



HCA - LEE’S SUMMIT MEDICAL CENTER ED EXPANSION

2100 SE BLUE PKWY LEE’S SUMMIT, MO 64063

DGL PROJECT NO	6406.24.0003	DATE:
HCA PROJECT NO.	0972400011	03/07/2025

HCA DESIGN MANAGER:	MIKAL MALIK
HCA CONSTRUCTION MANAGER:	ERIC SJODIN

FINAL DEVELOPMENT PACKAGE - 1ST REVIEW



Devenney Group Ltd., Architects

201 W. Indian School Road
Phoenix, Arizona 85013

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F: 602.943.7645

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DEVENNEY GROUP, LTD.
ARCHITECTS
ARCHITECTS
6900 E CAMELBACK RD, SUITE #500
SCOTTSDALE, AZ 85251
PROJECT MANAGER: KEVIN COOK602.541.7287

WSP
MECHANICAL, PLUMBING & ELECTRICAL ENGINEERS
300 WYANDOTTE, SUITE 200
KANSAS CITY, MO 64105
PROJECT MANAGER: MINDY WHISLER816.702.4247

INNER DESIGN STUDIO
INTERIOR DESIGNER
7103 BAKER’S BRIDGE AVE, SUITE 106
BRENTWOOD, TN 37027
PROJECT MANAGER: TEAL GIBSON615.321.0696 - EXT 113

STANELY D. LINDSEY AND
ASSOCIATES, LTD.
STRUCTURAL
750 OLD HICKORY BLVD, BUILDING 1 SUITE 175
BRENTWOOD, TN 37027
PRINICPAL-IN-CHARGE/PROJECT MANAGER: JASON PERRY615.963.3727

CATALYST DESIGN GROUP
CIVIL
5100 TENNESSEE AVE
NASHVILLE, TN 37209
PRINICPAL ENGINEER: JACK PARKER615.622.7220

JE DUNN
GENERAL CONTRACTOR
1001 LOCUST STREET
KANSAS CITY, MO 64106
PROJECT EXECUTIVE: BRADY MYERS816.292.8619

PROJECT GENERAL NOTES

1. GENERAL NOTES APPLY TO ALL DRAWINGS.
2. LABOR, MATERIALS, CONSTRUCTION METHODS AND WORK TO CONFORM TO THE LATEST GOVERNING CODES, RULES AND REGULATIONS FOR THIS PROJECT AND JURISDICTION. THE MOST STRINGENT SHALL PREVAIL.
3. VERIFY REQUIREMENTS OF ANY LOCAL ORDINANCES OR REGULATIONS. WORK MUST BE INSPECTED AND APPROVED BY AUTHORITY HAVING JURISDICTION.
4. VERIFY EXISTING SITE CONDITIONS PRIOR TO STARTING WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. VERIFY EXISTING CONDITIONS AND DISCREPANCIES PRIOR TO FABRICATION AND/OR CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE DRAWINGS WHICH AFFECT THE SCOPE AND INTENT OF THE WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS.
6. NO MEASUREMENTS OR DIMENSIONS ARE TO BE FIELD MEASURED AND VERIFIED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
7. FIELD VERIFY DIMENSIONS OF OPENINGS FOR DOORS AND WINDOWS PRIOR TO FABRICATION.
8. FIELD VERIFY SPACES REQUIRING CABINETS, COUNTERS, CASEWORK, ETC. PRIOR TO FABRICATION.
9. COORDINATE MECHANICAL, PLUMBING AND ELECTRICAL CHASE SIZES AND LOCATIONS.
10. GYPSUM BOARD TO BE 5/8" TYPE "X" FIRE RATED UNLESS NOTED OTHERWISE.
11. GYPSUM BOARD AT NON-RATED INTERIOR PARTITIONS TERMINATES 6" (MINIMUM) ABOVE THE HIGHEST ADJACENT CEILING UNLESS NOTED OTHERWISE.
12. SCRIBE GYPSUM BOARD TO IRREGULARITIES OF ADJACENT SURFACES, SEAL TIGHT AROUND PENETRATIONS.
13. SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES WITH APPROVED MATERIALS AND METHODS MEETING REQUIREMENTS OF AGENCY HAVING JURISDICTION.
14. NEW WORK TO ALIGN WITH AND MATCH EXISTING EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED.
15. WHEN EXISTING EQUIPMENT, FIXTURES, PIPING, DUCTS, ETC. ARE REMOVED SUCH REMOVAL SHALL INCLUDE ANCHORS, HANGERS, BASE, ETC. AFTER REMOVAL, PATCH JOINTS, WALLS AND CEILINGS TO MATCH ADJACENT SURFACES IN MATERIAL, TEXTURE AND COLOR.
16. PATCH EXISTING PARTITIONS AND WALLS WITHIN THE SCOPE OF THE PROJECT THAT ARE DENTED OR DAMAGED AND FILL ALL NAIL HOLES, ETC. TO PREPARE FOR FINISH AS PER FINISHES REQUIREMENTS.
17. PATCH AND REPAIR PARTITIONS, WALLS AND FLOORS CUT OUT FOR MECHANICAL, PLUMBING OR ELECTRICAL WORK.
18. PROVIDE GYPSUM BOARD BARRIER (FIRE RATED ASSEMBLIES WHERE REQUIRED) WITH ACCESS BETWEEN CONSTRUCTION AREA AND EXISTING AREA TO REMAIN, NO FUMES, DUST OR DEBRIS IS PERMITTED OUTSIDE OF THE CONSTRUCTION BARRIER.

- ## DISCLAIMER
- THESE COMPOSITION PLANS WERE DEVELOPED USING THE RECORD CONSTRUCTION PLANS PROVIDED BY THE CLIENT. RECORD DRAWINGS WERE UTILIZED TO GENERATE THE COMPOSITE PLANS. VERIFICATIONS WERE MADE FOR MINOR ALTERATION AND DEVIATIONS FROM THE ORIGINAL CONSTRUCTION PLANS. EXTENSIVE AS-BUILT VERIFICATION WAS NOT PERFORMED FOR THE COMPOSITE PLANS. THE COMPOSITE PLANS WERE UTILIZED FOR THE BASE PLANS FOR THE DEVELOPMENT OF THE MECHANICAL AND ELECTRICAL COMPOSITE PLANS. LIMITED FIELD VERIFICATION OF MECHANICAL AND ELECTRICAL SYSTEMS WERE PERFORMED TO DETERMINE LOCATIONS OF MAJOR COMPONENTS, FIRE PROTECTION AND LIFE SAFETY SYSTEMS

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<p align="center">PROJECT NAME HCA - LEE'S SUMMIT MEDICAL CENTER - EMERGENCY DEPARTMENT EXPANSION</p>				
<p align="center">ADDRESS 2100 SE BLUE PKWAY LEE'S SUMMIT, MO 64063</p>				
<p>BRIEF PROJECT DESCRIPTION</p> <p>THIS PROJECT INCLUDES THE FOLLOWING COMPONENT:</p> <p>•LEVEL 1: - NEW CONSTRUCTION AND RENOVATION TO EXPAND THE EXISTING ED DEPARTMENT WITH ADDITIONAL EXAM ROOMS AND STAFF SUPPORT SPACES. MAJOR AND MINOR RENOVATION OF EXISTING SPACES TO ALLOW FOR A COHESIVE LOOK THROUGH OUT THE EMERGENCY DEPARTMENT.</p>				
<p>PROJECT SCOPE AREAS (GROSS)</p> <table border="1"> <tr> <td>LEVEL 1: - EMERGENCY DEPARTMENT</td> </tr> <tr> <td>11,990 SF RENOVATION</td> </tr> </table>			LEVEL 1: - EMERGENCY DEPARTMENT	11,990 SF RENOVATION
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11,990 SF RENOVATION				
<p>TOTAL PROJECT AREA (GROSS) 11,990 (SF)</p>				
<p>CONSTRUCTION TYPE (HOSPITAL) I-A</p>				
<p align="center">Fire Sprinklers Full Per NFPA 13</p>				
<p align="center">Fire Alarms Provided</p>				
<p align="center">Emergency Lighting Provided</p>				
<p align="center">Fire Resistance Rating Requirements for Building Elements</p>				
<p align="center">Building Element TYPE I-A CONSTRUCTION (HOSPITAL)</p>				
Primary Structural Frame	3a,b	Hours		
Bearing walls: Exterior	3	Hours		
Bearing walls: Interior	3a	Hours		
Nonbearing walls and partitions: Exterior	Varies by distance from property line. See IBC table 602.			
Nonbearing walls and partitions: Interior	0	Hours		
Floor construction and associated secondary members	2	Hours		
Roof construction and associated secondary members	1 1/2b	Hours		
<p><i>a. Roof Supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting roof only. b. Except in Group F-1, H, M and S-1 occupancies, fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members. c. In all occupancies, heavy timber complying with section 2304.11 shall be allowed where 1-hour or less fire-resistance rating is required.</i></p>				
Governing Codes (Local)	<p>Life Safety, Building Code, & Accessibility Review - City of Lee's Summit, MO</p> <p>2018 International Building Code.</p> <p>2017 National Electrical Code.</p> <p>2018 International Mechanical Code.</p> <p>2018 International Plumbing Code.</p> <p>2018 Fuel Gas Code.</p> <p>2018 International Fire Code.</p>			
Governing Codes (Jurisdictional)	<p>ICC/ANSI A117.1-2009, Accessible and Usable Buildings and Facilities</p> <p>Missouri Dept. of Health and Senior Services</p> <p>2014 Guidelines for Design and Construction of Health Care Facilities</p> <p>The following 2012 National Fire Codes (NFPA)</p> <p>a. NFPA 70 National Electrical Code</p> <p>b. NFPA 101 Life Safety Code</p> <p>c. 2012 Supplements</p>			

		X = ISSUED SHEET		FINAL DEVELOPMENT PACKAGE - 1ST REVIEW - 03/07/2025
		R = REVISED SHEET		
		F = FOR REFERENCE ONLY		
		D = DELETED SHEET		
SHEET NUMBER		SHEET NAME		
DP-GENERAL INFORMATION				
DP-G1000	COVER SHEET			X
DP-G1001	SHEET INDEX, PROJECT INFORMATION, VICINITY MAP			X
CIVIL				
DP-C0.0	COVER SHEET			X
DP-C1.0	EXISTING CONDITIONS			X
DP-C2.0	GENERAL NOTES			X
DP-C3.0	DEMOLITION PLAN			X
DP-C4.0	LAYOUT PLAN			X
DP-C5.0	GRADING, DRAINAGE, & UTILITY PLAN			X
DP-C6.0	SITE DETAILS			X
LANDSCAPE				
DP-L1.0	LANDSCAPE PLAN			X
DP-L2.0	TREE CONSERVATION PLAN			X
DP-L3.0	LANDSCAPE DETAILS			X
ARCHITECTURAL SITE				
DP-A001	ARCHITECTURAL SITE PLAN			X
ARCHITECTURAL				
DP-AE201	EXTERIOR BUILDING ELEVATIONS			X
DP-MEP				
DP-E00-00	GENERAL INFORMATION - ELECTRICAL			X
DP-E01-01	SITE PLAN - PHOTOMETRICS			X
DP-E01-02	SITE PLAN - ELECTRICAL			X
DP-E08-01	SCHEDULES - ELECTRICAL			X

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRAR, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP LTD.

HCA - LEE'S SUMMIT MEDICAL
CENTER
2100 SE BLUE PKWY LEE'S
SUMMIT, MO 64063

[illegible]

SHEET INDEX, PROJECT
INFORMATION, VICINITY
MAP

DP-G1001

FINAL DEVELOPMENT PLAN

LEE'S SUMMIT ED EXPANSION

LEE'S SUMMIT, JACKSON COUNTY, MO

CATALYST PROJECT NO. 20240037
MARCH 7, 2025

SITE DATA

TAX MAP: 60
PARCEL ID.: 60-420-99-15-00-0-00-000
SITE ADDRESS: 2000 SHENANDOAH DRIVE
LEE'S SUMMIT, MO 64063
SITE ACREAGE: 24.48 AC. (1,066,349 FT²)
EXISTING ZONING: CP-2
PROPOSED USE: HOSPITAL

IMPERVIOUS SURFACE AREA
BUILDINGS: 0.06 AC. (2,804 FT²)
DRIVES/SIDEWALKS: 0.15 AC. (6,538 FT²)
TOTAL PROPOSED IMPERVIOUS AREA: 0.21 AC. (9,206 FT²)

PARKING REQUIRED:
PROPOSED ADDITION HAS NO IMPACT TO THE REQUIRED PARKING COUNT.

TOTAL PARKING REQUIRED:
114 BEDS X 1.8 SPACES = 206 SPACES REQUIRED
122,799 SF OF MOB'S X (1,000 SF X 5) = 614 SPACES REQUIRED
TOTAL REQUIRED: 820 SPACES REQUIRED
EXISTING PARKING: 825 (INCLUDING PL2024191 PROPOSED PARKING SPACES)

OWNER: MIDWEST DIVISION LSH LLC
ADDRESS: PO BOX 80610
INDIANAPOLIS, IN 46280

PROJECT REPRESENTATIVE:
ADDRESS: CATALYST DESIGN GROUP
1524 WILLIAMS DRIVE
MURFREESBORO, TN 37129
615-622-7200
CONTACT NAME: JACK PARKER
CONTACT E-MAIL ADDRESS: jparker@catalyst-dg.com

FEMA PANEL:
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 29095C0439G, 01/20/2017, COMMUNITY NAME: JACKSON COUNTY.

LEGAL DESCRIPTION:

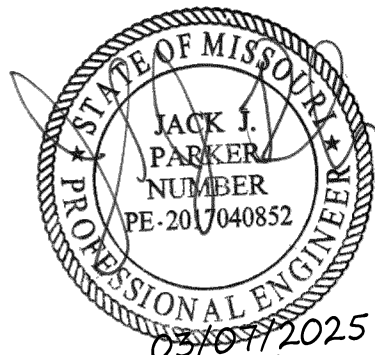
A TRACT OF LAND IN THE NORTHWEST QUARTER OD SECTION 36, TOWNSHIP 48, RANGE 32 IN THE CITY OD LEE'S SUMMIT, JACKSON COUNTY, MISSOURI MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 36; THENCE NORTH 86 DEGREES 19 MINUTES 41 SECONDS WEST, ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER OD SAID SECTION 36, 310.15 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF OLD MISSOURI HIGHWAY 50, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG A PROLONGATION OF THE LAST DESCRIBED COURSE, 225.49 FEET TO A PONT ON THE EASTERLY RIGHT-OF-WAY LINE OF RELOCATED MISSOURI HIGHWAY 50; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, HAVING A RADIAL BEARING OF NORTH 74 DEGREES 59 MINUTES 09 SECONDS WEST AND A RADIUS OF 1104.93 FEET AN ARC DISTANCE OF 140.47 FEET, SAID POINT BEING 150.00 FEET EASTERLY FROM STA. 11+26.6 ON SAID RELOCATED MISSOURI HIGHWAY 50, AS MEASURED PERPENDICULAR THERETO; THENCE NORTH 7 DEGREES 43 MINUTES 49 SECONDS EAST, PARALLEL WITH SAID RAMP BAND ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 180.60 FEET TO A POINT 150.00 FEET RIGHT OF STA 13+07.20 ON SAID RAMP 8, AS MEASURED PERPENDICULAR THERETO; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT, ALONG SAID EASTERLY RIGHT-OF-WAY LINE HAVING A RADIAL BEARING OF SOUTH 82 DEGREES 16 MINUTES 11 SECONDS EAST AND A RADIUS OF 613.94 FEET AN ARC DISTANCE OF 23.99 FEET TO A POINT 150.00 FEET RIGHT OF STA 13+37.05 ON SAID RAMP 8, AS MEASURED PERPENDICULAR THERETO; THENCE NORTH 77 DEGREES 07 MINUTES 26 SECONDS EAST, ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE ROUTE 470, 61.96 FEET (60.9 FEET RECORD) TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF OLD MISSOURI HIGHWAY 50, SAID POINT BEING 90.00 FEET RIGHT OF STA 540+50.00 AS MEASURED PERPENDICULAR THERETO; THENCE SOUTH 16 DEGREES 28 MINUTES 19 SECONDS EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 384.30 FEET TO THE TRUE POINT OF BEGINNING.

ARCHITECT

DEVENNEY GROUP LTD., ARCHITECTS
6900 EAST CAMELBACK ROAD, SUITE 500
SCOTTSDALE, AZ 85251
(602) 943-8950

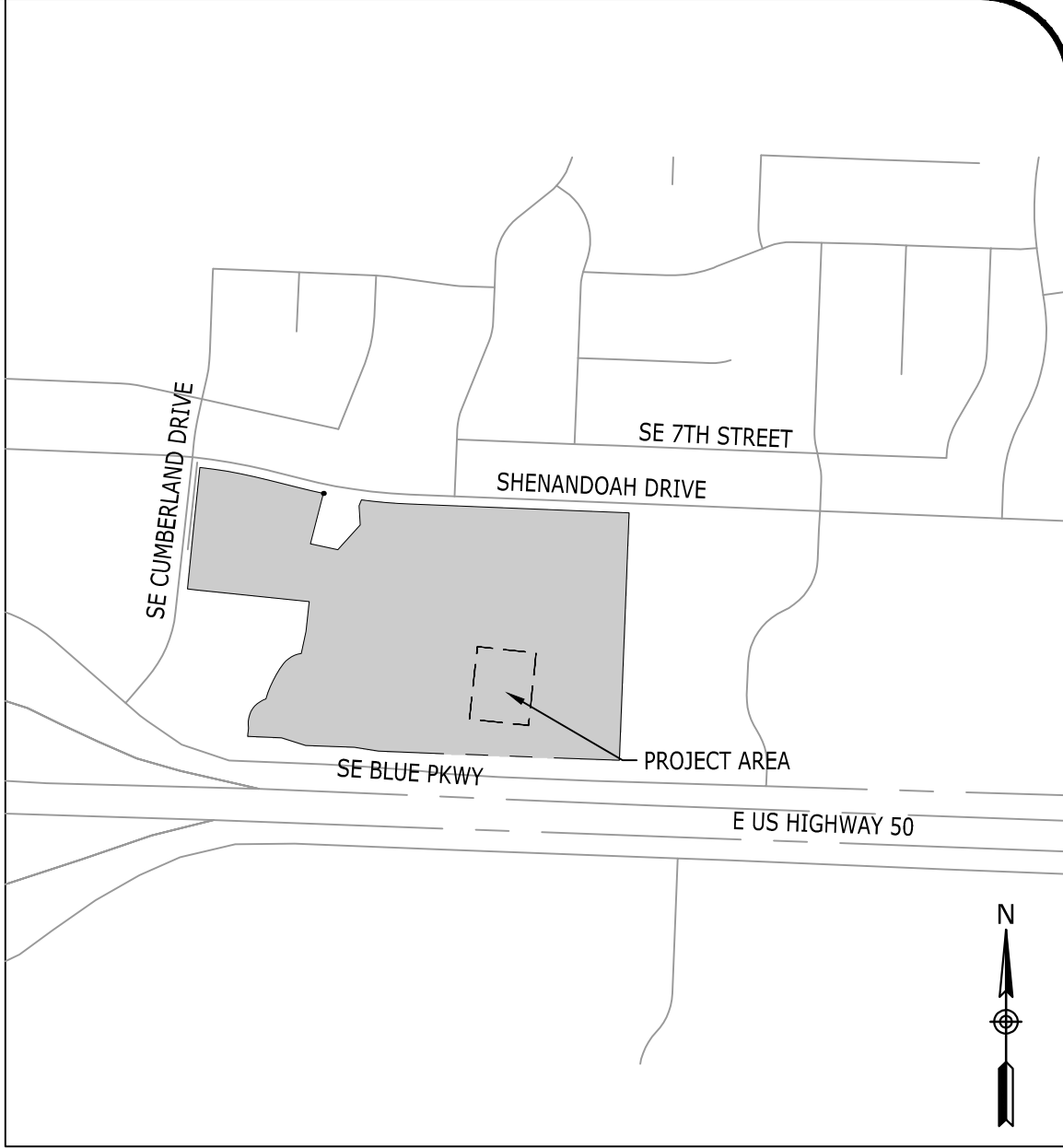
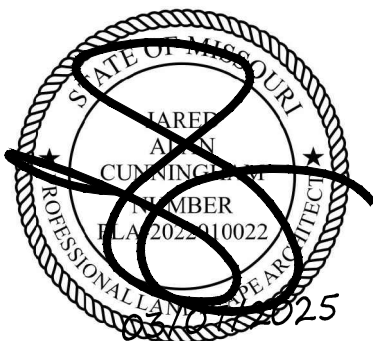
PREPARED FOR

LEE'S SUMMIT MEDICAL CENTER
2100 SE BLUE PKWY
LEE'S SUMMIT, MO 64063
(816) 282-5000



CIVIL ENGINEER/LANDSCAPE ARCHITECT

Catalyst
DESIGN GROUP
1524 WILLIAMS DRIVE SUITE 201
MURFREESBORO, TN 37129
(615) 622-7200



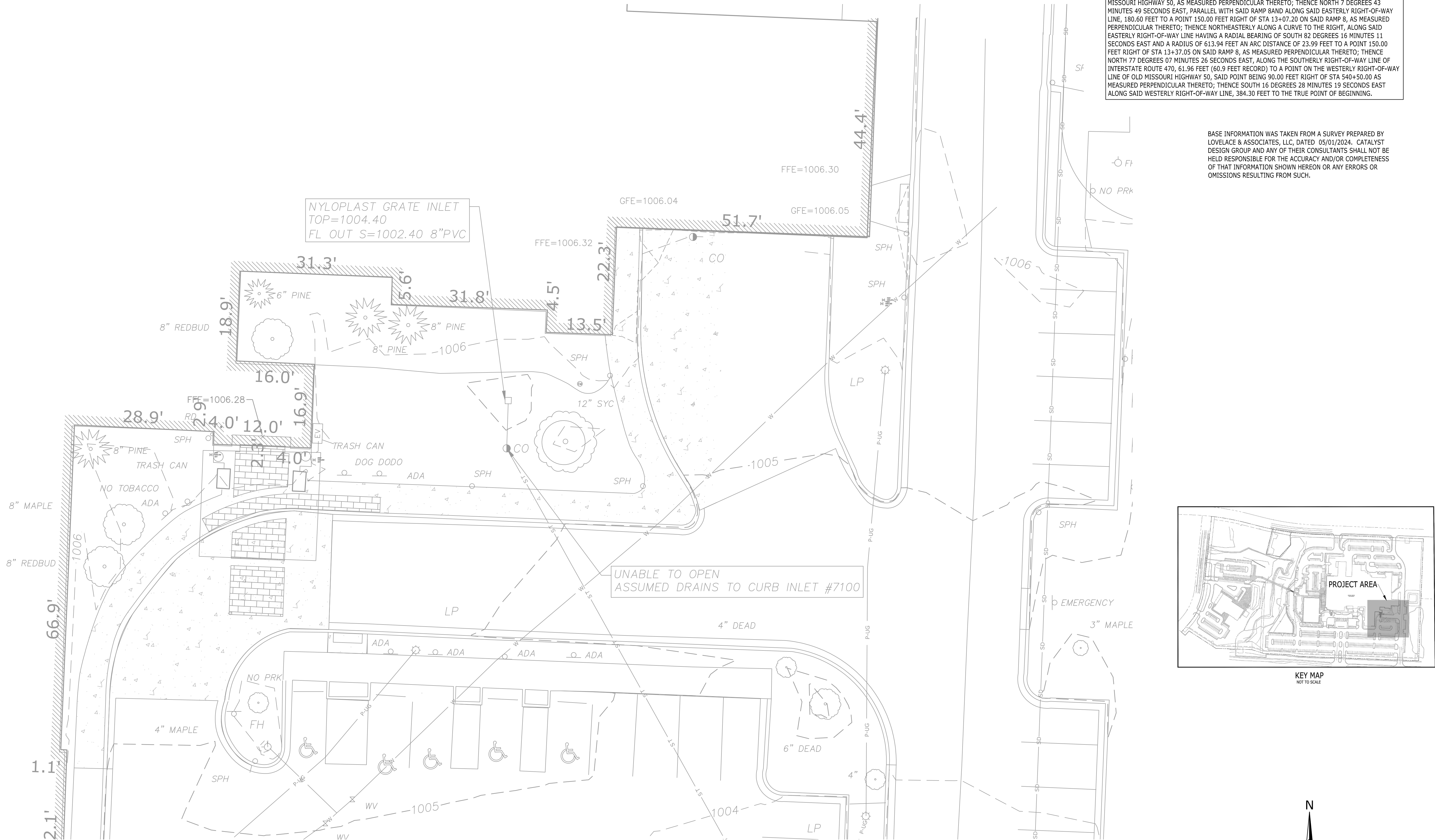
VICINITY MAP
NOT TO SCALE

Sheet List Table

Sheet Number	Sheet Title
DP-C0.0	COVER SHEET
DP-C1.0	EXISTING CONDITIONS
DP-C2.0	GENERAL NOTES
DP-C3.0	DEMOLITION PLAN
DP-C4.0	LAYOUT PLAN
DP-C5.0	GRADING, DRAINAGE, & UTILITY PLAN
DP-C6.0	SITE DETAILS
DP-C6.1	SITE DETAILS
DP-L1.0	LANDSCAPE PLAN
DP-L2.0	TREE CONSERVATION PLAN
DP-L3.0	LANDSCAPE DETAILS

COVER SHEET

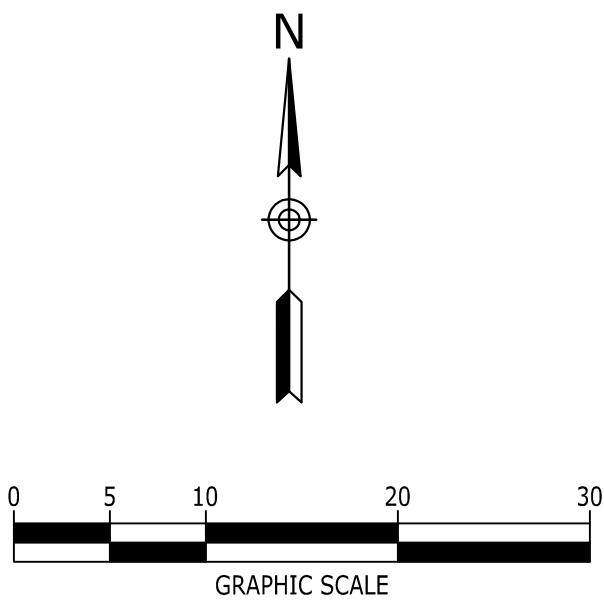
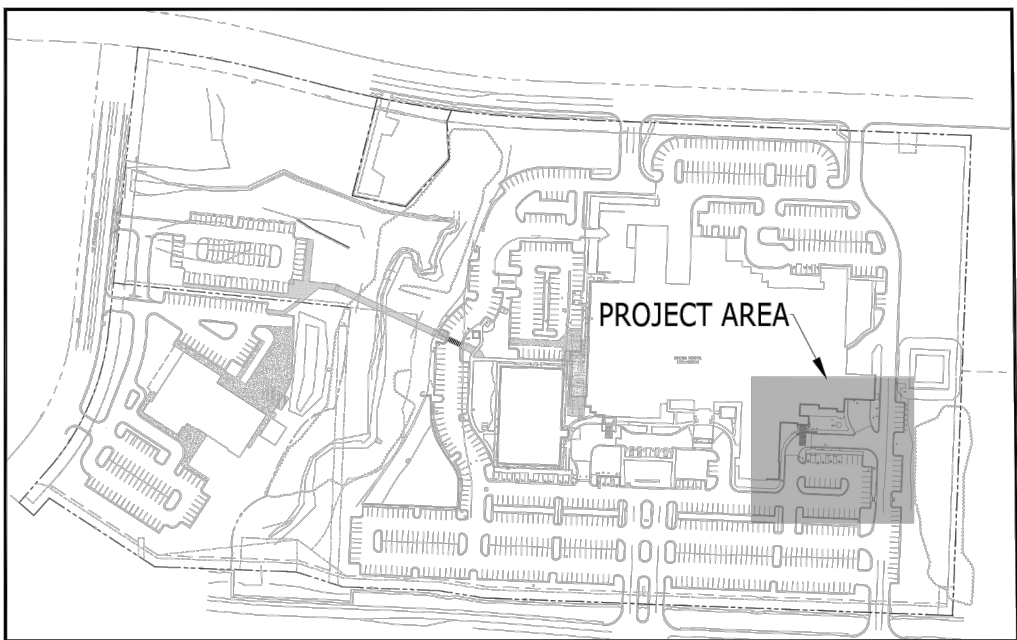
DP-C0.0



LEGAL DESCRIPTION:

A TRACT OF LAND IN THE NORTHWEST QUARTER 00 SECTION 36, TOWNSHIP 48, RANGE 32 IN THE CITY 00 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 36; THENCE NORTH 86 DEGREES 19 MINUTES 41 SECONDS WEST, ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER 00 SAID SECTION 36, 310.15 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF OLD MISSOURI HIGHWAY 50, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG A PROLONGATION OF THE LAST DESCRIBED COURSE, 225.49 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF RELOCATED MISSOURI HIGHWAY 50; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, HAVING A RADIAL BEARING OF NORTH 74 DEGREES 59 MINUTES 09 SECONDS WEST AND A RADIUS OF 1104.93 FEET AN ARC DISTANCE OF 140.47 FEET, SAID POINT BEING 150.00 FEET EASTERLY FROM STA. 11+26.6 ON SAID RELOCATED MISSOURI HIGHWAY 50, AS MEASURED PERPENDICULAR THERETO; THENCE NORTH 7 DEGREES 43 MINUTES 49 SECONDS EAST, PARALLEL WITH SAID RAMP BAND ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 180.60 FEET TO A POINT 150.00 FEET RIGHT OF STA. 13+07.20 ON SAID RAMP 8, AS MEASURED PERPENDICULAR THERETO; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT, ALONG SAID EASTERLY RIGHT-OF-WAY LINE HAVING A RADIAL BEARING OF SOUTH 82 DEGREES 16 MINUTES 11 SECONDS EAST AND A RADIUS OF 613.94 FEET AN ARC DISTANCE OF 23.99 FEET TO A POINT 150.00 FEET RIGHT OF STA 13+37.05 ON SAID RAMP 8, AS MEASURED PERPENDICULAR THERETO; THENCE NORTH 77 DEGREES 07 MINUTES 26 SECONDS EAST, ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE ROUTE 470, 61.96 FEET (60.9 FEET RECORD) TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF OLD MISSOURI HIGHWAY 50, SAID POINT BEING 90.00 FEET RIGHT OF STA 540+50.00 AS MEASURED PERPENDICULAR THERETO; THENCE SOUTH 16 DEGREES 28 MINUTES 19 SECONDS EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 384.30 FEET TO THE TRUE POINT OF BEGINNING.

BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY LOVEACE & ASSOCIATES, LLC, DATED 05/01/2024. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.



LEE'S SUMMIT
MEDICAL CENTER
2100 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
816-282-5000

FINAL DEVELOPMENT PLAN
HCA LEE'S SUMMIT
MEDICAL CENTER
2000 SE SHENANDOAH DRIVE
LEE'S SUMMIT, MO, 64063
JACKSON COUNTY

REVISIONS		
REV #	DESCRIPTION	DATE

DRAWING TITLE
EXISTING CONDITIONS

PROJECT NUMBER
20240037

DRAWING NUMBER
DP-C1.0

Devenney
GROUP

Devenney Group Ltd., Architects

6900 East Camelback Road
Suite 500
Scottsdale, AZ 85251

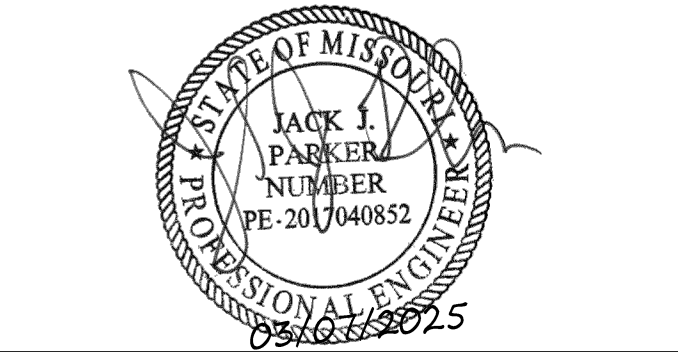
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Consultant:

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ED EXPANSION

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MEDICAL CENTER
2100 SE BLUE PKWY
LEE'S SUMMIT, MO 64063

AUTHORITY HAVING JURISDICTION:
CITY OF LEE'S SUMMIT BUILDING DEPT.
MISSOURI DHSS

FACILITY NUMBER:
097240009

AGENCY APPROVALS:
AGENCY

REVISIONS		
REV #	DESCRIPTION	DATE

DATE: 2024/12/13
SCALE: 1:10
DRAWN: AP
REVIEWED: JP
JOB NUMBER: 6406.24

EXISTING CONDITIONS

DP-C1.0



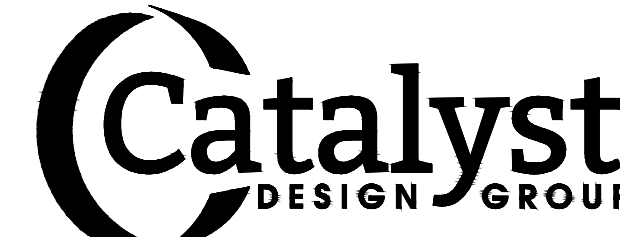
Devenney Group Ltd., Architects

6900 East Camelback Road
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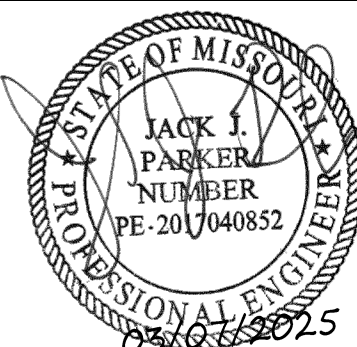
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ED EXPANSION

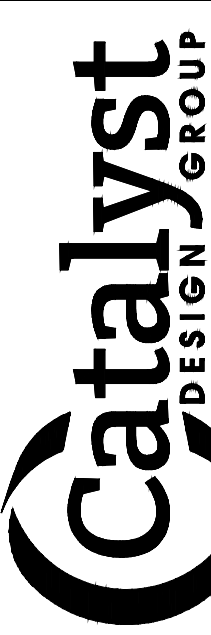
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LEE'S SUMMIT, MO 64063

AUTHORITY HAVING JURISDICTION:
CITY OF LEE'S SUMMIT BUILDING DEPT.
MISSOURI DHS

FACILITY NUMBER:
0972400009

AGENCY APPROVALS:
AGENCY

REVISIONS		
REV #	DESCRIPTION	DATE



LEE'S SUMMIT
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LEE'S SUMMIT, MO 64063
816-282-5000

FINAL DEVELOPMENT PLAN
HCA LEE'S SUMMIT
MEDICAL CENTER
2000 SE SHENANDOAH DRIVE
LEE'S SUMMIT, MO, 64063
JACKSON COUNTY

GENERAL NOTES

PROJECT NUMBER
20240037

DRAWING NUMBER

DP-C2.0

DATE: 2024/12/13
SCALE:
DRAWN: AP
REVIEWED: JP
JOB NUMBER: 640624

GENERAL NOTES

DP-C2.0

PROJECT NOTES

- SUBJECT PROPERTY SHOWN ON TAX MAP 60, AS PARCEL 60-420-99-15-00-0-00-000 OF THE JACKSON COUNTY, MO, TAX MAPS.
- SITE EXISTING CONDITIONS ARE TAKEN FROM SURVEY BY LOVELAKE & ASSOCIATES, LLC DATED 05/01/2024. CATALYST DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF OR ASSOCIATIONS FROM THE EXISTING CONDITIONS OR ERRORS RESULTING THEREFROM.
- CATALYST DESIGN GROUP RECOMMENDS THAT CONSTRUCTION STAKING BE PROVIDED BY A SURVEYOR LICENSED IN THE STATE OF THE PROJECT.
- THE CONTRACTOR SHALL REVIEW THE SITE CONDITIONS PRIOR TO CONSTRUCTION AND MAKE THE ENGINEER AWARE OF ANY INCONSISTENCIES BETWEEN THE SITE CONDITIONS AND EXISTING CONDITIONS PLAN.
- DIMENSIONS PROVIDED ON THE PLAN ARE TAKEN TO THE FACE OF CURBS, EDGE OF CONCRETE OR EDGE OF BUILDING, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS PRIOR TO INITIATING CONSTRUCTION. THE CONTRACTOR SHALL ADHERE TO PERMIT REQUIREMENTS AS WORK PROCEEDS.
- SITE CONTROL SHALL BE BASED OFF THE REFERENCE POINTS PROVIDED. SEE THE ARCHITECTURAL PLANS FOR LAYOUT CONTROL OF BUILDING ADDITIONS.
- THE CONTRACTOR SHALL SUBMIT A REQUEST FOR UTILITY LOCATION (CALL 811) AND HAVE THE UTILITIES MARKED BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL BE FAMILIAR WITH THE UTILITY LOCATIONS, PROTECT UTILITIES WHICH REMAIN IN SERVICE, AND REPAIR ANY DAMAGE TO UTILITY SYSTEMS PER THE UTILITY PROVIDER REQUIREMENTS.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO PUBLIC ROADWAYS, CURBS AND SIDEWALKS IN ACCORDANCE WITH THE LOCAL REQUIREMENTS AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCIES AT CONTRACTOR'S EXPENSE.
- IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
- ON SITE ASPHALT PAVEMENT MATERIALS SHALL BE PER LOCAL AUTHORITY SPECIFICATIONS, STATE SPECIFICATIONS, AND GEOTECHNICAL REPORT RECOMMENDATIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS AND PRECAUTIONS.
- UNLESS OTHERWISE NOTED, SUBMIT SHOP DRAWINGS OF ALL FABRICATED MATERIALS FOR REVIEW. DESIGN DRAWINGS SHALL NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS. THE ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH LOCAL/STATE SPECIFICATIONS. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS AND OBTAIN ENGINEER'S WRITTEN APPROVAL OF THE DEVIATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES AND/OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF MO, WHOSE SERVICES ARE ENGAGED AND PAID FOR BY THE CONTRACTOR.
- ALL SPECIFICATIONS, DOCUMENTS, AND DETAILS REFERENCED SHALL BE THE LATEST REVISION AS APPLICABLE AT THE TIME OF PERMIT APPROVAL.
- CONTRACTOR SHALL REPAIR ALL OFF-SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION THAN AT THE START OF CONSTRUCTION.

DEMOLITION NOTES

- THE CONTRACTOR SHALL REQUEST UTILITY LOCATIONS (811) AND VERIFY LOCATIONS OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR IF DAMAGED PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED TO ACCOMPLISH THE PROPOSED WORK.
- THE CONTRACTOR SHALL PROTECT PROPERTY BOUNDARY PINS AND SURVEY CONTROL POINTS FROM DAMAGE.
- THE CONTRACTOR SHALL COMPLY WITH EROSION PREVENTION AND SEDIMENT CONTROL REQUIREMENTS AND INSTALL NECESSARY EROSION PREVENTION AND SEDIMENT CONTROL MEASURES (SWPPP) DEVELOPED FOR THE SITE, AS WELL AS LOCAL AND STATE REQUIREMENTS. THE CONTRACTOR SHALL ALSO ENSURE WATER SPRINKLING OR OTHER MEASURES TO CONTROL DUST AND OTHER AIRBORNE DEBRIS RESULTING FROM DEMOLITION.
- TREE PROTECTION MEASURES SPECIFIED IN THESE PLANS SHALL BE INSTALLED PRIOR TO BEGINNING DEMOLITION OPERATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR DEMOLITION AND TREE REMOVAL.
- THE CONTRACTOR MAY BE REQUIRED TO PHASE THE DEMOLITION TO MAINTAIN EXISTING UTILITY SERVICES, PROPER DRAINAGE OR ACCESS TO THE SITE OR ADJOINING SITES. THE CONTRACTOR SHALL MINIMIZE THE DISRUPTION OF EXISTING ACTIVE UTILITIES AND TRAFFIC PATTERNS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE AND PROVIDE A DEMOLITION PHASING SCHEDULE WHERE REQUESTED.
- UTILITY AND STORM SEWER LINES SHOULD NOT BE DEMOLISHED UNTIL NEW OR RELOCATED LINES HAVE BEEN INSTALLED AND ARE OPERATIONAL.
- THE CONTRACTOR SHALL INCLUDE IN THEIR COST ANY INSULATION VALVES OR TEMPORARY MEASURES REQUIRED TO ACCOMPLISH RELOCATIONS AND DETENTION UTILITIES.
- PAYMENTS, SIDEWALKS, CURBS AND OTHER HARD SURFACES SHALL BE EVENLY SAW CUT AT THE LIMITS OF REMOVAL TO PROVIDE A CLEAN EDGE. COORDINATE LIMITS OF REMOVAL WITH PROPOSED CONSTRUCTION INCLUDING GRADING, UTILITY INSTALLATION, PROPOSED LAYOUT, ETC.
- EXISTING SITE FEATURES NOTED AS BEING ABANDONED MAY BE ABANDONED INPLACE IF THE ITEMS ARE LOCATED MORE THAN 24" BELOW FINAL SUBGRADE (TO TOP OF PIPE OR OTHER FEATURE) AND NOT LOCATED WITHIN PROPOSED BUILDING FOOTPRINTS. ENDS OF PIPES ABANDONED SHALL BE SEALED WITH CONCRETE.
- ALL DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S COST UNLESS NOTED TO BE PROVIDED TO THE OWNER.
- CAVITIES LEFT BY DEMOLITION SHALL BE PROPERLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- WHERE EXISTING IRRIGATION LINES ARE LOCATED WITHIN THE AREA OF CONSTRUCTION, THEY SHALL BE PROTECTED OR RE-ROUTED AND CONNECTED TO MAINTAIN OPERATION OF LANDSCAPE AREAS WHICH REMAIN DURING CONSTRUCTION. COORDINATE TEMPORARY MEASURES WITH DESIGN OF NEW SYSTEM AND REMOVE TEMPORARY MEASURES WHEN NO LONGER NEEDED.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE MEANS AND METHODS FOR ALL ON-SITE AND OFF-SITE Dewatering REQUIREMENTS AND PERMIT THROUGH THE NECESSARY LOCAL AND STATE AGENCIES AS NEEDED.
- IF AN EXISTING WELL IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, CONTRACTOR TO INFORM ENGINEER AND ABANDON/REMOVE ANY EXISTING WELLS PER LOCAL/STATE STANDARDS AND SPECIFICATIONS.

ADA ACCESSIBILITY NOTES

- CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY ARE TO BE CONSTRUCTED BASED ON LOCAL AUTHORITY'S STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. WHERE THERE ARE NO LOCAL STANDARDS, THE CONTRACTOR SHALL CONSTRUCT CURB RAMPS ACCORDING TO THE CURRENT VERSION OF THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), PUBLISHED BY THE UNITED STATES ACCESS BOARD.
- PRIVATE CURB RAMPS ON THE SITE OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS AND/OR FAIR HOUSING ACT (FHA), WHERE APPLICABLE.
- BEFORE PLACING PAVEMENT OR SIDEWALKS, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM ACCESSIBLE DOORS, ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. MAXIMUM GRADES WITHIN ACCESSIBLE PARKING AND ACCESS AISLES SHALL BE 2% IN ANY DIRECTION. WITHIN ACCESSIBLE PATHS MAXIMUM SLOPES FOR SIDEWALKS SHALL BE LONGITUUDINALLY MAXIMUM 5%, FOR RAMPS SHALL BE LONGITUUDINALLY MAXIMUM 8.33% (1:12), AND CROSS SLOPES SHALL BE MAXIMUM 2%. TURNING MOVEMENTS SHALL BE 5% MAXIMUM 2% IN ANY DIRECTION.
- CURB RAMPS SHALL HAVE A LANDING AT THE TOP MATCHING THE WIDTH OF THE RAMP AND A MINIMUM DEPTH OF 48". RAMPS SHALL HAVE A 5' X 5' LANDING AT THE TOP AND BOTTOM OF THE RAMP. ALL CURB/ACCESSIBLE RAMP DESIGNS SHALL CONFORM TO ACCESSIBLE STANDARDS OR LOCAL BUILDING CODE STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR TO FIELD VERIFY SLOPE MEASUREMENTS ON FINISHED GRADE, SUBGRADE, AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY CONFORMANCE TO ADA SLOPES. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAYING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED, NO CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.
- WHERE CONSTRUCTION IS TAKING PLACE WITHIN AN EXISTING DEVELOPMENT OR FACILITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN AN ACCESSIBLE PATH PER ADA STANDARD SPECIFICATIONS THROUGHOUT THE CONSTRUCTION PROCESS AS NEEDED.

TREE PROTECTION NOTES

- INSTALL TREE PROTECTION PRIOR TO DEMOLITION OR EARTH MOVING OPERATIONS ON SITE IN ACCORDANCE WITH THE DETAILS AND NOTES PROVIDED IN THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL STAKE THE LIMITS OF CONSTRUCTION TO ENSURE THE TREE PROTECTION MEASURES ARE INSTALLED IN THE PROPER LOCATIONS.
- THE TREE PROTECTION MEASURES SHALL CONSIST OF 48" TALL CHAIN LINK FENCE WITH STEEL TEE POSTS OR ORANGE CONSTRUCTION BARRICADE FENCE. PRIOR TO CONSTRUCTION OPERATIONS, TREE PROTECTION FENCE INSTALLATION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND GOVERNING AUTHORITY IF REQUIRED.
- ANY GRADING OR EXCAVATION WITHIN THE PROTECTED ROOT ZONE SHALL BE ACCOMPLISHED BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE DAMAGE.
- ROOTS EXPOSED DURING CONSTRUCTION OPERATIONS SHALL BE PRUNED FLUSH WITH THE GROUND AND COVERED WITH BACKFILL AS SOON AS POSSIBLE. IF CONSTRUCTION OPERATIONS WILL DELAY THE PLACEMENT OF BACKFILL THE ROOTS SHALL BE TEMPORARILY COVERED WITH MULCH AND WATERED UNTIL BACKFILL OPERATIONS CAN BE ACCOMPLISHED.
- DO NOT STORE EQUIPMENT OR MATERIALS WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.
- WHEN GRADING OR TRENCING OPERATIONS ARE DIRECTED WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, THE ROOTS SHALL FIRST BE CUT USING A "DITCH WITCH" OR SIMILAR EQUIPMENT TO PROVIDE A CLEAN CUT OF THE ROOTS AT THE LIMIT OF DISTURBANCE. PRIOR TO USE OF OTHER GRADING MACHINERY, ONCE THE ROOTS HAVE BEEN CUT AS NOTED ALL EQUIPMENT SHALL BE RESTRICTED FROM ENTERING THE AREA BETWEEN THE CUT LINE AND TREE TRUNK. TRENCHES SHALL BE BACKFILLED AND TAMPED TO MINIMIZE SETTLEMENT.
- BARRICADES SHALL BE INSTALLED WITHIN THE LIMITS OF PROPOSED PAVEMENTS WHEN EXTENDING UNDER THE DRIP LINE OF TREES TO BE PRESERVED UNTIL OPERATIONS TO CONSTRUCT THE PAVED AREAS ARE INITIATED. THEN THE BARRICADES CAN BE RELOCATED TO PROVIDE THE MINIMUM AREA NECESSARY FOR CONSTRUCTION OF THE PROPOSED WORK AND SHALL REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE.
- PROVIDE WATERING OF SPECIMEN TREES DURING CONSTRUCTION DURING PERIODS OF DROUGHT EXCEEDING SEVEN DAYS. EVENLY DISTRIBUTE WATER OVER THE ENTIRE ROOT ZONE.
- ROOT ZONE AREAS OF TREES THAT HAVE BEEN COMPACTED DUE TO CONSTRUCTION ACTIVITIES SHALL BE AERATED AT THE DIRECTION OF A QUALIFIED ARBORIST.
- HOSE DOWN FOLIAGE OF SPECIMEN TREES SUBJECT TO HEAVY ACCUMULATION OF DUST FROM CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE GRASS TO LESS THAN 12" IN HEIGHT WITHIN THE AREAS OF TREE PROTECTION DURING THE CONSTRUCTION PERIOD. DO NOT USE HERBICIDES TO CONTROL VEGETATION WITHIN THE TREE PROTECTION AREA.
- REMOVAL OF TREE PROTECTION FENCING SHALL NOT OCCUR UNTIL APPROVED BY THE GOVERNING AUTHORITY WHERE REQUIRED, OR THE OWNER'S REPRESENTATIVE. ALL REMAINTS OF THE FENCING SHALL BE REMOVED AND RESTORATION OF THE AREAS SHALL BE COMPLETED.

EROSION CONTROL NOTES

- EROSION PREVENTION AND SEDIMENT CONTROL (EPPSC) MEASURES SHALL BE INSTALLED PER LOCAL AND STATE REQUIREMENTS PRIOR TO ANY EARTH MOVING ACTIVITIES.
- PROVIDE CONSTRUCTION ENTRANCE/EXIT AS DETAILED ON THE PLANS AND PER LOCAL REQUIREMENTS. MAINTAIN ENTRANCE/EXIT THROUGHOUT CONSTRUCTION AND MAINTAIN THE PUBLIC ROADWAY FREE OF TRACKED MUD AND DIRT. EPPSC MEASURES SHALL BE INSTALLED AND INSPECTED BY LOCAL OFFICIALS (IF REQUIRED) PRIOR TO BEGINNING EARTH MOVING OPERATIONS. EPPSC MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- LOCATION OF DIVERSION DITCHES, SILT FENCE, AND OTHER MEASURES MAY BE SLIGHTLY ADJUSTED IN THE FIELD TO AVOID TREES AND OTHER EXISTING FEATURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED FOR THE SITE, AS WELL AS LOCAL AND STATE REQUIREMENTS. THE CONTRACTOR SHALL ALSO PROVIDE THE CERTIFIED EROSION CONTROL INSPECTOR AND CONTINUAL MAINTENANCE OF THE EPPSC MEASURES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, THEN ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- AS THE WORK PROGRESSES THE LOCATION AND TYPE OF MEASURES MAY REQUIRE ADJUSTMENTS. TEMPORARY MEASURES MAY BE REQUIRED IN CERTAIN AREAS THAT CAN BE REMOVED DURING THE WORK DAY AND RE-ESTABLISHED WHEN WORK CEASES FOR THE DAY OR PAST A DAYTIME RAIN EVENT.
- SEDIMENT SHALL BE REMOVED FROM EROSION PREVENTION AND SEDIMENT CONTROL MEASURES WHEN THE DESIGN CAPACITIES HAVE BEEN REDUCED BY 50% OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCY. PROPERLY DISPOSE OF ACCUMULATED SEDIMENT.
- THE CONTRACTOR SHALL PROVIDE A RAIN GAUGE AT THE SITE AND DOCUMENT RAINFALL EVENTS DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL MAINTAIN THE FOLLOWING RECORDS AT THE SITE: DATE WHEN MAJOR GRADING ACTIVITIES OCCUR, THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON PORTIONS OF THE SITE, THE DATES WHEN STABILIZATION MEASURES ARE INITIATED, INSPECTION RECORDS, AND RAINFALL EVENTS.
- EXISTING SITE VEGETATION SHALL REMAIN IN PLACE AS LONG AS POSSIBLE AND SHALL NOT BE REMOVED MORE THAN 10 DAYS PRIOR TO THE DATE AT WHICH EARTH MOVING OPERATIONS ARE TO BEGIN UNLESS TEMPORARY COVER IS INSTALLED. DO NOT REMOVE VEGETATION OR TREES UNLESS NECESSARY FOR GRADING OR OTHER PROJECT PURPOSES.
- THE CONSTRUCTION SHALL BE SEQUENCED TO MINIMIZE THE LENGTH OF TIME THE SITE SOILS ARE EXPOSED TO EROSION. PROVIDE TEMPORARY COVER AS NECESSARY.
- EPPSC MEASURES SHALL BE REMOVED ONCE PERMANENT VEGETATION IS ESTABLISHED AND WHEN DEEMED NO LONGER NEEDED BY THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCY.

AS-BUILT REQUIREMENTS

- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A LICENSED SURVEYOR IN THE STATE OF MO TO PROVIDE AS-BUILT SURVEY DATA FOR PUBLIC UTILITIES AND PUBLIC/PRIVATE STORMWATER MANAGEMENT INFRASTRUCTURE.
- AS-BUILT SURVEYS SHOULD AT A MINIMUM PROVIDE THE FOLLOWING ITEMS:
 - SPOT ELEVATIONS OF THE EXCAVATED BIORETENTION AND/OR PERMEABLE PAVEMENT SUBGRADE PRIOR TO BACKFILLING WITH THE SPECIALTY SOIL AND GRAVEL LAYERS.
 - SPOT ELEVATIONS OF SUBGRADE FOR UNDERGROUND DETENTION SYSTEMS.
 - SPOT ELEVATIONS AND CONTOUR ELEVATIONS NOT TO EXCEED 1" MAX. INTERVAL FOR ALL PERMANENT STORMWATER QUALITY AREAS, DETENTION PONDS, AND ASSOCIATED EMBANKMENTS TO ENSURE PROPER SIZING OF THESE FEATURES.
 - SIZE, MATERIAL, ELEVATION INFORMATION FOR ALL STORMWATER PIPES AND STRUCTURES WITHIN THE PUBLIC RIGHT OF WAY.
 - SIZE, MATERIAL, ELEVATION INFORMATION FOR ALL PRIVATE STORMWATER QUALITY FEATURES, DETENTION STRUCTURES AND INFRASTRUCTURE DOWNSTREAM OF THESE FEATURES.
 - DETAILED INFORMATION FOR ALL OUTLET CONTROL STRUCTURES, WITHIN DETENTION PONDS WATER, QUALITY FEATURES, OR UNDERGROUND DETENTION SYSTEMS, INCLUDING ELEVATION AND SIZE INFORMATION FOR ORIFICES, PERFORATED RISERS, WEIRS, TOP OF CASTING, AND INVERTS ASSOCIATED WITH THE STRUCTURE.
 - ALL OTHER AS-BUILT INFORMATION REQUIRED BY THE JURISDICTIONAL AUTHORITY OR NOTED ELSEWHERE IN THE PLANS.
- THE CONTRACTOR SHALL REVIEW LOCAL AUTHORITY'S AS-BUILT REQUIREMENTS AND/OR CONTACT ENGINEER TO CONFIRM AS-BUILT INFORMATION. PHOTOGRAPHIC EVIDENCE OF PROPER INSTALLATION OF STORMWATER MANAGEMENT AND WATER QUALITY INFRASTRUCTURE AND/OR VISUAL INSPECTIONS OF STORMWATER PIPES MAY BE REQUIRED. THE CONTRACTOR SHALL CAPTURE AND RETAIN PHOTOGRAPHIC DOCUMENTATION OF KEY INSTALLATION MILESTONES AS NEEDED. FAILURE TO PROVIDE NECESSARY PHOTOGRAPHIC DOCUMENTATION PRIOR TO BACKFILLING MAY CAUSE DELAYS AND MAY REQUIRE SITE INVESTIGATION THAT COULD INCLUDE RE-EXCAVATION OF COMPLETED INFRASTRUCTURE AT THE CONTRACTOR'S EXPENSE.

CONTRACTOR TO RETAIN AND PROVIDE RECEIPTS FOR ANY FABRICATED STORMWATER MANAGEMENT INFRASTRUCTURE SUCH AS PROPRIETARY WATER QUALITY UNITS, UNDERGROUND DETENTION STRUCTURES, PERMEABLE PAVERS, OR SPECIALTY SOIL MEDIA (WITH APPLICABLE TESTING IF REQUIRED).

SITE GRADING NOTES

- THE DISTURBED AREA FOR THIS PROJECT IS ESTIMATED TO BE ±0.30 ACRES.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 29050C04390 OF THE FEMA FLOOD INSURANCE MAPS FOR JACKSON COUNTY, MO, DATED 01/20/2017.
- FOLLOW THE DIRECTIVES OF THE EROSION CONTROL AND TREE PROTECTION NOTES INCLUDED ELSEWHERE IN THESE DOCUMENTS.
- THE GEOTECHNICAL REPORT, PREPARED BY OTHERS, IS INCORPORATED BY REFERENCE AND MADE A PART OF THE CONTRACT DOCUMENTS. IT IS INTENDED THAT THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT BE FOLLOWED. IN THE EVENT OF CONFLICTS BETWEEN THE CONSTRUCTION DRAWINGS AND THE GEOTECHNICAL REPORT, MAKE NO ASSUMPTIONS. THE ENGINEER SHALL BE IMMEDIATELY BE NOTIFIED FOR CLARIFICATION.
- THE CONTRACTOR SHALL REQUEST UTILITY LOCATIONS (811) AND VERIFY LOCATIONS OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR IF DAMAGED PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
- THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND CONTACT THE ENGINEER WITH ANY DISCREPANCIES.
- THE CONTRACTOR SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO INITIATING GRADING OPERATIONS.
- POSITIVE DRAINAGE SHALL BE ESTABLISHED INITIALLY AND MAINTAINED THROUGHOUT CONSTRUCTION.
- PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE THE FINISH GRADE ELEVATIONS. CONTRACTOR SHALL REQUEST ADDITIONAL INFORMATION FROM THE ENGINEER WHERE INTENT IN THE PROPOSED GRADE IS UNCLEAR.
- STRIP TOPSOIL FROM PROPOSED GRADING AREAS AND STOCKPILE FOR REUSE. PROVIDE TEMPORARY SEEDING FOR STOCKPILE AREAS DURING CONSTRUCTION. REDISTRIBUTE TOPSOIL AT A MINIMUM DEPTH OF 6" IN LAWN AREAS AND 18" IN LANDSCAPE BEDS. PROVIDE ADDITIONAL TOPSOIL WHEN ONSITE QUANTITIES ARE INSUFFICIENT.
- CONTRACTOR WILL PROCURE THE SERVICES OF A QUALIFIED SOILS TESTING LABORATORY/ ENGINEER TO OBSERVE WORK AND MAKE TESTS AS REQUIRED.
- CONTRACTOR SHOULD COMPLETE GRADING ACTIVITIES WITHIN 10 CALENDAR DAYS OF ACHIEVING OPTIMUM SUBGRADE COMPACTION.
- FILL AREAS SHALL BE PROOF ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATIONS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER, AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED. COMPACTION OF BACKFILL MATERIALS SHALL BE TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR), UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL, AT THEIR COST, PROVIDE OFFSITE MATERIALS MEETING THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER'S REPORT WHERE ONSITE SOIL QUANTITIES ARE NOT SUFFICIENT. ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL REPRESENTATIVE PRIOR TO BEING HAULED TO THE SITE. MATERIAL SHALL BE PLACED AND COMPACTED IN LIFT DEPTHS AS NOTED IN THE SPECIFICATIONS AND INSPECTED BY THE GEOTECHNICAL REPRESENTATIVE. SUBGRADES SHALL BE PROOF ROLLED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND GEOTECHNICAL REPRESENTATIVE'S DIRECTIONS. UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED AS DIRECTED.
- CUT AREAS SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS. THE CONTRACTOR SHALL EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER, AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED. COMPACTION OF BACKFILL MATERIALS SHALL BE TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR), UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL REPORT.
- APPLICABLE SPECIFICATIONS FOR COMPACTED FILL: THE FOLLOWING CURRENT AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) STANDARDS ARE HEREBY MADE PART OF THIS SPECIFICATION:
 - C136/136M STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE AGGREGATES
 - D421-58 DRY PREPARATION OF SOIL SAMPLES FOR GRAIN-SIZE ANALYSIS AND DETERMINATION OF SOIL CONSTANTS.
 - D422-63 STANDARD METHOD OF PARTICLE SIZE ANALYSIS OF SOILS.
 - D1150-54 METHOD OF TEST FOR AMOUNT OF MATERIAL IN SILTS FINER THAN NO. 200 SIEVE.
 - D608 METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT
 - D1557-78 STANDARD TEST METHODS FOR MOISTURE-DENSITY RELATIONS OF SOILS AND SOIL AGGREGATE MIXTURES USING 10LB. (4.54-KG) RAMMER AND 18-INCH (457 MM) DROPS.
 - D2487 STANDARD PRACTICE FOR CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES
 - D4318 STANDARD TEST METHODS FOR LIQUID LIMIT, PLASTIC LIMIT, AND PLASTICITY INDEX OF SOILS
 - D6938 STANDARD TEST METHODS FOR IN-PLACE DENSITY AND WATER CONTENT OF SOIL AND SOIL-AGGREGATE BY NUCLEAR METHODS

CONTRACTOR SHALL REVIEW THE SITE SPECIFIC GEOTECHNICAL REPORT PRIOR TO COMMENCING WITH GRADING OPERATIONS. WHERE CONFLICTS BETWEEN THE GRADING NOTES AND GEOTECHNICAL REPORT EXISTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR CLARIFICATION.

THE CONTRACTOR SHALL REVIEW THE PROPOSED GRADING PLAN AND SPOT ELEVATIONS AND REQUEST INFORMATION FROM THE ENGINEER FOR SPOTS OR CONTOURS THAT DO NOT APPEAR TO CORRESPOND WITH OTHER SURROUNDING GRADING. PROPOSED GRADES REFLECT AN INTENT FOR THE SLOPES AND DIRECTION OF DRAINAGE. THE CONTRACTOR SHALL REQUEST DIRECTION FOR AREAS WHERE THE INTENT IS NOT CLEAR.

THE CONTRACTOR SHALL CONFIRM EXISTING GRADES GENERALLY REFLECT THE SURVEY DATA USED IN PREPARING THESE PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING SITE WORK.

WHERE BUILDINGS (EXISTING OR PROPOSED) OR OTHER SITE ELEMENTS CLOSELY ADJUT THE RIGHT-OF-WAY OR ACCESSIBLE PATH, THE CONTRACTOR SHALL CONFIRM STREET, CURB, AND SIDEWALK GRADES IN THESE AREAS ARE CONSISTENT WITH THE EXPECTED ELEVATIONS & HORIZONTAL LOCATIONS WITHIN THE PLANS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

WHERE PROPOSED NEW CURB AND SIDEWALK ARE ALONG EXISTING RIGHT-OF-WAY, THE CONTRACTOR SHALL CONFIRM CENTERLINE AND EDGE OF PAVEMENT ELEVATIONS, AND PLACE NEW CURB SUCH THAT PROPER CROSS SLOPES ARE ACHIEVED PER THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PROPOSED DESIGN ELEVATIONS AND FIELD CONDITIONS.

MAXIMUM CUT AND FILL SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL UNLESS DIRECTLY NOTED OTHERWISE ON THE PLAN. FILL SLOPES SHALL BE CONSTRUCTED BY FILLING BEYOND THE DESIRED GRADES TO OBTAIN COMPACTION AND THEN CUT BACK TO THE DESIRED GRADES. WHERE GRADES ARE 3:1 AND STEEPER CONTRACTOR TO PROVIDE SLOPE STABILIZATION UTILIZING NORTH AMERICAN GRASSES, SC-250 OR APPROVED EQUAL. IN AREAS THAT ARE NOTED TO REQUIRE STABILIZATION WHERE SLOPES ARE LESS THAN 3:1 CONTRACTOR TO USE NORTH AMERICAN GRASSES SC-150 OR APPROVED EQUAL.

MINIMUM GRADES SHALL BE 1% IN PAVEMENT AREAS, AND A MINIMUM OF 2% IN LAWN AREAS UNLESS DIRECTLY SPECIFIED IN THE PLANS.

THE CONTRACTOR SHALL TAKE CARE TO PROPERLY COMPACT FILL WITHIN UTILITY TRENCHES AND AROUND OTHER PROJECT FEATURES TO AVOID SETTLEMENT. SETTLEMENT OCCURRING WITHIN 12 MONTHS OF COMPLETION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

UNLESS SPECIFICALLY NOTED OTHERWISE WITHIN THE PLANS, ALL PROPOSED GRADES SHALL TIE INTO EXISTING GRADES AT THE PROJECT PROPERTY BOUNDARY. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF IT APPEARS THERE IS A CONFLICTING FIELD CONDITIONS THAT WOULD NOT ALLOW GRADING AS DESIGNED.

ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS AFTER FINAL GRADING IS ACHIEVED.

STORM SEWER NOTES

- ALL STORMWATER PIPES, STRUCTURES, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL AND STATE STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL FOLLOW CONSTRUCTION PLANS AND MANUFACTURER DETAILS, SPECIFICATIONS, AND INSTALLATION INSTRUCTIONS AS INCLUDED WITHIN THE PLANS AND PROVIDED BY THE MANUFACTURER FOR THE INSTALLATION OF PIPES, STRUCTURES, WATER QUALITY UNITS AND FABRICATED DETENTION SYSTEMS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STORM SEWER PIPE, STRUCTURES, WATER QUALITY STRUCTURES, AND FABRICATED DETENTION STRUCTURES FOR ENGINEER AND OWNER APPROVAL PRIOR TO ORDERING MATERIALS.
 - PIPE SPECIFICATIONS:
 - REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III, WALL TYPE 'B' CONFORMING TO ASTM C76 UNLESS OTHERWISE NOTED WITH BELL-AND-SPIGOT AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS OR NASTIC SEAL CONFORMING TO ASTM C990. RCP SHALL BE INSTALLED PER THE RECOMMENDATIONS OF ASTM C1479.
 - CLASS IV RCP PIPE IS REQUIRED FOR FILL HEIGHTS OVER 13' OR WHERE NOTED BY THE ENGINEER.
 - HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL BE DUAL-WALL WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR. HDPE PIPE SHALL CONFORM TO ASTM D3350 WITH RUBBER GASKET SOIL TIGHT JOINTS CONFORMING TO ASTM F477. THERMOPLASTIC PIPING SHALL BE INSTALLED PER THE RECOMMENDATIONS OF ASTM C2321.
 - HIGH-PERFORMANCE POLYPROPYLENE (PP) PIPE SHALL BE DUAL-WALL WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR, CONFORMING TO ASTM F2981 AND AASHTO M333 WITH GASKETED SOIL TIGHT JOINTS CONFORMING TO ASTM F477. THERMOPLASTIC PIPING SHALL BE INSTALLED PER THE RECOMMENDATIONS OF ASTM C2321.
 - ALL PIPES SHALL BE INSTALLED, AT A MINIMUM, WITH SOIL TIGHT JOINTS AND BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND AASHTO SECTION 30.
 - PIPE BEDDING, BACKFILL, AND COMPACTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH LOCAL AND STATE DEPARTMENT OF TRANSPORTATION DETAILS AND SPECIFICATIONS.
 - PIPES UNDER EXISTING PAVEMENT AREAS SHALL BE COMPLETELY BACKFILLED WITH CRUSHED STONE OR PER LOCAL AUTHORITY STANDARD REQUIREMENTS. PAVEMENT SECTIONS SHALL MEET OR EXCEED EXISTING CONDITIONS WITH A SMOOTH TRANSITION.
- STORM STRUCTURE SPECIFICATIONS:
 - STORM INLETS AND MANHOLES SHALL BE PRECAST IN COMPLIANCE WITH THE LOCAL/STATE JURISDICTIONAL AUTHORITY'S STANDARD DETAILS AND SPECIFICATIONS, AND MEET/OR EXCEED SPECIFICATIONS OF ASTM C478/C913. STRUCTURES SHALL BE TRAFFIC RATED PER A-20 LOADING REQUIREMENTS.
 - REFER TO STRUCTURE TABLE FOR CASTING FRAME AND GATE TYPES. FRAMES AND GRATES TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL/STATE JURISDICTIONAL AUTHORITY'S STANDARD DETAILS AND SPECIFICATIONS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 - PIPE CONNECTIONS TO STRUCTURES:
 - FLEXIBLE, WATERTIGHT GASKETS SHALL COMPLY WITH ASTM C933
 - NON-SHRINK GROUT PER ASTM C1107
 - FRAMES AND GRATES:
 - MATERIAL: GRAY IRON CLASS 35 PER ASTM A48 UNLESS OTHERWISE INDICATED.
 - REFER TO PIPE AND STRUCTURE TABLE FOR CASTING TYPES. INSTALL REDUCERS AS NECESSARY PER MANUFACTURER'S SPECIFICATIONS TO ACCOMMODATE LARGER PIPE DIAMETERS OR CASTING SIZES.
 - TOP OF GRATE ELEVATIONS FOR DRAINAGE STRUCTURES SHALL BE PROVIDED PER THE DETAILS AND STRUCTURE TABLE.
- CONTRACTOR SHALL PLACE STRUCTURES BASED ON THE ACTUAL DIMENSIONS OF ORDERED STRUCTURE/GRATE TO ALIGN WITH PROPOSED OR EXISTING CURB LINE. STRUCTURES SHOULD NOT BE INSTALLED BASED SOLELY ON STRUCTURE CENTERLINES.
- COORDINATE THE LOCATION OF SITE DRAINAGE SYSTEMS WITH THE BUILDING ARCHITECTURE AND PLUMBING PLANS FOR COLLECTION OF ROOF DRAINS AND DOWNSPOUTS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ADJUST THE CASTINGS OF ALL EXISTING AND NEW STRUCTURES TO MATCH PROPOSED FINISH GRADE ENSURING POSITIVE DRAINAGE IS STILL MAINTAINED. SLOPE THE TOPS OF CASTINGS TO MATCH SLOPES OF PROPOSED PAVEMENTS AND SIDEWALKS.

SITE UTILITY NOTES

- THE CONTRACTOR SHALL REQUEST UTILITY LOCATIONS (811) AND VERIFY LOCATIONS OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR IF DAMAGED PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNERS OF EACH UTILITY AND VERIFY THE SCOPE OF INSTALLATIONS OR RELOCATIONS THAT WILL BE NEEDED AND IMPACT EACH COULD HAVE ON THE SCHEDULE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEQUENCING OF INSTALLATION OF THE UTILITIES TO AVOID CONFLICTING HORIZONTAL AND VERTICAL LOCATIONS.
- ALL PUBLIC WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE TO THE GOVERNING AUTHORITY'S REQUIREMENTS AND SPECIFICATIONS. IF THE GOVERNING AUTHORITY DOES NOT HAVE MATERIAL RECOMMENDATIONS FOR PRIVATE UTILITIES, THEN THE CONTRACTOR SHALL PROVIDE PRIVATE MATERIALS IN ACCORDANCE WITH PUBLIC STANDARDS. OTHERWISE, THE FOLLOWING MINIMUM STANDARDS SHALL BE MET:
 - PRIVATE GRAVITY SANITARY SEWER APPLICATIONS:
 - POLYVINYL CHLORIDE PIPE (PVC) 4" AND GREATER SHALL BE SDR 35, PER ASTM D3034 OR ASTM F679
 - JOINTS: ELASTOMERIC GASKETED, BELL AND SPIGOT, PUSH-ON TYPE PROVIDING A WATER TIGHT SEAL PER ASTM D3212.
 - DUCTILE IRON PIPE (DIP) SHALL BE PRESSURE CLASS 350 COMPLYING WITH LATEST VERSION OF AWWA C150/C151
 - JOINTS AND FITTINGS: MECHANICAL, PUSH-ON JOINTS, OR FLANGED JOINTS PER AWWA STANDARD C110/C111/C113.
 - LINER AND COATINGS: INTERIOR LINER 40 MIL DRY FILM, PERMA SHIELD 431 FL OR APPROVED EQUAL AND ASPHALTIC EXTERIOR COATINGS CONFORMING TO AWWA C151 FOR ALL PIPES, JOINTS, AND FITTINGS.
 - PRIVATE POTABLE WATER APPLICATIONS:
 - POLYVINYL CHLORIDE PIPE (PVC) LESS THAN 4" SHALL BE SCHEDULE 40 PVC PIPE PER ASTM D1785
 - JOINTS AND FITTINGS: SOLVENT CEMENTED JOINTS PER ASTM D2672. PVC FITTINGS PER ASTM D2466
 - POLYVINYL CHLORIDE PIPE (PVC) 4" AND GREATER SHALL BE AWWA C900, DR-18
 - JOINTS AND FITTINGS: RESTRAINED GASKETED JOINTS PER ASTM F477 AND ASTM D3139. DIP FITTINGS WITH RESTRAINED JOINTS CONFORMING TO AWWA STANDARD C110/C111/C113 ARE TO BE USED.
 - LINING & COATING: INTERIOR CEMENT MORTAR LINING CONFORMING TO AWWA C104 REQUIREMENTS AND ASPHALTIC EXTERIOR COATINGS CONFORMING TO AWWA C151 FOR ALL PIPES, JOINTS, AND FITTINGS.
 - DUCTILE IRON PIPE (DIP) 16" AND BELOW SHALL BE PRESSURE CLASS 350 COMPLYING WITH LATEST VERSION OF AWWA C150/C151.
 - JOINTS AND FITTINGS: MECHANICAL OR PUSH-ON JOINTS OR FLANGED JOINTS CONFORMING TO AWWA STANDARD C110/C111/C113/C115/C153.
 - LINING & COATING: INTERIOR CEMENT MORTAR LINING CONFORMING TO AWWA C104 AND ASPHALTIC EXTERIOR COATINGS CONFORMING TO AWWA C151 FOR ALL PIPES, JOINTS, AND FITTINGS.
 - COPPER PIPE (CU) SHALL BE TYPE 'K' ANNEALED PER ASTM B88.
 - JOINTS AND FITTINGS PER AWWA C900.
 - MAINTAIN 10" HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER LINES WHERE POSSIBLE. IN AREAS WHERE THESE CRITERIA CANNOT BE MET, PROVIDE 18" OF VERTICAL SEPARATION, UNLESS OTHERWISE NOTED WITHIN THE PLANS.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF THE PROPOSED SEWER CONNECTION POINT PRIOR TO INSTALLATION OF NEW LINES. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE UTILIZING THE CORING AND RESILIENT SEAL METHOD IF NOT OTHERWISE NOTED PER LOCAL REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ANY PIPE LENGTHS, MATERIALS AND SIZES PROVIDED ON THE PLANS WITH FIELD CONDITIONS AND COORDINATE THE EXACT LOCATION OF THE BUILDING SERVICES WITH THE PLUMBING PLANS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- MINIMUM SLOPE OF 6" OF SANITARY SEWER SERVICES SHALL BE 1%. INSTALL PER INVERTS PROVIDED ON THE PLAN AND WITH A MINIMUM 48" OF COVER WITHIN ROADWAYS AND 30" OF COVER WITHIN LANDSCAPE AREAS.
- MARK THE LOCATION OF PVC LINES WITH A #8 WIRE.
- PROVIDE A MINIMUM OF 36" OF COVER OVER ALL WATER AND FIRE LINES.
- ALL FIRE LINES SHALL BE INSTALLED FROM THE POINT OF CONNECTION TO THE BUILDING BY A SPRINKLER CONTRACTOR LICENSED IN THE STATE OF MO.
- PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL BENDS AND BLOCKING/RODDING ON WATER/FIRE LINES TO ACHIEVE THE PROPOSED ALLIGMENT SHOWN ON THE PLANS.
- BEFORE CONNECTIONS ARE MADE TO EXISTING LINES, INSTALLED LINES SHALL BE FLUSHED, TESTED, AND APPROVED BY THE GOVERNING AUTHORITY IN ACCORDANCE WITH THEIR REQUIREMENTS.
- REPAIR DAMAGE TO EXISTING FEATURES TO PRE-CONSTRUCTION CONDITION IN ACCORDANCE WITH GOVERNING AUTHORITY'S REQUIREMENTS IN A TIMELY MANNER. TRENCHES WITHIN EXISTING PAVEMENTS SHALL BE EVENLY SAW CUT FOR REMOVAL AND COMPLETELY BACKFILLED WITH CRUSHED STONE. REPAIR ROADWAYS PER GOVERNING AGENCY'S STANDARDS.
- THE CONTRACTOR SHALL TAKE CARE TO PROPERLY COMPACT FILL WITHIN UTILITY TRENCHES AND AROUND OTHER PROJECT FEATURES TO AVOID SETTLEMENT. SETTLEMENT OCCURRING WITHIN 12 MONTHS OF COMPLETION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- SETTING AND NEW CASTINGS SHALL BE ADJUSTED TO MATCH FINISH GRADE. CASTINGS SHALL BE SLOPED TO MATCH SLOPES OF PROPOSED PAVEMENTS AND SIDEWALKS.
- THE CONTRACTOR SHALL COORDINATE GAS SERVICE, ELECTRICAL SERVICE, AND COMMUNICATION SERVICES WITH THE APPROPRIATE PROVIDER AND PAY NECESSARY FEES FOR INSTALLATION.
- THE SITE ELECTRICAL INFORMATION SHOWN ON THE CIVIL DRAWINGS IS INCLUDED AS A REFERENCE ONLY, AND IS NOT PART OF THE CIVIL SCOPE ISSUED FOR CONSTRUCTION IN THESE DOCUMENTS. ALL SITE ELECTRICAL COMPONENTS INCLUDING BUT NOT LIMITED TO TRANSFORMERS, SWITCH GEARS, TERMINATING CABINETS, BLAST-FIRE WALLS, GENERATORS AND PADS, SERVICE RISER PO



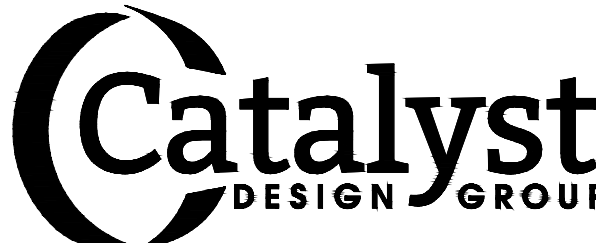
Devenney Group Ltd., Architects

6900 East Camelback Road
Suite 500
Scottsdale, AZ 85251

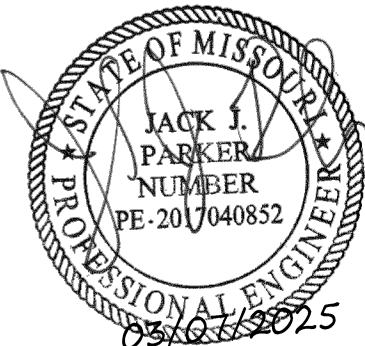
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ED EXPANSION

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MEDICAL CENTER
2100 SE BLUE PKWY
LEE'S SUMMIT, MO 64063

AUTHORITY HAVING JURISDICTION:
CITY OF LEE'S SUMMIT BUILDING DEPT.
MISSOURI DHSS

FACILITY NUMBER:
0972400009

AGENCY APPROVALS:
AGENCY

REVISIONS		
REV #	DESCRIPTION	DATE

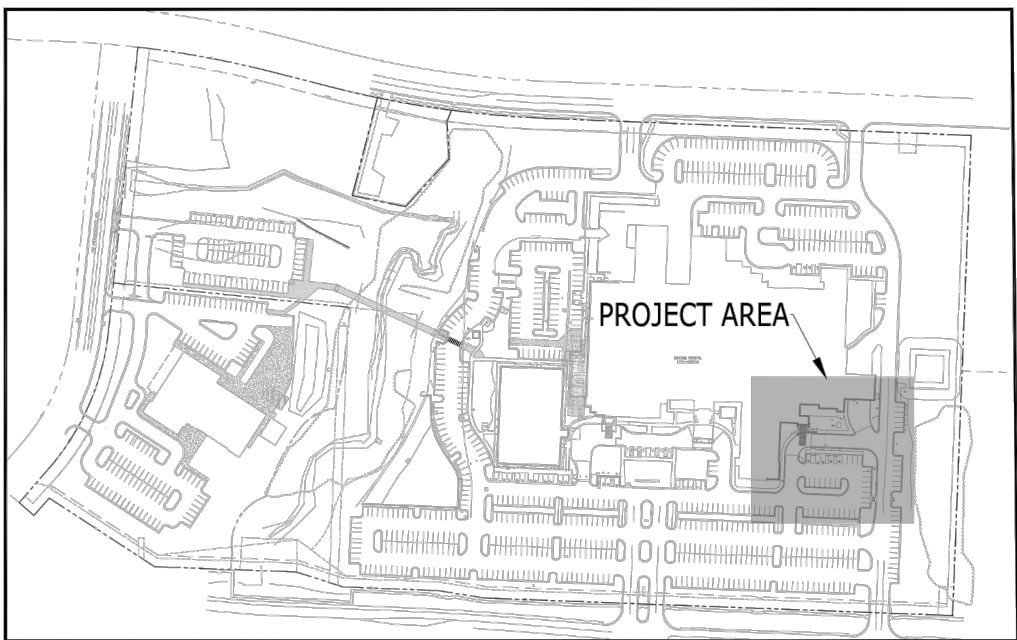
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SCALE: 1:10
DRAWN: AP
REVIEWED: JP
JOB NUMBER: 6406.24

DEMOLITION PLAN

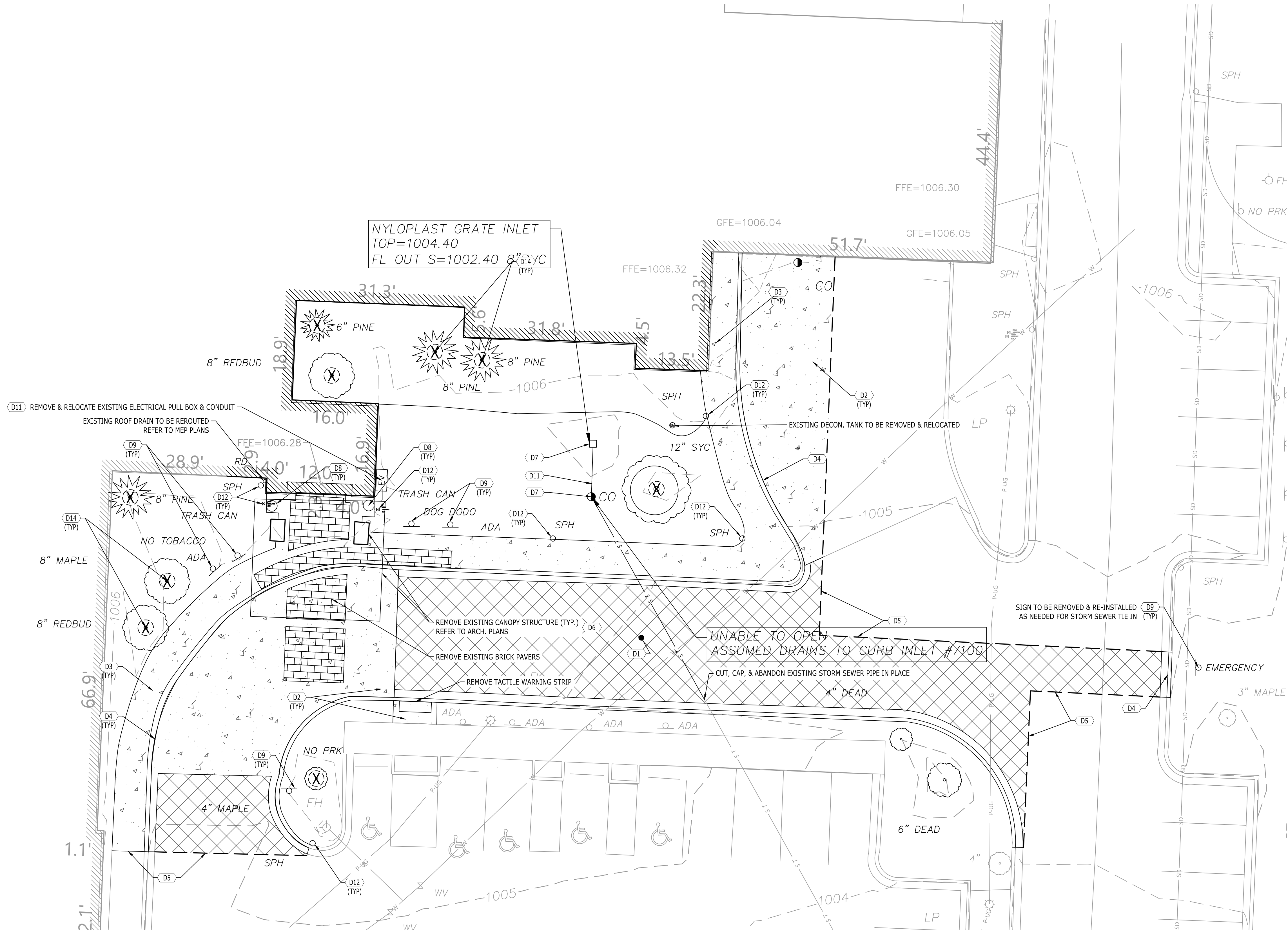
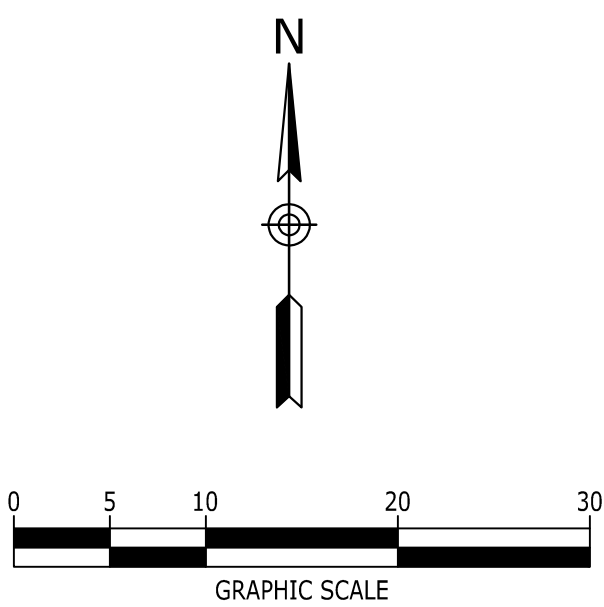
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DEMOLITION KEYNOTES	
CODE	DESCRIPTION
D1	REMOVE EXISTING ASPHALT PAVEMENT
D2	REMOVE EXISTING CONCRETE PAVEMENT
D3	REMOVE EXISTING CONCRETE SIDEWALK
D4	REMOVE EXISTING CONCRETE CURB
D5	EVENLY SAWCUT
D6	REMOVE EXISTING BUILDING/STRUCTURE
D7	REMOVE EXISTING DRAINAGE STRUCTURE
D8	REMOVE/RELOCATE EXISTING TRASH CAN
D9	REMOVE EXISTING SIGN
D11	REMOVE EXISTING UTILITY LINE & APPURTENANCES
D12	REMOVE EXISTING IRRIGATION LINE & APPURTENANCES
D14	REMOVE EXISTING TREE

LEGEND	
BUILDING TO BE REMOVED	
CONCRETE TO REMOVE	
ASPHALT PAVEMENT TO REMOVE	
TREES TO BE REMOVED	

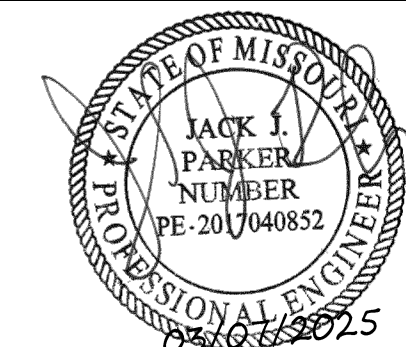
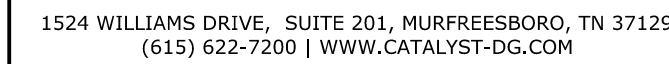


KEY MAP
NOT TO SCALE



P:\2024\20240037_Devenney - HCA Lee's Summit Medical Center - Med Surg Exp\dwg\Construction\ED EXPANSION\20240037_DEM.dwg-DP-C3.0 DEMOLITION PLAN Mar 11, 2025 wallisard

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LEE'S SUMMIT, MO 64063

AUTHORITY HAVING JURISDICTION:
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MISSOURI DHSS

FACILITY NUMBER
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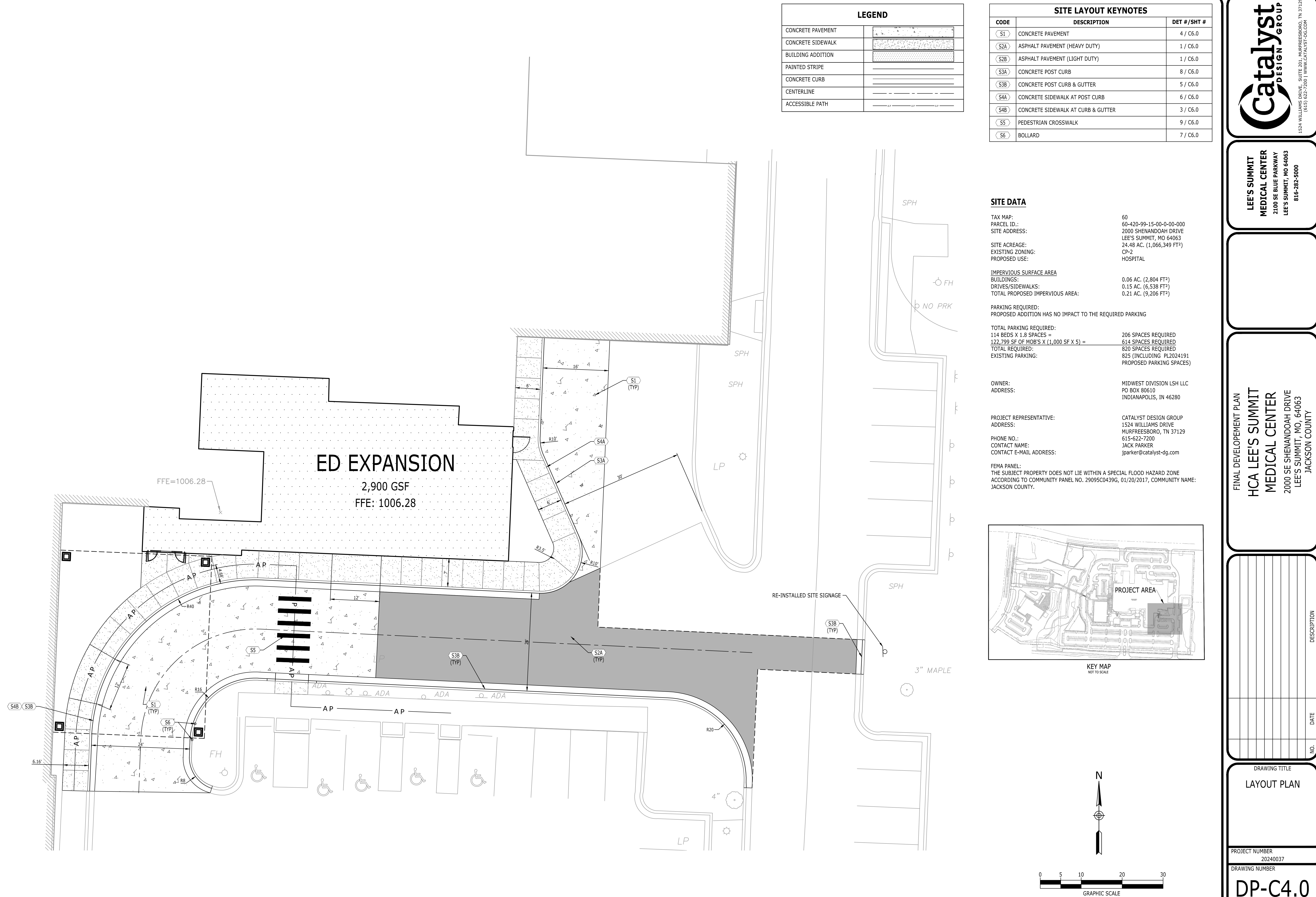
AGENCY APPROVALS:
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REVISIONS		
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DATE:	2024/12/13
SCALE:	1:10
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JOB NUMBER:	6406.24

LAYOUT PLAN

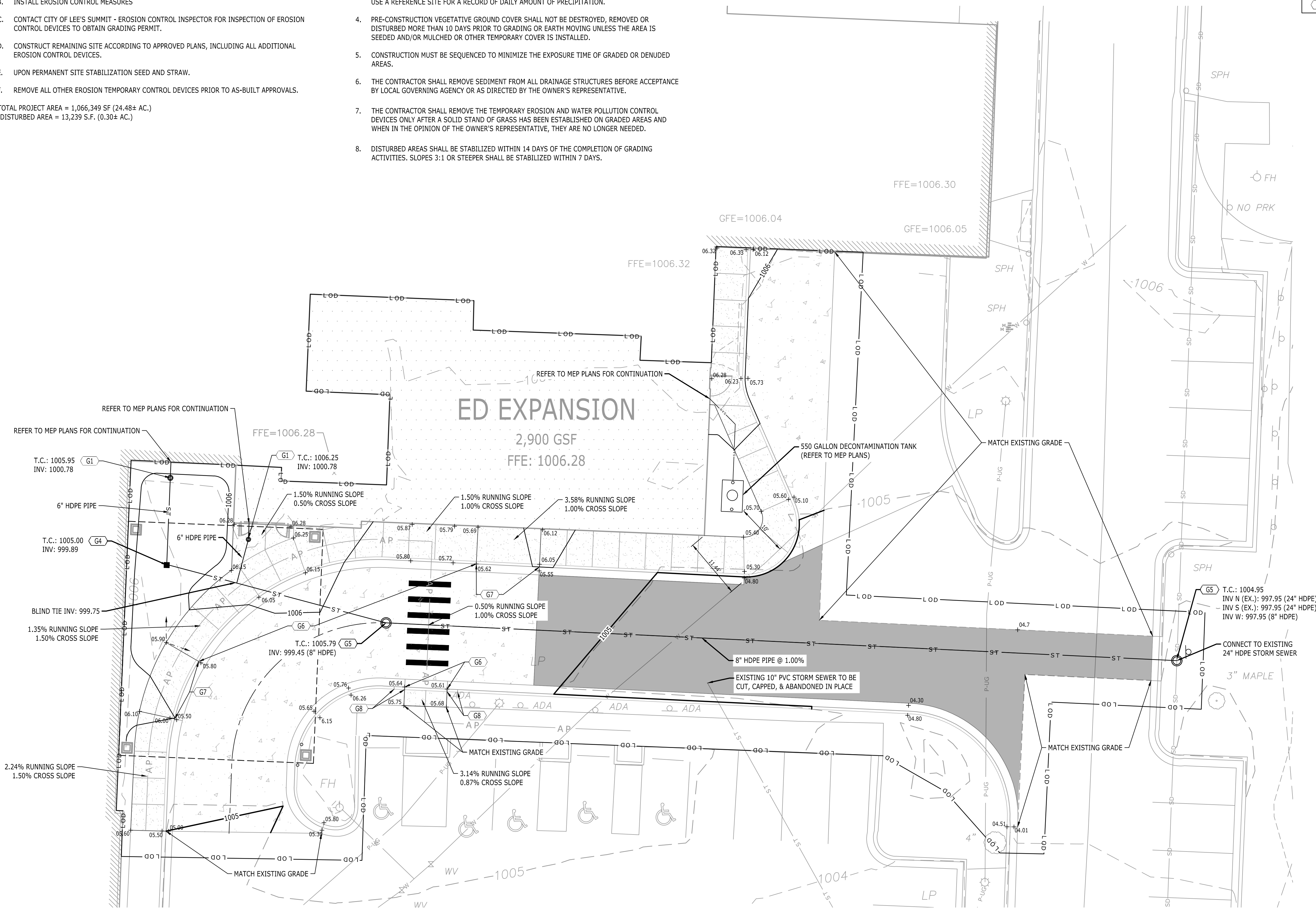
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THE SITE IS LOCATED ON TAX MAP 60, PARCEL 60-420-99-15-00-0-00-000 IN LEE'S SUMMIT, JACKSON COUNTY, MO. CONSTRUCTION ACTIVITY ON THIS SITE WILL CONSIST OF DISTURBING APPROXIMATELY 0.30+ ACRES TO CONSTRUCT A REMOTE PARKING, PEDESTRIAN BRIDGE, AND DIETARY EXPANSION.

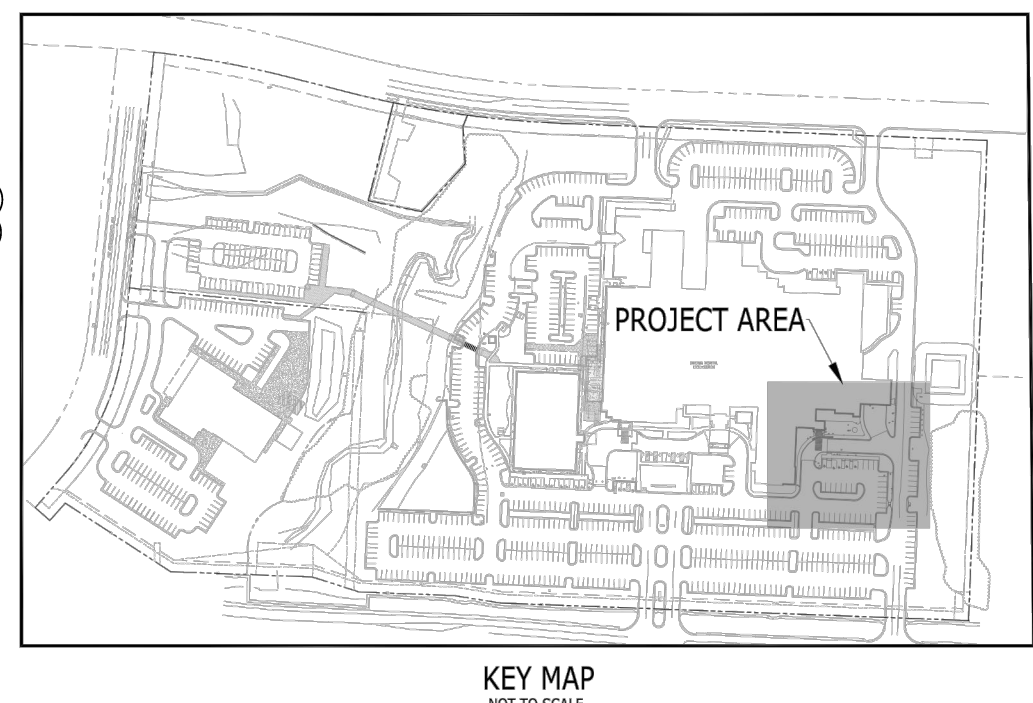
1. APPROXIMATE CONSTRUCTION TIME TABLE:
BEGIN CONSTRUCTION - AUGUST 2025
COMPLETE CONSTRUCTION - JUNE 2027
2. CONSTRUCTION SEQUENCE:
 - A. ATTEND CITY OF LEE'S SUMMIT PRE-CONSTRUCTION MEETING.
 - B. INSTALL EROSION CONTROL MEASURES
 - C. CONTACT CITY OF LEE'S SUMMIT - EROSION CONTROL INSPECTOR FOR INSPECTION OF EROSION CONTROL DEVICES TO OBTAIN GRADING PERMIT.
 - D. CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES.
 - E. UPON PERMANENT SITE STABILIZATION SEED AND STRAW.
 - F. REMOVE ALL OTHER EROSION TEMPORARY CONTROL DEVICES PRIOR TO AS-BUILT APPROVALS.
3. TOTAL PROJECT AREA = 1,066,349 SF (24.48+ AC.)
DISTURBED AREA = 13,239 S.F. (0.30+ AC.)

1. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATION BEGINS AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE WORKED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE DAY.
2. THE FOLLOWING RECORDS SHALL BE MAINTAINED ON OR NEAR SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; THE DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS AND RAINFALL RECORDS.
3. THE CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
4. PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING. IF THE AREA IS SEEDS AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
5. CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS.
6. THE CONTRACTOR SHALL REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
8. DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF THE COMPLETION OF GRADING ACTIVITIES. SLOPES 3:1 OR STEEPER SHALL BE STABILIZED WITHIN 7 DAYS.



GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
G1	CLEANOUT	2 / C6.1
G4	NYOPLAST DRAIN INLET	3 / C6.1
G5	NYOPLAST JUNCTION	3 / C6.1
G6	FLUSH CONDITION	
G7	TRANSITION FROM FLUSH CONDITION TO 6" CURB OVER 12'	
G8	TRANSITION FROM FLUSH CONDITION TO 6" CURB OVER 2'	

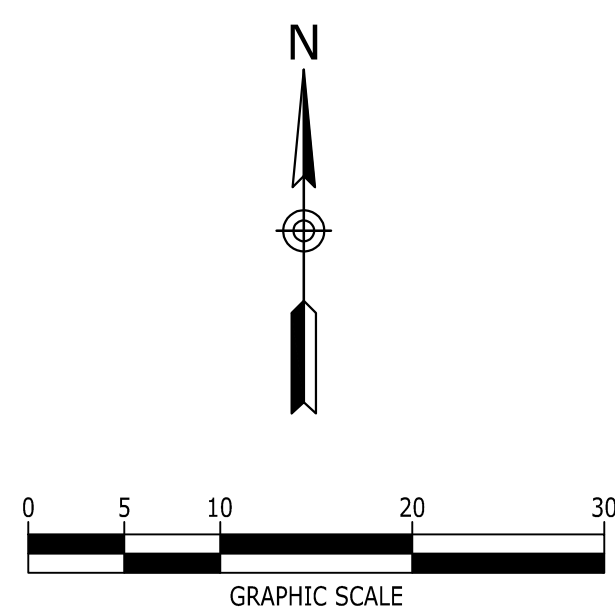
LEGEND	
STORM PIPE & INLET	
SPOT ELEVATION	
PROPOSED CONTOUR ELEV.	



NOTE: CONTRACTOR TO INSTALL AND MAINTAIN APPROPRIATE EPSC MEASURES TO ENSURE SEDIMENT/POLLUTION DOES NOT DISCHARGE OFF THE PROJECT AREA DURING CONSTRUCTION.



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FINAL DEVELOPMENT PLAN
HCA LEE'S SUMMIT
MEDICAL CENTER
2000 SE SHENANDOAH DRIVE
LEE'S SUMMIT, MO, 64063
JACKSON COUNTY

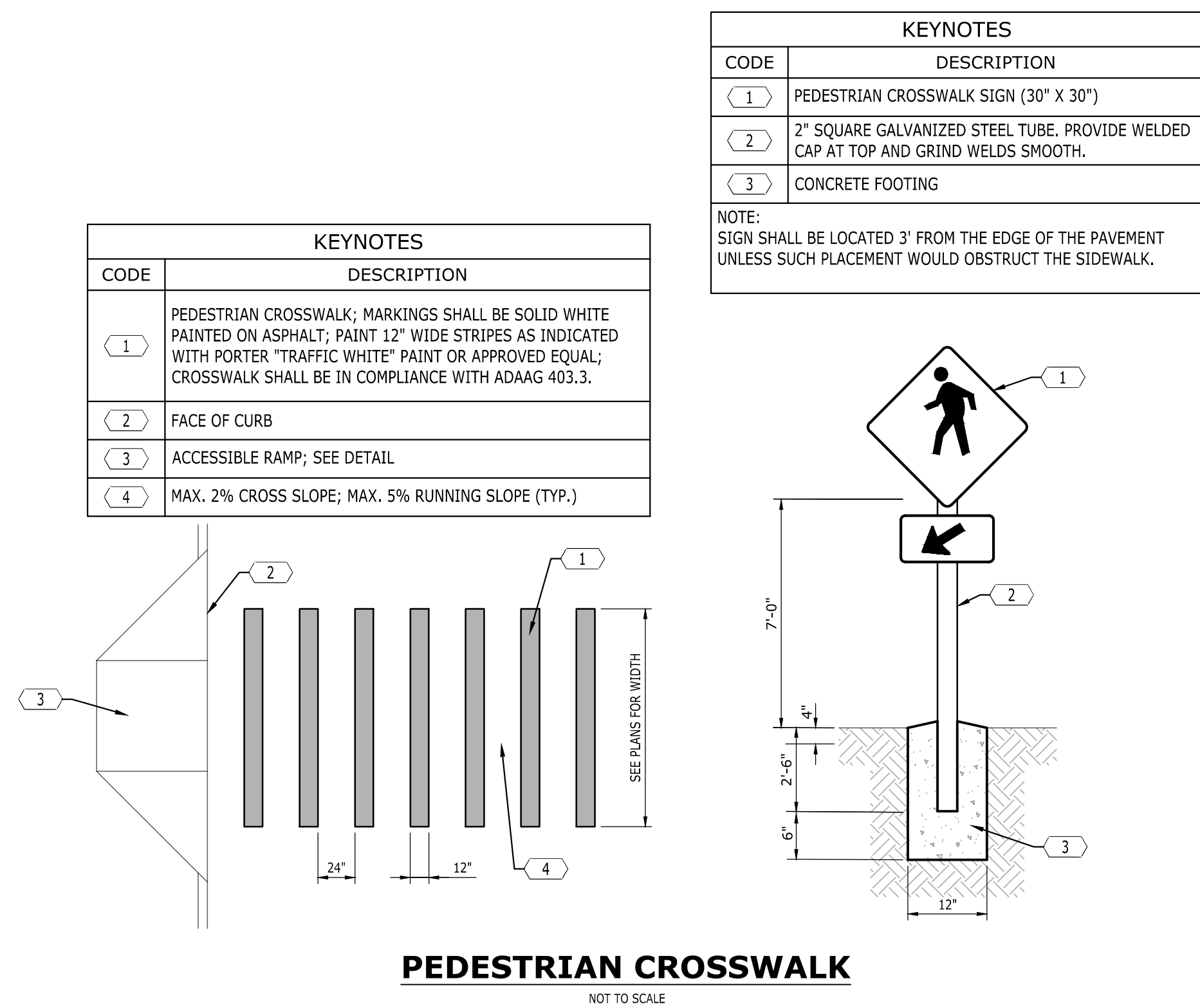
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GRADING,
DRAINAGE, &
UTILITY PLAN

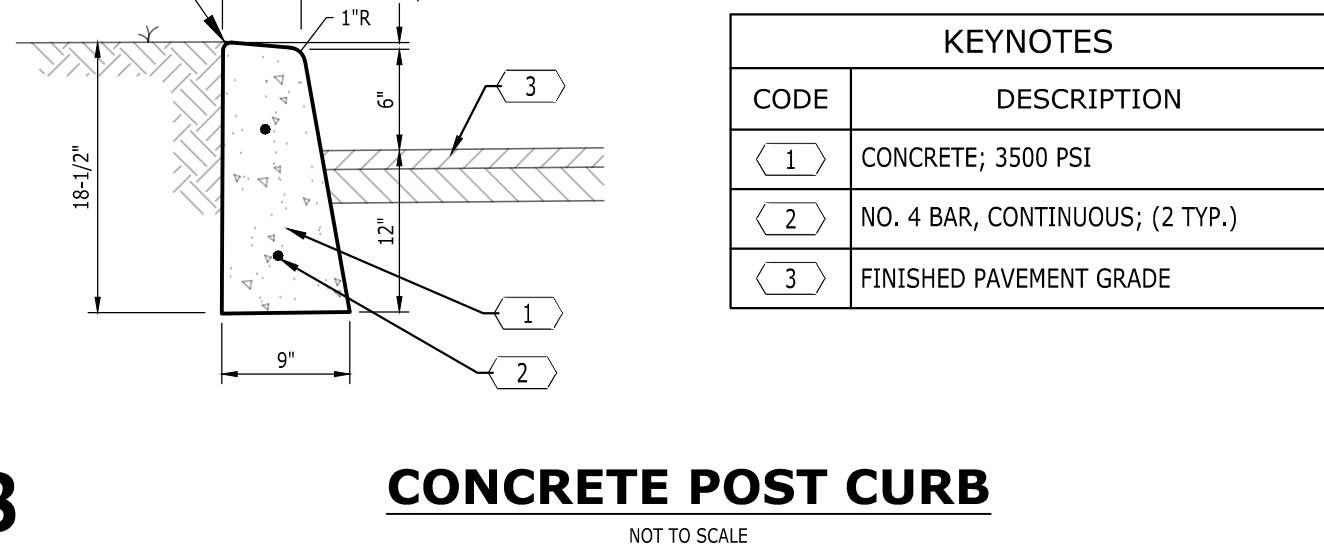
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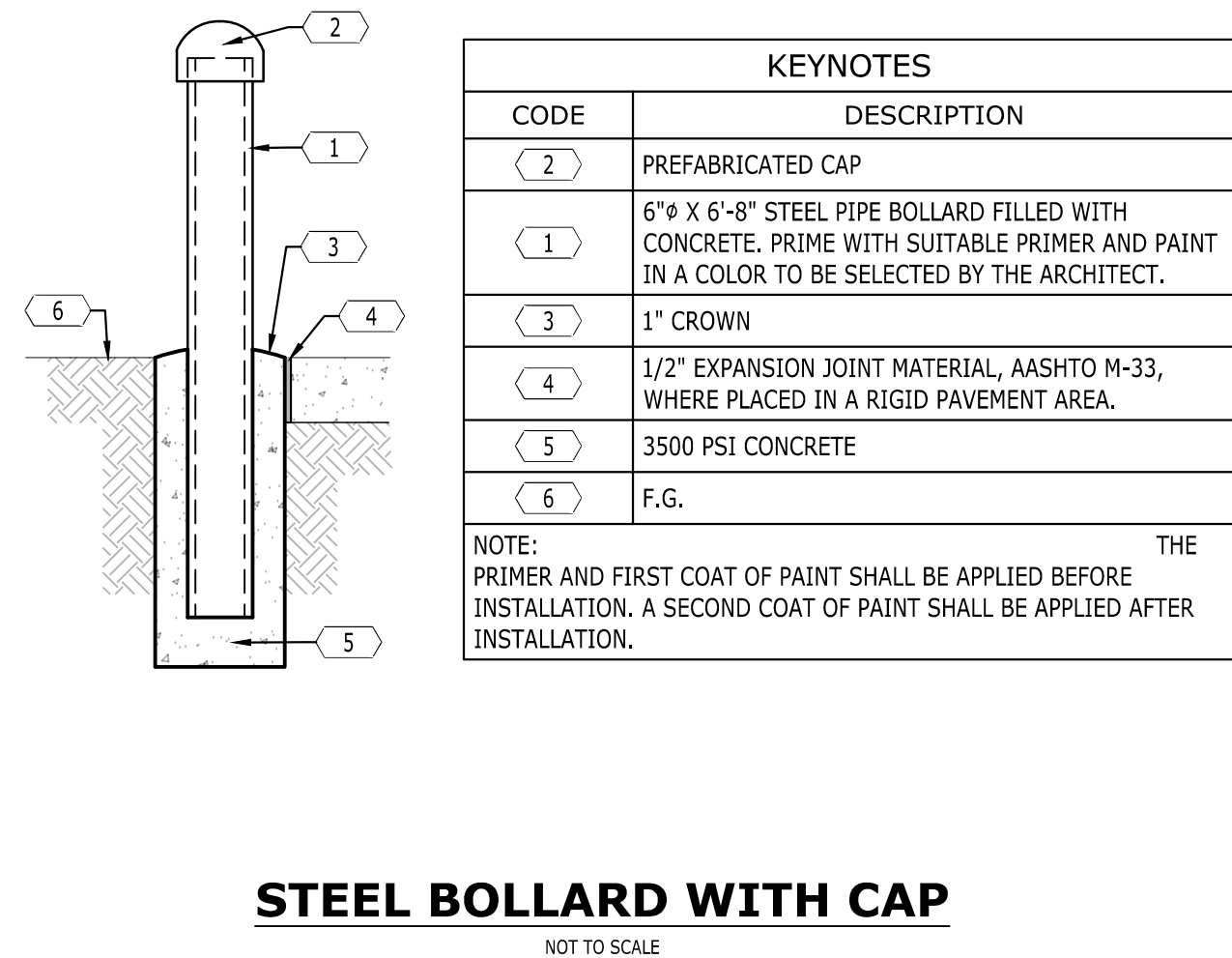
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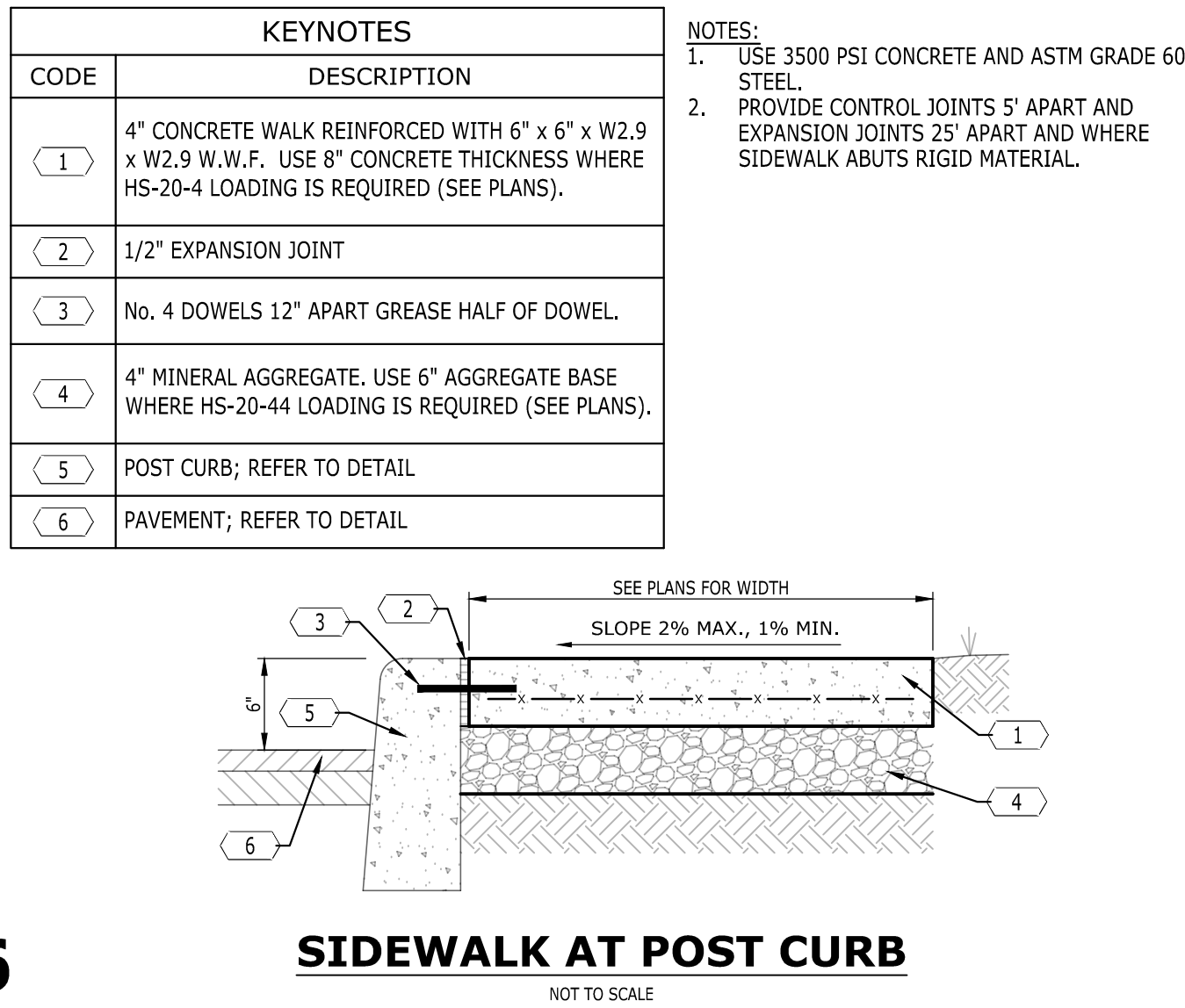
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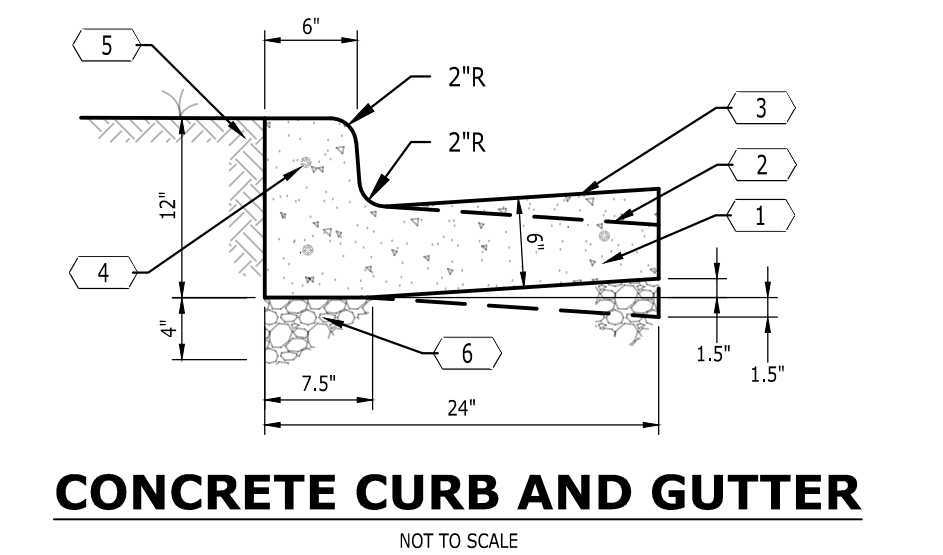
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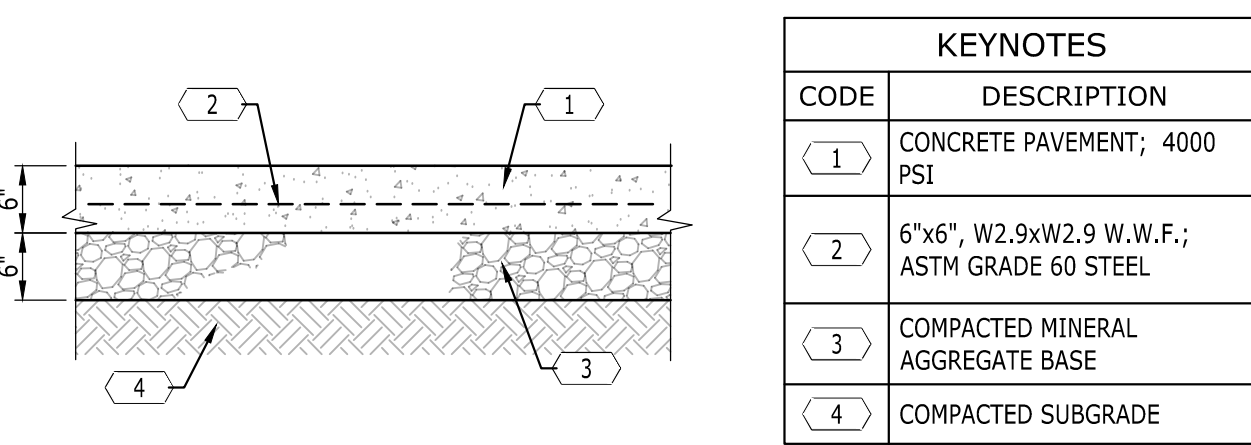
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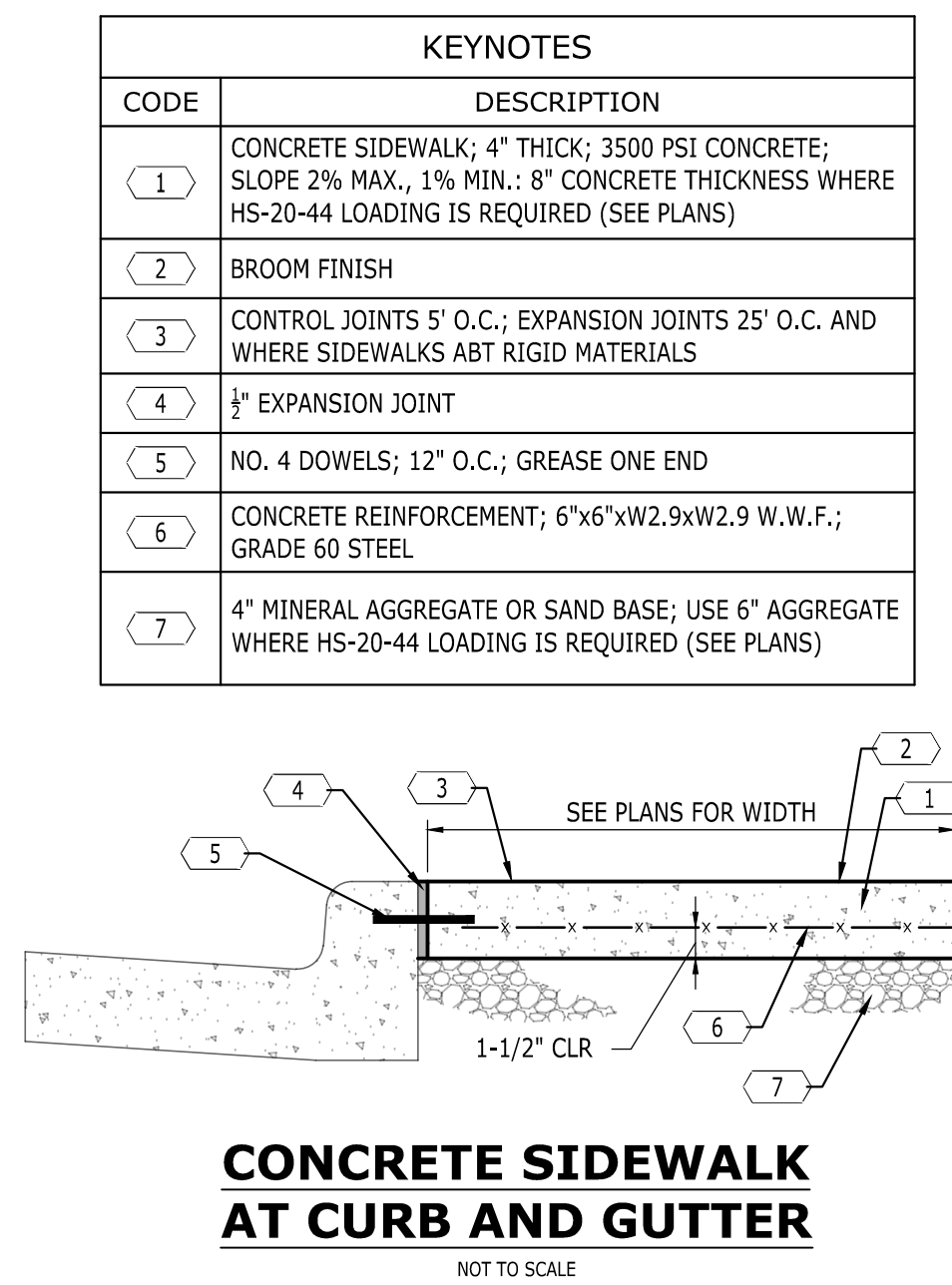
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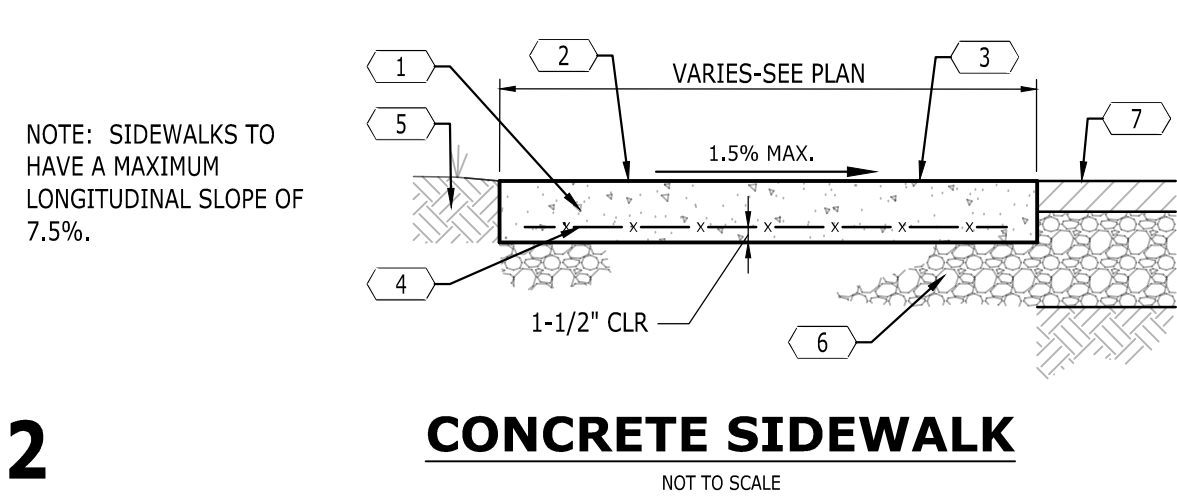
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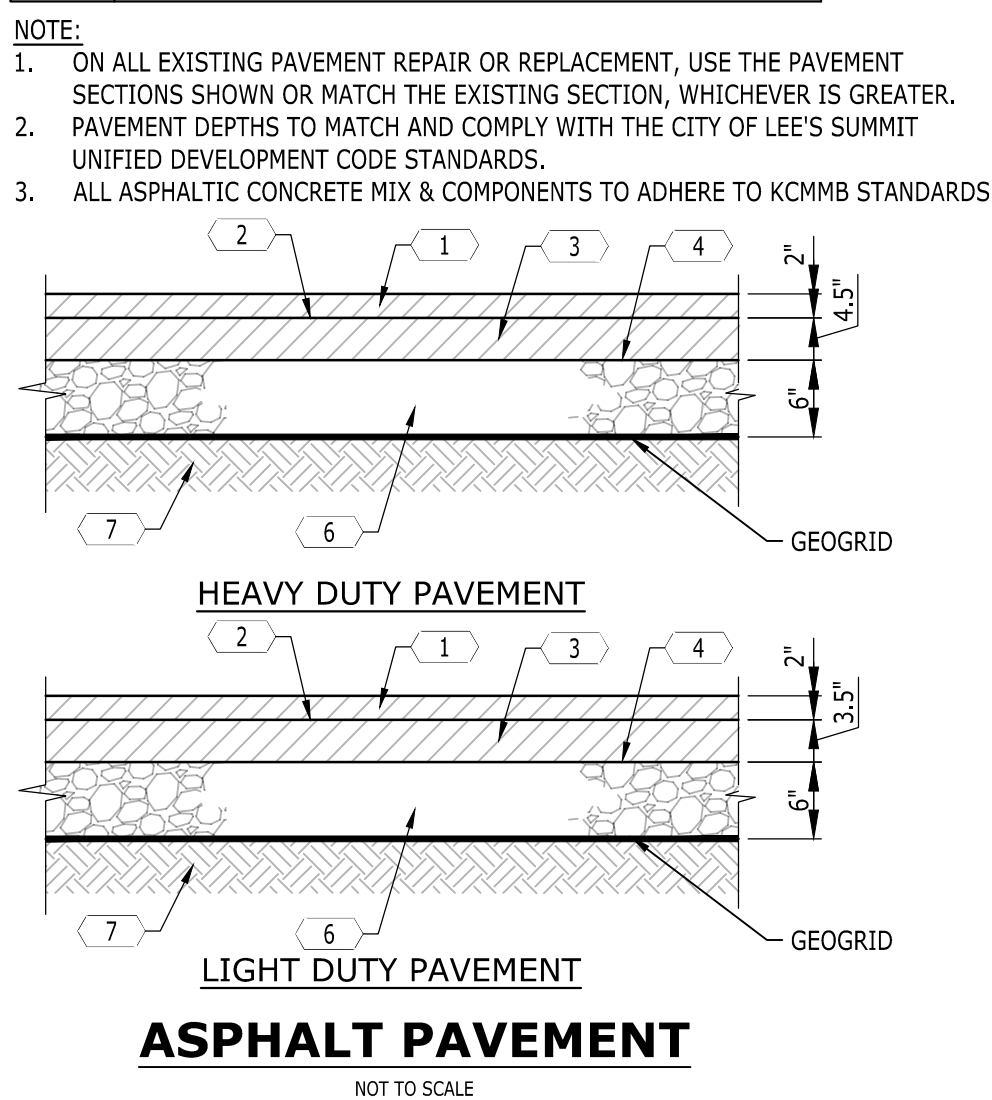
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2



1



DP-C6.0

SITE DETAILS

REVISIONS		
REV #	DESCRIPTION	DATE

FINAL DEVELOPMENT PLAN
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MEDICAL CENTER
2000 SE SHENANDOAH DRIVE
LEE'S SUMMIT, MO 64063
JACKSON COUNTY

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SITE DETAILS

DATE: 2024/12/13
SCALE: AP
DRAWN: JP
REVIEWED: 6406.24
JOB NUMBER:

REVISIONS		
REV #	DESCRIPTION	DATE

AUTHORITY HAVING JURISDICTION:
CITY OF LEE'S SUMMIT BUILDING DEPT.
MISSOURI DHSS

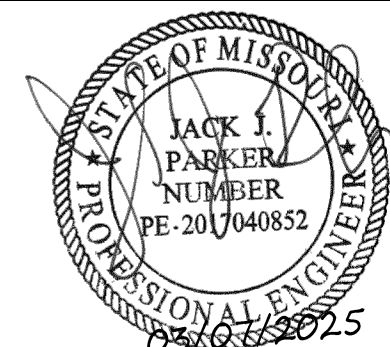
FACILITY NUMBER:
0972400009

AGENCY APPROVALS:
AGENCY

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MEDICAL CENTER
2100 SE BLUE PKWY
LEE'S SUMMIT, MO 64063

ED EXPANSION

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Consultant:

Catalyst
DESIGN GROUP
1524 WILLIAMS DRIVE, SUITE 201, MURFREESBORO, TN 37129
(615) 622-7200 | WWW.CATALYST-DG.COM

Devenney
GROUP

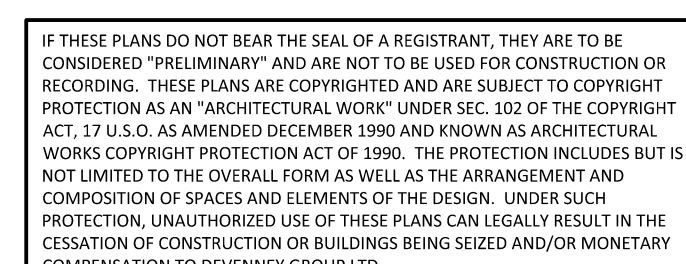
Devenney Group Ltd., Architects

6900 East Camelback Road
Suite 500
Scottsdale, AZ 85251

T: 602.943.8950

www.devenneygroup.com

Consultant



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FACILITY NUMBER
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AGENCY APPROVALS:
AGENCY

DATE:	2024/12/1
SCALE:	1:2
DRAWN:	A
REVIEWED:	

LANDSCAPE PLAN

DP-L1.0



SUMMIT, MO 64063
816-282-5000

FINAL DEVELOPMENT PLAN
HCHA LEE'S SUMMIT
MEDICAL CENTER
2000 SE SHENANDOAH DRIVE
LEE'S SUMMIT, MO, 64063
JACKSON COUNTY

DRAWING TITLE




LANDSCAPE PLAN

PROJECT NUMBER	20240037
----------------	----------

DRAWING NUMBER

DP-L1.0

CODE	DESCRIPTION	DET # / SHT #
L1	PLANTING BED LIMITS	1 / L2.0
L2	IRRIGATION LIMITS	NOTES / L2.0
L3	AREA TO BE SEEDDED	
L4	AREA TO BE SODDED	

LEGEND	
LIMITS OF IRRIGATION	
STORM PIPE & INLET	
PROPOSED CONTOUR ELEV.	

LANDSCAPING REQUIREMENTS

SEC. 8.790.A - STREET FRONTAGE

NA - NO STREET FRONTAGE ASSOCIATED WITH ADDITION

SEC. 8790.B - OPEN YARDS

2 SHRUBS / 5,000 S.F. OF TOTAL LOT AREA

12,661 S.F. PROJECT LOT AREA / 5,000 x 2 = 6 SHRUBS REQ
5 SHRUBS PROVIDED

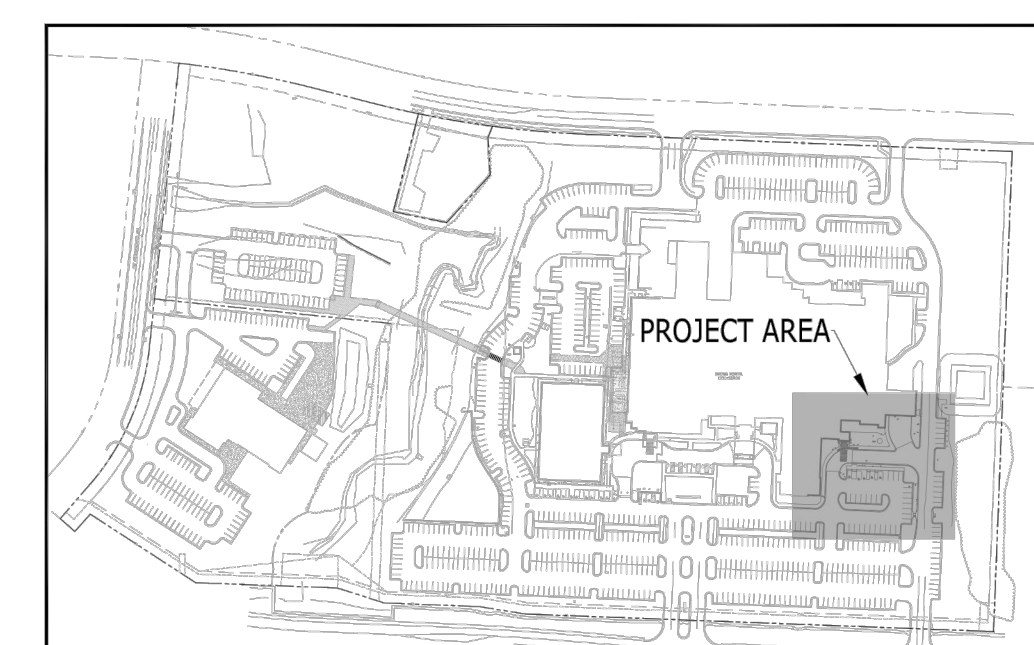
8.810 PARKING LOT TREES

5% OF PARKING AREA LANDSCAPE AREA

303 S.F. LANDSCAPE ISLANDS PROVIDED

8.820 PARKING LOT SCREENING

NA - PARKING AREA DOES NOT FRONT ROW



KEY MAP



Know what's below.
Call before you dig.



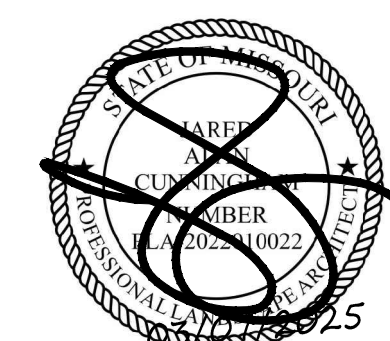
2024/20240037 Devenney - HCA Lee's Summit Medical Center Med Surg Exp\dwg\Construction\ED EXPANSION\20240037 LAN.dwg-DP-1.0 LANDSCAPE PLAN Mar 11, 2025 wblissard

EXISTING HOSPITAL
F.F.E.=1006.20

PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
TREES					
AB	1	Acer rubrum 'Bowhall Red' / Red Maple	B&B	2.5"	12-14'
QR	1	Cercis canadensis '182' TM / The Rising Sun Eastern Redbud	B&B	1.5"	7-9'
QP	1	Quercus phellos / Willow Oak	B&B	2.5"	12-14'
SHRUBS					
HRQ	5	Hydrangea paniculata 'Bulkt' / Quick Fire® Panicle Hydrangea	#3		18"
IVL	13	Ita virginica 'Little Henry' TM / Virginia Sweetpire	#3		15-18"
J62	41	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper	#1		12-15"
PN	59	Juniperus virginiana 'Northland' / Northland Switch Grass	#1		15-18"
TD	1	Taxus media 'Densata' / Dwarf Norway Spruce	#1		12-15"

LEGEND



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AUTHORITY HAVING JURISDICTION:
CITY OF LEE'S SUMMIT BUILDING DEPT.
MISSOURI DHSS

FACILITY NUMBER
0972400009

AGENCY APPROVALS:
AGENCY

REVISIONS		
REV #	DESCRIPTION	DATE

DATE:	2024/12/13
SCALE:	1:20
DRAWN:	AP
REVIEWED:	JP
JOB NUMBER:	6406.24

TREE CONSERVATION PLAN

DP-L2.0



**LEE'S SUMMIT
MEDICAL CENTER**
2100 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
816-282-5000

FINAL DEVELOPMENT PLAN
HCA LEE'S SUMMIT
MEDICAL CENTER
2000 SE SHENANDOAH DRIVE
LEE'S SUMMIT, MO, 64063
JACKSON COUNTY

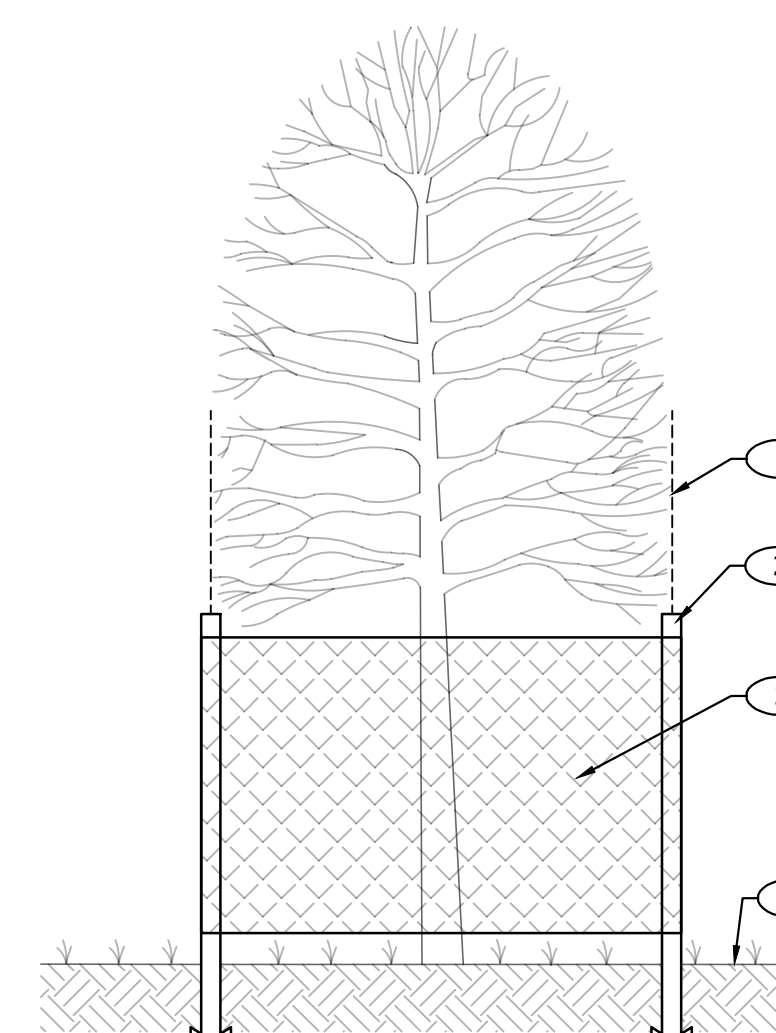
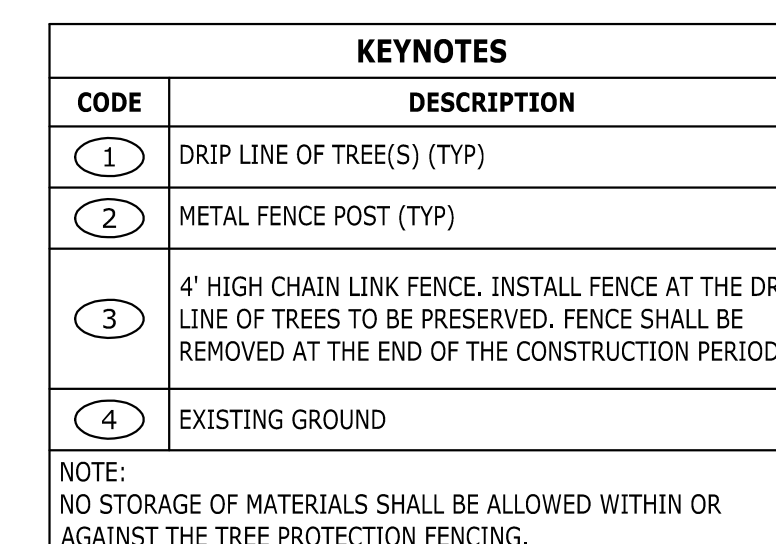
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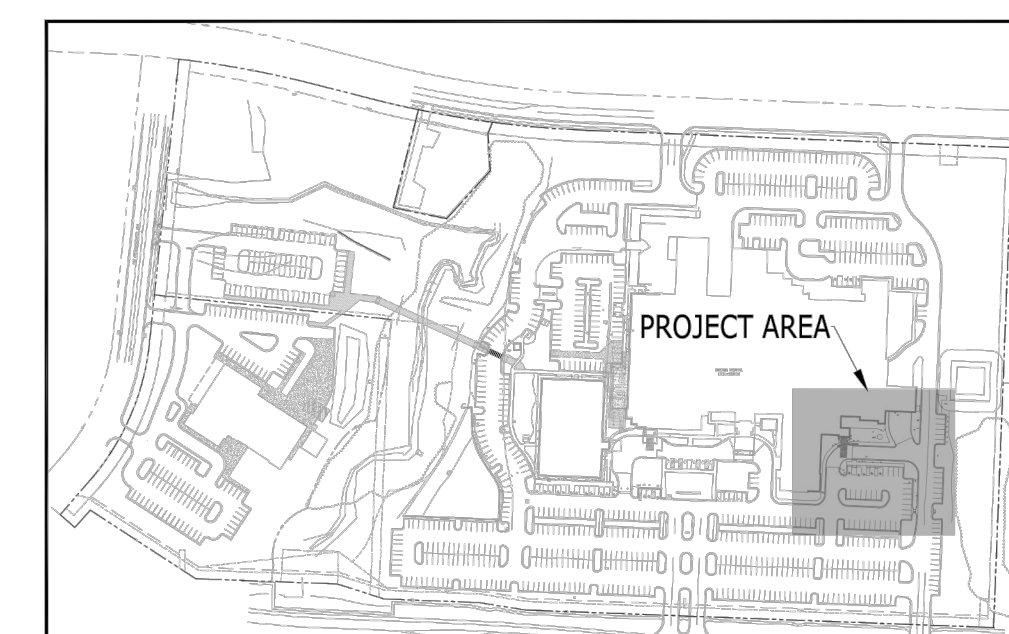
TREE CONSERVATION
PLAN

PROJECT NUMBER	20240037
DRAWING NUMBER	



DP-L2.0



TREE PROTECTION

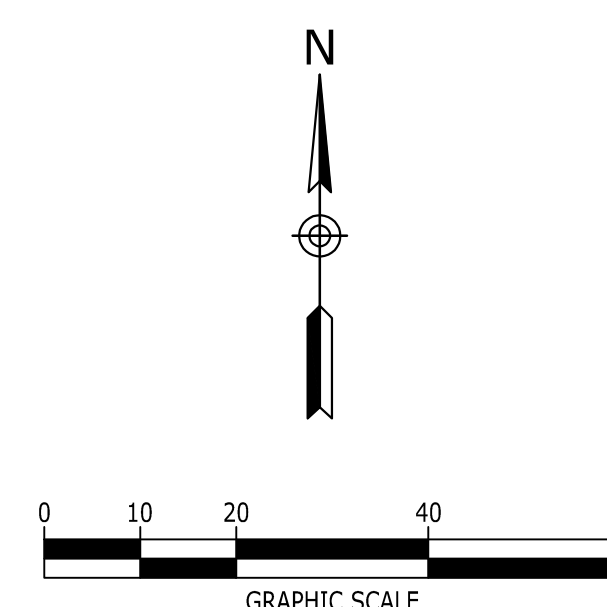


KEY MESSAGE
NOT TO FEEL

LEGEND	
SIGNIFICANT TREE TO BE REMOVED	
OTHER TREE TO BE REMOVED (NOT SIGNIFICANT)	
LIMITS OF DISTURBANCE	
TREE PROTECTION FENCE	



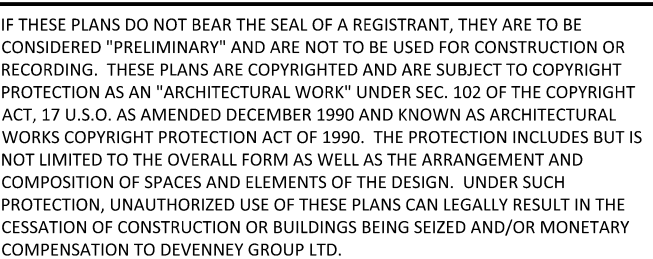
Know what's below.
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D:\2024\20240037_Devenney - HCA Lee's Summit Medical Center\Exp\dwg\Construction\ED EXPANSION\20240037_TPR.dwg-DP-L2.0 TREE CONSERVATION PLAN Mar 11, 2025 wblissard



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DP-L3.0

10. IRRIGATION CONTRACTOR TO COORDINATE PLACEMENT OF REQUIRED SLEEVES WITH GENERAL CONTRACTOR PRIOR TO PAVING AND CONCRETE INSTALLATION BEING COMPLETED.

52DP-L3.0

DRAWING NUMBER

6/10/2024 9:05:24 PM

REFER TO CIVIL DRAWINGS
FOR PARKING SUMMARY



Devenney Group Ltd., Architects
6900 East Camelback Road
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Scottsdale, AZ 85251
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2100 SE BLUE PKWY LEE'S
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AUTHORITY HAVING JURISDICTION:
CITY OF LEE'S SUMMIT BUILDING DEPT.
MISSOURI DHSS

FACILITY NUMBER:
0972400011

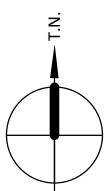
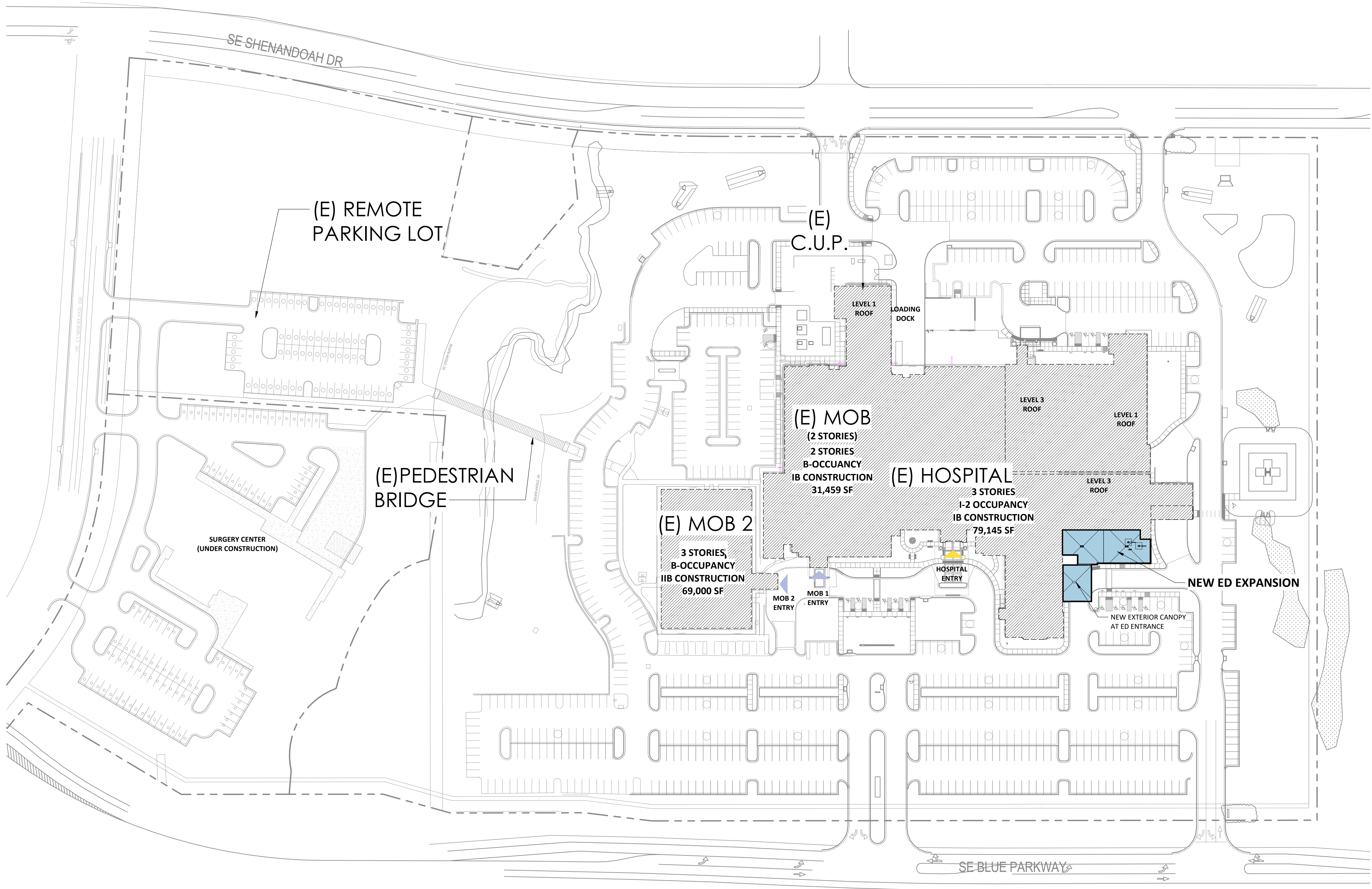
AGENCY APPROVALS:
AGENCY

REVISIONS		
REV #	DESCRIPTION	DATE

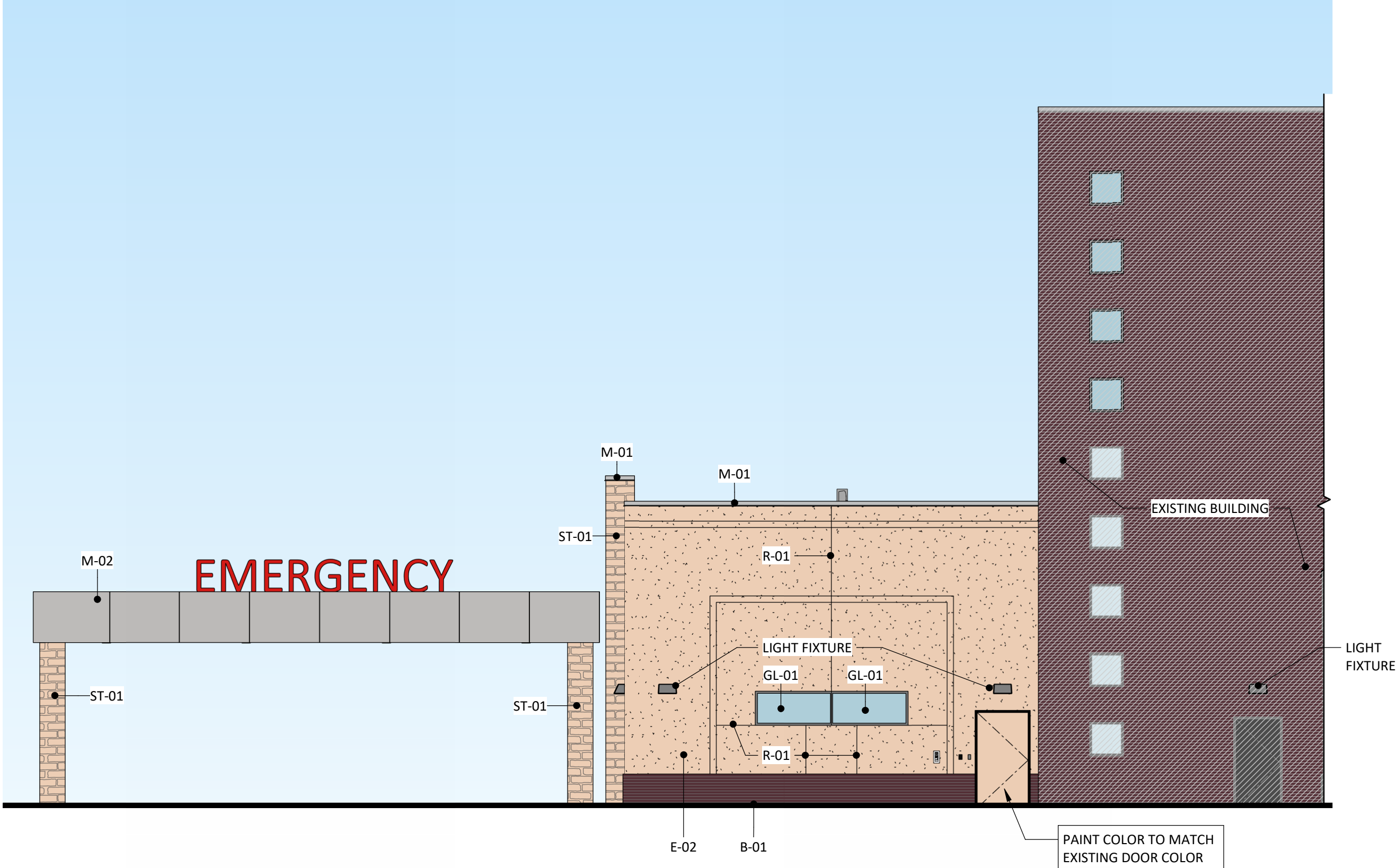
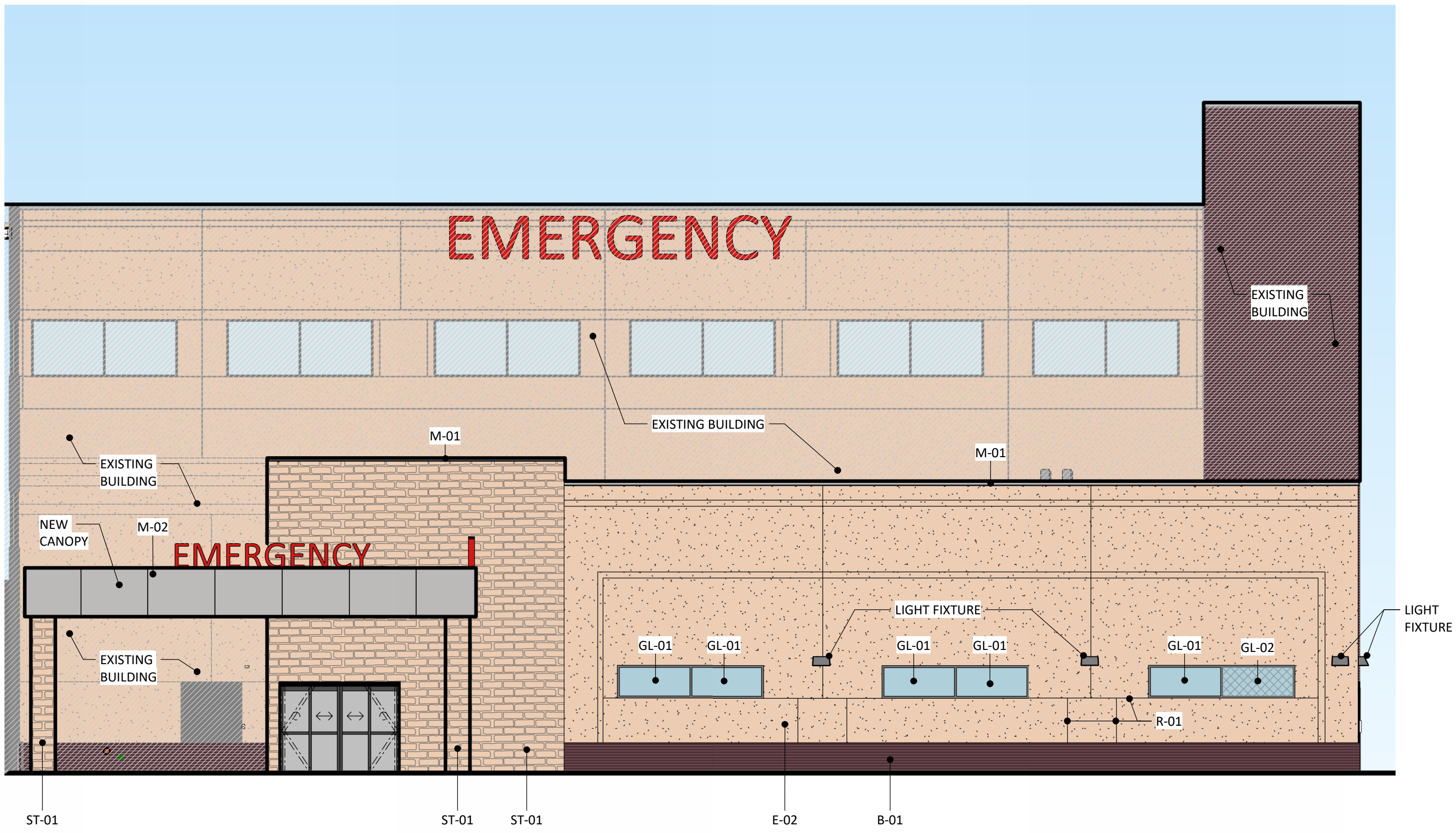
DATE: 03/07/25
SCALE: 1/64" = 1'-0"
DRAWN: JV, LL
REVIEWED:
JOB NUMBER: 6406.24.0003

ARCHITECTURAL SITE PLAN

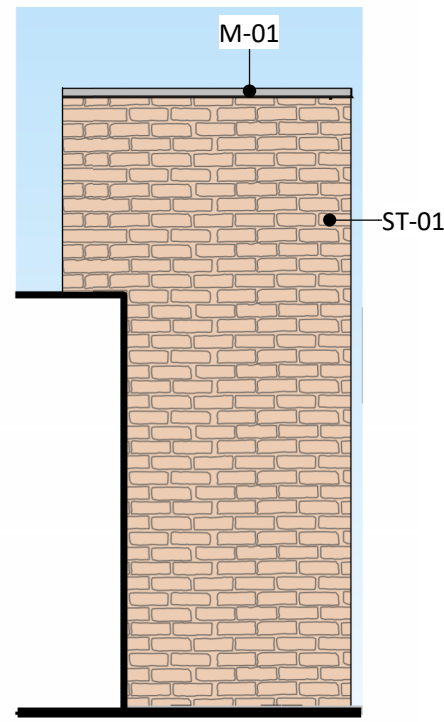
DP-AS001



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MATERIAL LEGEND	
	GL-01 PRODUCT: VISION INSULATED GLAZING UNIT MFR: TBD FINISH: MATCH EXISTING
	GL-02 PRODUCT: SPANDREL INSULATED GLAZING UNIT MFR: TBD FINISH: MATCH EXISTING
	E-02 PRODUCT: EXTERIOR INSULATION FINISH SYSTEM COLOR 2 MFR: TBD FINISH: MATCH EXISTING
	B-01 PRODUCT: THIN BRICK VENEER MFR: TBD FINISH: MATCH EXISTING
	M-01 PRODUCT: PREFINISHED METAL COPING MFR: TBD FINISH: MATCH EXISTING
	M-02 PRODUCT: METAL CANOPY MFR: TBD FINISH: MATCH EXISTING
	R-01 PRODUCT: EIFS AND STONE REVEAL MFR: TBD FINISH: MATCH EXISTING
	S-01 PRODUCT: STONE VENEER MFR: TBD FINISH: MATCH EXISTING



Devenney
GROUP

Devenney Group Ltd., Architects

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MISSOURI DHSS

FACILITY NUMBER:
0972400011

AGENCY APPROVALS:
AGENCY

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REV #	DESCRIPTION	DATE

DATE: 03/07/25
SCALE: 1/8" = 1'-0"
DRAWN: JV, LL
REVIEWED: DP/MM
JOB NUMBER: 6406.24.0003

EXTERIOR BUILDING
ELEVATIONS

DP-AE201

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3/6/2025 9:46:15 AM

1 FLOOR PLAN - LEVEL 01 - SITE LIGHTING - PHOTOMETRICS
1/8" = 1'-0"



Luminaire Schedule				
Symbol	Qty	Label	Description	Tag
⊙	6	MSF LED P1 40K VW WWOVLT	MSF LED P1 40K VW WWOVLT	21
⊙	12	EVOC 40-40 AK WMD L&S	EVOC 40-40 AK WMD L&S	23

Calculation Summary				
Label	CalcType	Units	Avg	Max
CANOPY	Illuminance	FC	28.08	35.8
STAIRWALK	Illuminance	FC	5.52	11.2

GENERAL NOTES

- A. REFER TO AND COORDINATE WITH ARCHITECTURAL PLANS, ELEVATIONS, EQUIPMENT VENDOR DRAWINGS AND DETAILS FOR EXACT LOCATIONS AND MOUNTING HEIGHT OF ALL WIRING DEVICES
B. REFER TO SHEET E00-00 FOR ELECTRICAL SYMBOLS APPEARING ON THIS SHEET AND ADDITIONAL GENERAL NOTES
C. REFER TO SHEET E08-01 FOR LIGHT FIXTURE SCHEDULES
D. CONTRACTORS SHALL USE FMC TRANSITIONS FROM EMT AT BUILDING EXPANSION JOINTS WHEN APPLICABLE. FMC ROUTING SHALL BE PROVIDED TO ALLOW LATERAL AND VERTICAL ADJUSTMENTS IN LINE WITH COORDINATE EXACT LOCATIONS OF EXPANSION JOINTS WITH ARCHITECTURAL DRAWINGS

LEGEND NOTES



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www.devenneygroup.com

Consultant:



300 WYANDOTTE, SUITE 200
KANSAS CITY, MO 64105

INTERIM REVIEW ONLY

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Engineer: KENNY SUSAN WHITELER
Exp. Reg. No. PE-2077000220
Date: 03/07/25
Firm: WSP USA Corp. 2013001881

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2100 SE BLUE PKWY LEE'S
SUMMIT, MO 64063

AUTHORITY HAVING JURISDICTION:
CITY OF LEE'S SUMMIT BUILDING DEPT.
MISSOURI DHSS

FACILITY NUMBER:
0972400011

AGENCY APPROVALS:
AGENCY

REVISIONS

REV #	DESCRIPTION	DATE
-------	-------------	------

DATE: 03/07/25
SCALE: 1/8" = 1'-0"
DRAWN: WSP
REVIEWED: WSP
JOB NUMBER: U50040241.3707

SITE PLAN - PHOTOMETRICS

DP-E01-01



1 SITE PLAN - ELECTRICAL
1/8" = 1'-0"

GENERAL NOTES

- REFER TO AND COORDINATE WITH ARCHITECTURAL PLANS, ELEVATIONS, EQUIPMENT VENDOR DRAWINGS AND DETAILS FOR EXACT LOCATIONS AND MOUNTING HEIGHT OF ALL WIRING DEVICES.
- REFER TO SHEET E00-00 FOR ELECTRICAL SYMBOLS APPEARING ON THIS SHEET AND ADDITIONAL GENERAL NOTES.
- REFER TO SHEET E00-01 FOR LIGHT FIXTURE SCHEDULES.
- CONTRACTORS SHALL USE FMC TRANSITIONS FROM EMT AT BUILDING EXPANSION JOINTS WHEN APPLICABLE. FMC ROUTING SHALL BE PROVIDED TO ALLOW LATERAL AND VERTICAL ADJUSTMENTS IN LINE WITH COORDINATE EXACT LOCATIONS OF EXPANSION JOINTS WITH ARCHITECTURAL DRAWINGS.

LEGEND NOTES

- CONNECT TO EXISTING EXTERIOR LIFE SAFETY CIRCUIT AND CONTROL PREVIOUSLY SERVING THIS AREA.



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Consultant:



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Date: 03/07/25
Firm: WSP USA Corp. 2013001881

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ED EXPANSION

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SUMMIT, MO 64063

AUTHORITY HAVING JURISDICTION:
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MISSOURI DHSS

FACILITY NUMBER:
0972400011

AGENCY APPROVALS:
AGENCY

REVISIONS		
REV #	DESCRIPTION	DATE

DATE: 03/07/25
SCALE: 1/8" = 1'-0"
DRAWN: WSP
REVIEWED: WSP
JOB NUMBER: U50040241.3707

SITE PLAN - ELECTRICAL

DP-E01-02

Autodesk Doc./Pldg/24 - HCA - Lee's Summit Medical Center (LSMC) - E01-02 (MED - LSNC ED Expansion) - R23.rvt 3/6/2025 9:46:45 AM Notice of Alternate Billing or Payment Cycle: The Owner may plan to make payments on an alternative schedule. A written description of such billing or payment cycle applicable to the Project is available from the Owner or the Owner's designated agent upon request.

ELECTRICAL LUMINAIRE FIXTURE SCHEDULE

ELECTRICAL LUMINAIRE FIXTURE SCHEDULE																		
TYPE	PHYSICAL DESCRIPTION							ELECTRICAL SPECIFICATIONS							MANUFACTURER INFORMATION			
	DESCRIPTION	LOCATION	HOUSING	REFLECTOR	SHIELDING	FINISH	MOUNTING	COLOR TEMP	LAMP	LUMENS	HOURS	VA	UNITS	BALLAST / DRIVER	VOLTAGE	MANUFACTURER	CATALOG NUMBER	REMARKS
M3	6" LED DOWNLIGHT WITH 45 DEGREE CUT OFF	CANOPY	16 GA. GALVANIZED STEEL CONSTRUCTION	HIGH-IMPACT, FROSTED POLYCARBONATE LENS	LIGHT ENGINE AND DRIVER ACCESSIBLE THROUGH APERTURE	MATTE WHITE SELF-FLANGED, SEMI-SPECULAR FINISH	RECESSED GYPSUM BOARD OR LAY IN CEILING	4,000	LED	4,000	60000	15	EACH	LED DRIVER - LINEAR DIMMING 0-10V DOWN TO 1%	120	GOTHAM	#EVO6 4040 AR LSS MW MVOLT G210	
Z1	LED TRAPEZOIDAL WALL PACK WITH PHOTOCELL, WIDE DISTRIBUTION	EXTERIOR	DIE CAST ALUMINUM, DIE-CAST DOOR FRAME WITH SOLD SILICONE GASKET, IP65	N/A	FULL CUTOFF	THERMOSET POWDER COAT FINISH, DARK BRONZE, CONFORM WITH ARCHITECT	WALL MOUNTED, REFER TO ARCHITECTURAL FOR MOUNTING HEIGHT	4,000	N/A	1,500	100000	11	EACH	LED DRIVER	120	LITHONIA	#WST LED P1 40K VW MVOLT PE DB8XD	

EXIST: H1NLD										NORMAL									
FED FROM:					WIRES: 4W + G					ENCLOSURE: NEMA 1					NEUTRAL BUS: YES				
LOCATION:					MAIN BUS: 225 A					BUS TYPE: COPPER					ISOLATED GROUND BUS: NO				
MCB: 150A					VOLTAGE: 120/208 WYE					MOUNTING: SURFACE					200% NEUTRAL: NO				
AIC AVAILABLE:					AIC RATING: 10000 A					PANEL LUGS: MCB					FEED THROUGH LUGS: YES				
NUMBER OF SECTIONS: 2															POLES PER SECTION: 42				
CKT NO.	DESCRIPTION	TOTAL LOAD (VA)	CIRCUIT BREAKER AMPS / POLES	A	B	C	CIRCUIT BREAKER POLES L...	TOTAL LOAD (VA)	DESCRIPTION	CKT NO.									
1	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	2								
3	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	4								
5	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	6								
7	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	8								
9	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	10								
11	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	12								
13	EXISTING LOAD	--	20	1			1	20	--	SPARE	14								
15	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	16								
17	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	18								
19	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	20								
21	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	22								
23	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	24								
25	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	26								
27	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	28								
29	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	30								
31	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	32								
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35	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	36								
37	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	38								
39	EXISTING LOAD	--	20	1			1	20	--	SPARE	40								
41	EXISTING LOAD	--	20	1			1	20	--	SPARE	42								
43	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	44								
45	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	46								
47	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	48								
49	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	50								
51	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	52								
53	LIGHT - CANOPY	90	20	1			1	20	--	SPARE	54								
55	EXISTING LOAD	--	20	1			1	20	--	SPARE	56								
57	EXISTING LOAD	--	20	1			1	20	--	SPARE	58								
59	EXISTING LOAD	--	20	1			1	20	--	SPARE	60								
61	EXISTING LOAD	--	20	1			1	20	--	SPARE	62								
63	SPARE	--	20	1			1	20	--	SPARE	64								
65	SPARE	--	20	1			1	20	--	SPARE	66								
67	SPARE	--	20	1			1	20	--	SPARE	68								
69	SPARE	--	20	1			1	20	--	EXISTING LOAD	70								
71	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	72								
73	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	74								
75	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	76								
77	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	78								
79	EXISTING LOAD	--	20	1			1	20	--	EXISTING LOAD	80								
81	EXISTING LOAD	--	20	1			1	20	--	SPARE	82								
83	SPARE	--	20	1			1	20	--	SPARE	84								
0 A / 0 A / 1 A																			
LOAD CLASSIFICATION		CONNECTED LOAD (VA)		ESTIMATED DEMAND (VA)		PANEL TOTALS													
LIGHT		90		113															
						EXISTING CONNECTED LOAD:													
						REMOVED CONNECTED LOAD:													
						ADDED CONNECTED LOAD:													
						TOTAL CONNECTED LOAD:													
						TOTAL ESTIMATED DEMAND:													
						31.4		87.1											
						0		0											
						0.1		0.2											
						31.5		87.4											
						31.5		87.5											
NOTES: EXISTING LOAD IS BASED ON 30 DAY METERING LOAD FROM 06/05/2024 - 07/05/2024 X 1.25.																			

EXIST: H1CLD										CRITICAL									
FED FROM:										WIRES: 4W + G									
LOCATION:										ENCLOSURE: NEMA 1									
MAIN BUS: 225 A										BUS TYPE: COPPER									
MCB: 150A										MOUNTING: SURFACE									
VOLTAGE: 120/208 WYE										PANEL LUGS: MCB									
AIC AVAILABLE:										FEED THROUGH LUGS: YES									
AIC RATING: 10000 A										POLES PER SECTION: 42									
NUMBER OF SECTIONS: 2																			
CKT NO.	DESCRIPTION	TOTAL LOAD (VA)	CIRCUIT BREAKER AMPS / POLES	A	B	C	CIRCUIT BREAKER POLES L...	TOTAL LOAD (VA)	DESCRIPTION	CKT NO.									
1	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	2									
3	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	4									
5	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	6									
7	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	8									
9	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	10									
11	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	12									
13	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	14									
15	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	16									
17	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	18									
19	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	20									
21	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	22									
23	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	24									
25	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	26									
27	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	28									
29	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	30									
31	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	32									
33	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	34									
35	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	36									
37	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	38									
39	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	40									
41	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	42									
43	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	44									
45	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	46									
47	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	48									
49	EXISTING LOAD	--	20	1			1 20	500	ED SIGN	50									
51	EXISTING LOAD	--	20	1			1 20	500	ED SIGN	52									
53	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	54									
55	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	56									
57	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	58									
59	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	60									
61	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	62									
63	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	64									
65	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	66									
67	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	68									
69	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	70									
71	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	72									
73	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	74									
75	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	76									
77	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	78									
79	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	80									
81	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	82									
83	EXISTING LOAD	--	20	1			1 20	--	EXISTING LOAD	84									
5 A / 5 A / 0 A																			
LOAD CLASSIFICATION		CONNECTED LOAD (VA)	ESTIMATED DEMAND (VA)		PANEL TOTALS														
MISC		1,000	1,000																
					EXISTING CONNECTED LOAD:														
					REMOVED CONNECTED LOAD:														
					ADDED CONNECTED LOAD:														
					TOTAL CONNECTED LOAD:														
					TOTAL ESTIMATED DEMAND:														
					KVA														
					AMPS														
					26.9														
					74.7														
					0														
					2.8														
					77.4														
					27.9														
					77.4														
NOTES: EXISTING LOAD IS BASED ON 30 DAY METERING LOAD FROM 06/05/2024 - 07/05/2024 X 1.25.																			

COPPER FEEDER SCHEDULE 600V MAX.	
FEEDER TAG & AMPERE RATING	FEEDER DESCRIPTION
15.3, 20.3 15.4, 20.4	3#12, 1#12 G, 3/4" C 3#12, 1#12 N, 1#12 G, 3/4" C
25.3, 30.3 25.4, 30.4	3#10, 1#10 G, 3/4" C 3#10, 1#10 N, 1#10 G, 3/4" C
35.3, 40.3 35.4, 40.4	3#8, 1#10 G, 3/4" C 3#8, 1#8 N, 1#10 G, 3/4" C
45.3, 50.3 45.4, 50.4	3#6, 1#10 G, 3/4" C 3#6, 1#6 N, 1#10 G, 1" C
60.3 60.4	3#4, 1#10 G, 1" C 3#4, 1#4 N, 1#10 G, 1 1/4" C
70.3 70.4	3#4, 1#8 G, 1" C 3#4, 1#4 N, 1#8 G, 1-1/4" C
80.3 80.4	3#3, 1#8 G, 1-1/4" C 3#3, 1#3 N, 1#8 G, 1-1/4" C
90.3 90.4	3#2, 1#8 G, 1-1/4" C 3#2, 1#2 N, 1#8 G, 1-1/4" C
100.3 100.4	3#1, 1#8 G, 1-1/4" C 3#1, 1#1 N, 1#8 G, 1-1/2" C
110.3 110.4	3#1, 1#6 G, 1-1/4" C 3#1, 1#1 N, 1#6 G, 1-1/2" C
125.3, 150.3 125.4, 150.4	3#10, 1#6 G, 1-1/2" C 3#10, 1#10 N, 1#6 G, 2" C
175.3 175.4	3#20, 1#6 G, 2" C 3#20, 1#20 N, 1#6 G, 2" C
200.3 200.4	3#30, 1#6 G, 2" C 3#30, 1#30 N, 1#6 G, 2" C
225.3 225.4	3#40, 1#4 G, 2" C 3#40, 1#40 N, 1#4 G, 2-1/2" C
250.3 250.4	3#250KCM, 1#4 G, 2-1/2" C 3#250KCM, 1-250KCM N, 1#4 G, 2-1/2" C
300.3 300.4	3#350KCM, 1#4 G, 2-1/2" C 3#350KCM, 1-350KCM N, 1#4 G, 3" C
350.3 350.4	3#500KCM, 1#3 G, 3" C 3#500KCM, 1-500KCM N, 1#3 G, 3-1/2" C
400.3 400.4	2 SETS EACH OF {3#30, 1#3 G, 2" C} 2 SETS EACH OF {3#30, 1#30 N, 1#3 G, 2-1/2" C}
450.3 450.4	2 SETS EACH OF {3#40, 1#2 G, 2" C} 2 SETS EACH OF {3#40, 1#40 N, 1#2 G, 2-1/2" C}
500.3 500.4	2 SETS EACH OF {3#250KCM, 1#2 G, 2-1/2" C} 2 SETS EACH OF {3#250KCM, 1#250KCM N, 1#2 G, 2-1/2" C}
600.3 600.4	2 SETS EACH OF {3#350KCM, 1#1 G, 2-1/2" C} 2 SETS EACH OF {3#350KCM, 1#350KCM N, 1#1 G, 3" C}
700.3 700.4	2 SETS EACH OF {3#500KCM, 1#10 G, 3" C} 2 SETS EACH OF {3#500KCM, 1#500KCM N, 1#10 G, 3-1/2" C}
800.3 800.4	3 SETS EACH OF {3#300KCM, 1#10 G, 3" C} 3 SETS EACH OF {3#300KCM, 1#300KCM N, 1#10 G, 3" C}
900.3 900.4	3 SETS EACH OF {3#400KCM, 1#20 G, 3" C} 3 SETS EACH OF {3#400KCM, 1#400KCM N, 1#20 G, 3" C}
1000.3 1000.4	3 SETS EACH OF {3#400KCM, 1#20 G, 3" C} 3 SETS EACH OF {3#400KCM, 1#400KCM N, 1#20 G, 3" C}
1200.3 1200.4	4 SETS EACH OF {3#350KCM, 1#30 G, 3" C} 4 SETS EACH OF {3#350KCM, 1#350KCM N, 1#30 G, 3" C}
1400.3 1400.4	4 SETS EACH OF {3#500KCM, 1#40 G, 3" C} 4 SETS EACH OF {3#500KCM, 1#500KCM N, 1#40 G, 3-1/2" C}
1600.3 1600.4	5 SETS EACH OF {3#400KCM, 1#40 G, 3" C} 5 SETS EACH OF {3#400KCM, 1#400KCM N, 1#40 G, 3" C}
2000.3 2000.4	6 SETS EACH OF {3#400KCM, 1#250KCM G, 3" C} 6 SETS EACH OF {3#400KCM, 1#400KCM N, 1#250KCM G, 3" C}
2500.3 2500.4	7 SETS EACH OF {3#500KCM, 1#350KCM G, 3-1/2" C} 7 SETS EACH OF {3#500KCM, 1#500KCM N, 1#350KCM G, 3-1/2" C}
3000.3 3000.4	8 SETS EACH OF {3#500KCM, 1#400KCM G, 3" C} 8 SETS EACH OF {3#500KCM, 1#500KCM N, 1#400KCM G, 3-1/2" C}
4000.3 4000.4	11 SETS EACH OF {#4500KCM, 1#500KCM G, 3-1/2" C} 11 SETS EACH OF {#4500KCM, 1#500KCM N, 1#500KCM G, 3-1/2" C}