

Neighborhood Meeting  
December 20, 2024  
Express Stop – 3394 NW Village Park Dr  
Lee's Summit, MO

Application No PL2024302

Meeting date December 19, 2024

Notices were sent for the neighborhood meeting on December 11, 2024 via certified mail. Notice in included with this submittal

No Sign in sheet is included with this submittal, due to no attendees

Meeting concluded at 6:30 pm

Notes taken and provided by Matt Schlicht, Engineering Solutions

# NOTICE TO PROPERTY OWNERS NEIGHBORHOOD MEETING

Date Notice Sent: December 11, 2024

Neighborhood meeting will be held on the following application as noted below.

Public hearings will be held on the following application during future meetings of the Planning Commission and City Council of the City of Lee's Summit, a separate mailing will be sent in the future once those dates have been established.

**Application#:** PL2024302

**Description of Proposal:** Commercial Preliminary Development Plan

**Location of the Property (Street Address):** 3394 NW Village Park Dr, Lee's Summit, MO 64081  
(location map attached)

**Applicant:** ENGINEERING SOLUTIONS

**Neighborhood Meeting:**

**Date and Time of Meeting:** December 19, 2024 at 6:00 PM

Gamber Center – Yellowstone Room

4 SE Independence Ave

Lee's Summit, MO 64063

All interested persons are invited to attend and will have an opportunity to be heard at the meeting.

Question about this meeting or the project can be sent to

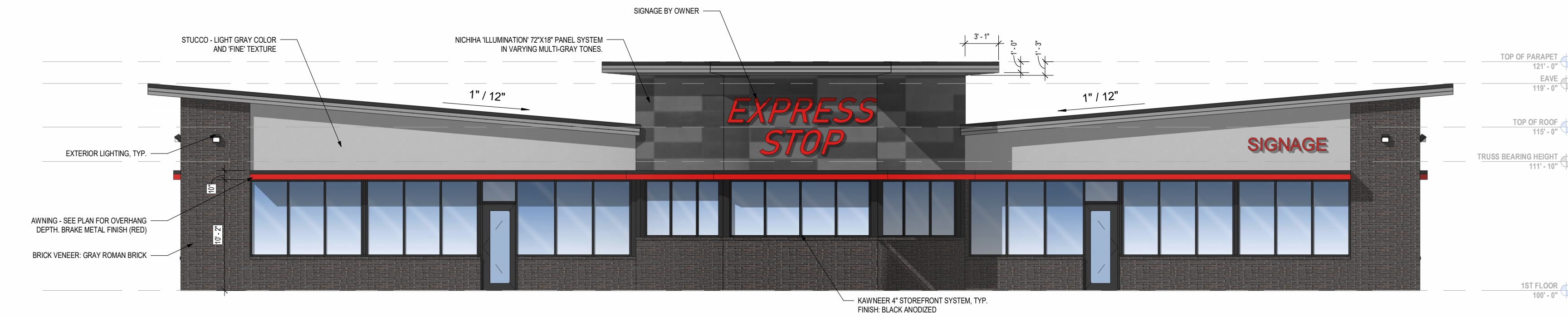
Engineering Solutions

Matt Schlicht

816-623-9888 Ext 0#

mschlicht@es-kc.com





2 ELEVATION - SOUTH  
1/8" = 1'-0"



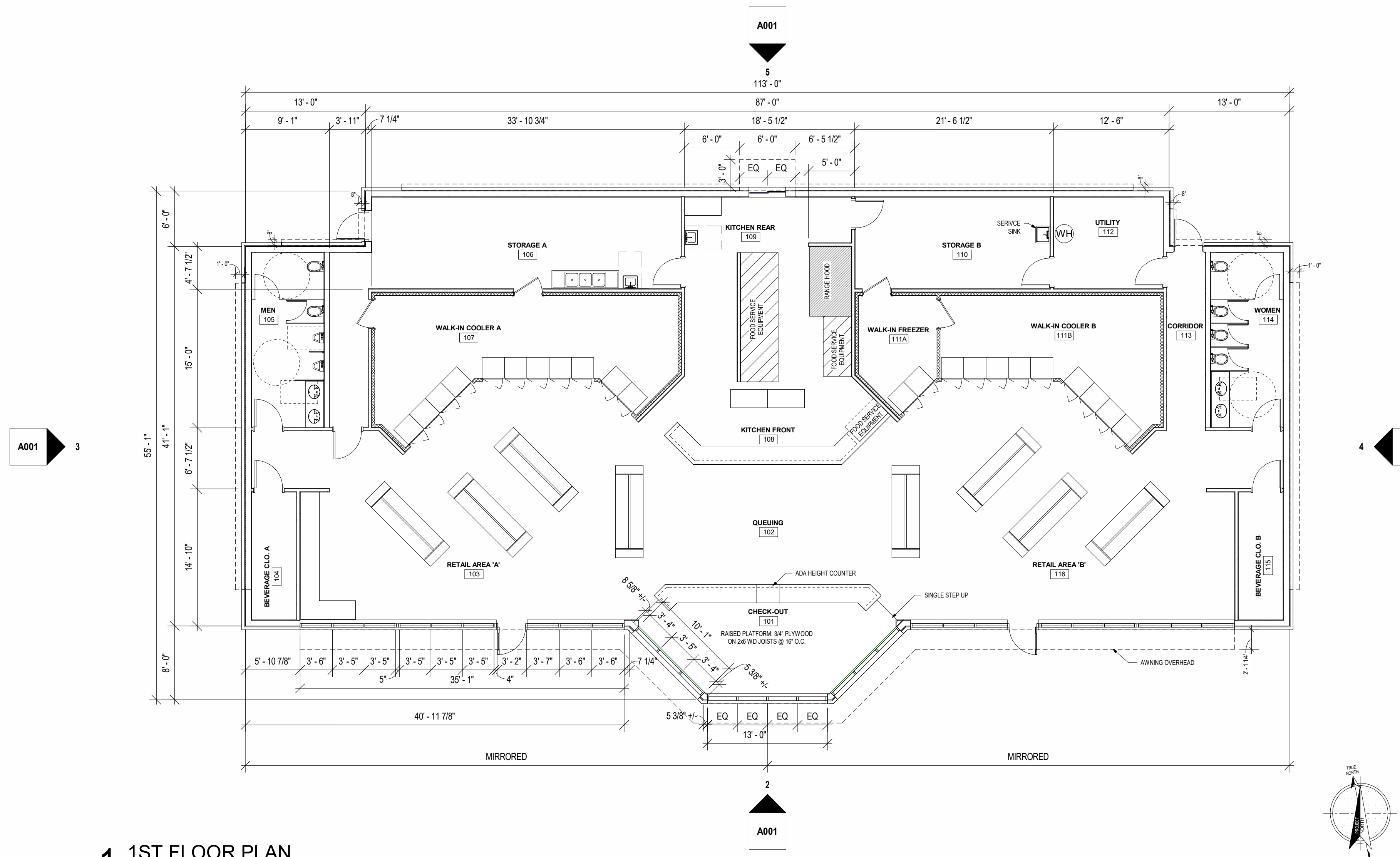
3 ELEVATION - WEST  
1/8" = 1'-0"



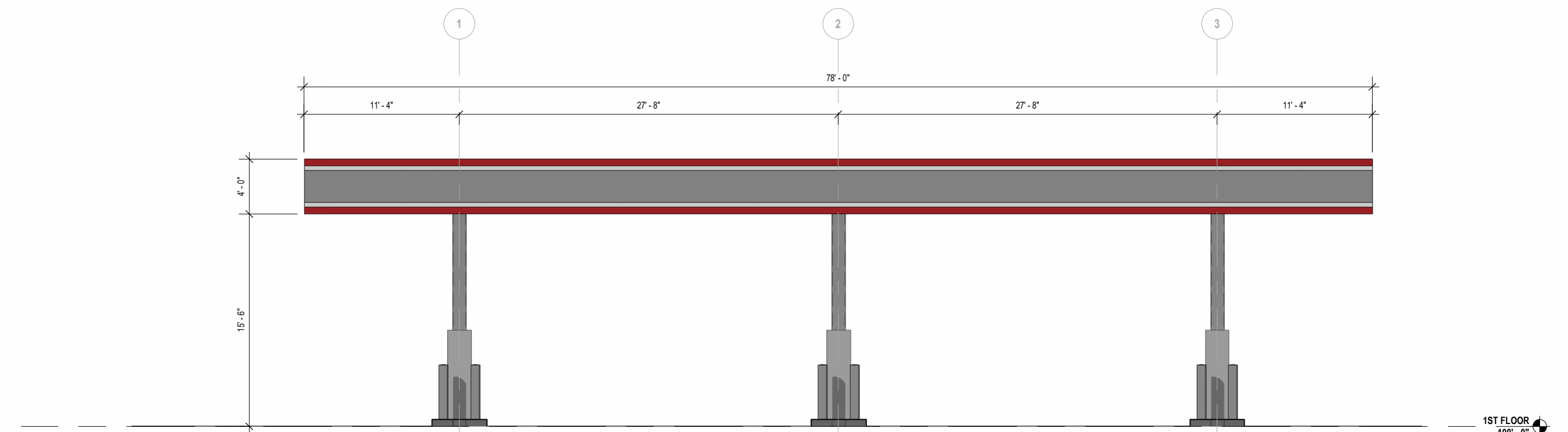
4 ELEVATION - EAST  
1/8" = 1'-0"



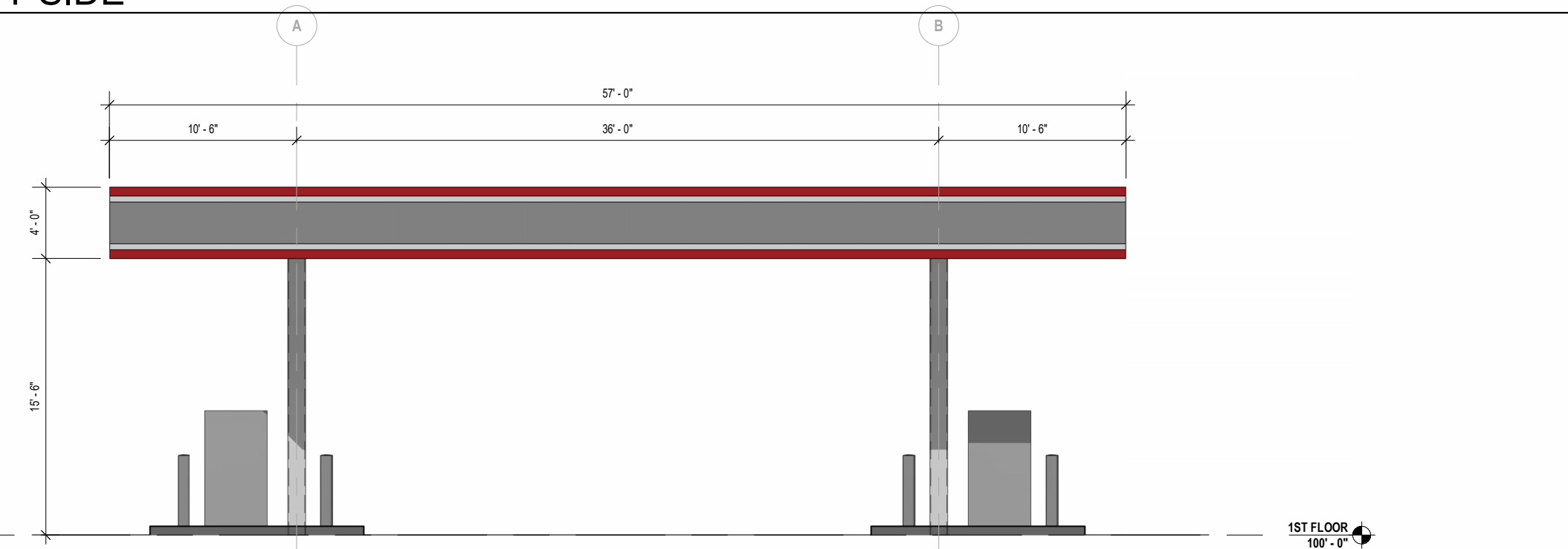
5 ELEVATION - NORTH  
1/8" = 1'-0"



1 1ST FLOOR PLAN  
1/8" = 1'-0"



6 ELEVATION - CANOPY SIDE  
1/8" = 1'-0"



7 ELEVATION - CANOPY END  
1/8" = 1'-0"



3394 NW VILLAGE PARK DR  
Preliminary Development Plan  
Section 3, Township 47 North, Range 32 West  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PROPERTY DESCRIPTION

All of Lot 2B of Minor Plot of Village at View High-Lots 2A & 2B, in Lee's Summit, Jackson County, Missouri, Recorded as Document Number 2017E0113945.

ALL PAVING ON THE PARKING LOT WILL COMPLY WITH THE UNIFIED DEVELOPMENT ORDINANCE ARTICLE 8 IN TERMS OF PAVING THICKNESS AND BASE

OIL - GAS WELLS

ACCORDING TO EDWARD ALTON MAY JR'S ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, THERE ARE NOT OIL AND GAS WELLS WITHIN 185 FEET OF THE PROPERTY AS SURVEYED HEREON.

SURVEY AND PLAT NOTES:

THE SUBJECT PROPERTY SURVEYED LIES WITHIN A FLOOD ZONE DESIGNATED ZONE (X), AREAS LOCATED OUTSIDE THE 100 YEAR FLOOD PLAIN, PER F.E.M.A. MAP, COMMUNITY PANEL NO. 29095C0412G EFFECTIVE DATE: JANUARY 20, 2017.

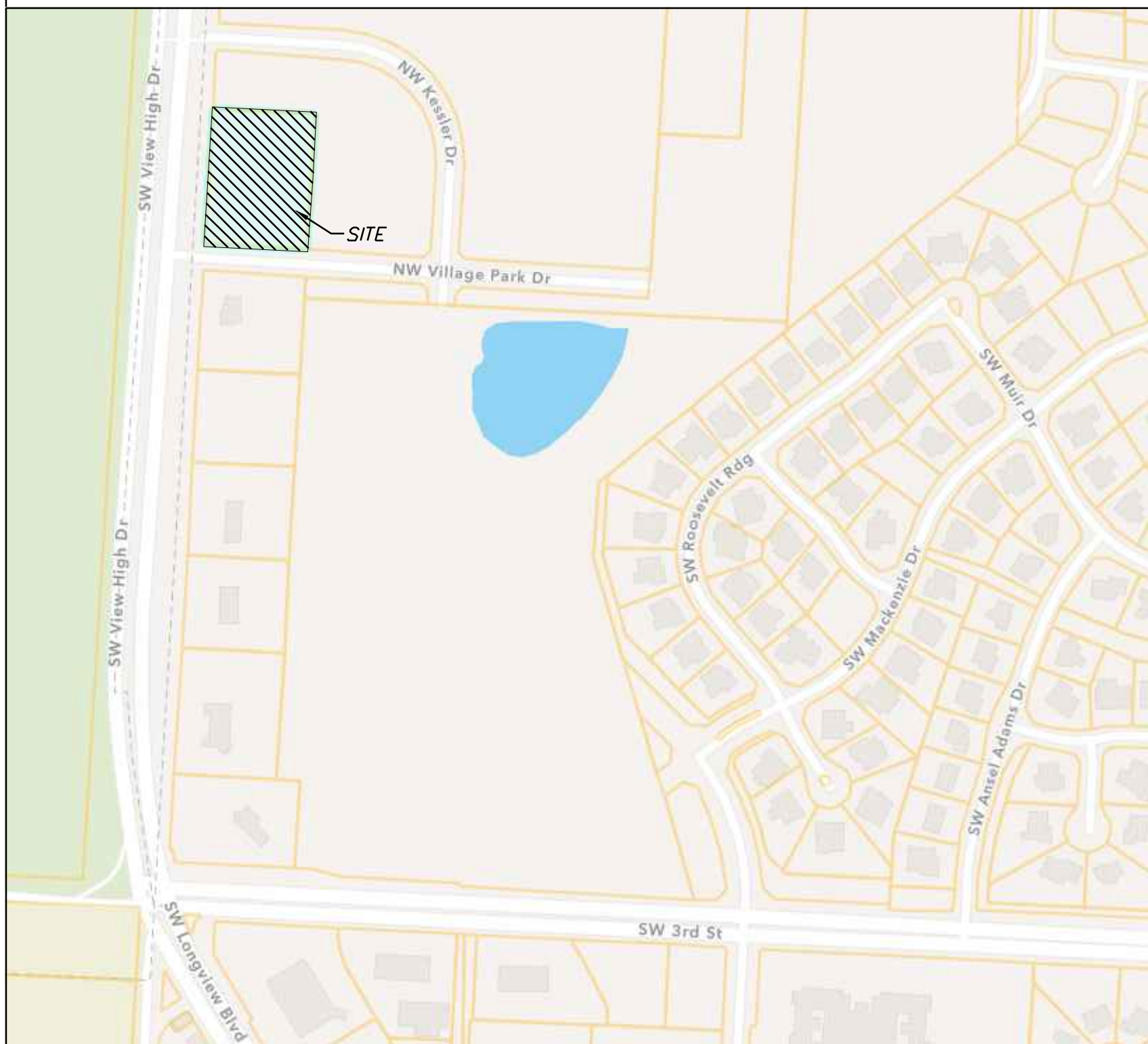
UTILITY COMPANIES:

THE FOLLOWING LIST OF UTILITY COMPANIES IS PROVIDED FOR INFORMATION ONLY. WE DO NOT OFFER ANY GUARANTEE OR WARRANTY THAT THIS LIST IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION AND VERIFYING THE ACTUAL LOCATION OF EACH UTILITY LINE. THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.

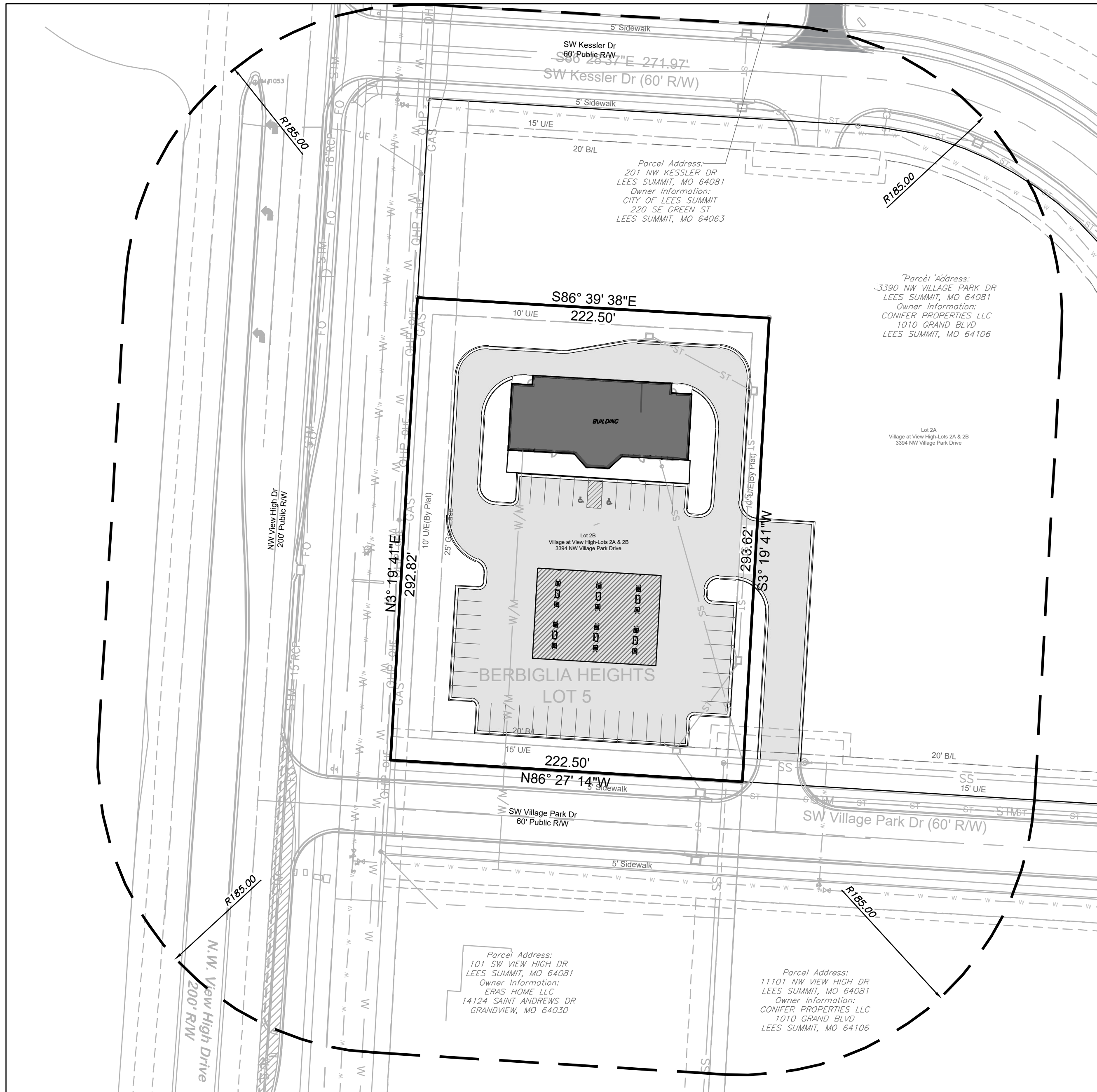
EVERGY - 286-1196  
MISSOURI GAS ENERGY - 756-5281  
SOUTHWESTERN BELL TELEPHONE - 761-5011  
COMCAST CABLE - 795-1100  
WILLIAMS PIPELINE - 422-6300  
CITY OF LEE'S SUMMIT PUBLIC WORKS - 969-1800  
CITY OF LEE'S SUMMIT PUBLIC WORKS INSPECTIONS - 969-1800  
CITY OF LEE'S SUMMIT WATER UTILITIES - 969-1900  
MISSOURI ONE CALL (DIG RITE) - 1-800-344-7483

GENERAL NOTES:

- 1- ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- 2- ALL REQUIRED EASEMENTS WITHIN THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED BY SEPARATE DOCUMENT
- 3- ANY REQUIRED EASEMENT LOCATED OUTSIDE OF THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR BY SEPARATE INSTRUMENT PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- 4- THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.
- 5- THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH THE IMPROVEMENTS PROPOSED BY THESE PLANS AND SITE CONDITIONS.
- 6- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND OBTAIN THE APPROPRIATE BLASTING PERMITS FOR A REQUIRED BLASTING. IF BLASTING IS ALLOWED, ALL BLASTING SHALL CONFORM TO STATE REGULATIONS AND LOCAL ORDINANCES.

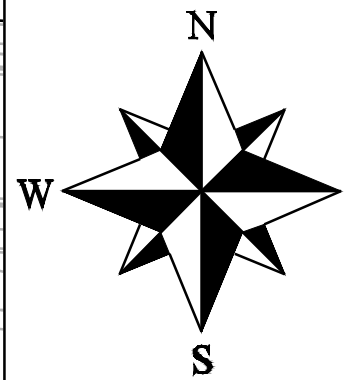


Vicinity Map



SITE LOCATION MAP

SCALE" 1"=50'



INDEX OF SHEETS:

- C.100 ~ OVERALL SITE PLAN
- C.101 ~ DEVELOPMENT SITE PLAN
- C.200 ~ GRADING PLAN
- C.300 ~ UTILITY PLAN
- L.100 ~ LANDSCAPE PLAN
- L.101 ~ LANDSCAPE PLAN DETAILS

Site Impervious Area

Total Area	1.50 acres (65,241.23 sq. ft.)
Commercial Office Site	
Site Area	1.50 Acres
Building	6,668 sq. ft.
Parking	38,254 sq. ft.
Sidewalk	0 sq. ft.
Impervious Area	44,922 sq. ft. (68.9% of Site)
Floor-Area-Ratio	10.2%

Parking:

Provided	
40 Standard (2 ADA Accessible)	
Required	
40 Standard (2 ADA Accessible)	
Total Parking Spaces	40

Current Zoning: PMIX  
Proposed Zoning: PMIX

Site Improvement Notes

Sanitary Sewer Improvements  
-The site will utilize the existing sanitary sewer on the north side of SW Village Park Dr.

Water Main Improvements  
-The site will utilize the existing water on the south side of SW Village Park Dr.

Storm Sewer  
-Enclosed pipe systems and inlets will collect and convey the onsite storm water runoff and direct it toward the existing public storm sewer system.

Storm Water Detention  
-N/A

LEGEND:

Existing Underground Power	UGP	UGP
Existing Conc. Curb & Gutter		
Existing Wood Fence	X	X
Existing Gas Main	GAS	
Existing Water Main	-X-W/M-	-X-W/M-
Existing Storm Sewer	-X-STM-	-X-STM-
Existing Sanitary Sewer	-X-SAN-	-X-SAN-
Existing Underground Telephone	UGT	UGT
Existing Overhead Power	OHE	
Proposed Storm Sewer	ST	ST
Proposed Sanitary Sewer	SS	SS
Proposed Underground Power	UGT	UGT
Proposed Gas Service	GAS	
Proposed 8" D.I.P. Water	W	
Proposed Electrical Service	UGP	UGP

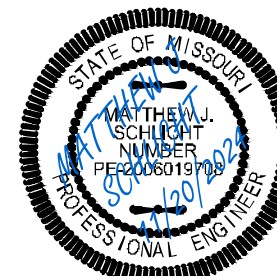


Professional Registration  
Missouri  
Engineering 200500185-D  
Surveying 202003818-C  
Kansas  
Engineering E-1686  
Surveying LS-219  
Oklahoma  
Engineering R254  
Nebraska  
Engineering CA2821

3394 NW Village Park Dr  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

Project:  
3394 NW VILLAGE  
PARK  
Issue Date:  
November 20,  
2024

OVERALL SITE PLAN  
Construction Plans for:  
3394 NW VILLAGE PARK DR  
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht  
MO PE 2006019708  
KS PE 19071  
OK PE 25226

REVISIONS