

LEE'S SUMMIT HYUNDAI PREMIER AUTO OUTLET

PROJECT DESCRIPTION:
NEW HYUNDAI AUTOMOBILE DEALERSHIP WITH SHOWROOM AND VEHICLE SERVICE AREA.

BASE BID:
• BASE BID SHALL INCLUDE ALL WORK DEPICTED IN SPECIFICATIONS AND DRAWINGS AS REQUIRED. CONTRACTOR SHALL CONSTRUCT PER CODES ADOPTED BY AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY AND ALL DISCREPANCIES OR CONFLICTS.

ALTERNATES:
• ALTERNATE NO.1: PROVIDE 1/2" GYPSUM BOARD IN LIEU OF 5/8" GYPSUM BOARD WHERE APPLICABLE. (BID AS DEDUCT / ALTERNATE)
• ALTERNATE NO.2: IN LIEU OF BATT INSULATION, PROVIDE CLOSED CELL SPRAY INSULATION IN ALL APPLICABLE EXTERIOR WALLS. (BID AS ADD / ALTERNATE)
• ALTERNATE NO.3: IN LIEU OF MECHANICALLY FASTENED TPO MEMBRANE & 1/2" POLY-ISO COVERBOARD, PROVIDE FULLY ADHERED 60 MIL FLEECE BACK TPO MEMBRANE. (BID AS DEDUCT / ALTERNATE)

UNIT COSTS:
• UNIT COST NO.1: PROVIDE COST FOR 1 LINEAR FOOT OF 2'-0" DEEP, 3/4" BIRCH PLYWOOD PAINTED BLACK SHELVEING WITH STEEL BRACKETS.
• UNIT COST NO.2: PROVIDE COST FOR 1 SF OF WC-1, REF SPECIFICATIONS.

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Blanchard AE Group



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BID SET

DATE: 01-22-2025

2024-016

LEE'S SUMMIT HYUNDAI PREMIER AUTO
OUTLET

1231 NW WARD RD, LEES SUMMIT, MO 64086

HYUNDAI STANDARD PLANNING GUIDE TABLE					
TOTAL USEABLE LAND AND BUILDING AREA: 111,550 SQFT					
BUILDING MINIMUM SQUARE FOOTAGE (ACCORDING TO GDSI): 14,200 SQFT					
ACTUAL BUILDING SQFT: 21,670.75 SQFT					
HYUNDAI MOTOR AMERICA - FACILITY SPACE GUIDELINES					
INPUT DEALER CODE	MOH11				
DEALER NAME	LEE'S SUMMIT HYUNDAI				
SALES PLANNING GUIDE	687	CATEGORY 5			
7YR UNITS IN OPERATION	2,746				
12M ROLL OVERS					
TOTAL USABLE LAND AND BUILDING AREA	111,550 SQFT	2.6 ACRES			
BUILDING AREA MINIMUM	14,200 SQFT				
INTERIOR	MINIMUM REQUIREMENTS		ACTUAL		
SITE A + B SPACE GUIDELINE - BUILDING	SQUARE FEET	# STALLS	SQUARE FOOTAGE	# STALLS	% UNDER / OVER
CUSTOMER FOCUS AREA	5,350	-	5,375.44	-	100.48%
DISPLAY VEHICLE	-	5	-	5	100%
GENERAL ADMIN / BUSINESS OFFICE	1,450	-	1,492.61	-	102.94%
SERVICE DRIVE	1,800	4	1,812.32	-	100.68%
SERVICE WORKSHOP	4,200	-	11,462.20	-	272.91%
SERVICE DRIVE (BAYS AND ALIGNMENT RACK)	-	8	-	9	112.5%
PARTS STORAGE	1,400	-	1410.53	-	100.75%
TOTAL BUILDING AREA	14,200	-	21,670.75	-	152.61%
EXTERIOR	MINIMUM REQUIREMENTS		ACTUAL		
SITE A + B SITE GUIDELINES USABLE LAND	SQUARE FEET	# STALLS	SQUARE FOOTAGE	# STALLS	% UNDER / OVER
SALES CUSTOMER PARKING	4,800	16	-	18	113%
SERVICE SHOP PARKING	9,600	32	-	62	194%
NEW VEHICLE DISPLAY	48,000	150	-	180	120%
USED VEHICLE DISPLAY	19,200	60	-	139	232%
EMPLOYEE PARKING AND MISCELLANEOUS	15,750	42	-	71	169%
TOTAL PARKING	-	300	-	470	157%
TOTAL USABLE LAND AREA (EXCL. BUILDING)	97,350	-	152,705	-	156%
TOTAL USEABLE LAND AREA (INCL. BUILDING)	111,550	-	174,520	-	156%



GENERAL NOTE:
SITE SIGNAGE AND COMPONENTS REFER CIVIL DRAWING.



SITE LOCATION

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COVER SHEET

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CODE ANALYSIS: 2018 IBC

REASON FOR SUBMITTAL - NEW CONSTRUCTION

IBC CONSTRUCTION

MIXED USE OCCUPANCY : S-1 & B

FULLY SPRINKLED - YES

ALLOWABLE HEIGHT/STORIES - 75 FT / 3 STORIES PER IBC 504

ACTUAL HEIGHT - 26 FT

ACTUAL STORIES - 1

ALLOWABLE SQUARE FOOTAGE S1 - 70,000 SF PER IBC 506.2

FRONTAGE INCREASE - 52,500 SF PER IBC 506.3.3

TOTAL ALLOWABLE SQUARE FOOTAGE W/ FRONTAGE - 122,500 SF PER IBC 506.3.3

TOTAL ACTUAL SQUARE FOOTAGE - 21,670.75 SF

ACTIVE FIRE SAFETY FEATURES -
 FIRE EXTINGUISHERS
 EXIT SIGNS
 EMERGENCY LIGHTING
 AUTOMATIC SPRINKLER SYSTEM

TOTAL OCCUPANT LOAD - 192

FACILITY NAME - PREMIER HYUNDAI OF LEE'S SUMMIT

FACILITY ADDRESS - (NW BLUE PKWY & NW WARD RD) LOT 1A
 (ADDRESS TBD) LEE'S SUMMIT, MO 64086

CITY - LEE'S SUMMIT COUNTY - JACKSON

LOCAL FIRE DEPARTMENT - LEE'S SUMMIT FIRE DEPARTMENT

WATER SUPPLY - JACKSON COUNTY, MISSOURI

LOCAL CITY INSPECTION DEPARTMENT - CITY OF LEE'S SUMMIT, MISSOURI

CODES:
 2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL PLUMBING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 INTERNATIONAL FUEL GAS CODE
 2018 INTERNATIONAL FIRE CODE
 2017 NATIONAL ELECTRICAL CODE
 ICC/ANSI A117.1-2009, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

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IBC 2018 - CODE ANALYSIS

TABLE 307.1(1) MAXIMUM ALLOWABLE QUANTITY PER CONTROL AREA OF HAZARDOUS MATERIALS POSING A PHYSICAL HAZARD
 THE STORAGE OF COMBUSTIBLE LIQUIDS SHALL NOT EXCEED 120 GALLONS CLASS II, 330 GALLONS CLASS IIIA, OR 13,200 GALLONS CLASS IIIB IN AN S-1 OCCUPANCY
 PROJECT DOES NOT MEET OR EXCEED THESE THRESHOLDS

406.8.1 VENTILATION.
 REPAIR GARAGES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE. THE VENTILATION SYSTEM SHALL BE CONTROLLED AT THE ENTRANCE TO THE GARAGE.
 PROVIDED, REFERENCE MEP

903.2.9.1 REPAIR GARAGES
 AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS USED AS REPAIR GARAGES WHERE:
 A. GROUP S-1 FIRE AREA EXCEEDS 12,000 SQUARE FEET (1115 M2).
 PROVIDED, REFERENCE MEP

910.2.1 GROUP F-1 OR S-1
 SMOKE AND HEAT REMOVAL ARE NOT REQUIRED BECAUSE THE TOTAL AREA IS LESS THAN 50,000 SF

1016 EXIT ACCESS TRAVEL DISTANCE
 PER TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE, IN BUILDINGS WITH SPRINKLER SYSTEMS, S OCCUPANCIES ALLOW 250 FT TRAVEL DISTANCE

NOTES:

SIGNAGE SHALL BE PROVIDED INDICATING THE IN-BAY CAR WASH (ROOM 130) OVERHEAD DOOR MUST REMAIN OPEN WHILE IN USE OR OCCUPIED.

SECTION 2902.1: MINIMUM REQUIRED PLUMBING FIXTURES MIXED USE OCCUPATION: 192 OCCUPANTS

WATER CLOSETS
 MINIMUM REQUIRED: 5 REQUIRED
 ACTUAL PROVIDED: 4 MALE / 4 FEMALE

LAVATORIES
 MINIMUM REQUIRED: 4 TOTAL REQUIRED
 ACTUAL PROVIDED: 4 MALE / 4 FEMALE

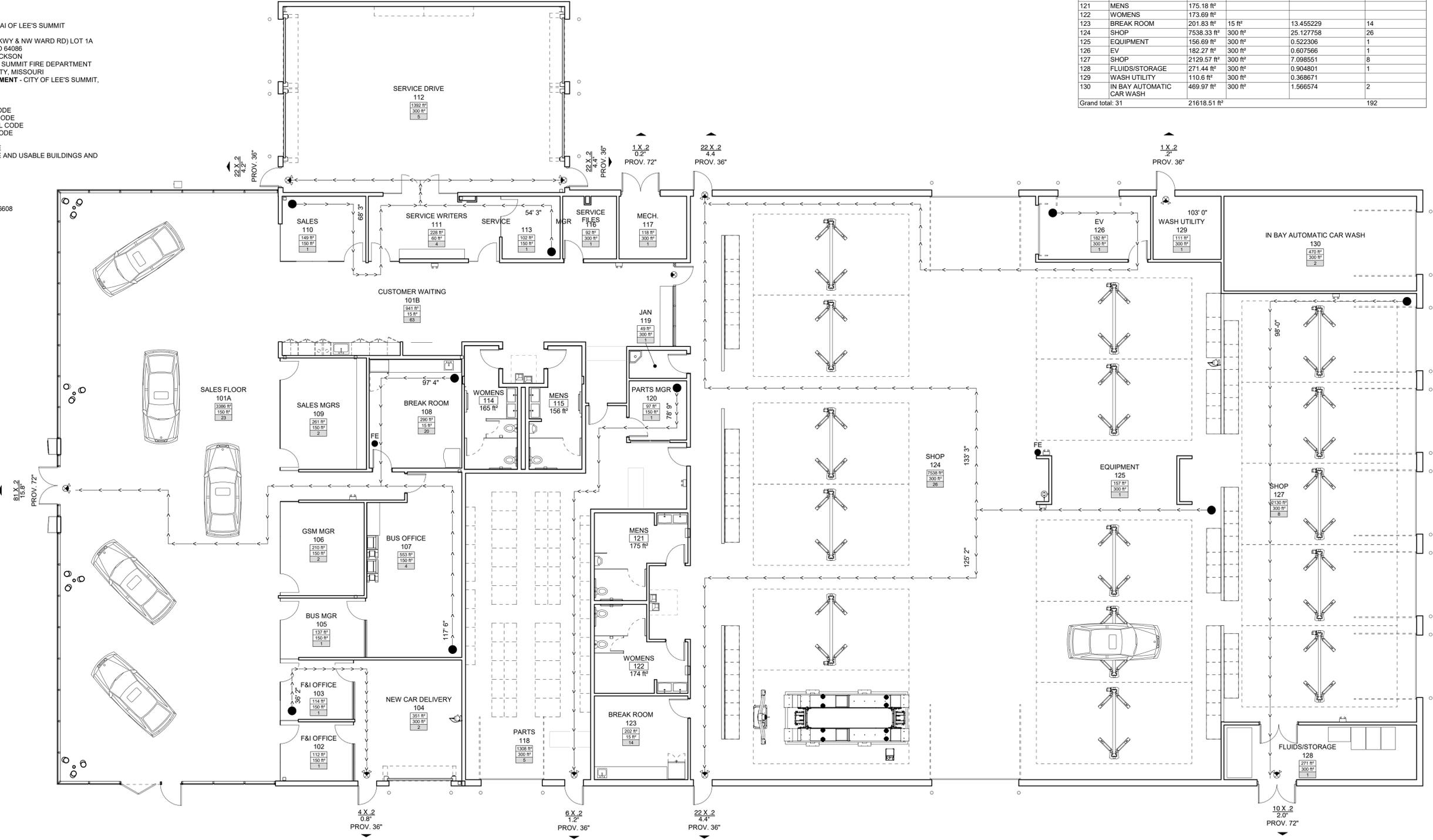
DRINKING FOUNTAINS
 MINIMUM REQUIRED: 2
 ACTUAL PROVIDED: 4

SERVICE SINK: 1 REQUIRED
 ACTUAL PROVIDED: 1

CODE PLAN LEGEND

SYMBOL	DESCRIPTION
	EXIT SIGN
	EXIT SIGN W/ EMERGENCY LIGHTING
	EMERGENCY LIGHTING
	FIRE EXTINGUISHER
	EXIT - EXTERIOR
	PATH OF TRAVEL - EGRESS

OCCUPANCY					
Number	Name	Area	Occupancy Factor	Occupancy Calculation	Occupancy Load
101A	SALES FLOOR	3385.57 ft²	150 ft²	22.570462	23
101B	CUSTOMER WAITING	940.95 ft²	15 ft²	62.729892	63
102	F&I OFFICE	112.37 ft²	150 ft²	0.749152	1
103	F&I OFFICE	114.08 ft²	150 ft²	0.760501	1
104	NEW CAR DELIVERY	350.97 ft²	300 ft²	1.169892	2
105	BUS MGR	137.14 ft²	150 ft²	0.914268	1
106	GSM MGR	209.62 ft²	150 ft²	1.397487	2
107	BUS OFFICE	553.2 ft²	150 ft²	3.688018	4
108	BREAK ROOM	290.09 ft²	15 ft²	19.33961	20
109	SALES MGRS	260.55 ft²	150 ft²	1.736973	2
110	SALES	148.52 ft²	150 ft²	0.990165	1
111	SERVICE WRITERS	227.82 ft²	60 ft²	3.796931	4
112	SERVICE DRIVE	1391.67 ft²	300 ft²	4.638915	5
113	SERVICE MGR	102.05 ft²	150 ft²	0.680329	1
114	WOMENS	165.11 ft²			
115	MENS	156.2 ft²			
116	SERVICE FILES	92.31 ft²	300 ft²	0.307699	1
117	MECH.	117.64 ft²	300 ft²	0.392148	1
118	PARTS	1307.87 ft²	300 ft²	4.359569	5
119	JAN	48.68 ft²	300 ft²	0.162277	1
120	PARTS MGR	96.52 ft²	150 ft²	0.643463	1
121	MENS	175.18 ft²			
122	WOMENS	173.69 ft²			
123	BREAK ROOM	201.83 ft²	15 ft²	13.455229	14
124	SHOP	7538.33 ft²	300 ft²	25.127758	26
125	EQUIPMENT	156.69 ft²	300 ft²	0.522306	1
126	EV	182.27 ft²	300 ft²	0.607566	1
127	SHOP	2129.57 ft²	300 ft²	7.098551	8
128	FLUIDS/STORAGE	271.44 ft²	300 ft²	0.904901	1
129	WASH UTILITY	110.6 ft²	300 ft²	0.368671	1
130	IN BAY AUTOMATIC CAR WASH	469.97 ft²	300 ft²	1.566574	2
Grand total:	31	21618.51 ft²			192



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OUTLET
 1231 NW WARD RD, LEE'S SUMMIT, MO 64086

BID SET
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2024-016

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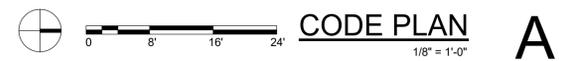
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CODE PLAN

FALK ARCHITECTS INC



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1231 NW WARD ROAD
LEES SUMMIT, MISSOURI 64086

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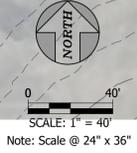
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ARCHITECTS

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EXISTING CONDITIONS

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C101
Civil Addendum #1
1/29/2025
Civil Addendum #2
2/11/2025
SITE PLAN



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FALK ARCHITECTS INC

CONSTRUCTION NOTES

- # ITEM DESCRIPTION
- 1 CONSTRUCT 6" ASPHALT PAVEMENT ON 6" COMPACTED AGGREGATE BASE
- 2 CONSTRUCT 8" CONCRETE PAVEMENT ON 4" COMPACTED AGGREGATE BASE
- 3 CONSTRUCT 4" CONCRETE SIDEWALK ON 4" COMPACTED AGGREGATE BASE
- 4 CONSTRUCT APWA STAIGHT BACK CURB AND GUTTER (CG-1)
- 5 CONSTRUCT ADA RAMP, SEE DETAIL SHEET C502
- 6 NEW BUILDING
- 7 INSTALL 4" C900 PVC SANITARY SEWER SERVICE
- 8 INSTALL 2" WATER SERVICE LINE
- 9 SANITARY SEWER
- 10 CONSTRUCT TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 11 CONSTRUCT 6" CONCRETE SIDEWALK ON 4" COMPACTED AGGREGATE BASE
- 12 PAINT 4" YELLOW ADA PARKING SYMBOL AND AISLE MARKINGS
- 13 PAINT 4" YELLOW PAVEMENT MARKINGS
- 14 INSTALL ADA "VAN ACCESSIBLE" SIGN
- 15 INSTALL ADA SIGN
- 16 INSTALL SANITARY SEWER CLEANOUT
- 17 CONSTRUCT TURN DOWN SIDEWALK EDGE. SEE DETAIL ON THIS SHEET
- 18 FIRE HYDRANT, BACKFLOW AND WATER LINE (SEE SHEET C104)
- 19 INSTALL 18" THICK ROCK BLANKET
- 20 6" BOLLARD, SEE ARCHITECTURAL PLANS
- 21 CONSTRUCT APWA ROLL BACK CURB AND GUTTER (CG-2)
- 22 ISOLATION JOINT AT RAMP/CURB INTERFACE, US 18" LONG #4 EPOXY COATED TIE BAR @ 24" O.C., EMBED TIE BARS 9" EACH DIRECTION
- 23 INSTALL DETECTABLE WARNING STRIP

LEGEND

- 2" KCMMB AC Surface Course
- 4" KCMMB AC Base Course
- 6" Compacted Aggregate Base
- 8" Compacted Subgrade

1 ASPHALT PAVEMENT

- 8" KCMMB 4K Concrete
- 4" Compacted Aggregate Base
- 9" Compacted Subgrade

2 CONCRETE PAVEMENT

- 6" KCMMB 4K Concrete
- 4" Compacted Aggregate Base
- 9" Compacted Subgrade

11 SIDEWALK PAVEMENT (IN WARD ROAD R.O.W.)

- 4" KCMMB 4K Concrete
- 4" Compacted Aggregate Base
- 9" Compacted Subgrade

3 SIDEWALK PAVEMENT

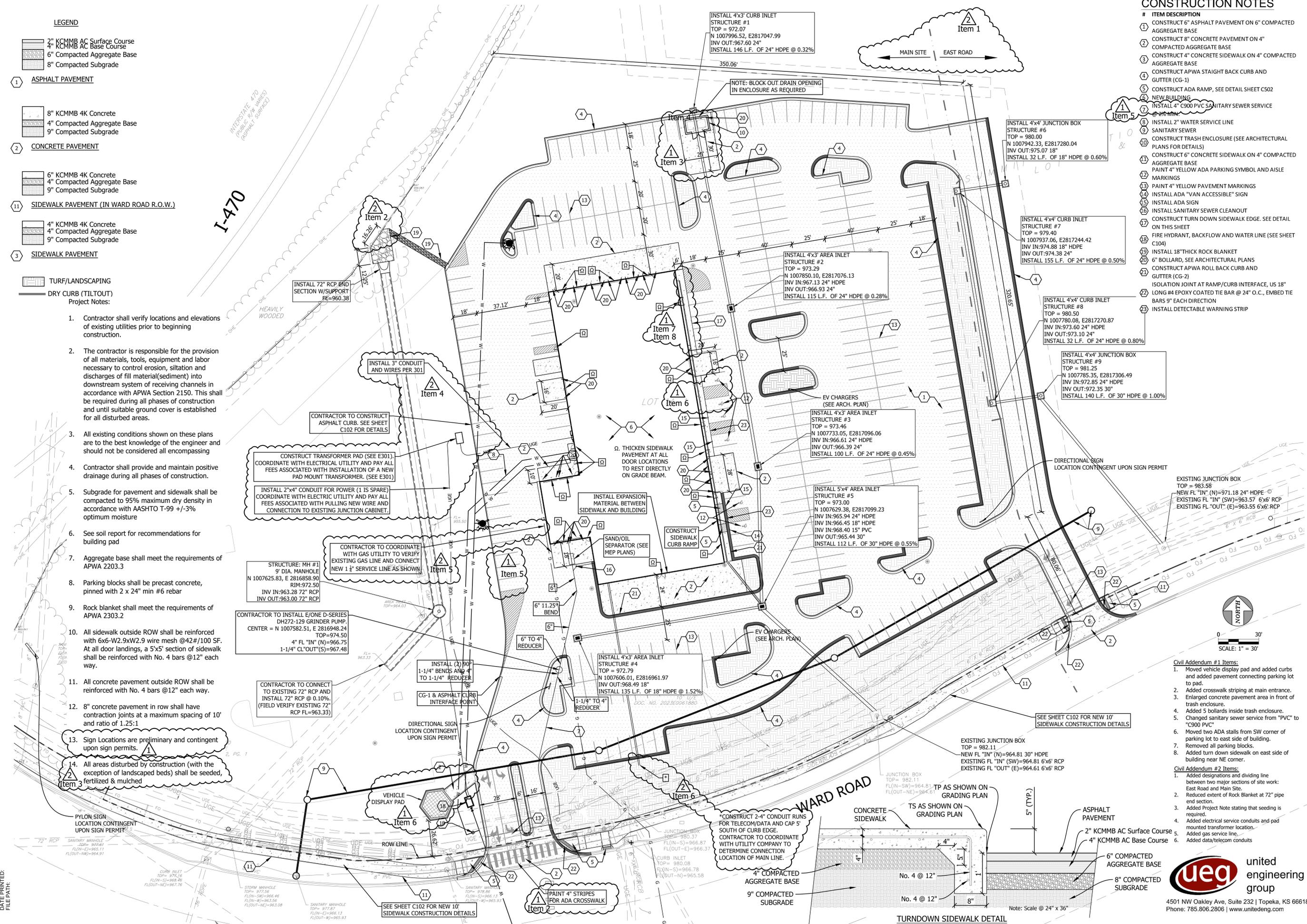
TURF/LANDSCAPING

DRY CURB (TILTOUT)

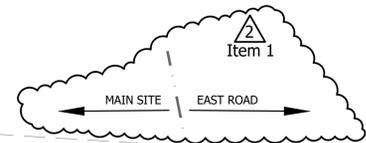
Project Notes:

1. Contractor shall verify locations and elevations of existing utilities prior to beginning construction.
2. The contractor is responsible for the provision of all materials, tools, equipment and labor necessary to control erosion, siltation and discharges of fill material (sediment) into downstream system of receiving channels in accordance with APWA Section 2150. This shall be required during all phases of construction and until suitable ground cover is established for all disturbed areas.
3. All existing conditions shown on these plans are to the best knowledge of the engineer and should not be considered all encompassing.
4. Contractor shall provide and maintain positive drainage during all phases of construction.
5. Subgrade for pavement and sidewalk shall be compacted to 95% maximum dry density in accordance with AASHTO T-99 +/-3% optimum moisture
6. See soil report for recommendations for building pad
7. Aggregate base shall meet the requirements of APWA 2203.3
8. Parking blocks shall be precast concrete, pinned with 2 x 24" min #6 rebar
9. Rock blanket shall meet the requirements of APWA 2303.2
10. All sidewalk outside ROW shall be reinforced with 6x6-W2.9xW2.9 wire mesh @42#/100 SF. At all door landings, a 5'x5' section of sidewalk shall be reinforced with No. 4 bars @12" each way.
11. All concrete pavement outside ROW shall be reinforced with No. 4 bars @12" each way.
12. 8" concrete pavement in row shall have contraction joints at a maximum spacing of 10' and ratio of 1.25:1
13. Sign Locations are preliminary and contingent upon sign permits.
14. All areas disturbed by construction (with the exception of landscaped beds) shall be seeded, fertilized & mulched

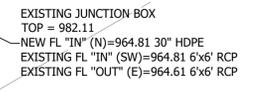
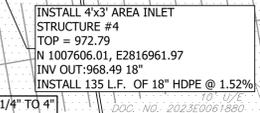
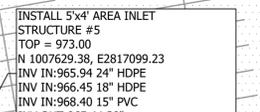
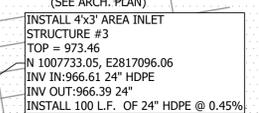
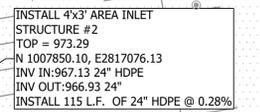
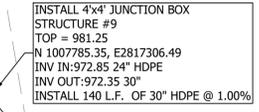
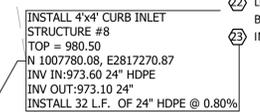
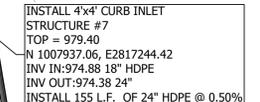
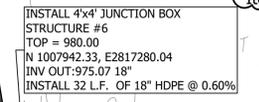
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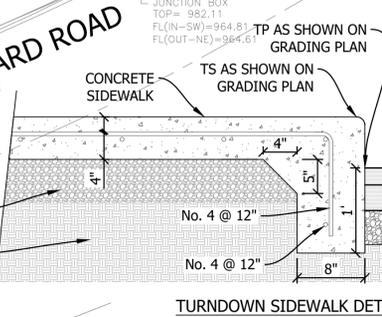
I-470
HEAVILY WOODED
PUBLIC PARKWAY (ASPHALT SURFACE)



NOTE: BLOCK OUT DRAIN OPENING IN ENCLOSURE AS REQUIRED



*CONSTRUCT 2-4\" CONDUIT RUNS FOR TELECOM/DATA AND CAP 5\" SOUTH OF CURB EDGE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO DETERMINE CONNECTION LOCATION OF MAIN LINE.



Note: Scale @ 24\" x 36\"

CONTRACTOR TO CONSTRUCT ASPHALT CURB. SEE SHEET C102 FOR DETAILS

CONSTRUCT TRANSFORMER PAD (SEE E301). COORDINATE WITH ELECTRICAL UTILITY AND PAY ALL FEES ASSOCIATED WITH INSTALLATION OF A NEW PAD MOUNT TRANSFORMER. (SEE E301)

INSTALL 2\"x4\" CONDUIT FOR POWER (1 IS SPARE). COORDINATE WITH ELECTRICAL UTILITY AND PAY ALL FEES ASSOCIATED WITH PULLING NEW WIRE AND CONNECTION TO EXISTING JUNCTION CABINET.

CONTRACTOR TO COORDINATE WITH GAS UTILITY TO VERIFY EXISTING GAS LINE AND CONNECT NEW 1\" SERVICE LINE AS SHOWN.

STRUCTURE: MH #1
9\" DIA. MANHOLE
N 1007625.83, E 2816858.90
RIM: 972.50
INV IN: 963.28 72\" RCP
INV OUT: 963.00 72\" RCP

CONTRACTOR TO INSTALL E/ONE D-SERIES DH272-129 GRINDER PUMP. CENTER = N 1007582.51, E 2816948.24
TOP = 974.50
4\" FL \"IN\" (N) = 966.75
1-1/4\" CL \"OUT\" (S) = 967.48

CONTRACTOR TO CONNECT TO EXISTING 72\" RCP AND INSTALL 72\" RCP @ 0.10%. (FIELD VERIFY EXISTING 72\" RCP FL=963.33)

INSTALL (2) 90\" 1-1/4\" BENDS AND 4\" TO 1-1/4\" REDUCER

CG-1 & ASPHALT CURB INTERFACE POINT

DIRECTIONAL SIGN LOCATION CONTINGENT UPON SIGN PERMIT

VEHICLE DISPLAY PAD

SEE SHEET C102 FOR NEW 10\" SIDEWALK CONSTRUCTION DETAILS

PAINT 4\" STRIPES FOR ADA CROSSWALK

INSTALL EXPANSION MATERIAL BETWEEN SIDEWALK AND BUILDING

SAND/OIL SEPARATOR (SEE MEP PLANS)

CONSTRUCT SIDEWALK CURB RAMP

EV CHARGERS (SEE ARCH. PLAN)

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LEES SUMMIT, MISSOURI 64086

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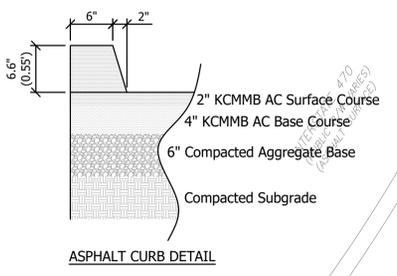
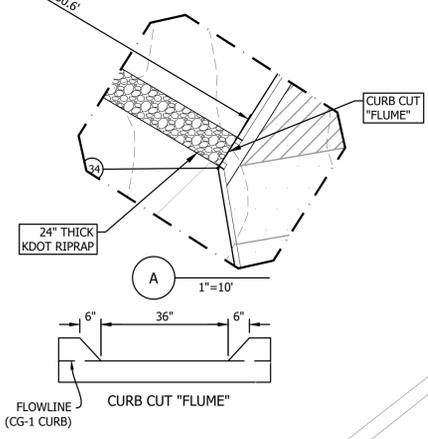
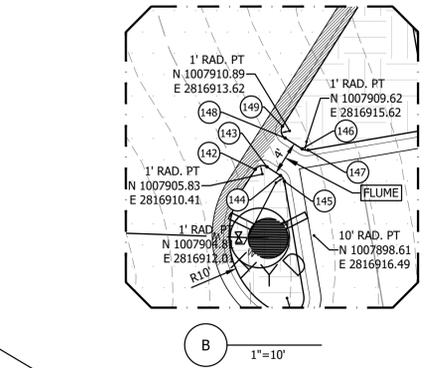
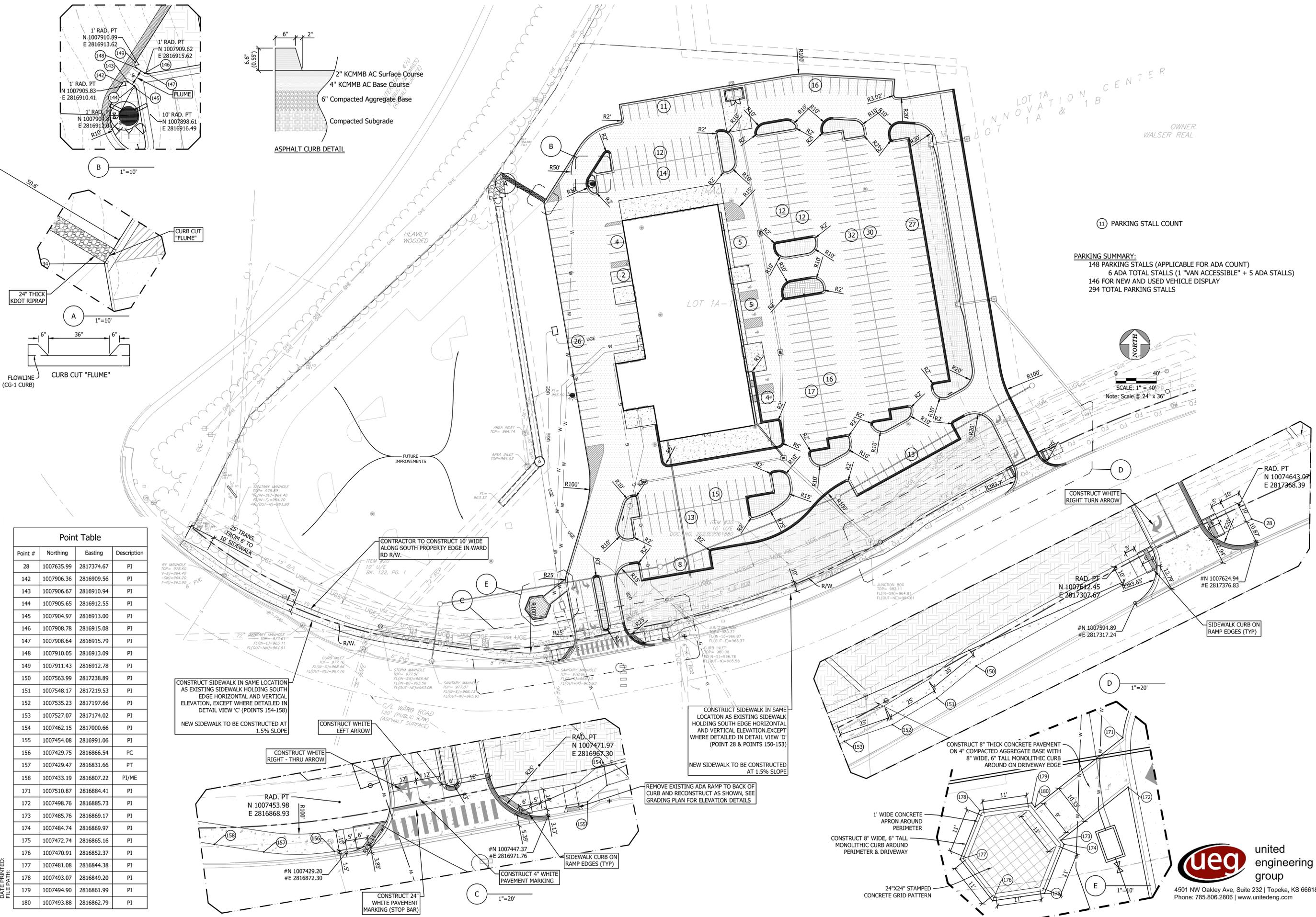
C102

SITE PLAN DETAILS

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Point #	Northing	Easting	Description
28	1007635.99	2817374.67	PI
142	1007906.36	2816909.56	PI
143	1007906.67	2816910.94	PI
144	1007905.65	2816912.55	PI
145	1007904.97	2816913.00	PI
146	1007908.78	2816915.08	PI
147	1007908.64	2816915.79	PI
148	1007910.05	2816913.09	PI
149	1007911.43	2816912.78	PI
150	1007563.99	2817238.89	PI
151	1007548.17	2817219.53	PI
152	1007535.23	2817197.66	PI
153	1007527.07	2817174.02	PI
154	1007462.15	2817000.66	PI
155	1007454.08	2816991.06	PI
156	1007429.75	2816866.54	PC
157	1007429.47	2816831.66	PT
158	1007433.19	2816807.22	PI/ME
171	1007510.87	2816884.41	PI
172	1007498.76	2816885.73	PI
173	1007485.76	2816869.17	PI
174	1007484.74	2816869.97	PI
175	1007472.74	2816865.16	PI
176	1007470.91	2816852.37	PI
177	1007481.08	2816844.38	PI
178	1007493.07	2816849.20	PI
179	1007494.90	2816861.99	PI
180	1007493.88	2816862.79	PI

CONTRACTOR TO CONSTRUCT 10' WIDE ALONG SOUTH PROPERTY EDGE IN WARD RD R/W.

CONSTRUCT SIDEWALK IN SAME LOCATION AS EXISTING SIDEWALK HOLDING SOUTH EDGE HORIZONTAL AND VERTICAL ELEVATION, EXCEPT WHERE DETAILED IN DETAIL VIEW 'C' (POINTS 154-158)

NEW SIDEWALK TO BE CONSTRUCTED AT 1.5% SLOPE

CONSTRUCT SIDEWALK IN SAME LOCATION AS EXISTING SIDEWALK HOLDING SOUTH EDGE HORIZONTAL AND VERTICAL ELEVATION, EXCEPT WHERE DETAILED IN DETAIL VIEW 'D' (POINT 28 & POINTS 150-153)

NEW SIDEWALK TO BE CONSTRUCTED AT 1.5% SLOPE

REMOVE EXISTING ADA RAMP TO BACK OF CURB AND RECONSTRUCT AS SHOWN, SEE GRADING PLAN FOR ELEVATION DETAILS

CONSTRUCT 8" THICK CONCRETE PAVEMENT ON 4" COMPACTED AGGREGATE BASE WITH 8" WIDE, 6" TALL MONOLITHIC CURB AROUND ON DRIVEWAY EDGE

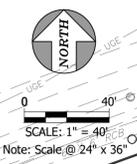
1' WIDE CONCRETE APRON AROUND PERIMETER

CONSTRUCT 8" WIDE, 6" TALL MONOLITHIC CURB AROUND PERIMETER & DRIVEWAY

24"x24" STAMPED CONCRETE GRID PATTERN

11) PARKING STALL COUNT

PARKING SUMMARY:
148 PARKING STALLS (APPLICABLE FOR ADA COUNT)
6 ADA TOTAL STALLS (1 "VAN ACCESSIBLE" + 5 ADA STALLS)
146 FOR NEW AND USED VEHICLE DISPLAY
294 TOTAL PARKING STALLS



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SITE GEOMETRY PLAN
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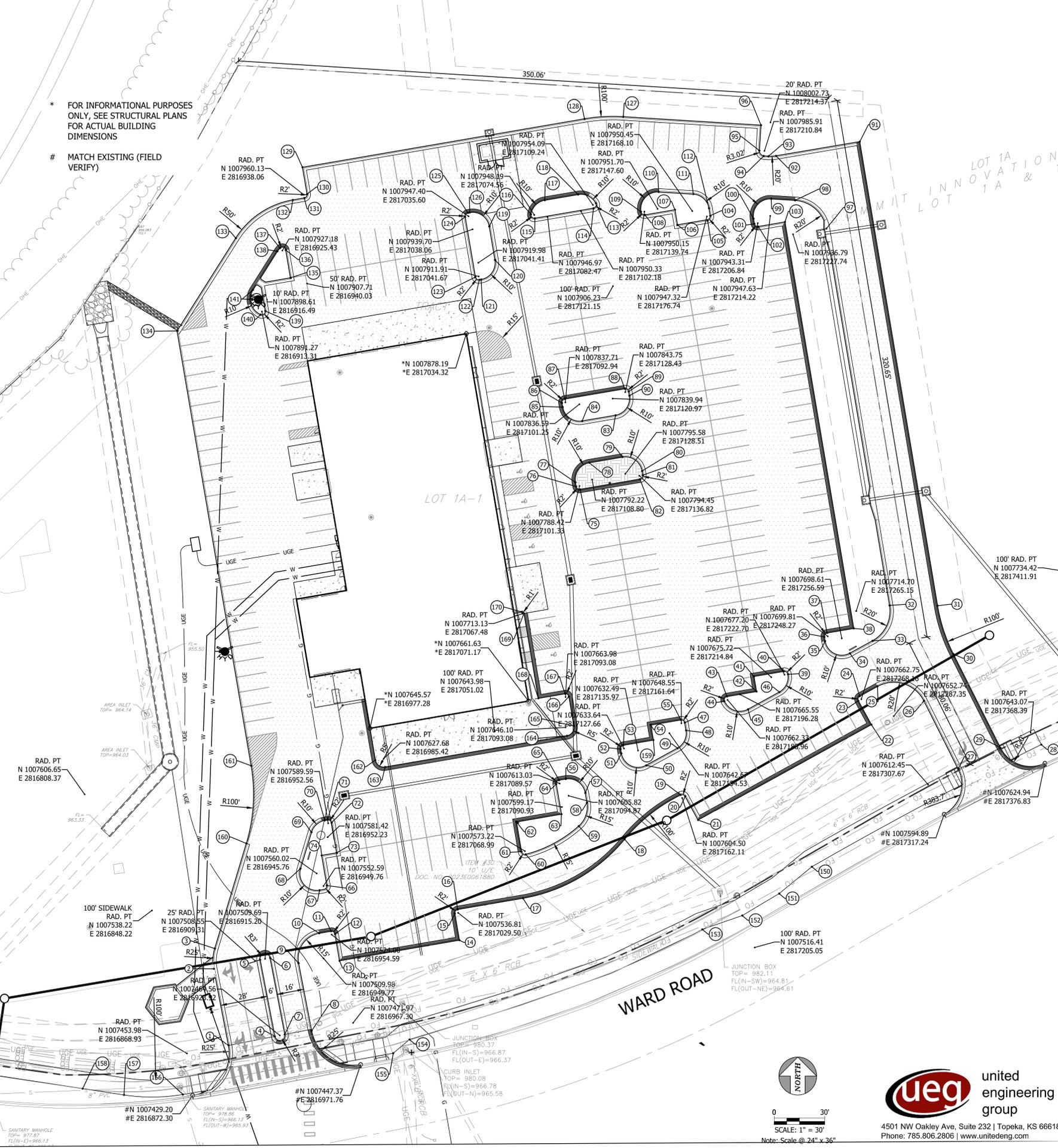


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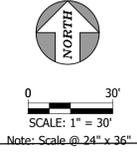
Point #	Northing	Easting	Description
1	1007458.72	2816893.47	PT
2	1007503.80	2816884.76	PC
3	1007515.78	2816885.38	PT
4	1007463.99	2816920.97	PT
5	1007509.12	2816912.25	PT
6	1007510.26	2816918.14	PC
7	1007465.13	2816926.86	PT
8	1007467.23	2816942.75	PC
9	1007507.14	2816935.04	PT
10	1007524.77	2816947.24	PC
11	1007525.97	2816954.25	PT
12	1007524.33	2816956.56	PC
13	1007508.56	2816959.26	PI
14	1007520.70	2817030.23	PI
15	1007536.48	2817027.53	PT
16	1007538.78	2817029.16	PC
17	1007545.41	2817067.88	PT
18	1007580.19	2817128.04	PRC
19	1007606.30	2817161.23	PT
20	1007605.46	2817163.86	PC
21	1007591.53	2817171.50	PI
22	1007647.76	2817274.10	PI
23	1007661.79	2817266.41	PT
24	1007664.51	2817267.20	PC
25	1007670.28	2817277.74	PT
26	1007661.75	2817305.21	PC
27	1007621.46	2817325.53	PT
28	1007635.99	2817374.67	PI
29	1007634.06	2817350.53	PC
30	1007689.39	2817322.63	PT
31	1007717.81	2817313.30	PC
32	1007718.02	2817284.87	PI
33	1007697.16	2817274.76	PI
34	1007689.84	2817261.40	PI
35	1007696.93	2817246.74	PI
36	1007699.47	2817246.30	PI
37	1007701.78	2817247.94	PI
38	1007704.46	2817263.71	PI
39	1007677.40	2817224.70	PI
40	1007679.17	2817222.37	PI
41	1007676.15	2817204.62	PI
42	1007667.28	2817206.13	PI
43	1007664.30	2817188.63	PI
44	1007661.52	2817187.13	PI
45	1007656.78	2817201.09	PI
46	1007666.95	2817219.65	PI
47	1007648.89	2817163.62	PI
48	1007644.34	2817164.39	PI
49	1007633.90	2817159.34	PI
50	1007623.73	2817140.78	PI
51	1007630.82	2817126.12	PI
52	1007633.31	2817125.69	PI
53	1007635.61	2817127.33	PI
54	1007647.50	2817143.56	PI
55	1007650.52	2817161.31	PI
56	1007615.68	2817093.18	PI
57	1007607.50	2817104.72	PI
58	1007601.69	2817105.71	PI

Point #	Northing	Easting	Description
59	1007587.97	2817100.90	PI
60	1007571.28	2817069.48	PI
61	1007572.88	2817067.01	PI
62	1007590.40	2817064.02	PI
63	1007594.95	2817090.63	PI
64	1007612.70	2817087.60	PI
65	1007615.00	2817089.23	PI
66	1007552.93	2816951.73	PI
67	1007550.17	2816947.45	PI
68	1007562.92	2816936.19	PI
69	1007504.14	2816942.66	PI
70	1007591.28	2816950.54	PI
71	1007591.56	2816952.22	PI
72	1007589.93	2816954.53	PI
73	1007572.19	2816957.56	PI
74	1007570.67	2816948.69	PI
75	1007786.44	2817101.66	PI
76	1007788.08	2817099.36	PI
77	1007790.55	2817098.94	PI
78	1007802.08	2817107.12	PI
79	1007805.44	2817126.84	PI
80	1007797.25	2817138.37	PI
81	1007794.79	2817138.79	PI
82	1007792.48	2817137.15	PI
83	1007830.08	2817122.64	PI
84	1007826.73	2817102.93	PI
85	1007834.91	2817091.39	PI
86	1007837.37	2817090.97	PI
87	1007839.68	2817092.61	PI
88	1007845.72	2817128.10	PI
89	1007844.08	2817130.40	PI
90	1007841.62	2817130.82	PI
91	1007991.35	2817267.22	PI
92	1007983.00	2817217.69	PT
93	1007982.76	2817213.15	PC
94	1007982.93	2817210.39	PT
95	1007986.09	2817207.84	PC
96	1008001.06	2817208.76	PI
97	1007940.11	2817247.46	PI
98	1007956.75	2817228.96	PI
99	1007957.61	2817214.83	PI
100	1007945.95	2817204.36	PI
101	1007942.97	2817204.87	PI
102	1007941.34	2817207.18	PI
103	1007944.02	2817222.95	PI
104	1007947.65	2817178.72	PI
105	1007944.69	2817177.19	PI
106	1007942.33	2817159.33	PI
107	1007951.20	2817157.83	PI
108	1007948.18	2817140.08	PI
109	1007950.03	2817137.74	PI
110	1007961.68	2817148.21	PI
111	1007960.43	2817168.71	PI
112	1007952.13	2817177.95	PI
113	1007955.03	2817111.01	PI
114	1007952.12	2817109.58	PI
115	1007946.22	2817074.90	PI
116	1007948.49	2817072.58	PI
117	1007956.83	2817080.79	PI
118	1007960.19	2817100.51	PI

Point #	Northing	Easting	Description
119	1007941.38	2817047.92	PC
120	1007921.66	2817051.27	PT
121	1007910.13	2817043.10	PC
122	1007909.94	2817042.01	PT
123	1007911.57	2817039.70	PC
124	1007947.06	2817033.63	PT
125	1007949.37	2817035.26	PC
126	1007949.56	2817036.37	PT
127	1008006.05	2817127.25	PT
128	1008004.80	2817104.29	PC
129	1007976.24	2816937.33	PI
130	1007960.47	2816940.03	PT
131	1007958.16	2816938.39	PC
132	1007957.00	2816931.60	PT
133	1007934.51	2816897.82	PC
134	1007879.82	2816863.10	PI
135	1007911.11	2816930.21	PI
136	1007927.51	2816927.40	PC
137	1007928.63	2816924.05	PCC
138	1007926.74	2816922.50	PT
139	1007891.61	2816915.28	PT
140	1007889.43	2816912.52	PCC
141	1007903.97	2816908.04	PC
142	1007906.36	2816909.56	PI
143	1007906.67	2816910.94	PI
144	1007905.65	2816912.55	PI
145	1007904.97	2816913.00	PI
146	1007908.78	2816915.08	PI
147	1007908.64	2816915.79	PI
148	1007910.05	2816913.09	PI
149	1007911.43	2816912.78	PI
150	1007563.99	2817238.89	PI
151	1007548.17	2817219.53	PI
152	1007535.23	2817197.66	PI
153	1007527.07	2817174.02	PI
154	1007462.15	2817000.66	PI
155	1007454.08	2816991.06	PI
156	1007429.75	2816866.54	PC
157	1007429.47	2816831.66	PT
158	1007433.19	2816807.22	PI/ME
159	1007638.63	2817145.07	PI
160	1007577.71	2816904.10	PC
161	1007623.51	2816906.94	PT
162	1007626.84	2816980.49	PC
163	1007622.75	2816986.26	PT
164	1007641.17	2817093.93	PC
165	1007646.94	2817098.01	PT
166	1007664.32	2817095.06	PC
167	1007665.95	2817092.75	PT
168	1007663.27	2817076.98	PI
169	1007713.30	2817068.46	PC
170	1007714.12	2817067.31	PT



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SCALE: 1" = 30'
Note: Scale @ 24" x 36"

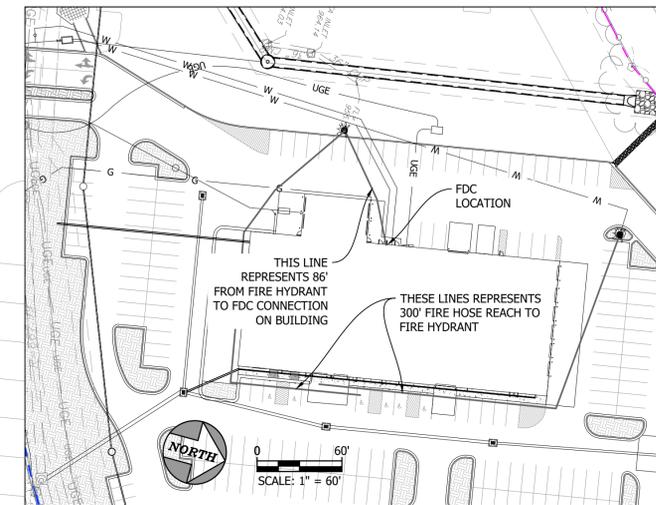
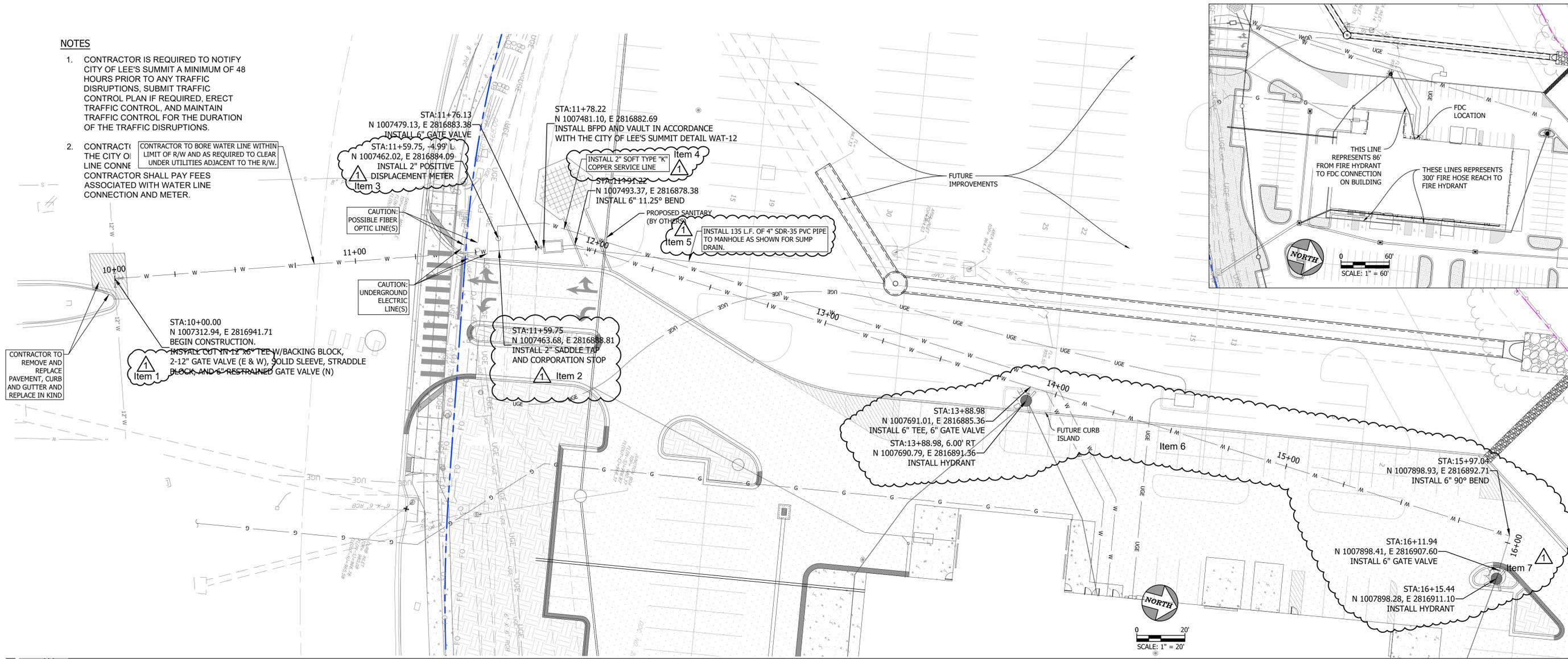
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NOTES

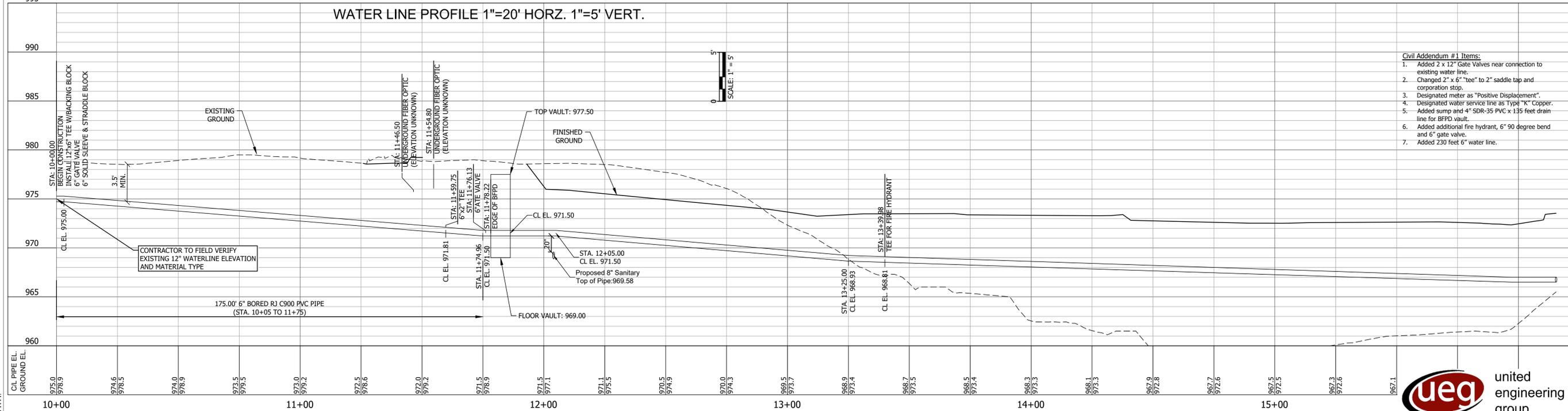
1. CONTRACTOR IS REQUIRED TO NOTIFY CITY OF LEE'S SUMMIT A MINIMUM OF 48 HOURS PRIOR TO ANY TRAFFIC DISRUPTIONS, SUBMIT TRAFFIC CONTROL PLAN IF REQUIRED, ERECT TRAFFIC CONTROL, AND MAINTAIN TRAFFIC CONTROL FOR THE DURATION OF THE TRAFFIC DISRUPTIONS.

2. CONTRACTOR TO BORE WATER LINE WITHIN LIMIT OF R/W AND AS REQUIRED TO CLEAR UNDER UTILITIES ADJACENT TO THE R/W. CONTRACTOR SHALL PAY FEES ASSOCIATED WITH WATER LINE CONNECTION AND METER.

CONTRACTOR TO REMOVE AND REPLACE PAVEMENT, CURB AND GUTTER AND REPLACE IN KIND



WATER LINE PROFILE 1"=20' HORZ. 1"=5' VERT.



- Civil Addendum #1 Items:
- Added 2 x 12" Gate Valves near connection to existing water line.
 - Changed 2" x 6" tee to 2" saddle tap and corporation stop.
 - Designated meter as "Positive Displacement".
 - Designated water service line as Type "K" Copper.
 - Added sump and 4" SDR-35 PVC x 135 feet drain line for BFPD vault.
 - Added additional fire hydrant, 6" 90 degree bend and 6" gate valve.
 - Added 230 feet 6" water line.

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Civil Addendum #1
1/29/2025

WATER & FIRE LINE PLAN



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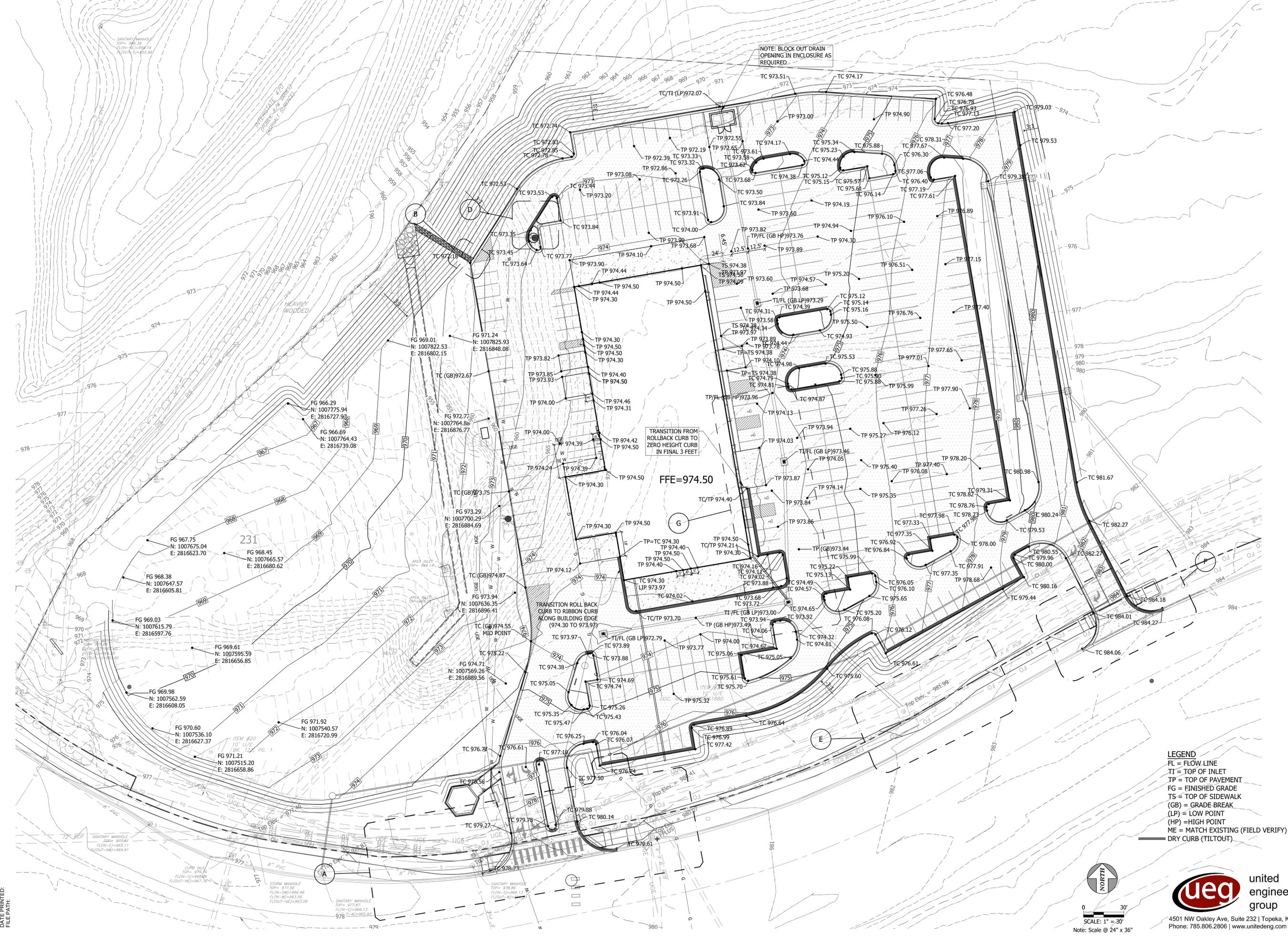


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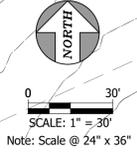
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C200

GRADING PLAN
FALK ARCHITECTS INC



- LEGEND**
- FL = FLOW LINE
 - TI = TOP OF INLET
 - TP = TOP OF PAVEMENT
 - FG = FINISHED GRADE
 - TS = TOP OF SIDEWALK
 - (GB) = GRADE BREAK
 - (LP) = LOW POINT
 - (HP) = HIGH POINT
 - ME = MATCH EXISTING (FIELD VERIFY)
 - DRY CURB (TILTOUT)



DATE PRINTED:
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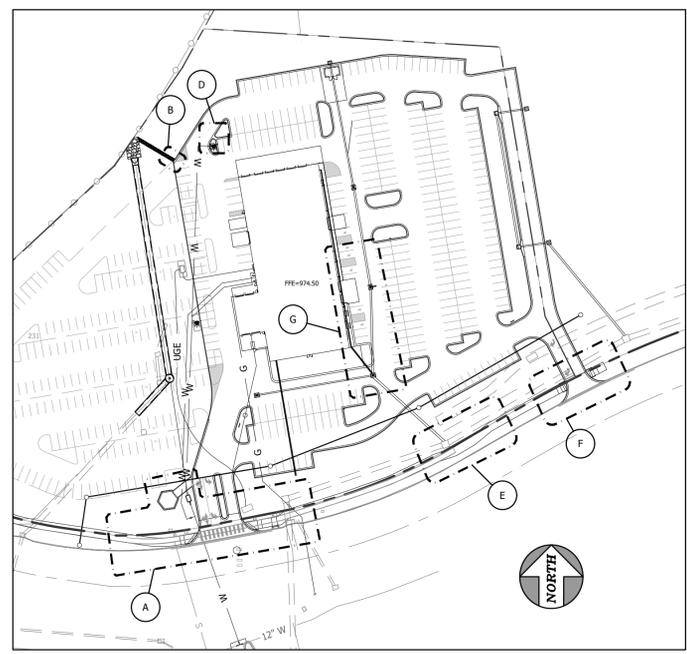
FALK
ARCHITECTS

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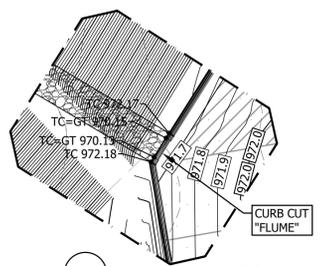
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GRADING PLAN DETAILS

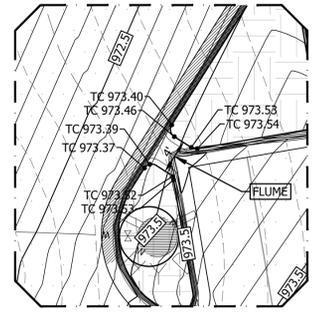
FALK ARCHITECTS INC



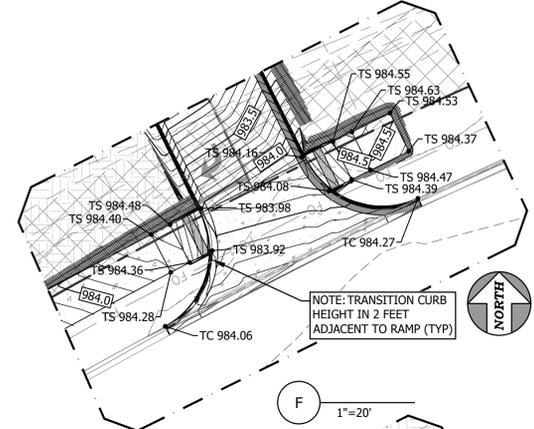
DETAIL KEY
1"=100'



B 1"=10'

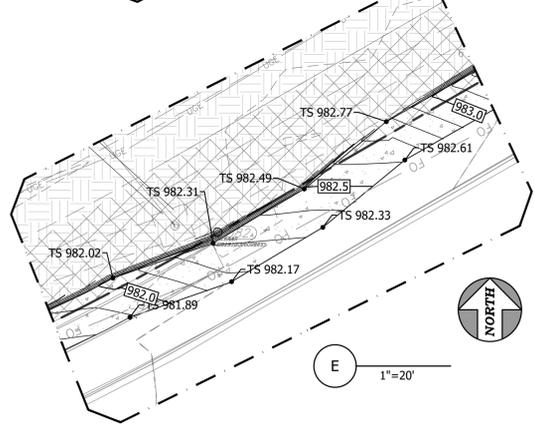


D 1"=10'

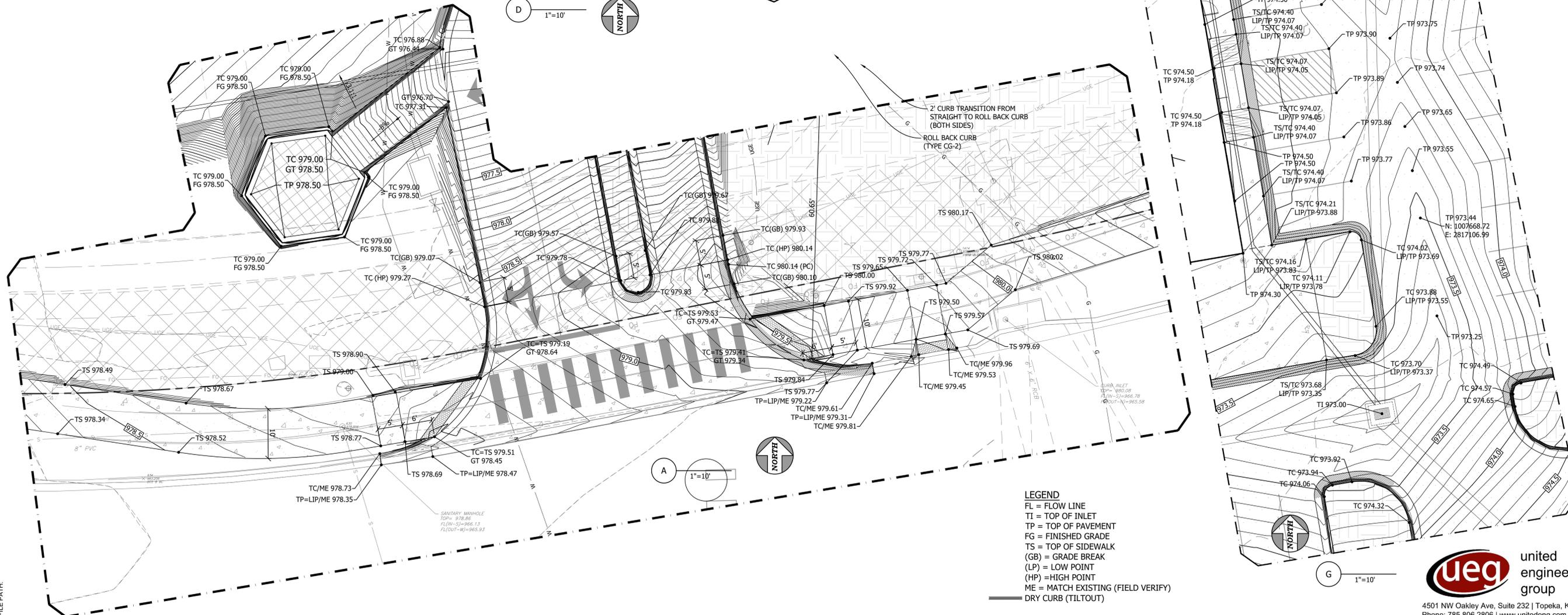


NOTE: TRANSITION CURB HEIGHT IN 2 FEET ADJACENT TO RAMP (TYP)

F 1"=20'



E 1"=20'



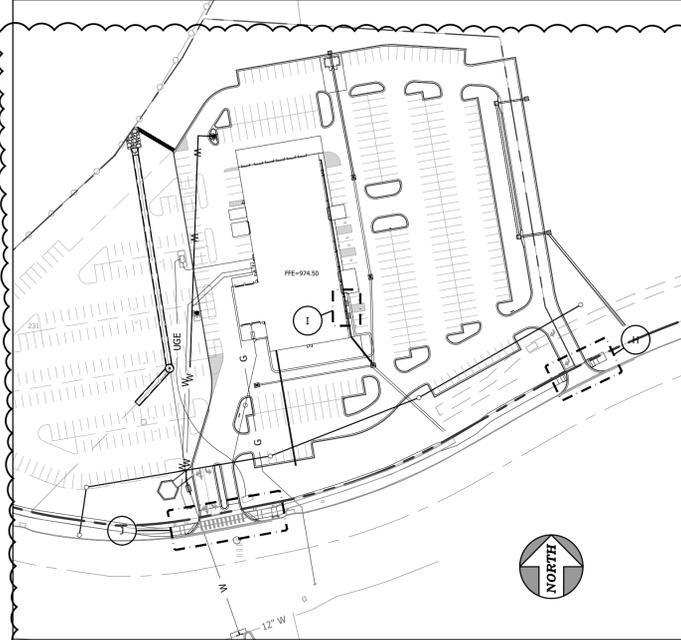
SIDEWALK LEVEL WITH PAVEMENT ALONG ADA PARKING STALLS

- LEGEND**
- FL = FLOW LINE
 - TI = TOP OF INLET
 - TP = TOP OF PAVEMENT
 - FG = FINISHED GRADE
 - TS = TOP OF SIDEWALK
 - (GB) = GRADE BREAK
 - (LP) = LOW POINT
 - (HP) = HIGH POINT
 - ME = MATCH EXISTING (FIELD VERIFY)
 - DRY CURB (TILTOUT)

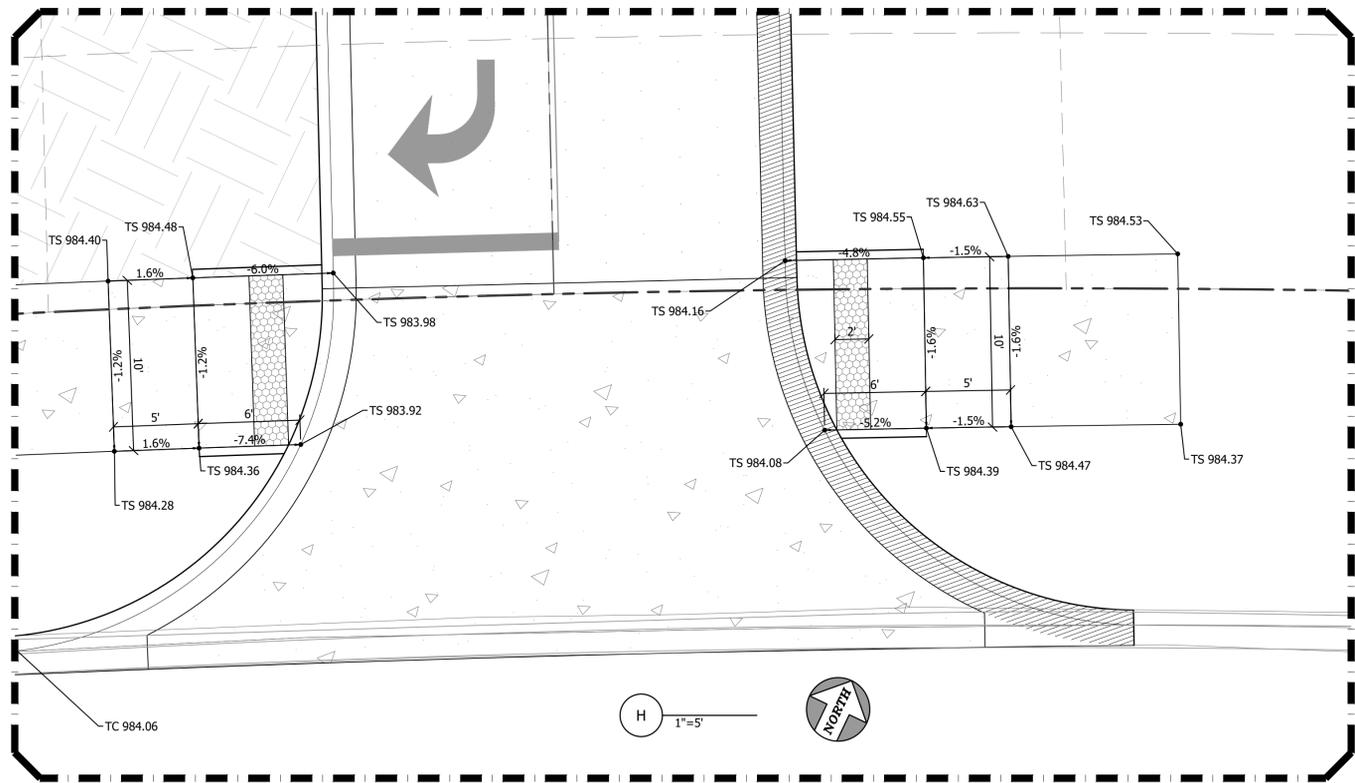


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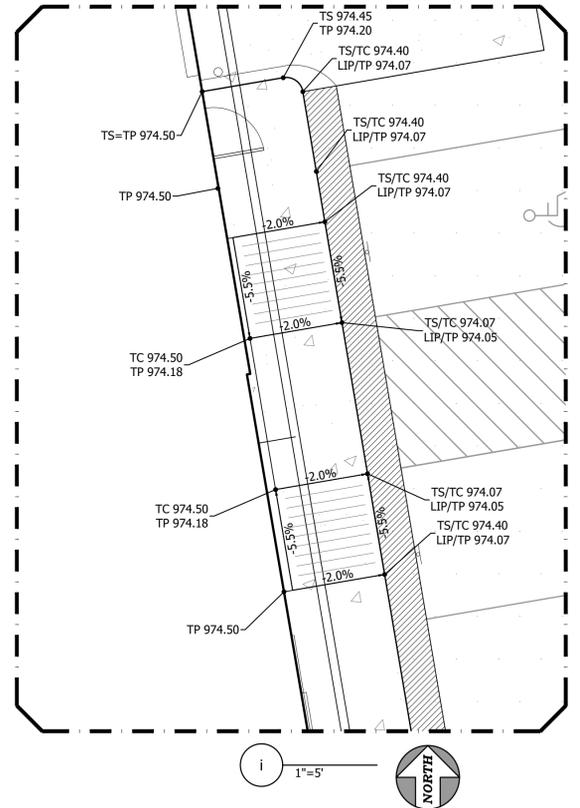
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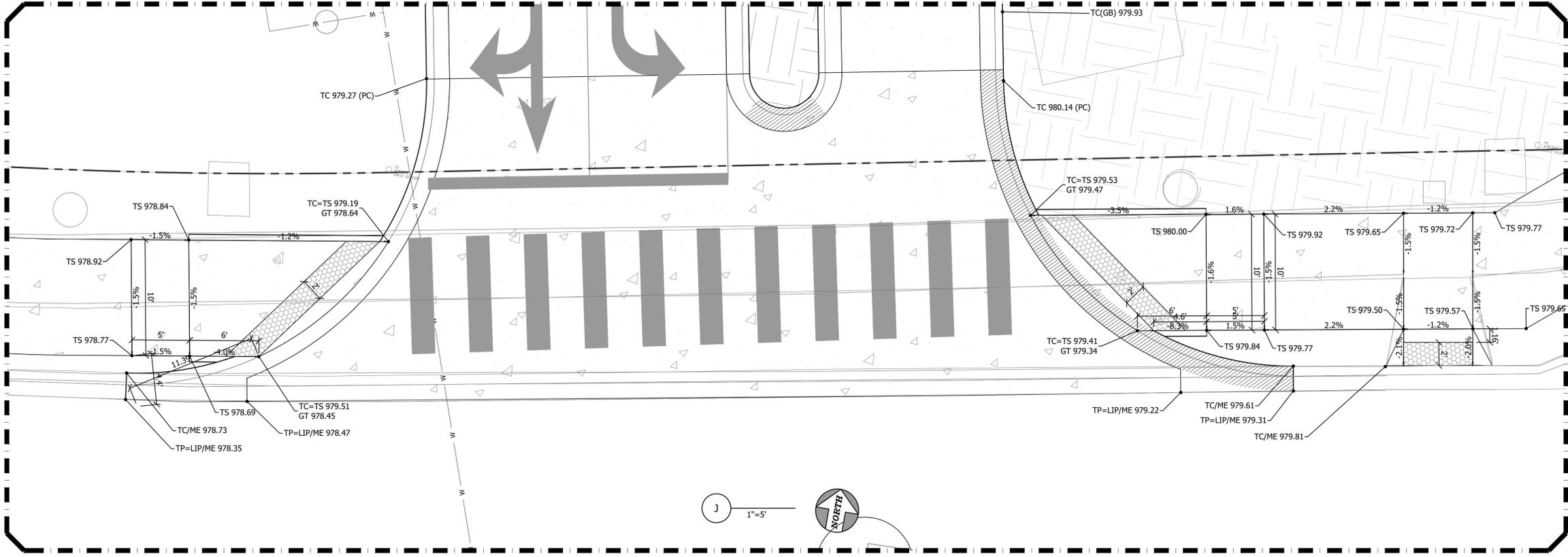
DETAIL KEY
1"=100'



H 1"=5'



i 1"=5'



J 1"=5'

- LEGEND**
- FL = FLOW LINE
 - TI = TOP OF INLET
 - TP = TOP OF PAVEMENT
 - FG = FINISHED GRADE
 - TS = TOP OF SIDEWALK
 - (GB) = GRADE BREAK
 - (LP) = LOW POINT
 - (HP) = HIGH POINT
 - ME = MATCH EXISTING (FIELD VERIFY)
 - DRY CURB (TILTOUT)

Civil Addendum #1 Items:
1. This sheet has been added to add clarity to ADA grading.

LEE'S SUMMIT HYUNDAI PREMIER AUTO OUTLET
1231 NW WARD ROAD
LEES SUMMIT, MISSOURI 64086

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Civil Addendum #1
1/29/2025

ADA DETAILS



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DRAINAGE PLAN

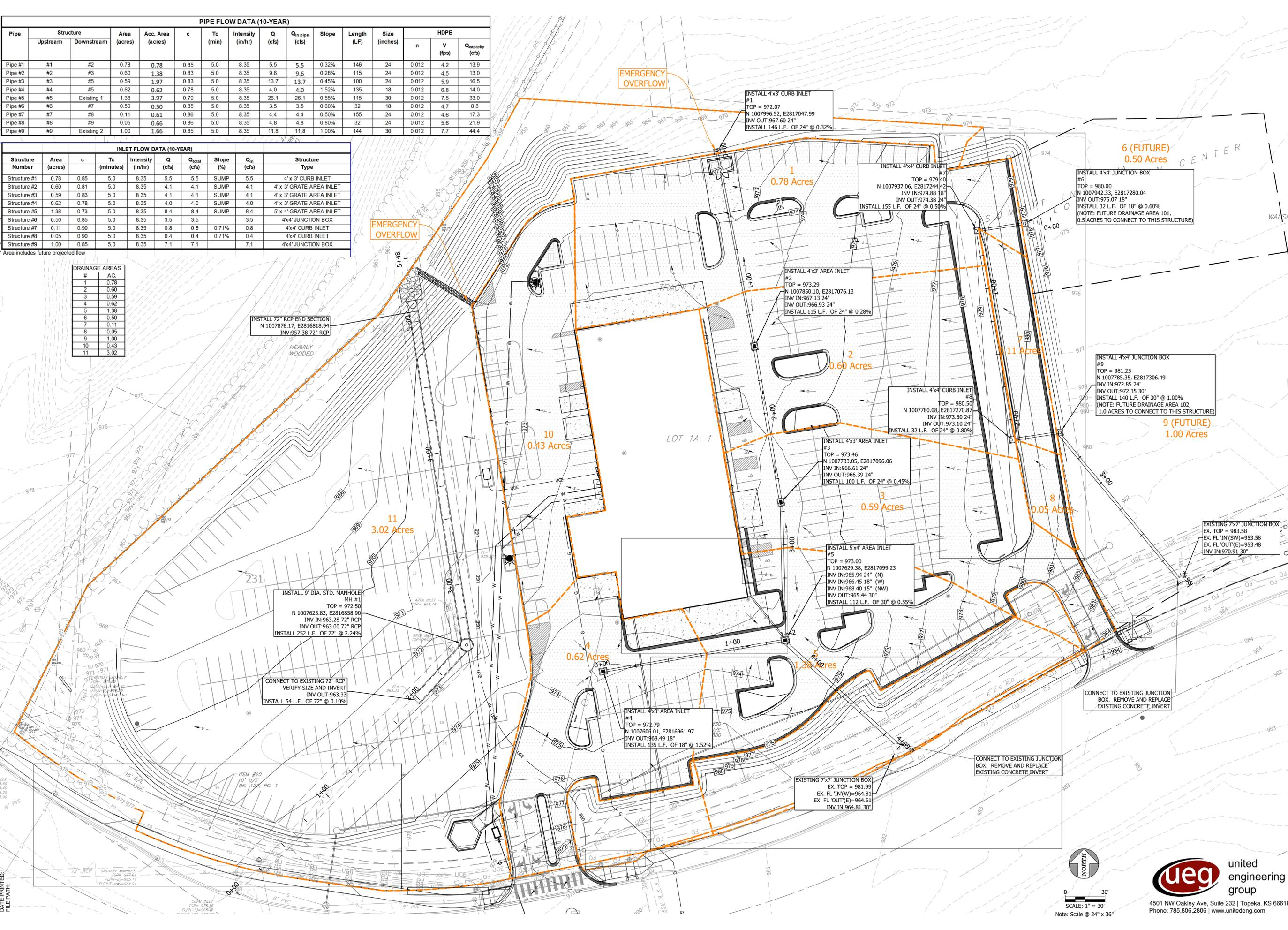
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PIPE FLOW DATA (10-YEAR)															
Pipe	Structure		Area (acres)	Acc. Area (acres)	c	Tc (min)	Intensity (in/hr)	Q (cfs)	Q _{in} pipe (cfs)	Slope	Length (LF)	Size (inches)	HDPE		
	Upstream	Downstream											n	V (fps)	Q _{capacity} (cfs)
Pipe #1	#1	#2	0.78	0.78	0.85	5.0	8.35	5.5	5.5	0.32%	146	24	0.012	4.2	13.9
Pipe #2	#2	#3	0.60	1.38	0.83	5.0	8.35	9.6	9.6	0.28%	115	24	0.012	4.5	13.0
Pipe #3	#3	#5	0.59	1.97	0.83	5.0	8.35	13.7	13.7	0.45%	100	24	0.012	5.9	16.5
Pipe #4	#4	#5	0.62	0.62	0.78	5.0	8.35	4.0	4.0	1.52%	135	18	0.012	6.8	14.0
Pipe #5	#5	Existing 1	1.38	3.97	0.79	5.0	8.35	26.1	26.1	0.55%	115	30	0.012	7.5	33.0
Pipe #6	#6	#7	0.50	0.50	0.85	5.0	8.35	3.5	3.5	0.60%	32	18	0.012	4.7	8.8
Pipe #7	#7	#8	0.11	0.61	0.86	5.0	8.35	4.4	4.4	0.50%	155	24	0.012	4.6	17.3
Pipe #8	#8	#9	0.05	0.66	0.86	5.0	8.35	4.8	4.8	0.80%	32	24	0.012	5.6	21.9
Pipe #9	#9	Existing 2	1.00	1.66	0.85	5.0	8.35	11.8	11.8	1.00%	144	30	0.012	7.7	44.4

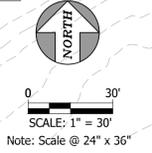
INLET FLOW DATA (10-YEAR)									
Structure Number	Area (acres)	c	Tc (minutes)	Intensity (in/hr)	Q (cfs)	Q _{total} (cfs)	Slope (%)	Q _n (cfs)	Structure Type
Structure #1	0.78	0.85	5.0	8.35	5.5	5.5	SUMP	5.5	4' x 3' CURB INLET
Structure #2	0.60	0.81	5.0	8.35	4.1	4.1	SUMP	4.1	4' x 3' GRATE AREA INLET
Structure #3	0.59	0.83	5.0	8.35	4.1	4.1	SUMP	4.1	4' x 3' GRATE AREA INLET
Structure #4	0.62	0.78	5.0	8.35	4.0	4.0	SUMP	4.0	4' x 3' GRATE AREA INLET
Structure #5	1.38	0.73	5.0	8.35	8.4	8.4	SUMP	8.4	5' x 4' GRATE AREA INLET
Structure #6	0.50	0.85	5.0	8.35	3.5	3.5		3.5	4x4 JUNCTION BOX
Structure #7	0.11	0.90	5.0	8.35	0.8	0.8	0.71%	0.8	4x4 CURB INLET
Structure #8	0.05	0.90	5.0	8.35	0.4	0.4	0.71%	0.4	4x4 CURB INLET
Structure #9	1.00	0.85	5.0	8.35	7.1	7.1		7.1	4x4 JUNCTION BOX

* Area includes future projected flow

DRAINAGE AREAS	
#	AC.
1	0.78
2	0.60
3	0.59
4	0.62
5	1.38
6	0.50
7	0.11
8	0.05
9	1.00
10	0.43
11	3.02



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PLAN SHEET

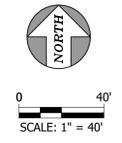
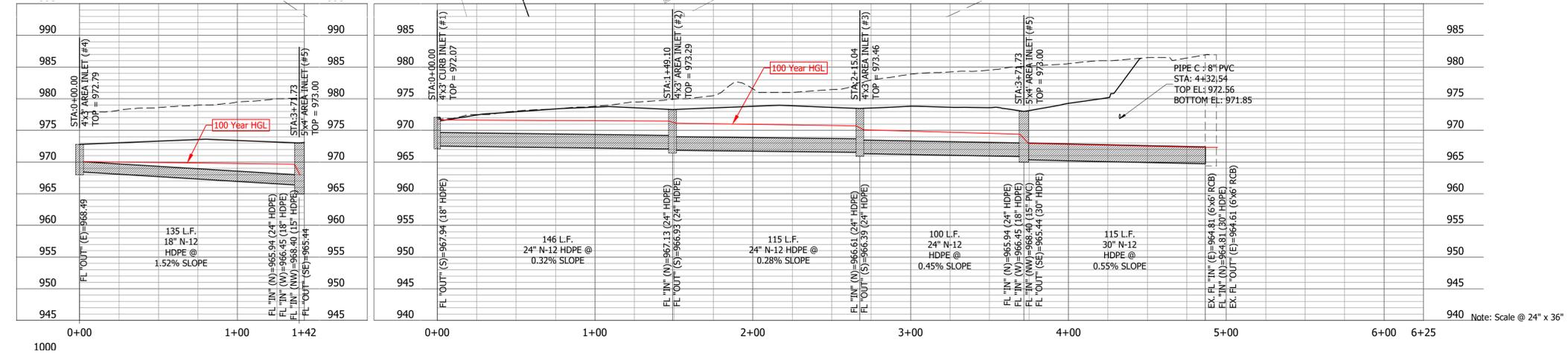
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DATE PRINTED:
FILE PATH:



LOT 1A-2

OWNER: WALSER REAL ESTATE

LOT 1A-1

231

C/L WARD ROAD
120' PUBLIC R/W
(ASPHALT SURFACE)

INTERSTATE #70
PUBLIC R/W AREAS
(ASPHALT SURFACE)

SANITARY MANHOLE
TOP = 966.39
FL(IN-N)=956.19
FL(OUT-S)=965.59

72" REPAIRY MANHOLE
TOP = 977.81
FL(IN-E)=965.11
FL(OUT-W)=964.91

MANHOLE
978.60
964.40
964.20
962.80 + PVC

ITEM #20
10' U/E
BH 122, PG. 1

HEAVILY WOODED

100 year Overflow for Inlets #3, #4, & #5

100 year Overflow for Inlet #1 & #2

INSTALL CAST IRON ADAPTER TO CONNECT DOWNSPOUT TO 4" N-12 HDPE (TYPICAL, 1 OF 4)

INSTALL 10" N-12 HDPE

INSTALL 4" N-12 HDPE, 4" X 90 VERT BEND AND 4" X 10" TEE (TYPICAL 1 OF 4)

INSTALL 15" x 10" REDUCER

INSTALL 15" N-12 HDPE

CONNECT BUILDING FLAT ROOF DRAIN TO 15" N-12 HDPE WITH APPROPRIATELY SIZED TEE AND COUPLER

EXISTING 7x7 JUNCTION BOX (EXISTING 1)

STA. 0+00.00
4'x3' AREA INLET (#4)
TOP = 972.79

STA. 1+49.10
4'x3' AREA INLET (#2)
TOP = 973.29

STA. 2+15.04
4'x3' AREA INLET (#3)
TOP = 973.46

STA. 3+71.73
5'x4' AREA INLET (#5)
TOP = 973.00

STA. 4+89.10
EXISTING 7x7 JUNCTION BOX (EXISTING 1)
TOP = 981.99

FL "OUT" (E)=968.49

FL "IN" (N)=965.94 (24" HDPE)
FL "IN" (W)=966.45 (18" HDPE)
FL "IN" (NW)=966.40 (15" HDPE)
FL "OUT" (SE)=965.94

135 L.F.
18" N-12 HDPE @
1.52% SLOPE

FL "OUT" (S)=967.94 (18" HDPE)

146 L.F.
24" N-12 HDPE @
0.32% SLOPE

FL "IN" (N)=966.61 (24" HDPE)
FL "OUT" (S)=966.39 (24" HDPE)

115 L.F.
24" N-12 HDPE @
0.28% SLOPE

FL "IN" (N)=965.94 (24" HDPE)
FL "IN" (W)=966.40 (15" HDPE)
FL "IN" (NW)=966.40 (15" HDPE)
FL "OUT" (SE)=965.94 (30" HDPE)

100 L.F.
24" N-12 HDPE @
0.45% SLOPE

FL "IN" (N)=965.94 (24" HDPE)
FL "IN" (W)=966.40 (15" HDPE)
FL "IN" (NW)=966.40 (15" HDPE)
FL "OUT" (SE)=965.94 (30" HDPE)

115 L.F.
30" N-12 HDPE @
0.55% SLOPE

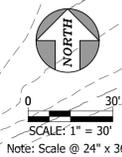
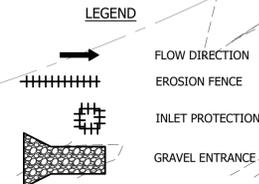
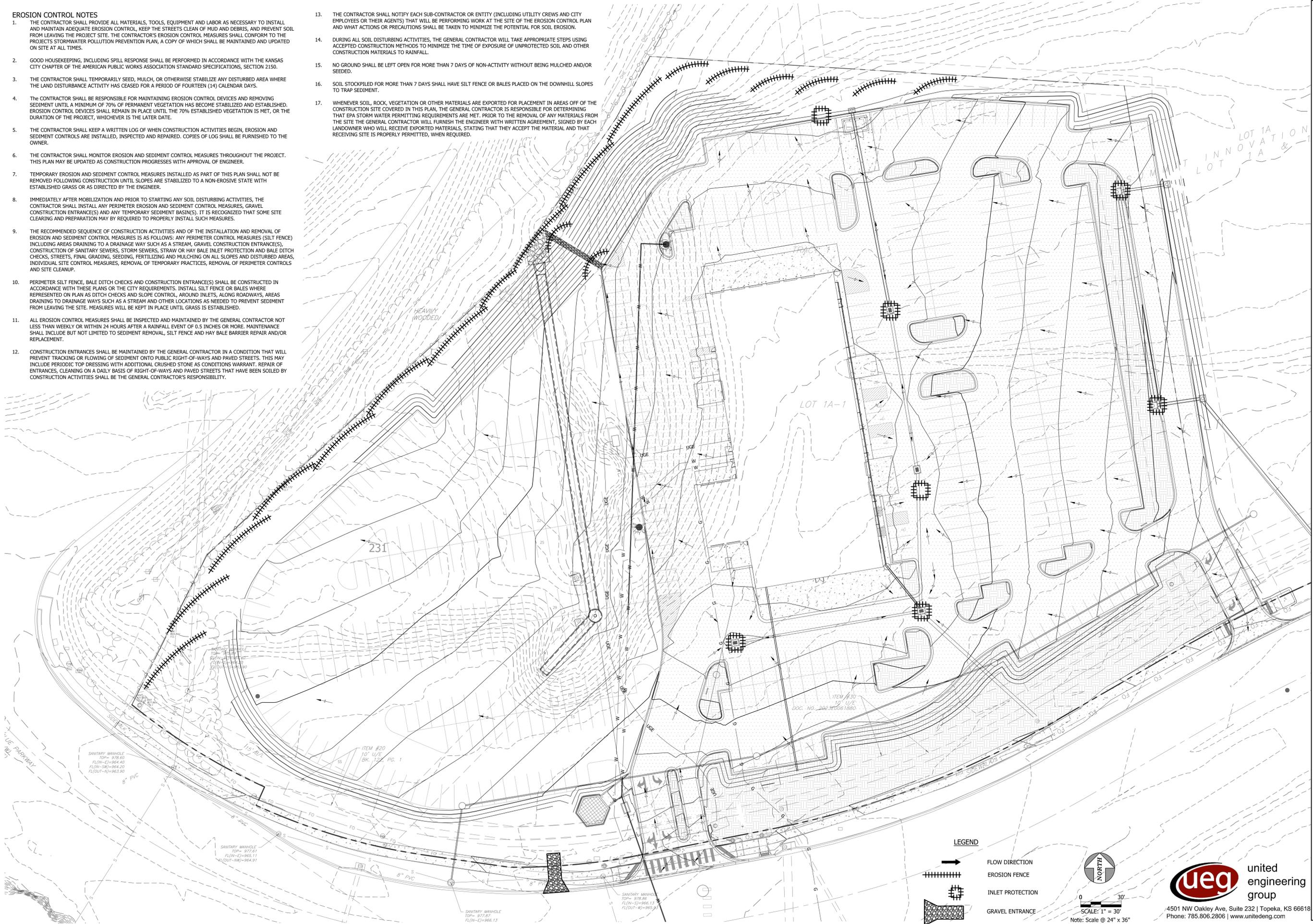
EX. FL "IN" (E)=964.81 (6x6 RCB)
EX. FL "IN" (O)=965.81 (30" HDPE)
EX. FL "OUT" (E)=964.81 (6x6 RCB)

Note: Scale @ 24" x 36"

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR AS NECESSARY TO INSTALL AND MAINTAIN ADEQUATE EROSION CONTROL, KEEP THE STREETS CLEAN OF MUD AND DEBRIS, AND PREVENT SOIL FROM LEAVING THE PROJECT SITE. THE CONTRACTOR'S EROSION CONTROL MEASURES SHALL CONFORM TO THE PROJECTS STORMWATER POLLUTION PREVENTION PLAN, A COPY OF WHICH SHALL BE MAINTAINED AND UPDATED ON SITE AT ALL TIMES.
2. GOOD HOUSEKEEPING, INCLUDING SPILL RESPONSE SHALL BE PERFORMED IN ACCORDANCE WITH THE KANSAS CITY CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION STANDARD SPECIFICATIONS, SECTION 2150.
3. THE CONTRACTOR SHALL TEMPORARILY SEED, MULCH, OR OTHERWISE STABILIZE ANY DISTURBED AREA WHERE THE LAND DISTURBANCE ACTIVITY HAS CEASED FOR A PERIOD OF FOURTEEN (14) CALENDAR DAYS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES AND REMOVING SEDIMENT UNTIL A MINIMUM OF 70% OF PERMANENT VEGETATION HAS BECOME ESTABLISHED. EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE 70% ESTABLISHED VEGETATION IS MET, OR THE DURATION OF THE PROJECT, WHICHEVER IS THE LATER DATE.
5. THE CONTRACTOR SHALL KEEP A WRITTEN LOG OF WHEN CONSTRUCTION ACTIVITIES BEGIN, EROSION AND SEDIMENT CONTROLS ARE INSTALLED, INSPECTED AND REPAIRED. COPIES OF LOG SHALL BE FURNISHED TO THE OWNER.
6. THE CONTRACTOR SHALL MONITOR EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE PROJECT. THIS PLAN MAY BE UPDATED AS CONSTRUCTION PROGRESSES WITH APPROVAL OF ENGINEER.
7. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES INSTALLED AS PART OF THIS PLAN SHALL NOT BE REMOVED FOLLOWING CONSTRUCTION UNTIL SLOPES ARE STABILIZED TO A NON-EROSIVE STATE WITH ESTABLISHED GRASS OR AS DIRECTED BY THE ENGINEER.
8. IMMEDIATELY AFTER MOBILIZATION AND PRIOR TO STARTING ANY SOIL DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL ANY PERIMETER EROSION AND SEDIMENT CONTROL MEASURES, GRAVEL CONSTRUCTION ENTRANCE(S) AND ANY TEMPORARY SEDIMENT BASIN(S). IT IS RECOGNIZED THAT SOME SITE CLEARING AND PREPARATION MAY BE REQUIRED TO PROPERLY INSTALL SUCH MEASURES.
9. THE RECOMMENDED SEQUENCE OF CONSTRUCTION ACTIVITIES AND OF THE INSTALLATION AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES IS AS FOLLOWS: ANY PERIMETER CONTROL MEASURES (SILT FENCE) INCLUDING AREAS DRAINING TO A DRAINAGE WAY SUCH AS A STREAM, GRAVEL CONSTRUCTION ENTRANCE(S), CONSTRUCTION OF SANITARY SEWERS, STORM SEWERS, STRAW OR HAY BALE INLET PROTECTION AND BALE DITCH CHECKS, STREETS, FINAL GRADING, SEEDING, FERTILIZING AND MULCHING ON ALL SLOPES AND DISTURBED AREAS, INDIVIDUAL SITE CONTROL MEASURES, REMOVAL OF TEMPORARY PRACTICES, REMOVAL OF PERIMETER CONTROLS AND SITE CLEANUP.
10. PERIMETER SILT FENCE, BALE DITCH CHECKS AND CONSTRUCTION ENTRANCE(S) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS OR THE CITY REQUIREMENTS. INSTALL SILT FENCE OR BALES WHERE REPRESENTED ON PLAN AS DITCH CHECKS AND SLOPE CONTROL, AROUND INLETS, ALONG ROADWAYS, AREAS DRAINING TO DRAINAGE WAYS SUCH AS A STREAM AND OTHER LOCATIONS AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE. MEASURES WILL BE KEPT IN PLACE UNTIL GRASS IS ESTABLISHED.
11. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED BY THE GENERAL CONTRACTOR NOT LESS THAN WEEKLY OR WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR MORE. MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO SEDIMENT REMOVAL, SILT FENCE AND HAY BALE BARRIER REPAIR AND/OR REPLACEMENT.
12. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE GENERAL CONTRACTOR IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS AND PAVED STREETS. THIS MAY INCLUDE PERIODIC TOP DRESSING WITH ADDITIONAL CRUSHED STONE AS CONDITIONS WARRANT. REPAIR OF ENTRANCES, CLEANING ON A DAILY BASIS OF RIGHT-OF-WAYS AND PAVED STREETS THAT HAVE BEEN SOILED BY CONSTRUCTION ACTIVITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY.

13. THE CONTRACTOR SHALL NOTIFY EACH SUB-CONTRACTOR OR ENTITY (INCLUDING UTILITY CREWS AND CITY EMPLOYEES OR THEIR AGENTS) THAT WILL BE PERFORMING WORK AT THE SITE OF THE EROSION CONTROL PLAN AND WHAT ACTIONS OR PRECAUTIONS SHALL BE TAKEN TO MINIMIZE THE POTENTIAL FOR SOIL EROSION.
14. DURING ALL SOIL DISTURBING ACTIVITIES, THE GENERAL CONTRACTOR WILL TAKE APPROPRIATE STEPS USING ACCEPTED CONSTRUCTION METHODS TO MINIMIZE THE TIME OF EXPOSURE OF UNPROTECTED SOIL AND OTHER CONSTRUCTION MATERIALS TO RAINFALL.
15. NO GROUND SHALL BE LEFT OPEN FOR MORE THAN 7 DAYS OF NON-ACTIVITY WITHOUT BEING MULCHED AND/OR SEEDED.
16. SOIL STOCKPILED FOR MORE THAN 7 DAYS SHALL HAVE SILT FENCE OR BALES PLACED ON THE DOWNHILL SLOPES TO TRAP SEDIMENT.
17. WHENEVER SOIL, ROCK, VEGETATION OR OTHER MATERIALS ARE EXPORTED FOR PLACEMENT IN AREAS OFF OF THE CONSTRUCTION SITE COVERED IN THIS PLAN, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT EPA STORM WATER PERMITTING REQUIREMENTS ARE MET. PRIOR TO THE REMOVAL OF ANY MATERIALS FROM THE SITE THE GENERAL CONTRACTOR WILL FURNISH THE ENGINEER WITH WRITTEN AGREEMENT, SIGNED BY EACH LANDOWNER WHO WILL RECEIVE EXPORTED MATERIALS, STATING THAT THEY ACCEPT THE MATERIAL AND THAT RECEIVING SITE IS PROPERLY PERMITTED, WHEN REQUIRED.



ueg united engineering group
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CONSTRUCTION DOCUMENTS
 DATE: 12/30/2024
 2024-016

LEE'S SUMMIT HYUNDAI PREMIER AUTO OUTLET
 1231 NW WARD ROAD
 LEES SUMMIT, MISSOURI 64086

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STATE OF MISSOURI
 STEVEN E. LACASSE
 PROFESSIONAL ENGINEER
 PE-2019041236
 12/30/24

DRAWN BY: RCP
 CHECKED BY: SEL

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EROSION PLAN
 FALK ARCHITECTS INC

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LEES SUMMIT, MISSOURI 64086

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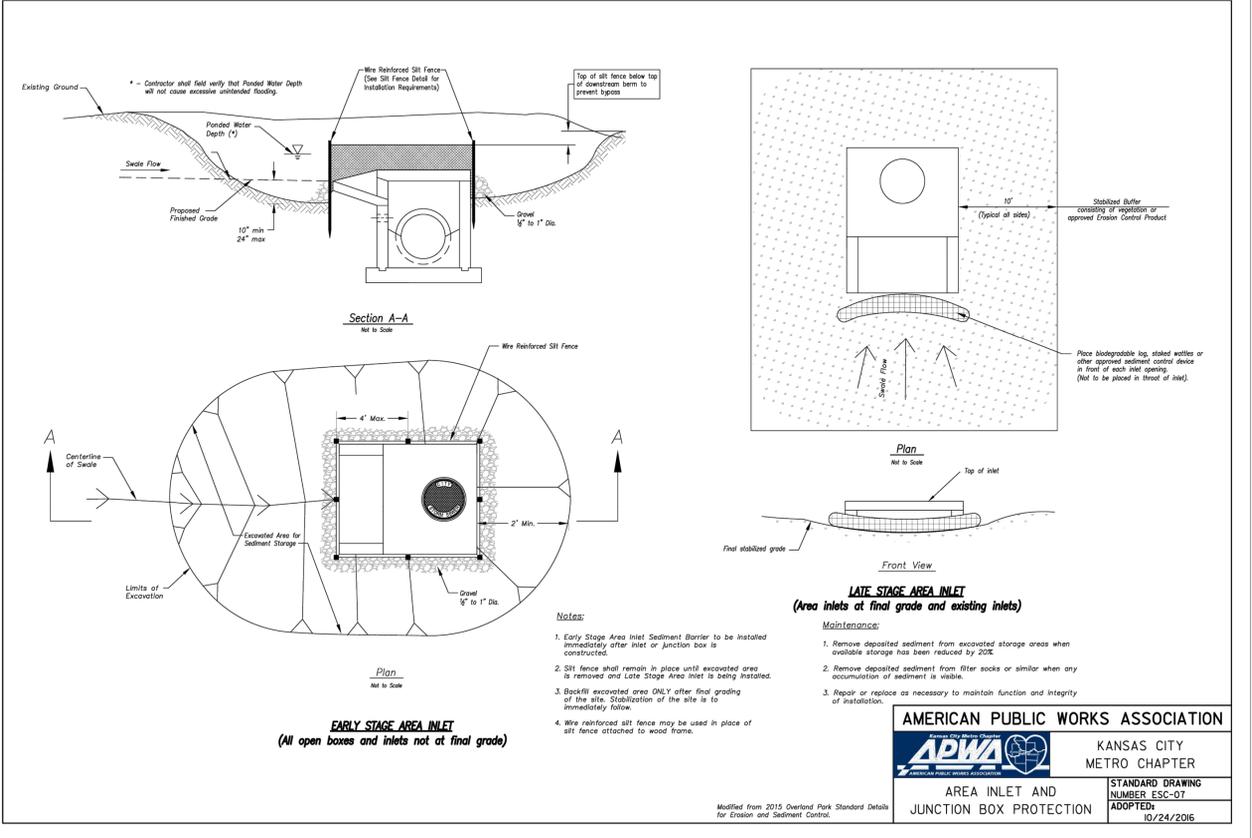
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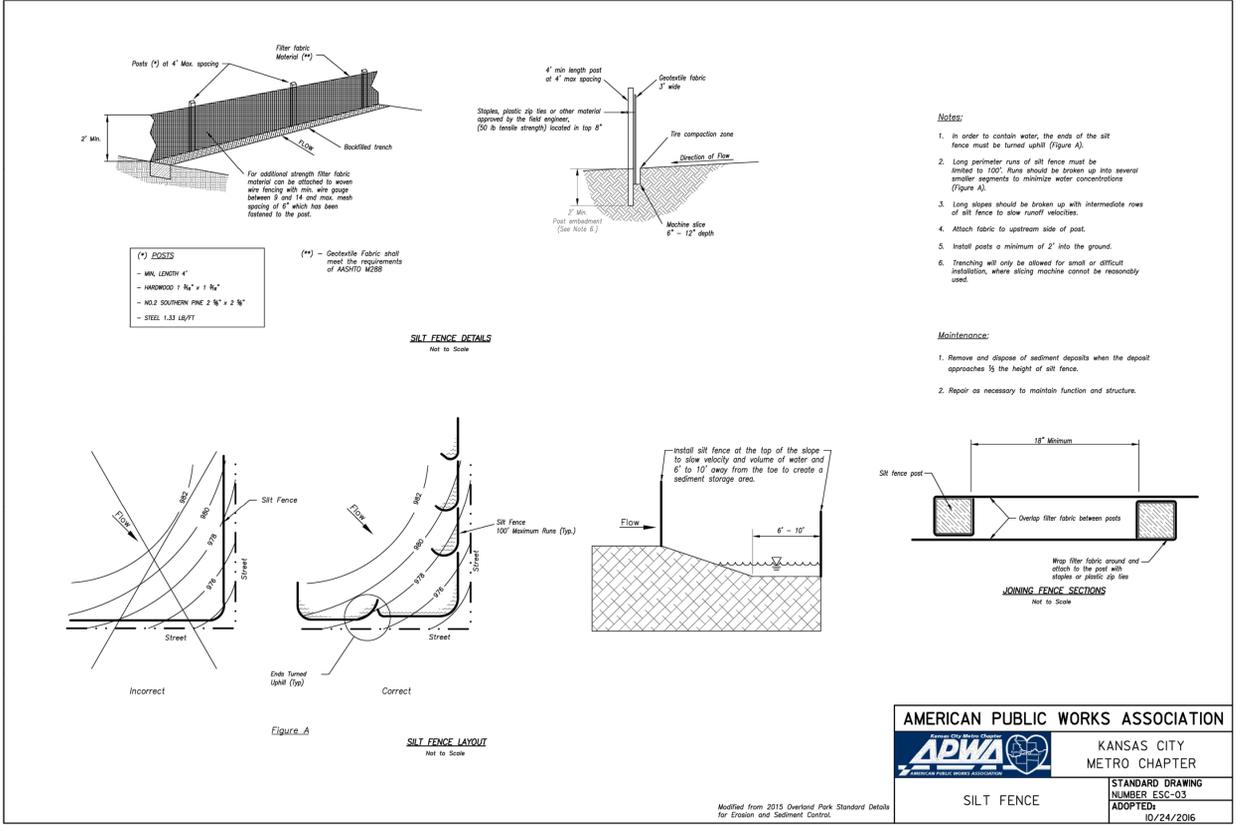
EROSION CONTROL DETAILS



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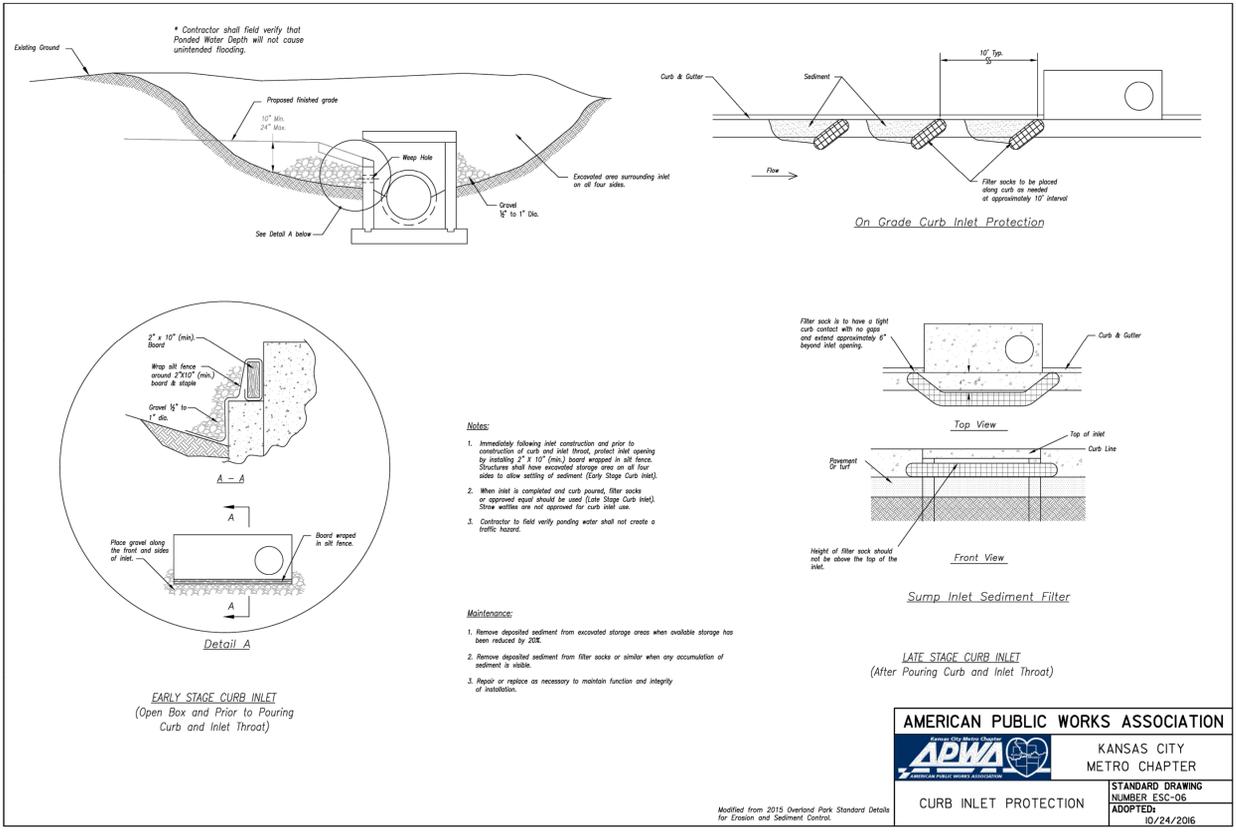
AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
STANDARD DRAWING NUMBER ESC-07 ADOPTED: 10/24/2016
AREA INLET AND JUNCTION BOX PROTECTION



AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016
SILT FENCE

Modified from 2015 Overland Park Standards Details for Erosion and Sediment Control.

Missing or invalid reference
File: \\1-1-1-153302 Victory Legends 4 Bay Addition\CAD\Plans\Erosion-Control_10-27-2016.pdf
Sheet: 10



AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016
CURB INLET PROTECTION

Modified from 2015 Overland Park Standards Details for Erosion and Sediment Control.

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LEES SUMMIT, MISSOURI 64086

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STANDARD DETAILS I

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GENERAL NOTES:

- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
- 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
- KOMBER 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS/SHARED-USE PATHS.
- ALL SIDEWALK/SHARED-USE PATHS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
- AN ISOLATION JOINT SHALL BE PLACED AT A MAXIMUM OF 100 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK/SHARED-USE PATHS, BUT NO GREATER THAN 10 FT.
- AN ISOLATION JOINT SHALL BE PLACED WHERE THE SIDEWALK/SHARED-USE PATHS MEETS A RESIDENTIAL DRIVEWAY.
- SHARED-USE PATHS WIDTH SHALL BE 10 FT. WIDE.
- SIDEWALK/SHARED-USE PATHS FINISHING SHALL BE FULL BROOM FINISH OR AS DIRECTED BY CITY INSPECTOR.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64069
SIDEWALK/SHARED-USE PATH DETAIL

Date: 08/2023
Drawn By: MIF
Checked By: GMB

NOTES:

- FOR TRENCHING AND PAVEMENT PATCHING REPAIRS WITHIN EXISTING OR FUTURE STREETS SEE STANDARD DETAIL GEN-5.
- EXCAVATION DEPTH, SLOPES, SHORING, AND STOCKPILE LOCATIONS SHALL COMPLY WITH OSHA REGULATIONS.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64069
PIPE BEDDING DETAIL

Date: 06/2023
Drawn By: MIF
Checked By: GMB

TABLE

PCRP THICKNESS (P)	DOVEL SIZE	TE BAR SIZE	DOVEL SPACING	TE BAR SPACING	MAX. TRAN. SPACING	MAX. LONG. SPACING
6"	N/A	#5 x 30"	N/A	30" CTRS.	12'	12'
7"	1" x 18"	#5 x 30"	12" CTRS.	30" CTRS.	14'	14'
8"	1.5" x 18"	#5 x 30"	12" CTRS.	30" CTRS.	15'	14'
28"	1.5" x 18"	#5 x 30"	12" CTRS.	30" CTRS.	15'	15'

GENERAL NOTES:

- THE FINAL POSITION OF ALL DOWELS AND TE BARS SHALL BE PERPENDICULAR TO THE PLANE OF THE JOINT AND PARALLEL TO THE SURFACE OF THE PAVEMENT AND PARALLEL TO EACH OTHER.
- ALL DOWELS & TE BARS SHALL BE EPOXY COATED.
- DOWEL BARS SHALL BE PLACED AT 4 INCHES FROM LONGITUDINAL JOINTS.
- TE BARS SHALL BE PLACED AT 12 INCHES FROM TRANSVERSE JOINTS.
- PANEL LENGTH TO WIDTH RATIO SHALL NOT EXCEED 1.25 TO 1.
- DOWEL BASKET SHIPPING WIRE SHALL NOT BE CUT.
- CONTRACTOR SHALL SUBMIT PROJECT SPECIFIC JOINTING PLAN AT LEAST TWO WEEKS BEFORE FINISHING OPERATIONS.
- IN ACCORDANCE WITH 2208.4.0, ALL JOINTS SHALL BE SEALED, INCLUDING CURB & GUTTER.

LEE'S SUMMIT MISSOURI
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64069
TYPICAL PAVEMENT JOINT DETAILS

Drawn By: MIF
Checked By: GMB
Date: 08/2023
Proj. #:
GEN-10

NOTE:

- Location point at center of inlet.
- A separate top slab may be utilized.
- All work shall conform to APWA Section 2600.
- Pour base and invert monolithic for precast inlets.

DOUBLE GRATE INLET DETAILS

SINGLE GRATE INLET DETAILS

KANSAS CITY, MISSOURI
PUBLIC WORKS DEPARTMENT
GRATE INLET DETAILS

STANDARD DRAWING NUMBER GI-100
REVISED JULY 1, 2007

LEE'S SUMMIT HYUNDAI PREMIER AUTO OUTLET
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LEES SUMMIT, MISSOURI 64086

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STANDARD DETAILS II



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SLAB MANHOLE FRAME
LEE'S SUMMIT PART NO.: LS103A
MINIMUM WEIGHT = 145 LB

STANDARD 24" MANHOLE FRAME
LEE'S SUMMIT PART NO.: LS101A
MINIMUM WEIGHT = 250 LB

*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCTS LIST.

STORM MANHOLE FRAME DETAIL

LS	LEE'S SUMMIT MISSOURI	DATE: 04/30/2024
	PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64083	DRAWN BY: CNS
		CHECKED BY: MJF
		DWG No.
	STM-7	

FLARED END SECTION SUPPORT DETAIL

DATE: 04/30/2024
DRAWN BY: CNS
CHECKED BY: MJF
DWG No.

LS	LEE'S SUMMIT MISSOURI	DATE: 04/30/2024
	PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64083	DRAWN BY: CNS
		CHECKED BY: MJF
		DWG No.
	STM-5	

STORM MANHOLE COVER

STANDARD 24" MANHOLE COVER
MINIMUM WEIGHT = 160 LB

*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCT LIST.

LS	LEE'S SUMMIT MISSOURI	DATE: 04/30/2024
	PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64083	DRAWN BY: CNS
		CHECKED BY: MJF
		DWG No.
	STM-6	

REINFORCING

BAR	BAR SIZE	SPACING (IN.)
H	4	12
V	4	12
L	5	6
W	5	6

GENERAL NOTES:

- LOCATE RING AND COVER ON BLANK WALL.
- USE 1" CHAMFER STEP OR 1/2" R EDGER TOOL ON ALL EXPOSED CONCRETE CORNERS.
- STEPS REQUIRED AT 1/2" O.C. WHEN DEPTH FROM TOP OF CASTING TO INVERT EXCEEDS 4' OR SLAB THICKNESS.
- REINFORCING SHALL BE ALLOWED TO PROJECT THROUGH THE CORNERS OF THE STRUCTURE AND THE MINIMUM JOINTS BETWEEN COISTS BE 4'.
- THE MINIMUM REINFORCING SHALL BE H-BAR OVER A CAST-IN-PLACE PIPE AND 2 H-BARS OVER A PRECAST BOUYOT.
- PRECAST LIDS SHALL BE FINISHED, SEALED WITH NON-DESTRUCTIBLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
- REINFORCING OF COVERS IN STREETS REQUIRE SPECIAL DESIGN.
- FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

STANDARD DETAILS
PUBLIC WORKS ENGINEERING
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
PROJECT NAME: JUNCTION BOX DETAIL

LS	LEE'S SUMMIT MISSOURI	DATE: 04/30/2024
	PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64083	DRAWN BY: CNS
		CHECKED BY: MJF
		DWG No.
	STM-3	

GENERAL NOTES:

- THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION.
- FLUSH LINES LISTED ON THE PROJECT PLANS ARE LISTED ON THE INSIDE FACE OF THE WALL.
- FLOOR OF INLET COURED AND SLOPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.
- LOCATE REINFORCING AND COVER ON BLANK WALL IF POSSIBLE.
- STEPS SHALL BE SPACED AT 1/2" O.C. VERTICALLY ON BLANK WALL IF POSSIBLE.
- STEPS SHALL BE SPACED WITH 1/2" CHAMFER OR 1/4" RADIUS EDGE.
- PRECAST LIDS SHALL BE FINISHED, SEALED WITH NON-DESTRUCTIBLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
- CONCRETE SHALL BE FINISHED AND SEALED WITH NON-DESTRUCTIBLE GROUT.
- FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

STANDARD DETAILS
PUBLIC WORKS ENGINEERING
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
PROJECT NAME: CURB INLET DETAILS

LS	LEE'S SUMMIT MISSOURI	DATE: 04/30/2024
	PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64083	DRAWN BY: CNS
		CHECKED BY: MJF
		DWG No.
	STM-1	

LEE'S SUMMIT HYUNDAI PREMIER AUTO OUTLET
1231 NW WARD ROAD
LEES SUMMIT, MISSOURI 64086

DRIVEWAY TYPICAL SECTION (NO SIDEWALK OR SHARED-USE PATH)
NOT TO SCALE

DRIVEWAY TYPICAL SECTION (SIDEWALK OR SHARED-USE PATH WITH BUFFER)
NOT TO SCALE

DRIVEWAY TYPICAL SECTION (SIDEWALK OR SHARED-USE PATH WITHOUT BUFFER)
NOT TO SCALE

GENERAL NOTES

- SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
- ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAD) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL, GEN-3B). SIDEWALK/SHARED USE PATH RAMP AT DRIVEWAY DETAIL.
- JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
- KCMB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
- COMMERCIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, SHALL BE KCMB 4K CONCRETE MIX.
- RESIDENTIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, KCMB 4K CONCRETE MIX IS RECOMMENDED. OTHER CONCRETE MIXES NEED TO BE APPROVED BY CITY INSPECTOR.
- A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
- 3/4" FROM TOP OF CURB TO FLOWLINE AT DRIVEWAY (TYPE CG-1 CURB ONLY) MUST MAINTAIN ORIGINAL FLOWLINE OF CURB.
- SIDEWALK ADJOINING CURB SHALL BE 6" THICK, EXTENDING 3' FROM THE DRIVEWAY.
- THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 1200 S. GREEN STREET | LEES SUMMIT, MO 64083

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MEF
Checked By: DL
Date: 08/2023
File #

DRIVEWAY DETAIL
GEN-1

3-D VIEW TYPE A SIDEWALK/SHARED-USE RAMP
NOT TO SCALE

3-D VIEW TYPE B SIDEWALK/SHARED-USE RAMP
NOT TO SCALE

TYPE A SIDEWALK/SHARED-USE RAMP
NOT TO SCALE

TYPE B SIDEWALK/SHARED-USE RAMP
NOT TO SCALE

LEGEND

- R SIDEWALK RAMP
- TS TURNING SPACE
- DETECTABLE WARNING SURFACE
- T TRANSITION

SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES

- CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48" WIDE.
- USE 18" LONG #4 EPOXY COATED BARS @ 24" O.C. EMBED THE BARS 9" IN EACH DIRECTION.
- ALL RAMPS, SIDEWALKS, SHARED-USE PATHS SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
- LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
- ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 100' CENTERS MAX.
- ADA MAXIMUM RAMP SLOPE = 8.33%
ADA MAXIMUM CROSS SLOPE = 2.08%
- ROADWAY EXCEPTIONS:** WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENT OF 8.33% OR LESS, THE RAMP SHALL BE EXTENDED TO A LENGTH OF 15 FEET TO MATCH EXISTING SIDEWALK. CROSS SLOPE OF RAMP SHALL BE 1.5% ±0.5%.
- TURNING SPACES SHALL BE 1.5% ±0.5% SLOPE IN ANY DIRECTION. TURNING SPACES SHALL HAVE A MINIMUM 4'x4' TURNING AREA. TURNING SPACES WITH A SIDEWALK CURB, SHALL HAVE A 5' TURNING AREA PERPENDICULAR TO THE SIDEWALK CURB.
- FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR.
- RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK. ANY TRANSITIONS REQUIRED TO MATCH RAMPS TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF ADDITIONAL SIDEWALK BEYOND THE RAMP AREA. SIDEWALK TRANSITION LENGTH SHALL BE EQUAL TO OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENSIONS SHALL BE A CONTINUOUS SLOPE.
- ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAD).

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 1200 S. GREEN STREET | LEES SUMMIT, MO 64083

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MEF
Checked By: DL
Date: 08/2023
File #

ADA RAMP RETROFIT DETAIL
GEN-3A

STRAIGHT CURB (TYPE C-1)

DOWELLED CURB (TYPE DC)

STRAIGHT BACK CURB & GUTTER (TYPE CG-1)

ROLL BACK CURB & GUTTER (TYPE CG-2)

STRAIGHT BACK DRY CURB & GUTTER (MODIFIED) (TYPE CG-1 DRY)

ROLL BACK DRY CURB & GUTTER (TYPE CG-2 DRY)

CURB & GUTTER DETAIL AT RAMP (ADA SLOPE REQUIREMENTS)

CURB REPLACEMENT DETAIL

GENERAL NOTES

- 3/4" ISOLATION JOINTS WITH 2 (2" #5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
- 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
- CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
- KCMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
- ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
- CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
- ALL DOWELS & THE BARS SHALL BE EPOXY COATED.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 1200 S. GREEN STREET | LEES SUMMIT, MO 64083

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MEF
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Date: 08/2023
File #

CURB & GUTTER DETAIL
GEN-4

3-D VIEW TYPE M SIDEWALK/SHARED-USE RAMP
NOT TO SCALE

3-D VIEW SIDEWALK/SHARED-USE RAMP AT DRIVEWAY
NOT TO SCALE

TYPE M SIDEWALK/SHARED-USE RAMP
NOT TO SCALE

SIDEWALK/SHARED USE RAMP AT DRIVEWAY WITH ADJOINING CURB
NOT TO SCALE

LEGEND

- R SIDEWALK RAMP
- TS TURNING SPACE
- DETECTABLE WARNING SURFACE
- T TRANSITION

SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES

- CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48" WIDE.
- USE 18" LONG #4 EPOXY COATED BARS @ 24" O.C. EMBED THE BARS 9" IN EACH DIRECTION.
- ALL RAMPS, SIDEWALKS, SHARED-USE PATHS SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
- LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
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ADA MAXIMUM CROSS SLOPE = 2.08%
- ROADWAY EXCEPTIONS:** WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENT OF 8.33% OR LESS, THE RAMP SHALL BE EXTENDED TO A LENGTH OF 15 FEET TO MATCH EXISTING SIDEWALK. CROSS SLOPE OF RAMP SHALL BE 1.5% ±0.5%.
- TURNING SPACES SHALL BE 1.5% ±0.5% SLOPE IN ANY DIRECTION. TURNING SPACES SHALL HAVE A MINIMUM 4'x4' TURNING AREA. TURNING SPACES WITH A SIDEWALK CURB, SHALL HAVE A 5' TURNING AREA PERPENDICULAR TO THE SIDEWALK CURB.
- FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR.
- RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK. ANY TRANSITIONS REQUIRED TO MATCH RAMPS TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF ADDITIONAL SIDEWALK BEYOND THE RAMP AREA. SIDEWALK TRANSITION LENGTH SHALL BE EQUAL TO OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENSIONS SHALL BE A CONTINUOUS SLOPE.
- ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAD).

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 1200 S. GREEN STREET | LEES SUMMIT, MO 64083

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MEF
Checked By: DL
Date: 08/2023
File #

ADA RAMP RETROFIT DETAIL
GEN-3B

DRAWINGS NOT FOR CONSTRUCTION UNLESS PROFESSIONAL STAMP, SIGNATURE & DATE IS PROVIDED

STATE OF MISSOURI
STEVEN E. LACASSE
Professional Engineer
PE-2019041236
12/30/24

DRAWN BY: RCP
CHECKED BY: SEL

FALK ARCHITECTS
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C502
GEN-3B

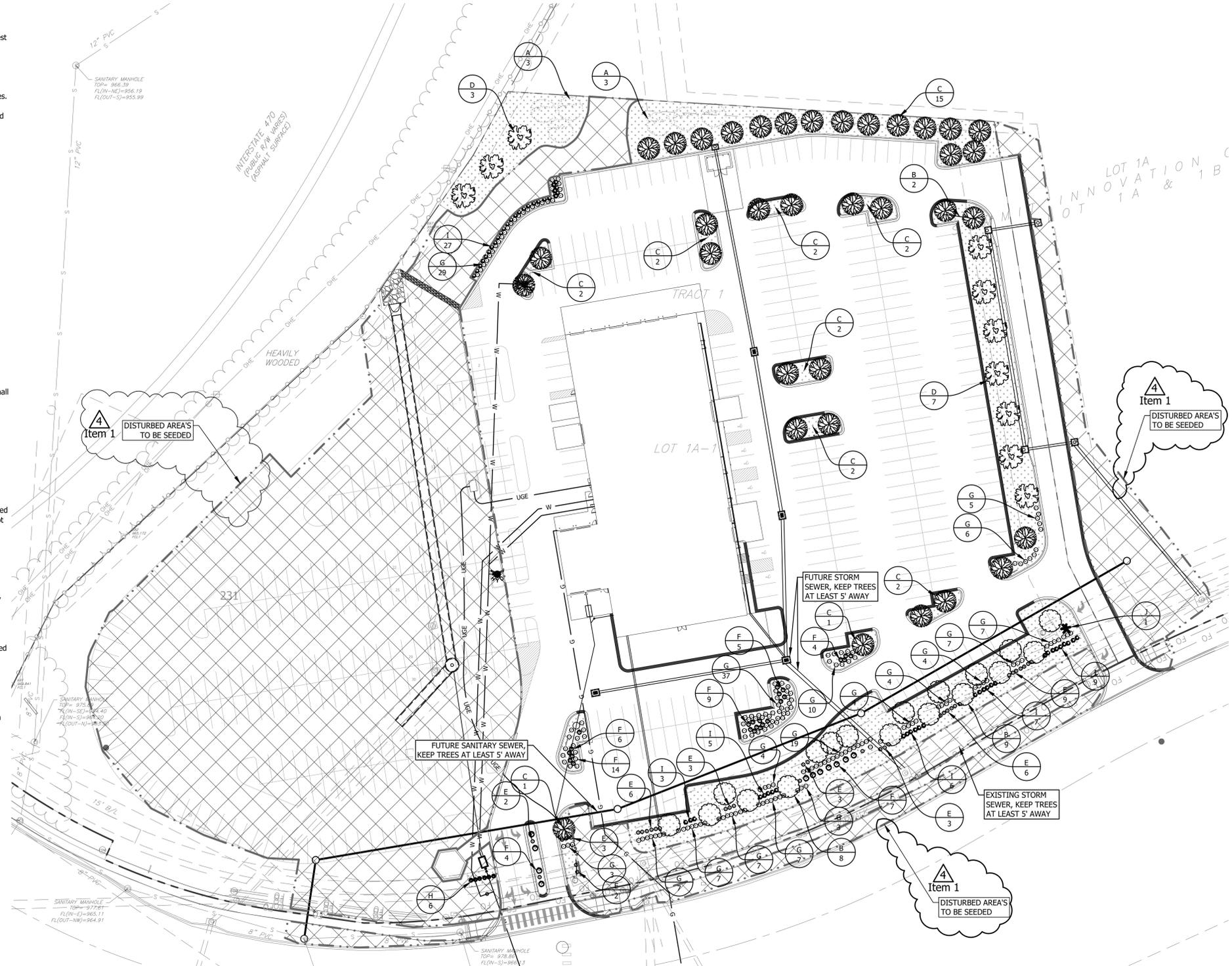
ueg united engineering group
4501 NW Oakley Ave, Suite 232 | Topeka, KS 66618
Phone: 785.806.2806 | www.unitedeng.com

STANDARD DETAILS III
FALK ARCHITECTS INC

LANDSCAPE NOTES

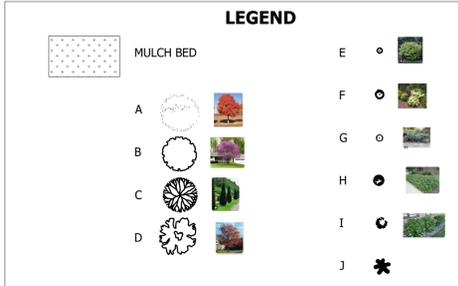
- All plants shall comply with State and Federal laws governing the shipping, selling and handling of plant stock and inspection for plant diseases and pest infestations. Plants shall be certified free from disease and infestation and invasive weeds. Any inspection certificates required by law shall accompany each shipment invoiced or order of stock, and on arrival, the certificate shall be filed with the Engineer before acceptance.
- All plant material shall be free of contamination by any plant not specified, including non-native invasive plants, seeds, and plant parts.
- All plants shall be true to species and variety specified and in accordance with the American Standard for Nursery Stock and good horticultural practices.
- Remove from the site any plant material that turns brown or defoliates within five (5) days after planting. Replace immediately with approved, specified material.
- Caliper measurements shall be taken six inches (6") above the trunk flare for trees up to four inches (4") in caliper
- All plant material shall be supplied by appropriate sources to prevent undue stress or prolonged acclimatization which would inhibit plant growth.
- Contractor is to verify plant quantities shown on plan and in plant list. If discrepancies occur, Contractor is to contact Owner immediately.
- All workmanship and materials shall be guaranteed by the Contractor for a period of 1 year after installation.
- Each plant shall have a durable legible label with plant size and name (genus, species, variety, cultivar) securely attached when delivered and in place until after acceptance. Labels shall not girdle or damage plants. Contractor shall remove label from plant material at time of acceptance.
- Plants shall be so trained in development and appearance as to be compact and symmetrical. They shall be sound, healthy, vigorous, well-branched, and densely foliated when in leaf. Plants shall be free of disease and insect adults, eggs, pupa, or larvae. They shall have healthy, well developed root systems and shall be free from physical damage or other conditions that would prevent growth.
- The Contractor shall maintain all plant material and lawns until the project is fully accepted by the Owner.
- Rootballs shall meet or exceed size standards as set forth in 'American Standards for Nursery Stock'.
- There shall be no roots in the root ball that make an abrupt turn of ninety degrees (90°) or more. There shall be no roots in the root ball that are 'J' roots, kinked, stem girdling, or potentially stem girdling. For all plants, including bare root, roots shall exhibit healthy, well-branched root systems characteristic of the species with adequate spread
- Roots in ball-in-burlap root balls or in containers shall be well-rooted and uniform throughout soil mix or growth media. Roots shall not be pot bound.
- The Contractor shall install 4" minimum topsoil in all proposed bed areas. Contractor shall coordinate quantity and placement of topsoil. Landscaper shall verify depth of topsoil prior to plant installation.
- All plant beds shall receive 3" minimum of shredded hardwood bark mulch.
- Seed all areas disturbed by construction activities that are not otherwise noted to receive pavement, planting bed, or sod treatment.
- Prior to planting, all planted areas shall be treated with a water-soluble herbicide for the non-selective control of annual and perennial weeds prior to planting.
- Main leaders of all trees shall remain intact.
- Tree trunks shall be straight and well-tapered. Trees with multiple leaders, unless specified, will be rejected. Damaged, cut, or crooked leaders; included bark, bark abrasions, sunscald, disfiguring knots, mold, and prematurely opened buds, or cut limbs over three-quarter inch (3/4") diameter that are not completely callused are cause for rejection.
- All pruning cuts shall comply with ANSI A300 Standards and shall be made outside the branch collar and branch bark ridge. Branches shall not be pruned immediately prior to delivery. Needled evergreens shall not have been sheared.
- The attachment of branches shall contain no bark inclusions.
- There shall be one dominant leader straight to the top of the tree. Larger branches shall be spaced at least six inches (6") apart and arranged radially and vertically along the stem.
- There shall be live buds or foliage to the ends of all twigs.
- Planting shall be done when temperatures are above freezing, the ground is frost free, and the soil is in a workable condition. Unless otherwise specified in writing by the Owner, planting of trees shall be done between May 1 and October 1
- Planting pit will be a minimum radius of three (3) times the root ball diameter. The sides of the hole will be sloped at forty-five degrees (45°) and scarified. The depth of the planting pit will vary but shall match root ball depth.
- Mulch shall consist of shredded bark mulch. Material shall be uniform in size, color, quality and overall appearance. Mulch shall be free of material injurious to plant growth. Sources of mulch should be free of weeds and invasive plant parts or seeds. Sawdust, dirt, garbage, or other debris mixed in the mulch is not acceptable. Contractor shall submit two pounds of proposed mulch for inspection by Owner. Shredded bark mulch shall consist of shredded bark and wood. Maximum length of any individual component shall be two inches (2") and a minimum of seventy-five percent (75%) of the mulch shall pass through a one inch (1") Mulch shall be free of invasive seeds, seeds, or propagules. The bark mulch shall have the characteristics of retaining moisture, forming a mat not susceptible to spreading by wind or rain, and providing a good growth medium for plants. Shredded bark mulch may contain up to fifty percent (50%) shredded wood material. Wood chips are not acceptable. Bark mulch containing shredded wood shall be a minimum of one year prior to installation. Bark mulch shall be free of soil, rocks, and weeds.
- All disturbed areas to be seeded.
- Irrigation shall be required for all landscape beds and trees. Contractor shall submit irrigation plan for approval.

2
Item 1

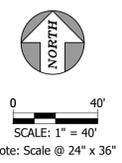


Landscaping Requirements are:
 1 Street Tree per 30 feet
 1 Yard Area Tree per 5,000 SF
 2 Yard Area Shrubs per 5,000 SF
 12 Parking Screen Trees per 40 FT

	Developed Yard Area (SF)	Developed NW Ward Road (LF)	Developed I-470 ROW Length (LF)	Yard Shrubs	Yard Trees	NW Ward Street Trees	I-470 Street Trees	Parking Screen Shrubs along NW Ward Road	Parking Screen Shrubs along I-470
Required	215,000	540	160	86	43	18	6	162	48
Provided				97	44	18	6	162	56



NAME	QUANTITY	SIZE
TREES		
A Shantung Maple, Acer Truncatum	7	3" caliper
B Eastern Redbud, Cercis Canadensis	17	3" caliper
C Hetzi Columnar Juniper, Juniperus Chinese	35	3" caliper
D Frontier Elm, Ulmus Frontier	10	3" caliper
SHRUBS		
E Kodiak Orange Diervilla, Diervilla GZX885	36	2 Gallon
F Bobo Panic Hydrangea, Hydrangea Pani	37	2 Gallon
G Grey Owl Juniper, Juniperus 'Grey Owl'	178	2 Gallon
H Gro-Low Sumac, Rhus Aromatica 'Gro-Lov	6	2 Gallon
I Blue Muffin Viburnum, Viburnum Dentat	55	2 Gallon
ORNAMENTAL GRASS		
J FEATHERED REED GRASS	6	2 Gallon



LEE'S SUMMIT HYUNDAI PREMIER AUTO OUTLET
 1231 NW WARD ROAD
 LEES SUMMIT, MISSOURI 64086

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DRAWN BY: RCP
CHECKED BY: SEL

- Civil Addendum #2 Items:**
 1. Added note stating Irrigation will be required.
- Civil Addendum #4 Items:**
 1. Shown seeding limits on disturbed areas

FALK ARCHITECTS

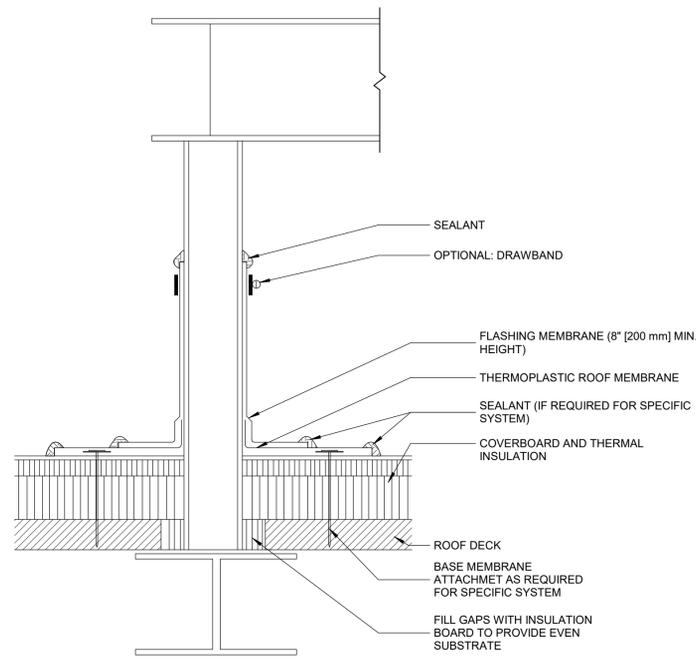
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C600
 2 Civil Addendum #2 2/11/2025
 4 Civil Addendum #3 2/17/2025
 LANDSCAPING PLAN

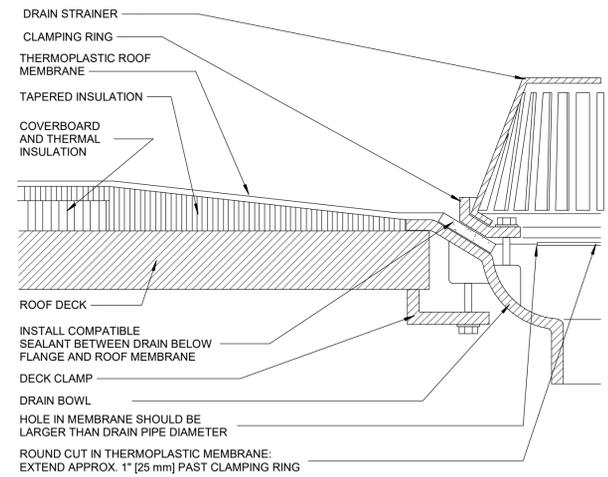


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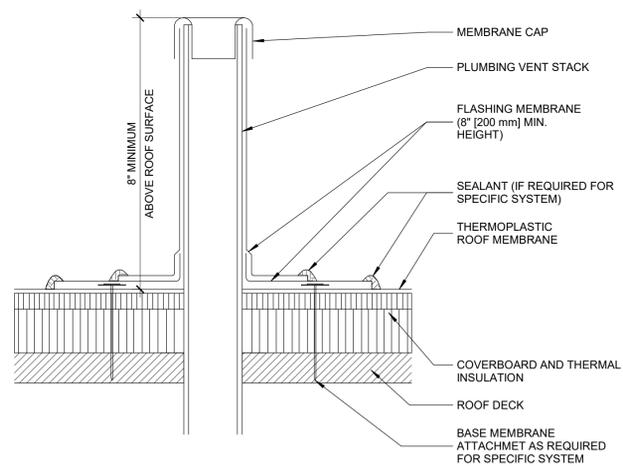
FALK ARCHITECTS INC



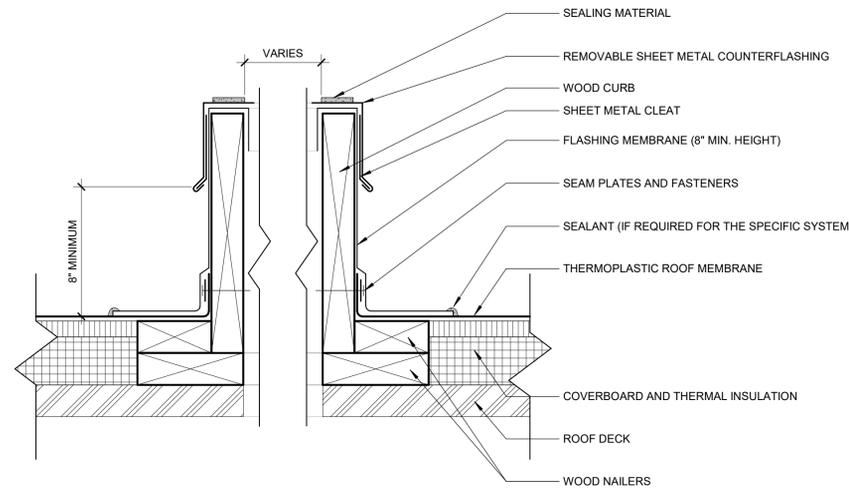
EQUIP SUPPORT TP11-S
3" = 1'-0" **D**



ROOF DRAIN TP-20S
3" = 1'-0" **C**



ROOF PENETRATION TP-18S
3" = 1'-0" **B**



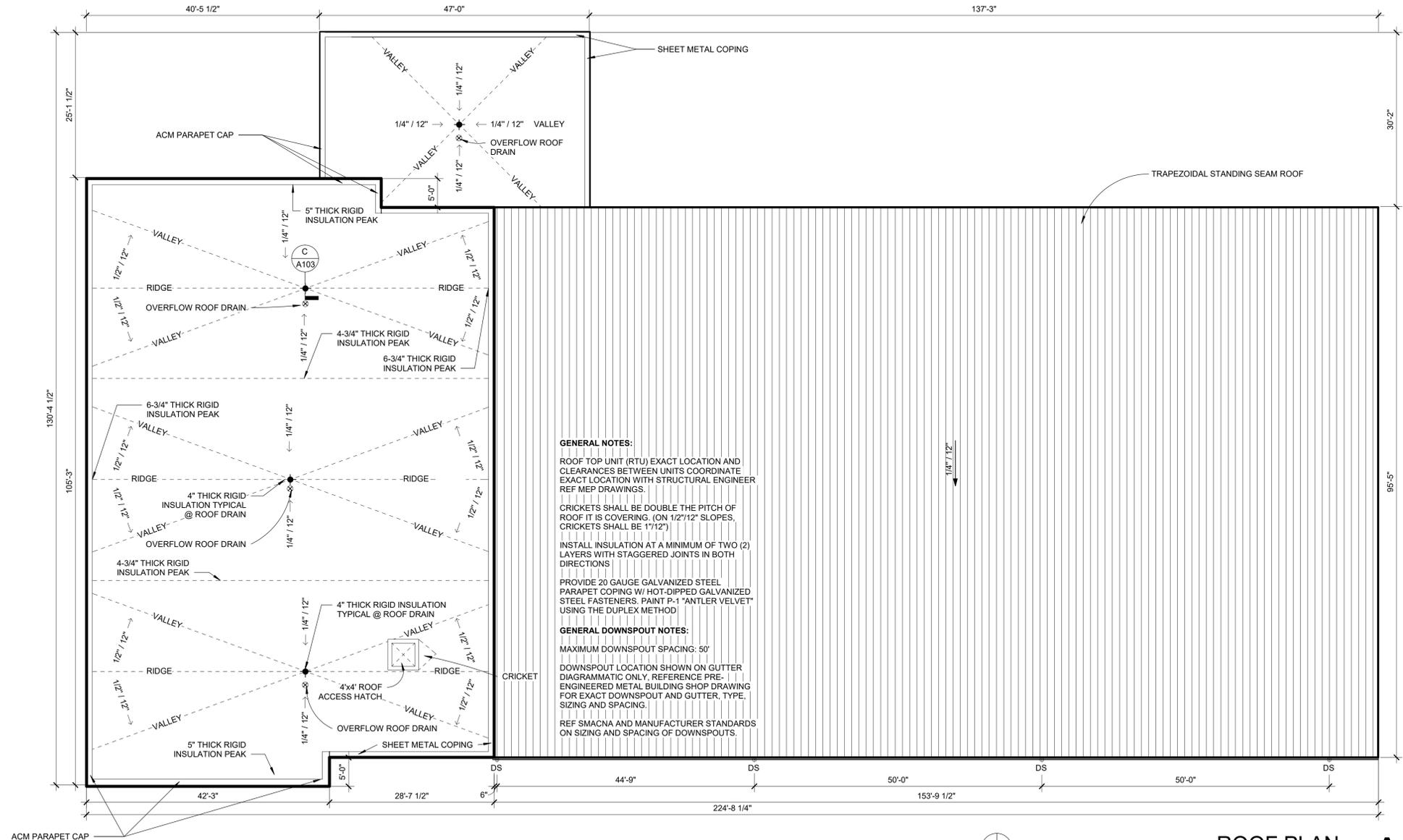
RAISED CURB TP-13S
3" = 1'-0" **E**

LEGEND

- ROOF DRAIN
- OVERFLOW
- ROOFTOP EQUIPMENT (SHAPE MAY VARY)
- ROOF SLOPE

GENERAL NOTES:

ALL ROOF PENETRATION INCLUDING EQUIPMENTS VENTS, PIPES, DRAINS SHOWN DIAGRAMATIC ONLY. CONTRACTOR SHALL FIELD VERIFY ALL PENETRATIONS TYPE, SIZE, AND LOCATION BEFORE CONSTRUCTION.



GENERAL NOTES:
 ROOF TOP UNIT (RTU) EXACT LOCATION AND CLEARANCES BETWEEN UNITS COORDINATE EXACT LOCATION WITH STRUCTURAL ENGINEER REF MEP DRAWINGS.
 CRICKETS SHALL BE DOUBLE THE PITCH OF ROOF IT IS COVERING. (ON 1/2\"/>

GENERAL DOWNSPOUT NOTES:
 MAXIMUM DOWNSPOUT SPACING: 50'
 DOWNSPOUT LOCATION SHOWN ON GUTTER DIAGRAMMATIC ONLY, REFERENCE PRE-ENGINEERED METAL BUILDING SHOP DRAWING FOR EXACT DOWNSPOUT AND GUTTER, TYPE, SIZING AND SPACING.
 REF SMACNA AND MANUFACTURER STANDARDS ON SIZING AND SPACING OF DOWNSPOUTS.

DRAWINGS NOT FOR CONSTRUCTION UNLESS PROFESSIONAL STAMP, SIGNATURE & DATE IS PROVIDED.



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CHECKED BY: BJF/PG

FALK ARCHITECTS

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A103

ROOF PLAN + DETAILS

FALK ARCHITECTS INC

DATE PRINTED: 1/22/2025 8:13:04 AM
FILE PATH: C:\Users\jdes\OneDrive\Documents\117FD\MO\Lee's Summit\2024-016 Lee's Summit Hyundai\Revit\2024-016 Lee's Summit Hyundai.rvt



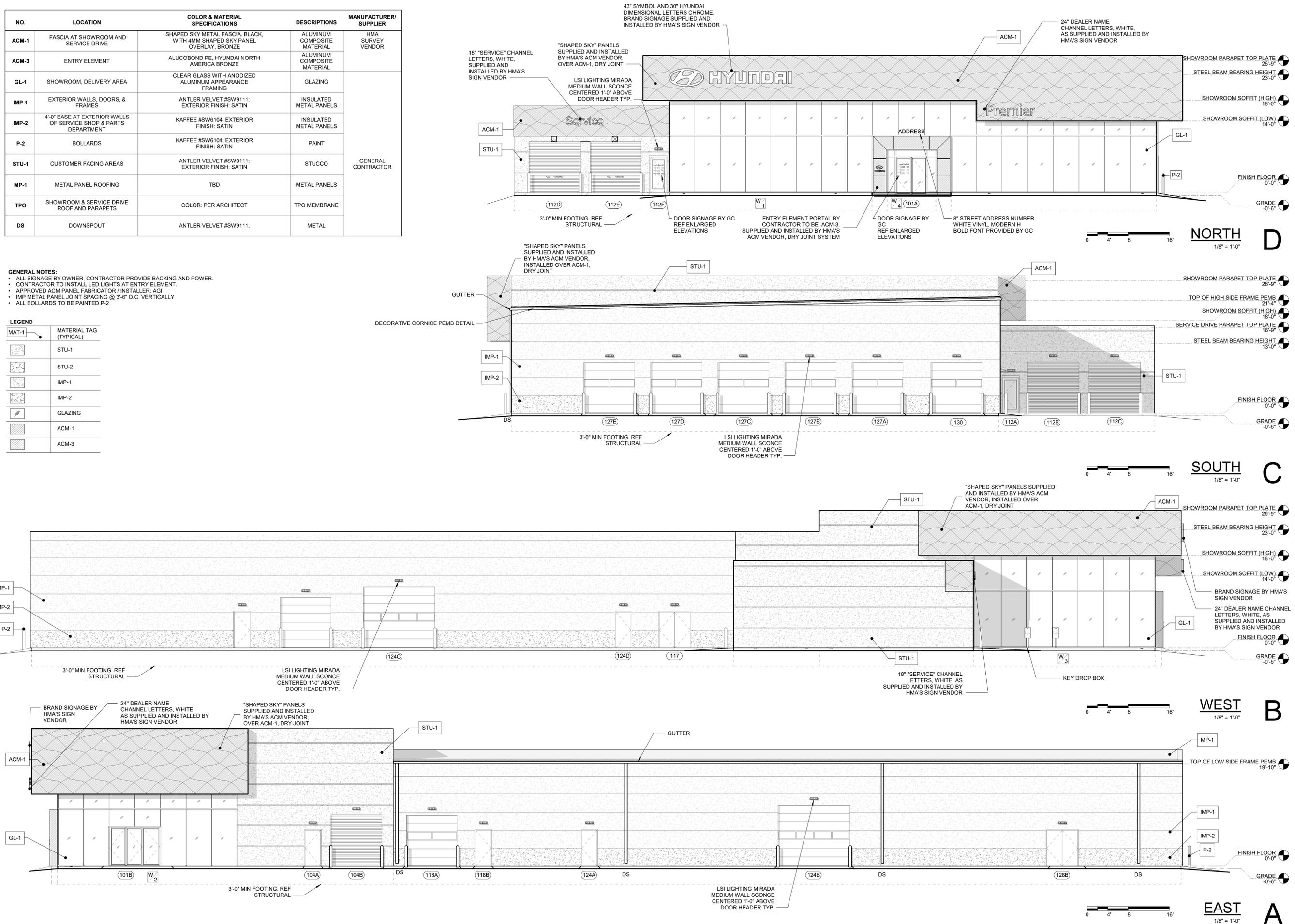
ROOF PLAN
3/32" = 1'-0" **A**

NO.	LOCATION	COLOR & MATERIAL SPECIFICATIONS	DESCRIPTIONS	MANUFACTURER/SUPPLIER
ACM-1	FASCIA AT SHOWROOM AND SERVICE DRIVE	SHAPED SKY METAL FASCIA, BLACK, WITH 4MM SHAPED SKY PANEL OVERLAY, BRONZE	ALUMINUM COMPOSITE MATERIAL	HMA SURVEY VENDOR
ACM-3	ENTRY ELEMENT	ALUCOBOND PE, HYUNDAI NORTH AMERICA BRONZE	ALUMINUM COMPOSITE MATERIAL	
GL-1	SHOWROOM, DELIVERY AREA	CLEAR GLASS WITH ANODIZED ALUMINUM APPEARANCE FRAMING	GLAZING	
IMP-1	EXTERIOR WALLS, DOORS, & FRAMES	ANTLER VELVET #SW9111; EXTERIOR FINISH: SATIN	INSULATED METAL PANELS	
IMP-2	4'-0" BASE AT EXTERIOR WALLS OF SERVICE SHOP & PARTS DEPARTMENT	KAFFEE #SW6104; EXTERIOR FINISH: SATIN	INSULATED METAL PANELS	
P-2	BOLLARDS	KAFFEE #SW6104; EXTERIOR FINISH: SATIN	PAINT	
STU-1	CUSTOMER FACING AREAS	ANTLER VELVET #SW9111; EXTERIOR FINISH: SATIN	STUCCO	GENERAL CONTRACTOR
MP-1	METAL PANEL ROOFING	TBD	METAL PANELS	
TPO	SHOWROOM & SERVICE DRIVE ROOF AND PARAPETS	COLOR: PER ARCHITECT	TPO MEMBRANE	
DS	DOWNSPOUT	ANTLER VELVET #SW9111;	METAL	

- GENERAL NOTES:**
- ALL SIGNAGE BY OWNER, CONTRACTOR PROVIDE BACKING AND POWER.
 - CONTRACTOR TO INSTALL LED LIGHTS AT ENTRY ELEMENT.
 - APPROVED ACM PANEL FABRICATOR / INSTALLER: AGI
 - IMP METAL PANEL JOINT SPACING @ 3'-6" O.C. VERTICALLY
 - ALL BOLLARDS TO BE PAINTED P-2

LEGEND

MAT-1	MATERIAL TAG (TYPICAL)
[Pattern]	STU-1
[Pattern]	STU-2
[Pattern]	IMP-1
[Pattern]	IMP-2
[Pattern]	GLAZING
[Pattern]	ACM-1
[Pattern]	ACM-3



BID SET
DATE: 01-22-2025
2024-016

LEE'S SUMMIT HYUNDAI PREMIER AUTO OUTLET
1231 NW WARD RD, LEES SUMMIT, MO 64086

DRAWN BY: PDM
CHECKED BY: BJF/PG

FALK ARCHITECTS
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A201
ELEVATIONS

FALK ARCHITECTS INC

STATE OF MISSOURI
BRYAN
ARCHITECT
01-22-2025
NUMBER A-2013000188

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DATE PLOT: 01-22-2025 8:13:16 AM
FILE PATH: C:\Users\bjf\OneDrive\Documents\Lee's Summit Hyundai\Revit\2024-016 Lee's Summit Hyundai.rvt
Contract: 2024-016 Lee's Summit Hyundai.rvt