
PLANNING AND DEVELOPMENT

**Commercial Preliminary Development Plan
Applicant's Letter**

Date: Friday, August 14, 2015

To:

Applicant: ENGINEERING SOLUTIONS	Email:	Fax #: (816) 623-9849
Property Owner: THE UNITED METHODIST CHURCH OF LEES SUMM	Email:	Fax #: <NO FAX NUMBER>
Engineer: ENGINEERING SOLUTIONS	Email:	Fax #: (816) 623-9849

From: Ron Seyl, Planner

Re:

Application Number: PL2015117
Application Type: Commercial Preliminary Development Plan
Application Name: SUMMIT CHURCH
Location: 3381 NW CHIPMAN RD, LEES SUMMIT, MO 64081

Tentative Schedule

Submit revised plans by noon on Tuesday, September 01, 2015 (4 paper copies, 1 reduced (8 ½ x 11 copy).

Applicant Meeting 08/19/2015 09:00 AM:	08/19/2015
Planning Commission Meeting 09/22/2015 05:00 PM:	09/22/2015
City Council Public Hearing 10/15/2015 06:15 PM:	10/15/2015
City Council Ordinance 10/15/2015 06:15 PM:	10/15/2015

If the revised submittal deadline is not met or plans are deficient, the item will be moved to a later meeting and a new deadline will be set. Future deadlines and meeting dates can be found on the "Planning Commission Meeting Dates" handout. Dates are subject to change; we will keep you informed throughout the process.

Excise Tax

On April 1, 1998, an excise tax on new development for road construction went into effect. This tax is levied based on the type of development and trips generated. If you require additional information about this development cost, as well as other permit costs and related fees, please contact the Permitting and Plan Review Division of the Codes Administration Department at 969-1200.

Planning Commission and City Council Presentations

Presentations before the Planning Commission and City Council shall be (1) in electronic format or (2) reduced drawings for use on the Document Camera to display on the screen. Electronic presentations shall be on a laptop, CD ROM, DVD, or flash drive. The City's presentation system can support Word, Excel, Power Point, Adobe, Windows

Media Player and Internet Explorer applications. Presentation boards will no longer be allowed. The presentation(s) shall be submitted to Planning and Development staff no later than the day of the Planning Commission meeting by 4 pm.

Notice Requirements

1. Notification of Surrounding Property Owners.

- **Mail Notices.** The applicant must mail letter notices to all property owners within 185 feet at least 15 days prior to the hearing. Sample notices are available. The notice must include:
 - time and place of hearing,
 - general description of the proposal,
 - location map of the property,
 - street address, or general street location
 - statement explaining that the public will have an opportunity to be heard
- **File Affidavit.** An affidavit must be filed with the Planning and Development Department prior to the public hearing certifying the notices have been sent. Provide a list of the property owners notified and a copy of the notice sent.

2. Notice Signs.

- **Post Sign.** The applicant shall post a sign on the premises, at least 15 days prior to the date of the hearing, informing the general public of the time and place of the public hearing. When revised plans are submitted, staff will prepare the sign and provide it to the applicant for posting.
- **Maintain Sign.** The applicant shall make a good faith effort to maintain the sign for at least the 15 days immediately preceding the date of the hearing, through the hearing, and through any continuances of the hearing. The sign shall be placed within 5 feet of the street right-of-way line in a central position on the property that is the subject of the hearing. The sign shall be readily visible to the public. If the property contains more than one street frontage, one sign shall be placed on each street frontage so as to face each of the streets abutting the land. The sign may be removed at the conclusion of the public hearing(s) and must be removed at the end of all proceedings on the application or upon withdrawal of the application.

Analysis of Commercial Preliminary Development Plan:

Planning Review	Ron Seyl (816) 969-1603	Planner Ron.Seyl@cityofls.net	Corrections
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1. LEGAL DESCRIPTION.
Please submit an electronic copy of the legal description. Microsoft Word document or selectable PDF are the preferred file formats. The legal description can be emailed to the planner's email address below.

2. SIGNAGE. Dimensions?
Please provide renderings of any proposed signage for the site; show the dimensions of the sign and sign structure. Also indicate the proposed placement of the signage on the site plan. All signage must comply with Unified Development Ordinance Article 13 - Signs.

NO 3. Display width, radii, centerline and grade of Chipman Rd.

OK 4. SETBACKS
Display building setback lines from streets with dimensions.

OK 5. PLAN CLEAN UP

There are squares shown in place of alphabetic letters on various parts of the plan. For example, on Sheet C.600 the description of the Handicap Sign Detail is unreadable. Please correct.

OK 6. PARKING LOT SETBACK

A portion of the Phase 1 parking lot will not meet the minimum 20' ROW setback when the future north-south street is dedicated as a public street. More specifically, it will affect the northernmost 5/6 parking spaces and drive aisle just south of the driveway entrance tying into the larger driveway/street connection to Chipman Rd.

7. TRASH ENCLOSURE. There is no trash enclosure shown on the plans. Show the proposed location of the enclosure and provide a detail of it. Trash enclosures shall be constructed of masonry walls and solid steel gates of a color compatible with the building it serves.

8. PARKING SPACES.

- The double-loaded parking bay at the east end of the Phase 1 parking lot construction is labeled as each bay having 44 spaces. However, each bay actually has 42 spaces. This is also true for the adjacent double-loaded bays to the east that will be constructed as part of a future phase. Please revise.
- The single-loaded parking bay at the easternmost boundary of the future parking lot expansion is labeled as having 54 spaces. It actually has 52 spaces. Please revise.
- The single-loaded parking bay to the immediate east of the church building is labeled as having 42 spaces. It actually has 40 spaces. Please revise.

9. SITE DATA TABLE.

- The table indicates that 342 standard parking spaces and 10 ADA parking spaces will be provided in Phase 1. However, the plan shows 330 standard parking spaces and 54 ADA parking spaces in Phase 1. Please revise.
- The table indicates that 1029 standard parking spaces and 50 ADA parking spaces will be provided at full build-out. However, the plan shows 865 standard parking spaces and 54 ADA parking spaces at full build-out. Please revise.
- Also revise the parking totals listed at the upper right-hand corner of Sheets C.100 and C.101.

10. DRIVEWAYS (FUTURE PUBLIC STREETS)

- Temporary asphalt curbing shall be provided at the south end of the stub for the Chipman Rd driveway entrance where the future street will be extended.
- As discussed in previous pre-application meetings, the portion of Ashurst from View High to the "T" intersection of the future north-south street shall be built as a collector with 60' of ROW.

11. DRIVE AISLE WIDTHS. A minimum 24' of pavement width (28' back-of-curb to back-of-curb) is required where drive aisles serve two-way traffic, including areas bounded by landscape islands. There are drive aisles throughout the site with pavement widths between 19' and 22'.

12. ACCESSIBLE RAMPS. The ADA ramps serving the parking bay with 10 accessible parking spaces immediately adjacent to the building's west side is clearly labeled. How and where will the 44 accessible spaces further west from the building gain ramp access to the building? Please label the ramp location(s).

13. PAVEMENT. A note on Sheet C.001 states that parking lot pavement shall meet the requirements of the UDO. However, the concrete and asphalt pavement details on Sheet C.600 do not meet UDO requirements.

14. LANDSCAPE PLAN.

- Deciduous trees shall be a minimum 3" caliper. The proposed Linden and Redbud trees do not meet the minimum size.
- Evergreen trees shall be a minimum 8' at the time of planting. The Skyrocket Juniper tree does not meet the

minimum size.

- Revise the landscaping calculations so as to only reflect the lot area for the boundaries of the property that will make up the church's lot itself. Do not include the future 6-acre commercial site.

15. MECHANICAL EQUIPMENT. Show the location of all proposed ground-mounted and roof-mounted mechanical equipment on the site plan or building elevations, as appropriate. Roof-top units shall be totally screened from view by incorporating parapet heights equal to the height of the units being screened. Ground-mounted units shall be totally screened from view using masonry walls or evergreen landscaping to a height equal to the units being screened.

16. LIGHTING.

- Show all proposed wall-mounted light fixtures on the building elevations to the extent possible. Wall-mounted lighting shall be subject to the standards under Section 7.260 of the UDO. Provide manufacturer specifications for all wall fixtures for review.
- All parking lot fixtures shall be subject to the standards under Section 7.250 of the UDO. Provide manufacturer specifications for all wall fixtures for review.
- Provide a detail of the parking lot fixtures, including proposed overall height. Pole light bases shall not exceed a height of 3'.

Engineering Review

Gene Williams
(816) 969-1812

Senior Staff Engineer
Gene.Williams@cityofls.net

Corrections

1. Please include a Utility Plan sheet showing the locations of all domestic water, fire lines, fire hydrants, sanitary sewer, and stormwater on one or more sheets as necessary.
2. The "Macro Storm Drainage Study" (undated) states on page 1 that "...basin will serve as the...detention basin for the 1, 10, and 100 year event." Is this a typographical error? The 2 year event is needed as per the Design and Construction Manual.
3. The "Macro Storm Drainage Study" (undated) states in Section 5 that "...modelling this sytem demonstrates capacity issues and the release rate from this development will be reduced to less than pre-development...". Is this a typographical error? The Design and Construction Manual has allowable release rates based on acreage, and these must be followed. Is the drainage area being changed due to grading activities? If so, then the allowable discharge for this new subarea is based on the pre-development area for purposes of calculating the allowable discharge rate.
4. The "Macro Storm Drainage Study" (undated) states in Section 6 that "...Total Flow if the release from both of the detention basins and Area C." This sentence does not appear to make sense.
5. The "Macro Storm Drainage Study" (undated) references "93518" under the North Basin summary in Section 7. What is this in reference to?
6. The "Macro Storm Drainage Study" (undated) should include a statement within the Conclusions and Recommendations Section of the report that the system will be designed in accordance with the current APWA Comprehensive Control Strategy in terms of allowable release rates, and stormwater quality.
7. General Comment: The majority of the plan sheets contain several odd characters within the title blocks and the body of the sheets. Please clean-up as appropriate.
8. Sheet C.001, C.100, and C.101: Why is east detention basin and water quality basin omitted from these sheets? Please include this feature on the plan sheets.

9. Please label each detention basin/water quality basin with the exact basin number used in the "Macro Storm Water Drainage Study." Please include the phrase "water quality basin" in addition to detention basin.
10. Provide a note stating that all access roads, including the access from Chipman and the access from View High Drive will be constructed to public standards.
11. Sheet C.100: A note is shown on this sheet stating "Public Roadway 50' Right of Way". Please revise this to state "future public roadway".
12. Please provide a label on the new Utility sheet showing all interior stormwater lines as private.
13. Show and label the location of the future easement to be dedicated for the sanitary sewer line.
14. Please be aware that the proposed commercial entrance on View High Dr. will require the City of Kansas City approval.
15. Sheet C.201: The profile view shows a public street. As discussed previously, these access roads will be considered private until such time that the area is platted. The roads will need to be built to public roadway standards, however.
16. Sheet C.204: This sheet is illegible due to odd characters contained within a typical retaining wall section. Please cleanup.
17. Please add a note stating that all paving shall follow the Unified Development Ordinance Article 12.
18. Please be aware that as-built drawings will be required for the detention and water quality basins.
19. Detail Sheets: Many of the details contained within the "Details" section of the plan set are not City standard drawings. Please delete them since they are not necessary at this stage of the review, or alternatively, please use the City standard drawings.
20. General Comment: Several sheets included detailed design elements which will be reviewed at the Final Development Plan phase of the project.

Fire Review

Jim Eden
(816) 969-1303

Assistant Chief
Jim.Eden@cityofls.net

Corrections

1. All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2012 International Fire Code .

2. IFC 903.3.7- Fire department connections. The location of fire department connections shall be approved by the fire code official. Connections shall be a 4 inch Storz type fitting and located within 100 feet of a fire hydrant, or as approved by the code official.

Action required: Show the location of the FDC.

3. IFC 503.2.3 -Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.

For information only.

4. IFC 507.1 - An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.

Action required: The 6" main shall be capable of providing the required flow.

Traffic Review

Michael Park
(816) 969-1820

City Traffic Engineer
Michael.Park@cityofls.net

Corrections

1. Submit the traffic study (updated resubmittal).



LEE'S SUMMIT MISSOURI

DEVELOPMENT REVIEW COMMITTEE

Wednesday, August 12, 2015

9:00 a.m.

Strother Conference Room – City Hall

AGENDA

Special Events:

1. Appl. #PRSE2015-1644 – Summit Art Festival, 3rd St and SW Main St, October 9 (4pm-8pm), 10 (10am-8pm) and 11 (12pm-4pm)
2. Appl. #PRSE2015-1685 – Oktoberfest, downtown, September 25 (5pm-11pm), 26 (10am-11pm) and 27 (1pm-5pm)
3. Appl. #PRSE2015-1767 – Crank Out Hunger Bike Ride, start/finish at LS Subaru (2101 NE Independence Ave), August 15, 7am

Schedule R for the PC agenda of September 22, 2015:

4. Appl. #PL2015-114 – FINAL PLAT – Arborwalk, Lots 218-241; M-IV Arborwalk, LLC, applicant (CS, GW)
5. Appl. #PL2015-116 – REZONING from CP-2 to RP-4 and PRELIMINARY DEVELOPMENT PLAN – Chapel Ridge 4-plexes, 3620 NE Akin Dr; CEAH Realtors, applicant (CS, GW, MW)
6. Appl. #PL2015-117 – PRELIMINARY DEVELOPMENT PLAN – The Summit Church, SE corner of Chipman Rd and View High Dr; Engineering Solutions, applicant, applicant (RS, GW, DB)

Items to be Handled Administratively:

7. Appl. #PL2015-112 – MINOR PLAT – Maple Tree Manor, Lots 10A & 10B, 714 & 716 SW Swann Cir; Anderson Survey Co., applicant (*comments due August 14, 2015*) (RS, GW)
8. Appl. #PL2015-113 – FINAL DEVELOPMENT PLAN – Autumn Leaves Lee's Summit, SE corner of Kessler Dr and 3rd St; La Salle Group, applicant (*comments due August 14, 2015*) (JT, GW, CH)

9. Appl. #PL2015-115 – **FINAL DEVELOPMENT PLAN** – Lee's Summit Medical Center – operation room addition, 2100 SE Blue Pkwy; ACI Boland, applicant (*comments due August 14, 2015*) (JT, GW)
10. Appl. #PL2015-118 – **FINAL DEVELOPMENT PLAN** – Water Utilities Facility, 1200 SE Hamblen Rd; City of Lee's Summit, applicant (*comments due August 20, 2015*) (HS, GW, CH)

Other items:

11. Appl. #PL2015-119 – **STREET NAME CHANGE** – proposed Foster Place (from Broadway Drive), the segment of Broadway Drive within the Newberry Landings subdivision located south of Bailey Rd; Dan Phillips, applicant (*tentatively on 9/16 CEDC agenda and 10/1 Council agenda for ordinance approval*) (HS)



PLANNING AND DEVELOPMENT

**Commercial Preliminary Development Plan
Routing Sheet**

Kent Monter (PW)	_____	Jim Eden (Fire)	_____
Michael Park (Traffic)	_____	P & D File	_____✓_____
Jim Green (Police)	_____		

(routing sheet only)

Date Received: Friday, July 31, 2015

Application Number: PL2015117

Application Type: Commercial Preliminary Development Plan

Project Description: THE SUMMIT CHURCH

Address: 3381 NW CHIPMAN RD, LEES SUMMIT, MO 64081

Applicant: ENGINEERING SOLUTIONS

Owner: THE UNITED METHODIST CHURCH OF LEES SUMM

Engineer/Surveyor: ENGINEERING SOLUTIONS

Acres: 20.06 **Building Sq Ft:** 78,168 **Number of Lots:**

The schedule for this application is as follows:

Development Review Committee 08/12/2015 09:00 AM:	08/12/2015
Comments Due: Friday, August 14, 2015	
Applicant Meeting 08/19/2015 09:00 AM:	08/19/2015
Planning Commission Meeting 09/22/2015 05:00 PM:	09/22/2015
City Council Public Hearing 10/15/2015 06:15 PM:	10/15/2015
City Council Ordinance 10/15/2015 06:15 PM:	10/15/2015



LEE'S SUMMIT MISSOURI

220 SE Green Street | Lee's Summit, MO 64063 | P: 816.969.1000 | cityofls.net

RECEIPT OF PAYMENT

Receipt Number:	2015014440
Receipt Date:	07/31/2015
Date Paid:	07/31/2015
Payment Method:	Check,
Check Number:	004321,
Full Amount:	\$2,730.00
Amount Tendered	\$2,730.00
Paid By:	ENGINEERING SOLUTIONS, Address:50 SE 30TH ST, Phone:(816) 623-9885

Fees:

Fee Description	Reference / Application Number	Amount Paid
0026 - Commercial Preliminary Development Plan fee	PL2015117	\$2,400.00
0465 - Legal Notice Publishing Charge	PL2015117	\$165.00
0465 - Legal Notice Publishing Charge	PL2015117	\$165.00

OWNERSHIP AFFIDAVIT

STATE OF MISSOURI)

ss.

COUNTY OF JACKSON)

Comes now United Methodist Church of Lee's Summit (owner)
who being duly sworn upon his/her oath, does state that he/she is the owner of the
property legally described as Attached

Preliminary Development Plan
in the application for _____
type of application (e.g., rezoning, special use permit, etc.)

Owner acknowledges the submission of said application and understands that upon approval of the application the proposed use specified in the application will be a permitted use upon the subject property under the City of Lee's Summit Unified Development Ordinance.

Dated this 30th day of JULY, 20 15

RECEIVED

JUL 31 2015

Planning & Codes Admin

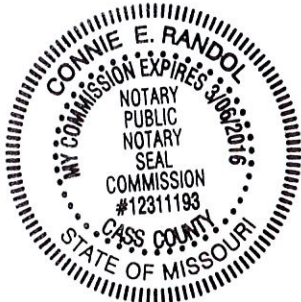
[Signature]

Signature of Owner

ROBIN DAWSON

Printed Name

Subscribed and sworn to before me this 30 day of July, 20 2015



Connie E. Randol

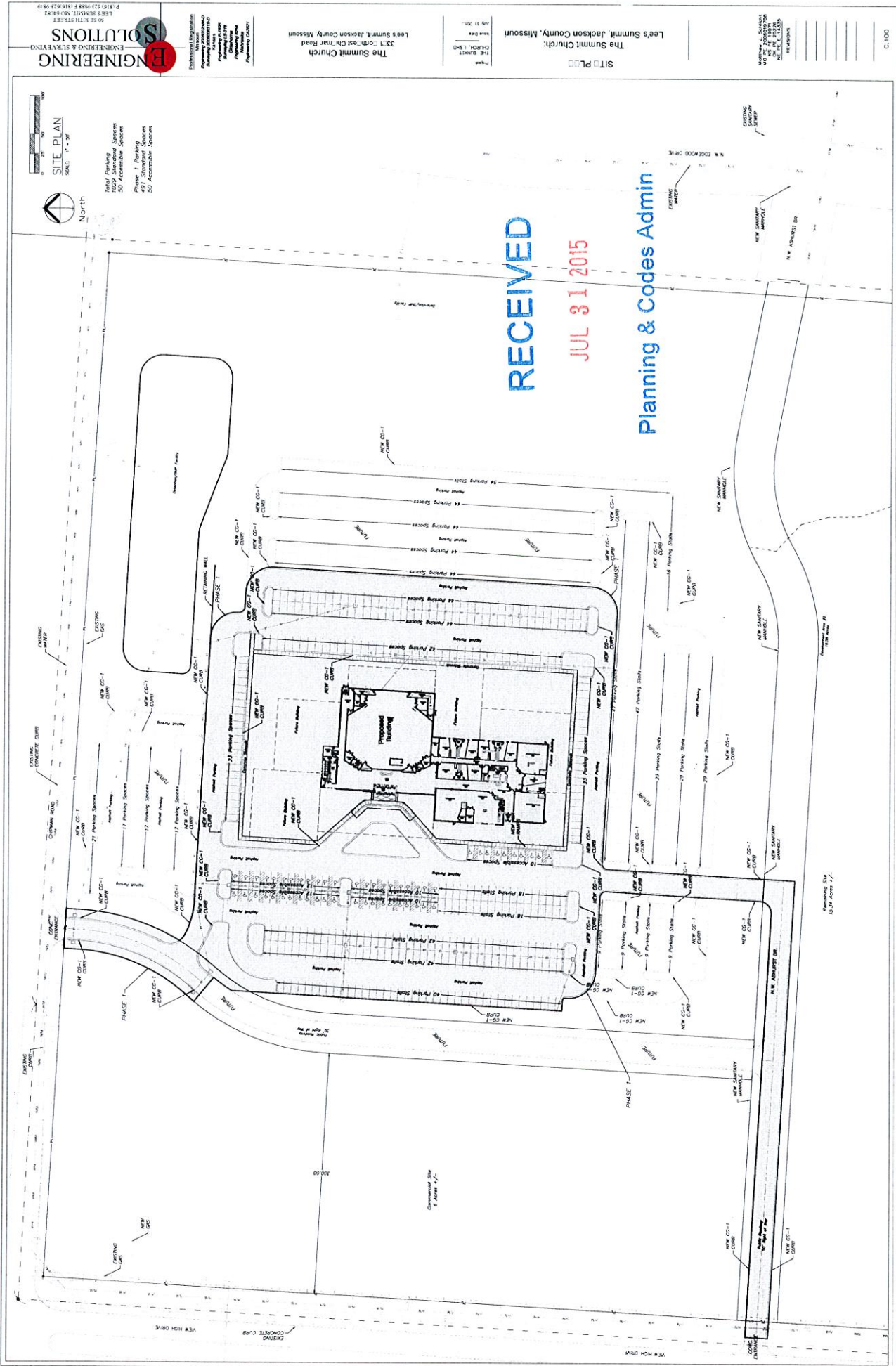
Notary Public

3-6-2016

My Commission Expires

REVISED MARCH 2013

- 2015 - 117 -



-2015-117-

Matthew J. Schlicht
DO ME 2006019708
K5 ME 19071
OK ME 25226
NE ME F-14335

DIMSIO PL
 The Summit Church:
 Lee's Summit, Jackson County, Missouri

1100 45 Ave
RPO 8888
DMS7 HOLDING
STAINLESS STEEL
2014

The Summit Church
3371 North Chisholm Road
Lee's Summit, Jackson County, Missouri



Engineering Solutions
—ENGINEERING & SURVEYING—
SOLUTIONS

NO 38 JOHN STREET
LEES SLUICHT, MO 64082
P (816) 623-9888 F (816) 623-9819

SITE PLAN
SCALE: 1" = 50'

RECEIVED

JUL 31 2015

Planning & Codes Admin





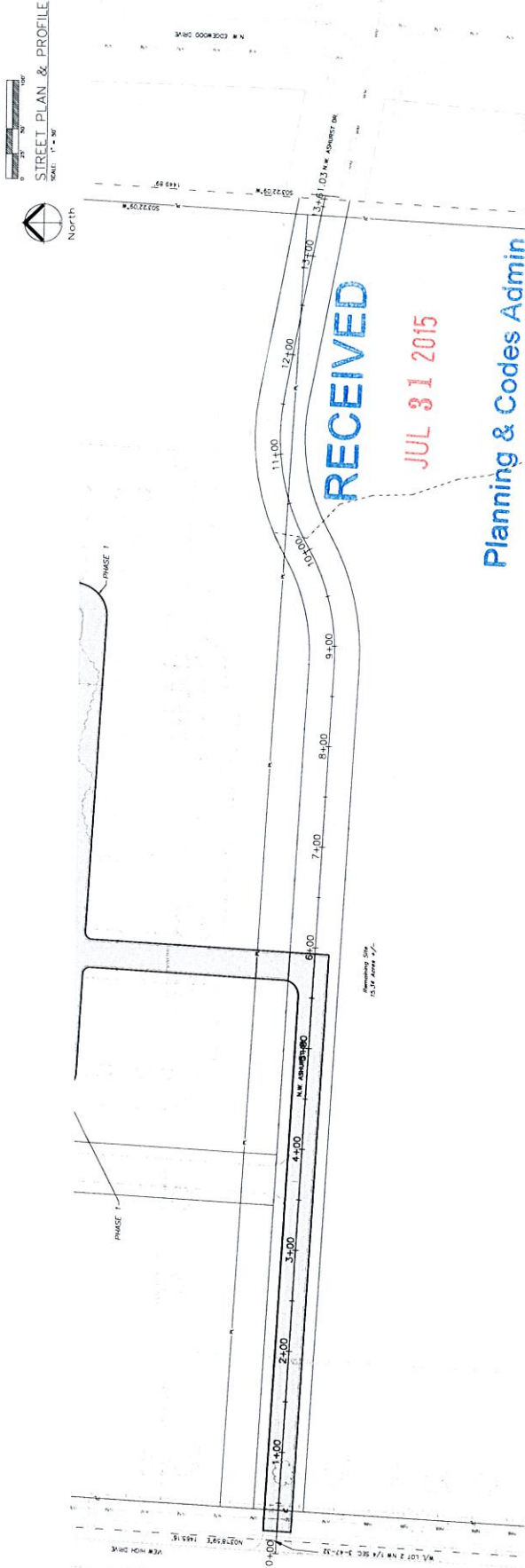
Planning & Codes Admin

Estimated Cut / Fill Quantities	
Site Area	20.25 Acres
Cut Volume (Uncoloured)	48,810 c.y.
Fill Volume (Uncoloured)	31,767 c.y.
Street & Sidewalk Cut Volume	7,500 c.y.
Building Pad Cut Volume	15,500 c.y.
Net Export Required	28,048 c.y. (Uncoloured)

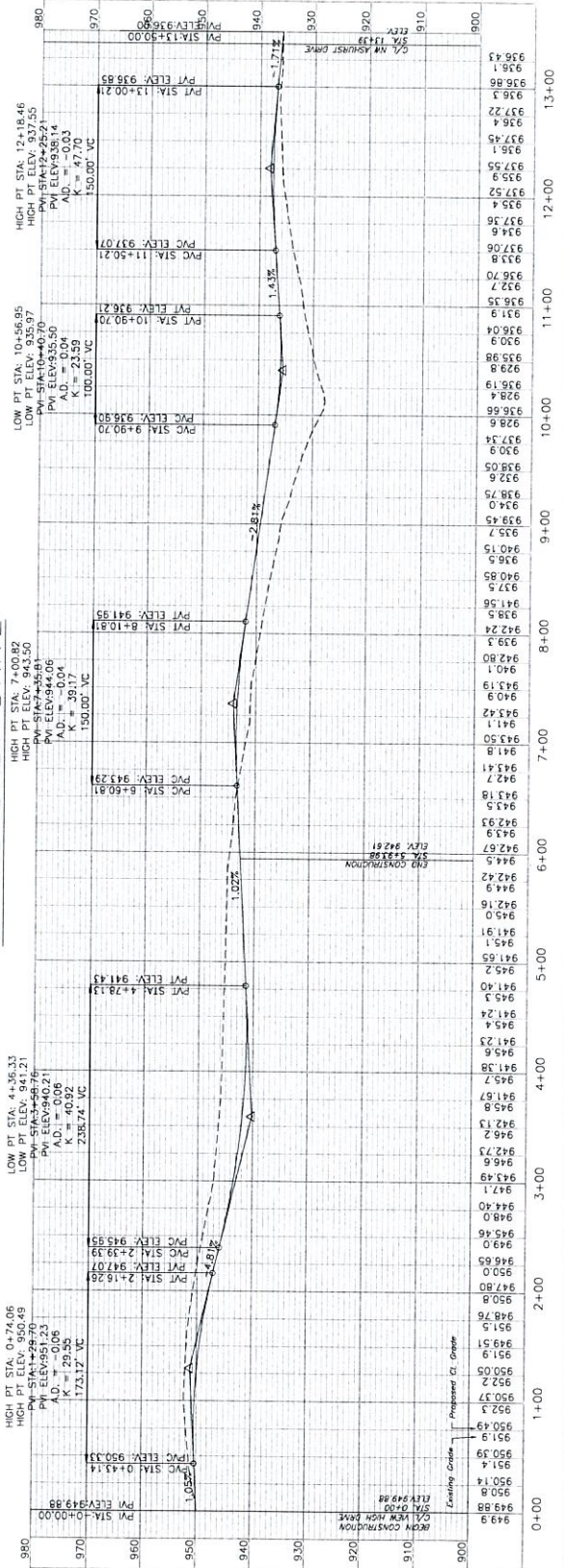
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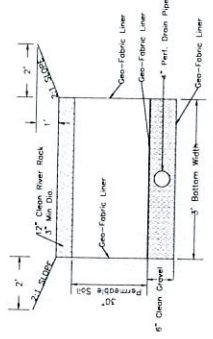
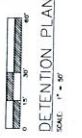
7. Contractor is responsible for verifying all existing utility locations prior to construction.
8. Contractors shall install adequate erosion control measures along roads or wetlands in the project area.
9. No part of the project lies within the 100 year flood plain.
10. All new sediment control measures need to be implemented prior to construction.
11. Additional erosion control may be required by the City Engineer, Design Engineer or Owner at any time problematic areas are noted in the field.
12. Soil Stabilization treatments are found to be ineffective.
13. Construction activities.
14. Contractor responsible for all dewatering work must be completed within 14 days of construction completion.
15. Contractor responsible for all dewatering work must be completed within 14 days of construction completion.
16. Contractor responsible to provide Engineering Solutions as needed.
17. Geotechnical survey of the site to verify.

Remaining Site
5.54 Acres +/-



NW ASHURST DRIVE



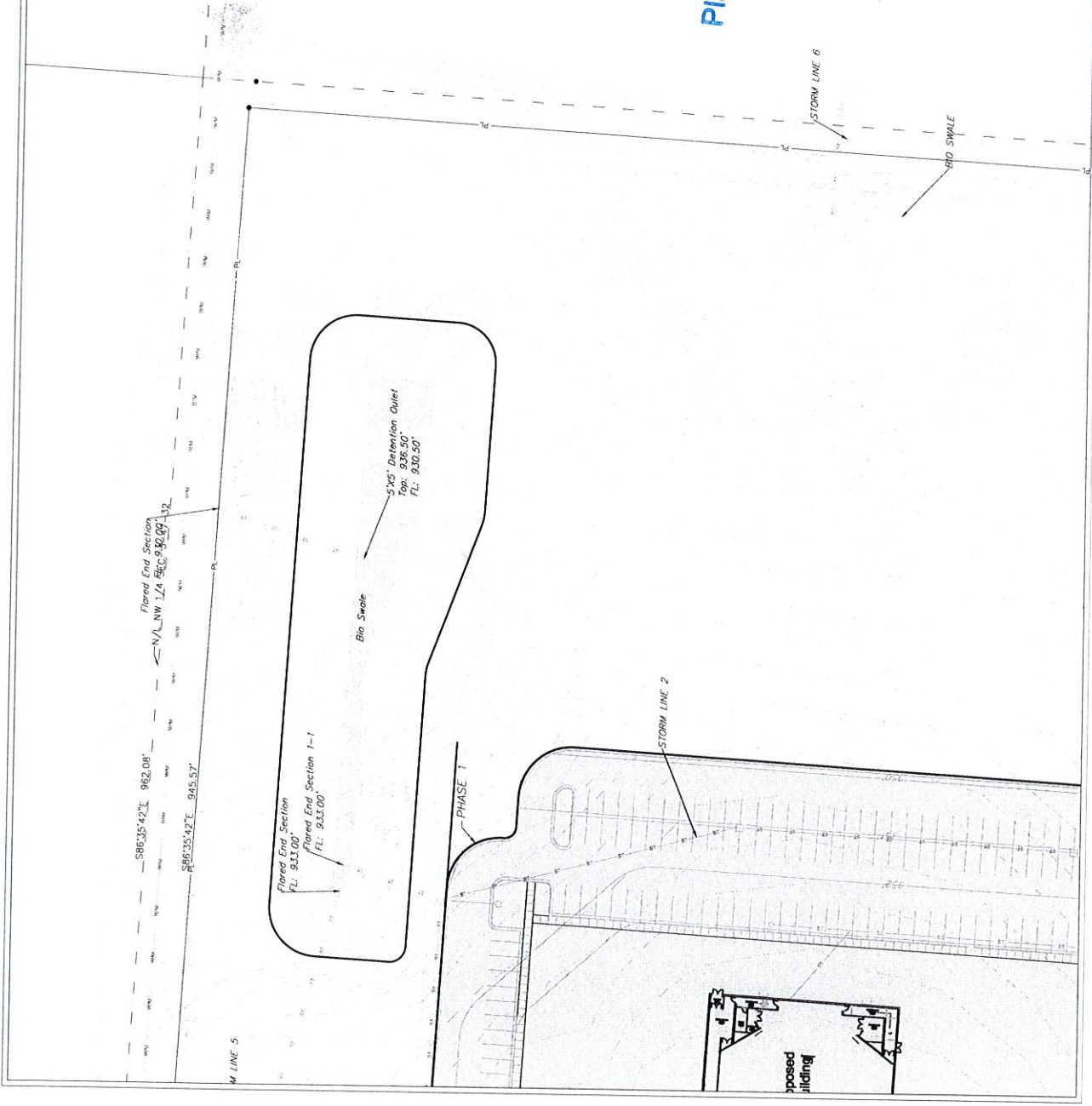


Bio Swale Detail
 Geotextile Liner: Minimum permeability of 0.1 ft / day.
 Filter Layer: 1/2\"/>

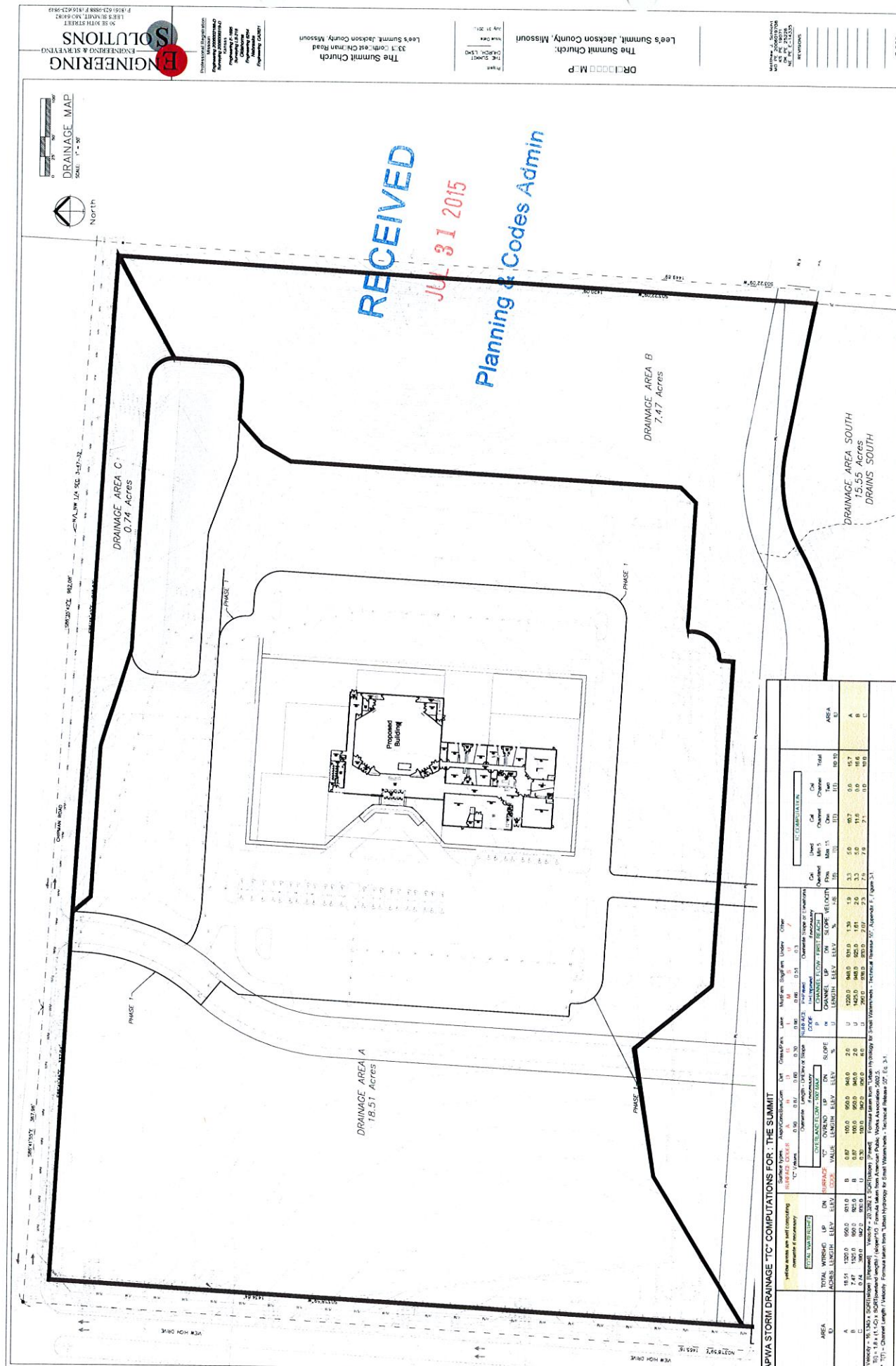
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JUL 31 2015

Planning & Codes Admin



-2015-117-



ENGINEERING SOLUTIONS
 ENGINEERING & SURVEYING
 1813 S. MAIN ST. SUITE 100
 JEFFERSON, MISSOURI 64109
 P: (314) 421-0888 F: (314) 421-7943

The Summit Church
 33.3 Cornbelt Church Road
 Lee's Summit, Jackson County, Missouri

DR 10000 M.P.
 The Summit Church
 Lee's Summit, Jackson County, Missouri

C-2005

APWA STORM DRAINAGE "TC" COMPUTATIONS FOR: THE SUMMIT

AREA	SURFACE		CHANNEL		SLOPE		VELOCITY		AREA	
	UP	DOWN	UP	DOWN	UP	DOWN	UP	DOWN	UP	DOWN
A	18.51	18.51	18.51	18.51	18.51	18.51	18.51	18.51	18.51	18.51
B	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87
C	0.74	0.74	0.74	0.74	0.74	0.74	0.74	0.74	0.74	0.74
D	15.55	15.55	15.55	15.55	15.55	15.55	15.55	15.55	15.55	15.55
TOTAL	35.67	35.67	35.67	35.67	35.67	35.67	35.67	35.67	35.67	35.67

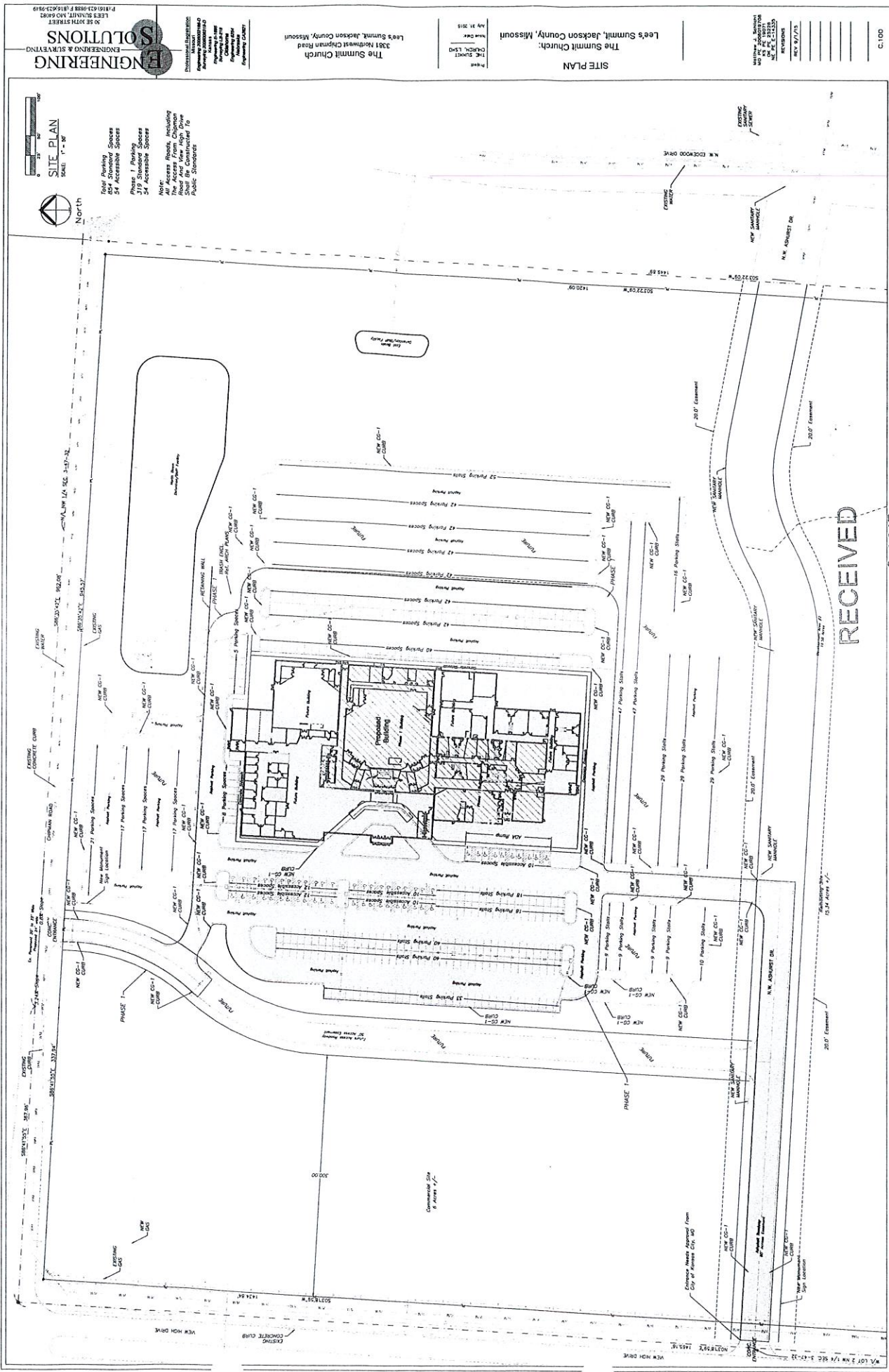
Velocity = 10.140 (1.49 ft/sec) Velocity = 20.282 (2.98 ft/sec) Formula taken from Storm Hydrology for Small Watersheds - Technical Release 207, Eq. 3-1

-2015-117-

C-300

REVISIONS

NO.	DATE	DESCRIPTION
1	11/15/14	ISSUED FOR PERMIT
2	01/14/15	REVISIONS
3	02/11/15	REVISIONS
4	03/11/15	REVISIONS
5	04/11/15	REVISIONS
6	05/11/15	REVISIONS
7	06/11/15	REVISIONS
8	07/11/15	REVISIONS
9	08/11/15	REVISIONS
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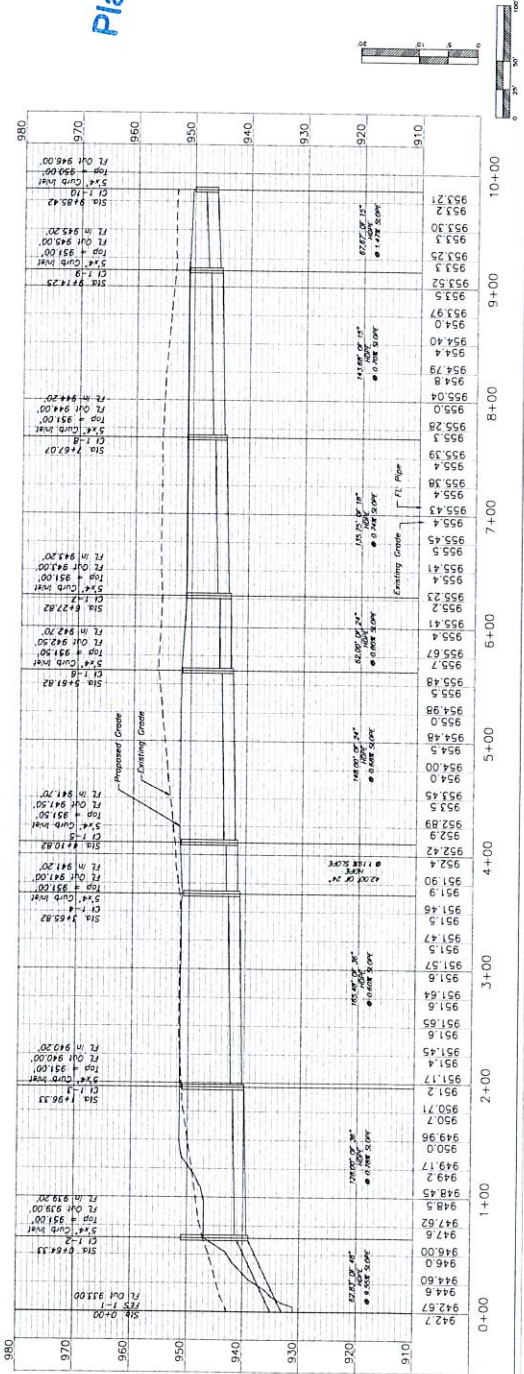
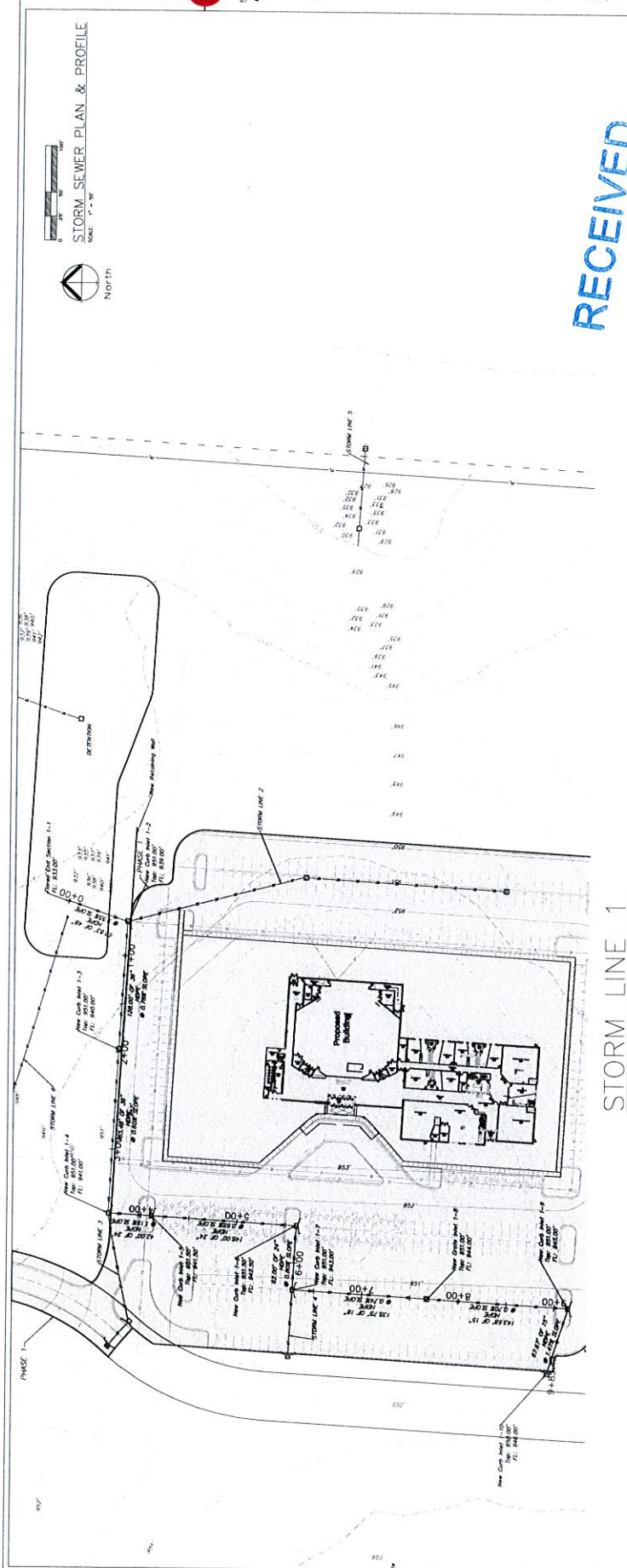


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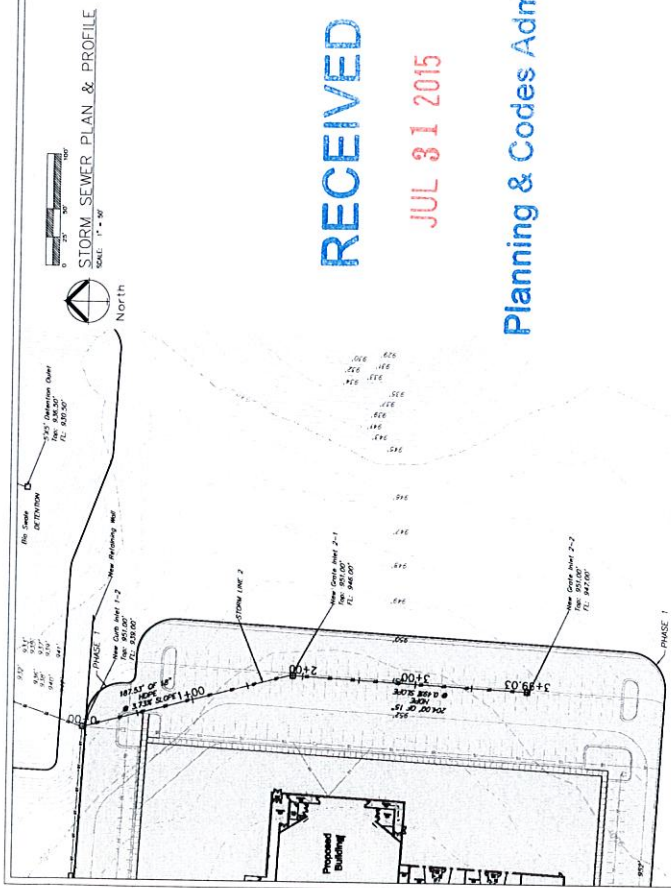


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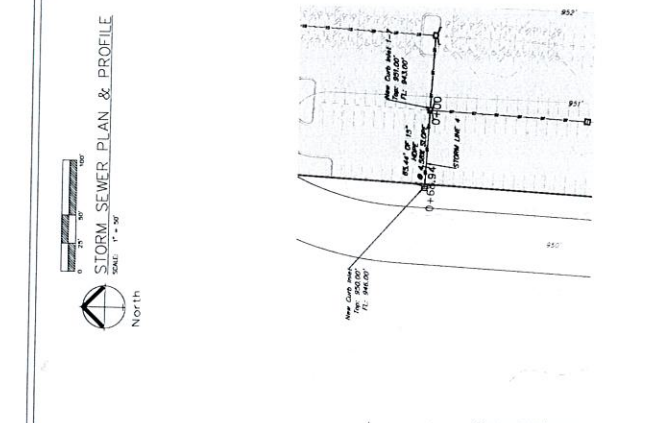
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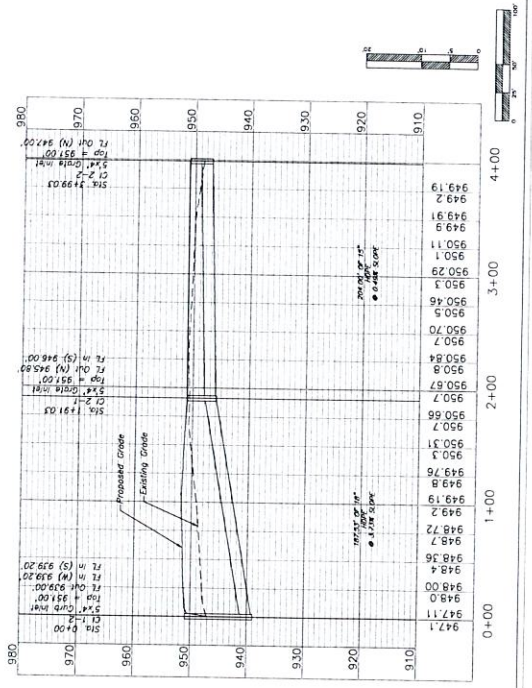
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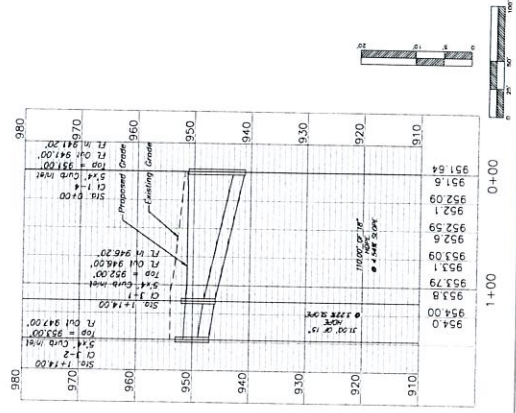
Planning & Codes Admin



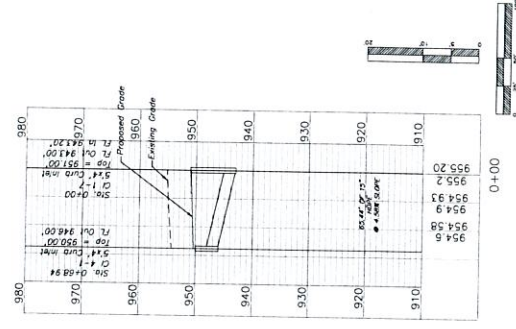
STORM LINE 2



STORM LINE 3



STORM LINE 4



-2015-117-

2015-117-

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEES SUMMIT, MO 64087
(P) 816/672-9888 F 816/672-9849

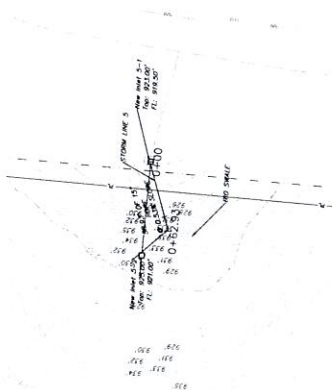
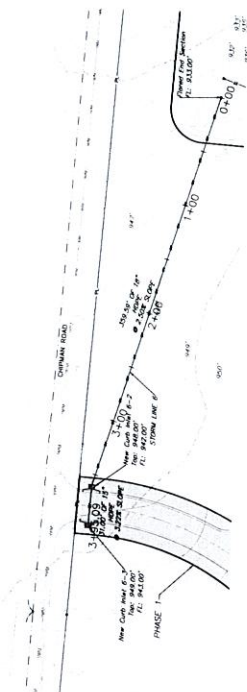
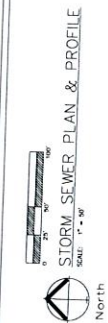
Engineering
#12.13 Building
Oklahoma
Engineering and
Mechanics
Engineering CAD/CAM

The Summit Church
3301 North East Chiman Road
Lee's Summit, Jackson County, Missouri

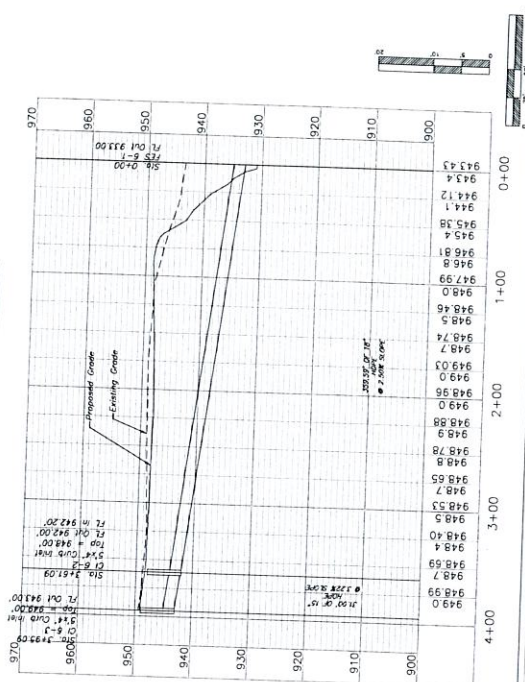
STORM SEWER PLAN & PROFILE
The Summit Church:
Lee's Summit, Jackson County, Missouri

Matthew J. Schmitt
MO PE, 2006019708
KS PE, 19071
OK PE, 25226
NE PE, E-14335

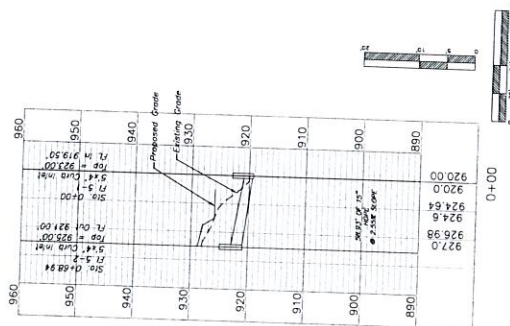
C.303



STORM LINE 6



STORM LINE 5



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ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
3010 N. 10TH STREET
LEES SUMMIT, MO 64082
P: (816) 221-0888 F: (816) 424-7849

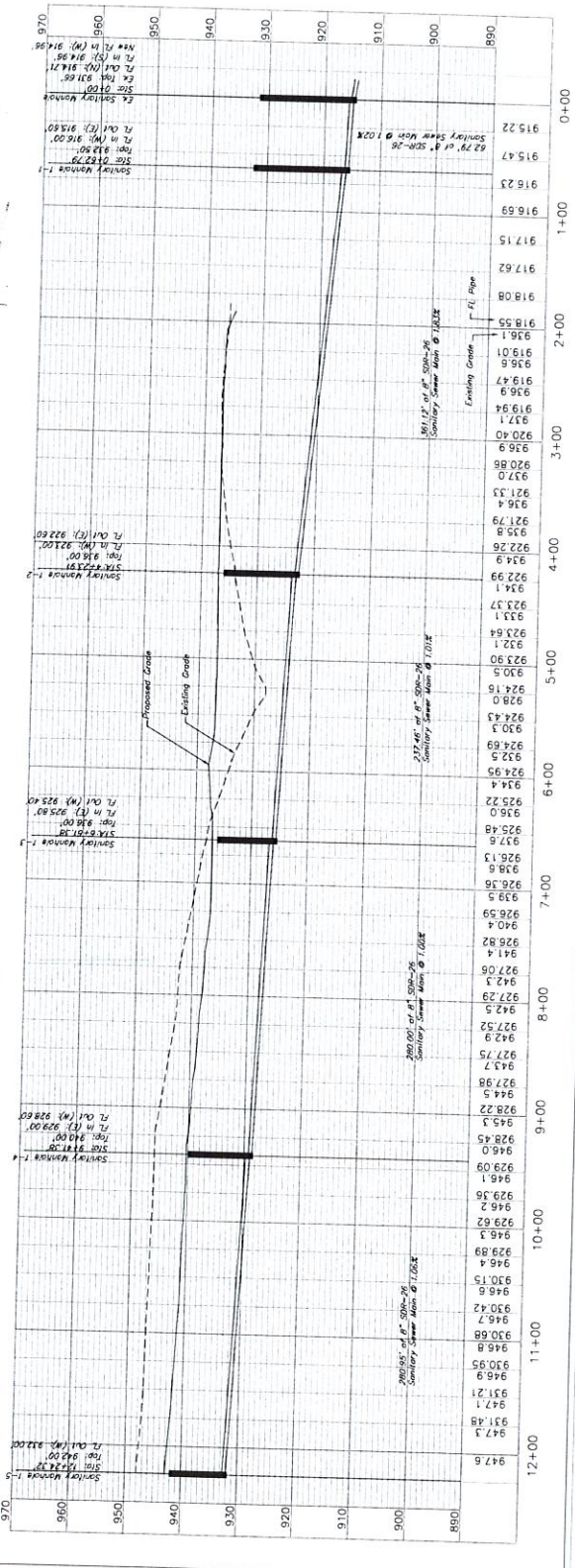
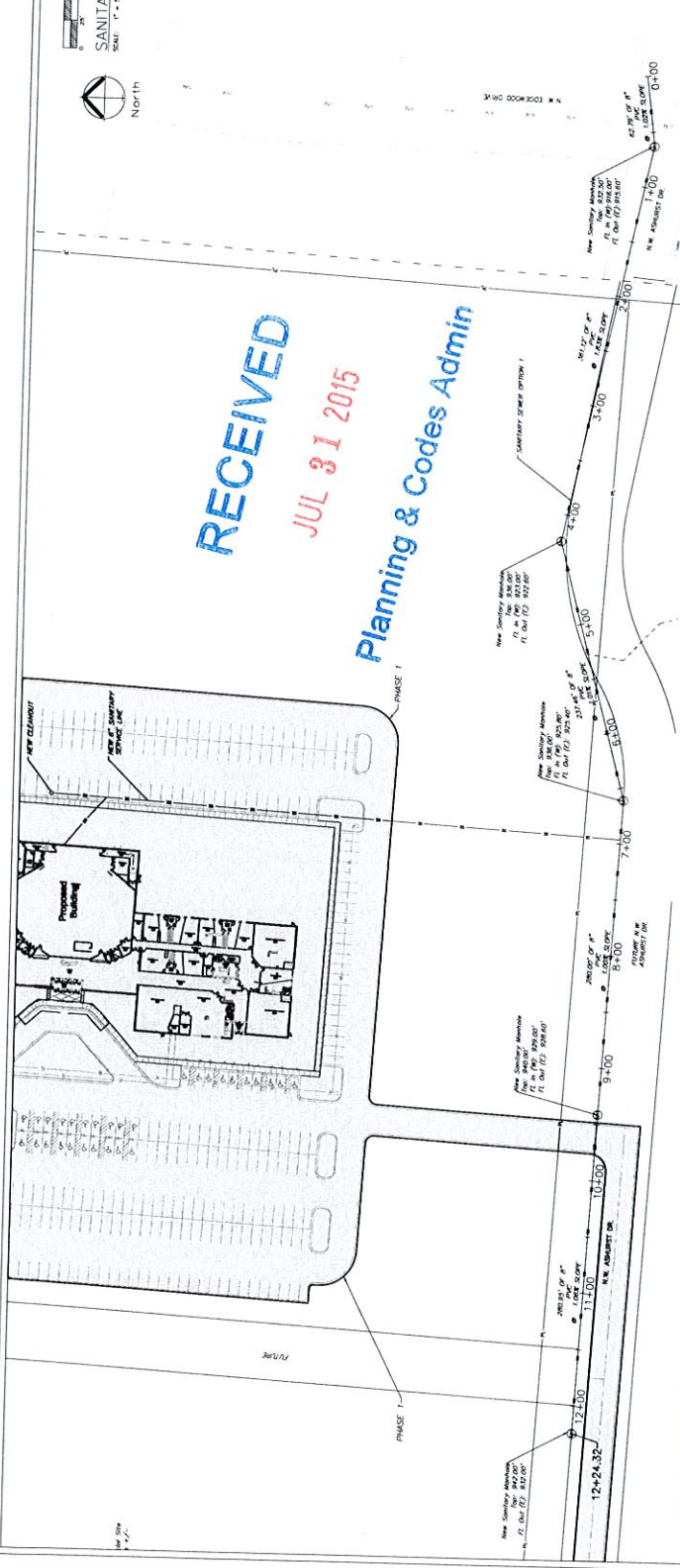
The Summit Church
3311 North East Chrysan Road
Lees Summit, Jackson County, Missouri

The Summit Church
Jackson County, Missouri
S: ☐ T: ☐ R: ☐ S: ☐ R: ☐ PL: ☐ PRO: ☐ IL: ☐

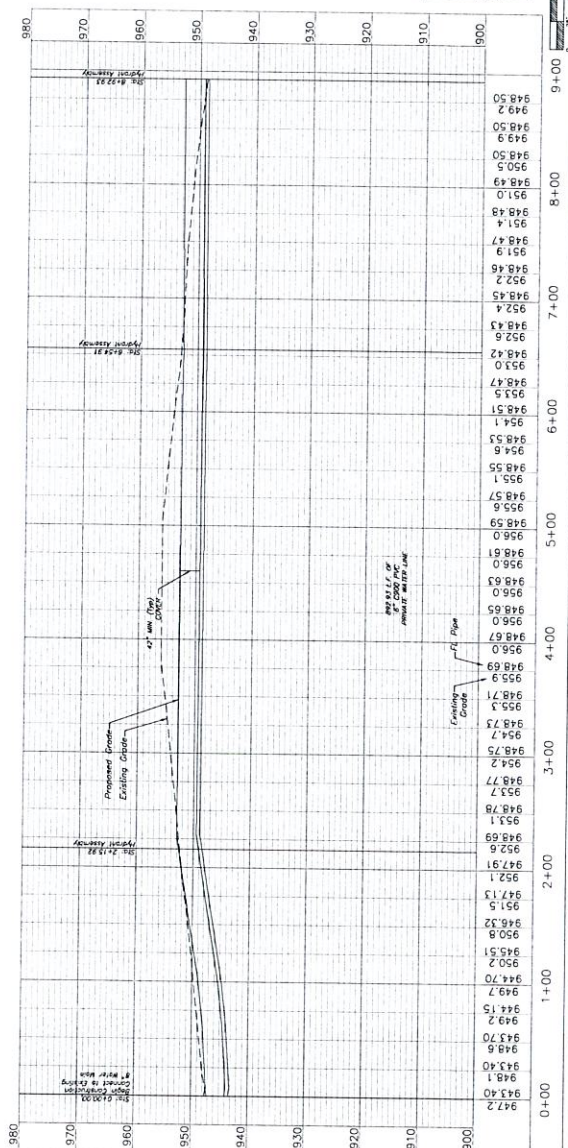
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APPROVED: JLD

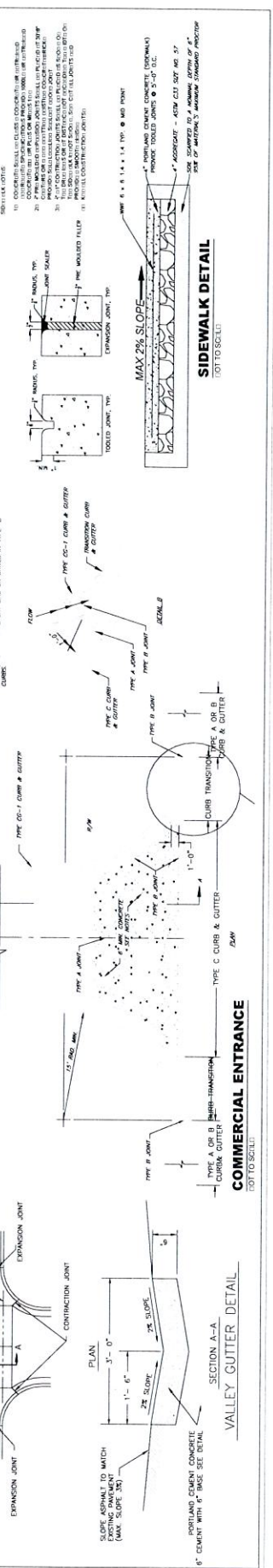
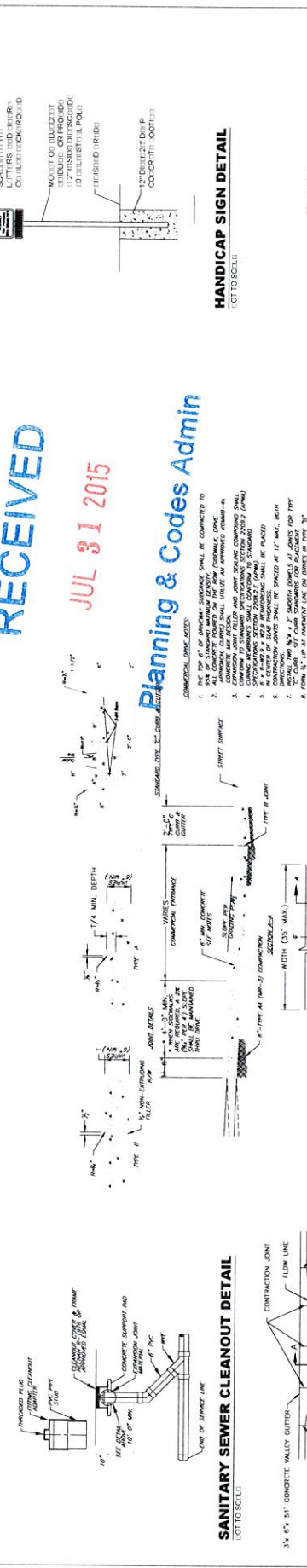
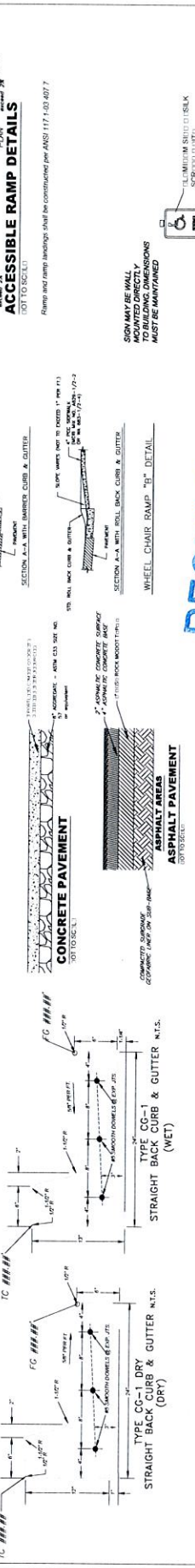
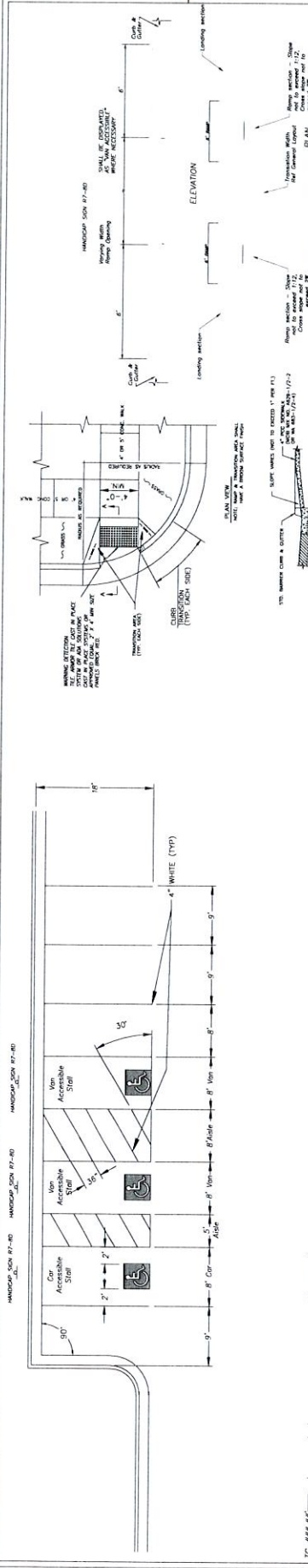
C-400

SANITARY SEWER PLAN & PROFILE
SCALE: 1" = 40'



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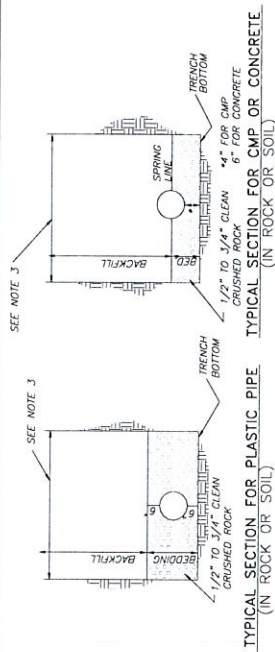


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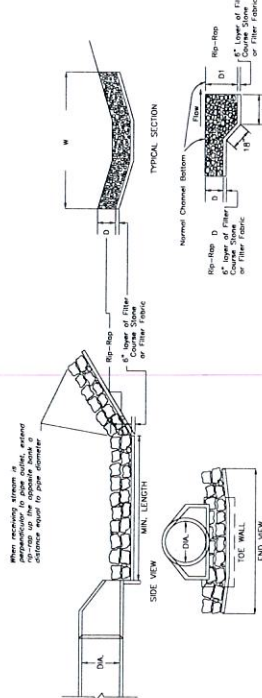
-2015-117-



TYPICAL SECTION FOR PLASTIC PIPE
(IN ROCK OR SOIL)

- NOTES:
- 1) BACKFILL SHALL BE USP EVALUATED MATERIAL FREE FROM PERMS AND SPINES AS DETERMINED TO 50% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENTS COMPARED BY ASTM D698. FOR BACKFILL UNDER PAVEMENT (EXISTING OR NEW) SHALL BE 100% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENTS.
 - 2) TRENCH BANKS MAY BE CUT BACK ON SLOPES IN ACCORDANCE WITH CURRENT PRACTICE. SLOPES SHALL BE PROTECTED WITH EROSION CONTROL. TRENCH WIDTH SHALL NOT INTERFERE WITH SURFACE WATERS. SLOPES MUST NOT EXTEND BELOW TOP OF BEDDING.
 - 3) RECOMMENDATION OF MAXIMUM WATERS SHALL BE IN ACCORDANCE WITH FINE MANUFACTURE'S RECOMMENDATION AS APPROVED ON ENGINEERING PLAN.

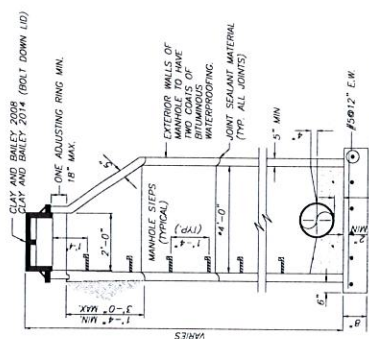
UNDERGROUND PIPE INSTALLATION
FOR STORM SEWER LINES



MINIMUM SLOPE PERCENT	MINIMUM LENGTH FEET	MINIMUM DEPTH FEET	END BR-SMP FEET	END FEET
18	1.5 X 14	15	3 X 2	3.34
15	1.5 X 14	20	3 X 2	4.00
24	1.5 X 18	25	3 X 2	5.34
50	1.5 X 17	30	3 X 2	6.47
56	1.5 X 18	40	3 X 2	8.00
42	2 X 20	45	4 X 2.75	9.34
54	2 X 21	55	4 X 2.75	10.17
54	2 X 21	65	4 X 2.75	11.17
66	2 X 23	80	4 X 2.75	12.82
72	2 X 23	90	4 X 2.75	12.83
84	2.5 X 23	95	5 X 3.3	14.17
96	2.5 X 25	100	5 X 3.3	14.83

MINIMUM SLOPE PERCENT	MINIMUM LENGTH FEET	MINIMUM DEPTH FEET	END BR-SMP FEET	END FEET
18	1.5 X 14	15	3 X 2	3.34
15	1.5 X 14	20	3 X 2	4.00
24	1.5 X 18	25	3 X 2	5.34
50	1.5 X 17	30	3 X 2	6.47
56	1.5 X 18	40	3 X 2	8.00
42	2 X 20	45	4 X 2.75	9.34
54	2 X 21	55	4 X 2.75	10.17
54	2 X 21	65	4 X 2.75	11.17
66	2 X 23	80	4 X 2.75	12.82
72	2 X 23	90	4 X 2.75	12.83
84	2.5 X 23	95	5 X 3.3	14.17
96	2.5 X 25	100	5 X 3.3	14.83

THE DIMENSIONS SHOWN IN THE TABLE CAN BE APPLIED TO BOX OR ARCH CULVERTS OF EQUIVALENT WATERWAY AREA.



5" COMPACTED GRANULAR MATERIAL

3 MIN FROM DOWNSTREAM INVERT

• UNLESS OTHERWISE NOTED ON PLANS.

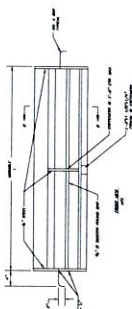
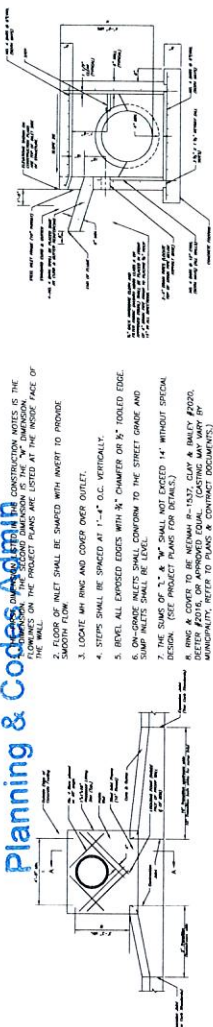
STANDARD PRECAST MANHOLE
(ECCENTRIC CONE)

- NOTE:
1. MINIMUM DIAMETER OF MANHOLES SHALL BE FORTY-EIGHT INCHES.
 2. MINIMUM ACCESS DIAMETER OF TWENTY-FOUR INCHES SHALL BE PROVIDED.
 3. MANHOLE STEPS TO BE PROVIDED BY MANUFACTURER.

DIAMETER OF MANIFOLDS
E. FORTY-EIGHT INCHES.
ACCESS DIAMETER OF TWENTY-AND
SHALL BE PROVIDED.

JUL 31 2015

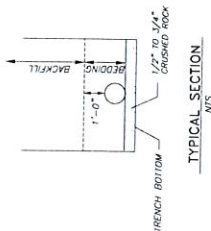
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1. ALL WELDS SHALL BE PERFORMED IN ACCORDANCE WITH APPROPRIATE
AISC PROVISIONS AND METHODS.
2. ALL WELDS ON EXPOSED SURFACES SHALL BE DRESSED SO AS TO
PROVIDE A PLEASING FINISHED APPEARANCE.
3. THE ENTIRE FRAME SHALL BE PAINTED A SINGLE COAT OF CHEM-PRIME
837-27 PRIMER (RED) ON EQUAL.

CURB INLET - TYPE 2 DETAILS

NOT TO SCALE

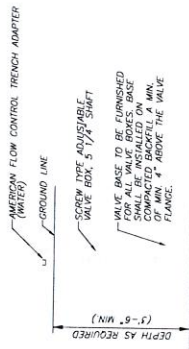


TYPICAL SECTION
NTS

NOTES:

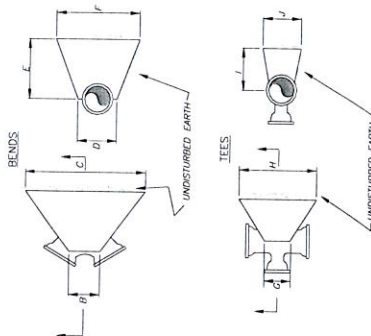
- 1) BACKFILL SHALL BE JOB EXCAVATED MATERIAL FREE FROM DEBRIS AND STONES
PACKED TO 90% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT
AS DETERMINED BY ASTM D698. FOR BACKFILL UNDER PAVEMENT EXISTING
ON TRENCH BANKS MAY BE CUT BACK ON SLOPES IN ACCORDANCE WITH CURSIVIT
OSHA REGULATIONS, BUT ONLY IN AREAS WHERE THE INCREASED TRENCH WIDTH
WILL NOT INTERFERE WITH SURFACE FEATURES. SLOPES MUST NOT EXTEND BELOW
MINIMUM AND MAXIMUM WIDTHS SHALL BE IN ACCORDANCE WITH PUMP MANUFACTURER'S
RECOMMENDATION AS APPROVED ON ENGINEERING PLANS.

UNDERGROUND PIPE INSTALLATION FOR WATER LINES



TYPICAL GATE VALVE INSTALLATION DETAIL

W. T. S.



HORIZONTAL THRUST BLOCK DETAIL

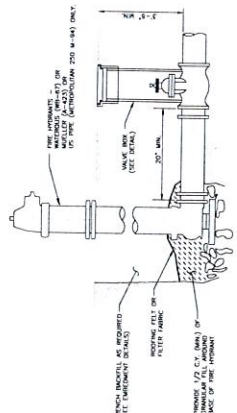
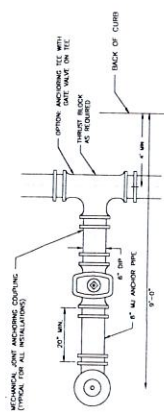
TEES	G	H	I	J
6" BRANCH	12	24	24	18
8" BRANCH	12	36	24	24
10" BRANCH	12	48	24	42
12" BRANCH	12	48	24	42
14" BRANCH	18	54	24	48
16" BRANCH	18	60	24	54

NOTE: ALL DIMENSIONS ARE GIVEN IN INCHES

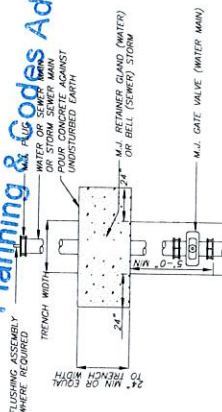
HANDS	A	B	C	D	E	F
$6^{-}, 11^{-}, 14^{-}$	8	15	12	24	14	17
$22^{-}, 17^{-}$	9	19	12	24	14	17
90^{-}	8	10	12	24	14	17
$8^{-}, 11^{-}, 14^{-}$	9	20	12	24	14	17
$22^{-}, 17^{-}$	9	20	12	24	14	17
90^{-}	8	22	12	24	14	17
$10^{-}, 8^{-}, 12^{-}, 11^{-}, 14^{-}$	8	24	12	24	14	17
$22^{-}, 17^{-}$	9	20	12	24	14	17
90^{-}	8	24	12	24	14	17
$12^{-}, 11^{-}, 14^{-}$	9	26	12	24	14	17
$22^{-}, 17^{-}$	9	26	12	24	14	17
90^{-}	8	30	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	35	12	24	14	17
$22^{-}, 17^{-}$	9	35	12	24	14	17
90^{-}	8	40	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	42	12	24	14	17
$22^{-}, 17^{-}$	9	42	12	24	14	17
90^{-}	8	46	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	48	12	24	14	17
$22^{-}, 17^{-}$	9	48	12	24	14	17
90^{-}	8	50	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	52	12	24	14	17
$22^{-}, 17^{-}$	9	52	12	24	14	17
90^{-}	8	54	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	56	12	24	14	17
$22^{-}, 17^{-}$	9	56	12	24	14	17
90^{-}	8	58	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	60	12	24	14	17
$22^{-}, 17^{-}$	9	60	12	24	14	17
90^{-}	8	62	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	64	12	24	14	17
$22^{-}, 17^{-}$	9	64	12	24	14	17
90^{-}	8	66	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	68	12	24	14	17
$22^{-}, 17^{-}$	9	68	12	24	14	17
90^{-}	8	70	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	72	12	24	14	17
$22^{-}, 17^{-}$	9	72	12	24	14	17
90^{-}	8	74	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	76	12	24	14	17
$22^{-}, 17^{-}$	9	76	12	24	14	17
90^{-}	8	78	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	80	12	24	14	17
$22^{-}, 17^{-}$	9	80	12	24	14	17
90^{-}	8	82	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	84	12	24	14	17
$22^{-}, 17^{-}$	9	84	12	24	14	17
90^{-}	8	86	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	88	12	24	14	17
$22^{-}, 17^{-}$	9	88	12	24	14	17
90^{-}	8	90	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	92	12	24	14	17
$22^{-}, 17^{-}$	9	92	12	24	14	17
90^{-}	8	94	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	96	12	24	14	17
$22^{-}, 17^{-}$	9	96	12	24	14	17
90^{-}	8	98	12	24	14	17
$10^{-}, 11^{-}, 14^{-}$	8	100	12	24	14	17

NOTES:

1. BELL HOLES SHALL BE DUG SO THAT NO PART OF THE BELL SHALL BE IN CONTACT WITH THE TRENCH.
2. BEDDING:
 - A. BEDDING FOR PIPE LESS THAN 12" IN DIAMETER SHALL BE JOB EXCAVATED MATERIAL FREE FROM DEBRIS AND STONES, COMPACTED TO 95% OF PROCTOR MOISTURE CONTENT AS DETERMINED BY ASTM D698.
 - B. BEDDING MATERIAL FOR PIPE 12" IN DIAMETER AND GREATER SHALL BE 1/2" TO 3/4" CRUSHED ROCK, SIX (6) INCHES OF BEDDING SHALL BE PROVIDED BENEATH THE PIPE.
 - C. MANHOLE SHALL BE JOB EXCAVATED MATERIAL FREE FROM DEBRIS AND STONES, COMPACTED TO 95% OF PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698. FOR MANHOLE UNDER PAVEMENT (EXISTING OR PROPOSED), SEE SD-9 AND SD-11.
 - D. FRENCH TRENCHES SHALL CONTAIN 6" CRUSHED ROCK BEDDING UNDER PIPE AS SHOWN IN TYPICAL TRENCH SECTION.
 - E. TRENCHING SHALL BE IN ACCORDANCE WITH CURRENT OSHA REGULATIONS. SLOPES MUST NOT EXTEND BELOW TOP OF BEDDING.
3. MINIMUM AND MAXIMUM WIDTHS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURER'S RECOMMENDATION AS APPROVED ON ENGINEERING PLAN.



FIRE HYDRANT ASSEMBLY



STRADDLE BLOCK DETAIL



•CALCULATIONS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL

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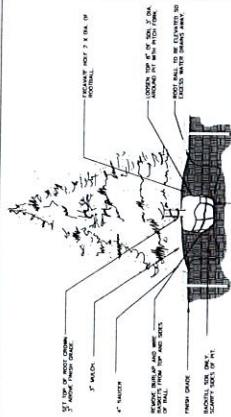
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PLUS

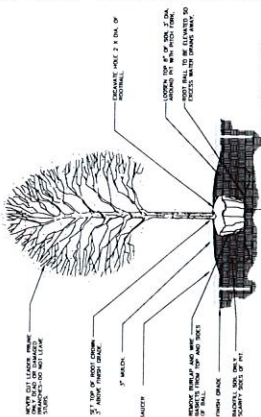
WATER OR SEWER MAIN
OR STORM SEWER MAIN

WIDTH

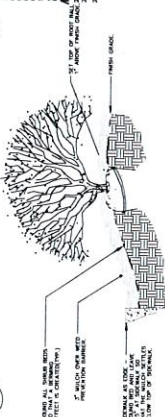
2015-117-



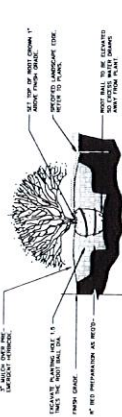
1 **EVERGREEN TREE PLANTING**



2 DECIDUOUS TREE PLANTING



3 SIDEWALK EDGE AT PLANT BED



4 SHRUB PLANTING

PLANTING SCHEDULE F:

STANDARD	QUANT.	REF.	NAME	SIZE
	77	TA	AMERICAN BUCKWOOD LINCOLN TULSA ARIZONA	2.5" CAL.
	60	SR	SEVEN-STAR REINITE	6" TA
	229	HR	WINDMILL REINITE	#3 PAT
	25	SR	REINITE REINITE	2.5" CAL.

GENERAL LANDSCAPE NOTES:

PLANT MATERIAL

[illegible]

AWN AND TURF AREAS

ALL LAWN AREAS TO BE SOOITED OR SEEDING ON PLANE. SOO SHALL COMPLY WITH US DEPT. OF AGRICULTURE LAWS AND REGULATIONS CONCERNING SEEDS ACT AND BE EQUAL IN QUALITY TO STANDARDS FOR UNIFIED SEED. SOO SHALL BE HEALTHY, THICK TURF HAVING SUFFICIENT AMOUNT OF REGULAR FERTILIZING, MOWING AND WEED CONTROL. SEED AND SOO SHALL BE A TURF-TYPE TALL FESCUE (3-WAY BLEND). SEED SHALL CONSIST OF THE FOLLOWING:

	TURF-TYPE TALL FESCUE
_____	SEED

INSTALLATION

[illegible]

MAINTENANCE BY OWNER

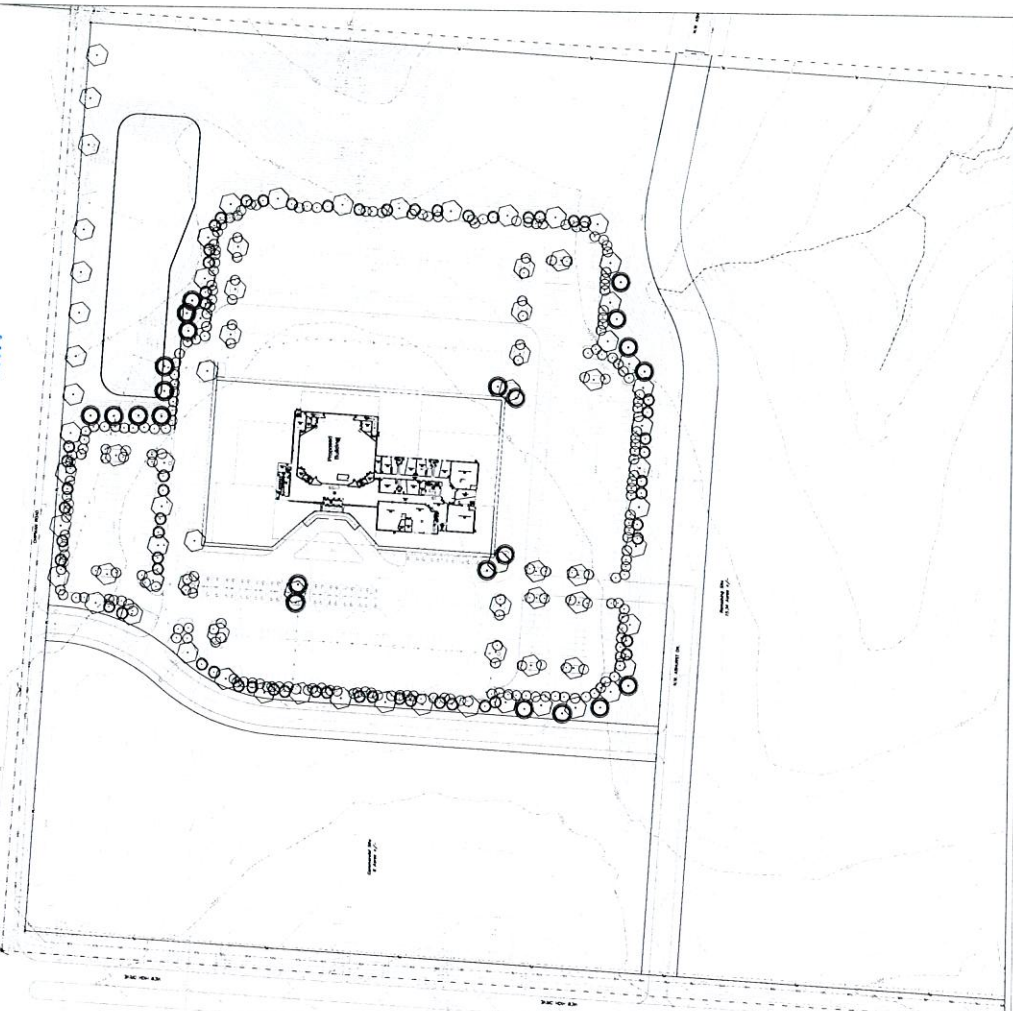
ALL SHRUBS ARE TO BE MAINTAINED IN THEIR NATURAL SHAPE TO ALLOW EVENTUAL GROWTH INTO A HEDGE. MAINTAIN NATURAL HABIT OF ALL SPECIFIED PLANT MATERIAL.

NEW SOIL TO BE THOROUGHLY WATERED UNTIL ROOTS "TAKE HOLD" OF SOIL BED. CONTINUE WATERING AS REQUIRED UNTIL COMPLETELY ESTABLISHED.

LANDSCAPE WORKSHEET

[illegible]

STREET SURFACES AND SANITARY WASTE PAVING (OF SCHWING) PRODUCTIONS



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EXTERIOR MATERIAL COLOR SCHEDULE

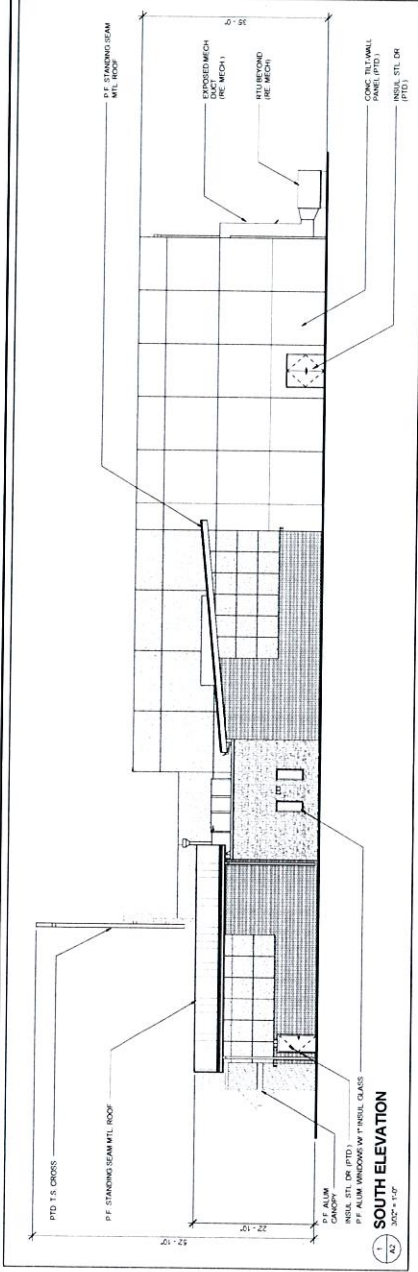
[illegible]

PROJECT #: 08-545
ISSUE DATE: 07/31/2015
DRAWN BY: BNA
CHECKED BY: BR
REVISIONS:
1. _____
2. _____
3. _____
4. _____
5. _____

SHEET No. A1

A New Worship Facility for:
The Summit
VIEW HIGH DRIVE & CHIPMAN ROAD
Lee's Summit, Missouri

217-1121



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