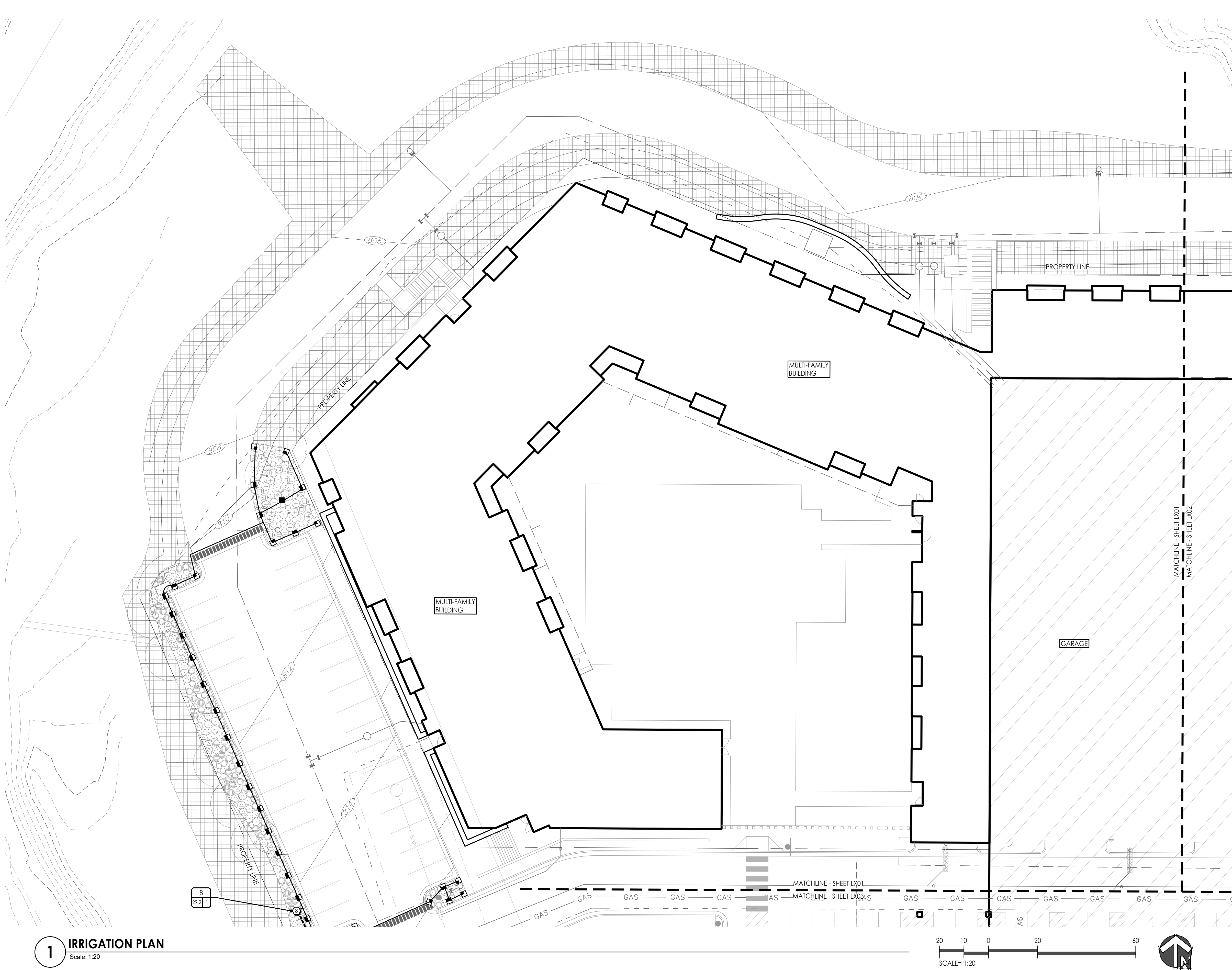
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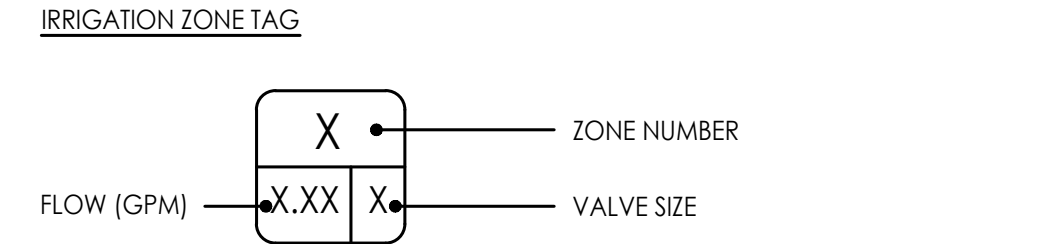
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MICHAEL KILLEN
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1 IRRIGATION PLAN
Scale: 1:20

IRRIGATION LEGEND		
SYMBOL	DESCRIPTION	DETAIL
	MAINLINE (SEE PLAN FOR SIZE)	RE: SPEC 328400 / RE: DETAIL 1/L720
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	REMOTE CONTROL VALVE	RE: DETAIL 6/L720
	ROOT WATERING SYSTEM	RE: DETAIL 8/L720
	ISOLATION VALVE	RE: DETAIL 3/L720
	QUICK COUPLER	RE: DETAIL 5/L720
	FULL ARC	WATER DELIVERY EQUIPMENT. REFER TO ZONE CHART FOR MODEL NUMBERS, BODY TYPE, AND NOZZLE.
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	90 ARC	
	270 ARC	
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	HALF STRIP	

REFER TO SHEET L721 FOR COMPLETE IRRIGATION ZONE SCHEDULE

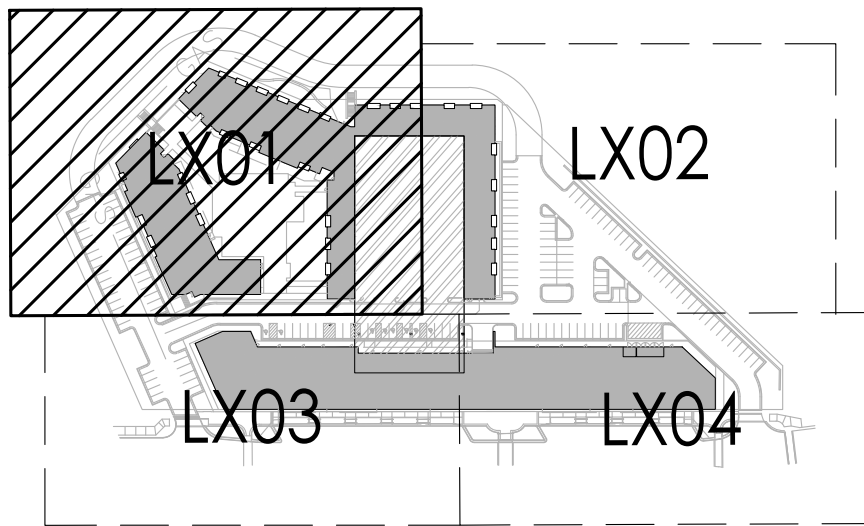


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IMPORTANT:
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KEY PLAN



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G&A
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Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
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Lee's Summit, MO 64693
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MO Certificate of Authority # 2008001860

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Hoerr Schaudt Landscape Architects
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Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority #2019043088

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Lenexa, KS 66214
913.742.5000
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Lenexa, KS 66219
913.498.1550
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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Issued for GMP

ISSUE:

PROFESSIONAL SEAL:

**NOT FOR
CONSTRUCTION**

DRAWING TITLE:

**IRRIGATION
PLAN**

JOB NO: 1249

SCALE:

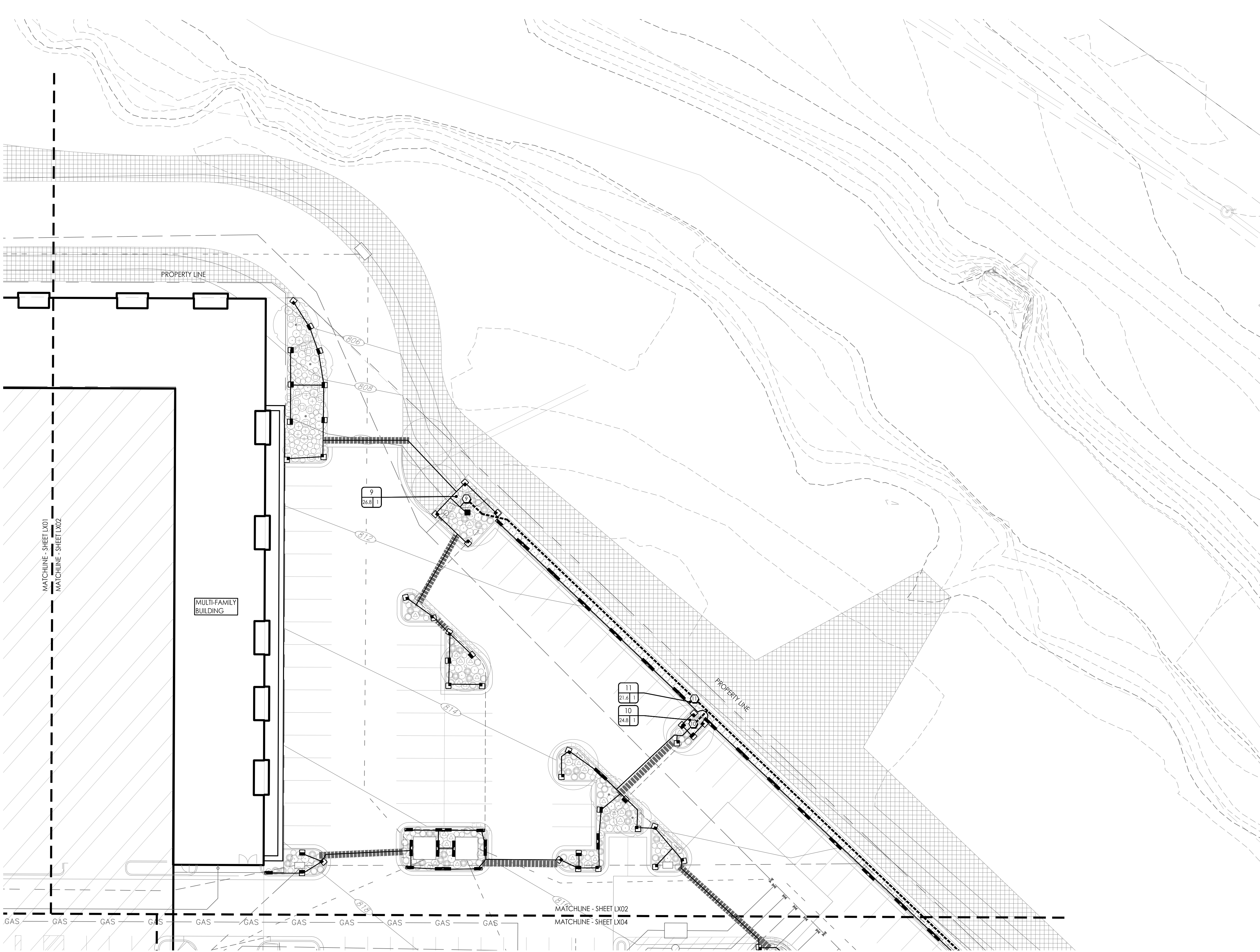
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MICHAEL KILLEN
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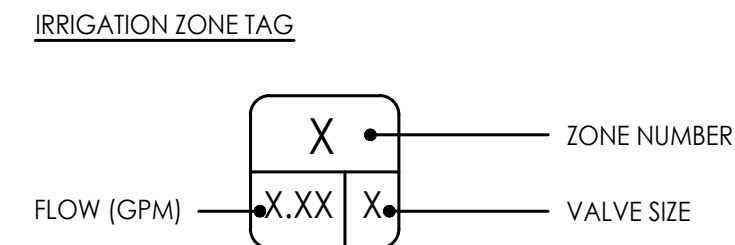
1 IRRIGATION PLAN
Scale: 1:20



IRRIGATION LEGEND

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	HALF STRIP	

REFER TO SHEET L721 FOR COMPLETE IRRIGATION ZONE SCHEDULE

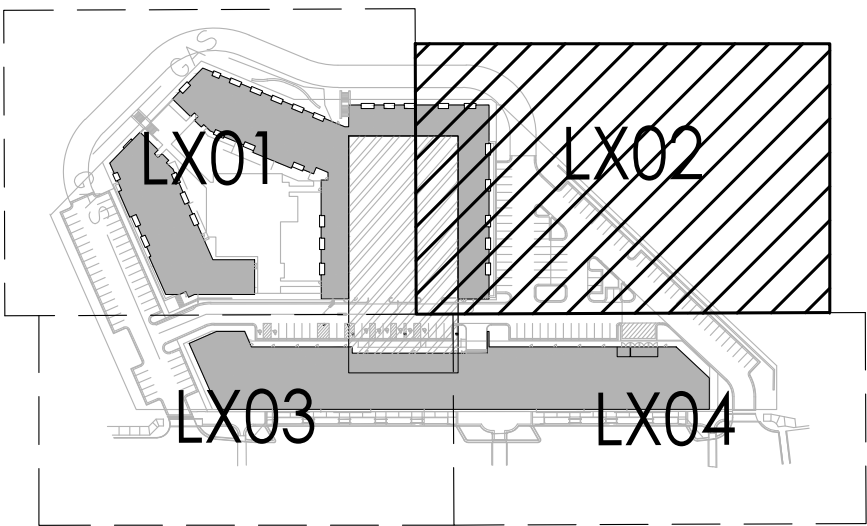


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KEY PLAN



CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE
LANDS Studio, LLC
317 SE Main
Lee's Summit, MO 64693
www.landsstudio.com
MO Certificate of Authority # 2008001860

LANDSCAPE ARCHITECTURE
Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority #2019040388

MEP ENGINEERING
HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556

ARCHITECTURE
FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.498.1550
www.finklewilliams.com
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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Issued for GMP

ISSUE:

PROFESSIONAL SEAL:

**NOT FOR
CONSTRUCTION**

DRAWING TITLE:

**IRRIGATION
PLAN**

JOB NO: 1249

SCALE:

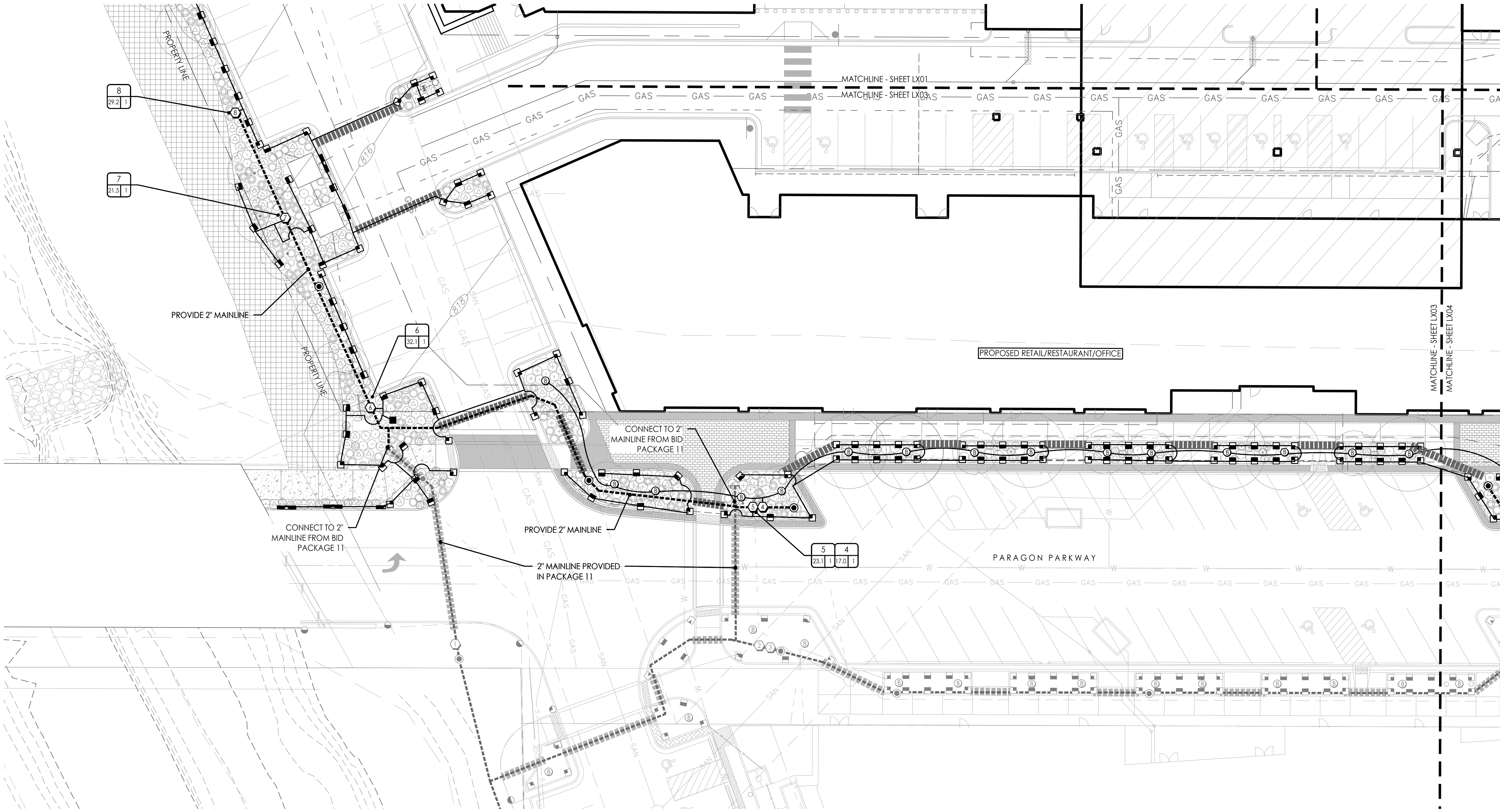
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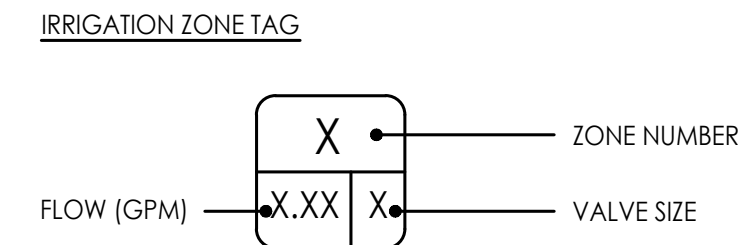
1 IRRIGATION PLAN
Scale: 1:20



IRRIGATION LEGEND

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REFER TO SHEET L721 FOR COMPLETE IRRIGATION ZONE SCHEDULE

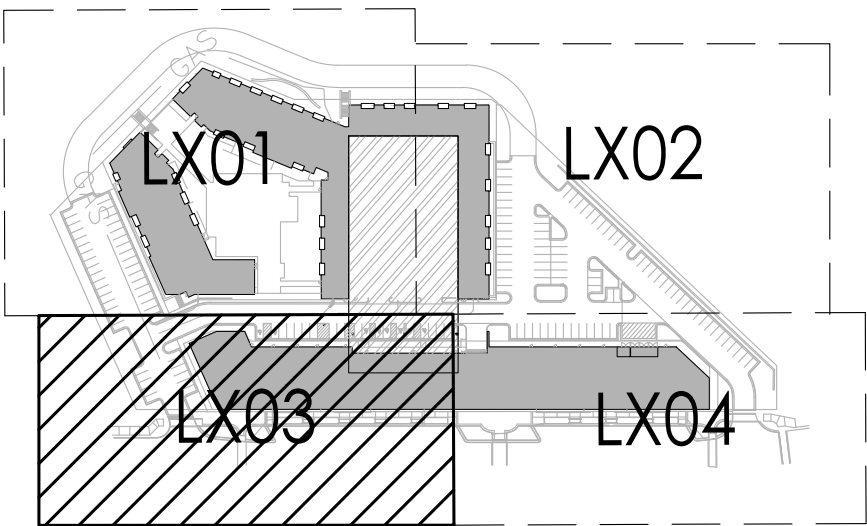


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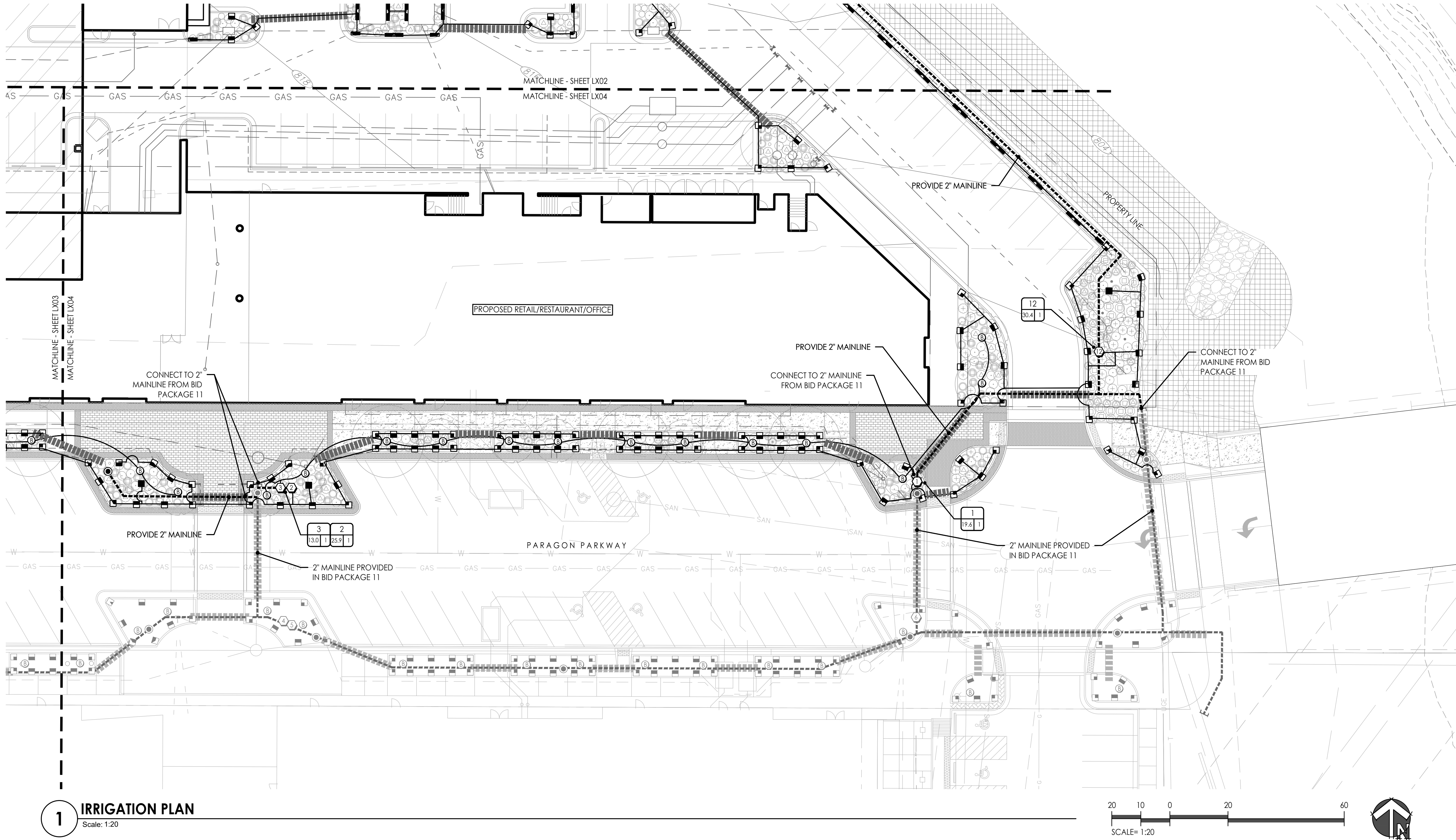
**IRRIGATION
PLAN**

JOB NO: 1249 SCALE:
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

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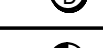








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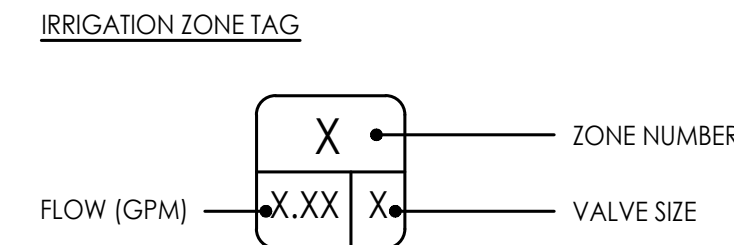
1 IRRIGATION PLAN
Scale: 1:20



IRRIGATION LEGEND

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 HALF STRIP		

REFER TO SHEET L721 FOR COMPLETE IRRIGATION ZONE SCHEDULE

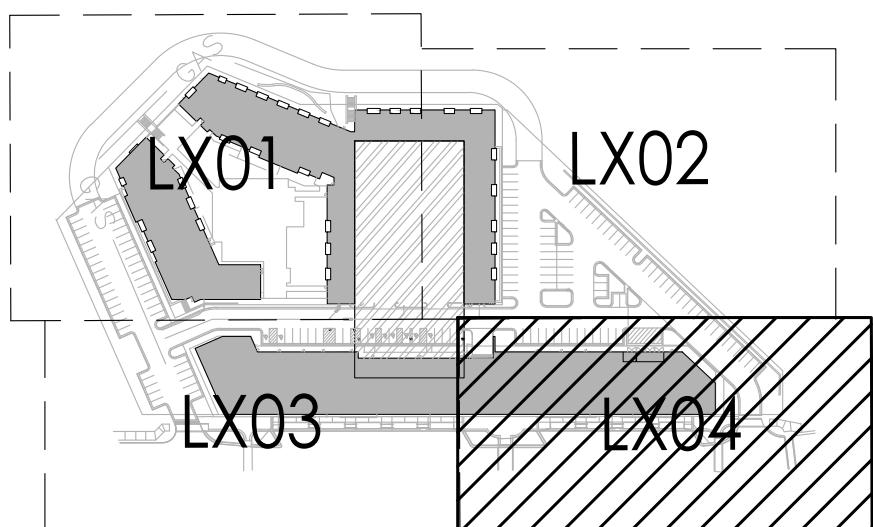


IRRIGATION NOTES

- THIS PLAN ILLUSTRATES THE COMPLETE AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED & INSTALLED BY THE CONTRACTOR. REFER TO **SECTION 328400 - PLANTING IRRIGATION** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK.
- THE UTILITIES SHOWN ON THE IRRIGATION DRAWINGS ARE EXISTING AND PROPOSED AT THE TIME THE DESIGN WAS COMPLETED. CIVIL DRAWINGS PROVIDE ADDITIONAL INFORMATION. VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING ANY EXCAVATION OR TRENCHING VIA MISSOURI ONE-CALL SYSTEM (811) AND BY EXCAVATING TEST PITS IF NECESSARY.
- VERIFY ALL SITE CONDITIONS AND DIMENSIONS SHOWN ON THE PLAN PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS ENCOUNTERED DURING CONSTRUCTION.
- POINT OF CONNECTION PROVIDED IN BID PACKAGE 11 - 'PUBLIC IMPROVEMENTS'. CONTRACTOR TO VERIFY STATIC AND RESIDUAL PRESSURE AND FLOW (IN GPM) AT THE CAPPED MAINLINES CONNECTION POINTS FOR THE NORTH VILLAGE WORK. SYSTEM REQUIREMENTS ARE A MINIMUM 70 GPM AT 75 PSI AT THE POINT OF CONNECTION.
- IRRIGATION DESIGNS ARE DIAGRAMMATIC; ALL PIPING, VALVES, EQUIPMENT, ETC. SHOWN IS FOR DESIGN INTENT OR GUIDELINE ONLY AND SHALL BE INSTALLED IN THE FIELD AREAS IN A MANNER TO CONFORM TO THE VARIOUS DETAILS AND APPROVED SHOP DRAWINGS AS DIRECTED.
- THE CONTROLLER AND RAIN SENSOR WILL BE LOCATED IN THE HUB BUILDING (PROVIDED IN BID PACKAGE 11).
- IRRIGATION SCOPE OF WORK INCLUDES COORDINATING EXTENSION OF CONTROL WIRE (2-WIRE) TO NORTH VILLAGE ZONES AND PROGRAMMING NORTH VILLAGE ZONES AND DECODERS TO CONTROLLER.
- 120-VOLT ELECTRICAL POWER SERVICE PROVIDED BY OTHERS; REFER TO ELECTRICAL.
- INSTALL TRACER WIRE (#14 WITH PVC JACKET) ALONG ALL MAINLINE WHERE CONTROL WIRES OR TWO-WIRE PATH IS NOT PRESENT.

IMPORTANT:
WINTERIZATION WATER BLOW-OUT PROCESS WARNING -- THE IRRIGATION SYSTEM IS DESIGNED TO BE COMPLETELY DRAINED BY THE USE OF AN AIR COMPRESSOR TO PROTECT PIPES FROM BURSTING PRIOR TO FREEZING TEMPERATURES.

KEY PLAN



CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64693
www.land3studio.com
MO Certificate of Authority # 2008001860

LANDSCAPE ARCHITECTURE
Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority #2019040388

MEP ENGINEERING
HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556

ARCHITECTURE
FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.498.1550
www.finklewilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Issued for GMP

ISSUE:

PROFESSIONAL SEAL:

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CONSTRUCTION**

DRAWING TITLE:

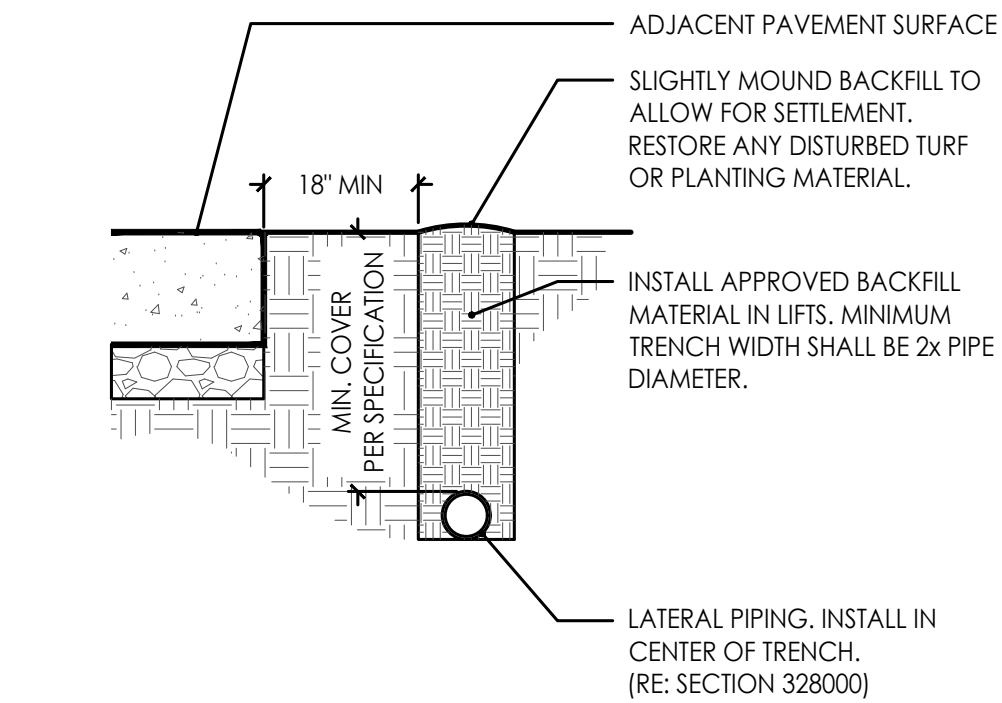
**IRRIGATION
PLAN**

JOB NO: 1249 SCALE:
DATE: 07.11.2022 DRAWN BY: MRK

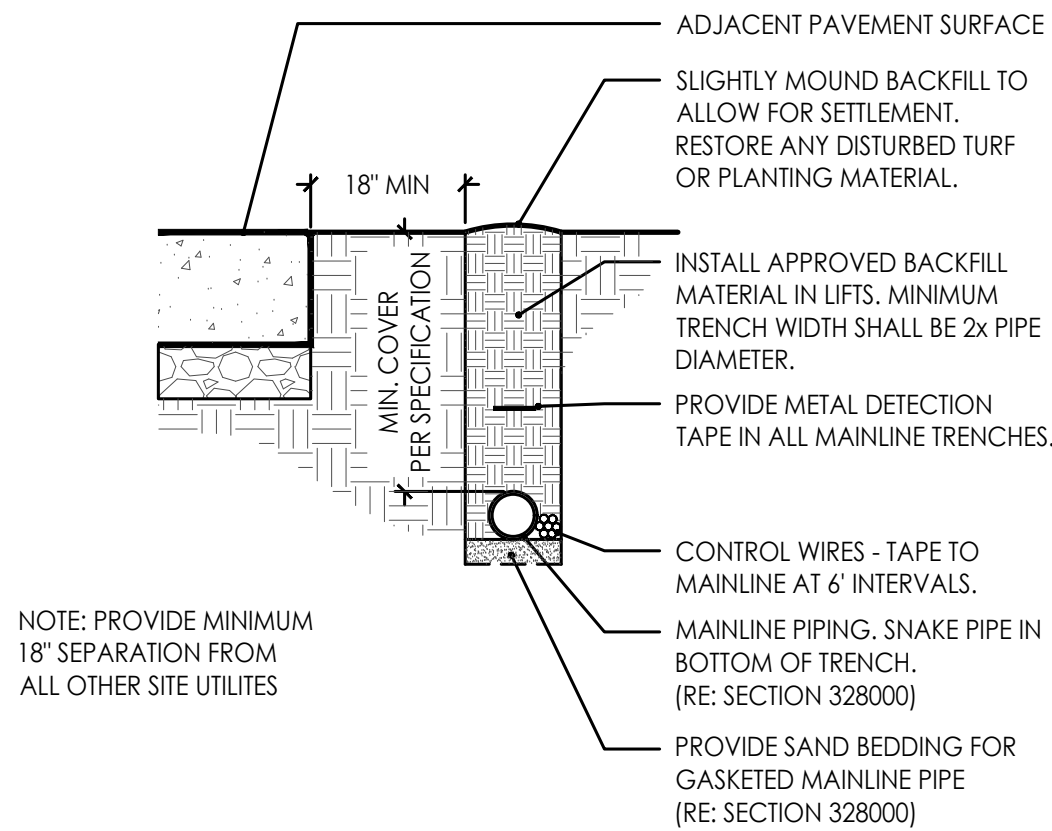
SHEET NO:

L704

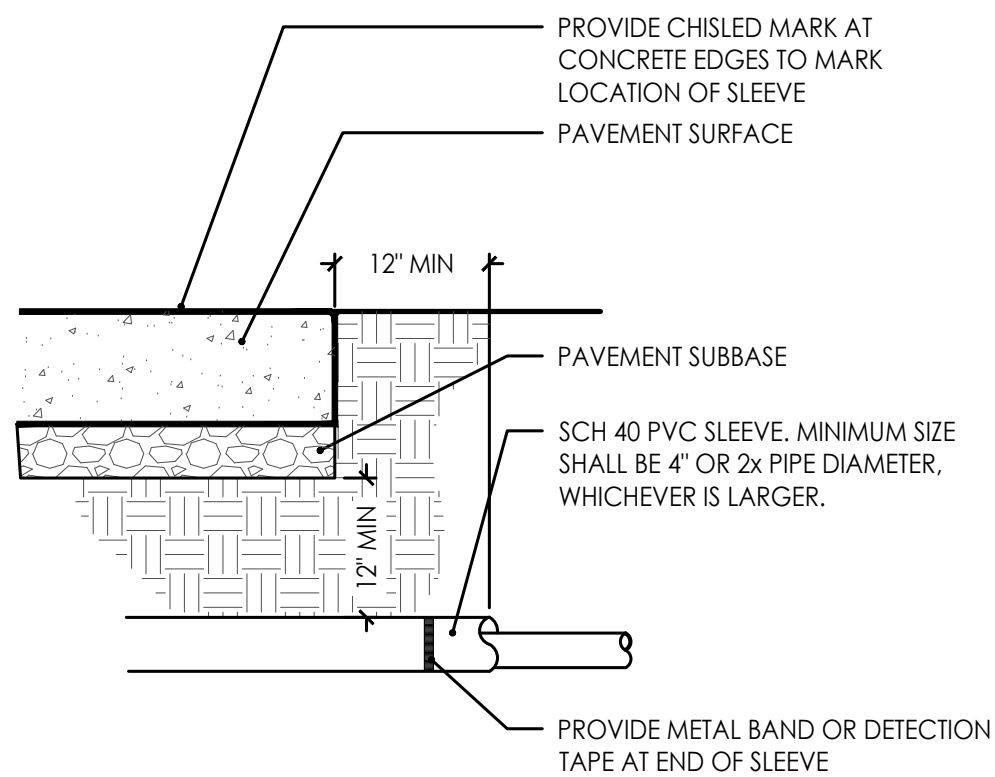
G:\Archive\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTI-FAMILY\L720 IRRIGATION DETAILS\MULTIFAM.dwg 7/11/2022 11:18:45 AM 0.38691
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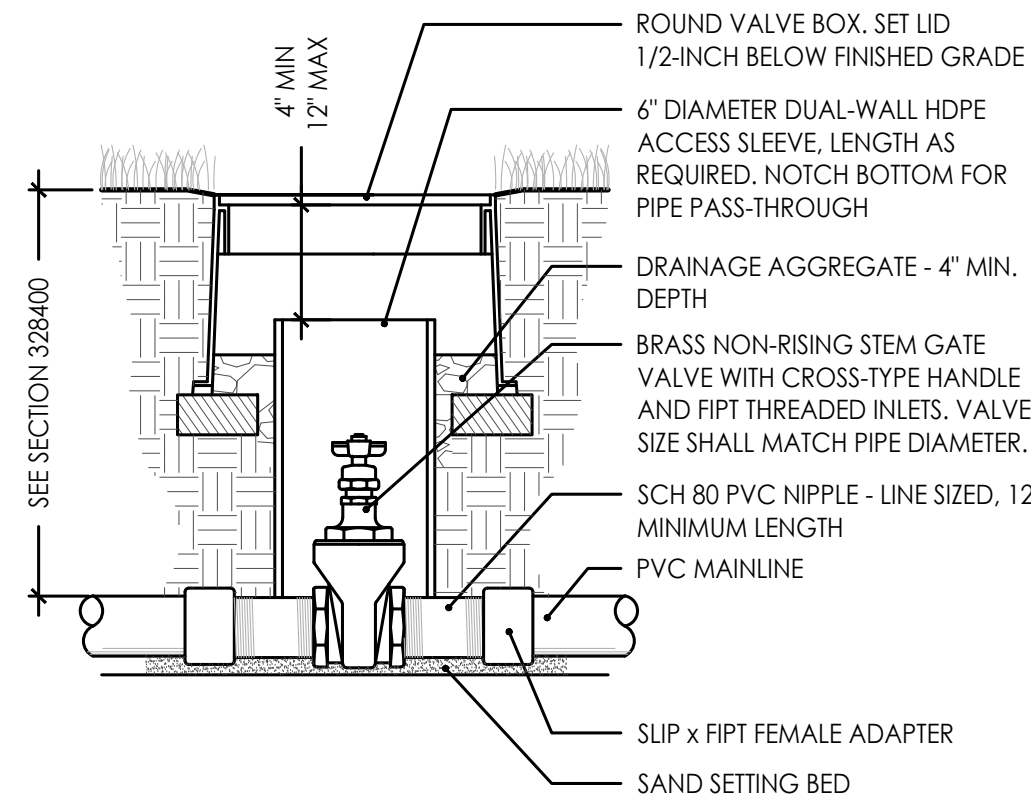
1 PIPE TRENCHING
Scale: N.T.S.



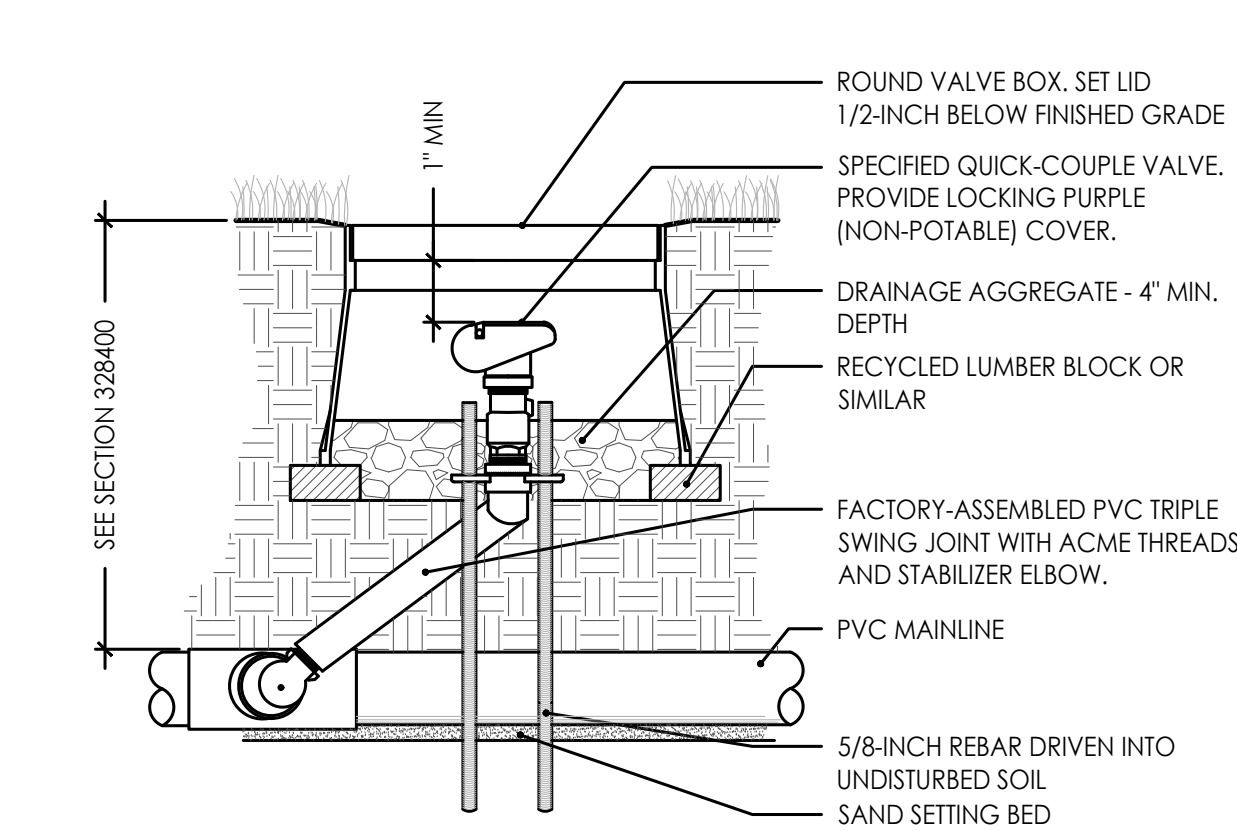
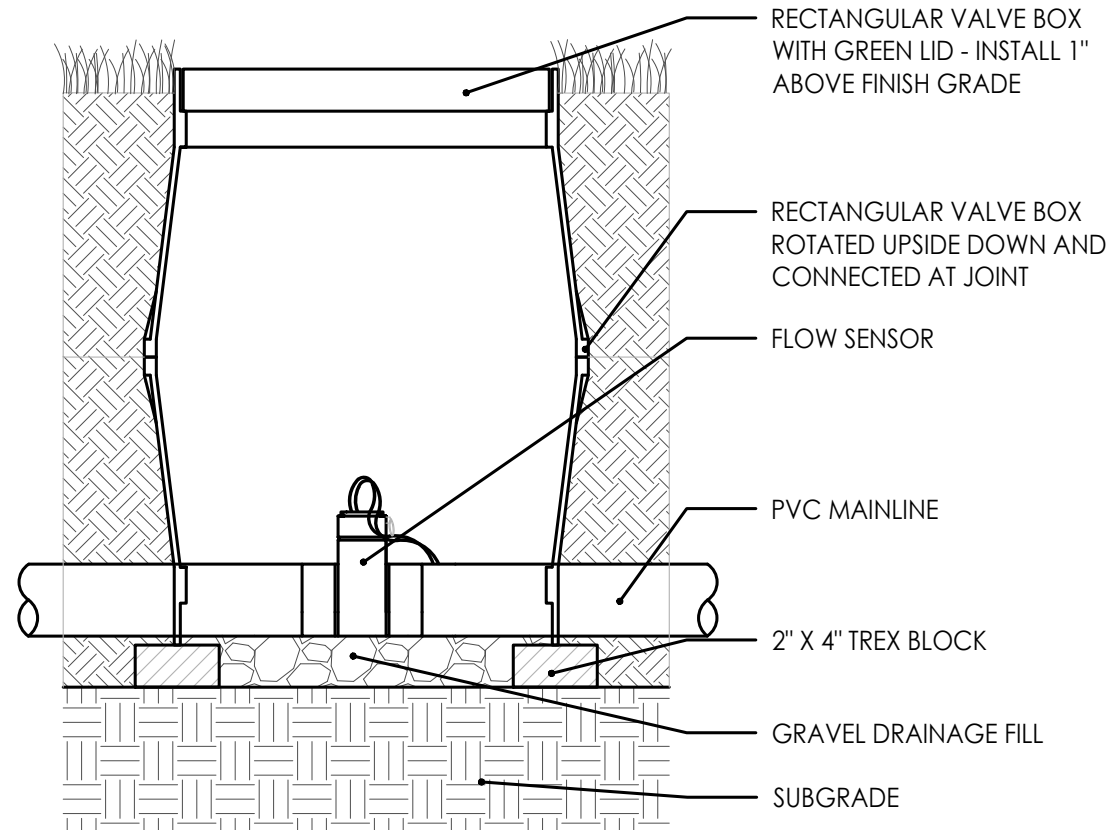
2 PIPE SLEEVE
Scale: N.T.S.



3 ISOLATION VALVE
Scale: N.T.S.

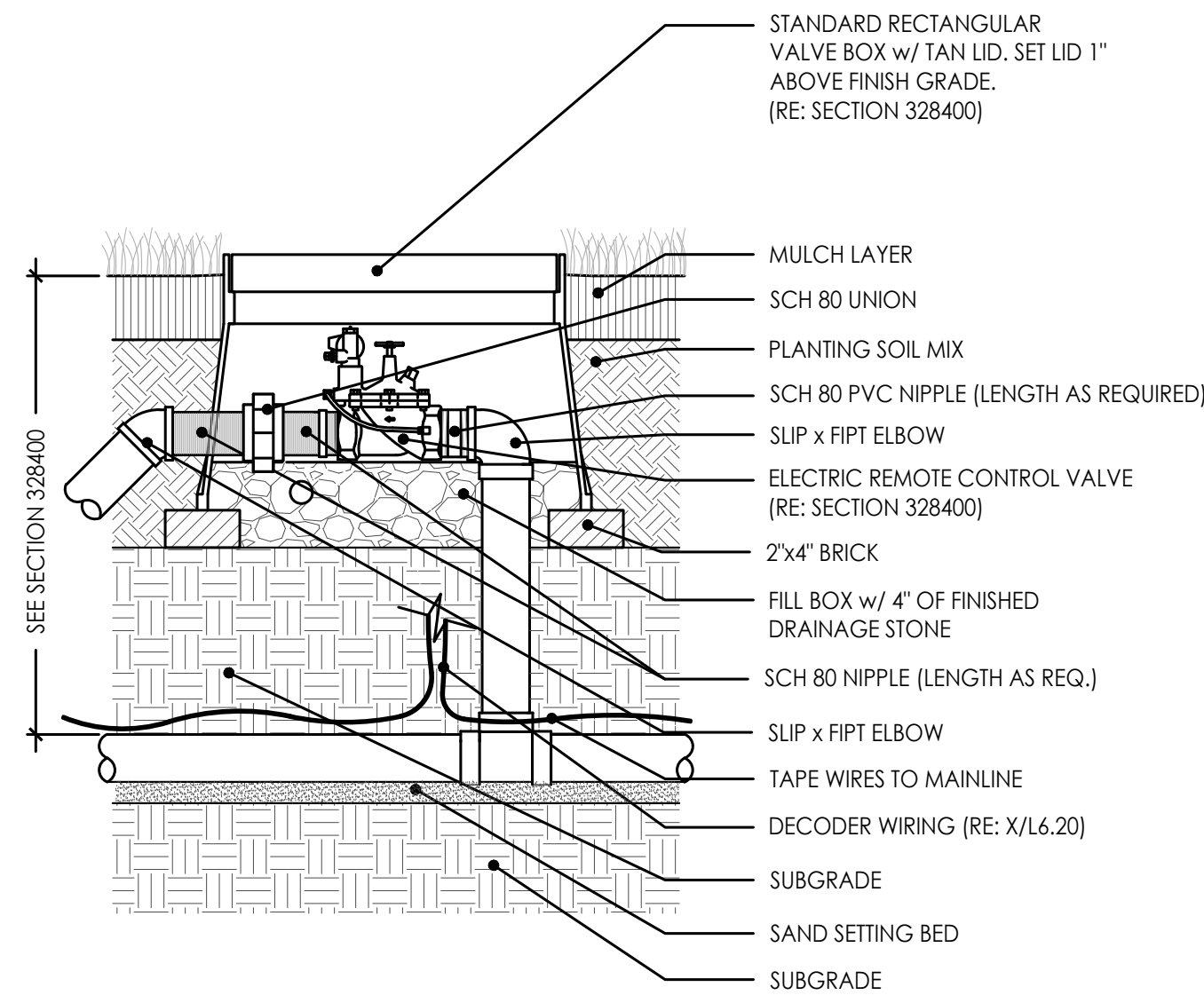


4 FLOW SENSOR
Scale: N.T.S.

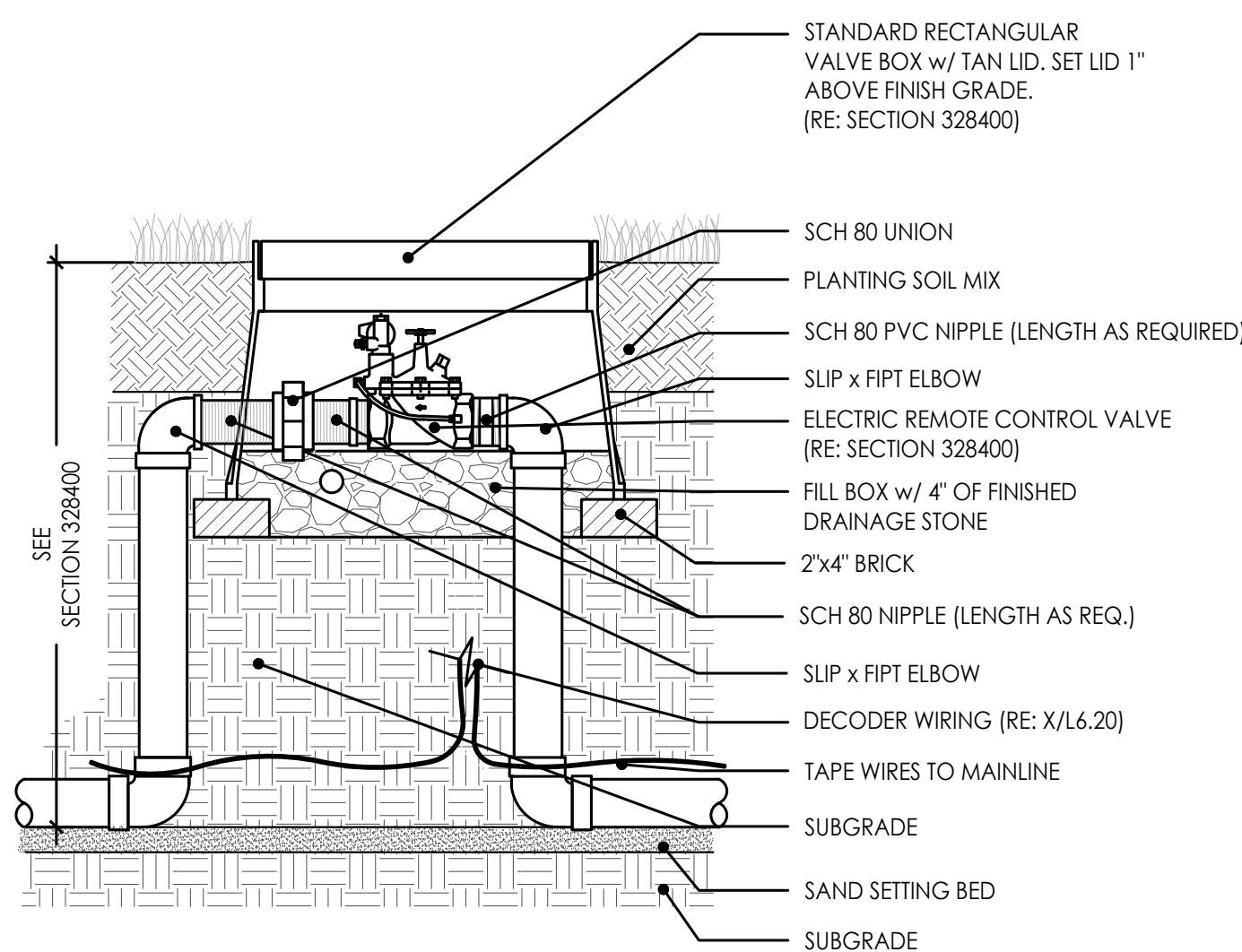


- NOTES
1. ACME O-RING SEALED THREADS ARE TO BE FINGER TIGHTENED AND BACKED OFF ONE FULL ROTATION BEFORE INSTALLATION.
 2. THE SWING JOINT ARM IS TO BE INSTALLED AT AN ANGLE BETWEEN 30° AND 45° TO THE MAINLINE
 3. TEFLON TAPE ALL METAL THREADS.

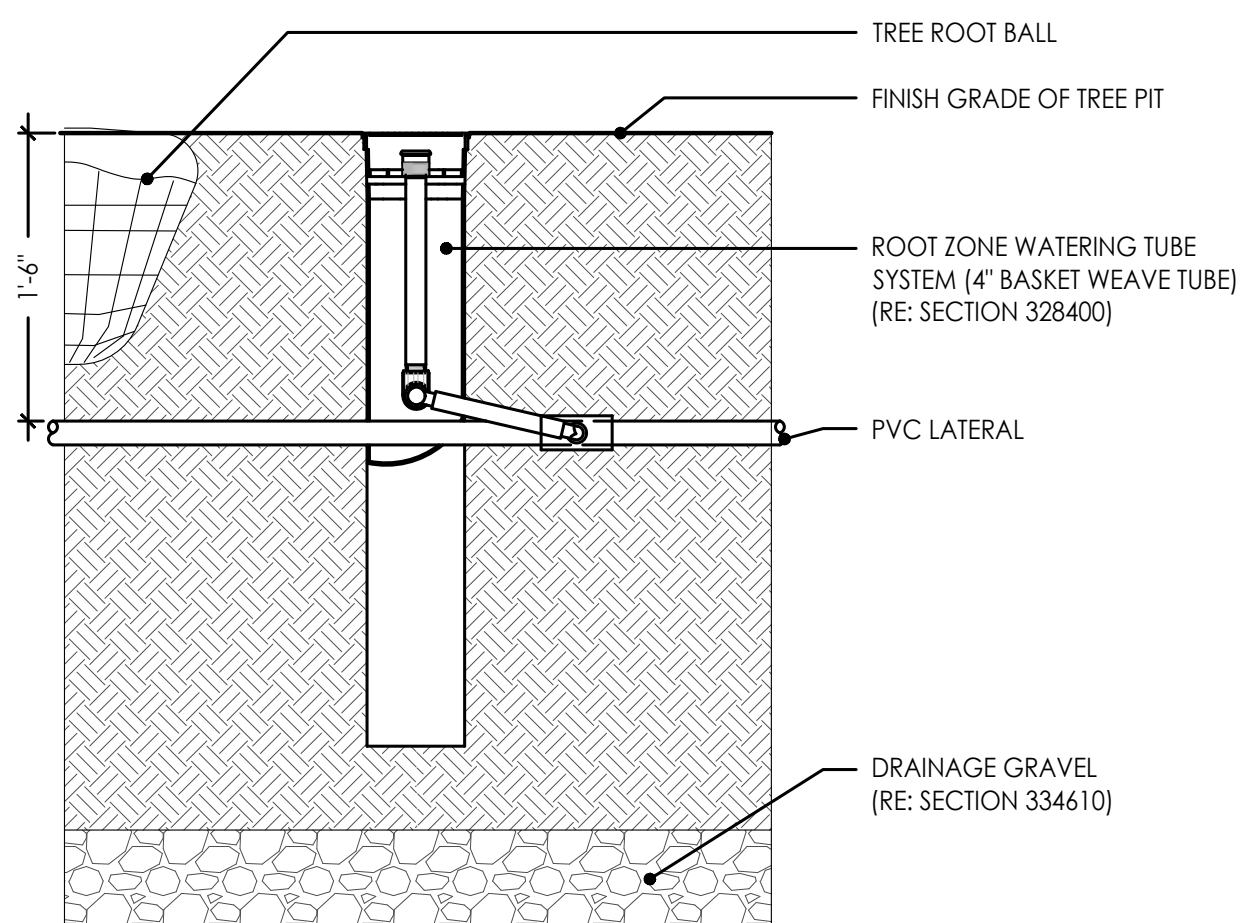
5 QUICK COUPLE VALVE
Scale: N.T.S.



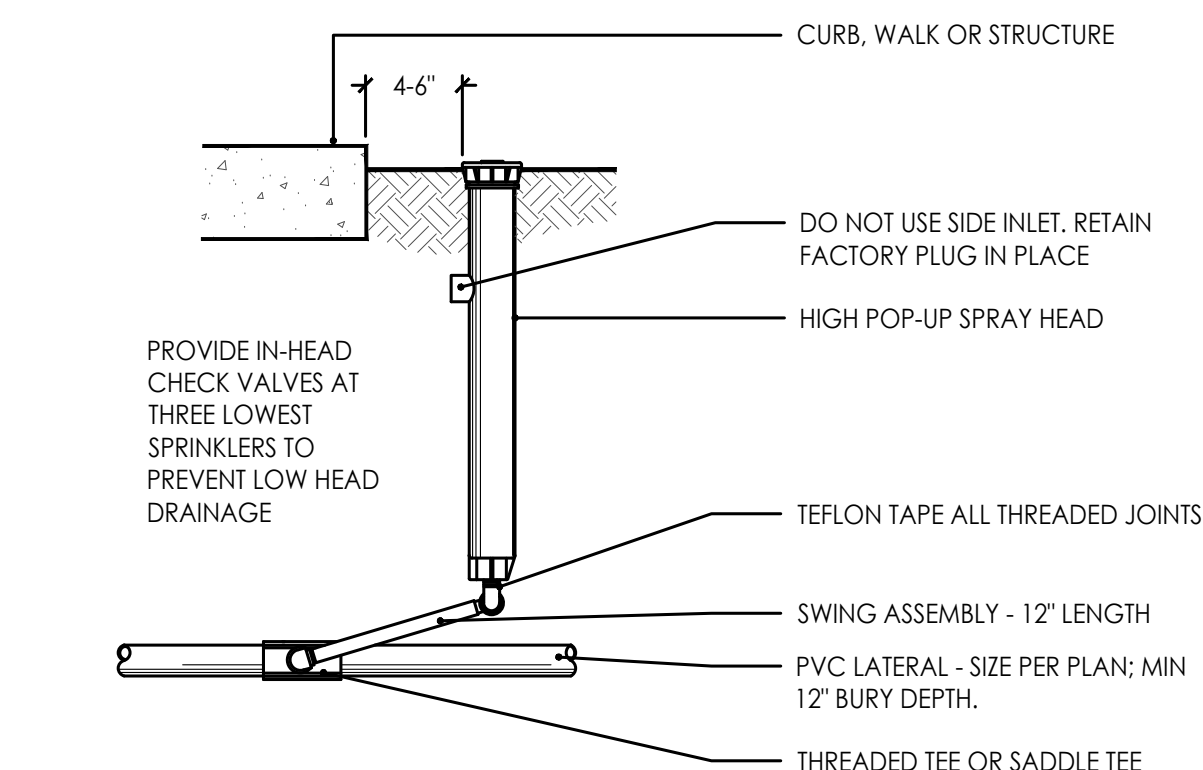
7 MASTER VALVE
Scale: N.T.S.



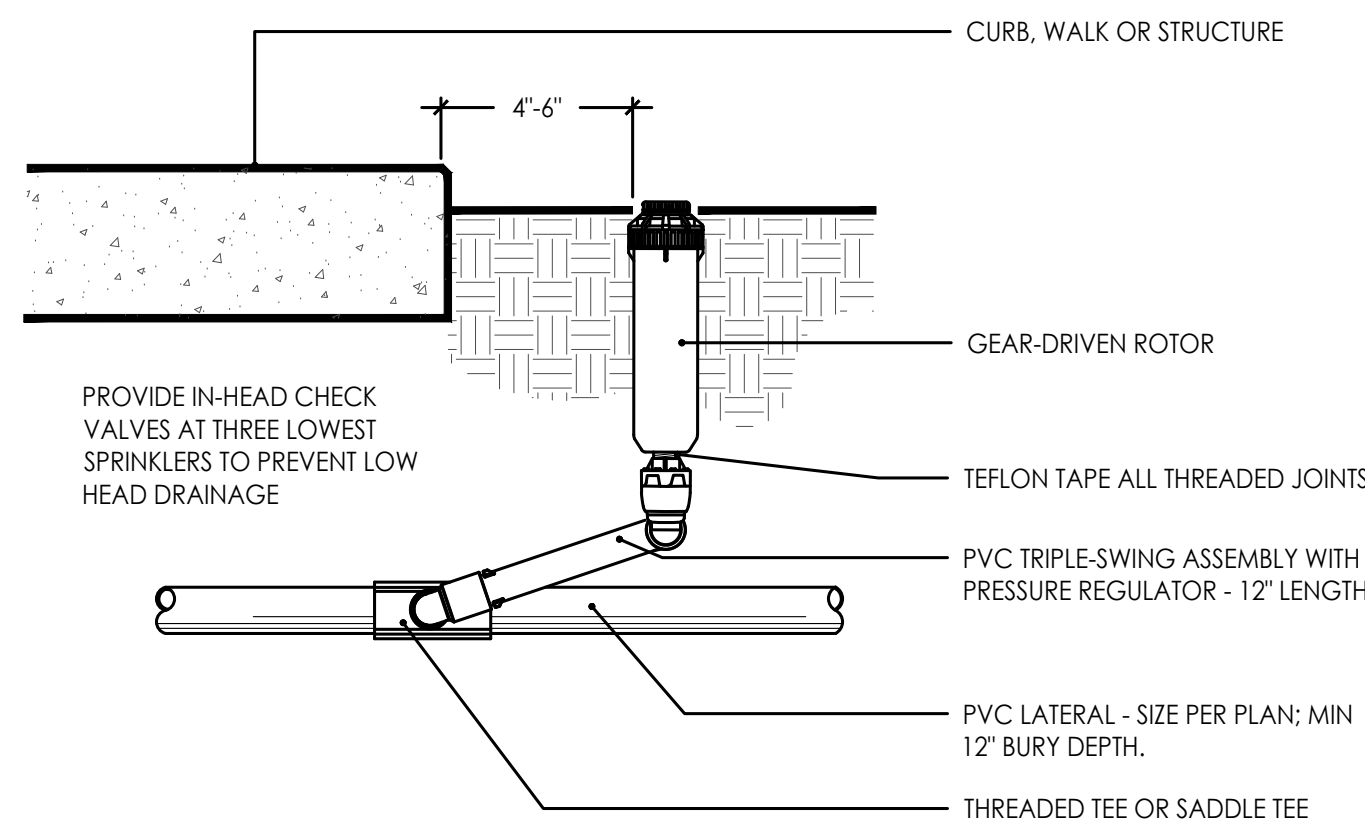
8 ROOT WATERING SYSTEM
Scale: N.T.S.



9 POP-UP SPRAY HEAD
Scale: N.T.S.



10 HIGH POP-UP SPRAY
Scale: N.T.S.



11 GEAR-DRIVEN ROTOR HEAD
Scale: N.T.S.

CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133
LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64693
www.land3studio.com
MO Certificate of Authority # 2008001860
LANDSCAPE ARCHITECTURE
Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0430
www.hoerschaudt.com
MO Certificate of Authority # 2019004088
MEP ENGINEERING
HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556
ARCHITECTURE
FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.498.1550
www.finklewilliams.com
Missouri Certificate of Authority # F00453304

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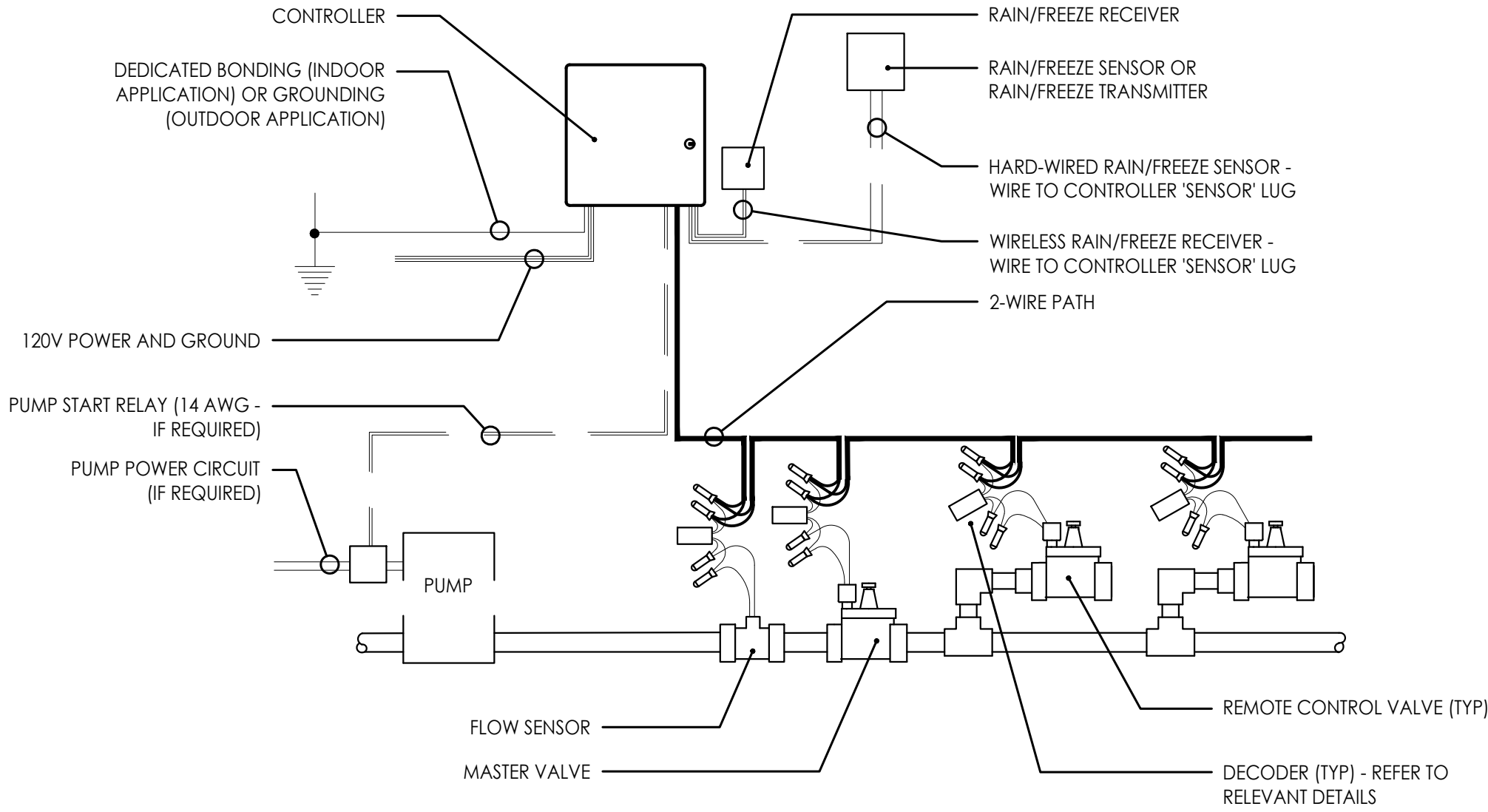
**IRRIGATION
DETAILS**

JOB NO: 1249 SCALE:
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

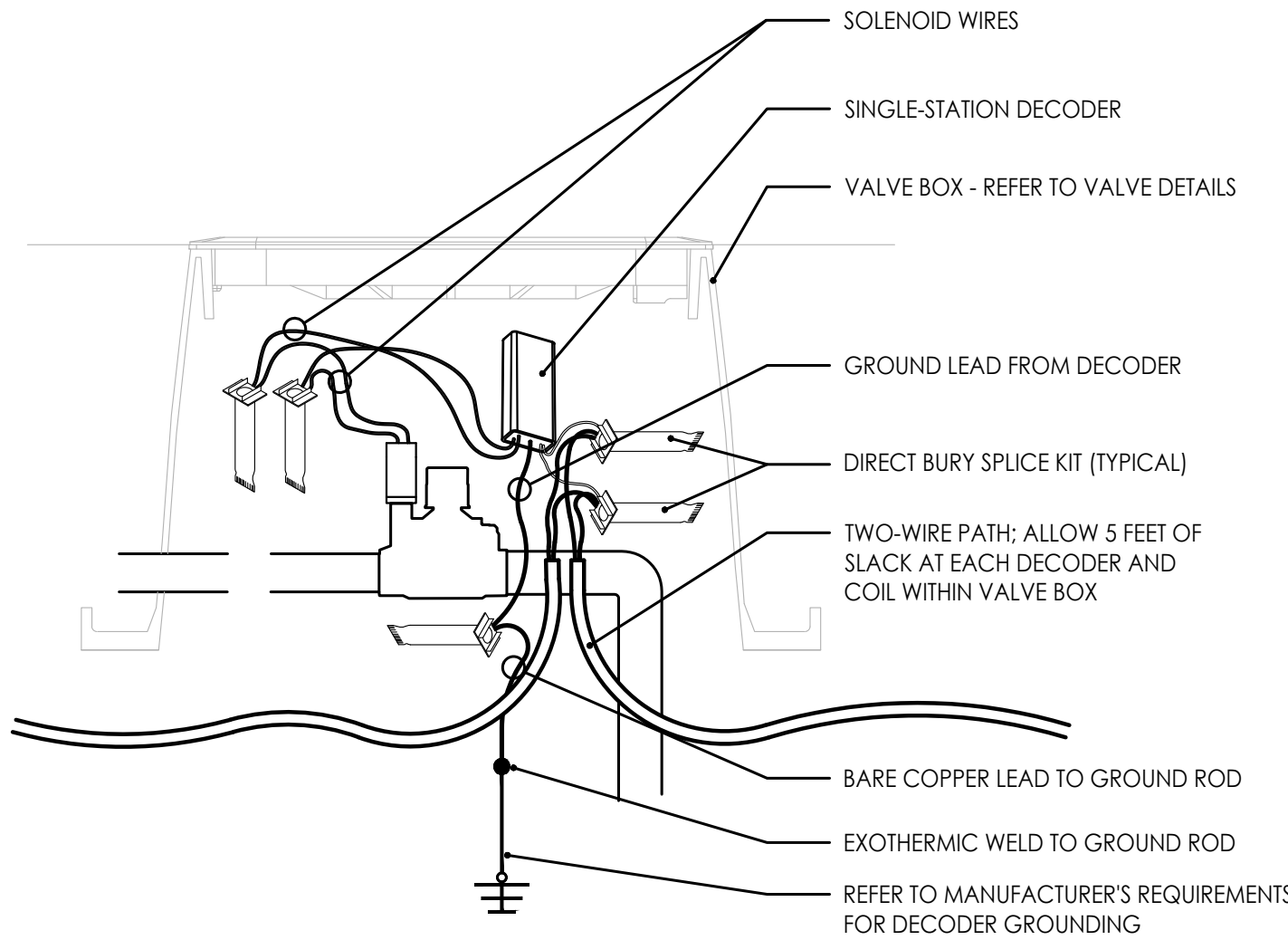
L720

C:\Active\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTI-FAMILY\L720 IRRIGATION DETAILS\MULTIFAM.dwg 7/11/2022 11:18:46 AM 0.3849'1 MICHAEL KILLEEN
ALL DIMENSIONS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE INTELLECTUAL PROPERTY OF LANDS STUDIO, LLC., AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THESE DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED, REPRODUCED, OR PUBLISHED BY ANY METHOD, IN WHOLE OR IN PART, OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION OF LANDS STUDIO, LLC.



1 WIRING SCHEMATIC

Scale: N.T.S.



2 DECODER WIRING

Scale: N.T.S.

IRRIGATION SCHEDULE

ZONE	ZONE TYPE	HEAD / LINE INFORMATION							FLOW (GPM)	OPERATING PRESSURE (PSI)	VALVE SIZE
		360°	270°	180°	90°	SST	RCS/LCS	CST			
1	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							20.36	30	1"
		0	0	17	14	0	0	0			
2	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							25.85	30	1"
		2	0	29	20	0	0	0			
3	TREE DRIP	TREE DRIP: (13) RWS-B-1404; ROOT ZONE WATERING @ 1.0 gpm							13.0	30	1"
4	TREE DRIP	TREE DRIP: (13) RWS-B-1404; ROOT ZONE WATERING @ 1.0 gpm							17.0	30	1"
5	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							23.10	30	1"
		0	0	26	19	0	0	0			
6	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							32.01	30	1"
		1	0	13	11	2	1	0			
7	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							21.51	30	1"
		0	0	17	8	1	0	0			
8	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							29.24	30	1"
		1	0	21	5	0	0	0			
9	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							26.84	30	1"
		1	0	9	12	0	0	0			
10	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							24.82	30	1"
		0	0	8	12	7	5	0			
11	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							21.55	30	1"
		0	0	0	0	17	2	0			
12	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							29.57	30	1"
		1	0	11	6	0	0	0			

CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
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LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64693
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MO Certificate of Authority # 2008001860
LANDSCAPE ARCHITECTURE
Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
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HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556
ARCHITECTURE
FINKLE + WILLIAMS Architecture
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Lenexa, KS 66219
913.498.1550
www.finklewilliams.com
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Issued for GMP

ISSUE:

PROFESSIONAL SEAL:

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CONSTRUCTION

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IRRIGATION
DETAILS

JOB NO: 1249

SCALE:

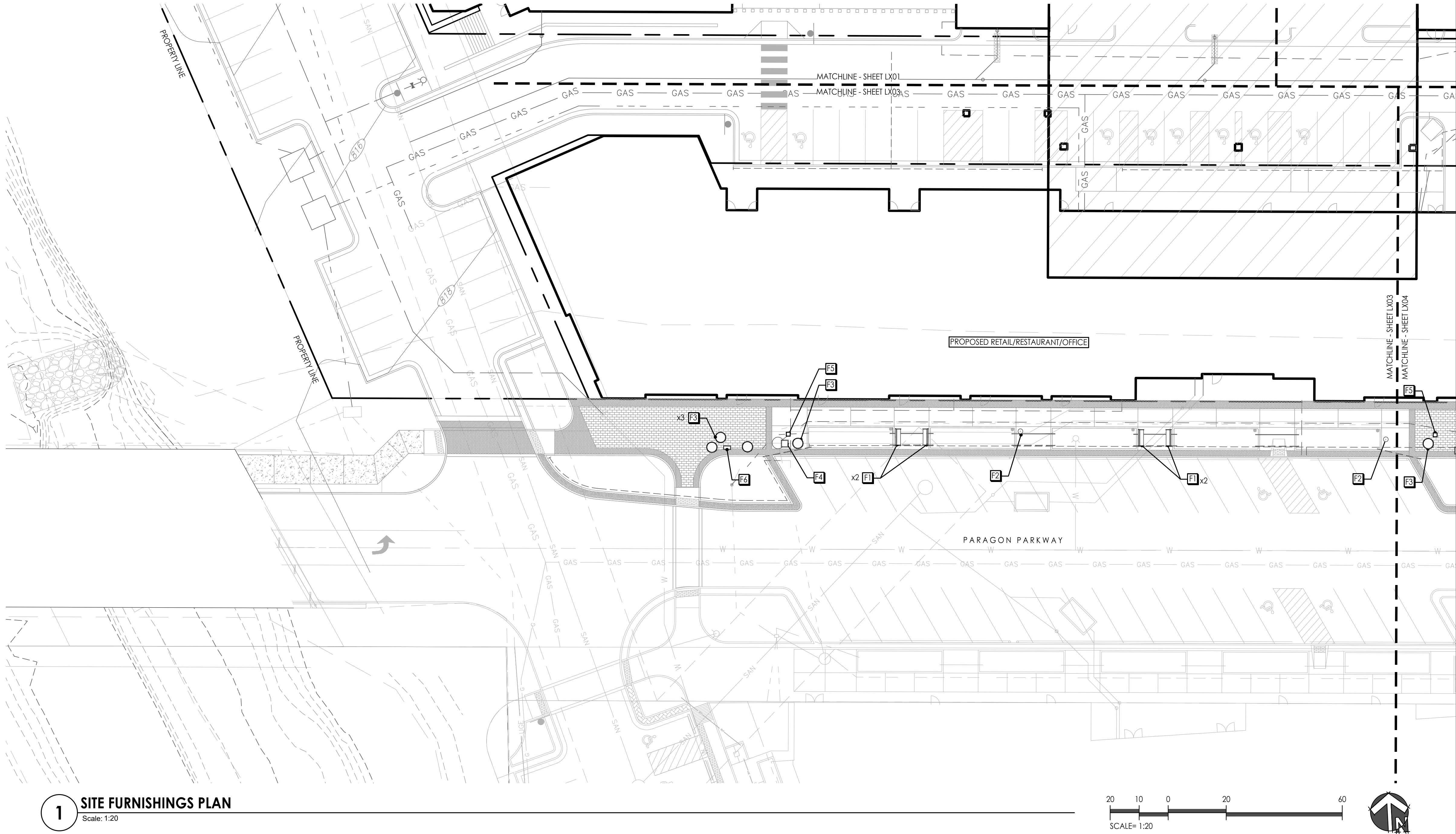
DATE: 07.11.2022

DRAWN BY: MRK

SHEET NO:

L721

G:\Archive\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTI-FAMILY\L800 FURNISHINGS\MULTIFAM.dwg 7/11/2022 11:19:00 AM MICHAEL KILLEN 0.38491
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1 SITE FURNISHINGS PLAN
Scale: 1:20

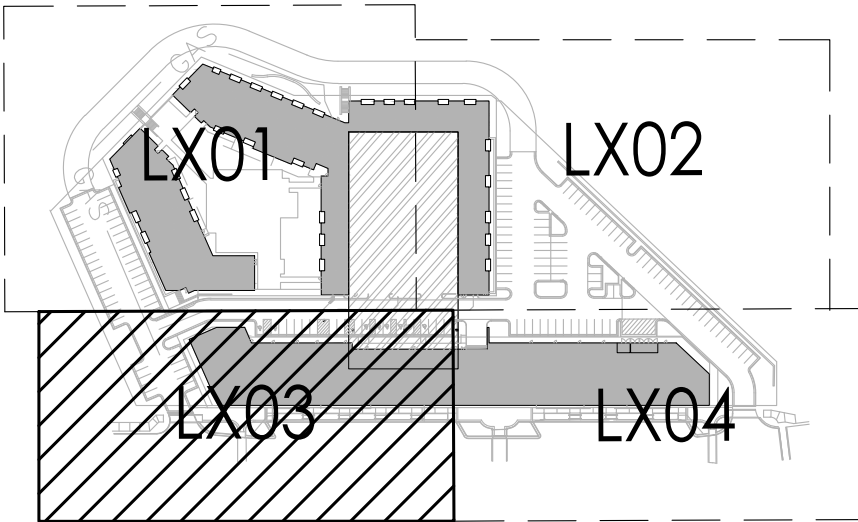
SITE FURNISHINGS SCHEDULE

SYM.	DESCRIPTION	SPECIFICATION
F1	BENCH	SECTION 323300
F2	WASTE RECEPTACLE	SECTION 323300
F3	42" DIA. ROUND PLANTER POT	SECTION 323300
F4	30" DIA. SQUARE PLANTER POT	SECTION 323300
F5	24" DIA. SQUARE PLANTER POT	SECTION 323300
F6	36" x 24" RECTANGLE PLANTER POT	SECTION 323300

SITE FURNISHINGS NOTES

1. THIS PLAN PROVIDES LAYOUT & QUANTITY OF ALL SITE FURNISHINGS TO BE PROVIDED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 323300 - SITE FURNISHINGS** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
3. LANDSCAPE ARCHITECT TO SELECT FINAL LOCATIONS OF ALL SITE FURNISHINGS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT AND OWNERS REP PRIOR TO FINAL PLACEMENT OF ALL FURNISHINGS.

KEY PLAN



CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE
LANDS Studio, LLC
317 SE Main
Lee's Summit, MO 64693
www.landsstudio.com
MO Certificate of Authority # 2008001860

LANDSCAPE ARCHITECTURE
Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority #2019004088

MEP ENGINEERING
HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556

ARCHITECTURE
FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.498.1550
www.finklewilliams.com
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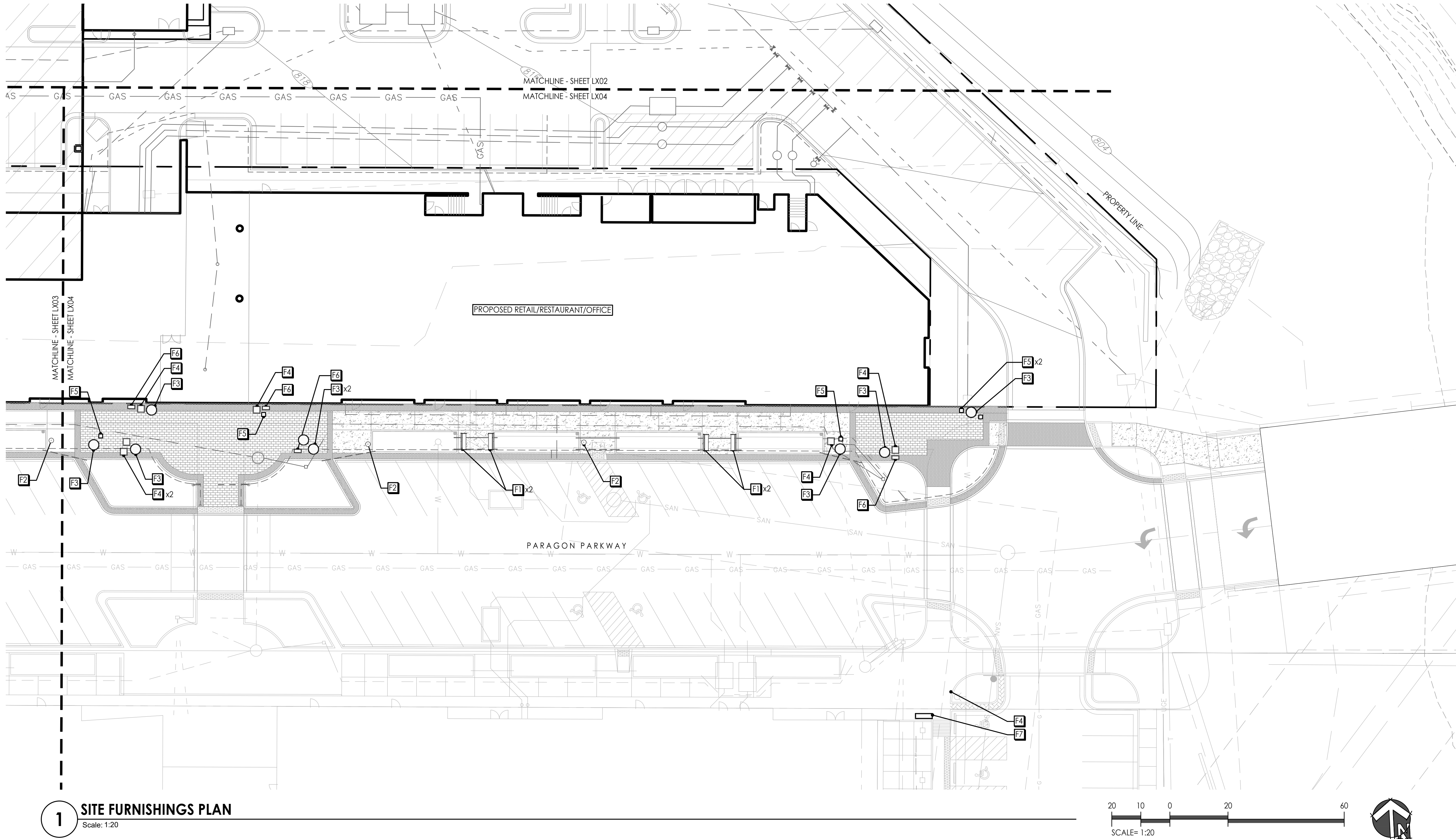
**SITE
FURNISHINGS
PLAN**

JOB NO: 1249 SCALE:
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

L803

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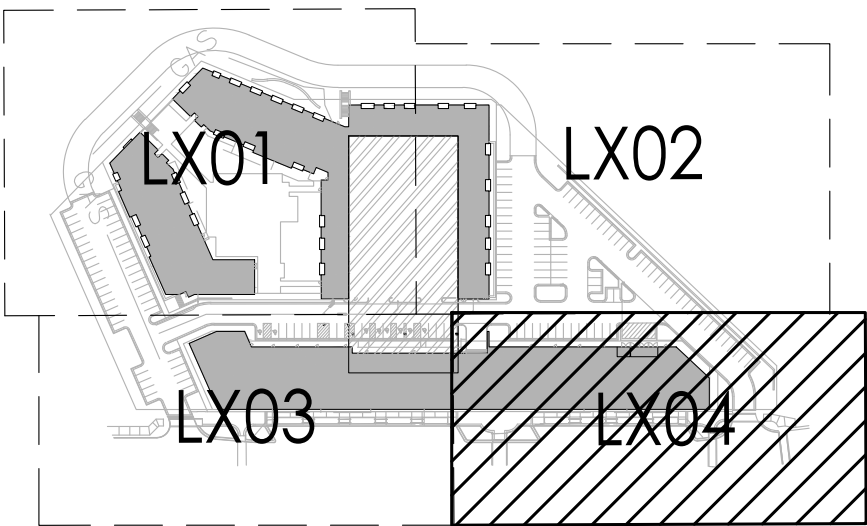
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SITE FURNISHINGS NOTES

- THIS PLAN PROVIDES LAYOUT & QUANTITY OF ALL SITE FURNISHINGS TO BE PROVIDED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 323300 - SITE FURNISHINGS** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK.
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CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
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Kansas City, MO 64108
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8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
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FINKLE + WILLIAMS Architecture
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SITE
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SHEET NO:

L804

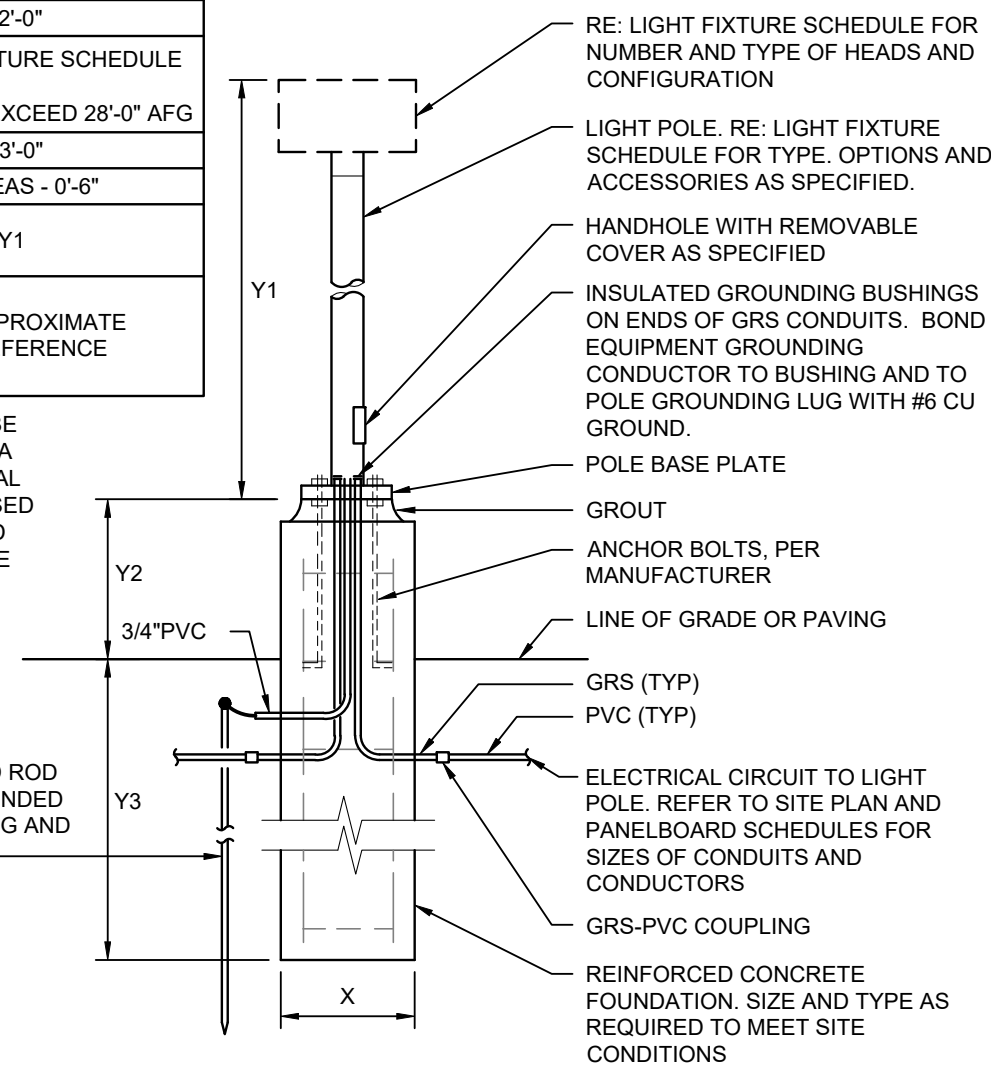
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ANDREA C. MULVANY
MARCIUS PERRY

TABLE OF DIMENSIONS*	
X	POLE HEIGHT < 16' = 1'-6"
	POLE HEIGHT > 16' = 2'-0"
Y1	REFER TO LIGHT FIXTURE SCHEDULE FOR POLE HEIGHT. Y1 + Y2 SHALL NOT EXCEED 28'-0" AFG
Y2	VEHICULAR AREAS - 3'-0"
	NON-VEHICULAR AREAS - 0'-8"
Y3	1/4 OF POLE HEIGHT Y1

* NOTE:
ALL DIMENSIONS ARE APPROXIMATE
AND ARE SHOWN FOR REFERENCE
ONLY.

POLE FOUNDATION SHALL BE
DESIGNED AND SEALED BY A
PROFESSIONAL STRUCTURAL
OR CIVIL ENGINEER LICENSED
IN THE PROJECT STATE AND
SUBMITTED AS PART OF THE
SUBMITTAL PROCESS.

5/8" X 8' DRIVEN GROUND ROD
WITH #6 CU. GROUND BONDED
TO POLE GROUNDING LUG AND
TO GROUND ROD



2 POLE BASE DETAIL
NO SCALE

LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER/MODEL #	NO.	LAMPS	VOLT	INPUT WATTS	INPUT VA
			TYPE			
S1	MCGRAW-EDISON GLNA-AF-03-LED-T4W-BK WIKW INDUSTRIES RAP-25-6-0-X-BLK-DM10	-	LED BY MANUFACTURER 4000K, 70 CRI 17,984 LUMENS 400,000 HRS B2-UO-G2	480	166	166
S1A	MCGRAW-EDISON GLNA-AF-03-LED-T4FT-BK GLNA-AF-01-LED-T2-BK W VALMONT IDYLINE CURVES c5-03-DCG-DCG-DCG-DCG	-	LED BY MANUFACTURER 4000K, 70 CRI 18,220 400,000 HRS B2-UO-G2 4,015 LUMENS B1-UO-G1	480	166	166
S2	MCGRAW-EDISON (2) GLNA-AF-03-LED-480-T4W-BK WIKW INDUSTRIES RAP-25-6-0-X-BLK-DM2180	-	LED BY MANUFACTURER 4000K, 70 CRI 35,968 LUMENS 40,000 HRS B2-UO-G2	480	332	332

GENERAL NOTES:

- REFER TO SHEET E000 FOR GENERAL NOTES.

KEYNOTES:

- REFER TO DETAIL 2, SHEET E100 FOR POLE BASE DETAIL.
- PARKING LOT LIGHTING CIRCUIT. ROUTE CONDUIT AND CIRCUIT TO BUILDING #1 ELECTRICAL ROOM. CIRCUIT SHALL BE CONTROLLED VIA LIGHTING CONTROL PANEL WITH PHOTOCELL ON/OFF CONTROL IN SEPARATE BUILDING PACKAGE. PROVIDE (2) #10 AWG WITH (1) #10 GROUND IN 1" CONDUIT FOR WIRING FROM POLE TO POLE AND POLE. WIRE SIZE FOR HOME RUN TO FUTURE PANELBOARD WILL BE DETERMINED TO ACCOUNT FOR VOLTAGE DROP.

**HENDERSON
ENGINEERS**
1801 MAIN STREET, SUITE 300
LENEXA, KS 66219
TEL 816.863.8700 FAX 816.863.8701
WWW.HENDERSONENGINEERS.COM
1850004412
MO. CORPORATE NUMBER: E-556D
12/31/22

CIVIL ENGINEERING
GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbasteam.com
MO Certificate of Authority # 000133
LANDSCAPE ARCHITECTURE
LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.land3studio.com
MO Certificate of Authority # 2008001860
LANDSCAPE ARCHITECTURE
Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 201904088
MEP ENGINEERING
HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.he-eng.com
Missouri Certificate of Authority # 000556
ARCHITECTURE
FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1550
www.finklevilliams.com
Missouri Certificate of Authority # F00453304

PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

1 FDP RESUBMITTAL 08.12.2022

PROFESSIONAL SEAL:



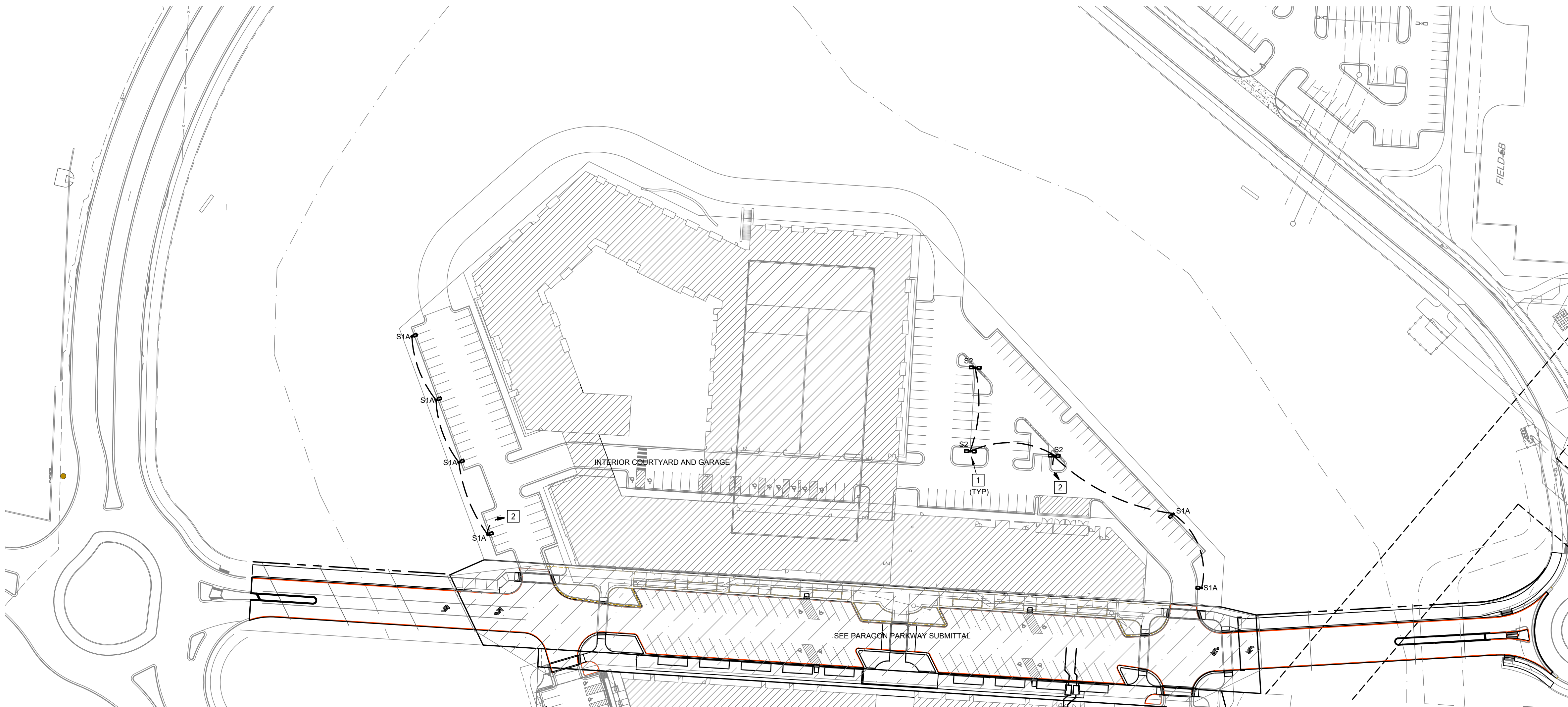
ANDREA C. MULVANY
LICENSE # PE-2013039892 08/11/2022
DRAWING TITLE:

**NORTH VILLAGE
SITE LIGHTING
PLAN**

JOB NO: 1249 SCALE:
DATE: 08.12.2022 DRAWN BY: MAP

SHEET NO:

E100



1 NORTH VILLAGE SITE LIGHTING PLAN
SCALE: 1" = 64'

J:\Kansas City\2018\1850004412 Paragon Star Development - Lee's Summit - MO\002 - Paragon Site Development\Elec\1850004412 NV E300 - Photometrics.dwg 8/11/2022 11:41:06 AM
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MARCUS PERRY 0.1821

LIGHT FIXTURE SCHEDULE							
TYPE	MANUFACTURER/MODEL #	NO.	LAMPS	VOLT	INPUT WATTS	INPUT VA	DESCRIPTION
S1	MCGRAW-EDISON GLNA-AF-03-LED-T4W-BK W/ KW INDUSTRIES RAP-25-6.0-X-BLK-DM10	-	LED BY MANUFACTURER 4000K, 70 CRI 17,984 LUMENS 400,000 HRS B2-UO-G2	480	166	166	LED PARKING LOT FIXTURE, PROVIDE WITH 25' ROUND ALUMINUM POLE ON 3' BASE.
S1A	MCGRAW-EDISON GLNA-AF-03-LED-T4FT-BK GLNA-AF-01-LED-T2-BK W/ VALMONT IDYLINE CURVES c5-03-DCG-DCG-DCG-DCG	-	LED BY MANUFACTURER 4000K, 70 CRI 18,220 400,000 HRS B2-UO-G2 4,015 LUMENS B1-UO-G1	480	166	166	LED PARKING LOT FIXTURE, PROVIDE WITH 25' ROUND TAPERED CURVED ALUMINUM POLE ON 3' BASE. LOWER LUMEN OUTPUT LIGHT FIXTURE MOUNTED ON OPPOSITE SIDE AT +10' FROM BASE OF POLE. HIGHER LUMEN OUTPUT LIGHT FIXTURE MOUNTED AT TOP OF POLE.
S2	MCGRAW-EDISON (2) GLNA-AF-03-LED-480-T4W-BK W/ KW INDUSTRIES RAP-25-6.0-X-BLK-DM2180	-	LED BY MANUFACTURER 4000K, 70 CRI 35,968 LUMENS 40,000 HRS B2-UO-G2	480	332	332	LED PARKING LOT FIXTURE, PROVIDE (2) HEADS PER POLE AT 180 DEGREES. PROVIDE WITH 25' ROUND ALUMINUM POLE ON 3' BASE.

DESCRIPTION

The Galleonaire LED luminaire features advanced thermally conductive polymer heatsinks and open frame endcaps for a sleek aesthetic with significant weight reduction. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/ULC Listed for wet locations.

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Open frame die-cast aluminum end caps provide structural support for the housing and heatsinks. Thermally conductive polymer heatsinks offer significant weight reduction while fully maintaining thermal management of the Light Squares. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Patented, high-efficiency injection molded AccuLED Optics technology. Optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 2700K, 3000K, 5000K and 6000K CCT.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 15kV of transient line surges. The Galleonaire LED luminaire is suitable for operation in -40°C to 40°C ambient environments. Light Squares are IP66 rated. Greater than 50% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA and 800mA drive currents (nominal).

Mounting
STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall

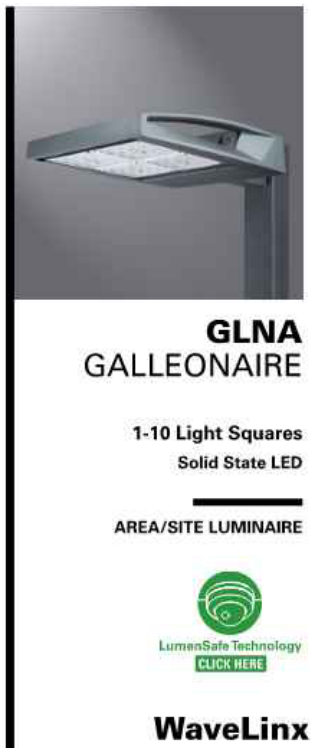
mount bracket option. QUICK MOUNT ARM Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is dark gray, non-paintable. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty
Five-year warranty.

McGraw-Edison

Catalog #	Type
Project	
Comments	Date
Prepared by	

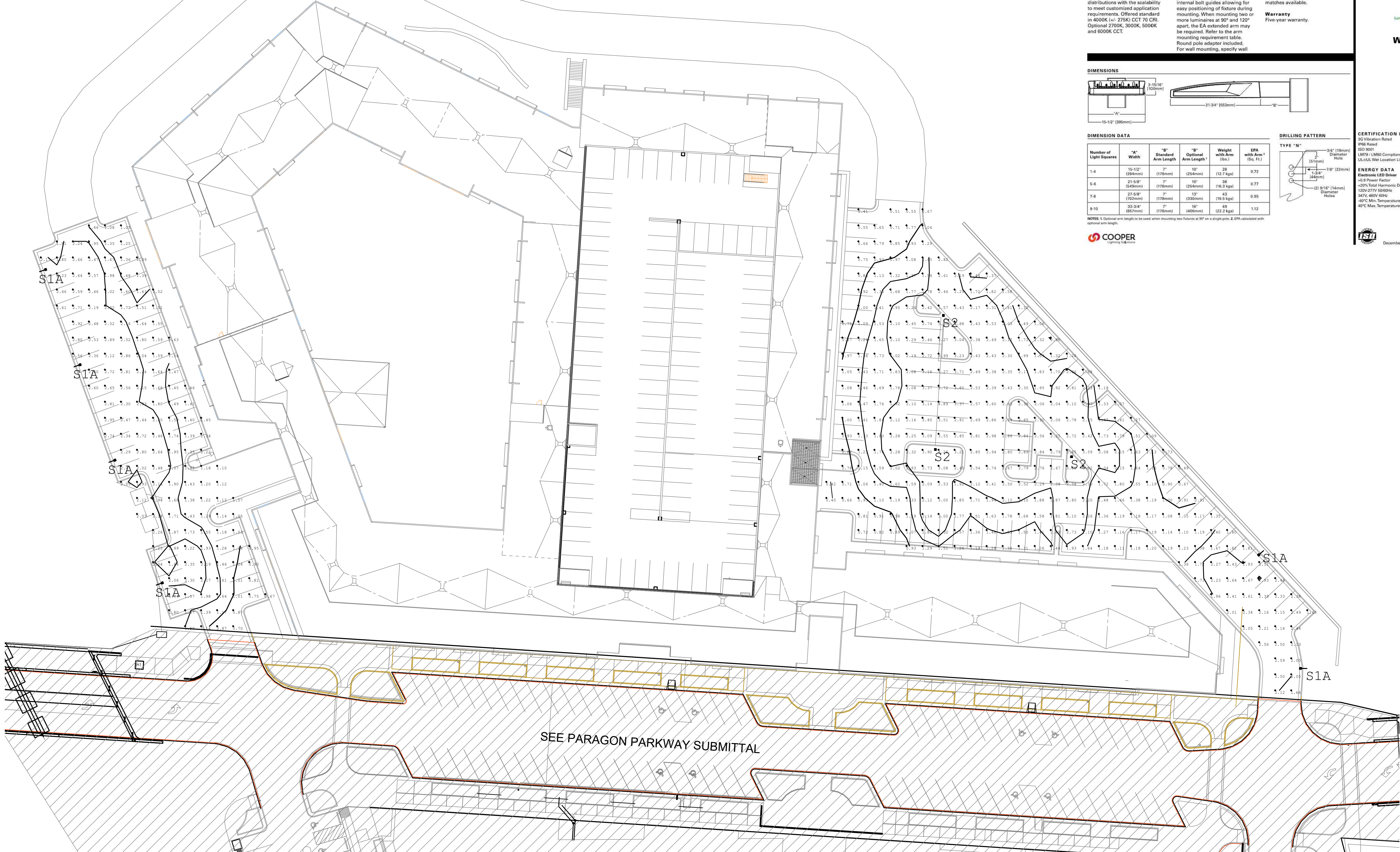


CERTIFICATION DATA

3G Vibration Rated
IP66 Rated
400,000 Hrs
LM79 (LM80) Compliant
UL/ULC Wet Location Listed

ENERGY DATA
Electronic LED Driver
+0.3 Power Factor
+20% Total Harmonic Distortion
120V/277V 50/60Hz
347V, 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature

TS00000000
December 17, 2019 9:41 AM



1 SITE LIGHTING PHOTOMETRICS
SCALE: 1" = 32'



HENDERSON ENGINEERS

1801 MAIN STREET, SUITE 300
KANSAS CITY, MO 64108
TEL 816.663.8700 FAX 816.663.8701
WWW.HENDERSONENGINEERS.COM

1850034412
MO CORPORATE NUMBER: E-556D
12/31/22

CIVIL ENGINEERING

GBA
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbateam.com
MO Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64083
www.land3studio.com
MO Certificate of Authority # 200801860

LANDSCAPE ARCHITECTURE

Hoerr Schaudt Landscape Architects
2105 Central Street, Suite 01C
Kansas City, MO 64108
913.510.0438
www.hoerschaudt.com
MO Certificate of Authority #201904088

MEP ENGINEERING

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.he-eng.com
Missouri Certificate of Authority # 000556

ARCHITECTURE

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.495.1500
www.finklewilliams.com
Missouri Certificate of Authority #F00453304

PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

1 FDP RESUBMITTAL 08.12.2022

PROFESSIONAL SEAL:



ANDREA C. MULVANY
LICENSE # PE-2013039892 08/11/2022
DRAWING TITLE:

SITE LIGHTING
PHOTOMETRICS

JOB NO: 1249

SCALE:

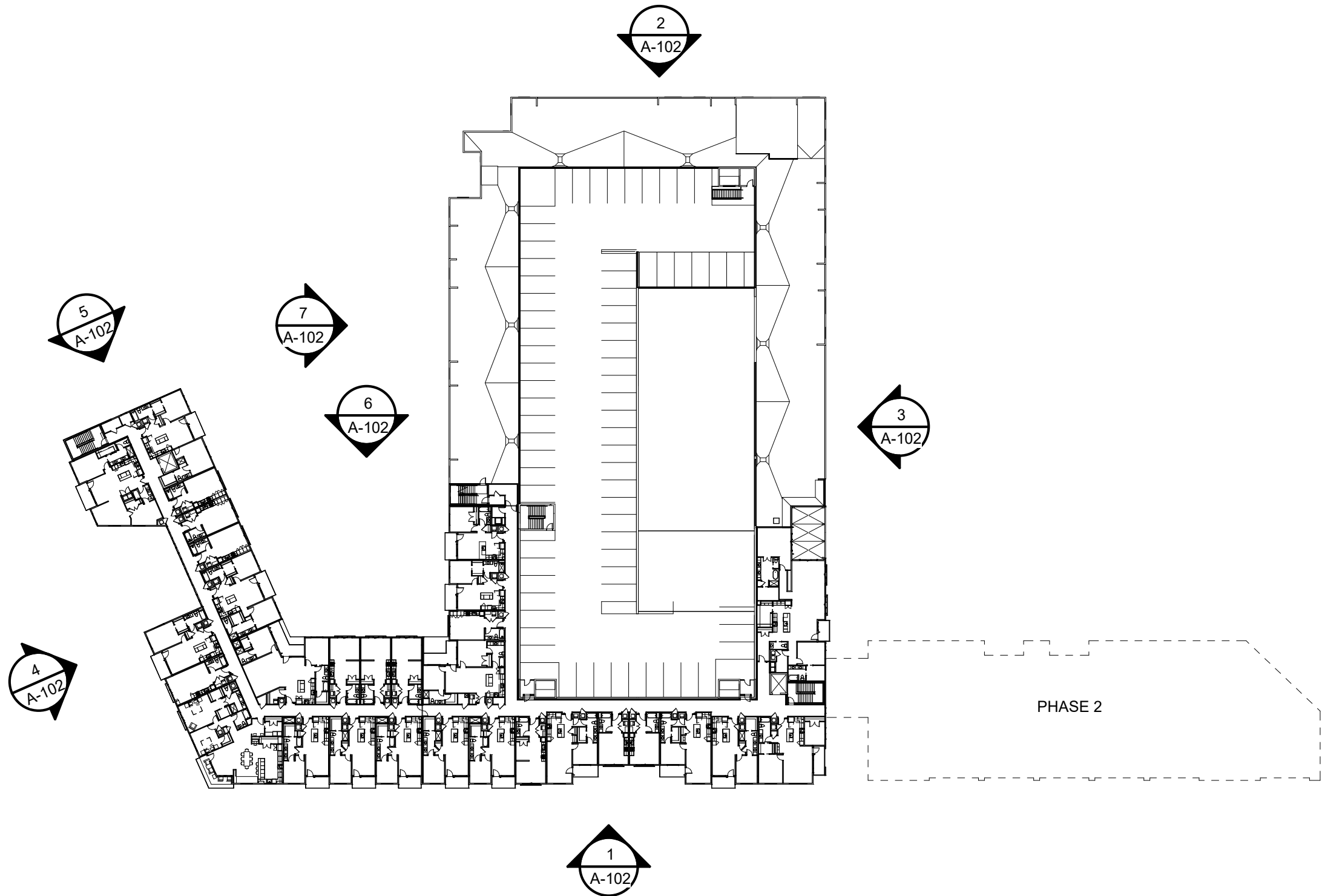
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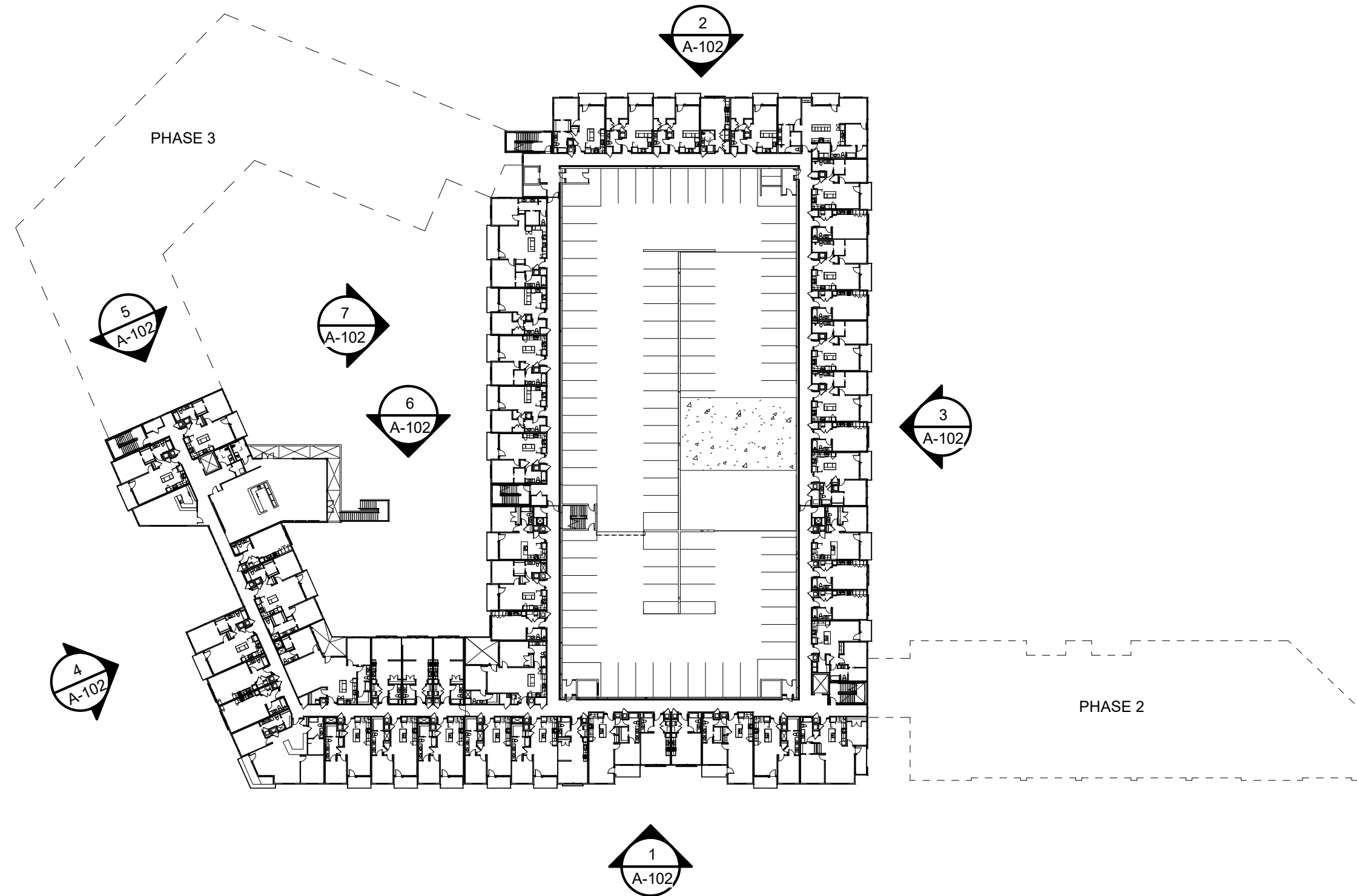
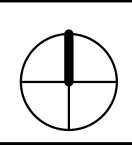
E300

HA:Paragon Star V7_Multifamily_Rev04_Families_v18LCK_24436_FDP-NVILLAGE.dwg 11/25/2015 9:09:24 AM EFOSTER 0.3849:1
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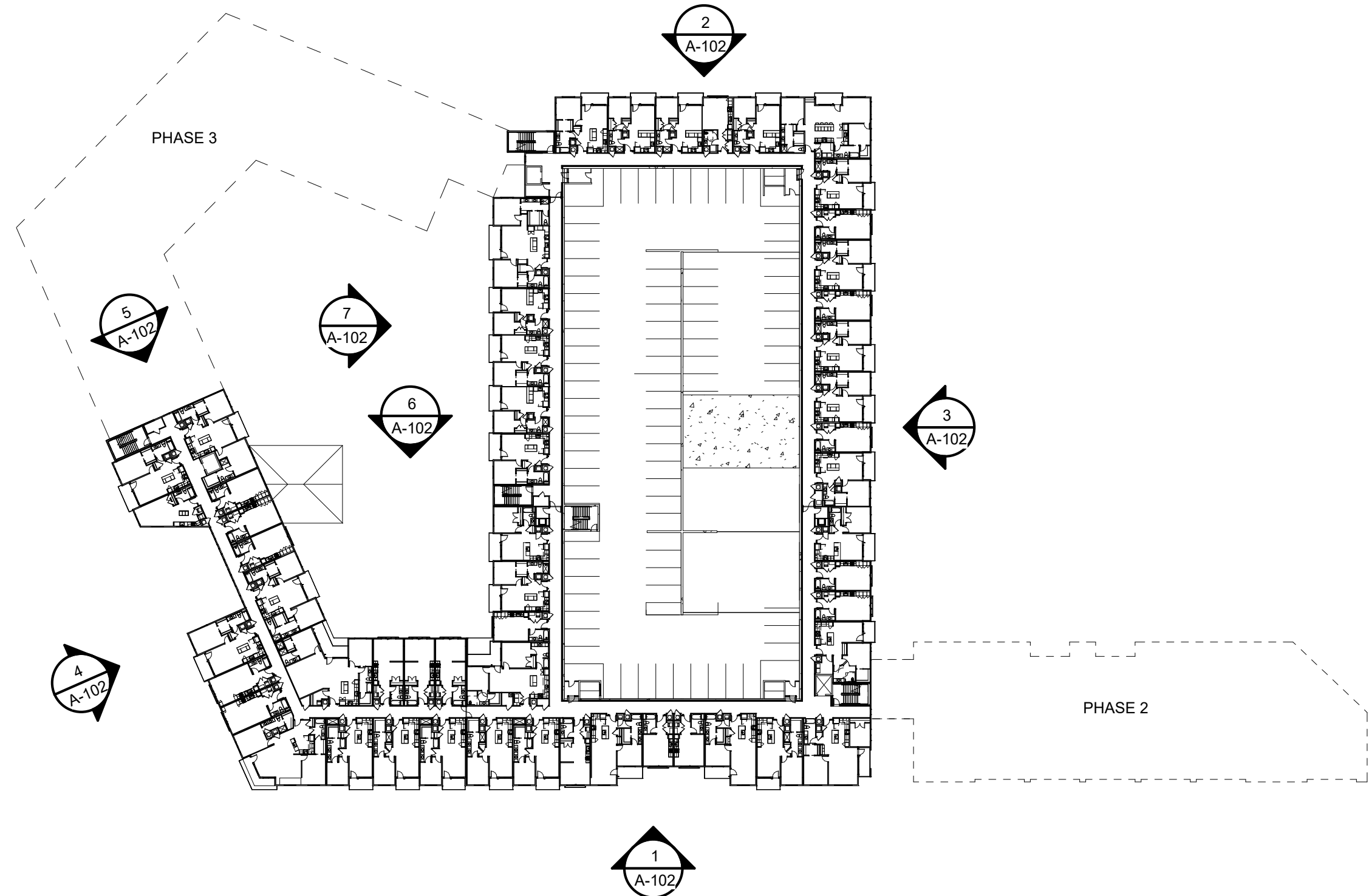
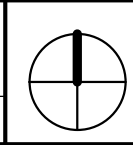
5 FLOOR PLAN - 5TH FLOOR

A-101 SCALE : 1" = 60'-0"



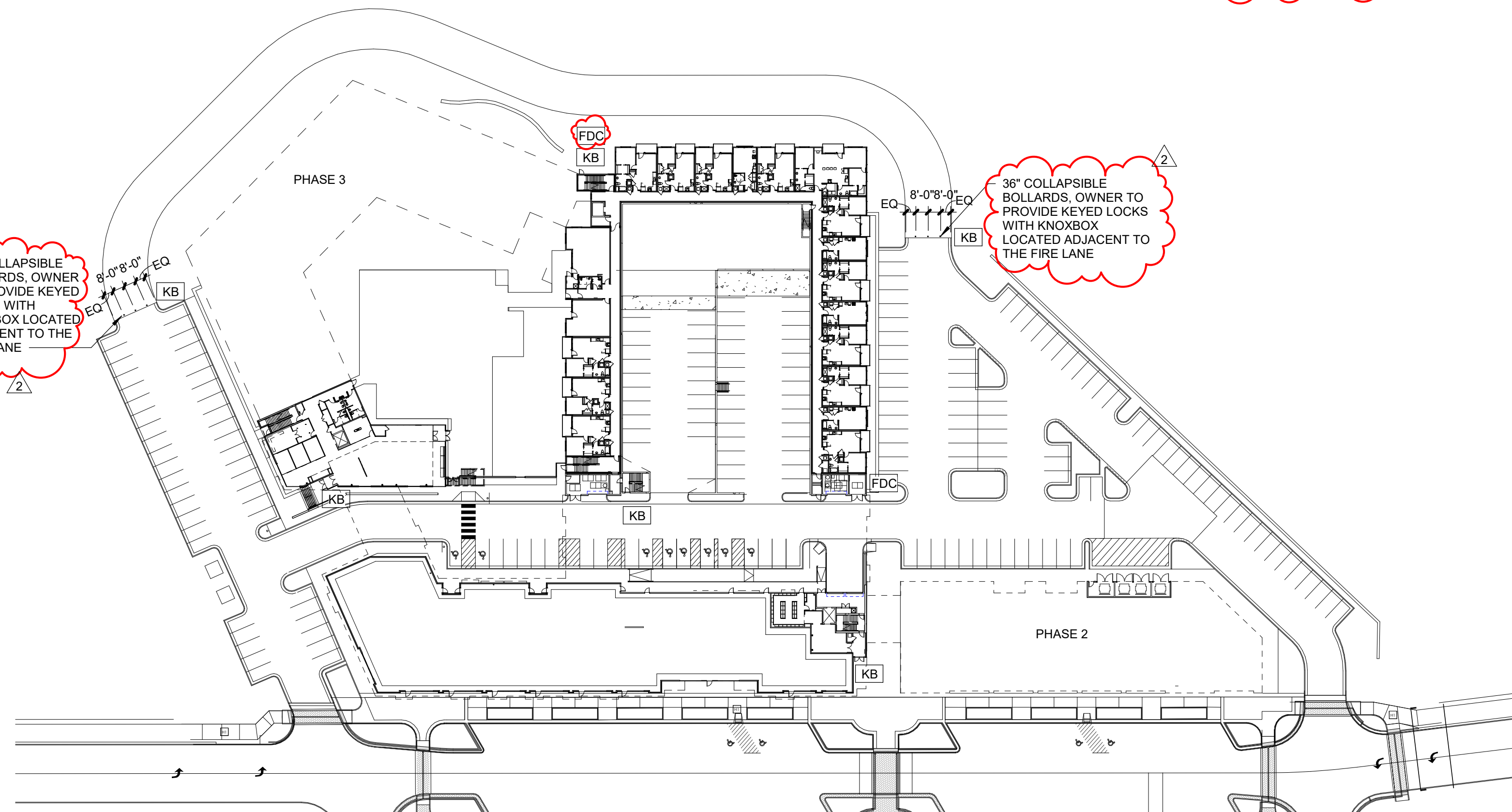
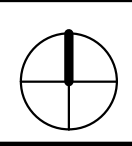
2 FLOOR PLAN - 2ND FLOOR

A-101 SCALE : 1" = 60'-0"



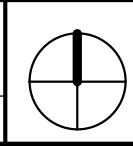
3 FLOOR PLAN - 3RD & 4TH FLOORS

A-101 SCALE : 1" = 60'-0"



1 FLOOR PLAN - 1ST FLOOR

A-101 SCALE : 1" = 60'-0"



8787 RENNER BLVD., SUITE 100
LENEXA, KANSAS 66219
913.498.1550
www.finklewilliams.com

CIVIL ENGINEERING

G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbafirm.com
MO Certificate of Authority # 000133

LANDSCAPE ARCHITECTURE

LANDS Studio, LLC
317 SE Main
Lee's Summit, MO 64063
www.landsstudio.com
MO Certificate of Authority # 2008001840

LANDSCAPE ARCHITECTURE

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
MO Certificate of Authority # 2019004088

MEP ENGINEERING

HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556

ARCHITECTURE

FINKLE + WILLIAMS Architecture
8787 Renner Boulevard, Suite 100
Lenexa, KS 66219
913.498.1550
www.finklewilliams.com
Missouri Certificate of Authority # F00453304

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ISSUE:

DATE	CITY COMMENTS
12/10/24	CITY COMMENTS
3/24/25	CITY COMMENTS

PROFESSIONAL SEAL:



DRAWING TITLE:

FLOOR PLANS

JOB NO: 1249

SCALE:

DATE: 11/05/24

DRAWN BY:

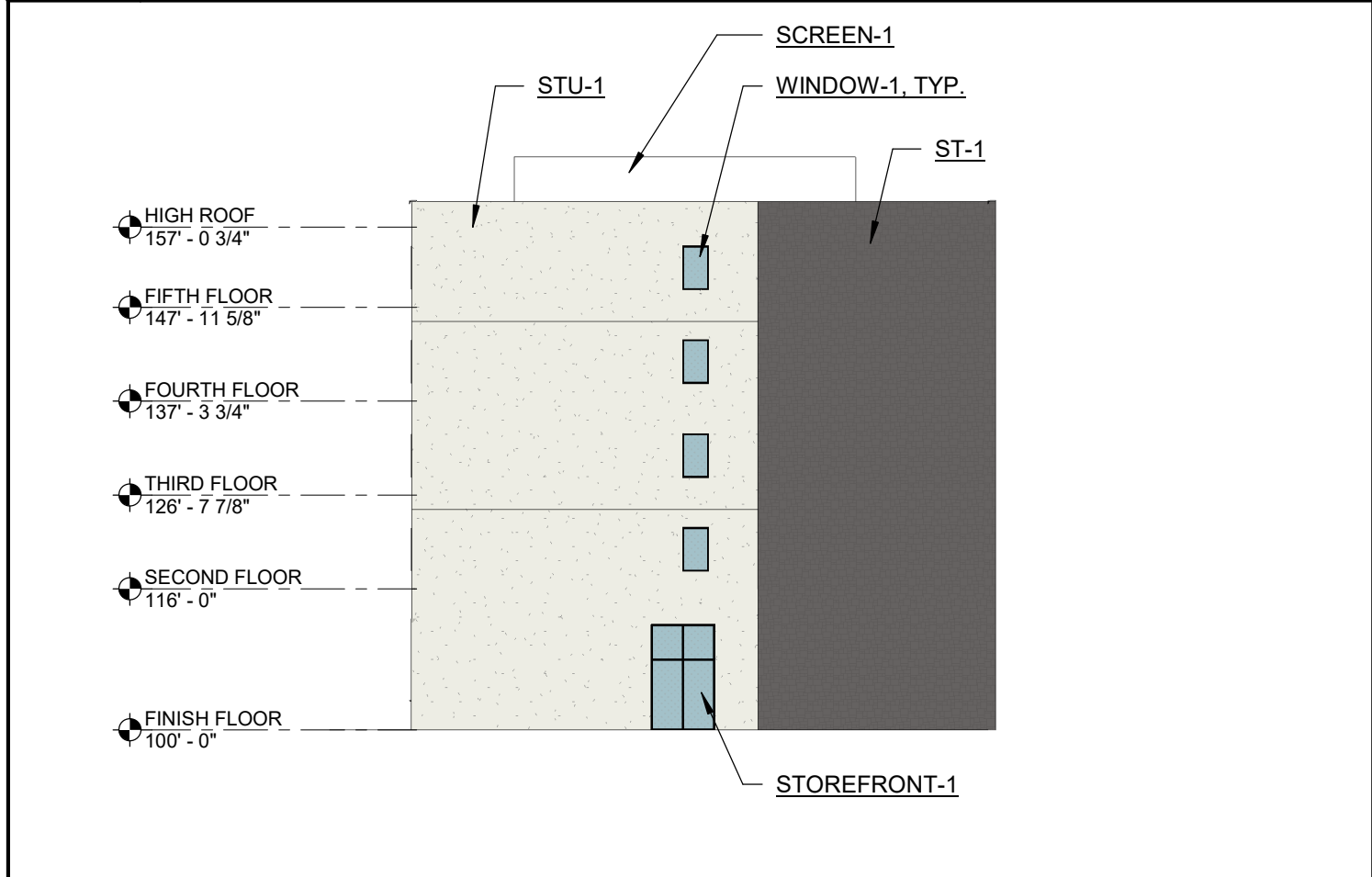
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A-101

HA-Paragon Star V7 Multifamily Revit Families-18LCK 24436_FDP-N-Village.dwg 11/25/2015 9:09:24 AM 0.38x21.11
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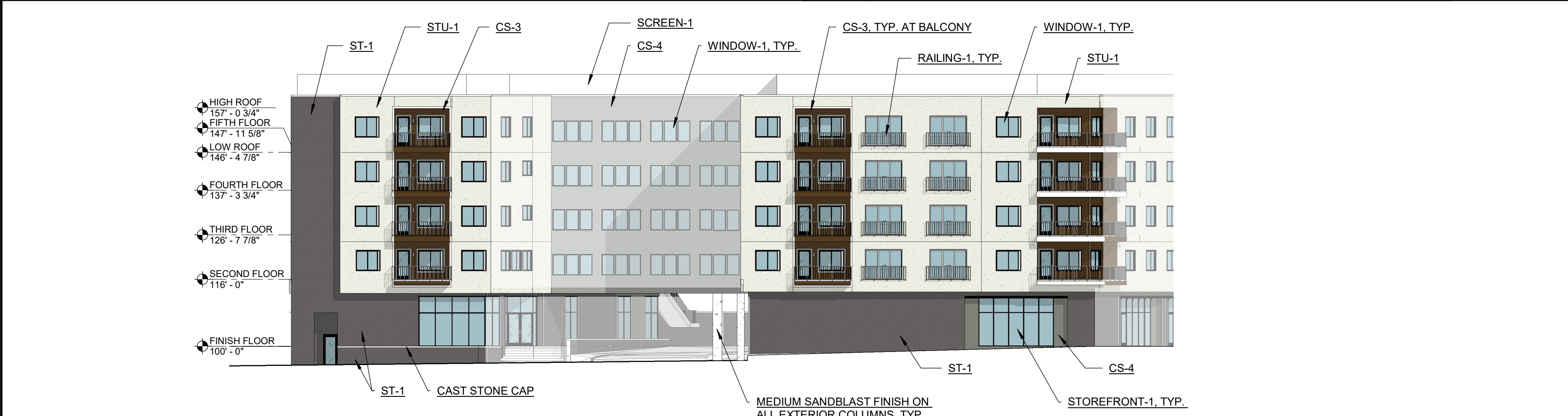
7 WEST ELEVATION-COURTAYRD
A-102 SCALE : 1" = 20'-0"



5 NORTHWEST ELEVATION
A-102 SCALE : 1" = 20'-0"



6 NORTH ELEVATION- COURTYARD
A-102 SCALE : 1" = 20'-0"



4 WEST ELEVATION
A-102 SCALE : 1" = 20'-0"



3 EAST ELEVATION
A-102 SCALE : 1" = 20'-0"



2 NORTH ELEVATION
A-102 SCALE : 1" = 20'-0"



1 SOUTH ELEVATION - PARAGON PARKWAY
A-102 SCALE : 1" = 20'-0"



FINKLE + WILLIAMS
ARCHITECTURE

8787 RENNER BLVD., SUITE 100
LENEXA, KANSAS 66219
913.498.1550
www.finklewilliams.com

CIVIL ENGINEERING
G&A
9801 Renner Boulevard
Lenexa, KS 66219
913.492.0400
www.gbaform.com
MO Certificate of Authority # 000133
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LANDS Studio, LLC
317 SE Main
Lee's Summit, MO 64633
www.landsstudio.com
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12/10/24 CITY COMMENTS

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DRAWING TITLE:

BUILDING
ELEVATIONS

JOB NO: 1249

SCALE:

DATE: 11/05/24

DRAWN BY:

SHEET NO:

A-102