

# FINAL DEVELOPMENT PLANS

## DISCOVERY PARK, ZONE 1, LOT 10

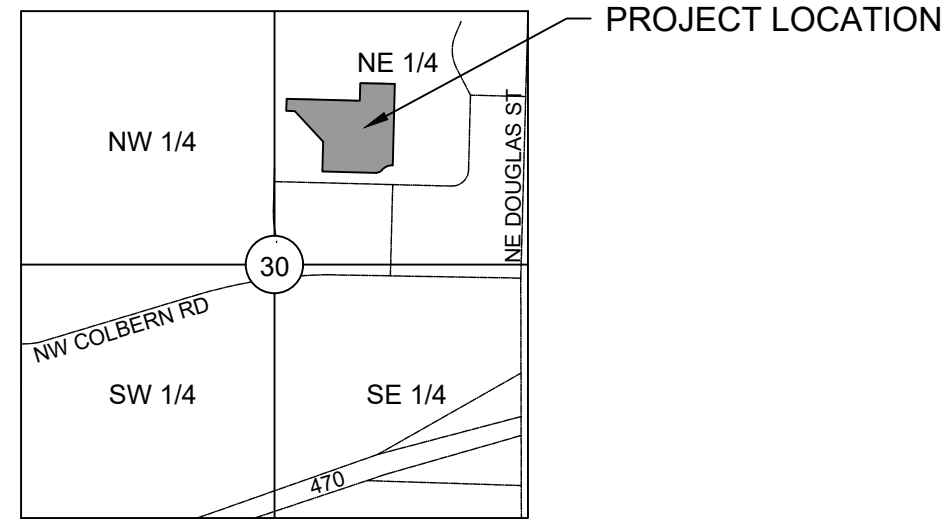
### LEE'S SUMMIT, JACKSON COUNTY, MO

#### SECTION 30, T48N, R31W

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LOCATION MAP  
SECTION 30, TOWNSHIP 48N, RANGE 31W  
JACKSON COUNTY, MISSOURI  
SCALE=NTS



DATE: 1/3/25

**LEGAL DESCRIPTION:**

THE VILLAGE AT DISCOVERY PARK, LOT 10



**UTILITY CONTACTS:**

- |                                                                                                                                    |                                                                                                                                     |
|------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------|
| <b>SANITARY &amp; WATER:</b><br>CITY OF LEE'S SUMMIT, MO<br>220 SE GREEN STREET<br>LEE'S SUMMIT, MO 64063<br>PHONE: (816) 969-1900 | <b>STORMWATER:</b><br>CITY OF LEE'S SUMMIT, MO<br>220 SE GREEN STREET<br>LEE'S SUMMIT, MO 64063<br>PHONE: (816) 969-1800            |
| <b>PUBLIC ROADWAY:</b><br>CITY OF LEE'S SUMMIT, MO<br>220 SE GREEN STREET<br>LEE'S SUMMIT, MO 64063<br>PHONE: (816) 969-1900       | <b>NATURAL GAS:</b><br>SPIRE GAS ENERGY<br>3025 SW CLOVER DRIVE<br>LEE'S SUMMIT, MO 64082<br>PHONE: (816) 985-8888                  |
| <b>POWER:</b><br>EVERGY<br>1300 SE HAMBLEN RD<br>LEE'S SUMMIT, MO 64081<br>PHONE: (816) 347-4320                                   | <b>TELECOMMUNICATIONS:</b><br>AT&T<br>PHONE: 800-286-8313<br>SPECTRUM<br>PHONE: 877-772-2253<br>GOOGLE FIBER<br>PHONE: 877-454-6959 |

**FEMA FLOOD INFORMATION:**

THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OF 0.2% ANNUAL CHANGE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE (FIRM) MAP NUMBER 29095C0409G, REVISION DATE JANUARY 20, 2017.

**OIL/GAS WELLS:**

NO OIL OR GAS WELLS ARE LOCATED WITHIN PROJECT LIMITS. INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, GEOLOGICAL SURVEY GEOSCIENCES TECHNICAL RESOURCE ASSESSMENT TOOL (GEOSTRAT).



WATERSHED: LITTLE CEDAR CREEK - LITTLE BLUE RIVER

DISTURBED AREA: 4.91 AC

**SURVEY CONTROL:**

POINT TABLE				
POINT #	NORTHING	EASTING	ELEVATION	FULL DESCRIPTION
50	1012389.8190	2822108.7840	990.8100	CTL
51	1011606.5710	2817819.8520	933.2990	CTL
52	1009320.3430	2818811.2690	930.8920	CTL
53	1011007.3400	2823445.2840	988.4360	CTL
54	1014987.4060	2823402.9760	930.4780	CTL
55	1015699.8100	2821686.0380	935.0540	CTL

- CP #50: 1/2" IB/CAP ON THE NORTH SIDE OF NW COLBERN ROAD. IT IS IN THE 1ST FIELD ENTRANCE WEST OF NE DOUGLAS STREET
- CP#51: SET 1/2" IB/CAP ON THE SW CORNER OF COLBERN ROAD AND MAIN STREET
- CP#52: SET 1/2" IB/CAP ON THE SOUTH SIDE OF MAIN STREET WHERE MAIN STREET TURNS EAST ON THE SOUTH SIDE OF I-470
- CP#53: SET 1/2" IB/CAP ON THE EAST SIDE OF DOUGLAS JUST SOUTH OF THE I-470 INTERCHANGE. IN THE NW CORNER OF THE PARKING LOT TO THE OLD OUTBACK
- CP#54: SET 1/2" IB/CAP ON THE SOUTH SIDE OF NE DOUGLAS ST. (OLD) WHERE IT BENDS BACK NORTH AT THE SE CORNER OF "THE CURE" CHURCH
- CP#55: SET 1/2" IB/CAP ON THE EAST SIDE OF DOUGLAS AT DRIVEWAY FOR HOUSE 2545

**GENERAL NOTES:**

1. ALL SITE DIMENSIONS TO THE EDGE OF PAVEMENT, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
3. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
4. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS AND PAVEMENT STEMWALLS.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
6. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
7. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.

**PROJECT SPECIFICATIONS:**

THE SPECIFICATIONS FOR THIS PROJECT SHALL BE THE FOLLOWING:

1. MOST CURRENT VERSION OF THE DESIGN AND CONSTRUCTION MANUAL OF THE CITY OF LEE'S SUMMIT, MO.
2. MOST CURRENT VERSION OF THE AMERICAN PUBLIC WORKS ASSOCIATION - KANSAS CITY METRO CHAPTER

THE STANDARD SPECIFICATIONS THROUGH AND INCLUDING THE LATEST AMENDMENTS SHALL BE PART OF THESE PROJECT DRAWINGS AND SPECIFICATIONS AND ARE HEREIN BY REFERENCE. THE MORE STRINGENT OF THESE STANDARD SPECIFICATIONS AND THOSE PREPARED BY THE ENGINEER PREPARING THESE PLANS SHALL GOVERN.

**CIVIL ENGINEER:**

OWN, INC.  
8455 COLLEGE BLVD  
OVERLAND PARK, KS 66210  
EMAIL: JBARTZ@WEAREOWN.COM  
PHONE: (816) 777-0400

**DEVELOPER:**

INTRINSIC DEVELOPMENT  
3622 ENDEAVOR AVE., STE. 101  
COLUMBIA, MO 65201  
CONTACT: JOHN ODLE  
PHONE: (573) 615-2252

**PREPARED AND SUBMITTED BY:**

JEFFREY W. BARTZ, P.E. DATE 01/03/2025  
MISSOURI P.E. NO. 2012022594

8455 College Boulevard  
Overland Park, KS 66210  
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FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 10**

100 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 10 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	11/04/2024
4	BUILDING PERMIT	01/03/2025

**DRAWING INFORMATION**

PROJECT NO: 24KC10007  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 1/3/2025  
FIELD BOOK:

ISSUED BY:  
LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**COVER SHEET**

**SHEET NUMBER**

**C100**

1 OF 24



**STORM SEWER GENERAL NOTES:**

- PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR TO THE CENTER OF TOE OF END SECTION. ALL PIPES SHALL BE FIELD STAKED TO THE CENTER OF THE INSIDE WALL FACE OF THE STRUCTURE.
- THE DIMENSION FOR ALL STRUCTURES ARE FROM INSIDE FACE OF STRUCTURE TO INSIDE FACE OF STRUCTURE.
- THE FIRST STRUCTURE DIMENSION SHOWN IS THE "L" DIMENSION AND THE SECOND IS THE "W" DIMENSION (SEE STORM SEWER STRUCTURE DETAILS).
- LOCATIONS OF NORTHINGS AND EASTINGS SHOWN ARE AS FOLLOWS:
  - THROATED AREA INLET: CENTER OF STRUCTURE
  - SETBACK CURB INLET: CENTER OF STRUCTURE
  - MODIFIED CURB INLET: CENTER OF STRUCTURE ALONG TOP OF CURB AT INLET
  - END SECTIONS: CENTER OF TOE OF END SECTION
- STORM SEWER PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
  - HIGH DENSITY POLYETHYLENE (HDPE) MEETING THE REQUIREMENTS FOR TEST METHODS, DIMENSIONS, AND MARKINGS FOUND IN AASHTO M294 AND ASTM F2306. JOINTS SHALL BE WATER TIGHT REINFORCED BELL & GASKETED SPIGOT TYPE.
- ALL PIPE SHALL BE PLACED IN TRENCH CONDITIONS. PLACE A MINIMUM OF 2 FEET OF FILL OVER PROPOSED PIPE BEFORE TRENCHING AND PIPE INSTALLATION. PROPOSED FILL SHALL BE PLACED IN ACCORDANCE WITH PROJECT REQUIREMENTS.
- UTILITY LINES AND STRUCTURES IN FILL AREAS BELOW PIPE GRADE SHALL NOT BE CONSTRUCTED UNTIL ALL CONSOLIDATION OF THE FILL IS COMPLETE AND SO APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER.
- ALL CURB INLETS AND OTHER STRUCTURES SET AT LOW POINTS ARE TO BE SET LEVEL. ALL OTHER CURB INLETS ARE TO BE SET WITH THE GRADE AT THE TOP OF CURB OR PAVEMENT. ALL CURB INLETS SHALL HAVE TOP SLABS SLOPING TOWARD THE PAVEMENT AT A 2% GRADE UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED CONCRETE INVERT FROM INVERT IN TO INVERT OUT.
- ALL REINFORCING STEEL SHALL COMPLY WITH ASTM-615 GRADE 60.
- THE LIDS OF ALL PRECAST STRUCTURES SHALL BE GROUDED TO THE TOP OF THE WALLS.
- ALL UNSUITABLE MATERIAL ENCOUNTERED DURING THE INSTALLATION OF STORM SEWER SHALL BE REMOVED AT CONTRACTOR'S EXPENSE.

**UTILITY PLAN GENERAL NOTES**

- UTILITY CONSTRUCTION SHALL COMPLY WITH THE STANDARD SPECIFICATIONS, CODES, AND DETAILS OF THE CITY OF CITY, STATE AND UTILITY PROVIDERS.
- OPEN CUTTING OF EXISTING STREETS IS PROHIBITED. ALL PROPOSED UTILITY STREET CROSSINGS SHALL BE BORED UNDER STREETS UNLESS NOTED OTHERWISE.
- THE LAST 10' OF UTILITY LINE BEDDING INTO THE BUILDING SHALL NOT CONTAIN GRANULAR MATERIAL.
- THE INFORMATION SHOWN ON THESE PLANS CONCERNING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION AND FOR MAKING HIS OWN VERIFICATION AS TO TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CONTACT THE UTILITY LOCATION SERVICE A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION TO FIELD LOCATE UTILITIES.
- IF DURING THE COURSE OF CONTRACTOR COORDINATION WITH ANY UTILITY THE NEED FOR AN EASEMENT IS REQUESTED CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR TO INSTALL PROTECTIVE SLEEVES IN FOOTINGS IF NECESSARY FOR UTILITY CONNECTION WITH BUILDING. SEE STRUCTURAL AND MEP PLANS.
- CONTRACTOR SHALL CONTACT POWER PROVIDER TO INSPECT ELECTRIC CONDUIT INSTALLATION PRIOR TO BACKFILLING.
- ROOF DRAINS, GUTTERS, AND DOWNSPOUTS SHALL NOT CONNECT TO SANITARY SEWER.

**DEMOLITION PLAN GENERAL NOTES**

- EXISTING CONDITIONS SHOWN FOR DEMOLITION ARE CURRENTLY UNDER CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH ON-SITE CONSTRUCTION CREWS TO MINIMIZE DEMOLITION OF NEWLY COMPLETED INFRASTRUCTURE.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL ITEMS ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT A REQUIRED PART OF THE PROPOSED PROJECT UPON COMPLETION.
- CONTRACTOR SHALL COORDINATE WITH OWNER ON SALVAGING AND DISPOSAL OF DEMOLISHED/REMOVED ITEMS.
- CONTRACTOR SHALL PROTECT OFFSITE IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRIVES, UTILITIES, CURBS, AND PAVING) SURROUNDING THE PROJECT BOUNDARY FROM DAMAGE DURING DEMOLITION ACTIVITY. ALL PAVEMENT REMOVALS SHALL BE SAWCUT WITH CLEAN FULL DEPTH CUTS ADJACENT TO EXISTING PAVEMENT TO REMAIN. CONTRACTOR SHALL INSTALL AND MAINTAIN PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL SIGNAGE IN COMPLIANCE WITH THE MISSOURI DEPARTMENT OF TRANSPORTATION AND CITY OF LIBERTY REQUIREMENTS. CONTRACTOR SHALL NOT OBSTRUCT ACCESS TO EXISTING BUSINESSES.
- CONTRACTOR SHALL INSTALL SAFETY FENCING SURROUNDING ALL EXCAVATIONS DURING DEMOLITION OF STRUCTURES. AREAS OF HEAVY EQUIPMENT USAGE FOR SITE GRADING AND GRUBBING, TREE REMOVAL AREAS, AND ANY OTHER AREAS WHERE PEDESTRIAN OR VEHICULAR TRAFFIC MAY ENCRONCH, THIS FENCING SHALL BE INSTALLED NO LATER THAN THE END OF EACH WORKING DAY. CONTRACTOR SHALL REPAIR AND MAINTAIN FENCING IN AN ORDERLY MANNER. CONTRACTOR MAY RE-USE FENCING MATERIALS AFTER ALL DEMOLITION ACTIVITIES HAVE BEEN COMPLETED FOR THAT AREA OF WORK.

**GRADING PLAN GENERAL NOTES:**

- ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS.
- ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED (GREEN SPACES) SHALL BE FINISH GRADED WITH A MINIMUM OF SIX INCHES OF TOPSOIL.
- FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
- EXISTING GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS. PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
- HULL OFF AND MATERIAL IMPORT SHALL NOT BE AN EXCLUDED ITEM IN THE BASE BID. ALL EXCAVATION SHALL BE CONSIDERED NON-CLASSIFIED. NO ADDITIONAL PAYMENT WILL BE MADE FOR ROCK EXCAVATION OR BLASTING.
- ALL DISTURBED AREAS ARE TO RECEIVE TOPSOIL (6"), SEED/SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. RE-SEEDING SHALL BE REQUIRED.
- WITHIN FORTY-EIGHT HOURS PRIOR TO ANY ASPHALT OR CONCRETE PAVING, THE SUBGRADE SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEM WHEEL DUMP TRUCK AND OBSERVED BY THE ON-SITE GEOTECHNICAL ENGINEER. AREAS OF THE SUBGRADE WITH EXCESSIVE RUTTING AND/OR PUMPING SHALL BE RE-WORKED OR REMOVED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. FLY ASH OR GRANULAR MATERIAL MAY BE ADDED BY THE CONTRACTOR (AS APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER) TO STABILIZE THE SUBGRADE.
- REFERENCE GEOTECHNICAL REPORT FOR BUILDING PAD PREPARATION.
- CONTRACTOR SHALL OPERATE UNDER THE TERMS AND PERMITS INCLUDED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT AND PERMITTED THROUGH THE STATE OF MISSOURI. CONTRACTOR SHALL EMPLOY A QUALIFIED PERSON TO CONDUCT REGULAR INSPECTIONS OF THE SITE EROSION CONTROL MEASURES AND DOCUMENT SUCH INSPECTIONS IN THE SWPPP DOCUMENT MAINTAINED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ADHERE ALL TERMS & CONDITIONS AS OUTLINED IN THE PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH THE CONSTRUCTION ACTIVITIES AS ISSUED BY THE CITY OF LEE'S SUMMIT, MO AND THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR).

**GENERAL EROSION & SEDIMENTATION NOTES:**

- THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING, THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.

**EROSION & SEDIMENTATION CONTROL MAINTENANCE**

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.

**UTILITY NOTES:**

- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
- EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
- ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

**GENERAL SIDEWALK & SIDEWALK RAMP NOTES**

- POSITIVE FLOW LINE DRAINAGE SHALL BE MAINTAINED THROUGH THE PEDESTRIAN ACCESS ROUTE (PAR), NO PONDING SHALL BE PRESENT IN THE PAR. ANY VERTICAL LIP THAT OCCURS AT THE FLOW LINE SHALL NOT BE GREATER THAN 1/4 INCH.
- TURNING SPACE SHALL BE LOCATED ANYWHERE THE PAR CHANGES DIRECTION, AND IF THE APPROACHING WALK IS INVERSE GRADE.
- THE MAXIMUM CROSS SLOPE REQUIREMENTS FOR PERPENDICULAR CURB RAMPS AND BLENDED TRANSITIONS ADJACENT TO PEDESTRIAN STREET CROSSINGS ARE AS FOLLOWS: AT YIELD OR STOP CONTROL - 2%; WITHIN YIELD OR STOP CONTROL, OR WITH TRAFFIC SIGNALS - 5%; AT MIDBLOCK - NO GREATER THAN THE STREET GRADE;
- WHEN NOT ADJACENT TO PEDESTRIAN STREET CROSSINGS, PAR AND RAMP CROSS-SLOPE 1% DESIRED, 2% MAXIMUM.
- CONTRACTION JOINTS SHALL BE CONSTRUCTED ALONG ALL GRADE BREAKS AND AT THE TOP OF CONCRETE FLARES ADJACENT TO WALKABLE SURFACES.
- ALL GRADE BREAKS WITHIN THE PAR SHALL BE PERPENDICULAR TO THE PATH OF TRAVEL.
- ALL RAMP TYPES SHOULD HAVE A MINIMUM OF 3' RAMP LENGTH.
- DETECTABLE WARNINGS SHALL CONTINUOUSLY EXTEND FOR A MINIMUM OF 24" IN THE PATH OF TRAVEL. DETECTABLE WARNING TO COVER THE ENTIRE WIDTH OF SIDEWALK AND SHARED-USE PATHS. ARC LENGTH OF RADIAL DETECTABLE WARNINGS SHALL NOT BE GREATER THAN 20 FEET.
- RECTANGULAR DETECTABLE WARNINGS SHALL BE SETBACK 2" MINIMUM TO 9" MAXIMUM FROM BACK OF CURB. RADIAL DETECTABLE WARNINGS SHALL BE SETBACK 2" MINIMUM TO 6" MAXIMUM FROM THE BACK OF CURB.
- LONGITUDINAL JOINT SPACING TO MATCH WITH OF SIDEWALK (4' MIN.).
- ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 25' CENTERS MAX.
- SIDEWALK RAMPS SHALL BE LENGTHENED AS NEEDED TO PROVIDE COMPLIANT SLOPE (8.33% MAX.) BUT NEED NOT EXCEED 15' REGARDLESS OF RESULTING SLOPE.
- NO CASTING OR UTILITY BOXES SHALL BE ALLOWED IN RAMPS OR TURNING SPACES. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING UTILITY BOXES AND COORDINATING WITH UTILITIES TO OBTAIN RAMP AND SIDEWALK COMPLIANCE.
- NEWLY CONSTRUCTED EXTERIOR ACCESSIBLE ROUTES SHALL NOT EXCEED 5% SLOPE IN THE DIRECTION OF TRAVEL OR 2% CROSS-SLOPE. WALKING SURFACES EXCEEDING 5% SLOPE IN THE DIRECTION OR TRAVEL OF CHANGES IN ELEVATION GREATER THAN 1/4" UNBEVELED OR 1/2" BEVELED MUST HAVE RAMPS COMPLYING WITH ICC A117.7 - 2009 AND 2010 ADA STANDARD SECTIONS 405.



**DISCOVERY PARK THE VILLAGE - LOT 10**

100 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 10 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

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1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	11/04/2024
4	BUILDING PERMIT	01/03/2025

**DRAWING INFORMATION**

PROJECT NO: 24KC10007

DRAWN BY: JGD

CHECK BY: JWB

ISSUED DATE: 1/3/2025

FIELD BOOK:

ISSUED BY: \_\_\_\_\_

LICENSE NO: \_\_\_\_\_

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COA# 00062

**SHEET TITLE**

**GENERAL NOTES**

**SHEET NUMBER**

**C101**

2 OF 24







**LEGEND**

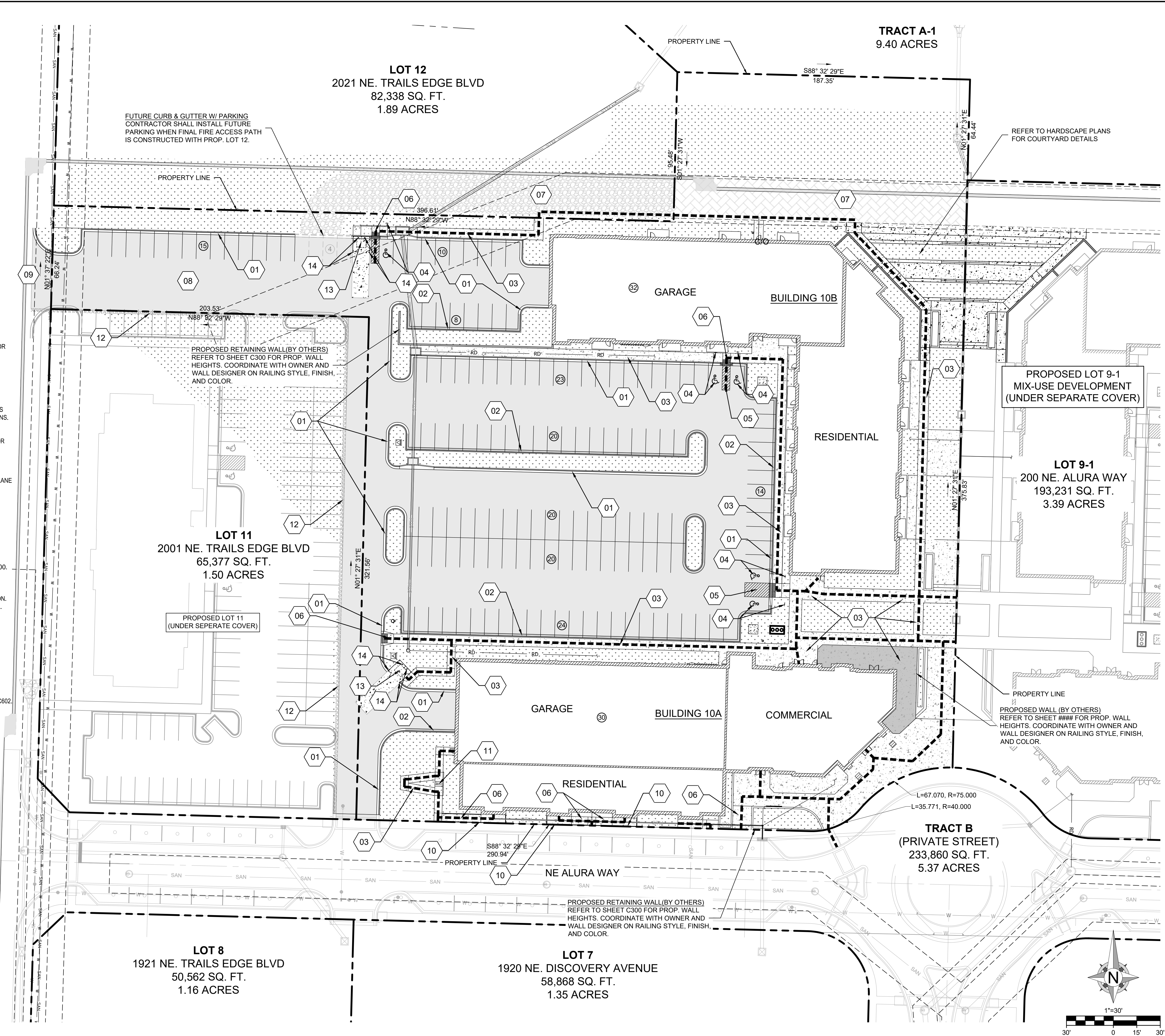
- PROPERTY LINE
- EX. UTILITY EASEMENT
- CURB AND GUTTER (TYPE CG-1)
- CURB AND GUTTER (TYPE CG-1 DRY)
- CURB AND GUTTER (TYPE CG-2)
- SAWCUT EX. PAVEMENT
- PROP. STORM SEWER
- ADA ACCESSIBLE PATH
- PARKING STALL COUNT
- PROP. CONCRETE SIDEWALK
- PERMANENT FIRE ACCESS LANE
- TEMPORARY FIRE ACCESS LANE
- PROP. ASPHALT PAVEMENT
- GREEN SPACE

**KEY NOTES:**

- 01 INSTALL CURB & GUTTER (TYPE CG-1)  
REFER TO SHEET C600 FOR TYPE CG-1 CURB AND GUTTER DETAIL.
- 02 INSTALL CURB & GUTTER (TYPE CG-1 DRY)  
REFER TO DETAIL SHEET C600 FOR TYPE CG-1 DRY CURB AND GUTTER DETAIL.
- 03 INSTALL SIDEWALK  
REFER TO LOT 10 HARDSCAPE PLAN FOR PAVEMENT SECTION, COLOR, AND SURFACING. REFER TO SHEET C601-FOR SIDEWALK/SHARED-USE PATH DETAIL FOR AREAS NOT SHOWN ON HARDSCAPE PLANS.
- 04 ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING & SIGNAGE  
REFER TO DETAIL 007/SHEET C602 FOR ADA PAVEMENT STRIPING & SIGNING.
- 05 ACCESSIBLE PARKING SPACE WITH ACCESS AISLE  
TO BE ADA COMPLIANT W/ 1.5% MAX SLOPE IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- 06 PROPOSED ADA RAMP  
REFER TO SHEET C301 - GRADING DETAILS - 1 AND C302 - GRADING DETAILS - 2 FOR PROPOSED SPOT ELEVATIONS.  
REFER TO DETAIL 007/SHEET C602 FOR ADA RAMP DETAIL.
- 07 PROPOSED PERMANENT / TEMPORARY FIRE LANE  
CONTRACTOR SHALL COORDINATE WITH HARDSCAPE DESIGNER ON FIRE LANE PAVEMENT SECTION.  
REFER TO DETAIL 006/SHEET C602 HAS BEEN PROVIDED FOR REFERENCE ONLY.  
INSTALL 8" CRUSHED AGGREGATE TEMPORARY FIRE ACCESS LANE AS SHOWN ON PLAN.
- 08 PROPOSED ASPHALT PAVEMENT  
INSTALL ASPHALT PAVEMENT SECTION AS SHOWN ON PLANS.  
REFER TO DETAILS 006/SHEET C602 FOR MORE DETAIL.
- 09 CONNECT TO EXISTING ROADWAY  
REFER TO CITY OF LEE'S SUMMIT STANDARD DETAIL GEN-1/SHEET C600.
- 10 PROPOSED ADA HANDRAIL  
INSTALL 196 LF OF HANDRAIL AS SHOWN ON PLANS.  
REFER TO SHEET C301 - GRADING DETAILS - 1 FOR PROPOSED HANDRAIL LOCATION.  
REFER TO DETAIL 002/SHEET C601 - DETAILS - 2 FOR PROPOSED HANDRAIL DETAIL.  
CONTRACTOR SHALL COORDINATE STYLE, COLOR, AND FINISH WITH OWNER.
- 11 PROPOSED STAIRS  
INSTALL 6" RISERS AS SHOWN ON PLANS.  
REFER TO SHEET C301 - GRADING DETAILS - 1 FOR PROPOSED RISER LOCATIONS.  
REFER TO DETAIL 001/SHEET C601 - DETAILS - 2 FOR PROPOSED RISER DETAIL.
- 12 ASPHALT PAVEMENT PROTECTION STRIP  
INSTALL 1040 SF OF CRUSHED AGGREGATE @ 6" DEPTH AS SHOWN ON PLANS.
- 13 PROPOSED TRASH ENCLOSURE (BY OTHERS)  
INSTALL HEAVY-DUTY CONCRETE PAD AS SHOWN. REFER TO DETAIL 004 / SHEET C602.  
REFER TO ARCHITECTURAL PLANS FOR SCREENING DETAILS.
- 14 PROPOSED BOLLARD  
INSTALL BOLLARD AS SHOWN ON PLANS. REFER TO DETAIL 011 / SHEET C603 FOR DETAIL.

**SITE DATA:**

<b>SITE</b>	
TOTAL SITE AREA:	176,853.60 SF (4.06 AC)
PRO. CONSTRUCTION AREA:	176,853.60 SF (4.06 AC)
EX. IMPERVIOUS AREA:	0 SF (0.00 %)
PROP. IMPERVIOUS AREA:	136,763.38 SF (77.33 %)
FAR:	0.89
<b>BUILDING</b>	
TOTAL FLOOR AREA (BLDG A):	71,322.00 SQ. FT.
TOTAL FLOOR AREA (BLDG B):	85,672.60 SQ. FT.
BUILDING HEIGHT (BLDG A):	51' - 11 3/4"
BUILDING HEIGHT (BLDG B):	42' - 0 5/8"
DWELLING UNITS (BLDG A):	40
DWELLING UNITS (BLDG B):	57
<b>PARKING</b>	
REQUIRED TOTAL PARKING:	153 (STANDARD)
TOTAL PARKING STALLS:	220 (STANDARD + FUTURE + ADA)
SURFACE PARKING STALLS:	154
FUTURE SURFACE PARKING:	4
GARAGE PARKING STALLS:	62
REQUIRED ADA STALLS:	9
ADA STALLS PROVIDED:	9
<b>LAND USE</b>	
EXISTING:	VACANT
PROPOSED:	MIXED USE (COMMERCIAL/RESIDENTIAL)
<b>ZONING</b>	
EXISTING:	P-MIX
PROPOSED:	P-MIX



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**DISCOVERY PARK  
THE VILLAGE - LOT 10**

100 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 10 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

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**SHEET TITLE**

**SITE PLAN**

**SHEET NUMBER**

**C200**

4 OF 24





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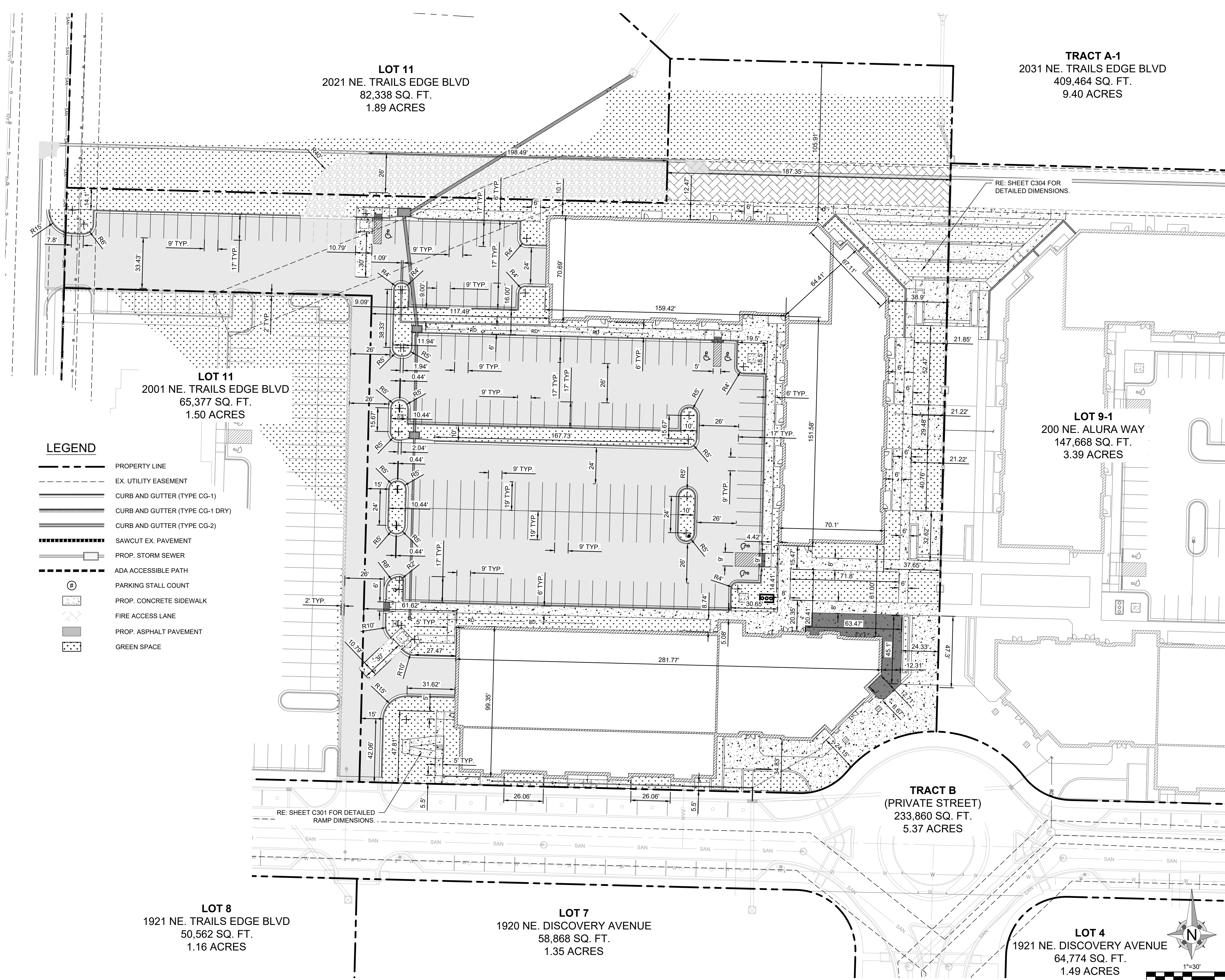
#### SHEET TITLE

### DIMENSION PLAN

#### SHEET NUMBER

### C201

5 OF 24



**LEGEND**

- PROPERTY LINE
- EX. UTILITY EASEMENT
- CURB AND GUTTER (TYPE CG-1)
- CURB AND GUTTER (TYPE CG-1 DRY)
- CURB AND GUTTER (TYPE CG-2)
- SAWCUT EX. PAVEMENT
- PROP. STORM SEWER
- ADA ACCESSIBLE PATH
- PARKING STALL COUNT
- PROP. CONCRETE SIDEWALK
- FIRE ACCESS LANE
- PROP. ASPHALT PAVEMENT
- GREEN SPACE

**LOT 11**  
2021 NE. TRAILS EDGE BLVD  
82,338 SQ. FT.  
1.89 ACRES

**TRACT A-1**  
2031 NE. TRAILS EDGE BLVD  
409,464 SQ. FT.  
9.40 ACRES

**LOT 11**  
2001 NE. TRAILS EDGE BLVD  
65,377 SQ. FT.  
1.50 ACRES

**LOT 9-1**  
200 NE. ALURA WAY  
147,668 SQ. FT.  
3.39 ACRES

**TRACT B**  
(PRIVATE STREET)  
233,860 SQ. FT.  
5.37 ACRES

**LOT 8**  
1921 NE. TRAILS EDGE BLVD  
50,562 SQ. FT.  
1.16 ACRES

**LOT 7**  
1920 NE. DISCOVERY AVENUE  
58,868 SQ. FT.  
1.35 ACRES

**LOT 4**  
1921 NE. DISCOVERY AVENUE  
64,774 SQ. FT.  
1.49 ACRES

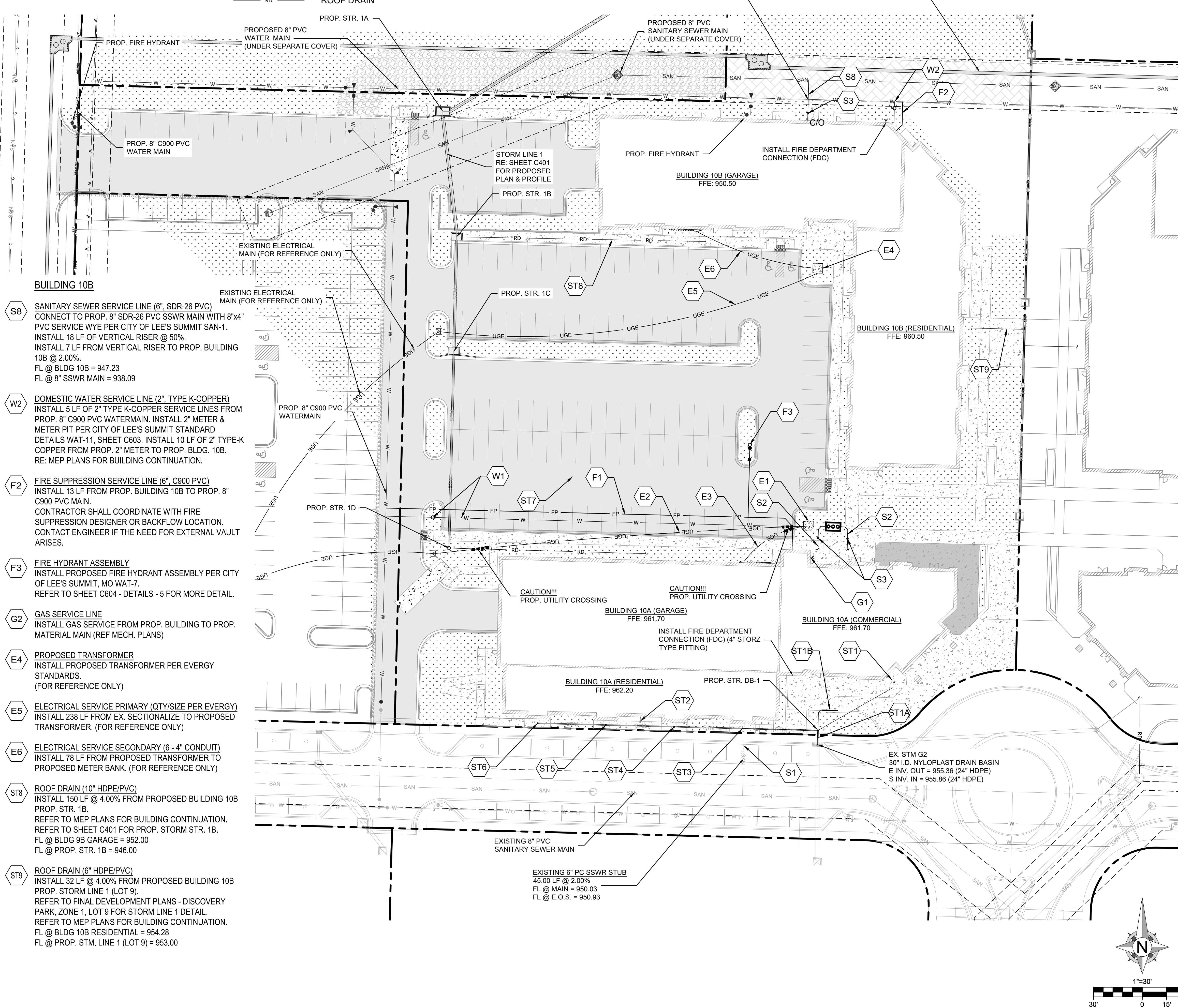


**KEY NOTES:**  
BUILDING 10A

- S1 CONNECT TO EXISTING 6" SSWR STUB  
REFERENCE PUBLIC SANITARY SEWER AND FORCEMAIN RELOCATION PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1. CONTRACTOR SHALL POTHOLD EXISTING STUB TO VERIFY AS-BUILT INVERT ELEVATION. REFER TO MEP PLANS FOR BUILDING CONTINUATION.  
FL INV @ CAP = 950.93  
FL INV @ MAIN = 950.03
- S2 INSTALL GREASE INTERCEPTOR  
INSTALL 17 LF @ MIN. 1.00% FROM PROP. BUILDING TO PROP. GREASE INTERCEPTOR INLET. INSTALL 17 LF @ MIN. 1.00% FROM GREASE INTERCEPTOR INLET BACK INTO PROP. BUILDING.  
MIN. FL OUT @ BLDG = 958.50  
MIN. FL IN @ BLDG = 958.16  
RE: MEP PLANS FOR BUILDING CONTINUATION.
- S3 INSTALL SSWR SERVICE LINE CLEANOUT  
INSTALL CLEANOUT AS SHOWN ON PLANS.  
REFER TO DETAIL 009/SHEET C602.
- W1 DOMESTIC WATER SERVICE LINE (3" C900 PVC)  
INSTALL 28 LF OF 2" TYPE-K COPPER SERVICE LINES FROM PROP. 8" C900 PVC WATERMAIN TO PROP. 2" METER. INSTALL 2" METER & METER PIT PER CITY OF LEE'S SUMMIT STANDARD DETAILS WAT-11, SHEET C603. INSTALL 10 LF OF 2" TYPE-K COPPER PAST METER.  
INSTALL 218 LF OF 3" C900 PVC PIPE FROM PROP. 2" TYPE-K COPPER TO PROPOSED BUILDING 10A.  
RE: PROPOSED PRIVATE SANITARY AND WATERMAIN EXTENSION PLANS UNDER SEPERATE COVER FOR MORE WATERMAIN DETAIL.
- F1 FIRE SUPPRESSION SERVICE LINE (6" C900 PVC)  
INSTALL 267 LF OF 6" PVC FIRE SERVICE LINE FROM PROP. 8" C900 WATERLINE TO PROP. BUILDING 10A.  
CONTRACTOR SHALL COORDINATE WITH FIRE SUPPRESSION DESIGNER FOR BACKFLOW LOCATION. CONTACT ENGINEER IF THE NEED FOR EXTERNAL VAULT ARISES.
- G1 GAS SERVICE LINE (X" MATERIAL)  
COORDINATE WITH OWNER AND MEP ON PROPOSED GAS SERVICE LINE.
- E1 PROPOSED TRANSFORMER  
INSTALL PROPOSED TRANSFORMER PER EVERGY STANDARDS.  
(FOR REFERENCE ONLY)
- E2 ELECTRICAL SERVICE PRIMARY (QTY/SIZE PER EVERGY)  
INSTALL 230 LF FROM EX. SECTIONALIZE TO PROPOSED TRANSFORMER.  
(FOR REFERENCE ONLY)
- E3 ELECTRICAL SERVICE SECONDARY (7 - 4" CONDUIT)  
INSTALL 46 LF FROM PROPOSED TRANSFORMER TO PROPOSED METER BANK.  
(FOR REFERENCE ONLY)
- ST1 ROOF DRAIN (6" HDPE/PVC)  
INSTALL 55 LF @ 2.00% FROM PROPOSED BUILDING 10A COMMERCIAL TO PROP. DB-1. (REFER TO MEP PLANS FOR BUILDING CONTINUATION.)  
FL @ STR DB-1 (E) = 956.44  
STR. DB-1
- ST1A INSTALL 8 LF OF 10" @ 1.00% FROM EX. STR. G2 TO PROP DB-1.  
RIM ELEV. = 961.71  
FL OUT (S) = 955.94  
FL IN (N) = 956.44  
FL IN (W & E) = 956.44  
FL @ EX. STM G2 (N) = 956.86
- ST1B ADS DURASLOT 8" TRENCH DRAIN  
INSTALL 10 LF OF 8" ADS DURASLOT XL TRENCH DRAIN WITH PEDESTRIAN GRATE (OR APPROVED EQUAL).  
RIM ELEV. = 961.35  
FL OUT (W) = 959.35  
INSTALL 14 LF OF 8" HDPE @ 20.8% FROM STR. DB-1 TO TRENCH DRAIN.
- ST2 ROOF DRAIN (6" HDPE/PVC)  
CONNECT PROP. 6" ROOF DRAIN TO STORM LINE 2 W/ HDPE/PVC WYE. REFER TO MEP PLANS FOR BUILDING CONTINUATION AND CONNECTION FLOWLINE.  
FL @ STM. LINE 2 = 958.87
- ST3 STORM LINE 2 (BROWNSTONE RES. RAMP DRAINAGE) STR. 2A  
INSTALL 8" ADS DRAIN BASIN W/ PEDESTRIAN FRAME & GRATE.  
INSTALL 46 LF OF 6" HDPE @ 1.50% FROM STR. DB-1 TO STR. 2A.  
RIM ELEV. = 962.12  
FL @ STR. DB-1 (W) = 956.98  
FL OUT (SE) = 957.53  
FL IN (W) = 957.73
- ST4 STR. 2B  
INSTALL 8" ADS DRAIN BASIN W/ PEDESTRIAN FRAME & GRATE.  
INSTALL 41.5 LF OF 6" HDPE @ 1.50% FROM STR. 2A TO STR. 2B.  
RIM ELEV. = 962.12  
FL OUT (E) = 958.35  
FL IN (W) = 958.55
- ST5 STR. 2C  
INSTALL 8" ADS DRAIN BASIN W/ PEDESTRIAN FRAME & GRATE.  
INSTALL 41.5 LF OF 6" HDPE @ 1.50% FROM STR. 2B TO STR. 2C.  
RIM ELEV. = 962.12  
FL OUT (E) = 959.17  
FL IN (W) = 959.37
- ST6 STR. 2D  
INSTALL 8" ADS DRAIN BASIN W/ PEDESTRIAN FRAME & GRATE.  
INSTALL 41.5 LF OF 6" HDPE @ 1.50% FROM STR. 2C TO STR. 2D.  
RIM ELEV. = 962.12  
FL OUT (E) = 960.00
- ST7 ROOF DRAIN (6" HDPE/PVC)  
INSTALL 160 LF @ 4.00% FROM PRO. BUILDING 10A TO RPOP. STR. 1D.  
REFER TO MEP PLANS FOR BUILDING CONTINUATION.  
FL @ BLDG 10A GARAGE = 958.40  
FL @ PROP. STR. 1D = 952.00

**LEGEND**

- W WATER SERVICE
- SAN SANITARY SEWER MAIN
- UGE U/G ELECTRIC
- SSW SANITARY SEWER SERVICE
- RD ROOF DRAIN
- PROP. UTILITY CROSSING
- SSW STORM SEWER



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THE VILLAGE - LOT 10**

100 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 10 - THE VILLAGE AT  
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NW COLBERN RD & NE DOUGLAS ST

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LICENSE NO: \_\_\_\_\_

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**SHEET TITLE**

**UTILITY PLAN**

**SHEET NUMBER**

**C202**

6 OF 24







**LEGEND**

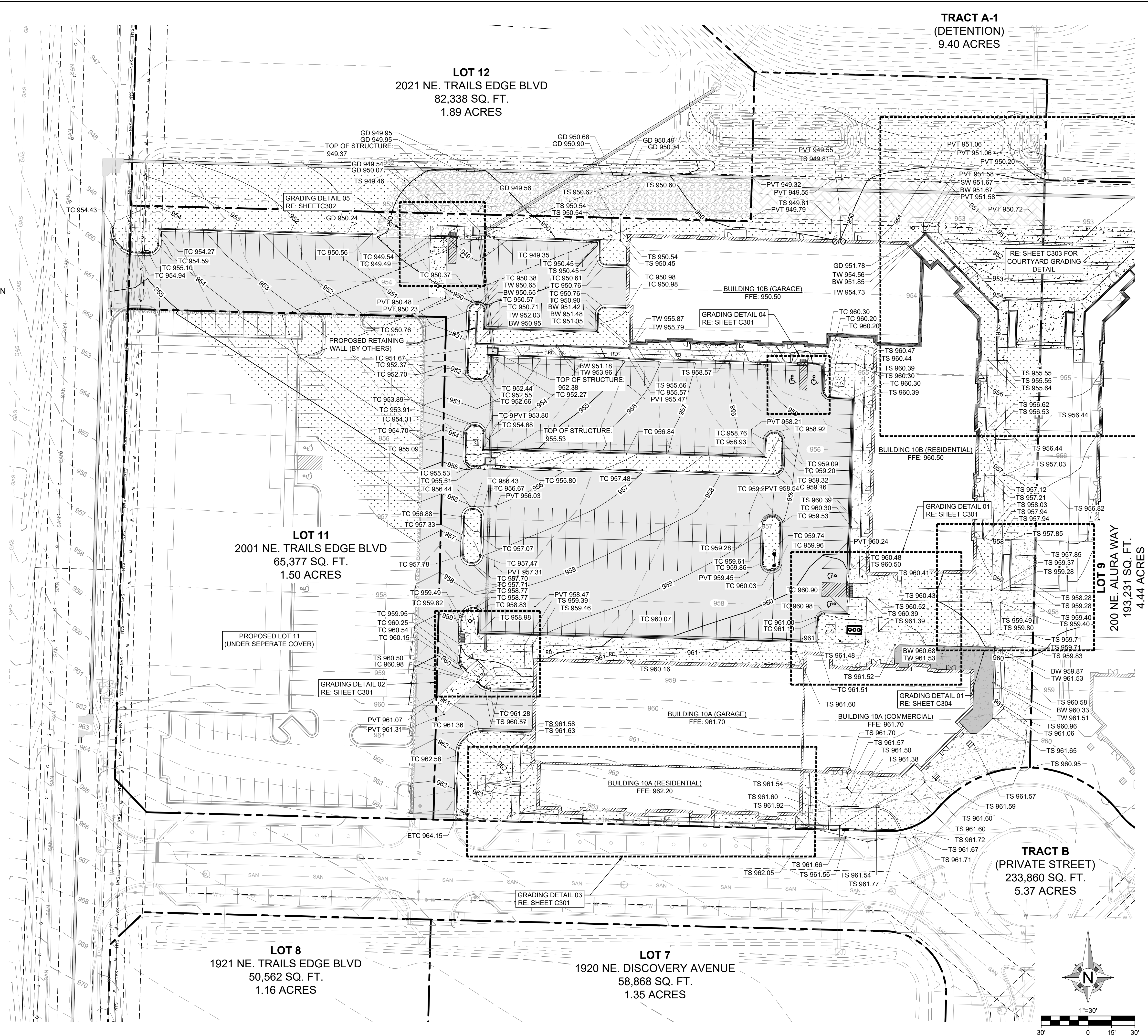
- 1335 --- EXISTING GRADE LINES
- 1335 — PROPOSED NEW GRADE LINES
- - - - GRADING DETAIL AREAS

**LIST**

SIDEWALK	TS
TOP OF CURB	TC
TOP OF PAVEMENT	PVT
NEW GRADE	GD
EXISTING TOP OF CURB	ETC
EXISTING GRADE	EGD
EXISTING PAVEMENT	EPVT
EXISTING SIDEWALK	ESW
MATCH EXISTING SIDEWALK	ME TS ±
TOP OF STR.	TOP OF STRUCTURE
TOP OF WALL	TW

**GENERAL NOTES:**

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- D. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.



**TRACT A-1  
(DETENTION)  
9.40 ACRES**

**LOT 12  
2021 NE TRAILS EDGE BLVD  
82,338 SQ. FT.  
1.89 ACRES**

**LOT 11  
2001 NE TRAILS EDGE BLVD  
65,377 SQ. FT.  
1.50 ACRES**

**LOT 8  
1921 NE TRAILS EDGE BLVD  
50,562 SQ. FT.  
1.16 ACRES**

**LOT 7  
1920 NE DISCOVERY AVENUE  
58,868 SQ. FT.  
1.35 ACRES**

**TRACT B  
(PRIVATE STREET)  
233,860 SQ. FT.  
5.37 ACRES**

**LOT 9  
200 NE ALAURA WAY  
193,231 SQ. FT.  
4.44 ACRES**



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**SHEET TITLE**

**GRADING PLAN**

**SHEET NUMBER**

**C300  
8 OF 24**













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### DISCOVERY PARK THE VILLAGE - LOT 10

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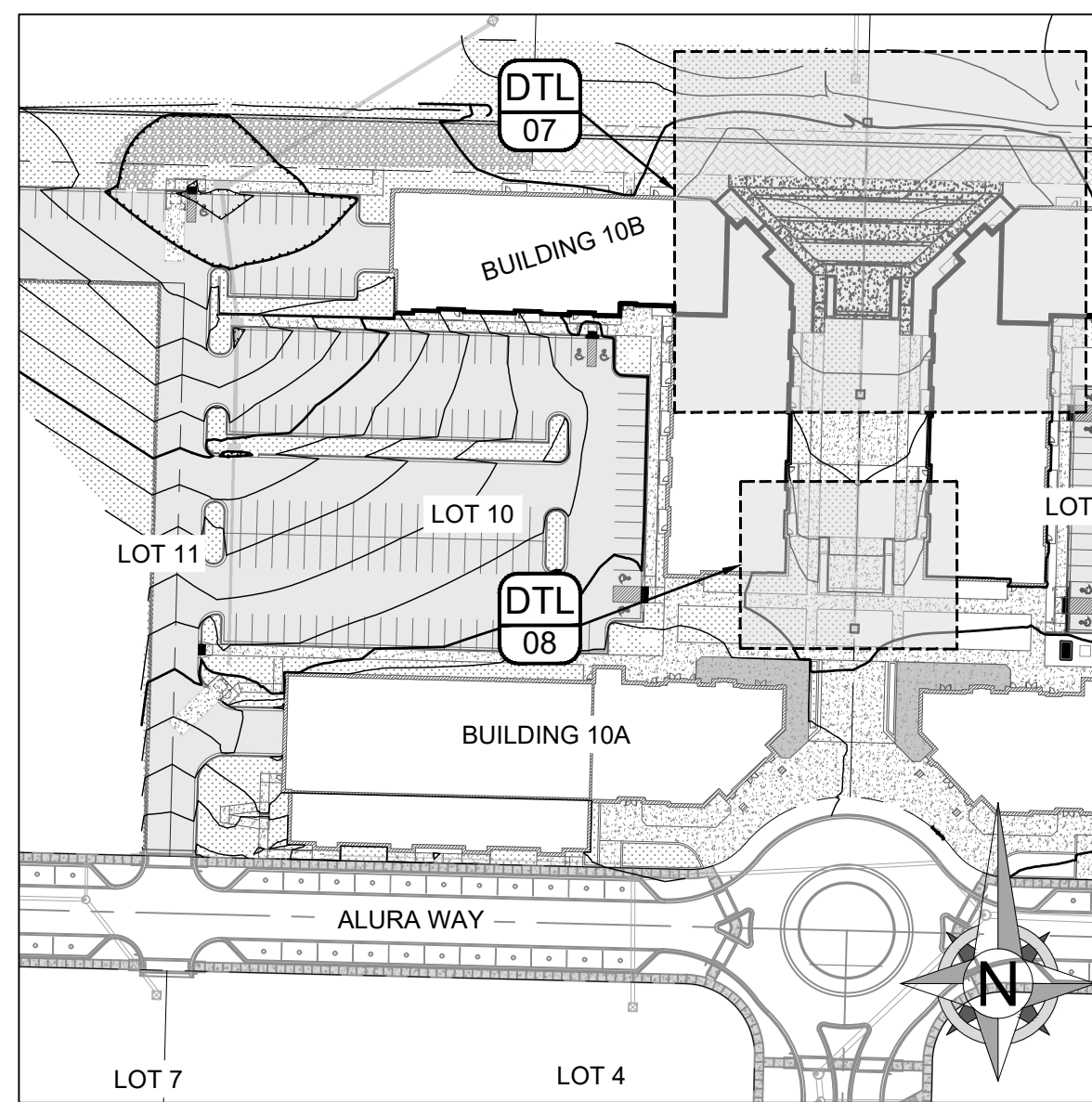
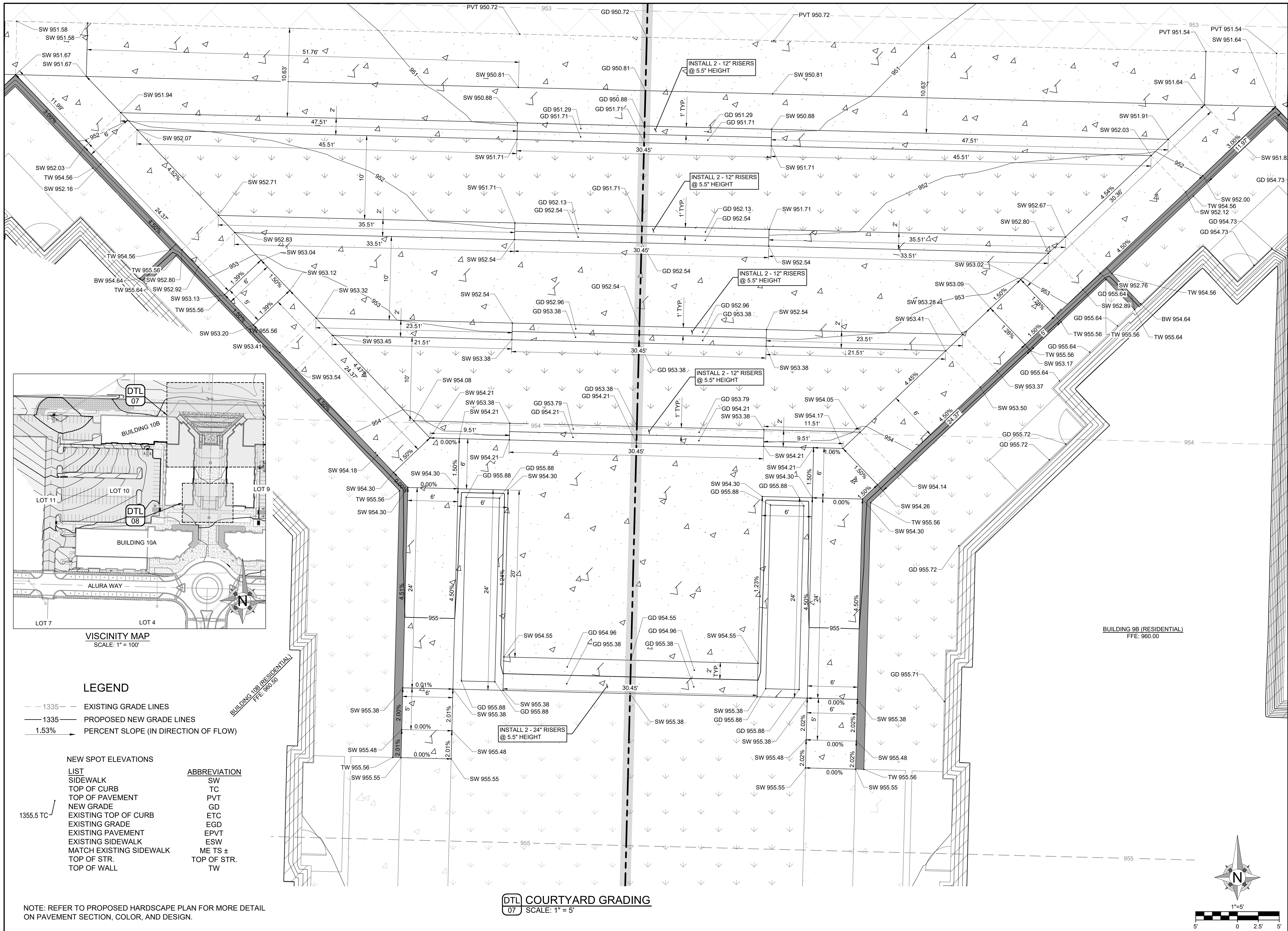
#### SHEET TITLE

### GRADING DETAILS - 3

#### SHEET NUMBER

### C303

11 OF 24



#### LEGEND

- 1335 --- EXISTING GRADE LINES
- 1335 — PROPOSED NEW GRADE LINES
- 1.53% → PERCENT SLOPE (IN DIRECTION OF FLOW)

#### NEW SPOT ELEVATIONS LIST

- 1355.5 TC
- SIDEWALK
- TOP OF CURB
- TOP OF PAVEMENT
- NEW GRADE
- EXISTING TOP OF CURB
- EXISTING GRADE
- EXISTING PAVEMENT
- EXISTING SIDEWALK
- MATCH EXISTING SIDEWALK
- TOP OF STR.
- TOP OF WALL

#### ABBREVIATION

- SW
- TC
- PVT
- GD
- ETC
- EGD
- EPVT
- ESW
- ME TS ±
- TOP OF STR.
- TW

NOTE: REFER TO PROPOSED HARDSCAPE PLAN FOR MORE DETAIL ON PAVEMENT SECTION, COLOR, AND DESIGN.

**DTL COURTYARD GRADING**  
07 SCALE: 1" = 5'



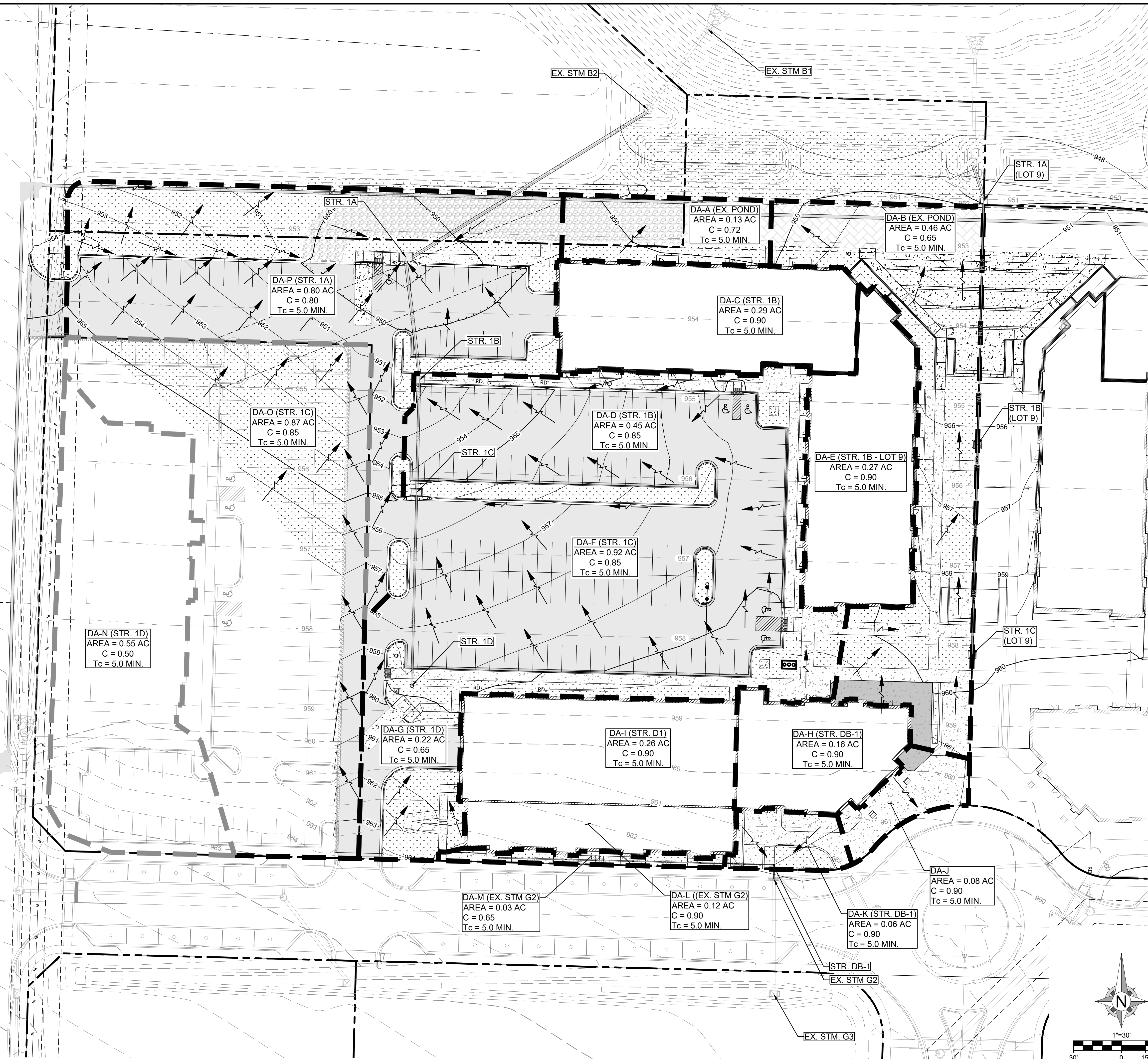




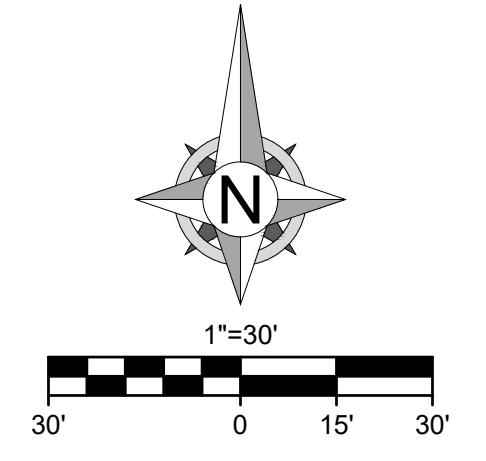
**LEGEND**

- 1335 EXISTING GRADE LINES
- 1335 PROPOSED NEW GRADE LINES
- DRAINAGE AREA BOUNDARY
- FUTURE DRAINAGE BOUNDARY
- STORM SEWER STRUCTURE NUMBER
- DRAINAGE ARROW
- DA-0 (STR. X)** DRAINAGE AREA ID (OUTFALL)
- AREA = 0.00 AC** RATIONAL "C" RUNOFF COEFFICIENT
- C = 0.00** TIME OF CONCENTRATION
- Tc = 5.0 MIN.**

NOTE:  
 REFERENCE PRIVATE SITE DEVELOPMENT PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1 (PRSITE20235732) AND PUBLIC STORM SEWER PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1 (PRSUBD20232726) FOR EXISTING STORM SEWER APPROVED CONSTRUCTION PLANS.



NOTE: NON-STANDARD LAND USE RATIONAL C-VALUE CALCULATED PER APWA 5600, SECTION 5602.3 C.



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**SHEET TITLE**

**DRAINAGE MAP**

**SHEET NUMBER**

**C400**

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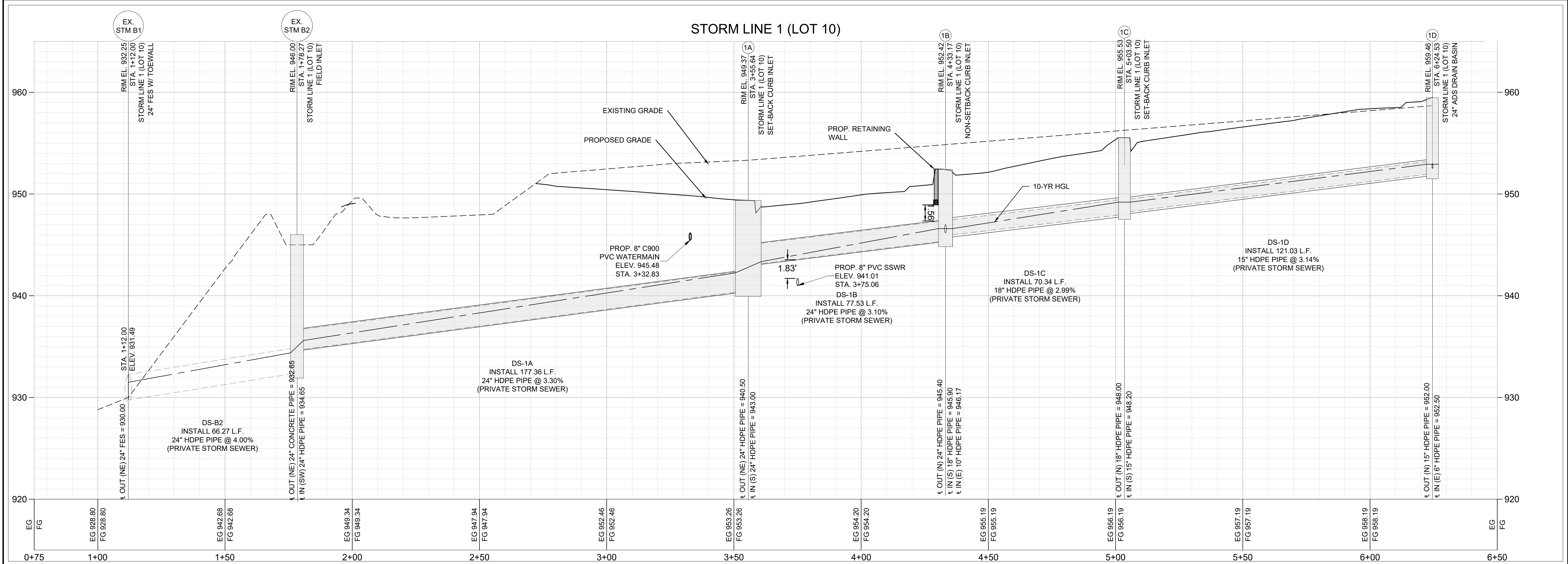
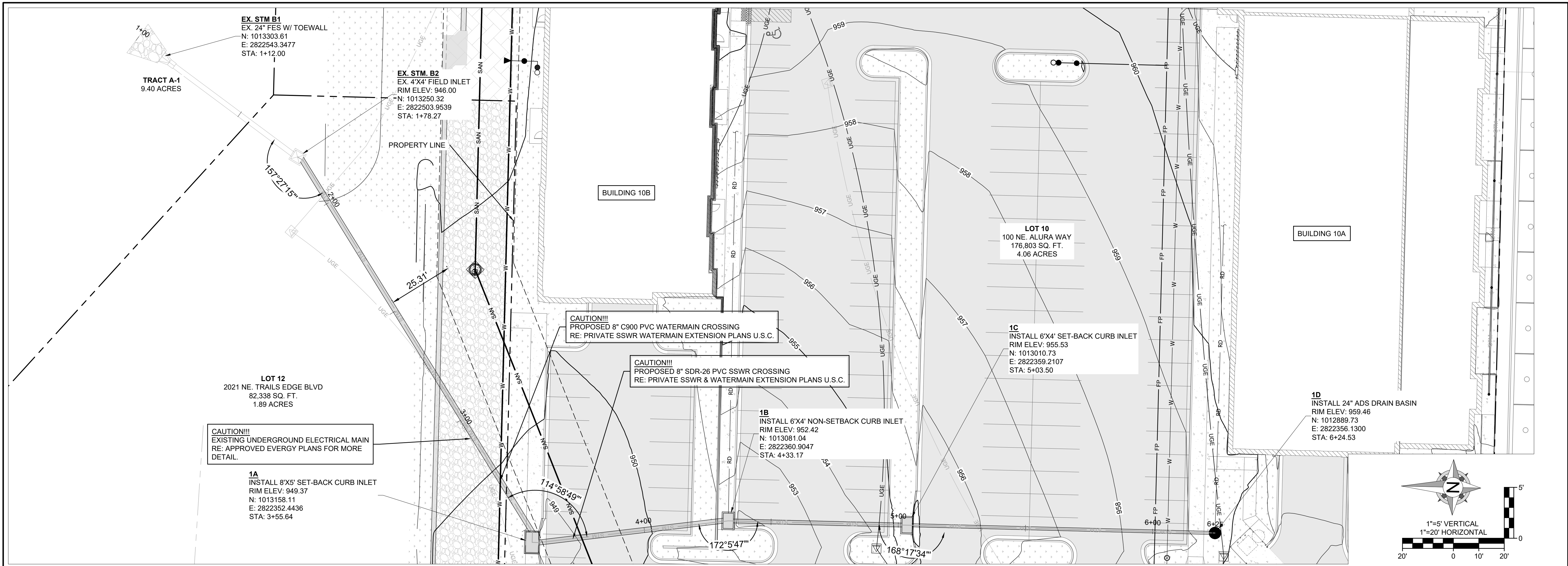
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4	BUILDING PERMIT	01/03/2025



**DRAWING INFORMATION**

PROJECT NO: 24KC10007  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 1/3/2025  
FIELD BOOK:



ISSUED BY:  
LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**  
**PLAN & PROFILE**  
**- 1**

**SHEET NUMBER**  
**C401**  
**14 OF 24**



Discovery Park - Lot 10: 10-Yr Storm Summary																								
LineNo.	LineID	DnStrmLine No.	RunoffCoeff	DrainageArea	IncrCxA	TotalArea	Tc	iSys	InletTime	IncrQ	TotalRunoff	InvertUp	InvertDn	LineLength	LineSlope	LineSize	n-valuePipe	FlowRate	CapacityFull	VelAve	HGLUp	HGLDn	EGLUp	EGLDn
			(C)	(ac)		(ac)	(min)	(in/hr)	(min)	(cfs)	(cfs)	(ft)	(ft)	(ft)	(%)	(in)		(cfs)	(cfs)	(ft/s)	(ft)	(ft)	(ft)	(ft)
1	DS-G2	Outfall	0.86	0.21	0.18	0.62	6.80	7.37	5.00	4.12	3.70	955.36	952.79	171.49	1.50	24.00	0.010	10.75	35.99	5.98	956.53	953.85	957.02	954.34
2	DS-2A	1	0.65	0.01	0.01	0.18	6.40	7.58	5.00	0.05	0.89	957.57	956.86	47.16	1.51	10.00	0.010	0.89	3.49	4.30	957.99	957.15	958.15	957.31
3	DS-2B	2	0.65	0.01	0.01	0.17	5.90	7.79	5.00	0.05	0.86	958.40	957.77	42.00	1.50	10.00	0.010	0.86	3.49	4.25	958.81	958.05	958.97	958.21
4	DS-2C	3	0.65	0.01	0.01	0.16	5.50	8.03	5.00	0.05	0.84	959.23	958.60	42.00	1.50	10.00	0.010	0.84	3.49	4.22	959.63	958.88	959.79	959.04
5	DS-2D	4	0.65	0.15	0.10	0.15	5.00	8.30	5.00	0.81	0.81	960.06	959.43	42.00	1.50	10.00	0.010	0.81	3.49	4.18	960.46	959.70	960.61	959.86
6	DS-G3	1	0.65	0.01	0.01	0.01	5.00	8.30	5.00	4.48	0.05	956.71	955.86	70.05	1.21	24.00	0.010	4.48	32.39	4.52	957.45	956.53	957.73	956.81
7	DS-DB1	1	0.90	0.22	0.20	0.22	5.00	8.30	5.00	1.64	1.64	957.03	956.86	8.51	2.00	10.00	0.010	1.64	4.02	5.55	957.60	957.23	957.87	957.49
8	DS-B2	Outfall	0.65	0.01	0.01	4.13	6.90	7.35	5.00	0.05	23.92	932.65	930.00	66.27	4.00	24.00	0.010	23.92	58.80	8.90	934.38	931.49	935.45	932.56
9	DS-1A	8	0.80	0.80	0.64	4.12	6.50	7.52	5.00	5.31	24.46	940.50	934.65	177.36	3.30	24.00	0.010	24.46	53.40	12.51	942.25	935.60	943.34	936.70
10	DS-1B	9	0.85	1.30	1.11	3.32	6.30	7.62	5.00	9.17	19.90	945.00	942.50	77.53	3.22	24.00	0.010	19.90	52.80	11.50	946.60	943.35	947.45	944.20
11	10B - RD	10	0.90	0.29	0.26	0.29	5.00	8.30	5.00	2.17	2.17	952.28	946.17	152.91	4.00	10.00	0.010	2.17	5.69	6.15	952.94	946.60	953.28	946.94
12	DS-1C	10	0.85	0.70	0.60	1.73	6.00	7.73	5.00	4.94	9.62	948.00	945.41	70.34	3.68	18.00	0.010	9.62	26.20	6.38	949.20	946.60	949.83	947.23
13	DS-1D	12	0.54	0.77	0.42	1.03	5.60	7.98	5.00	3.45	5.18	952.00	948.20	121.03	3.14	15.00	0.010	5.18	14.87	5.14	952.92	949.20	953.37	949.64
14	10A - RD	13	0.90	0.26	0.23	0.26	5.00	8.30	5.00	1.94	1.94	958.00	952.50	120.97	4.55	10.00	0.010	1.94	6.07	5.71	958.62	952.92	958.93	953.23

Discovery Park - Lot 10: 100-Yr Storm Summary																								
LineNo.	LineID	DnStrmLine No.	RunoffCoeff	DrainageArea	IncrCxA	TotalArea	Tc	iSys	InletTime	IncrQ	TotalRunoff	InvertUp	InvertDn	LineLength	LineSlope	LineSize	n-valuePipe	FlowRate	CapacityFull	VelAve	HGLUp	HGLDn	EGLUp	EGLDn
			(C)	(ac)		(ac)	(min)	(in/hr)	(min)	(cfs)	(cfs)	(ft)	(ft)	(ft)	(%)	(in)		(cfs)	(cfs)	(ft/s)	(ft)	(ft)	(ft)	(ft)
1	DS-G2	Outfall	0.86	0.21	0.18	0.62	6.20	11.56	5.00	6.71	5.80	955.36	952.79	171.49	1.50	24.00	0.010	18.02	35.99	8.83	956.89	953.85	957.65	954.61
2	DS-2A	1	0.65	0.01	0.01	0.18	5.90	11.79	5.00	0.08	1.38	957.57	956.86	47.16	1.51	10.00	0.010	1.38	3.49	4.92	958.10	957.22	958.32	957.45
3	DS-2B	2	0.65	0.01	0.01	0.17	5.60	12.03	5.00	0.08	1.33	958.40	957.77	42.00	1.50	10.00	0.010	1.33	3.49	4.86	958.92	958.13	959.13	958.35
4	DS-2C	3	0.65	0.01	0.01	0.16	5.30	12.28	5.00	0.08	1.28	959.23	958.60	42.00	1.50	10.00	0.010	1.28	3.49	4.80	959.73	958.95	959.95	959.16
5	DS-2D	4	0.65	0.15	0.10	0.15	5.00	12.57	5.00	1.23	1.23	960.06	959.43	42.00	1.50	10.00	0.010	1.23	3.49	4.74	960.55	959.77	960.76	959.98
6	DS-G3	1	0.65	0.01	0.01	0.01	5.00	12.57	5.00	7.86	0.08	956.71	955.86	70.05	1.21	24.00	0.010	7.86	32.39	4.93	957.71	956.89	958.10	957.28
7	DS-DB1	1	0.90	0.22	0.20	0.22	5.00	12.57	5.00	2.49	2.49	957.03	956.86	8.51	2.00	10.00	0.010	2.49	4.02	6.43	957.73	957.33	958.13	957.74
8	DS-B2	Outfall	0.65	0.01	0.01	4.13	6.20	11.53	5.00	0.08	37.54	932.65	930.00	66.27	4.00	24.00	0.010	37.54	58.80	13.51	934.59	931.49	936.85	933.75
9	DS-1A	8	0.80	0.80	0.64	4.12	6.00	11.73	5.00	8.04	38.12	940.50	934.65	177.36	3.30	24.00	0.010	38.12	53.40	15.35	942.44	935.90	944.77	938.23
10	DS-1B	9	0.85	1.30	1.11	3.32	5.80	11.84	5.00	13.89	30.91	945.00	942.50	77.53	3.22	24.00	0.010	30.91	52.80	13.78	946.87	943.60	948.46	945.19
11	10B - RD	10	0.90	0.29	0.26	0.29	5.00	12.57	5.00	3.28	3.28	952.28	946.17	152.91	4.00	10.00	0.010	3.28	5.69	6.45	953.05	946.87	953.65	947.48
12	DS-1C	10	0.85	0.70	0.60	1.73	5.70	11.96	5.00	7.48	14.88	948.00	945.41	70.34	3.68	18.00	0.010	14.88	26.20	8.57	949.40	946.87	950.57	948.04
13	DS-1D	12	0.54	0.77	0.42	1.03	5.40	12.23	5.00	5.23	7.95	952.00	948.20	121.03	3.14	15.00	0.010	7.95	14.87	6.72	953.11	949.40	953.85	950.14
14	10A - RD	13	0.90	0.26	0.23	0.26	5.00	12.57	5.00	2.94	2.94	958.00	952.50	120.97	4.55	10.00	0.010	2.94	6.07	6.28	958.75	953.11	959.25	953.62

Inlet	Drainage Area (Ac)	C	Tc (min)	i (in/hr)	K	Peak Flow (cfs)
1A	0.80	0.80	5.00	7.35	1.00	4.70
1B	0.45	0.85	5.00	7.35	1.00	2.81
1C	0.92	0.85	5.00	7.35	1.00	5.75

Inlet	Throat Height (ft)	Orifice Coeff.	Depth at Lip of Curb opening (ft)	Inlet Length (ft)	Inlet Capacity (cfs)	80% Inlet Capacity (cfs)	Peak Flow (cfs)	Bypass (cfs)
1A	0.50	0.67	0.83	8.00	19.63	15.71	4.70	0.00
1B	0.50	0.67	0.83	6.00	14.72	11.78	2.81	0.00
1C	0.50	0.67	0.83	6.00	14.72	11.78	5.75	0.00

Inlet	Drainage Area (Ac)	C	Tc (min)	i (in/hr)	K	Peak Flow (cfs)
1A	0.80	0.80	5.00	10.32	1.25	8.26
1B	0.45	0.85	5.00	10.32	1.25	4.93
1C	0.70	0.85	5.00	10.32	1.25	7.68
1D	0.22	0.65	5.00	10.32	1.25	1.84

Inlet	Throat Height (ft)	Orifice Coeff.	Depth at Lip of Curb opening (ft)	Inlet Length (ft)	Inlet Capacity (cfs)	80% Inlet Capacity (cfs)	Peak Flow (cfs)	Bypass (cfs)
1A	0.50	0.67	0.83	8.00	19.63	15.71	8.26	0.00
1B	0.50	0.67	0.83	6.00	14.72	11.78	4.93	0.00
1C	0.50	0.67	0.83	6.00	14.72	11.78	10.09	0.00

NOTE: INLET 1A DRAINAGE AREA DESIGN ASSUMES AN ADDITIONAL 0.87 AC OF IMPERVIOUS AREA FROM PROPOSED LOT 11 DEVELOPMENT.



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**DISCOVERY PARK  
THE VILLAGE - LOT 10**

100 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 10 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	11/04/2024
4	BUILDING PERMIT	01/03/2025

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CHECK BY: JWB

ISSUED DATE: 1/3/2025

FIELD BOOK:



ISSUED BY:

LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**STORM  
CALCULATIONS**

**SHEET NUMBER**

**C402**

15 OF 24



**GENERAL NOTES:**

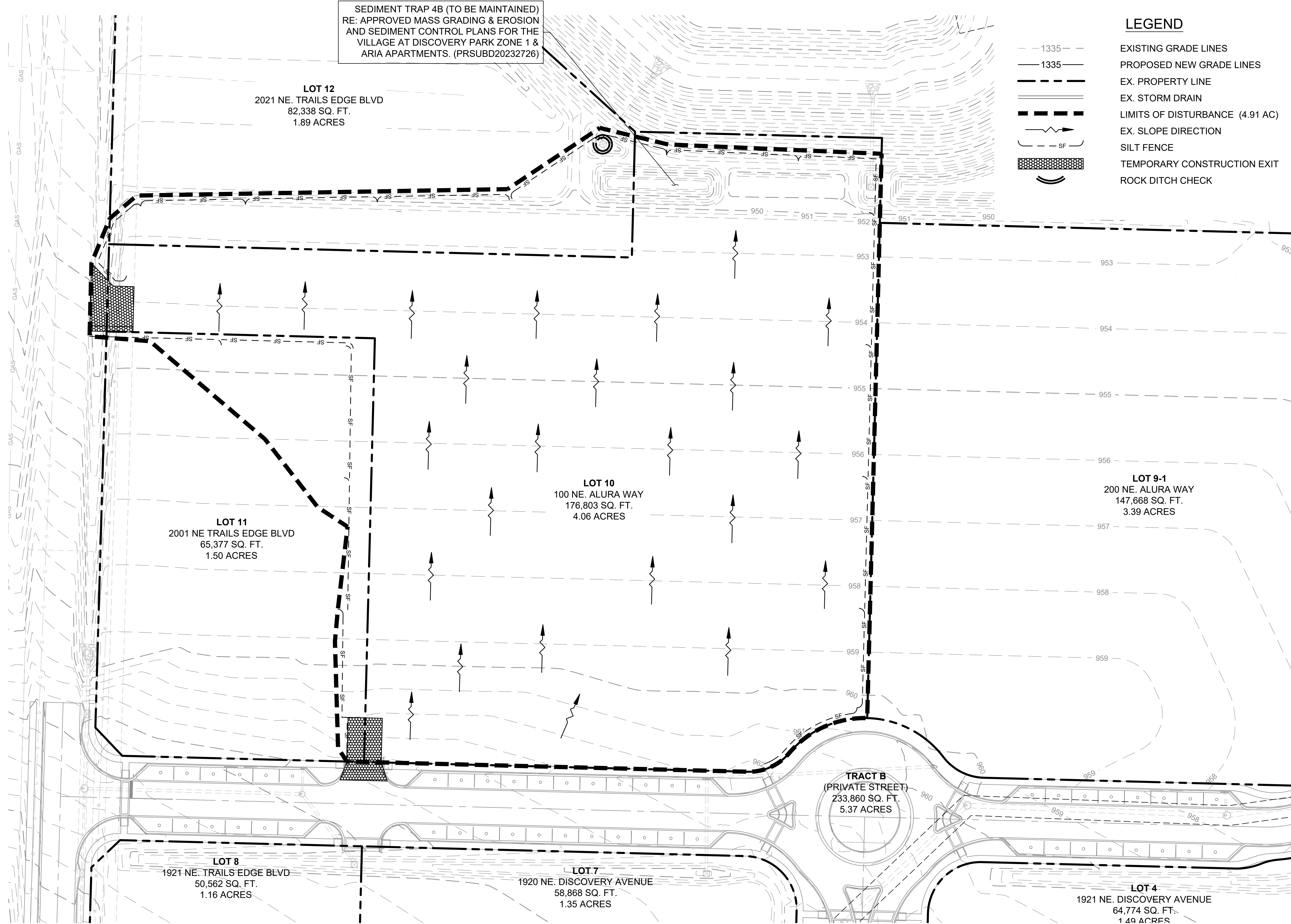
1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("EROSION CONTROL"), THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS ("SWPPP"), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATER OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OF DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. DUST ON SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATER OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURED PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS POSSIBLE.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 21 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. STABILIZATION MAY CONSIST OF SEED, SOD, TACK, PAVEMENT, STRUCTURE OR OTHER NON-ERODIBLE COVER.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IS CARRIED OFF THE SITE. ONLY USED INGRESS/EGRESS LOCATIONS AS PROVIDED.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES CONSISTING OF TOPSOIL, CLAY, OR SILT SHALL BE LEFT IN A ROUGHED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
21. CONTRACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE. PONDING OF WATER WILL NOT BE ALLOWED ON SITE. IF NECESSARY, CONTRACTOR TO PROVIDE TEMPORARY SWALES OR PUMPING IN LOW POINT SUMP CONDITIONS UNTIL THE INSTALLATION OF STORM SEWER.

**EROSION CONTROL & MAINTENANCE PLAN NOTES:**

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS FOR GOOD HOUSEKEEPING, SPILL CONTROL AND EROSION AND SEDIMENT CONTROL AS SPECIFIED IN THE KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION SECTION 2150.
2. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IN THEY SHOWN SIGNS OF UNDERMINING OR DETERIORATION.
3. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED, AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
4. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.
5. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
6. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
7. DRAINAGE SWALES WITH SLOPES STEEPER THAN 15% SHALL BE INSPECTED AFTER EACH RAINFALL EVENT. THESE CHANNELS AND SLOPES SHOULD BE TREATED WITH EROSION CONTROL FABRIC. IF THE CHANNELS OR SLOPES SHOW ANY SIGNS OF FAILURE, COORDINATE WITH THE ENGINEER TO DEVELOP A PLAN TO RE-STABILIZE THE FAILED AREA.

SEDIMENT TRAP 4B (TO BE MAINTAINED)  
RE: APPROVED MASS GRADING & EROSION  
AND SEDIMENT CONTROL PLANS FOR THE  
VILLAGE AT DISCOVERY PARK ZONE 1 &  
ARIA APARTMENTS. (PRSUBD20232726)



**LEGEND**

- 1335 --- EXISTING GRADE LINES
- 1335 — PROPOSED NEW GRADE LINES
- - - - - EX. PROPERTY LINE
- - - - - EX. STORM DRAIN
- - - - - LIMITS OF DISTURBANCE (4.91 AC)
- ~ ~ ~ EX. SLOPE DIRECTION
- - SF - - SILT FENCE
- ▨ - - - - TEMPORARY CONSTRUCTION EXIT
- - - - - ROCK DITCH CHECK

**GRADING NOTES:**

1. ALL TREES OUTSIDE OF LIMITS OF DISTURBANCE SHALL REMAIN. ONLY THOSE TREES WITHIN LIMITS OF DISTURBANCE THAT AREA IN THE AREA TO BE GRADED SHALL BE REMOVED.
2. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS. CONTRACTOR SHALL OBTAIN THE ON-SITE GEOTECHNICAL REPRESENTATIVE'S ACCEPTANCE OF THE EXISTING GROUND SURFACE MATERIALS AND THE PROPOSED FILL MATERIAL PRIOR TO THE PLACEMENT OF FILL.
3. ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, TOPSOIL, ETC. WHEN GRADING THE SITE.
4. ALL DISTURBED AREAS THAT SHALL BE FINISH GRADED WITH A MINIMUM OF FOUR INCHES OF TOPSOIL.
5. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
6. ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREIN.

**SEQUENCE OF CONSTRUCTION:**

- SITE IMPROVEMENTS CONSIST OF GRADING OPERATIONS, ALONG WITH RE-ACTIVATING OF A. EXISTING SEDIMENT TRAP. WORK SHALL BE CONDUCTED AS FOLLOWS:
1. MAINTAIN/RECONSTRUCT EXISTING SEDIMENT TRAP 4B AS DETAILED IN "MASS GRADING & EROSION AND SEDIMENT CONTROL PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1 & ARIA APARTMENTS" (CITY OF LEE'S SUMMIT, MO PROJECT NUMBER PRSUBD20232726)
  2. INSTALL CONSTRUCTION VEHICLE ENTRANCE AND INSTALL PERIMETER SILT FENCE AND INLET PROTECTION TO EXISTING INLETS SURROUNDING THE LIMITS OF DISTURBANCE.
  3. INSTALL SILT FENCE AND/OR DIVERSION BERM(S) AT TOE OF SLOPE ALONG PERIMETER OF PHASE I AREA. PHASE II ACTIVITIES CANNOT BEGIN UNTIL PHASE I IS COMPLETED.
  4. CONTRACTOR TO CONSTRUCT/MAINTAIN STORMWATER MANAGEMENT FACILITIES, SPECIFICALLY THOSE FEATURES RELATED TO DETENTION. PRIOR TO ANY LAND DISTURBANCE OF THE SITE AND PRIOR TO THE CONSTRUCTION OF ANY OTHER SITE DEVELOPMENT WORK AS NOT TO EFFECT DOWNSTREAM NEIGHBORS WITH UNDETAINED STORMWATER DISCHARGE.
  5. AS GRADING OPERATIONS ARE COMPLETED, AREAS TO REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH SEED AND COMPOST MULCH AND/OR STEEP SLOPE PROTECTION. SEE INTERMEDIATE EROSION CONTROL PLAN.

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LOT 10 - THE VILLAGE AT  
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REVISIONS		
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A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**ESC - PHASE I**

**SHEET NUMBER**

**C500**

16 OF 24



**GENERAL NOTES:**

1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING (EROSION CONTROL), THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS ("SWPPP"), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATER OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. DUST ON SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATER OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURED PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS POSSIBLE.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 21 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. STABILIZATION MAY CONSIST OF SEED, SOD, TACK, PAVEMENT, STRUCTURE OR OTHER NON-ERODIBLE COVER.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IS CARRIED OFF THE SITE. ONLY USED INGRESS/EGRESS LOCATIONS AS PROVIDED.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES CONSISTING OF TOPSOIL, CLAY, OR SILT SHALL BE LEFT IN A ROUGHED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
21. CONTRACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE. PONDING OF WATER WILL NOT BE ALLOWED ON SITE. IF NECESSARY, CONTRACTOR TO PROVIDE TEMPORARY SWALES OR PUMPING IN LOW POINT SUMP CONDITIONS UNTIL THE INSTALLATION OF STORM SEWER.

**EROSION CONTROL & MAINTENANCE PLAN NOTES:**

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS FOR GOOD HOUSEKEEPING, SPILL CONTROL AND EROSION AND SEDIMENT CONTROL AS SPECIFIED IN THE KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION SECTION 2150.
2. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IN THEY SHOWN SIGNS OF UNDERMINING OR DETERIORATION.
3. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED, AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
4. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.
5. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
6. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
7. DRAINAGE SWALES WITH SLOPES STEEPER THAN 16% SHALL BE INSPECTED AFTER EACH RAINFALL EVENT. THESE CHANNELS AND SLOPES SHOULD BE TREATED WITH EROSION CONTROL FABRIC. IF THE CHANNELS OR SLOPES SHOW ANY SIGNS OF FAILURE, COORDINATE WITH THE ENGINEER TO DEVELOP A PLAN TO RE-STABILIZE THE FAILED AREA.

**GRADING NOTES:**

1. ALL TREES OUTSIDE OF LIMITS OF DISTURBANCE SHALL REMAIN. ONLY THOSE TREES WITHIN LIMITS OF DISTURBANCE THAT AREA IN THE AREA TO BE GRADED SHALL BE REMOVED.
2. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS. CONTRACTOR SHALL OBTAIN THE ON-SITE GEOTECHNICAL REPRESENTATIVE'S ACCEPTANCE OF THE EXISTING GROUND SURFACE MATERIALS AND THE PROPOSED FILL MATERIAL PRIOR TO THE PLACEMENT OF FILL.
3. ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, TOPSOIL, ETC. WHEN GRADING THE SITE.
4. ALL DISTURBED AREAS THAT SHALL BE FINISH GRADED WITH A MINIMUM OF FOUR INCHES OF TOPSOIL.
5. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
6. ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREIN.

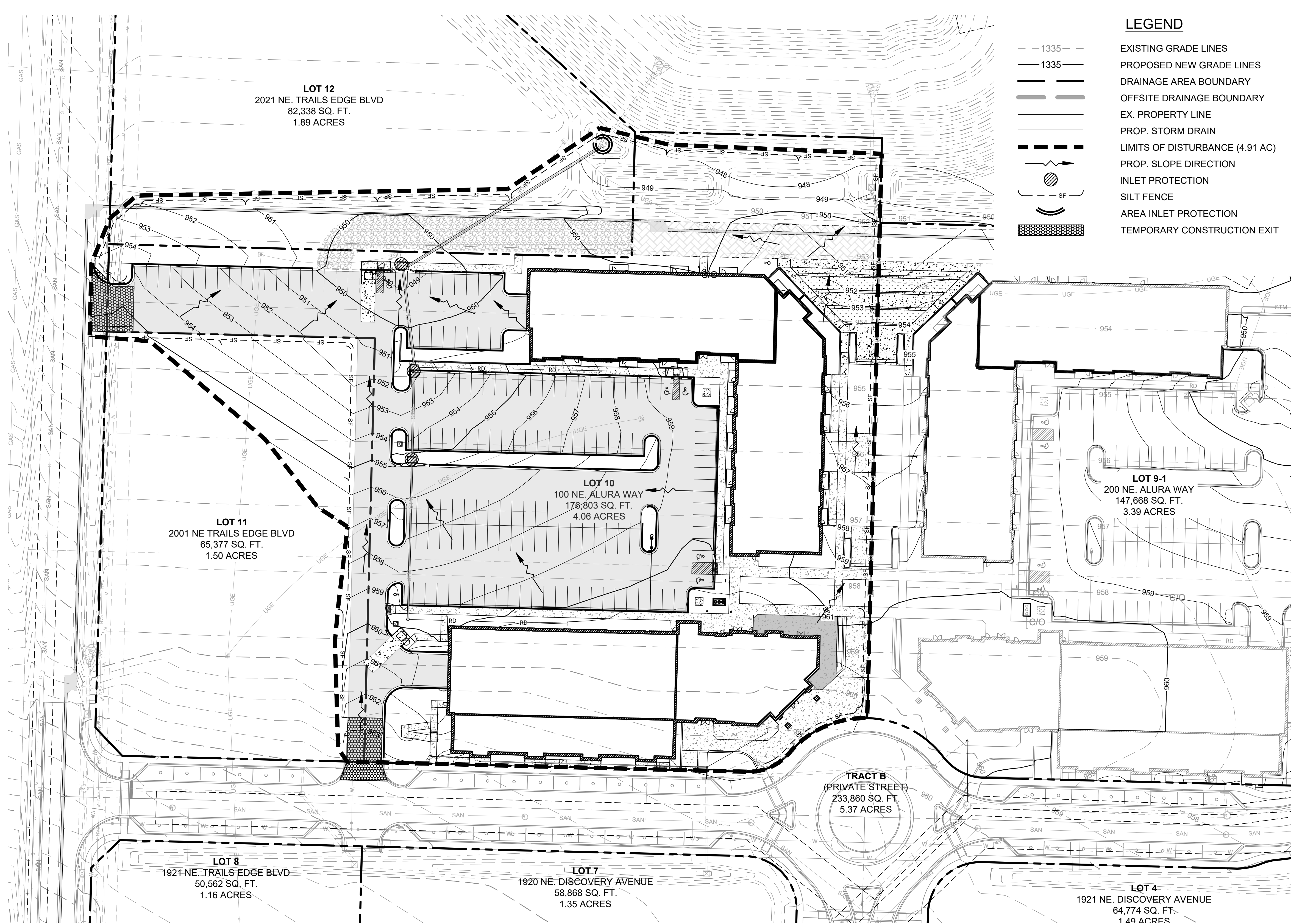
**SEQUENCE OF CONSTRUCTION:**

SITE IMPROVEMENTS CONSIST OF FINISHING MASS GRADING ACTIVITIES, BUILDING CONSTRUCTION, PARKING LOT PAVING, PROPOSED SERVICE LINE UTILITY INSTALLATION, AND STORM SEWERS. WORK SHALL BE CONDUCTED AS FOLLOWS:

1. FINISH ANY MASS GRADING AND/OR STEEP SLOPE STABILIZATION ACTIVITIES THAT WERE NOT COMPLETED IN PHASE I.
2. BEGIN INSTALLING UNDERGROUND INFRASTRUCTURE STARTING WITH SANITARY SEWER, FOLLOWED BY STORM SEWER, THEN WATER LINE. INSTALL INLET PROTECTION AND SLOPE INTERRUPT SILT FENCE ONCE PIPE BACKFILLING HAS BEEN COMPLETED.
3. AS PIPE INSTALLATION OPERATIONS ARE COMPLETED, AREAS TO REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH SEED AND COMPOST MULCH AND/OR STEEP SLOPE PROTECTION. SEE FINAL STABILIZATION PLAN.
4. AS STORM SEWER INFRASTRUCTURE IS COMPLETED, INLET PROTECTION SHALL BE INSTALLED TO PROTECT EXISTING STORM SEWER INFRASTRUCTURE FROM HIGHLY CONCENTRATED DISCHARGE FLOWS.
5. ALL PHASE I AND PHASE II EROSION CONTROL MEASURES SHALL CONTINUE BEING REGULARLY INSPECTED AND MAINTAINED UNTIL FINAL STABILIZATION OF AT LEAST 70% OF THE DISTURBED SURFACE HAS BEEN MET THROUGH TEMPORARY SEEDING.
6. PHASE 1 EROSION CONTROL BMP'S MAY BE REMOVED UPON COMPLETION OF PAVING ACTIVITIES.

**LEGEND**

- 1335 --- EXISTING GRADE LINES
- 1335 — PROPOSED NEW GRADE LINES
- DRAINAGE AREA BOUNDARY
- OFFSITE DRAINAGE BOUNDARY
- EX. PROPERTY LINE
- PROP. STORM DRAIN
- LIMITS OF DISTURBANCE (4.91 AC)
- PROP. SLOPE DIRECTION
- INLET PROTECTION
- SILT FENCE
- AREA INLET PROTECTION
- TEMPORARY CONSTRUCTION EXIT



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**DISCOVERY PARK  
THE VILLAGE - LOT 10**

100 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 10 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	11/04/2024
4	BUILDING PERMIT	01/03/2025

**DRAWING INFORMATION**

PROJECT NO: 24KC10007

DRAWN BY: JGD

CHECK BY: JWB

ISSUED DATE: 1/3/2025

FIELD BOOK:

ISSUED BY:

LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

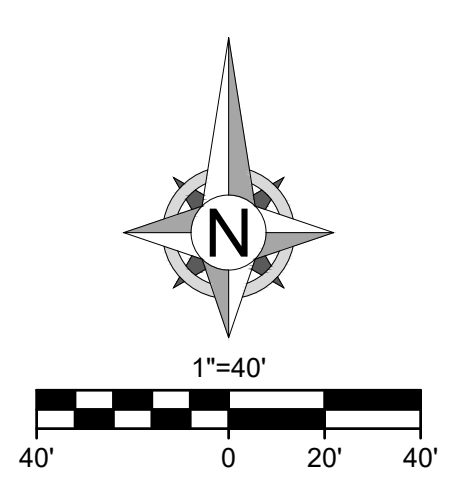
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**ESC - PHASE II**

**SHEET NUMBER**

**C501**

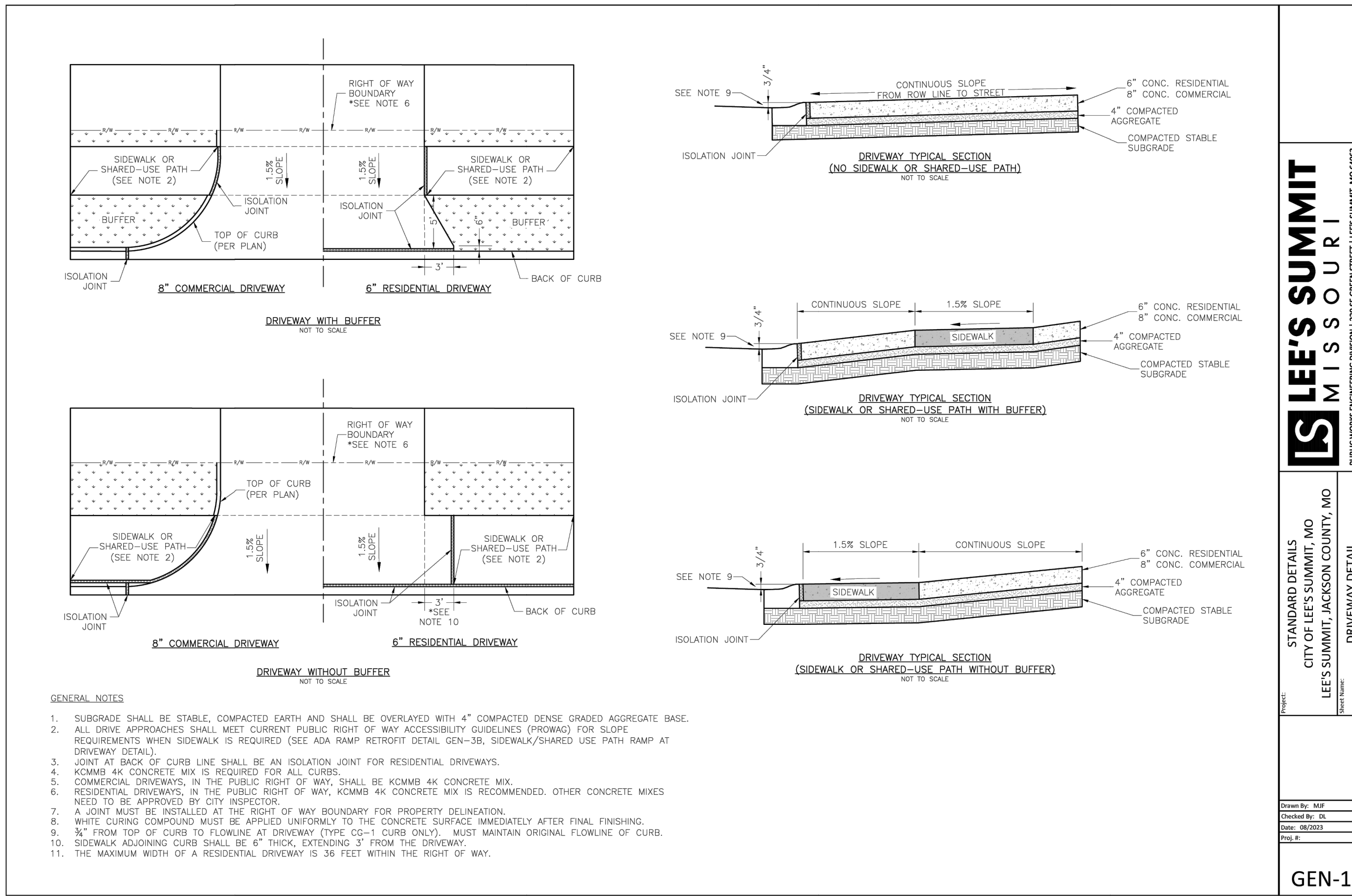
17 OF 24



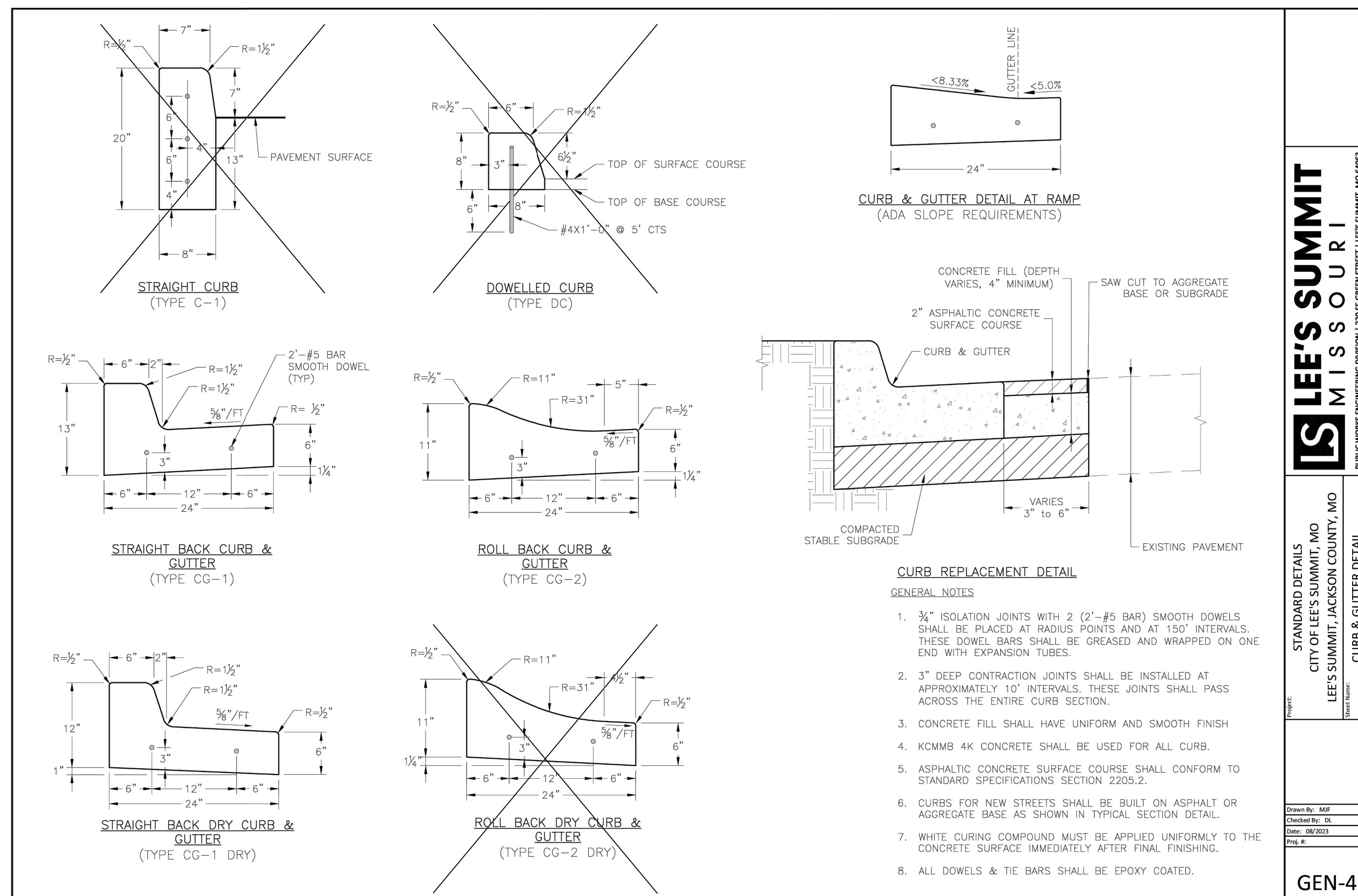




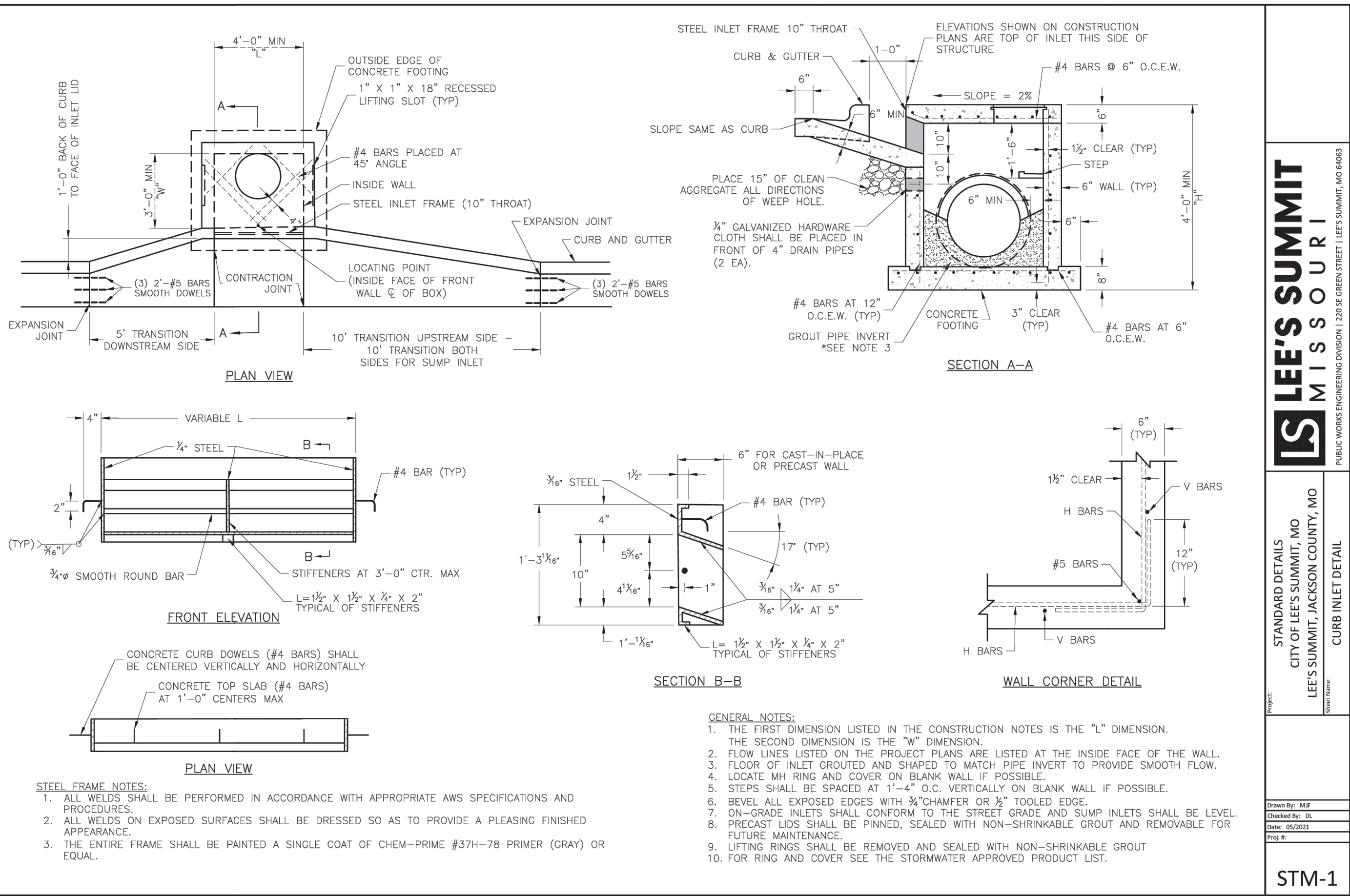




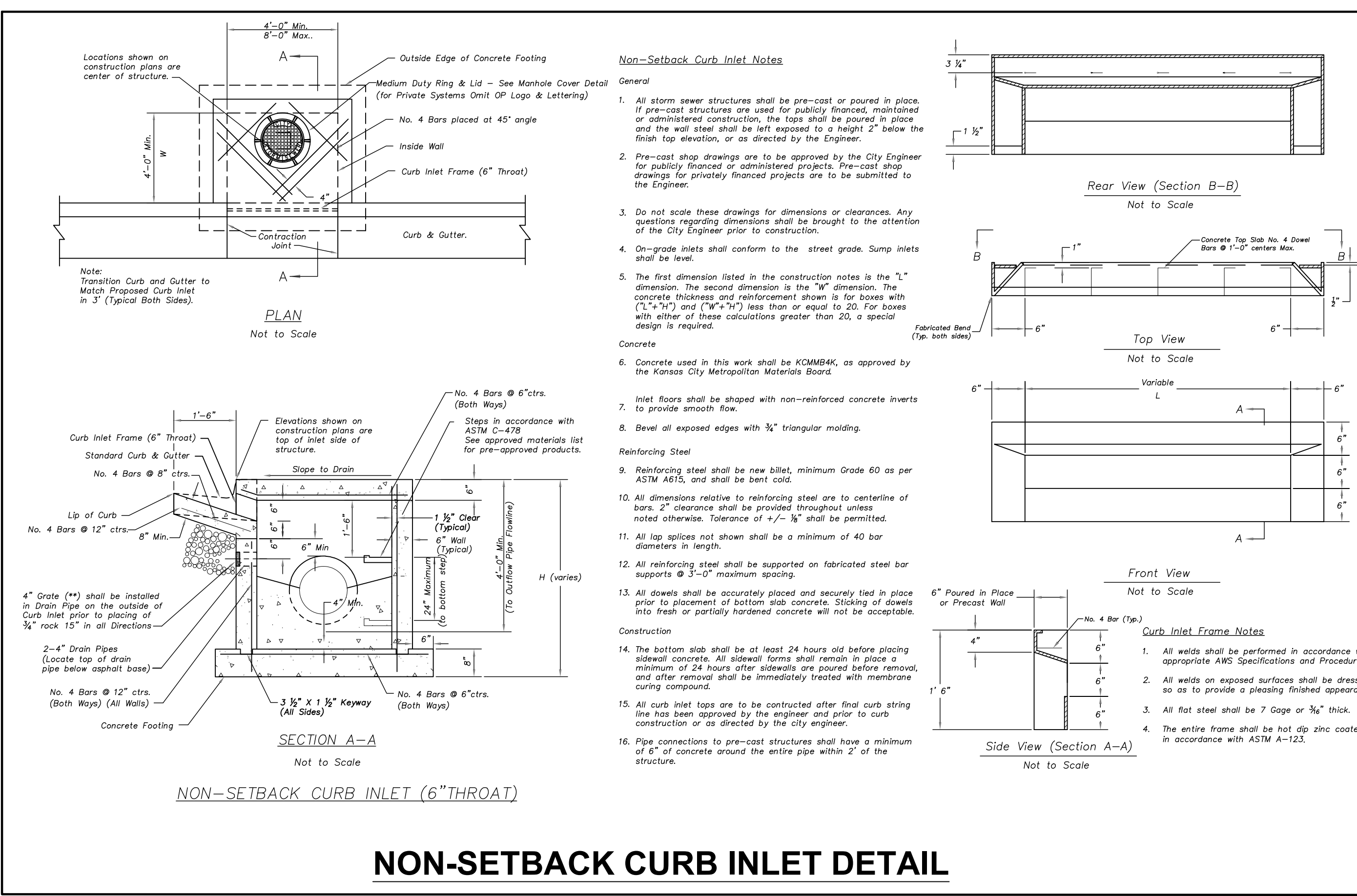
**LEE'S SUMMIT MISSOURI**  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT, JACKSON COUNTY, MO  
 DRIVEWAY DETAIL  
 GEN-1



**LEE'S SUMMIT MISSOURI**  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT, JACKSON COUNTY, MO  
 CURB & GUTTER DETAIL  
 GEN-4



**LEE'S SUMMIT MISSOURI**  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT, JACKSON COUNTY, MO  
 CURB INLET DETAIL  
 STM-1



**NON-SETBACK CURB INLET DETAIL**

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FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK THE VILLAGE - LOT 10**

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LOT 10 - THE VILLAGE AT  
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**DRAWING INFORMATION**

PROJECT NO: 24KC10007  
 DRAWN BY: JGD  
 CHECK BY: JWB  
 ISSUED DATE: 1/3/2025  
 FIELD BOOK:

**JEFFREY W. BARTZ**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. PE-301202594  
 01/03/2025

ISSUED BY:  
 LICENSE NO:

A licensed Missouri  
 Engineering Corporation  
 COA# 00062

**SHEET TITLE**

**DETAILS - 1**

**SHEET NUMBER**

**C600**

19 OF 24

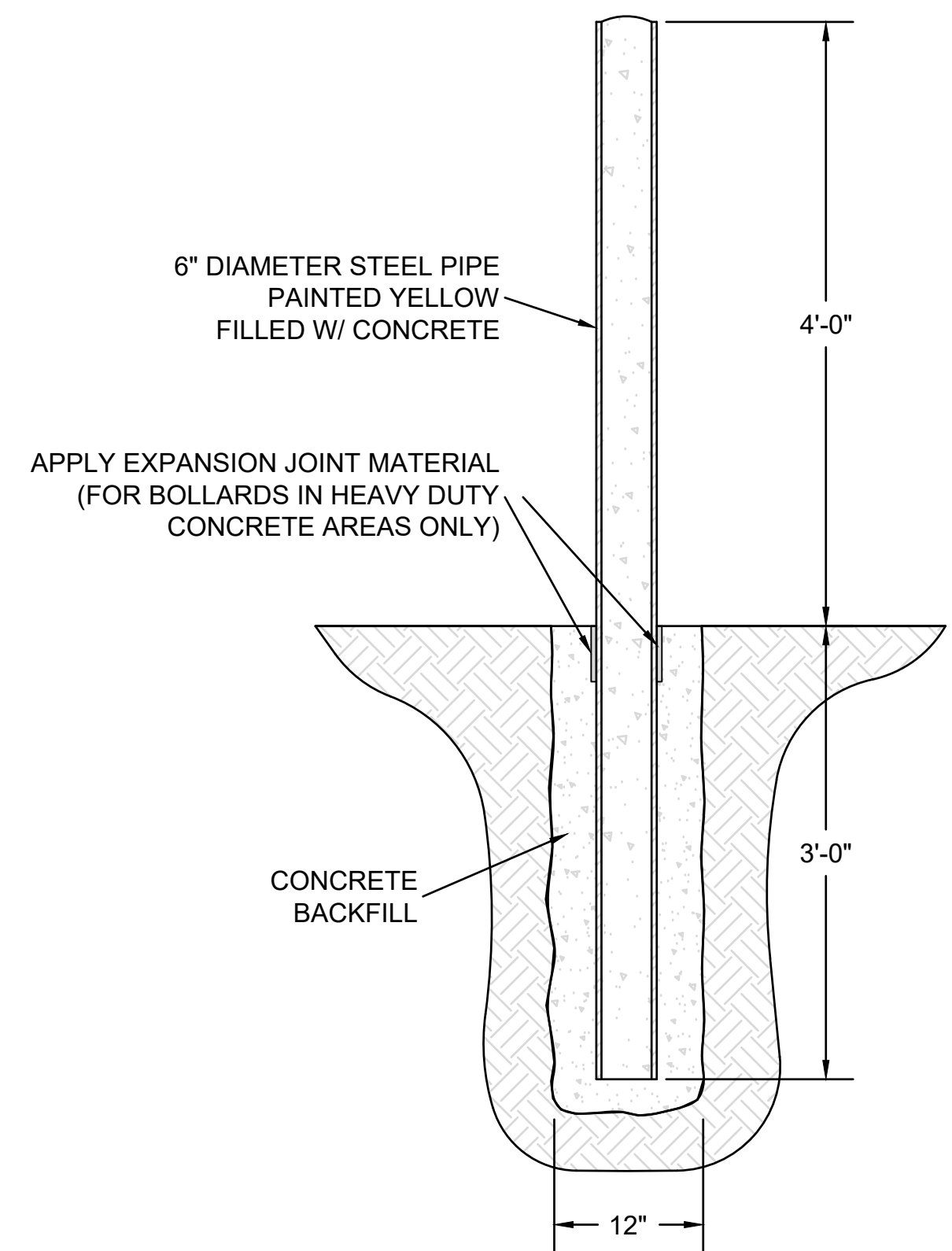




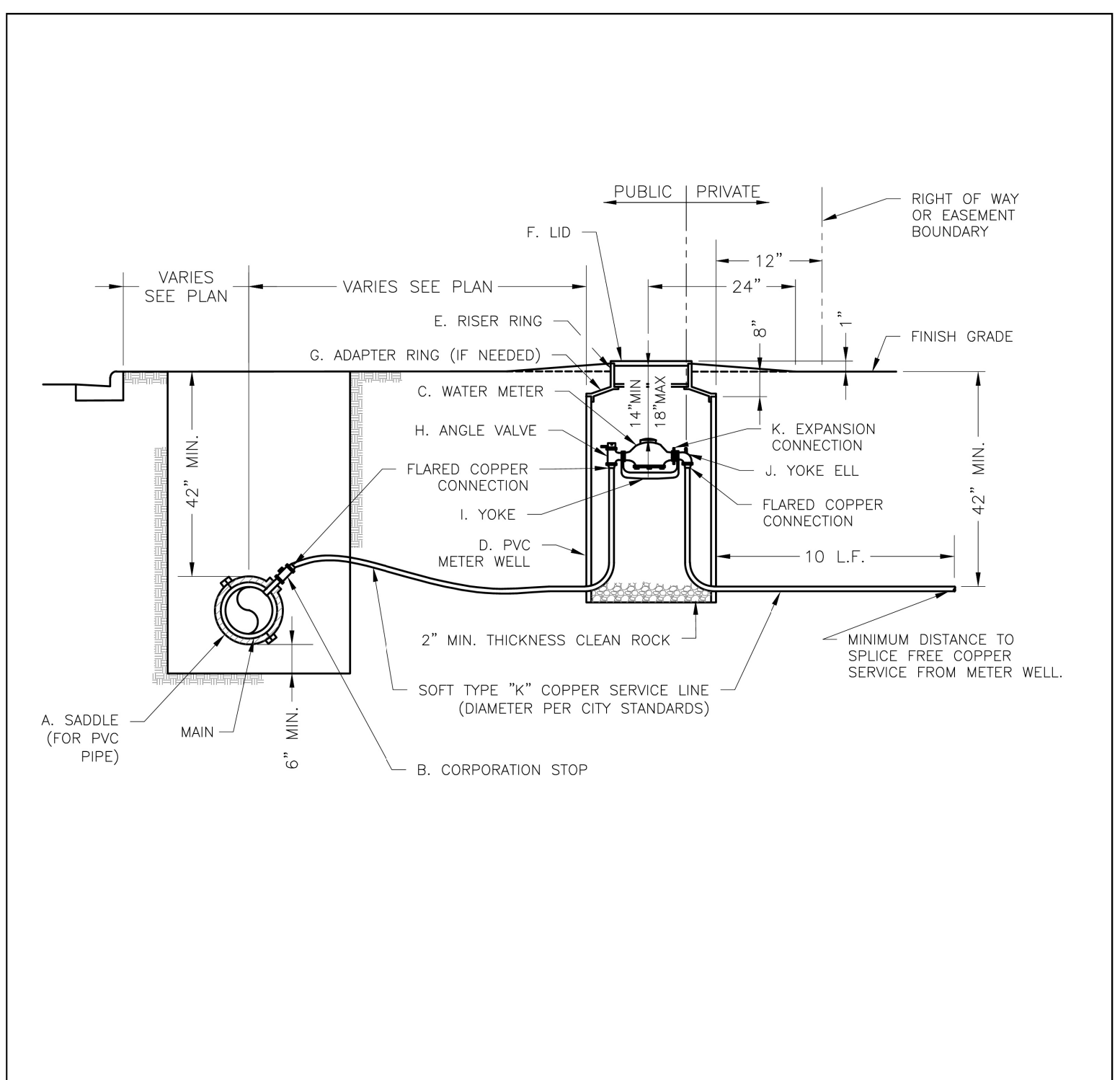








**011 STEEL/CONCRETE BOLLARD**  
**C200 SCALE: NOT TO SCALE**



**NOTES:**

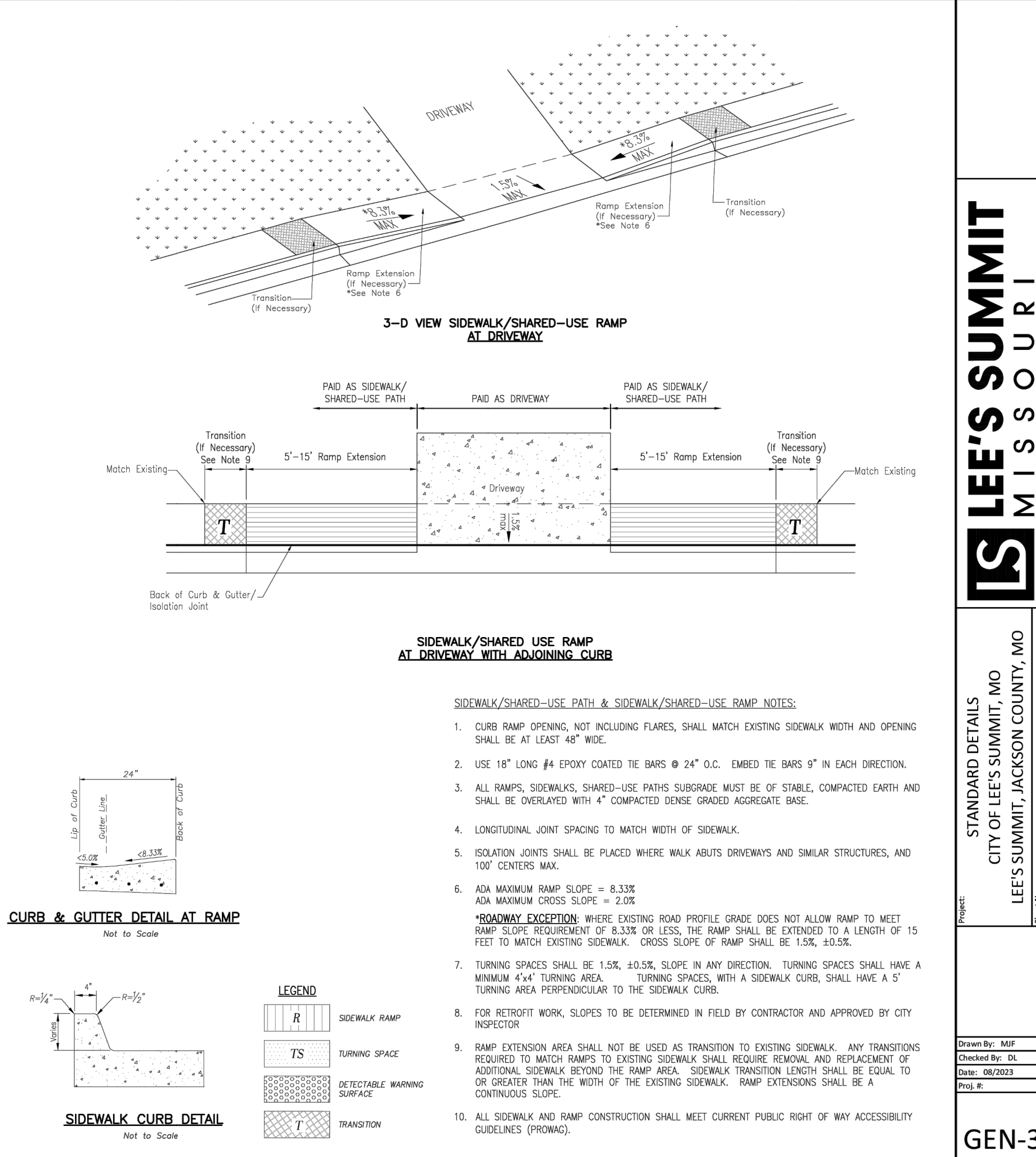
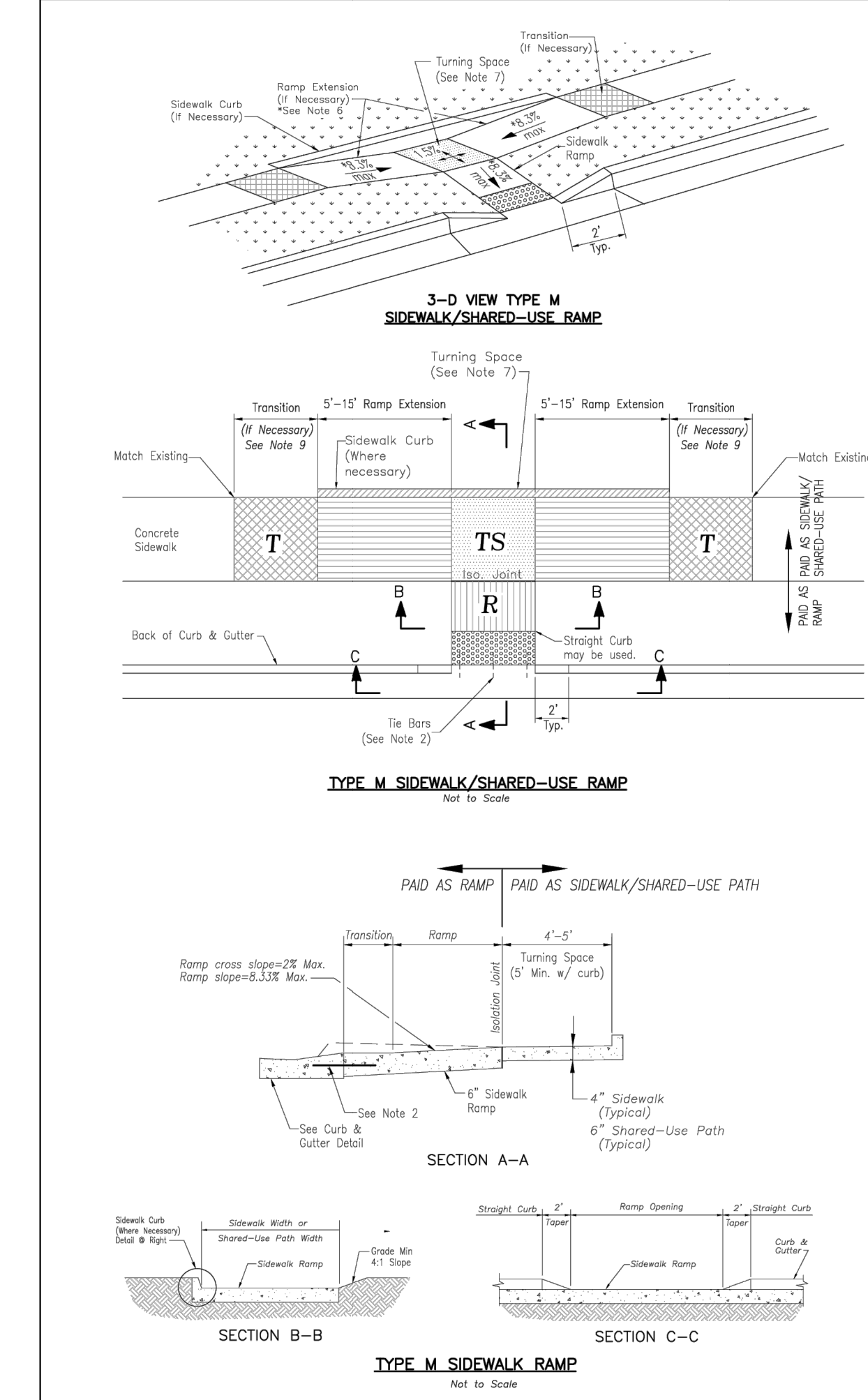
- METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
- IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
- CITY TO FURNISH ITEMS A-K.
- NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
- 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
- EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
- NO SPLICES ALLOWED BETWEEN METER AND MAIN.
- SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
- LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
- CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"

**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083

**DATE:** 08/2023  
**DRAWN BY:** MJF  
**CHECKED BY:** KLY

**WAT-11**

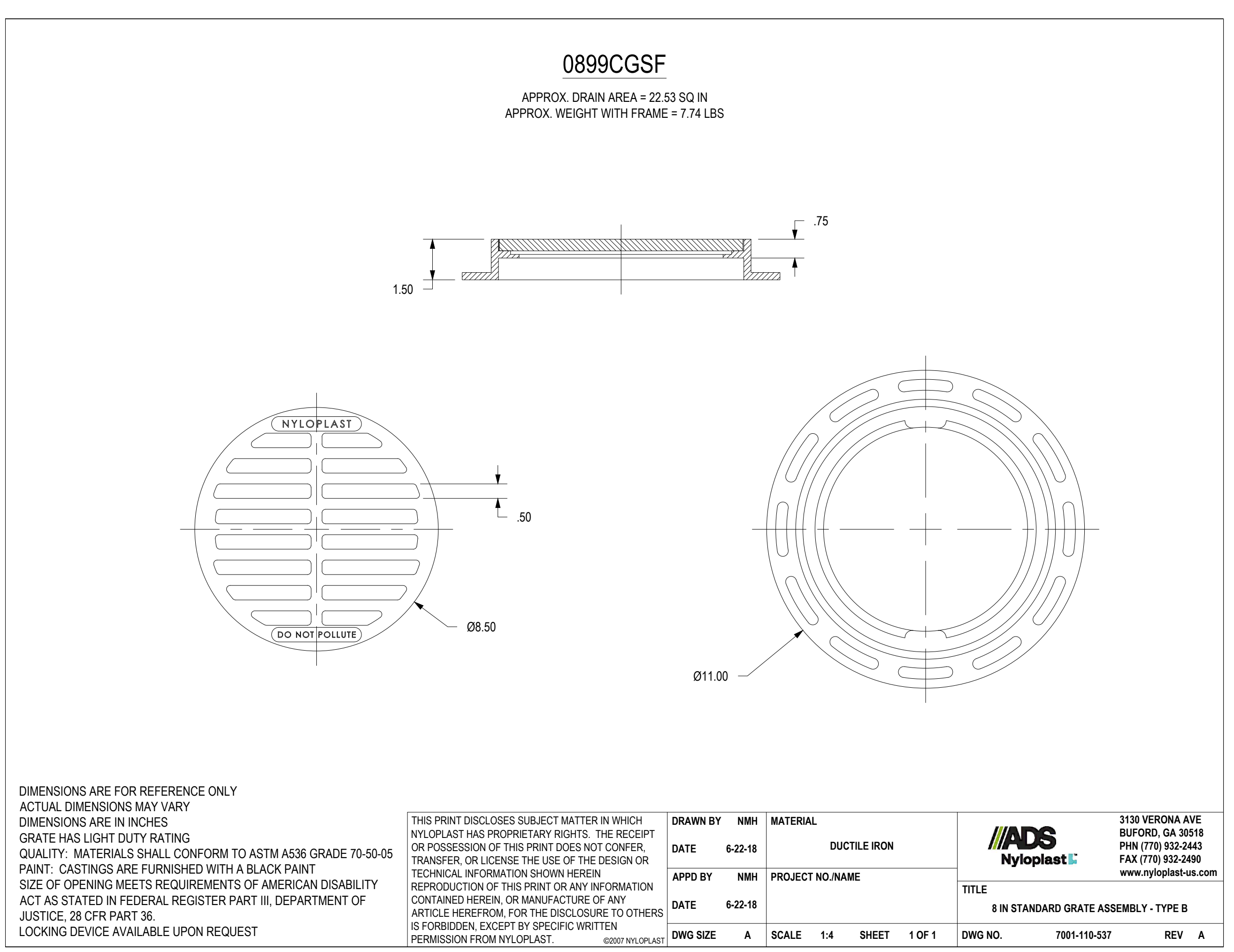
**SERVICE CONNECTION WITH METER WELL**



**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083

**STANDARD DETAILS**  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT, JACKSON COUNTY, MO  
 ADA RAMP RETROFIT DETAIL

**GEN-3B**



**NYLOPLAST 8" DRAIN BASIN: 2808AG \_\_ X**

**NYLOPLAST**

**DO NOT POLLUTE**

**08.50**

**Ø11.00**

**0.75**

**1.50**

**0899CGSF**  
 APPROX. DRAIN AREA = 22.53 SQ IN  
 APPROX. WEIGHT WITH FRAME = 7.74 LBS

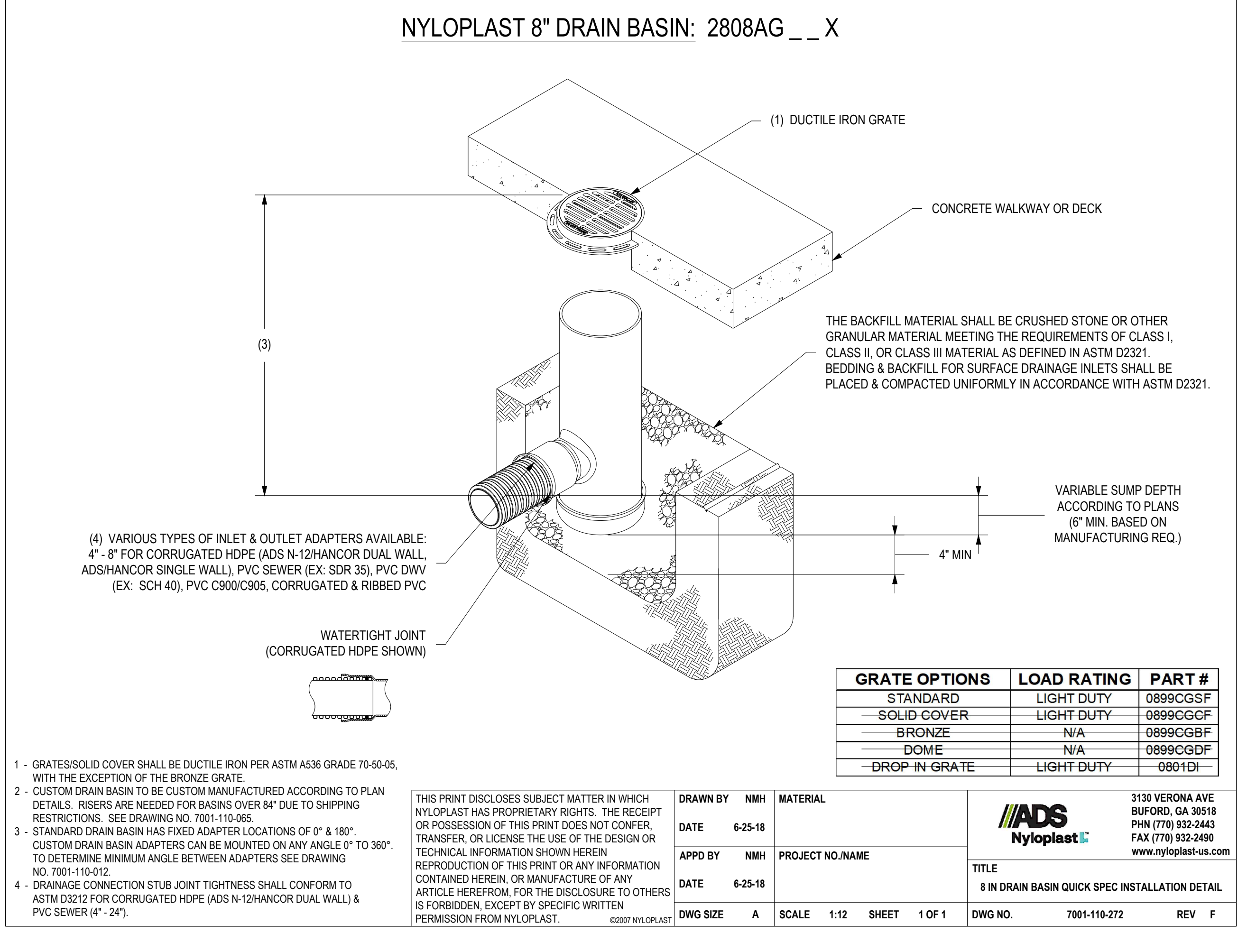
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**0899 NYLOPLAST**

<b>DRAWN BY</b>	NMH	<b>MATERIAL</b>	DUCTILE IRON
<b>DATE</b>	6-22-18	<b>PROJECT NO./NAME</b>	
<b>APPD BY</b>	NMH	<b>TITLE</b>	8 IN STANDARD GRATE ASSEMBLY - TYPE B
<b>DATE</b>	6-22-18	<b>DWG NO.</b>	7001-110-537
<b>DWG SIZE</b>	A	<b>SCALE</b>	1:4
		<b>SHEET</b>	1 OF 1
		<b>REV</b>	A

**3130 VERONA AVE**  
**BUFORD, GA 30518**  
**PHN (770) 932-2443**  
**FAX (770) 932-2490**  
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**NYLOPLAST 8" DRAIN BASIN: 2808AG \_\_ X**

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<b>DRAWN BY</b>	NMH	<b>MATERIAL</b>	DUCTILE IRON
<b>DATE</b>	6-25-18	<b>PROJECT NO./NAME</b>	
<b>APPD BY</b>	NMH	<b>TITLE</b>	8 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL
<b>DATE</b>	6-25-18	<b>DWG NO.</b>	7001-110-272
<b>DWG SIZE</b>	A	<b>SCALE</b>	1:12
		<b>SHEET</b>	1 OF 1
		<b>REV</b>	F

**3130 VERONA AVE**  
**BUFORD, GA 30518**  
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**DISCOVERY PARK THE VILLAGE - LOT 10**

100 NE ALURA WAY  
 DISCOVERY PARK  
 NW COLBERN RD & NE DOUGLAS ST

**REVISIONS**

NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	11/04/2024
4	BUILDING PERMIT	01/03/2025

**DRAWING INFORMATION**

PROJECT NO: 24KC10007

DRAWN BY: JGD

CHECK BY: JWV

ISSUED DATE: 1/3/2025

FIELD BOOK:

**STATE OF MISSOURI**  
**JEFFREY W. BARTZ**  
 LICENSE NUMBER  
 PE-301202594  
 01/03/2025  
**PROFESSIONAL ENGINEER**

ISSUED BY:

LICENSE NO:

A licensed Missouri  
 Engineering Corporation  
 COA# 00062

**SHEET TITLE**

**DETAILS - 4**

**SHEET NUMBER**

**C603**

22 OF 24







