

AN ORDINANCE APPROVING REZONING FROM DISTRICT PI (PLANNED INDUSTRIAL DISTRICT) AND DISTRICT PMIX (PLANNED MIXED USE DISTRICT) AND PRELIMINARY DEVELOPMENT PLAN FOR OLDDHAM VILLAGE PHASE 2 ON APPROXIMATELY 18.78 ACRES OF LAND GENERALLY LOCATED AT THE SOUTHWEST INTERSECTION OF US 50 HWY AND SOUTH M-291 HWY, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2024-015 submitted by Engineering Solutions, LLC., requesting approval of a rezoning from PI (Planned Industrial District) and PMIX (Planned Mixed Use District) to PMIX and preliminary development plan on land generally located at the southwest intersection of US 50 Hwy and South M-291 Hwy was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a rezoning and preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the rezoning and preliminary development plan on September 12, 2024, and rendered a report to the City Council recommending that the rezoning and development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on January 7, 2025, and rendered a decision to approve the rezoning and preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a rezoning and preliminary development plan is hereby approved on the following described property:

A tract of land being located in Sections 7 & 8, Township 47, Range 31, Lee's Summit, Jackson County Missouri, being more particularly described as follows:

Commencing at the East Quarter Corner of said Section 7; thence N87°41'40"W along the North line of said Section 7, a distance of 865.12 feet to the Point of Beginning; thence N57°07'36"W, a distance of 498.06 feet; thence S32°47'59"W, a distance of 74.98 feet; thence S2°26'55"W, a distance of 2068.05 feet; thence S87°33'04"E, a distance of 215.90 feet; thence N2°25'22"E, a distance of 555.23 feet; thence S88°17'49"E, a distance of 260.52 feet; thence S2°33'08"W, a distance of 221.84 feet; thence S87°48'02"E, a distance of 280.68 feet; thence S2°32'26"W, a distance of 303.63 feet; thence S88°04'40"E, a distance of 339.94 feet; thence S2°23'57"W, a distance of 37.99 feet; thence S87°48'18"E, a distance of 263.03 feet; thence S2°32'32"W, a distance of 35.08 feet; thence S2°26'02"W, a distance of 787.52 feet; thence S87°43'36"E, a distance of 385.11 feet; thence N23°09'32"E, a distance of 102.58 feet; thence N6°07'34"W, a distance of 1338.91 feet; thence N87°50'52"W, a distance of 62.60 feet; thence N2°37'19"E, a distance of 158.07; thence along a curve to the left tangent to the preceding

course and having a radius of 1375.94 feet, an arc distance of 490.71 feet; thence N87°25'57"W, a distance of 74.50 feet; thence along a curve to the right tangent to the preceding course and having a radius of 250.00 feet, an arc distance of 183.56 feet; thence N43°39'15"W, a distance of 495.95 feet; thence N44°17'15"W, a distance of 122.21 feet; thence N60°40'49"W, a distance of 154.60 feet; thence N57°07'36"W, a distance of 159.79 feet to the Point of Beginning.

Except for the following described areas:

SIMONIN ADDITION---S 250' W 100' LOT 4 (EX PT IN ROW)

And,

Commencing at the Southwest Corner of said Section 8; thence S87°43'36"E along the South line of said Section 8, a distance of 31.24 feet; thence N2°26'02"E, a distance of 406.95 feet to the Point of Beginning; thence N2°26'02"E, a distance of 97.27 feet; thence S87°48'35"E, a distance of 238.48 feet; thence S11°44'25"E, a distance of 100.46 feet; thence N87°45'27"W, a distance of 263.08 feet to the Point of Beginning.

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the minimum 20' parking lot setback from the right-of-way, to allow parking lot setbacks ranging from 8' to 15' along the South M-291 Hwy right-of-way as depicted on the preliminary development plan.
2. A modification shall be granted to the high impact buffer requirement between the proposed PMIX-zoned development and the abutting PI zoning district, to allow no buffer along a portion of the shared north-south and east-west boundaries between Lot 11 and Abundant Life Baptist Church as depicted in the staff report.
3. A modification shall be granted to the EnVision LS overlay commercial design and architectural standards, to allow the proposed development to follow the standard design and architectural standards of Article 8 of the UDO.
4. Development shall be in accordance with the preliminary development plan dated August 13, 2024, inclusive of the development standards and building elevations uploaded August 2, 2024. However, Lot 13 (grocery), Lot 14 (drive-through restaurant), Lot 15 (drive-through restaurant) and Lot 17 (drive-through restaurant) are approved with conceptual approval only and a preliminary development plan shall be required for said lots prior to final development plan approval.
5. Road improvements for Phase 2 shall be constructed as recommended in the Transportation Impact Analysis conducted by staff dated September 10, 2024.

SECTION 3. That rezoning of the property from PI and PMIX to PMIX shall be as depicted on the preliminary development plan dated August 13, 2024, and appended hereto as Attachment A. Development shall be in accordance with the preliminary development plan dated August 13, 2024, appended hereto as Attachment A; building elevations uploaded August 2, 2024, appended hereto as Attachment B; and the recommendations in the Transportation Impact Analysis, dated September 10, 2024, appended hereto as Attachment C.



SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 14<sup>th</sup> day of January, 2025.



W. Baird  
Mayor William A. Baird

ATTEST:

Deputy Stacy Lombardo  
City Clerk ~~Trisha Fowler Arcuri~~

APPROVED by the Mayor of said city this 16<sup>th</sup> day of January, 2025.

W. Baird  
Mayor William A. Baird

ATTEST:

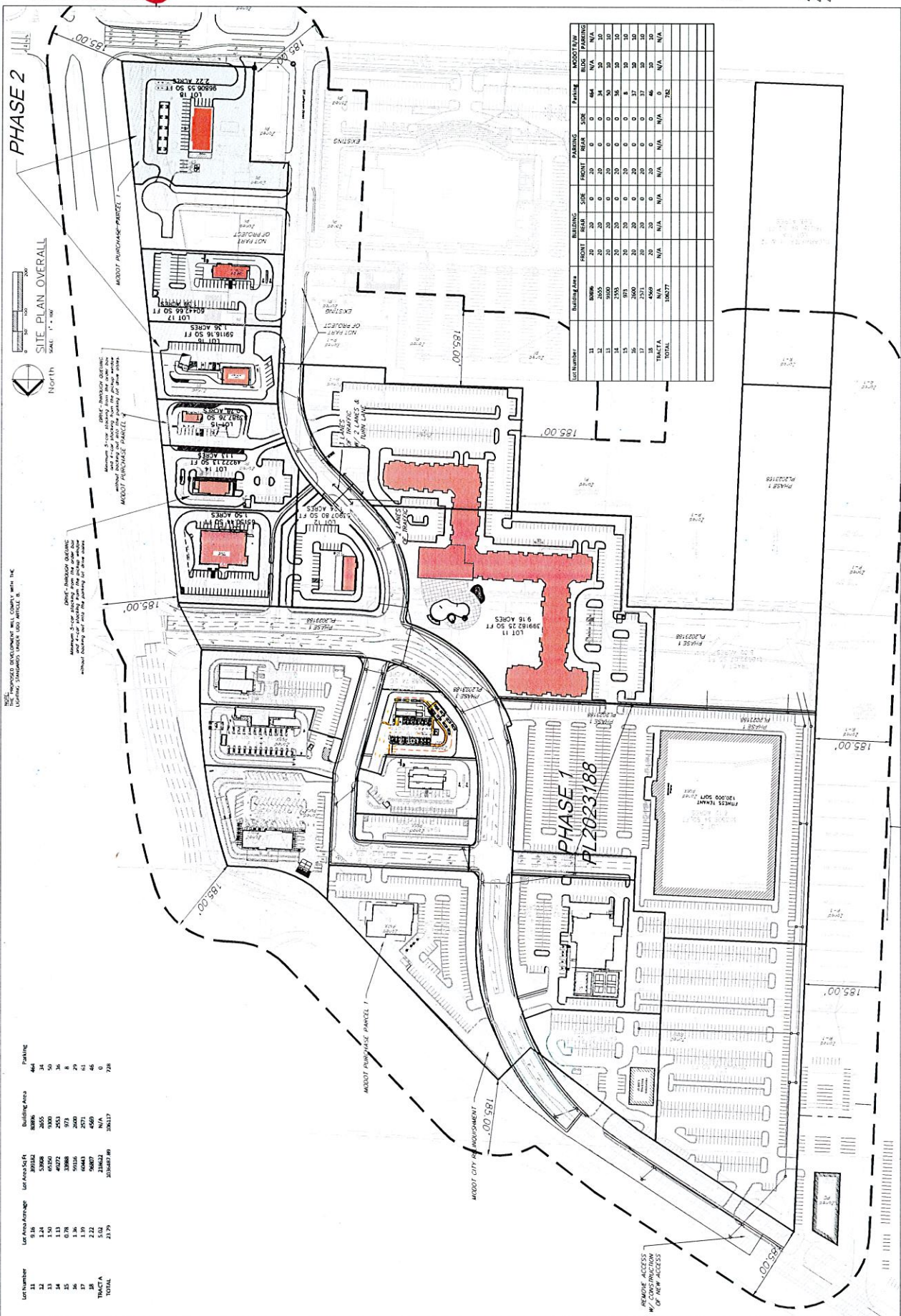
Deputy Stacy Lombardo  
City Clerk ~~Trisha Fowler Arcuri~~

APPROVED AS TO FORM:

Brian W. Head  
City Attorney Brian W. Head







PHASE 2  
 SITE PLAN OVERALL  
 SCALE: 1" = 100'

North  
 0 100 200  
 Feet

THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE  
 LOCAL ORDINANCES, STANDARDS AND REGULATIONS.

Lot Number	Lot Area (Acres)	Lot Area (Sq Ft)	Building Area	Parking
11	9.18	397342	88996	84
12	1.24	53968	2655	14
13	1.13	49272	2553	14
14	0.78	33988	973	8
15	1.30	56444	2850	14
16	1.30	56444	2850	14
17	2.22	96807	4569	46
18	5.02	218622	N/A	0
TRACTA TOTAL	23.79	916870	138117	726

Lot Number	Building Area		Building		Parking		Woodlot	
	Front	Rear	Front	Rear	Front	Rear	Side	Block
11	88996	2655	20	0	20	0	0	N/A
12	53968	2553	20	0	20	0	0	N/A
13	49272	2553	20	0	20	0	0	N/A
14	2553	20	20	0	20	0	0	10
15	973	20	20	0	20	0	0	10
16	2850	20	20	0	20	0	0	10
17	2850	20	20	0	20	0	0	10
18	4569	20	20	0	20	0	0	10
TRACTA TOTAL	138117	N/A	N/A	N/A	N/A	N/A	N/A	120







ENGINEERING & SURVEYING  
 SOLUTIONS  
 1628 WINTERGATES  
 LEES SUMMIT, MISSOURI 64083  
 P (816) 824-9888 F (816) 212-9445

Professional Engineer  
 License No. 000000000  
 Professional Surveyor  
 License No. 000000000  
 State of Missouri

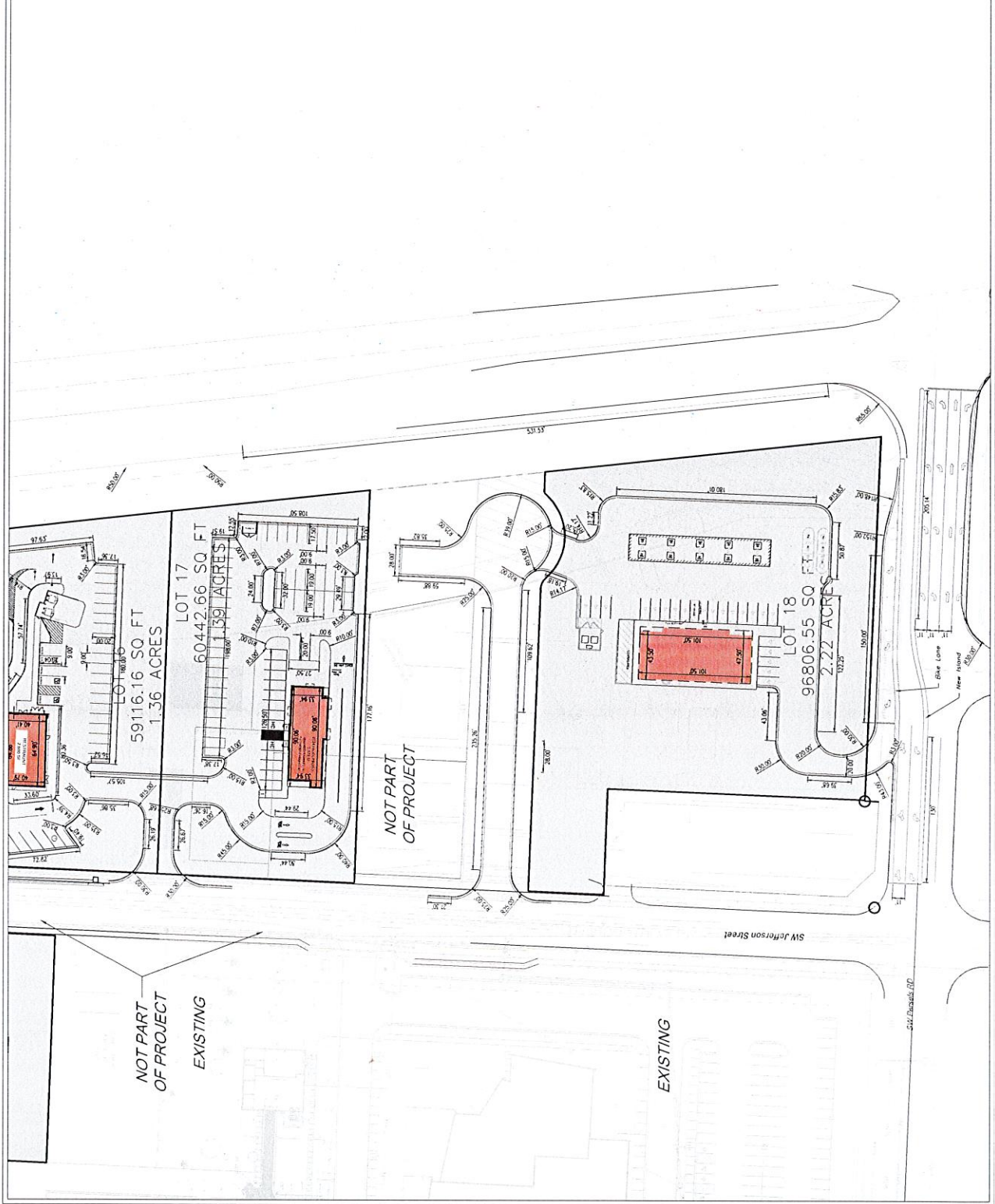
Lee's Summit, Jackson County, Missouri  
 Oltham Village

Phase 2 Preliminary Development Plans for:  
 Oltham Village  
 Lee's Summit, Jackson County, Missouri

DATE: 11/17/2024  
 REV: 01/22/2024  
 REV: 01/22/2024  
 REV: 01/22/2024

C-103

SITE PLAN SOUTH  
 SCALE: 1" = 40'





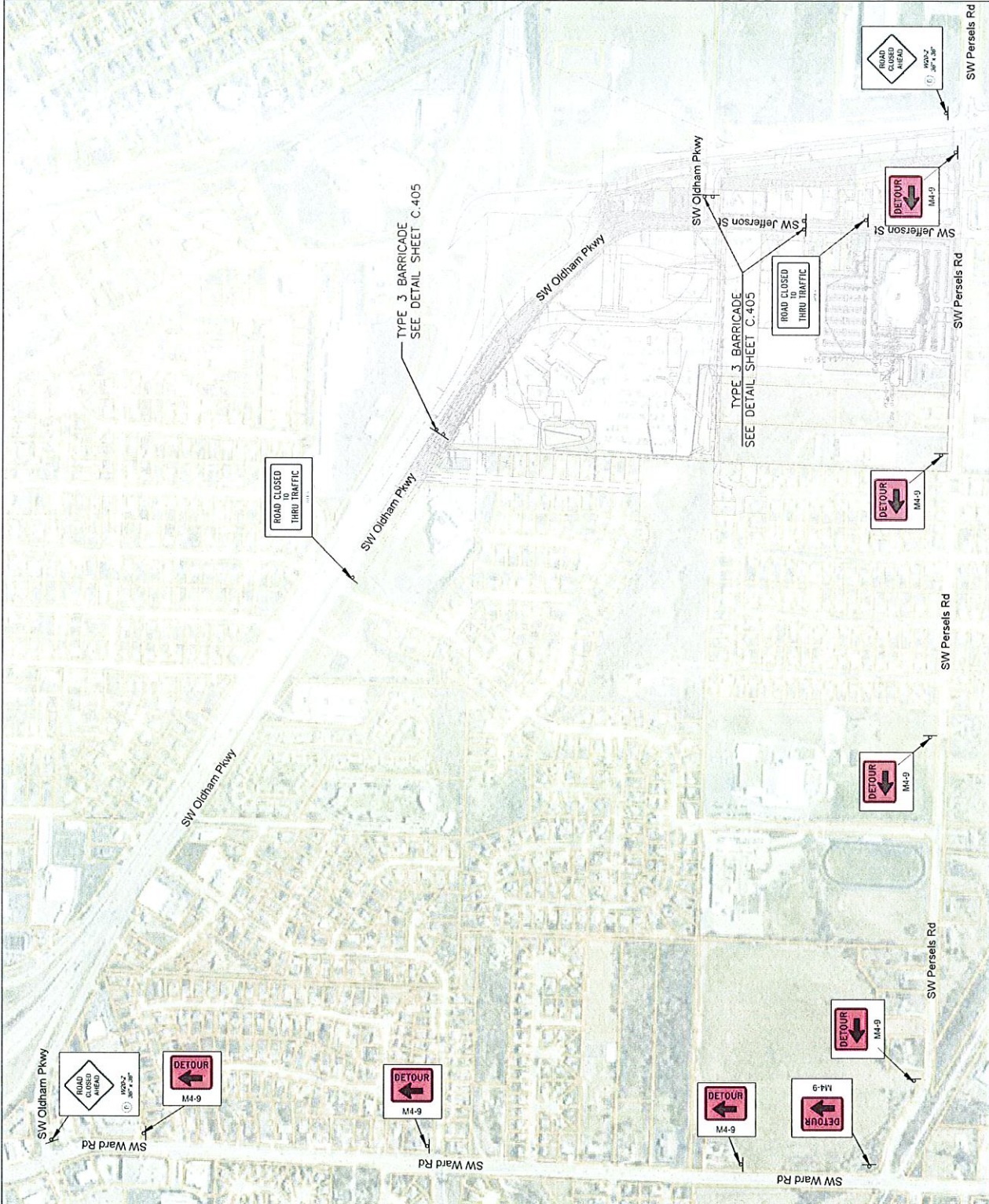








**TRAFFIC CONTROL PLAN GENERAL LAYOUT**  
 SCALE: 1" = 100'  
 NOTES:  
 1. ALL SIGNS TO BE PLACED PER MUTCD MANUAL.  
 2. THE SIGN PANELS ARE CLIPPED AND SHOWN ONLY AS A REFERENCE TO THE MUTCD MANUAL. THE ACTUAL SIGNAGE SHALL BE PROVIDED BY THE CONTRACTOR.  
 3. THE SIGNAGE SHALL BE PLACED AT THE BEGINNING AND END OF THE WORK AREA.  
 4. LOCATE THE SIGNS AT THE BEGINNING AND END OF THE WORK AREA.  
 5. THE SIGNS SHALL BE PLACED AT THE BEGINNING AND END OF THE WORK AREA.  
 6. THE SIGNS SHALL BE PLACED AT THE BEGINNING AND END OF THE WORK AREA.  
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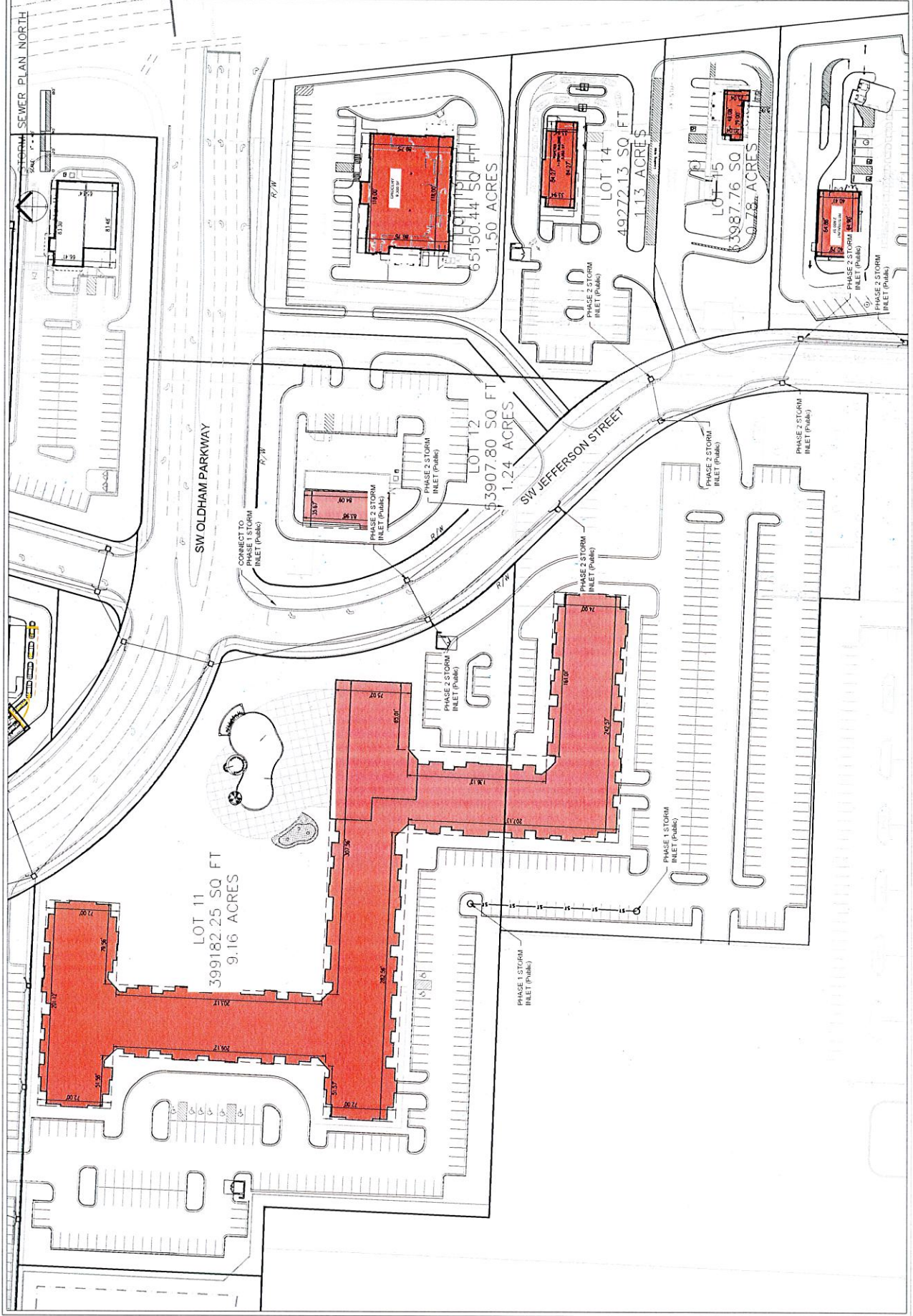




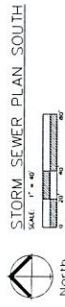




Matthew J. Schmitt  
 License No. 000000000  
 State of Missouri  
 Mechanical Engineering  
 Date of Expiration: 12/31/2024  
 Date of Issuance: 12/31/2024

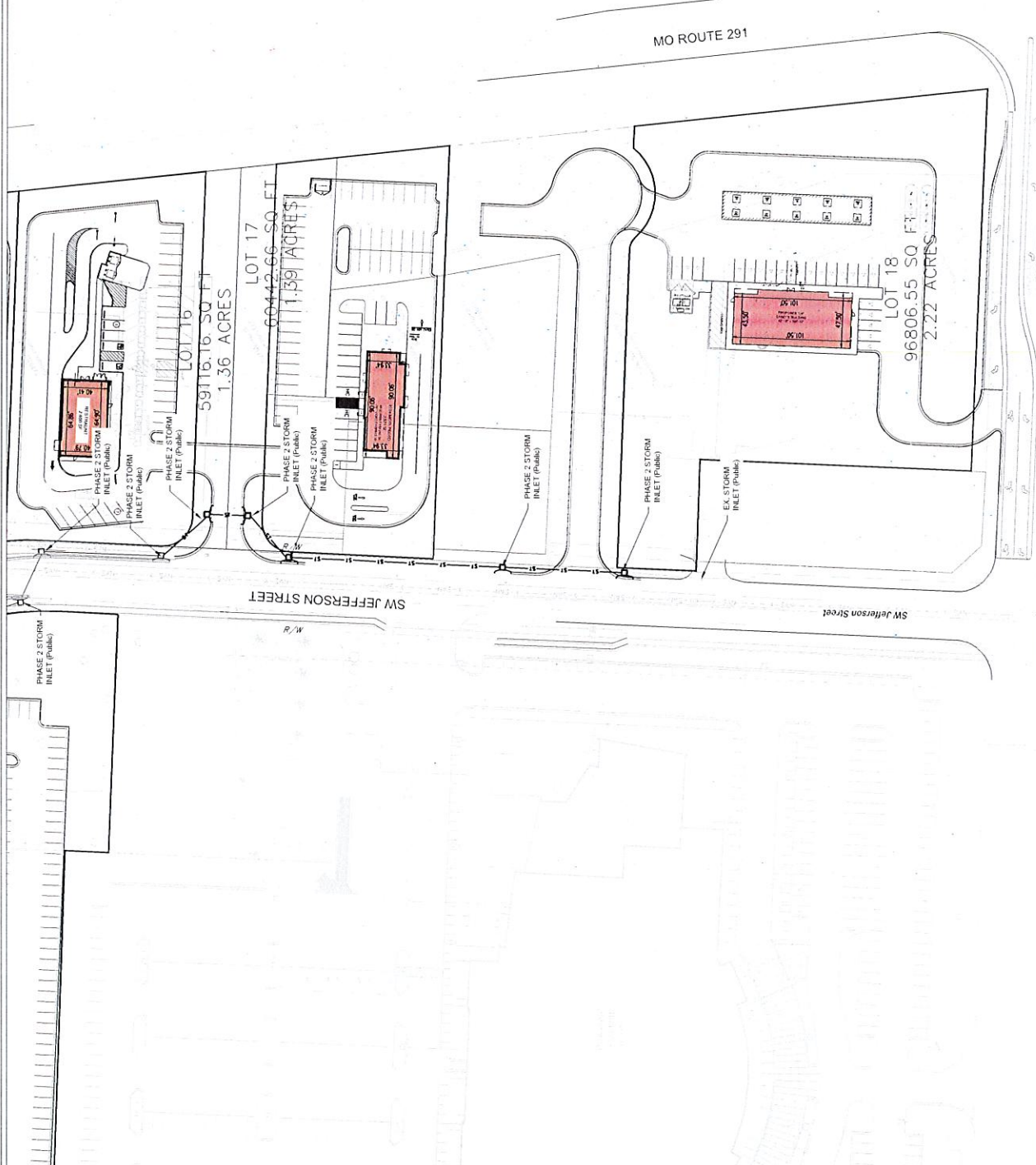






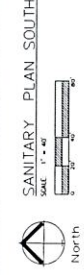
**LEGEND:**

- Existing Underground Power
- Existing Concrete Curb & Gutter
- Existing Wood Fence
- Existing Gas Main
- Existing Water Main
- Existing Storm Sewer
- Existing Sanitary Sewer
- Existing Underground Telephone
- Existing Electrical Power
- Proposed Storm Sewer (Private)
- Proposed Storm Sewer (Public)
- Proposed Sanitary Sewer
- Proposed Underground Power
- Proposed Gas Service
- Proposed D.I.P. Meter
- Proposed Electrical Service



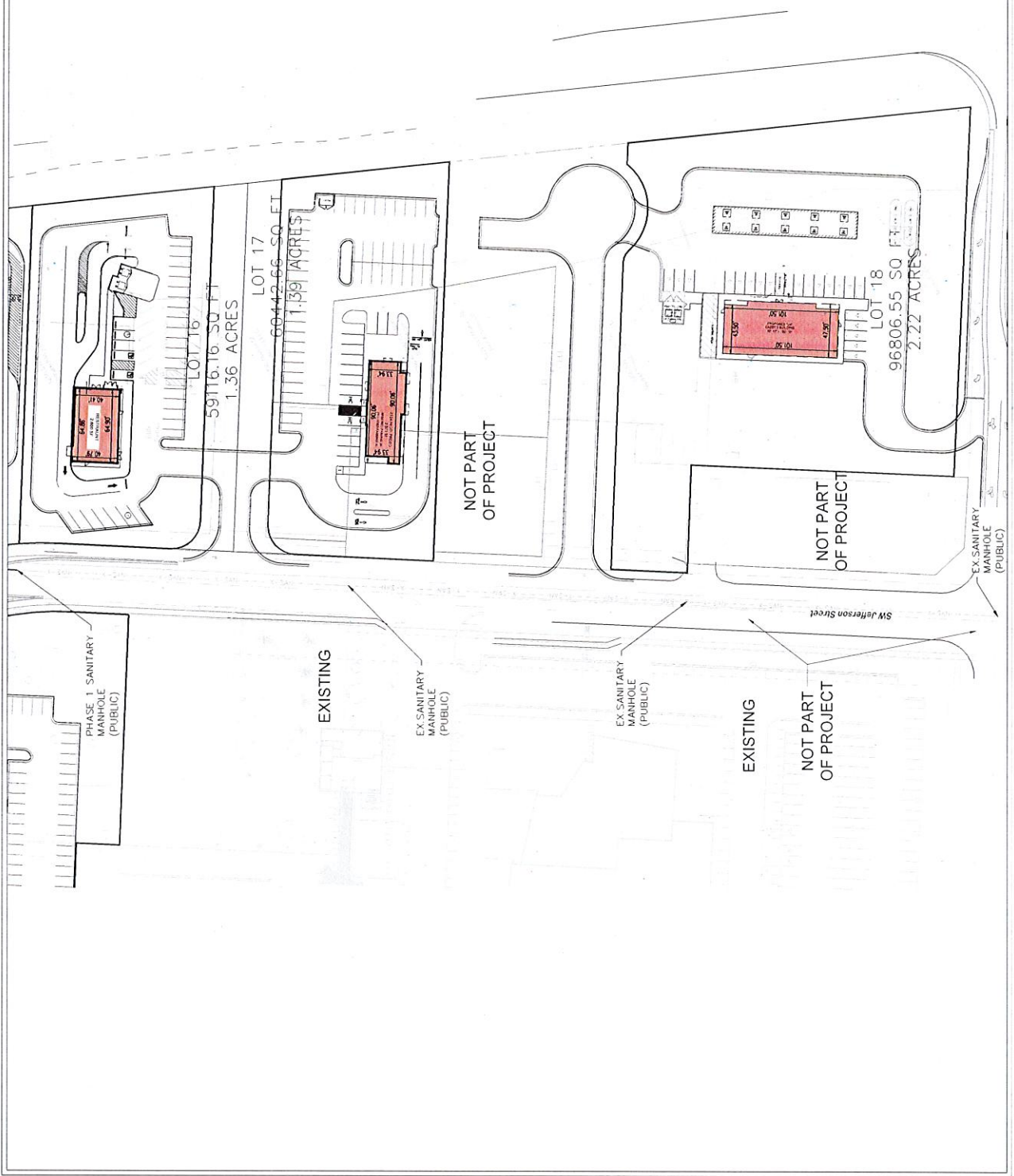






**LEGEND:**

Existing Underground Power	---
Existing Concrete Curb & Gutter	---
Existing Wood Fence	---
Existing Gas Main	---
Existing Water Main	---
Existing Storm Sewer	---
Existing Sanitary Sewer	---
Existing Underground Telephone	---
Existing Underground Power	---
Proposed Storm Sewer (Private)	---
Proposed Storm Sewer (Public)	---
Proposed Sanitary Sewer	---
Proposed Underground Power	---
Proposed Gas Service	---
Proposed 8" D.I.P. Water	---
Proposed Electrical Service	---







**WATER PLAN NORTH**

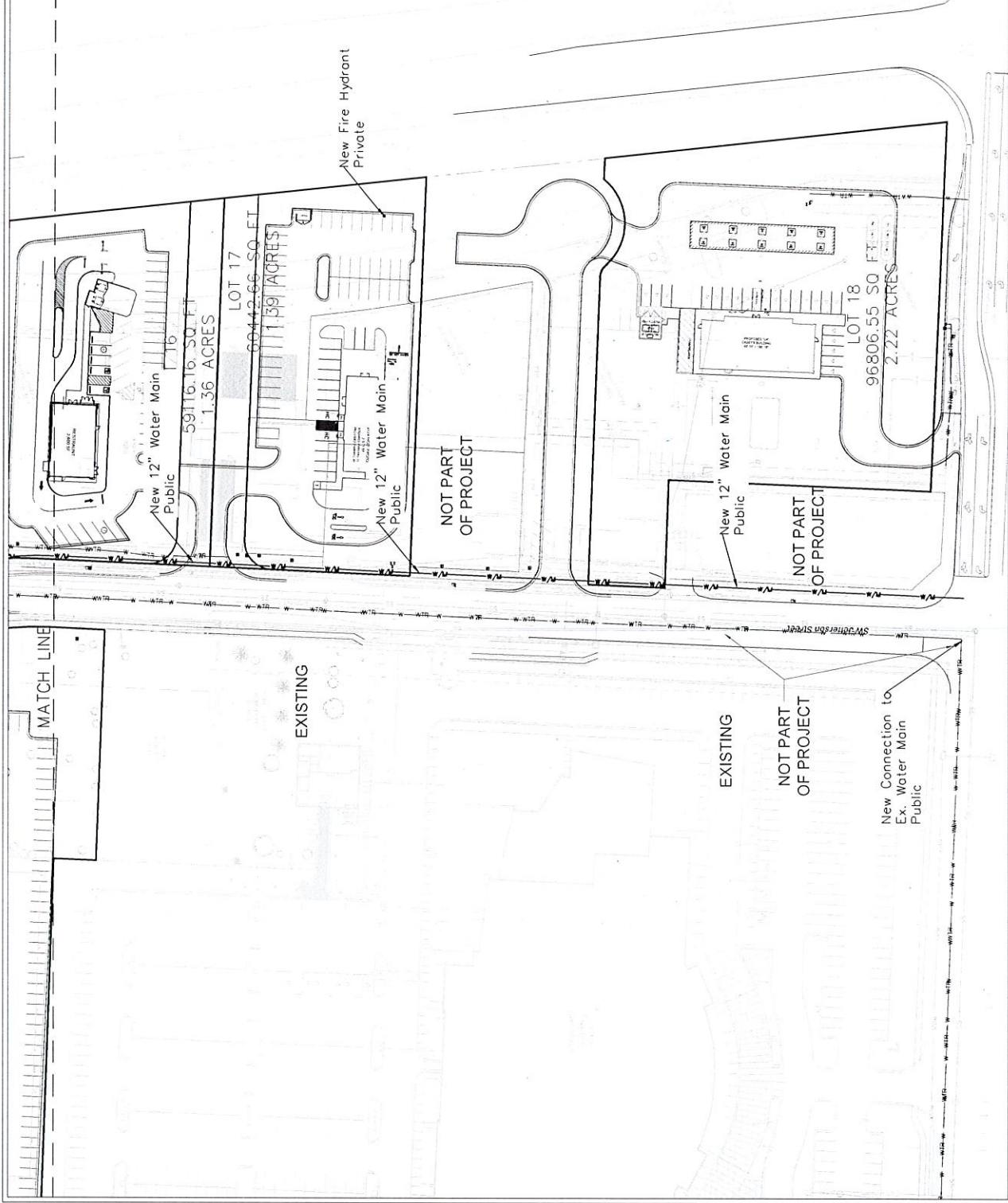
Scale: 1" = 40'

**LEGEND:**

Existing Underground Power	---
Existing Concrete Curb & Gutter	---
Existing Wood Fence	---
Existing Gas Main	---
Existing Water Main	---
Existing Storm Sewer	---
Existing Sanitary Sewer	---
Existing Underground Telephone	---
Existing Overhead Power	---
Proposed Storm Sewer (Private)	---
Proposed Storm Sewer (Public)	---
Proposed Sanitary Sewer	---
Proposed Underground Power	---
Proposed Gas Service	---
Proposed D.I.P. Water	---
Proposed Electrical Service	---

**NOTE:**  
THE EXISTING CONNECTIONS, THE LOCATION OF THE EXISTING CURB, OFFICIAL CONNECTIONS SHALL BE A PART OF A PRELIMINARY PLAN AS APPROVED BY THE LOCAL AGENCIES.

**NOTE:**  
THE EXISTING SHALL NOT BE A PART OF THIS PROJECT AND SHALL BE REMOVED OR RELOCATED AS SHOWN ON DRAWING.



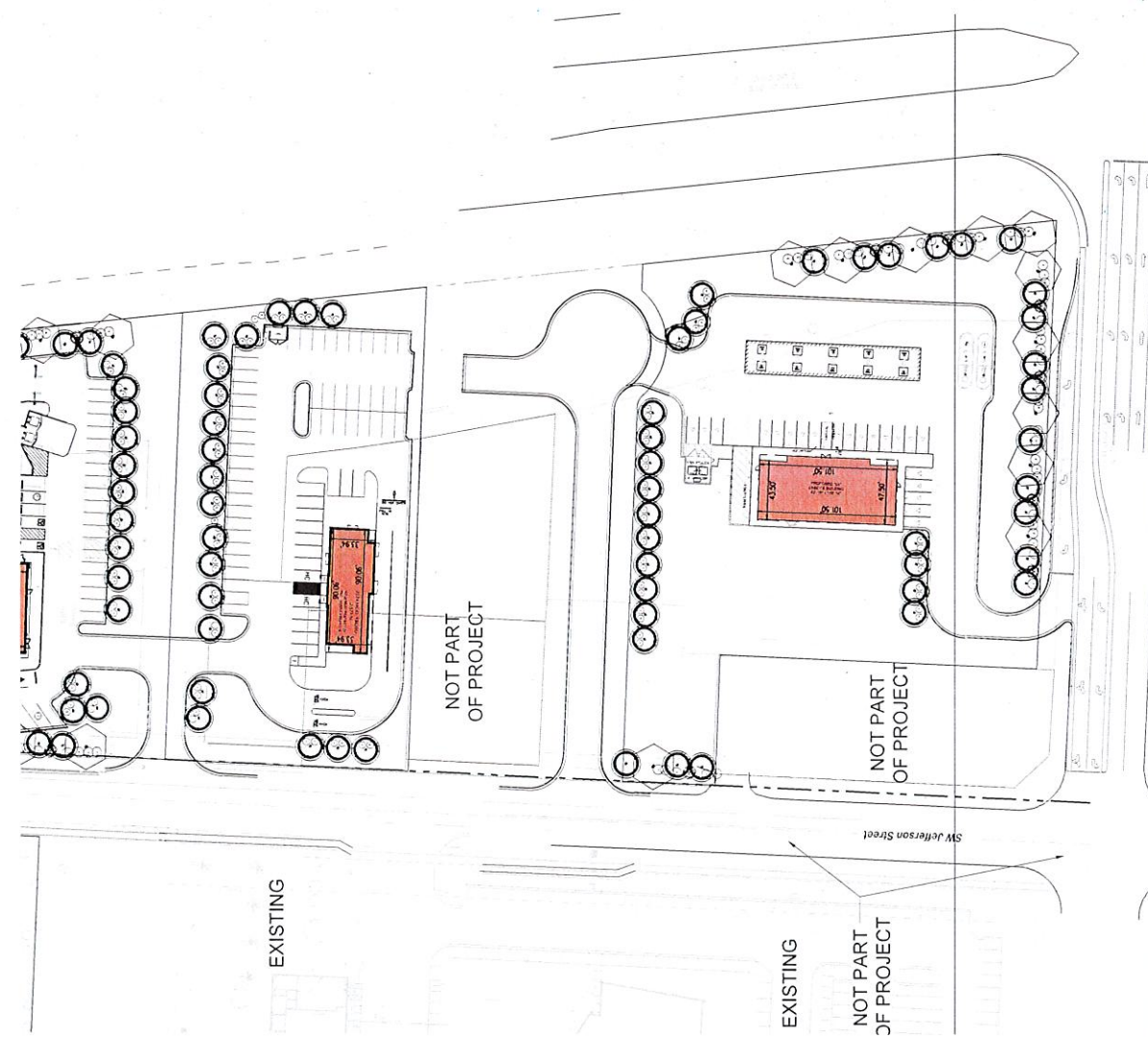






DATE: 07-15-2018  
 DRAWN BY: [unintelligible]  
 CHECKED BY: [unintelligible]

North  
 SCALE: 1" = 40'  
 WEST LANDSCAPE PLAN









**Building Elevation Summary Status**  
**August 13, 2024**

Application Number: PL2023188  
 Application Type: Commercial Preliminary Development Plan  
 Application Name: Oldham Village Phase 1  
 Location: 1025 SW JEFFERSON ST, LEES SUMMIT, MO 64081  
 1031 SW JEFFERSON ST, LEES SUMMIT, MO 64081  
 101 SW OLDHAM PKWY, LEES SUMMIT, MO 64081

Application Number: PL2024015  
 Application Type: Commercial Preliminary Development Plan  
 Application Name: Oldham Village Phase 2  
 Location: 1206 SW MARKET ST, LEES SUMMIT, MO 64081  
 1210 SW MARKET ST, LEES SUMMIT, MO 64081  
 1310 SW MARKET ST, LEES SUMMIT, MO 64081  
 1306 SW MARKET ST, Unit:A, LEES SUMMIT, MO 64081  
 101 SW OLDHAM PKWY, LEES SUMMIT, MO 64081  
 1051 SW JEFFERSON ST, LEES SUMMIT, MO 64081

The proposed development plans, referenced above, are

Lot #	Use	Elevation Provided	Concept Only	Use Approval
1	Parking Lot	N/A		Yes
2	Fitness Tenant	No		<b>Yes</b>
3	Drive Thru	Typical		Yes
4	Restaurant	<del>No</del> <b>Yes</b>	<del>Yes</del>	
5	Restaurant	Yes		Yes
6	Drive Thru	Typical		Yes
7	Drive Thru	Rendering	Yes	
8	Drive Thru	Yes		Yes
9	Car Wash	Yes		Yes
10	Coffee/Retail	Yes		Yes
11	Apartment	Yes		Yes
12	Drive Thru	<del>No</del> <b>Typical</b>	<del>Yes</del>	<b>Yes</b>
13	Grocery	No	Yes	
14	Drive Thru	No	Yes	
15	Drive Thru	No	Yes	
16	Drive Thru	<del>No</del> <b>Yes</b>	<del>Yes</del>	<b>Yes</b>
17	Drive Thru	No	Yes	
18	Gas Station	<del>No</del> <b>Yes</b>	<del>Yes</del>	<b>Yes</b>

Feel free to contact me should you have any additional questions regarding this project.

Thank You,

Matt Schlicht



Cultured Stone  
Coronado Stone  
pro Ledge-Huron



Modular, standard face brick  
Cloud Ceramics  
Ebony Iron Spot, Smooth  
Mortar: Americamix, Dark Black



Cast Stone Slab  
Texas Building Products  
Color: Taupe



Storefront system,  
Entry Tower soffit,  
Sun shade, parapet cap,  
Pre-finished aluminum  
Dark Anodized Bronze

Rainscreen,  
Knolwood Alum Panel  
wood look, color:  
Buttwood

Large Format tile  
Simulating Stone  
American Clean, Merit  
12 X 24 color: Cool Beige

Five Four Restaurant & Draithouse







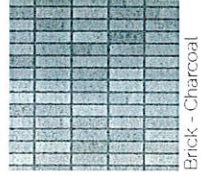




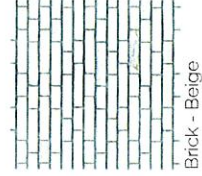
# Main Entry Perspective



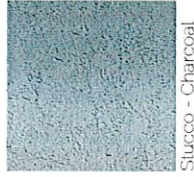
# Materials



Brick - Charcoal



Brick - Beige

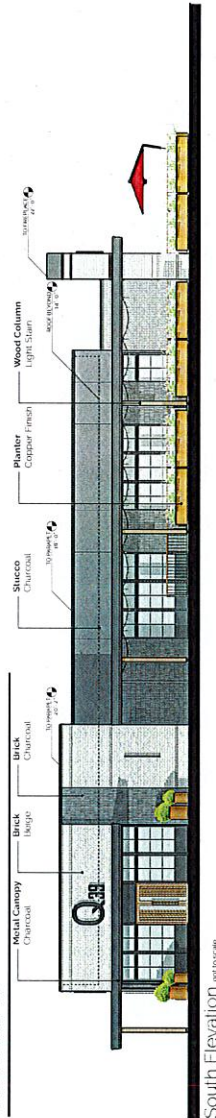


Stucco - Charcoal

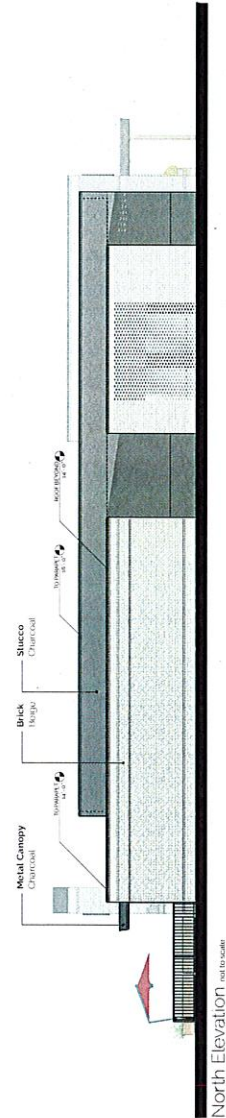


Wood - Light Stain

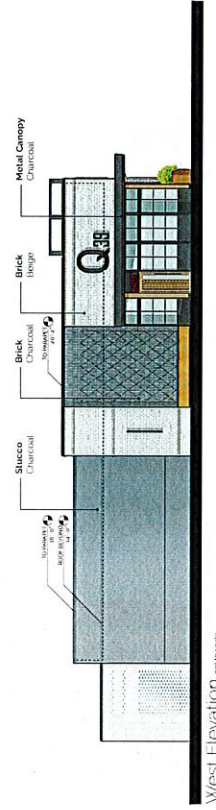
# Elevations



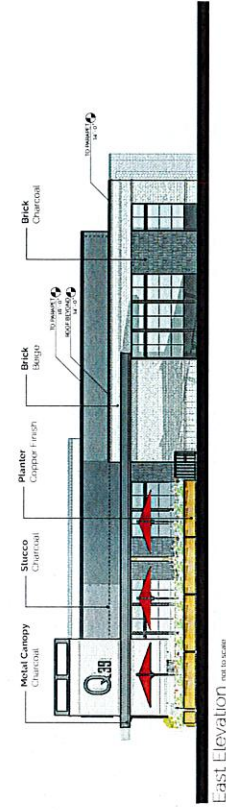
South Elevation not to scale



North Elevation not to scale



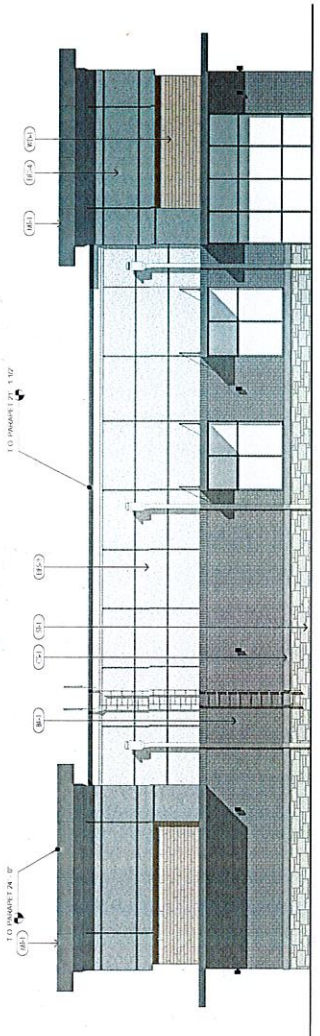
West Elevation not to scale



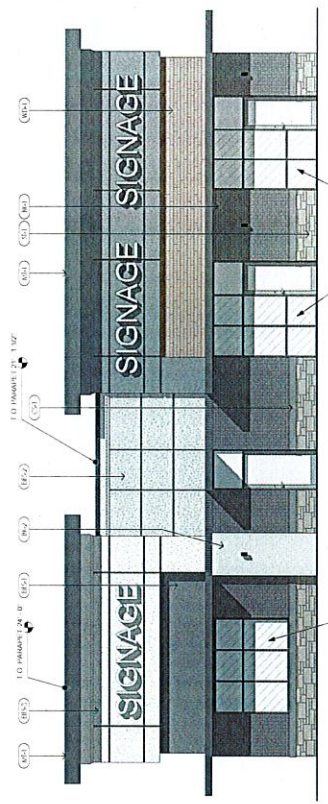
East Elevation not to scale



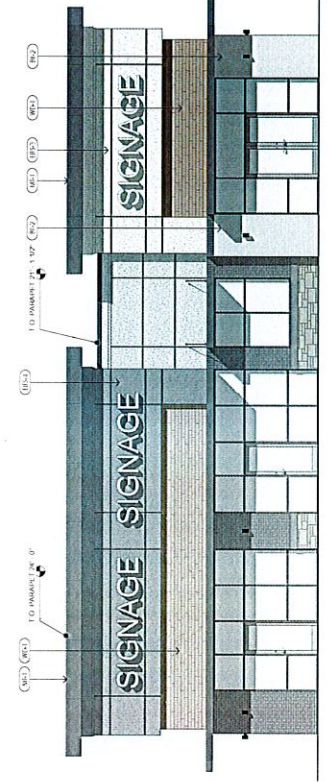
EXTERIOR FINISH LEGEND		
NO.	DESCRIPTION	NOTATION
001	CONCRETE	CONCRETE
002	BRICK	BRICK
003	SMOOTH STONE	SMOOTH STONE
004	ROUGH STONE	ROUGH STONE
005	WOOD CLADDING	WOOD CLADDING
006	GLASS	GLASS
007	ALUMINUM CLADDING	ALUMINUM CLADDING
008	STEEL CLADDING	STEEL CLADDING
009	PAINTED METAL CLADDING	PAINTED METAL CLADDING
010	EIFS	EIFS
011	EIFS WITH STONE	EIFS WITH STONE
012	EIFS WITH BRICK	EIFS WITH BRICK
013	EIFS WITH WOOD	EIFS WITH WOOD
014	EIFS WITH METAL	EIFS WITH METAL
015	EIFS WITH GLASS	EIFS WITH GLASS
016	EIFS WITH CONCRETE	EIFS WITH CONCRETE
017	EIFS WITH BRICK AND CONCRETE	EIFS WITH BRICK AND CONCRETE
018	EIFS WITH WOOD AND CONCRETE	EIFS WITH WOOD AND CONCRETE
019	EIFS WITH METAL AND CONCRETE	EIFS WITH METAL AND CONCRETE
020	EIFS WITH GLASS AND CONCRETE	EIFS WITH GLASS AND CONCRETE
021	EIFS WITH CONCRETE AND BRICK	EIFS WITH CONCRETE AND BRICK
022	EIFS WITH CONCRETE AND WOOD	EIFS WITH CONCRETE AND WOOD
023	EIFS WITH CONCRETE AND METAL	EIFS WITH CONCRETE AND METAL
024	EIFS WITH CONCRETE AND GLASS	EIFS WITH CONCRETE AND GLASS
025	EIFS WITH CONCRETE AND BRICK AND GLASS	EIFS WITH CONCRETE AND BRICK AND GLASS
026	EIFS WITH CONCRETE AND WOOD AND GLASS	EIFS WITH CONCRETE AND WOOD AND GLASS
027	EIFS WITH CONCRETE AND METAL AND GLASS	EIFS WITH CONCRETE AND METAL AND GLASS
028	EIFS WITH CONCRETE AND GLASS AND BRICK	EIFS WITH CONCRETE AND GLASS AND BRICK
029	EIFS WITH CONCRETE AND GLASS AND WOOD	EIFS WITH CONCRETE AND GLASS AND WOOD
030	EIFS WITH CONCRETE AND GLASS AND METAL	EIFS WITH CONCRETE AND GLASS AND METAL
031	EIFS WITH CONCRETE AND GLASS AND BRICK AND WOOD	EIFS WITH CONCRETE AND GLASS AND BRICK AND WOOD
032	EIFS WITH CONCRETE AND GLASS AND BRICK AND METAL	EIFS WITH CONCRETE AND GLASS AND BRICK AND METAL
033	EIFS WITH CONCRETE AND GLASS AND WOOD AND METAL	EIFS WITH CONCRETE AND GLASS AND WOOD AND METAL
034	EIFS WITH CONCRETE AND GLASS AND BRICK AND WOOD AND METAL	EIFS WITH CONCRETE AND GLASS AND BRICK AND WOOD AND METAL



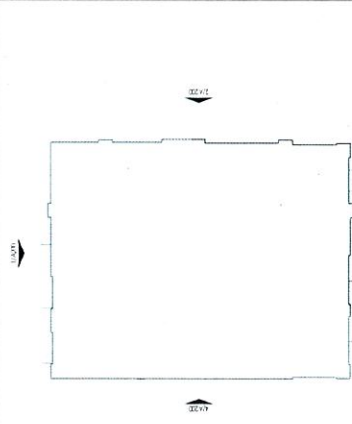
WEST ELEVATION 4  
SCALE: 3/8" = 1'-0"



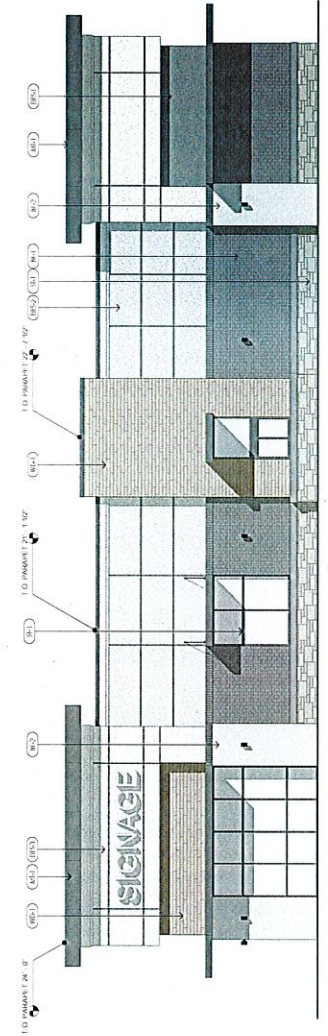
NORTH ELEVATION 1  
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION 3  
SCALE: 3/8" = 1'-0"



KEY PLAN 5  
SCALE: 1/8" = 1'-0"



EAST ELEVATION 2  
SCALE: 3/8" = 1'-0"





PAINTED CORTEN STEEL  
COLOR: SMALLS ORANGE

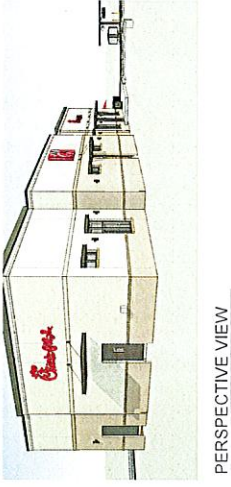
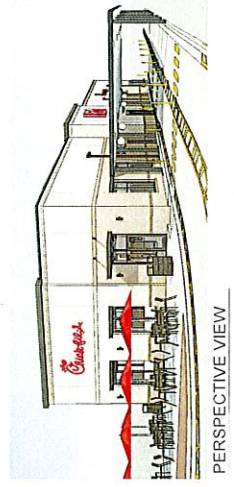
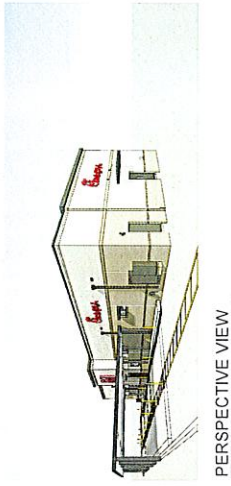
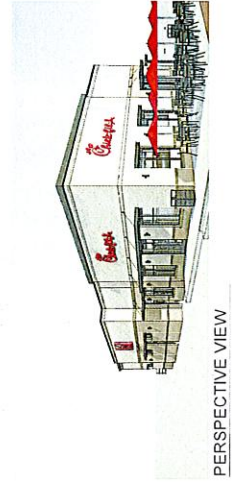
PAINTED CANOPY STEEL  
COLOR: SMALLS ORANGE

METAL PANEL  
COLOR: MIDNIGHT BRONZE

3D RENDERING - MATERIALS

SMALLS SLIDERS  
LEE, S SUMMIT, MO



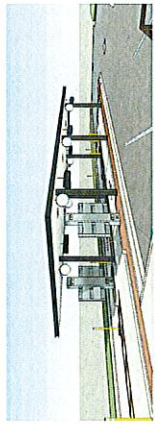
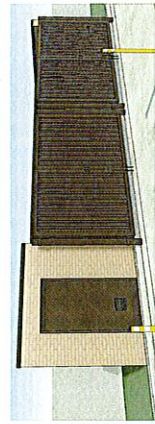


**EXTERIOR FINISHES**

(1) BRICK	BRICK
(2) CONCRETE	CONCRETE
(3) STUCCO	STUCCO
(4) METAL PANELING	METAL PANELING
(5) GLASS	GLASS
(6) PAINT	PAINT
(7) CERAMIC TILE	CERAMIC TILE
(8) GRANITE	GRANITE
(9) MARBLE	MARBLE
(10) QUARTZ	QUARTZ
(11) SOLID SURFACE	SOLID SURFACE
(12) WOOD	WOOD
(13) VINYL	VINYL
(14) CARPET	CARPET
(15) RUG	RUG
(16) FLOORING	FLOORING
(17) CEILING	CEILING
(18) WALL	WALL
(19) DOOR	DOOR
(20) WINDOW	WINDOW
(21) ROOFING	ROOFING
(22) Siding	Siding
(23) Shingles	Shingles
(24) Asphalt	Asphalt
(25) Concrete	Concrete
(26) Gravel	Gravel
(27) Sand	Sand
(28) Soil	Soil
(29) Earth	Earth
(30) Rock	Rock
(31) Stone	Stone
(32) Brick	Brick
(33) Tile	Tile
(34) Glass	Glass
(35) Metal	Metal
(36) Wood	Wood
(37) Plastic	Plastic
(38) Rubber	Rubber
(39) Fabric	Fabric
(40) Paper	Paper
(41) Concrete	Concrete
(42) Gravel	Gravel
(43) Sand	Sand
(44) Soil	Soil
(45) Earth	Earth
(46) Rock	Rock
(47) Stone	Stone
(48) Brick	Brick
(49) Tile	Tile
(50) Glass	Glass
(51) Metal	Metal
(52) Wood	Wood
(53) Plastic	Plastic
(54) Rubber	Rubber
(55) Fabric	Fabric
(56) Paper	Paper
(57) Concrete	Concrete
(58) Gravel	Gravel
(59) Sand	Sand
(60) Soil	Soil
(61) Earth	Earth
(62) Rock	Rock
(63) Stone	Stone
(64) Brick	Brick
(65) Tile	Tile
(66) Glass	Glass
(67) Metal	Metal
(68) Wood	Wood
(69) Plastic	Plastic
(70) Rubber	Rubber
(71) Fabric	Fabric
(72) Paper	Paper
(73) Concrete	Concrete
(74) Gravel	Gravel
(75) Sand	Sand
(76) Soil	Soil
(77) Earth	Earth
(78) Rock	Rock
(79) Stone	Stone
(80) Brick	Brick
(81) Tile	Tile
(82) Glass	Glass
(83) Metal	Metal
(84) Wood	Wood
(85) Plastic	Plastic
(86) Rubber	Rubber
(87) Fabric	Fabric
(88) Paper	Paper
(89) Concrete	Concrete
(90) Gravel	Gravel
(91) Sand	Sand
(92) Soil	Soil
(93) Earth	Earth
(94) Rock	Rock
(95) Stone	Stone
(96) Brick	Brick
(97) Tile	Tile
(98) Glass	Glass
(99) Metal	Metal
(100) Wood	Wood

**ATTACHED CANOPY SCHEDULE**

MARK	Description	Quantity	Unit	Total	Notes
1	Attached Canopy	1	Sq Ft	1,000	
2	Attached Canopy	1	Sq Ft	1,000	
3	Attached Canopy	1	Sq Ft	1,000	
4	Attached Canopy	1	Sq Ft	1,000	
5	Attached Canopy	1	Sq Ft	1,000	
6	Attached Canopy	1	Sq Ft	1,000	
7	Attached Canopy	1	Sq Ft	1,000	
8	Attached Canopy	1	Sq Ft	1,000	
9	Attached Canopy	1	Sq Ft	1,000	
10	Attached Canopy	1	Sq Ft	1,000	
11	Attached Canopy	1	Sq Ft	1,000	
12	Attached Canopy	1	Sq Ft	1,000	
13	Attached Canopy	1	Sq Ft	1,000	
14	Attached Canopy	1	Sq Ft	1,000	
15	Attached Canopy	1	Sq Ft	1,000	
16	Attached Canopy	1	Sq Ft	1,000	
17	Attached Canopy	1	Sq Ft	1,000	
18	Attached Canopy	1	Sq Ft	1,000	
19	Attached Canopy	1	Sq Ft	1,000	
20	Attached Canopy	1	Sq Ft	1,000	
21	Attached Canopy	1	Sq Ft	1,000	
22	Attached Canopy	1	Sq Ft	1,000	
23	Attached Canopy	1	Sq Ft	1,000	
24	Attached Canopy	1	Sq Ft	1,000	
25	Attached Canopy	1	Sq Ft	1,000	
26	Attached Canopy	1	Sq Ft	1,000	
27	Attached Canopy	1	Sq Ft	1,000	
28	Attached Canopy	1	Sq Ft	1,000	
29	Attached Canopy	1	Sq Ft	1,000	
30	Attached Canopy	1	Sq Ft	1,000	
31	Attached Canopy	1	Sq Ft	1,000	
32	Attached Canopy	1	Sq Ft	1,000	
33	Attached Canopy	1	Sq Ft	1,000	
34	Attached Canopy	1	Sq Ft	1,000	
35	Attached Canopy	1	Sq Ft	1,000	
36	Attached Canopy	1	Sq Ft	1,000	
37	Attached Canopy	1	Sq Ft	1,000	
38	Attached Canopy	1	Sq Ft	1,000	
39	Attached Canopy	1	Sq Ft	1,000	
40	Attached Canopy	1	Sq Ft	1,000	
41	Attached Canopy	1	Sq Ft	1,000	
42	Attached Canopy	1	Sq Ft	1,000	
43	Attached Canopy	1	Sq Ft	1,000	
44	Attached Canopy	1	Sq Ft	1,000	
45	Attached Canopy	1	Sq Ft	1,000	
46	Attached Canopy	1	Sq Ft	1,000	
47	Attached Canopy	1	Sq Ft	1,000	
48	Attached Canopy	1	Sq Ft	1,000	
49	Attached Canopy	1	Sq Ft	1,000	
50	Attached Canopy	1	Sq Ft	1,000	
51	Attached Canopy	1	Sq Ft	1,000	
52	Attached Canopy	1	Sq Ft	1,000	
53	Attached Canopy	1	Sq Ft	1,000	
54	Attached Canopy	1	Sq Ft	1,000	
55	Attached Canopy	1	Sq Ft	1,000	
56	Attached Canopy	1	Sq Ft	1,000	
57	Attached Canopy	1	Sq Ft	1,000	
58	Attached Canopy	1	Sq Ft	1,000	
59	Attached Canopy	1	Sq Ft	1,000	
60	Attached Canopy	1	Sq Ft	1,000	
61	Attached Canopy	1	Sq Ft	1,000	
62	Attached Canopy	1	Sq Ft	1,000	
63	Attached Canopy	1	Sq Ft	1,000	
64	Attached Canopy	1	Sq Ft	1,000	
65	Attached Canopy	1	Sq Ft	1,000	
66	Attached Canopy	1	Sq Ft	1,000	
67	Attached Canopy	1	Sq Ft	1,000	
68	Attached Canopy	1	Sq Ft	1,000	
69	Attached Canopy	1	Sq Ft	1,000	
70	Attached Canopy	1	Sq Ft	1,000	
71	Attached Canopy	1	Sq Ft	1,000	
72	Attached Canopy	1	Sq Ft	1,000	
73	Attached Canopy	1	Sq Ft	1,000	
74	Attached Canopy	1	Sq Ft	1,000	
75	Attached Canopy	1	Sq Ft	1,000	
76	Attached Canopy	1	Sq Ft	1,000	
77	Attached Canopy	1	Sq Ft	1,000	
78	Attached Canopy	1	Sq Ft	1,000	
79	Attached Canopy	1	Sq Ft	1,000	
80	Attached Canopy	1	Sq Ft	1,000	
81	Attached Canopy	1	Sq Ft	1,000	
82	Attached Canopy	1	Sq Ft	1,000	
83	Attached Canopy	1	Sq Ft	1,000	
84	Attached Canopy	1	Sq Ft	1,000	
85	Attached Canopy	1	Sq Ft	1,000	
86	Attached Canopy	1	Sq Ft	1,000	
87	Attached Canopy	1	Sq Ft	1,000	
88	Attached Canopy	1	Sq Ft	1,000	
89	Attached Canopy	1	Sq Ft	1,000	
90	Attached Canopy	1	Sq Ft	1,000	
91	Attached Canopy	1	Sq Ft	1,000	
92	Attached Canopy	1	Sq Ft	1,000	
93	Attached Canopy	1	Sq Ft	1,000	
94	Attached Canopy	1	Sq Ft	1,000	
95	Attached Canopy	1	Sq Ft	1,000	
96	Attached Canopy	1	Sq Ft	1,000	
97	Attached Canopy	1	Sq Ft	1,000	
98	Attached Canopy	1	Sq Ft	1,000	
99	Attached Canopy	1	Sq Ft	1,000	
100	Attached Canopy	1	Sq Ft	1,000	

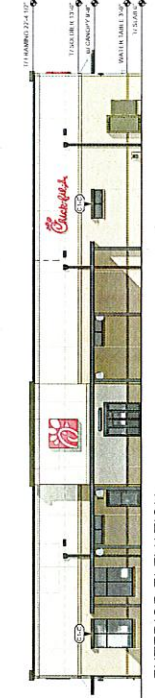
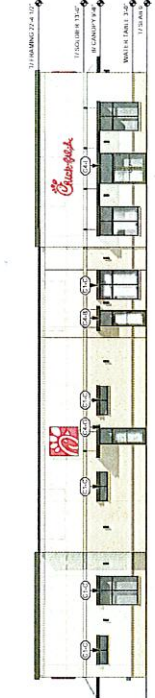
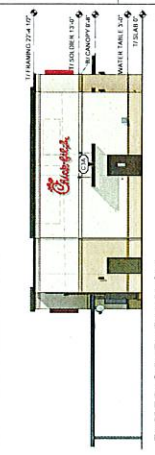
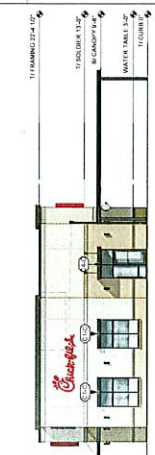


**REF. ENCLOSURE FINISHES**

(1) BRICK	BRICK
(2) CONCRETE	CONCRETE
(3) STUCCO	STUCCO
(4) METAL PANELING	METAL PANELING
(5) GLASS	GLASS
(6) PAINT	PAINT
(7) CERAMIC TILE	CERAMIC TILE
(8) GRANITE	GRANITE
(9) MARBLE	MARBLE
(10) QUARTZ	QUARTZ
(11) SOLID SURFACE	SOLID SURFACE
(12) WOOD	WOOD
(13) VINYL	VINYL
(14) CARPET	CARPET
(15) RUG	RUG
(16) FLOORING	FLOORING
(17) CEILING	CEILING
(18) WALL	WALL
(19) DOOR	DOOR
(20) WINDOW	WINDOW
(21) ROOFING	ROOFING
(22) Siding	Siding
(23) Shingles	Shingles
(24) Asphalt	Asphalt
(25) Concrete	Concrete
(26) Gravel	Gravel
(27) Sand	Sand
(28) Soil	Soil
(29) Earth	Earth
(30) Rock	Rock
(31) Stone	Stone
(32) Brick	Brick
(33) Tile	Tile
(34) Glass	Glass
(35) Metal	Metal
(36) Wood	Wood
(37) Plastic	Plastic
(38) Rubber	Rubber
(39) Fabric	Fabric
(40) Paper	Paper
(41) Concrete	Concrete
(42) Gravel	Gravel
(43) Sand	Sand
(44) Soil	Soil
(45) Earth	Earth
(46) Rock	Rock
(47) Stone	Stone
(48) Brick	Brick
(49) Tile	Tile
(50) Glass	Glass
(51) Metal	Metal
(52) Wood	Wood

**QP CANOPY FINISHES**

(1) BRICK	BRICK
(2) CONCRETE	CONCRETE
(3) STUCCO	STUCCO
(4) METAL PANELING	METAL PANELING
(5) GLASS	GLASS
(6) PAINT	PAINT
(7) CERAMIC TILE	CERAMIC TILE
(8) GRANITE	GRANITE
(9) MARBLE	MARBLE
(10) QUARTZ	QUARTZ
(11) SOLID SURFACE	SOLID SURFACE
(12) WOOD	WOOD
(13) VINYL	VINYL
(14) CARPET	CARPET
(15) RUG	RUG
(16) FLOORING	FLOORING
(17) CEILING	CEILING
(18) WALL	WALL
(19) DOOR	DOOR
(20) WINDOW	WINDOW
(21) ROOFING	ROOFING
(22) Siding	Siding
(23) Shingles	Shingles
(24) Asphalt	Asphalt
(25) Concrete	Concrete
(26) Gravel	Gravel
(27) Sand	Sand
(28) Soil	Soil
(29) Earth	Earth
(30) Rock	Rock
(31) Stone	Stone
(32) Brick	Brick
(33) Tile	Tile
(34) Glass	Glass
(35) Metal	Metal
(36) Wood	Wood
(37) Plastic	Plastic
(38) Rubber	Rubber
(39) Fabric	Fabric
(40) Paper	Paper
(41) Concrete	Concrete
(42) Gravel	Gravel
(43) Sand	Sand
(44) Soil	Soil
(45) Earth	Earth
(46) Rock	Rock
(47) Stone	Stone
(48) Brick	Brick
(49) Tile	Tile
(50) Glass	Glass
(51) Metal	Metal
(52) Wood	Wood

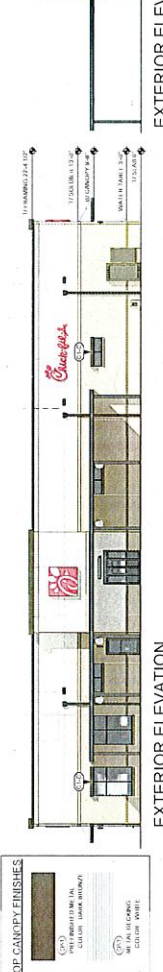
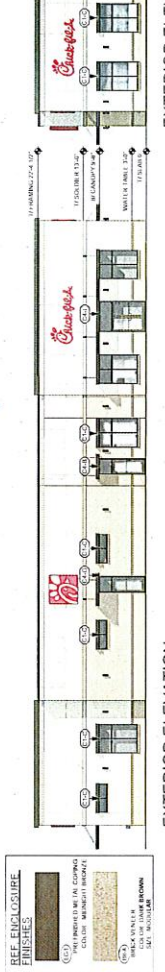
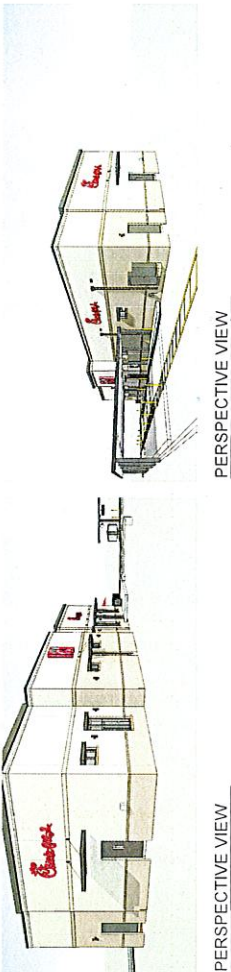
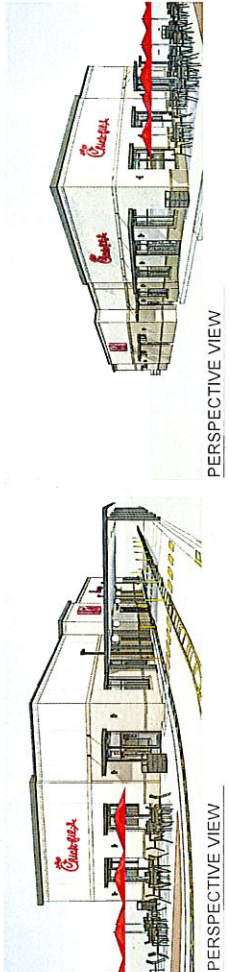


Oldham Village - Lot 8

DESIGN DEVELOPMENT

X-900



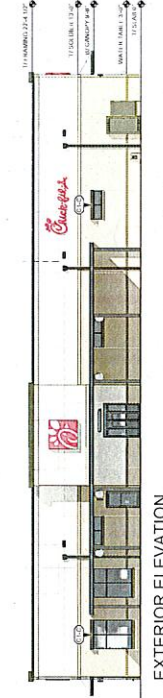
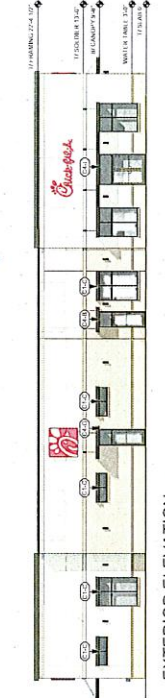
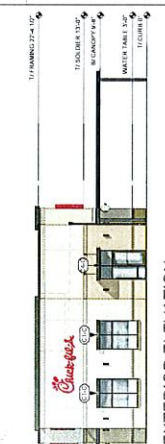
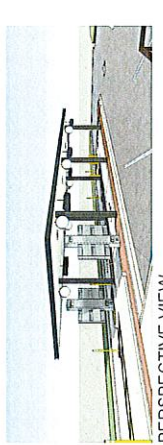
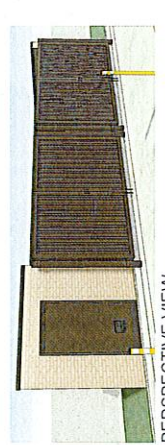


**EXTERIOR FINISHES**

(01) BRICK VENTILATION REGION BRICK VENTILATION REGION COLOR: MICHIGAN	(02) BRICK VENTILATION REGION BRICK VENTILATION REGION COLOR: MICHIGAN	(03) BRICK VENTILATION REGION BRICK VENTILATION REGION COLOR: MICHIGAN
(04) BRICK VENTILATION REGION BRICK VENTILATION REGION COLOR: MICHIGAN	(05) BRICK VENTILATION REGION BRICK VENTILATION REGION COLOR: MICHIGAN	(06) BRICK VENTILATION REGION BRICK VENTILATION REGION COLOR: MICHIGAN

**ATTACHED CANOPY SCHEDULE**

NO.	DESCRIPTION	QTY	UNIT	DATE	BY
1	Attached Canopy	1	Sq Ft	08/15/18	CDA
2	Attached Canopy	1	Sq Ft	08/15/18	CDA
3	Attached Canopy	1	Sq Ft	08/15/18	CDA
4	Attached Canopy	1	Sq Ft	08/15/18	CDA
5	Attached Canopy	1	Sq Ft	08/15/18	CDA
6	Attached Canopy	1	Sq Ft	08/15/18	CDA
7	Attached Canopy	1	Sq Ft	08/15/18	CDA
8	Attached Canopy	1	Sq Ft	08/15/18	CDA
9	Attached Canopy	1	Sq Ft	08/15/18	CDA
10	Attached Canopy	1	Sq Ft	08/15/18	CDA
11	Attached Canopy	1	Sq Ft	08/15/18	CDA
12	Attached Canopy	1	Sq Ft	08/15/18	CDA
13	Attached Canopy	1	Sq Ft	08/15/18	CDA
14	Attached Canopy	1	Sq Ft	08/15/18	CDA
15	Attached Canopy	1	Sq Ft	08/15/18	CDA
16	Attached Canopy	1	Sq Ft	08/15/18	CDA
17	Attached Canopy	1	Sq Ft	08/15/18	CDA
18	Attached Canopy	1	Sq Ft	08/15/18	CDA
19	Attached Canopy	1	Sq Ft	08/15/18	CDA
20	Attached Canopy	1	Sq Ft	08/15/18	CDA
21	Attached Canopy	1	Sq Ft	08/15/18	CDA
22	Attached Canopy	1	Sq Ft	08/15/18	CDA
23	Attached Canopy	1	Sq Ft	08/15/18	CDA
24	Attached Canopy	1	Sq Ft	08/15/18	CDA
25	Attached Canopy	1	Sq Ft	08/15/18	CDA
26	Attached Canopy	1	Sq Ft	08/15/18	CDA
27	Attached Canopy	1	Sq Ft	08/15/18	CDA
28	Attached Canopy	1	Sq Ft	08/15/18	CDA
29	Attached Canopy	1	Sq Ft	08/15/18	CDA
30	Attached Canopy	1	Sq Ft	08/15/18	CDA
31	Attached Canopy	1	Sq Ft	08/15/18	CDA
32	Attached Canopy	1	Sq Ft	08/15/18	CDA
33	Attached Canopy	1	Sq Ft	08/15/18	CDA
34	Attached Canopy	1	Sq Ft	08/15/18	CDA
35	Attached Canopy	1	Sq Ft	08/15/18	CDA
36	Attached Canopy	1	Sq Ft	08/15/18	CDA
37	Attached Canopy	1	Sq Ft	08/15/18	CDA
38	Attached Canopy	1	Sq Ft	08/15/18	CDA
39	Attached Canopy	1	Sq Ft	08/15/18	CDA
40	Attached Canopy	1	Sq Ft	08/15/18	CDA
41	Attached Canopy	1	Sq Ft	08/15/18	CDA
42	Attached Canopy	1	Sq Ft	08/15/18	CDA
43	Attached Canopy	1	Sq Ft	08/15/18	CDA
44	Attached Canopy	1	Sq Ft	08/15/18	CDA
45	Attached Canopy	1	Sq Ft	08/15/18	CDA
46	Attached Canopy	1	Sq Ft	08/15/18	CDA
47	Attached Canopy	1	Sq Ft	08/15/18	CDA
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49	Attached Canopy	1	Sq Ft	08/15/18	CDA
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59	Attached Canopy	1	Sq Ft	08/15/18	CDA
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63	Attached Canopy	1	Sq Ft	08/15/18	CDA
64	Attached Canopy	1	Sq Ft	08/15/18	CDA
65	Attached Canopy	1	Sq Ft	08/15/18	CDA
66	Attached Canopy	1	Sq Ft	08/15/18	CDA
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69	Attached Canopy	1	Sq Ft	08/15/18	CDA
70	Attached Canopy	1	Sq Ft	08/15/18	CDA
71	Attached Canopy	1	Sq Ft	08/15/18	CDA
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73	Attached Canopy	1	Sq Ft	08/15/18	CDA
74	Attached Canopy	1	Sq Ft	08/15/18	CDA
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76	Attached Canopy	1	Sq Ft	08/15/18	CDA
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79	Attached Canopy	1	Sq Ft	08/15/18	CDA
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81	Attached Canopy	1	Sq Ft	08/15/18	CDA
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83	Attached Canopy	1	Sq Ft	08/15/18	CDA
84	Attached Canopy	1	Sq Ft	08/15/18	CDA
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94	Attached Canopy	1	Sq Ft	08/15/18	CDA
95	Attached Canopy	1	Sq Ft	08/15/18	CDA
96	Attached Canopy	1	Sq Ft	08/15/18	CDA
97	Attached Canopy	1	Sq Ft	08/15/18	CDA
98	Attached Canopy	1	Sq Ft	08/15/18	CDA
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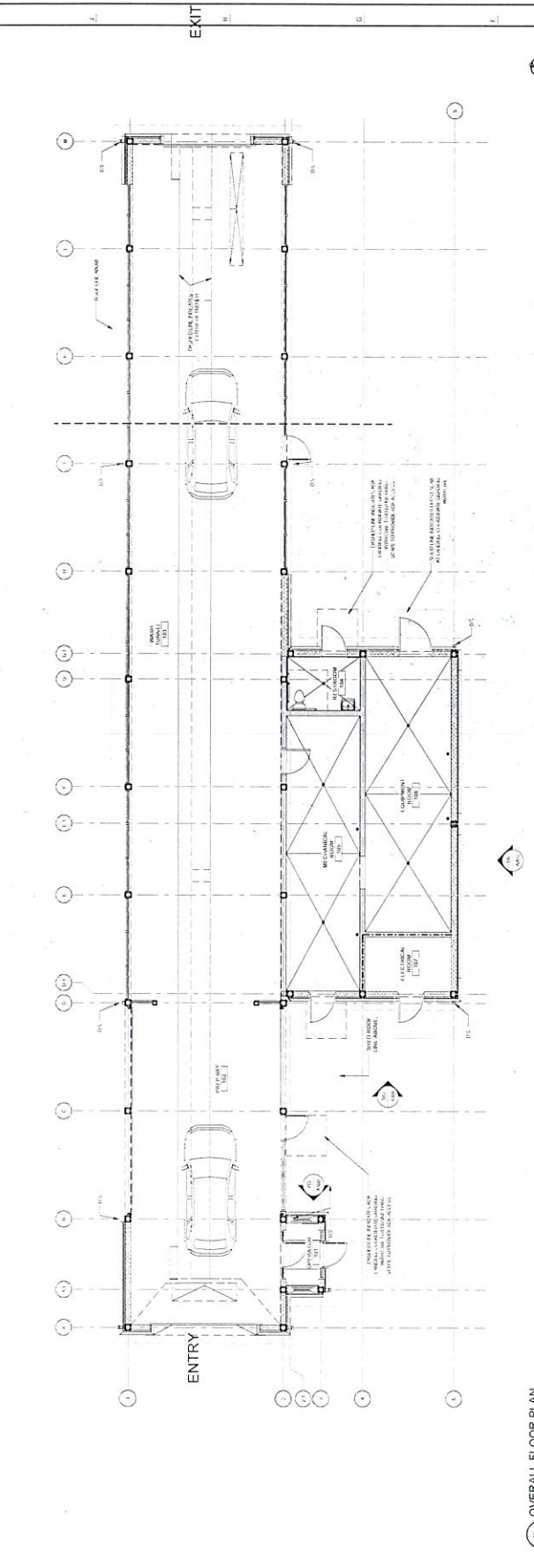


**BEE ENCLOSURE FINISHES**

(01) BRICK VENTILATION REGION BRICK VENTILATION REGION COLOR: MICHIGAN	(02) BRICK VENTILATION REGION BRICK VENTILATION REGION COLOR: MICHIGAN
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**OP CANOPY FINISHES**

(01) BRICK VENTILATION REGION BRICK VENTILATION REGION COLOR: MICHIGAN	(02) BRICK VENTILATION REGION BRICK VENTILATION REGION COLOR: MICHIGAN
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1 OVERALL FLOOR PLAN  
DATE: 10/1/2024

EXTERIOR MATERIAL LEGEND

<p>MARK: E1.1 DESCRIPTION: POLISHED CONCRETE NOTES: POLISHED CONCRETE</p>	<p>MARK: E1.2 DESCRIPTION: POLISHED CONCRETE NOTES: POLISHED CONCRETE</p>	<p>MARK: E1.3 DESCRIPTION: POLISHED CONCRETE NOTES: POLISHED CONCRETE</p>	<p>MARK: E1.4 DESCRIPTION: POLISHED CONCRETE NOTES: POLISHED CONCRETE</p>
<p>MARK: E2.1 DESCRIPTION: POLISHED CONCRETE NOTES: POLISHED CONCRETE</p>	<p>MARK: E2.2 DESCRIPTION: POLISHED CONCRETE NOTES: POLISHED CONCRETE</p>	<p>MARK: E2.3 DESCRIPTION: POLISHED CONCRETE NOTES: POLISHED CONCRETE</p>	<p>MARK: E2.4 DESCRIPTION: POLISHED CONCRETE NOTES: POLISHED CONCRETE</p>

EXTERIOR & INTERIOR FINISHES

MARK	FINISH	DESCRIPTION
E1.1	POLISHED CONCRETE	POLISHED CONCRETE
E1.2	POLISHED CONCRETE	POLISHED CONCRETE
E1.3	POLISHED CONCRETE	POLISHED CONCRETE
E1.4	POLISHED CONCRETE	POLISHED CONCRETE
E2.1	POLISHED CONCRETE	POLISHED CONCRETE
E2.2	POLISHED CONCRETE	POLISHED CONCRETE
E2.3	POLISHED CONCRETE	POLISHED CONCRETE
E2.4	POLISHED CONCRETE	POLISHED CONCRETE

ROOM FINISH SCHEDULE

MARK	FINISH	DESCRIPTION
R1.1	POLISHED CONCRETE	POLISHED CONCRETE
R1.2	POLISHED CONCRETE	POLISHED CONCRETE
R1.3	POLISHED CONCRETE	POLISHED CONCRETE
R1.4	POLISHED CONCRETE	POLISHED CONCRETE
R2.1	POLISHED CONCRETE	POLISHED CONCRETE
R2.2	POLISHED CONCRETE	POLISHED CONCRETE
R2.3	POLISHED CONCRETE	POLISHED CONCRETE
R2.4	POLISHED CONCRETE	POLISHED CONCRETE

NOT FOR CONSTRUCTION

PROJECT: TIDAL WAVE AUTO SPA  
ARCHITECT: rezstark ARCHITECTURAL DESIGN LLC  
DATE: 10/1/2024  
SHEET: A801



ARCHITECT

**reztark**

REZTARK DESIGN GROUP, LLC  
1000 W. WASHINGTON ST.  
ANN ARBOR, MI 48106  
734.769.1000

PROJECT



1000 W. WASHINGTON ST.  
ANN ARBOR, MI 48106

CLIENT

THE ARCHITECTS  
1000 W. WASHINGTON ST.  
ANN ARBOR, MI 48106

CONSULTANT

STRUCTURAL ARCHITECTS  
2000 W. WASHINGTON ST.  
ANN ARBOR, MI 48106

M.E.C. ENGINEERING  
1000 W. WASHINGTON ST.  
ANN ARBOR, MI 48106

MECHANICAL ENGINEERS  
1000 W. WASHINGTON ST.  
ANN ARBOR, MI 48106

ELECTRICAL ENGINEERS  
1000 W. WASHINGTON ST.  
ANN ARBOR, MI 48106

MECHANICAL ENGINEERS  
1000 W. WASHINGTON ST.  
ANN ARBOR, MI 48106

SCALE

NOT FOR CONSTRUCTION

PROJECT NUMBER

DATE

DESCRIPTION

DATE

DESCRIPTION

DATE

DESCRIPTION

DATE

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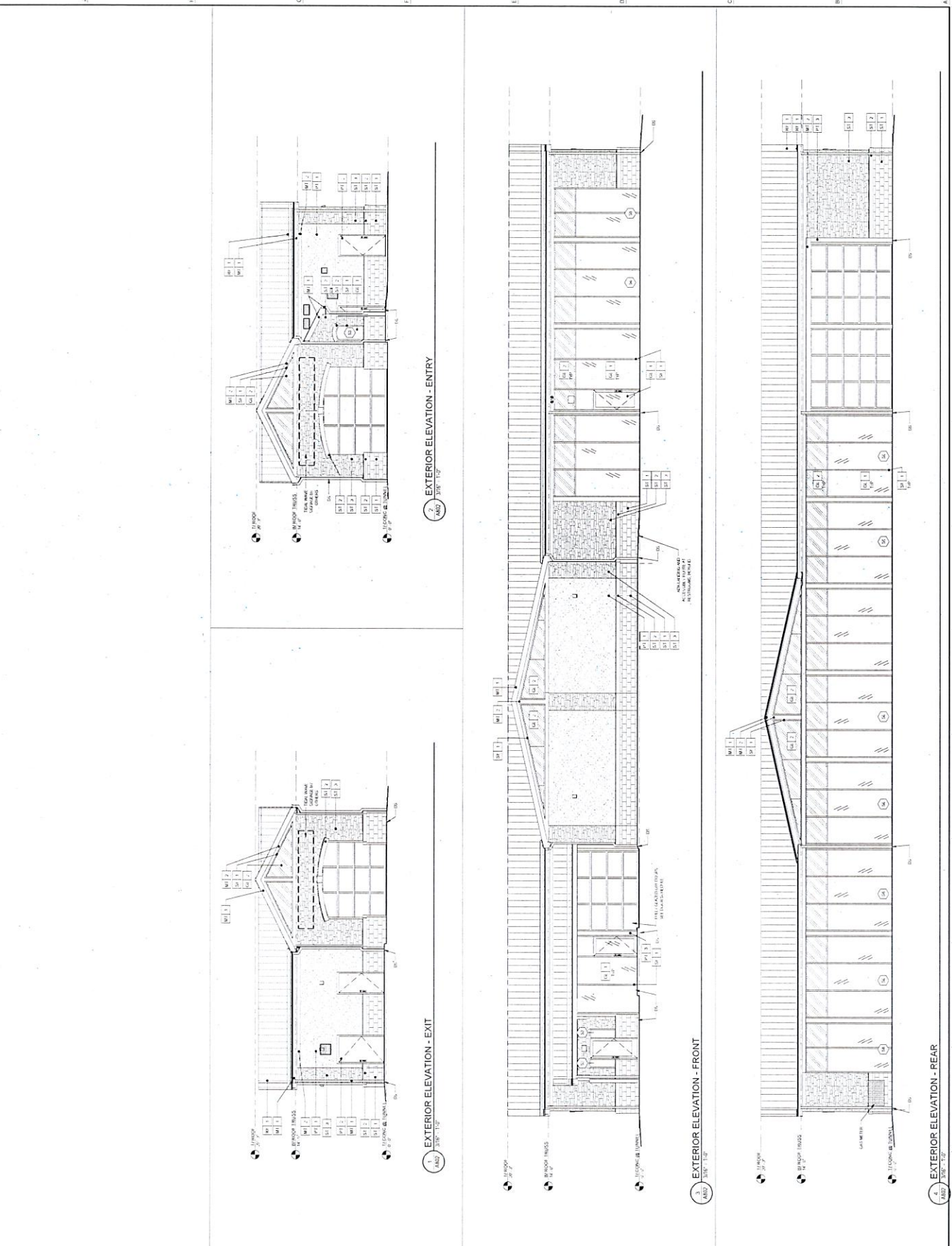
DESCRIPTION

DATE

DESCRIPTION

DATE

DESCRIPTION



1. EXTERIOR ELEVATION - ENTRY

2. EXTERIOR ELEVATION - EXIT

3. EXTERIOR ELEVATION - FRONT

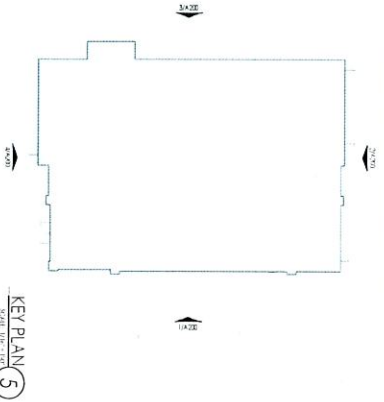
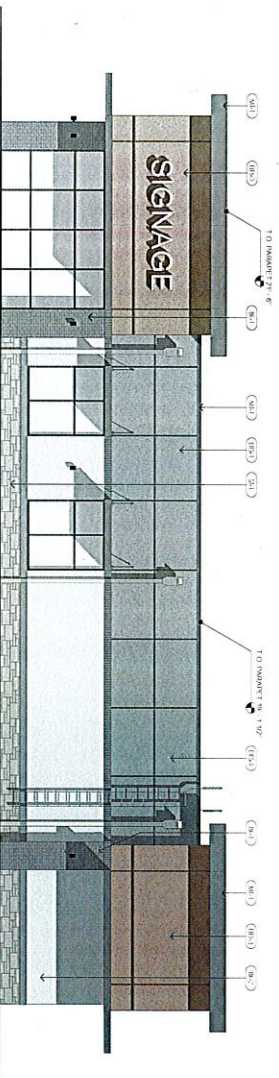
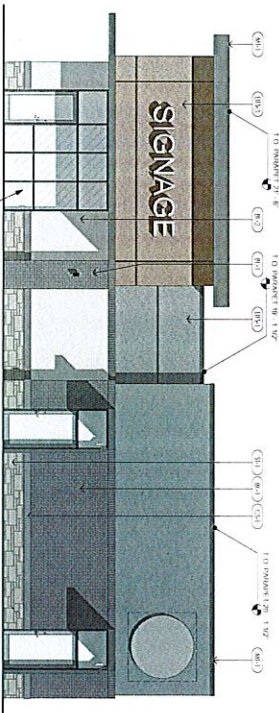
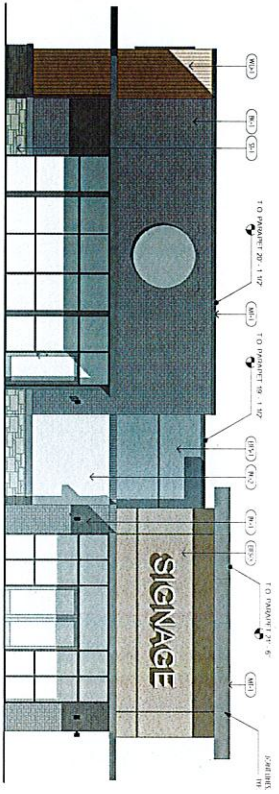
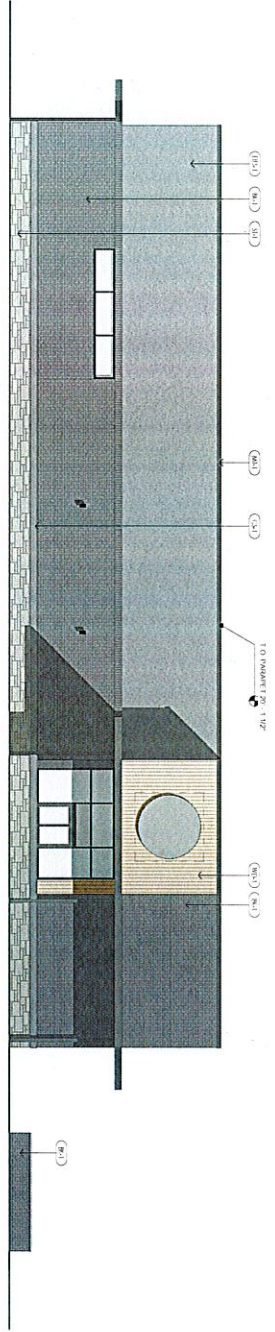
4. EXTERIOR ELEVATION - REAR







EXTERIOR FINISH LEGEND		FINISH CODES	
NO. 1	CLAY TILE	NO. 10	PAVING
NO. 2	CONCRETE	NO. 11	WOOD
NO. 3	BRICK	NO. 12	GLASS
NO. 4	STUCCO	NO. 13	ROOFING
NO. 5	SMOOTH CONCRETE	NO. 14	LANDSCAPE
NO. 6	ROUGH CONCRETE	NO. 15	MECHANICAL
NO. 7	PAINT	NO. 16	ELECTRICAL
NO. 8	WOOD SHAKES	NO. 17	PLUMBING
NO. 9	WOOD SIDING	NO. 18	MECHANICAL
NO. 10	PAVING	NO. 19	ELECTRICAL
NO. 11	WOOD	NO. 20	PLUMBING
NO. 12	GLASS	NO. 21	MECHANICAL
NO. 13	ROOFING	NO. 22	ELECTRICAL
NO. 14	LANDSCAPE	NO. 23	PLUMBING
NO. 15	MECHANICAL	NO. 24	MECHANICAL
NO. 16	ELECTRICAL	NO. 25	ELECTRICAL
NO. 17	PLUMBING	NO. 26	PLUMBING
NO. 18	MECHANICAL	NO. 27	MECHANICAL
NO. 19	ELECTRICAL	NO. 28	ELECTRICAL
NO. 20	PLUMBING	NO. 29	PLUMBING
NO. 21	MECHANICAL	NO. 30	MECHANICAL
NO. 22	ELECTRICAL	NO. 31	ELECTRICAL
NO. 23	PLUMBING	NO. 32	PLUMBING
NO. 24	MECHANICAL	NO. 33	MECHANICAL
NO. 25	ELECTRICAL	NO. 34	ELECTRICAL
NO. 26	PLUMBING	NO. 35	PLUMBING
NO. 27	MECHANICAL	NO. 36	MECHANICAL
NO. 28	ELECTRICAL	NO. 37	ELECTRICAL
NO. 29	PLUMBING	NO. 38	PLUMBING
NO. 30	MECHANICAL	NO. 39	MECHANICAL
NO. 31	ELECTRICAL	NO. 40	ELECTRICAL
NO. 32	PLUMBING	NO. 41	PLUMBING
NO. 33	MECHANICAL	NO. 42	MECHANICAL
NO. 34	ELECTRICAL	NO. 43	ELECTRICAL
NO. 35	PLUMBING	NO. 44	PLUMBING
NO. 36	MECHANICAL	NO. 45	MECHANICAL
NO. 37	ELECTRICAL	NO. 46	ELECTRICAL
NO. 38	PLUMBING	NO. 47	PLUMBING
NO. 39	MECHANICAL	NO. 48	MECHANICAL
NO. 40	ELECTRICAL	NO. 49	ELECTRICAL
NO. 41	PLUMBING	NO. 50	PLUMBING
NO. 42	MECHANICAL	NO. 51	MECHANICAL
NO. 43	ELECTRICAL	NO. 52	ELECTRICAL
NO. 44	PLUMBING	NO. 53	PLUMBING
NO. 45	MECHANICAL	NO. 54	MECHANICAL
NO. 46	ELECTRICAL	NO. 55	ELECTRICAL
NO. 47	PLUMBING	NO. 56	PLUMBING
NO. 48	MECHANICAL	NO. 57	MECHANICAL
NO. 49	ELECTRICAL	NO. 58	ELECTRICAL
NO. 50	PLUMBING	NO. 59	PLUMBING
NO. 51	MECHANICAL	NO. 60	MECHANICAL
NO. 52	ELECTRICAL	NO. 61	ELECTRICAL
NO. 53	PLUMBING	NO. 62	PLUMBING
NO. 54	MECHANICAL	NO. 63	MECHANICAL
NO. 55	ELECTRICAL	NO. 64	ELECTRICAL
NO. 56	PLUMBING	NO. 65	PLUMBING
NO. 57	MECHANICAL	NO. 66	MECHANICAL
NO. 58	ELECTRICAL	NO. 67	ELECTRICAL
NO. 59	PLUMBING	NO. 68	PLUMBING
NO. 60	MECHANICAL	NO. 69	MECHANICAL
NO. 61	ELECTRICAL	NO. 70	ELECTRICAL
NO. 62	PLUMBING	NO. 71	PLUMBING
NO. 63	MECHANICAL	NO. 72	MECHANICAL
NO. 64	ELECTRICAL	NO. 73	ELECTRICAL
NO. 65	PLUMBING	NO. 74	PLUMBING
NO. 66	MECHANICAL	NO. 75	MECHANICAL
NO. 67	ELECTRICAL	NO. 76	ELECTRICAL
NO. 68	PLUMBING	NO. 77	PLUMBING
NO. 69	MECHANICAL	NO. 78	MECHANICAL
NO. 70	ELECTRICAL	NO. 79	ELECTRICAL
NO. 71	PLUMBING	NO. 80	PLUMBING
NO. 72	MECHANICAL	NO. 81	MECHANICAL
NO. 73	ELECTRICAL	NO. 82	ELECTRICAL
NO. 74	PLUMBING	NO. 83	PLUMBING
NO. 75	MECHANICAL	NO. 84	MECHANICAL
NO. 76	ELECTRICAL	NO. 85	ELECTRICAL
NO. 77	PLUMBING	NO. 86	PLUMBING
NO. 78	MECHANICAL	NO. 87	MECHANICAL
NO. 79	ELECTRICAL	NO. 88	ELECTRICAL
NO. 80	PLUMBING	NO. 89	PLUMBING
NO. 81	MECHANICAL	NO. 90	MECHANICAL
NO. 82	ELECTRICAL	NO. 91	ELECTRICAL
NO. 83	PLUMBING	NO. 92	PLUMBING
NO. 84	MECHANICAL	NO. 93	MECHANICAL
NO. 85	ELECTRICAL	NO. 94	ELECTRICAL
NO. 86	PLUMBING	NO. 95	PLUMBING
NO. 87	MECHANICAL	NO. 96	MECHANICAL
NO. 88	ELECTRICAL	NO. 97	ELECTRICAL
NO. 89	PLUMBING	NO. 98	PLUMBING
NO. 90	MECHANICAL	NO. 99	MECHANICAL
NO. 91	ELECTRICAL	NO. 100	ELECTRICAL



**Kloverarchitects**

1001 HUNTERS LANE, SUITE 400 • IRVING, TX 75039  
 PH: 714.447.4411 • FX: 714.447.4422 • WWW.KLOVERARCH.COM

**Oldham Village - Lot 10**

**EXTERIOR ELEVATIONS**

SCALE: AS SHOWN





JOB NO. 24-001  
 DATE 08.17.23  
 DRAWN BY RPK/AL  
 PRELIM DEVELOP. PLAN

SKETCH NAME  
 EXTERIOR  
 RENDERINGS  
 SHEET NO.

**A3.00**

**OLDHAM VILLAGE**  
 50 & 291 MIXED USE  
 LEES SUMMIT, MISSOURI

SHANNON W. LAKE, LLC  
 4815 Poplar Avenue  
 Lees Summit, MO 64082



**NSPJ ARCHITECTS,**  
 3515 W. 75TH ST., SUITE 201  
 PRAIRIE VILLAGE, KS 66208  
 P. 913.831.1415  
 NSPJARCH.COM

ARCHITECTURE  
 LANDSCAPE  
 ARCHITECTURE  
 ENERGY SERVICES



PHASE I CLUBHOUSE



PHASE II POOL COURTYARD



AERIAL VIEW OF PHASE I & II LOOKING SOUTH



PHASE II SOUTH COURTYARD AND CLUBHOUSE





# OLDHAM VILLAGE

50 & 291 MIXED USE  
 LEES SUMMIT, MISSOURI

DRAWING IN L.A.S.E. LOD.  
 4/20/2019 10:00 AM

REVISIONS

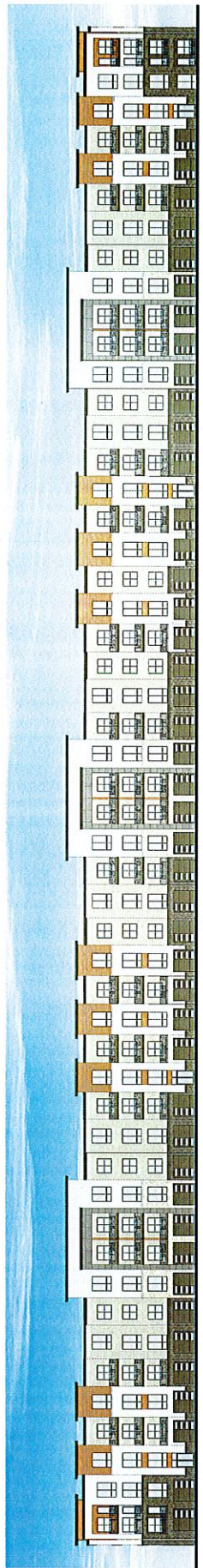
DATE: 03.17.23  
 DRAWN BY: RKL/G  
 CHECKED BY: RKL/G  
 PROJECT: PRELIM DEVELOP. PLAN

SCALE: AS SHOWN  
 SHEET: EXTERIOR ELEVATIONS

## A3.10



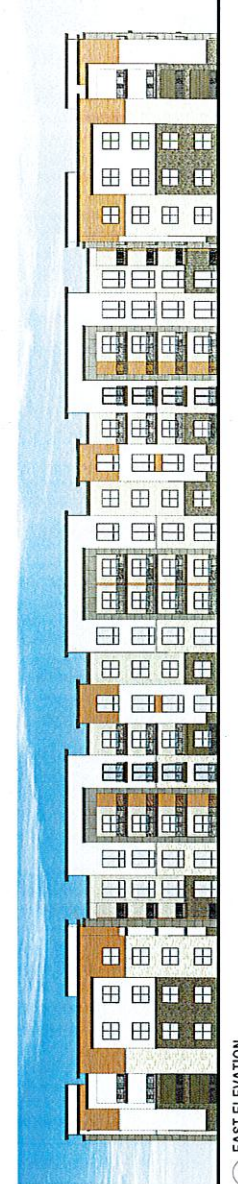
1 NORTH ELEVATION  
 Scale: 1" = 20'-0"



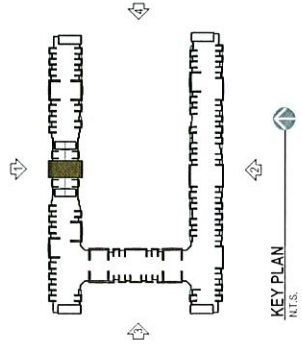
2 SOUTH ELEVATION  
 Scale: 1" = 20'-0"



3 WEST ELEVATION  
 Scale: 1" = 20'-0"



4 EAST ELEVATION  
 Scale: 1" = 20'-0"



MATERIAL LEGEND	
[Pattern]	LAP SIDING
[Pattern]	SW SNOWBOUND 7044
[Pattern]	LAP SIDING
[Pattern]	SW LOGGING PATH 7638
[Pattern]	LAP SIDING
[Pattern]	SW URBANE BRONZE 7048
[Pattern]	LAP SIDING
[Pattern]	WOODLOOK
[Pattern]	STONE VENEER
[Pattern]	BRICK VENEER
[Pattern]	ENDICOTT + SIENNA IRONPOT
[Pattern]	TRIM
[Pattern]	SW URBANE BRONZE 7048
[Pattern]	FIBER CEMENT PANELS

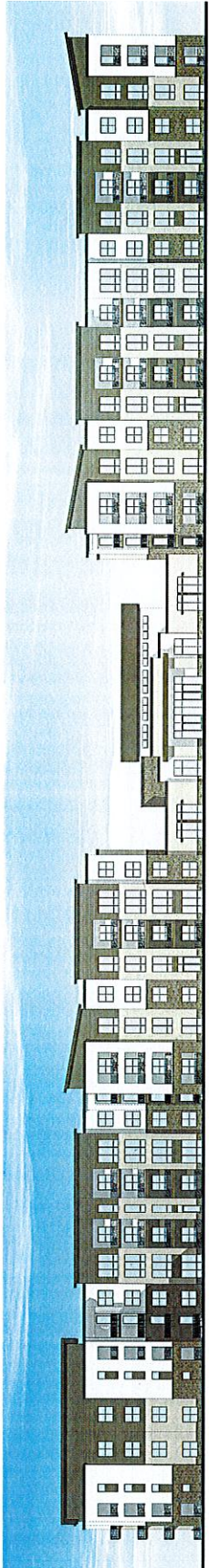




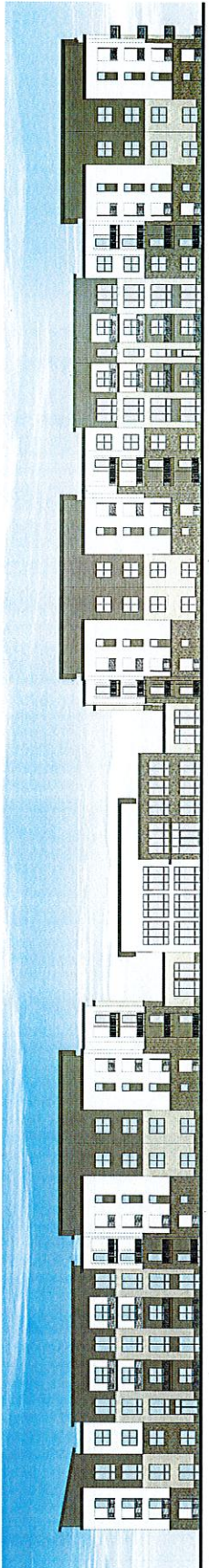
DRAWING SCALE: LOD  
 1/8" = 1'-0"

DATE: 03/17/23  
 DRAWN BY: RMLG  
 PROJECT: PREMIUM DEVELOP. PLAN

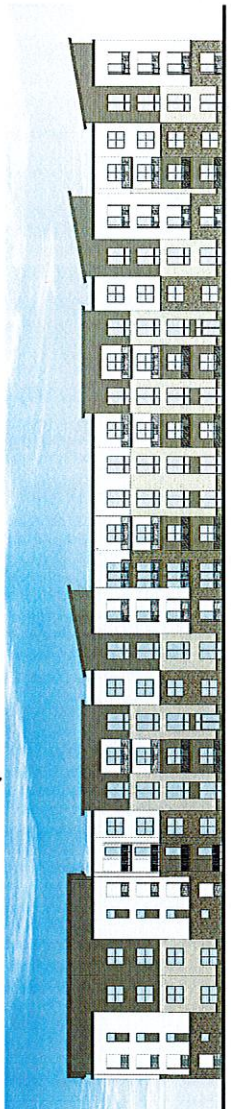
SHEET NAME: EXTERIOR ELEVATIONS  
 SHEET NO.: A3.20



1 SOUTH ELEVATION  
 Scale: 1" = 20'0"



2 NORTH ELEVATION  
 Scale: 1" = 20'0"



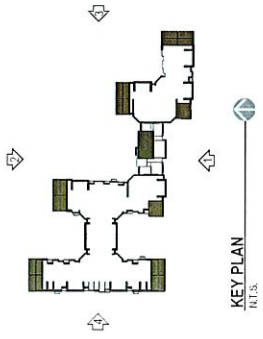
3 EAST ELEVATION  
 Scale: 1" = 20'0"



4 WEST ELEVATION  
 Scale: 1" = 20'0"

MATERIAL LEGEND

- LAP SIDING SW SHIMBO/JHD 7004
- LAP SIDING SW LOGGING PATH 7038
- LAP SIDING SW URBANE BRONZE 7048
- BRICK VENEER ENKOCOTT - SIENNA IRONSPOT
- TRIM SW URBANE BRONZE 7048











PANDA EXPRESS, INC.  
1850 Walnut Grove Ave.  
Rosemead, California  
91768  
Tel: 626.262.8888  
Fax: 626.262.8888

THIS PLAN IS THE PROPERTY OF PANDA EXPRESS, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS TO BE KEPT IN THE OFFICE OF THE ARCHITECT AND NOT REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF PANDA EXPRESS, INC.

REVISIONS

ISSUE DATE

DRAWN BY

PANDA PROJECT #

PANDA STORE #

ARCH PROJECT #

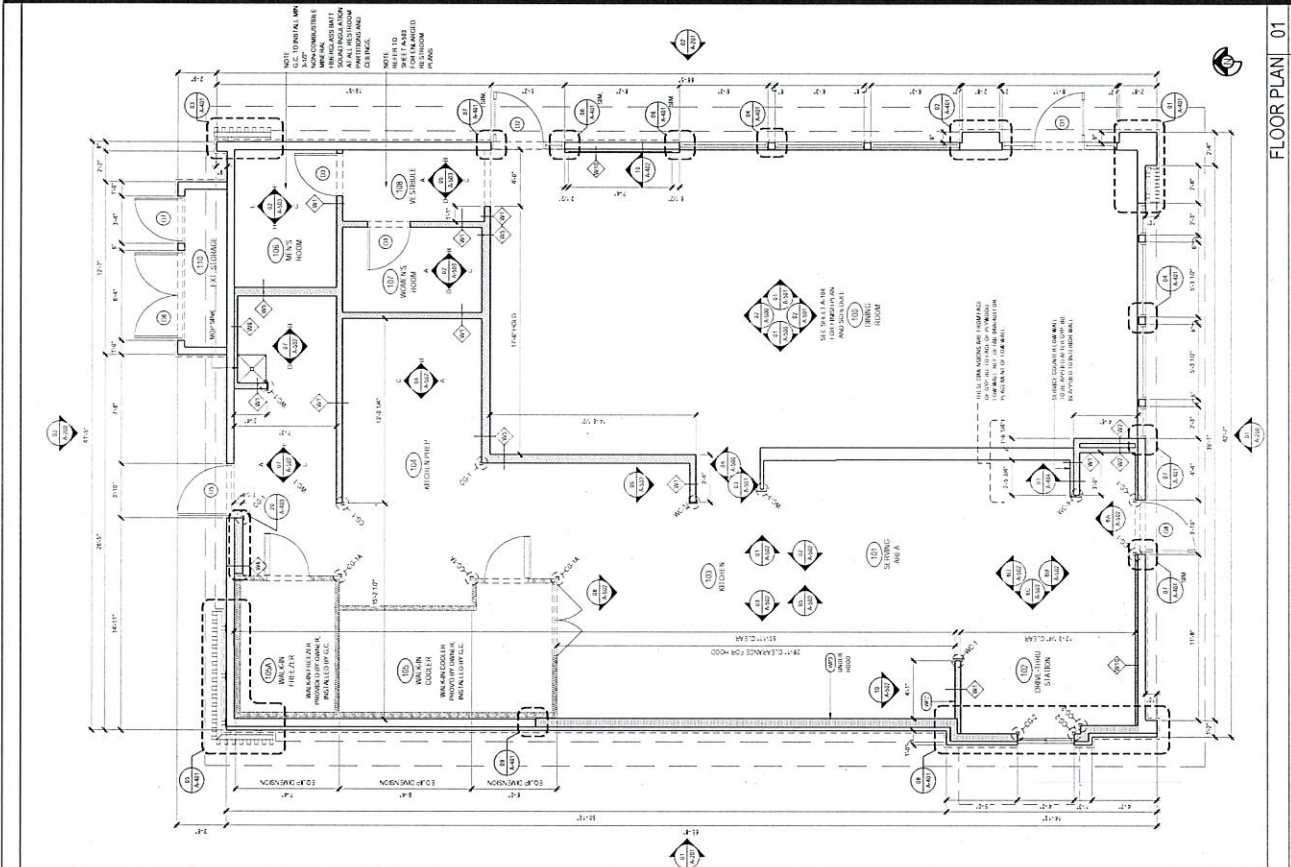


PANDA EXPRESS  
PANDA HOME  
RT 291 & SWAYNE BLVD  
LEES SUMMIT, MO 64081

A-105

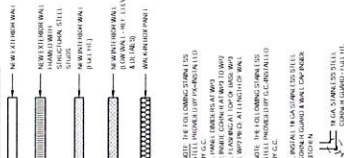
REFLECTED CEILING PLAN

PANDA HOME, I-3



FLOOR PLAN 01  
Scale: 1/4" = 1'-0" A-103

WALL LEGEND



NOTE: CONTRACTOR TO NOTIFY 3rd PARTY VENDOR, PER THE WALL PRE-TREAT BEFORE CLOSING WALLS

**FINISH SCHEDULE**

FLOOR	WALL	CEILING
000	1/2\"/>	

**DOOR & HARDWARE SCHEDULE**

NO.	DESCRIPTION	FINISH	MARK
001	1/2\"/>		

**WALL SCHEDULE**

NO.	DESCRIPTION	FINISH	MARK
001	1/2\"/>		

**SPECIAL SURFACE SCHEDULE**

NO.	MANUFACTURER	DESCRIPTION	FINISH	MARK
001	0000	0000	0000	0000

**PAINT SCHEDULE**

NO.	MANUFACTURER	DESCRIPTION	FINISH	MARK
001	0000	0000	0000	0000

TILE SCHEDULE (SEE SHEET A-104)





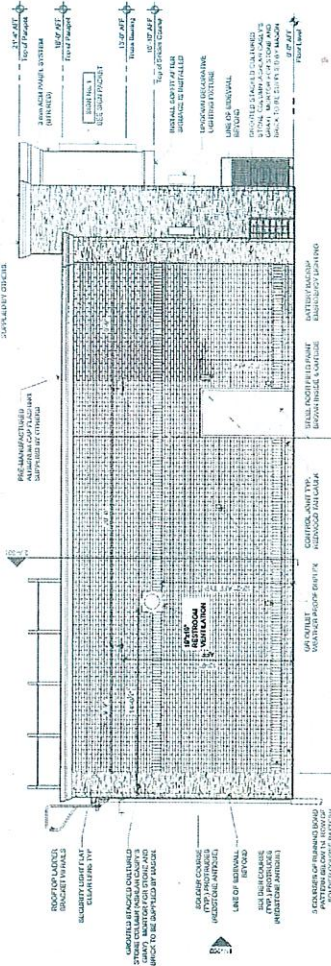




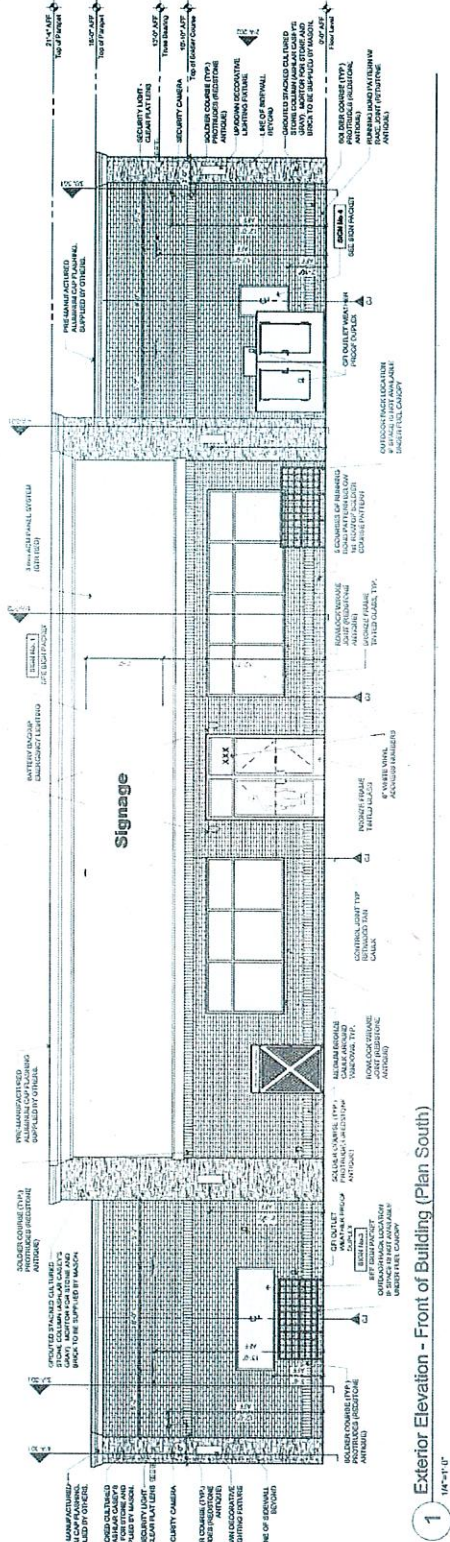


**General Notes**

1. ALL WORK SHOWN ON THIS DRAWING IS TO BE CONSIDERED AS PART OF THE PROJECT AND SHALL BE REFERENCED TO THIS DRAWING.
2. RELATED DRAWING SHEETS REFER TO THE FOLLOWING:
  - A-101: GENERAL NOTES
  - A-102: EXTERIOR ELEVATIONS
  - A-103: FLOOR PLAN
  - A-104: ROOF PLAN
  - A-105: MECHANICAL PLAN
  - A-106: ELECTRICAL PLAN
  - A-107: PLUMBING PLAN
  - A-108: FINISH SCHEDULES
3. FINISH POINTS: THE FINISH POINTS INDICATED ON THE DRAWING ARE TO BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETION OF THE WORK AND FOR THE PROTECTION OF THE EXISTING WORK.
4. ALL VENT PENETRATIONS ON ROOF OF BUILDING OF ROOF.



2 Exterior Elevation - Left Side of Building (Plan West)  
1/4" = 1'-0"



1 Exterior Elevation - Front of Building (Plan South)  
1/4" = 1'-0"

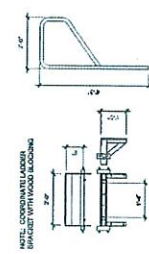
Oldham Village Lot 18  
Convenience Store

2022 1/4" SCALE STORE V. 2.0 1/21/22	EXTERIOR ELEVATIONS
2022 1/4" SCALE	A-201

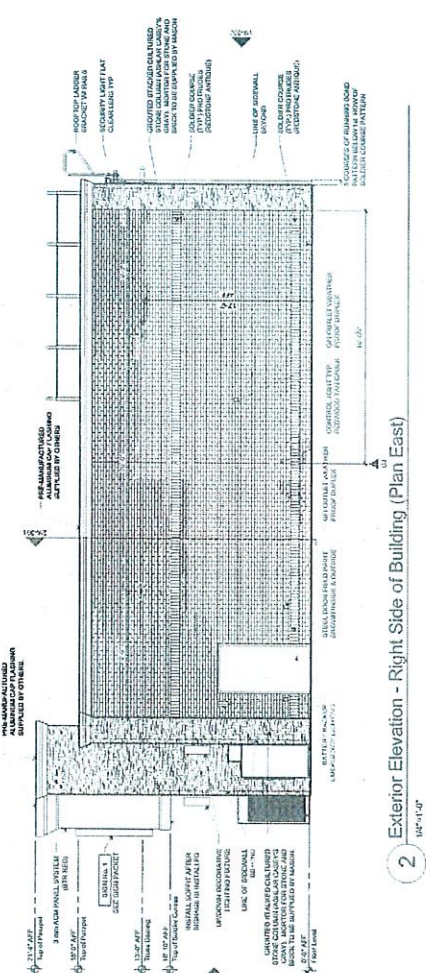


**General Notes**

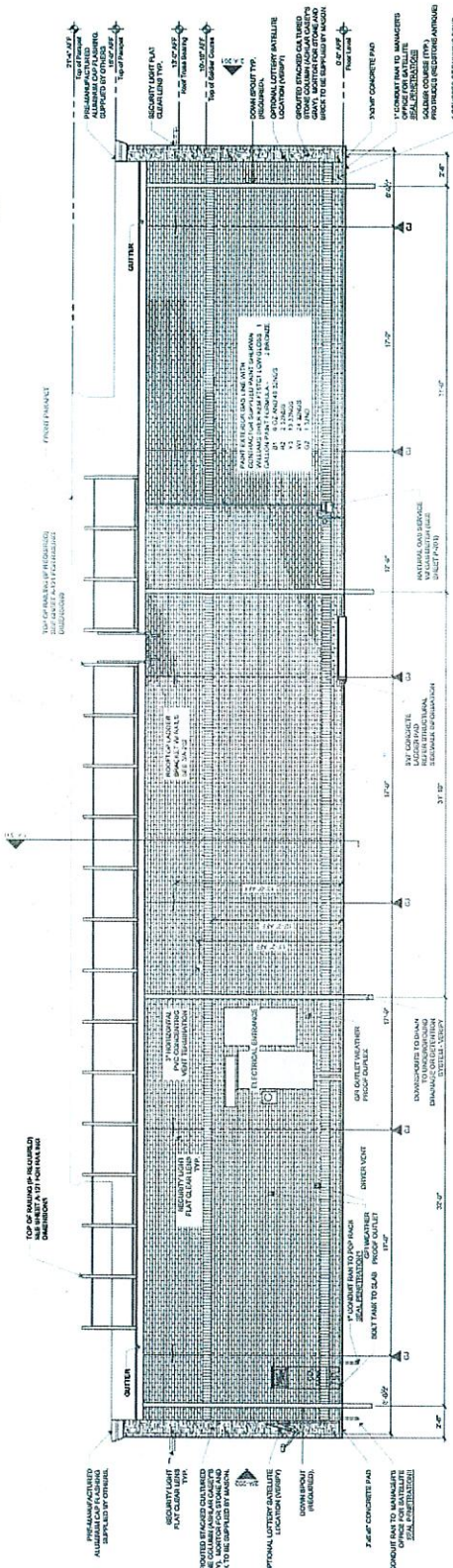
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
2. RELATED DRAWINGS BRACKETS SHALL BE TO THE FOLLOWING:
  - A-101: GENERAL NOTES
  - A-102: FOUNDATION
  - A-103: STRUCTURAL FLOOR PLAN FOR CONSTRUCTION LAYOUT
  - A-104: STRUCTURAL FLOOR PLAN FOR FINISH LAYOUT
  - A-105: ROOF PLAN
  - A-106: MECHANICAL, ELECTRICAL AND PLUMBING
  - A-107: INTERIORS
3. WORKING DIMS. THE WORKING POINT IS INDICATED ON THE DRAWINGS. DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED. CONSTRUCTION OF REFERENCES SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
4. ALL VERTICAL PENETRATIONS ON BACK OF BRACKET OF ROOF.



**3 Ladder Bracket**  
1/2" = 1'-0"



**2 Exterior Elevation - Right Side of Building (Plan East)**  
1/8" = 1'-0"



**1 Exterior Elevation - Back of Building (Plan North)**  
1/8" = 1'-0"

Oldham Village - Lot 18







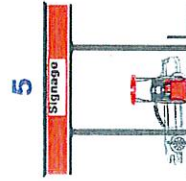
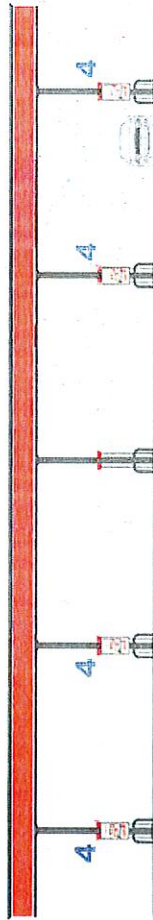
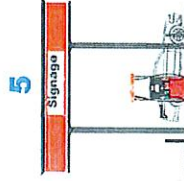
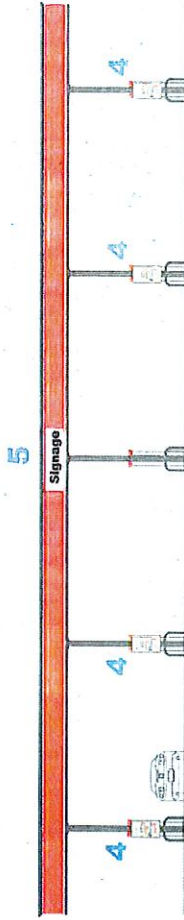








**SIGNS 4, 5**



**Oldham Village - Lot 18**

**GAS CANOPY**  
**5 IN A ROW HEAD-IN**  
DRAWN BY:  
J. CLARK  
DATE:  
02-08-21





**LEE'S SUMMIT**  
MISSOURI

**DEVELOPMENT REVIEW FORM**  
**TRANSPORTATION IMPACT**

<b>DATE:</b>	September 10, 2024	<b>CONDUCTED BY:</b>	Erin Ralovo, PE, PTOE
<b>SUBMITTAL DATE:</b>	July 14, 2023	<b>PHONE:</b>	816.969.1800
<b>APPLICATION #:</b>	PL2023188/PL2024015	<b>EMAIL:</b>	Erin.Ralovo@cityofls.net
<b>PROJECT NAME:</b>	OLDHAM VILLAGE	<b>PROJECT TYPE:</b>	Prel Dev Plan (PDP)

**SURROUNDING ENVIRONMENT** (*Streets, Developments*)

The proposed development is located on the southwest corner of the US 50 and M291 interchange. It is bordered by M291 on the west, US 50 Highway on the north and Persels Road on the south. The area to the west is largely residential. East of M291 is a largely undeveloped commercial/industrial area and to the south of Persels Road is mixed residential and commercial area. Phase 1 is north of the existing intersection of M291 and Oldham Parkway and will be built on the east and west of Oldham Parkway. Phase 2 is south of Oldham Parkway and will be built along the east and west sides of realigned Jefferson Street.

**ALLOWABLE ACCESS**

The proposed development will be accessed from M291 and Oldham Parkway on the north. Oldham will be realigned and the entrance at M291 will be lengthened. From the south, the development will be accessed from Persels Road on Jefferson Street. Jefferson Street will also be realigned and will connect to Oldham Parkway at a location approximately 215 FT to the east of the current connection point to Oldham Parkway.

Internal access points are as follows:

- Access 1 is a RIRO access on the west side of Oldham Parkway approximately 320 feet west of Jefferson Street near the south end of the fitness and athletic business.
- Access 2 is a full access intersection along Oldham Parkway approximately 345 feet north of Access 1 serving the Fitness and athletic center to the west and pad sites to the north and east of Oldham Parkway.
- Access 3 is a full access driveway along Oldham Parkway located 375 feet north of Access 2 serving the restaurants on the east and west sides of Oldham Parkway.
- Access 4 is a full access driveway along Oldham Parkway approximately 375 feet north and west of Access 3 providing access to the small retail building and surface parking lot south of Oldham Parkway.
- Access 5 is a full access driveway along Oldham Parkway located 380 feet west of Access 4 and 200 feet east of an existing access point to an office building.
- Access 6 is a full access driveway and is located approximately 275 feet north of Access 10 serving the apartments on the west and two fast food restaurants and one coffee shop on the east.
- Access 7 is a full access driveway on the east side of Jefferson Street located approximately 160 feet north of Access 6 and 430 feet south of Oldham Parkway. This access serves a coffee shop and a small retail building as well as a small grocery store and continues to the north to Oldham Parkway as Access 8.
- Access 8 is a RIRO driveway on the south side of Oldham Parkway located approximately 275 feet east of Jefferson Street and 325 feet west of M291. MoDOT has expressed the desire to

change this entrance to a right-in only due to a concern about drivers trying to cross multiple lanes of traffic on Oldham Parkway to go north on M291.

- Access 9 is a right-in only driveway servicing the gas station with convenience store and is located approximately 175 feet east of the intersection at Jefferson Street and Persels and 400 feet west of M291.

- Access 10 is a full access driveway and is located on the east side of Jefferson Street located 300 feet north of the proposed public street connection and will serve two fast food restaurants.

**EXISTING STREET CHARACTERISTICS** (*Lanes, Speed limits, Sight Distance, Medians*)

Oldham Parkway is a two lane roadway, undeveloped north of the connection to M291. Jefferson Street is a two lane roadway, upgraded to urban standards with curb and gutter, a 5 foot sidewalk on the west side and a 10 foot multi-use path on the east side. M291 is a 6 lane divided highway with a signal at the intersection of Oldham Parkway. US 50 Highway is a 4 lane divided highway with offramps to M291. Persels Road is a 2 lane road with curb and gutter and sidewalk on both sides of the road. There is a signal at the intersection of Jefferson Street and Persels Road. There are no sight distance concerns within the study area.

**ACCESS MANAGEMENT CODE COMPLIANCE?**

YES

NO

The Access Management Code includes requirements for minimum spacing between street connections, depending on street classification and the type of access. Along commercial collector streets, such as Oldham Parkway and Jefferson Street, the minimum spacing for full access intersections is 300 feet, measured between centerlines. The majority of the access points in Phase 1 meet this minimum spacing. Access 5 is spaced 200 feet east of an existing driveway to an office building (currently Summit Park Church), which does not meet the minimum spacing requirement. This private drive should be removed as a condition of approval.

Access 8 is a right-in, right-out (RIRO) access along the south side of Oldham Parkway. This access is located within the functional area of the M291 intersection. MoDOT has suggested that the RIRO access is changed to a right-in only.

None of the proposed accesses meet the minimum spacing requirements. These closely spaced driveways are proposed due to the small lot sizes and the lack of access from other sides of the sites. Efforts have been made to have shared access with adjoining properties wherever possible and we support this waiver to the AMC.

Persels Road is a minor arterial and the minimum spacing is 400 feet. Access 9 is a right-in only driveway that just meets the minimum spacing from M291, however the spacing to Jefferson Street is not met. There is a separate right-turn lane and there are no safety or operational concerns with this access. To ensure that the driveway operates as a right-in only, a raised median on Persels Road will be required.

**TRIP GENERATION**

Time Period	Total	In	Out
Weekday	17291	N/A	N/A
A.M. Peak Hour	1775	917	858
P.M. Peak Hour	1324	695	629



Trip generation shown was provided in the Traffic Impact Study provided by the applicant. The trips estimated for the proposed development based on various ITE Codes in the ITE Trip Generation Manual 11<sup>th</sup> Edition Using ITE Codes 495-Recreational Community Center, 822-Strip Retail, 932-High Turnover Sit Down Restaurant, 934-Fast Food Restaurant with Drive Through, 937-Coffee Shop with Drive Through, 948-Automated Car Wash, 221-Multifamily Housing (Mid-Rise), 822-Strip Retail Plaza (<40K), 850-Supermarket, and 945-Convenience Store/Gas Station. The total trips were determined based on the anticipated use for each pad site. The total daily trips were not separated into Trips In and Trips Out. In the case where use is not finalized, the most conservative likely use is used.

**TRANSPORTATION IMPACT STUDY REQUIRED?**

Yes

No

The proposed development will likely generate more than 100 vehicle trips to the surrounding street system during a peak hour based on industry standard methods for trip generation estimates, a minimum requirement for a traffic impact study in the Access Management Code. A traffic impact study was prepared by Kimley Horn, dated August 2024. The traffic study was prepared to assess traffic impacts associated with the development and to provide public improvement recommendations or waivers requested by the development that mitigate delay and/or meet minimum standards defined by City and/or MoDOT policies.

The traffic study evaluated existing conditions and proposed development conditions of the subject development. The analysis included morning and evening commuter peak hours at the intersections of Oldham Parkway and Ward Road, Oldham Parkway and Jefferson Street, M291 and Oldham Parkway, Persels Road and Jefferson Street, M291 and Persels Road/Bailey Road. The study considered several scenarios; Existing Conditions, Existing plus Phase 1 Development Conditions, Existing plus Phase 2 Development, and Future Conditions for year 2044.

The traffic study looked at each intersection for turn lane requirements based on classification and projected turning movements. The available space and storage lengths were reviewed in coordination with the required turn lane lengths to provide recommendations for the subject development. The study found that the following the following improvements would be required:

**PHASE 1**

**1. Oldham Parkway and M291**

- Construct an eastbound Left Turn Lane with a minimum storage length of 350 feet plus taper.
- Construct a second eastbound left turn lane. This lane will extend at least 300 feet west of Jefferson Street plus taper.
- Construct an eastbound right-turn lane with a minimum storage length of 350 feet plus taper.
- Construct two westbound lanes on Oldham Parkway, extending east of the intersection. The right lane should terminate as a right-turn lane at Access 2, and the left lane will continue as the through lane.

**2. Oldham Parkway and Jefferson Street**

- Construct a raised median on Oldham Parkway to restrict Jefferson Street access to left-in/right-in/right-out.
- Construct an eastbound left-turn lane with a minimum storage length of 150 feet plus taper.
- Construct a westbound left-turn lane with a minimum storage length of 200 feet plus taper.

3. Oldham Parkway and Access 2

- Install a traffic signal.
- Construct a northbound left-turn lane with a minimum storage length of 150 feet plus taper.
- Construct a southbound left-turn lane with a minimum storage length of 150 feet plus taper.
- Construct the eastbound and westbound approaches with three lanes, to provide one inbound lane and two outbound lanes.

4. Oldham Parkway and Access 3

- Construct a northbound left-turn lane with a minimum storage length of 150 feet plus taper.

5. Jefferson Street

- Construct the realigned portion of Jefferson Street as a three-lane roadway with a center two-way left-turn lane.

PHASE 2

1. Oldham Parkway and M291

- Lengthen the southbound right-turn lane to provide a minimum storage length of 300 feet plus taper.

2. Persels Road and M291

- Construct an eastbound right-turn lane with a minimum storage length of 150 feet plus taper.

3. Persels Road and Market Street

- Construct a raised median on Persels Road from M291 to Jefferson Street to restrict access to right-in/right-out.

4. Persels Road and Gas Station Access

- Construct a westbound right-turn lane with a minimum storage length of 150 feet plus taper.

The traffic study looked at each noted intersection to be analyzed for traffic operations and assigned a Level of Service (LOS) associated with their delay. Level of Service (LOS) is an industry accepted performance measure for traffic operations based on delay represented by the A to F lettered scale, with A the best and F the worst. City policy has established a LOS goal C for traffic signal operations and LOS D (where LOS E and F may be acceptable) for stop controlled movements. MoDOT has a similar performance standard, but LOS D is acceptable for signal operations. These LOS targets indicate acceptable operational performance or adequate operational conditions for the transportation network.

In addition to measured vehicle delay, vehicle queues were analyzed. With exception of a couple movements, all of the overall LOS meet the City's goals.

It is recommended that traffic is maintained on existing Oldham Parkway while the relocated Oldham Parkway is under construction to minimize disruptions to traffic and to minimize the amount of detoured traffic travelling through the adjoining neighborhoods. Contractor should minimize the amount of time that Oldham Parkway is closed to through traffic.



**LIVABLE STREETS (Resolution 10-17)**

**COMPLIANT**

**EXCEPTIONS**

The proposed development plan will provide required sidewalks and all elements otherwise required by ordinances and standards, including but not limited to property landscaping, lighting, parking, and ADA accessibility. No exceptions to the Livable Streets Policy adopted by Resolution 10-17 are requested.

**RECOMMENDATION:**

**APPROVAL**

**DENIAL**

**N/A**

**STIPULATIONS**

*Recommendations for Approval refer only to the transportation impact and do not constitute an endorsement from City Staff.*

Staff recommends approval of the proposed preliminary development plan subject to the conditions noted below:

1. Construct all improvements recommended by the Traffic Impact Study and stated above.
2. Construct improvements required by MoDOT.
3. Remove Summit Park Church access, located approximately 200 feet west of Access 5, after the parking lot is constructed and work on Access 5 is complete.



# PL2024-015 - PRELIM DEV PLAN Oldham Village Phase 2

