

VIEW HIGH SPORTS COMPLEX  
Preliminary Development Plan  
Section 3, Township 47 North, Range 32 West  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PLAT BOUNDARY DESCRIPTION

(Note Errors exist in various calls of the Deed Description related to Section and Township, and should read Section 3, Township 47 N)

TRACT 1:

THE NORTH 24.73 ACRES OF THE WEST 1/2 OF LOT 2 OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 47, RANGE 32, N LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THE EAST 16.5 FEET THEREOF.

TRACT 2:

THE WEST 1/2 OF LOT 2 OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 47, RANGE 32, N LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THE NORTH 24.73 ACRES THEREOF AND EXCEPT THE EAST 16.5 FEET THEREOF.

TRACT 1 & NO TRACT 2 ARE ALSO DESCRIBED AS:

ALL THAT PART OF THE WEST ONE HALF OF LOT 2 OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 47 N, RANGE 32 W, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THE EAST 16.5 FEET AND EXCEPT THAT PART IN EXISTING STREET RIGHTS OF WAY, MORE PARTICULARLY

DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 3; THENCE S 86°41'55" E ALONG THE NORTH LINE OF SAID QUARTER SECTION A DISTANCE OF 30.00 FEET; THENCE S 03°18'59" W, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING, SAID POINT BEING THE INTERSECTION OF THE EXISTING EAST RIGHT OF WAY OF VIEW HIGH DRIVE AND THE SOUTH LINE OF THE EXISTING RIGHT OF WAY LINE OF CHIPMAN ROAD; THENCE S 86°41'55" E PARALLEL WITH THE NORTH LINE OF SAID QUARTER SECTION, A DISTANCE OF 337.94 FEET; THENCE S 89°35'42" E PARALLEL WITH THE NORTH LINE OF SAID QUARTER SECTION, A DISTANCE OF 945.57 FEET; THENCE S 03°22'09" W, WEST OF PARALLEL WITH AND 16.5 FEET DISTANT FROM THE EAST LINE OF THE WEST HALF OF SAID LOT 2, A DISTANCE OF 1420.09 FEET TO A POINT ON THE SOUTH LINE OF THE WEST HALF OF SAID LOT 2; THENCE N 87°16'57" W ALONG SAID SOUTH LINE A DISTANCE OF 1282.27 FEET; THENCE N 03°18'59" E ALONG A LINE EAST OF PARALLEL WITH AND 30.00 FEET DISTANT FROM THE WEST OF SAID LOT 2, A DISTANCE OF 1434.84 FEET TO THE POINT OF BEGINNING.

TRACT 3:

A STRIP ONE ROD WIDE OFF THE EAST END OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 32, RANGE 32, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

ALL PAVING ON THE PARKING LOT WILL COMPLY WITH THE UNIFIED DEVELOPMENT ORDINANCE ARTICLE 8 IN TERMS OF PAVING THICKNESS AND BASE

OIL - GAS WELLS

ACCORDING TO EDWARD ALTON MAY JR'S ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, THERE ARE NOT OIL AND GAS WELLS WITHIN 185 FEET OF THE PROPERTY AS SURVEYED HEREON.

SURVEY AND PLAT NOTES:

THE SUBJECT PROPERTY SURVEYED LIES WITHIN A FLOOD ZONE DESIGNATED ZONE (X), AREAS LOCATED OUTSIDE THE 100 YEAR FLOOD PLAIN, PER F.E.M.A. MAP, COMMUNITY PANEL NO. 29095C0412G EFFECTIVE DATE: JANUARY 20, 2017.

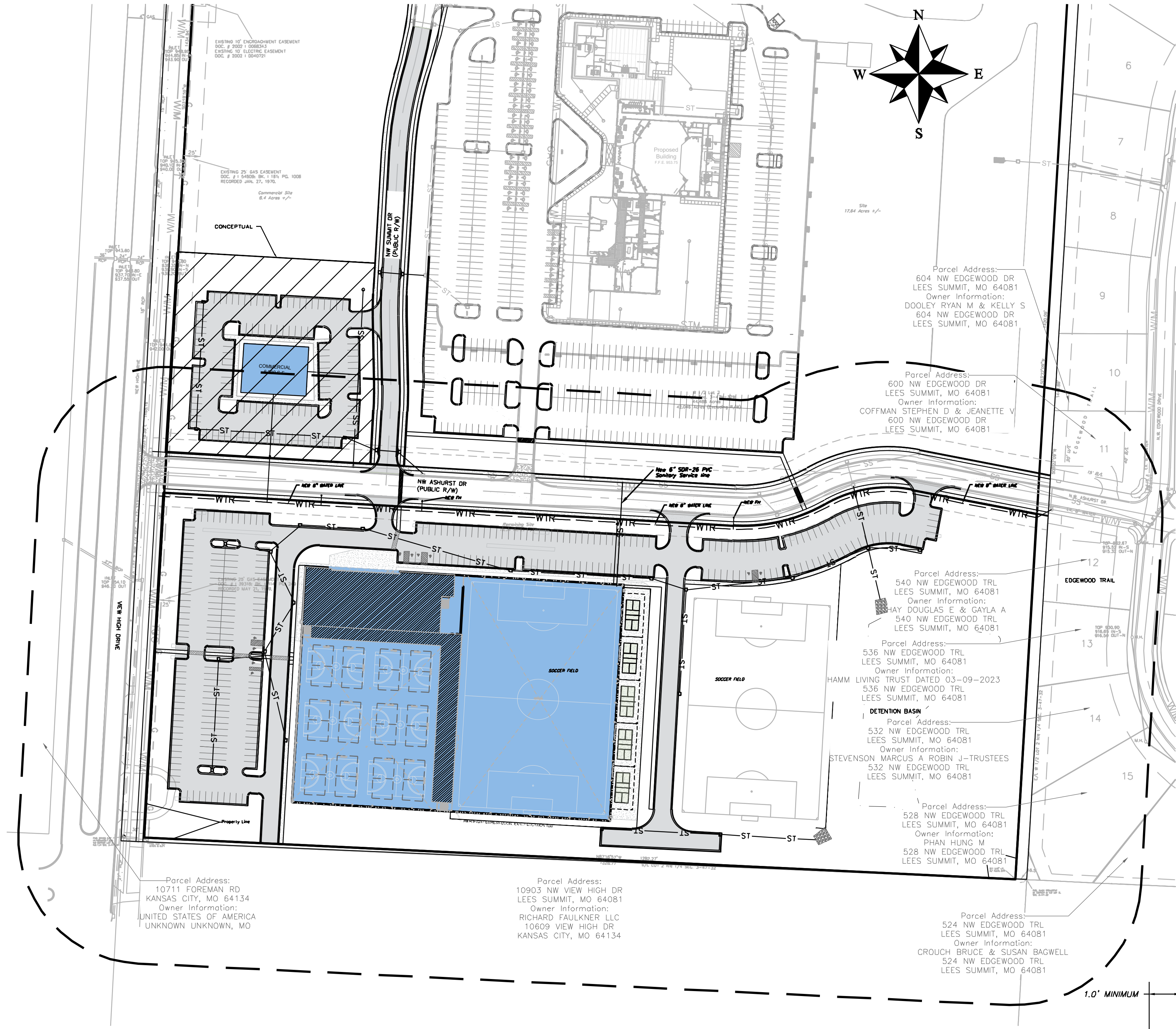
UTILITY COMPANIES:

THE FOLLOWING LIST OF UTILITY COMPANIES IS PROVIDED FOR INFORMATION ONLY. WE DO NOT OFFER ANY GUARANTEE OR WARRANTY THAT THIS LIST IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION AND VERIFYING THE ACTUAL LOCATION OF EACH UTILITY LINE. THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.

EVERGY ~ 288-1198  
MISSOURI GAS ENERGY ~ 756-5261  
SOUTHWESTERN BELL TELEPHONE ~ 761-5011  
COMCAST CABLE ~ 795-1100  
WILLIAMS PIPELINE ~ 422-6300  
CITY OF LEE'S SUMMIT PUBLIC WORKS ~ 969-1800  
CITY OF LEE'S SUMMIT DEVELOPMENT SERVICES INSPECTIONS ~ 969-1200  
CITY OF LEE'S SUMMIT WATER UTILITIES ~ 969-1900  
MISSOURI ONE CALL (DIG RITE) ~ 1-800-344-7483

GENERAL NOTES:

- 1 ~ ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- 2 ~ ALL REQUIRED EASEMENTS WITHIN THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED BY SEPARATE DOCUMENT
- 3 ~ ANY REQUIRED EASEMENT LOCATED OUTSIDE OF THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR BY SEPARATE INSTRUMENT PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- 4 ~ THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.
- 5 ~ THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH THE IMPROVEMENTS PROPOSED BY THESE PLANS AND SITE CONDITIONS.
- 6 ~ THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND OBTAIN THE APPROPRIATE BLASTING PERMITS FOR A REQUIRED BLASTING. IF BLASTING IS ALLOWED, ALL BLASTING SHALL CONFORM TO STATE REGULATIONS AND LOCAL ORDINANCES.



SITE LOCATION MAP

SCALE" 1"=100'

Current Zoning: AG  
Proposed Zoning: CP-2

Site Improvement Notes

Sanitary Sewer Improvements  
-The site will utilize the existing sanitary sewer on the north side of NW Ashurst Dr.

Water Main Improvements  
-The site will utilize the existing water on the east side of View High Dr.

Storm Sewer  
-Enclosed pipe systems and inlets will collect and convey the onsite storm water runoff and direct it toward the existing public storm sewer system.

Storm Water Detention  
-Onsite storm water detention basin will be developed in the Southeastern portion of the site and the system will be designed to meet APWA Section 5600 and City standards for controlled release rates

INDEX OF SHEETS:

C.100 ~ OVERALL SITE PLAN  
C.101 ~ DEVELOPMENT SITE PLAN  
C.200 ~ GRADING PLAN  
C.300 ~ UTILITY PLAN  
L.100 ~ LANDSCAPE PLAN  
L.101 ~ LANDSCAPE PLAN DETAILS

Site Impervious Area

Total Area 17.18 acres (748,539.14 sq. ft.)

Commercial Office Site  
Site Area 17.18 Acres  
Building 164,081 sq. ft.  
Parking 144,632 sq. ft.  
Sidewalk 20,078 sq. ft.  
Impervious Area 321,911 sq. ft. (43.0% of Site)  
Floor-Area-Ratio 21.9%

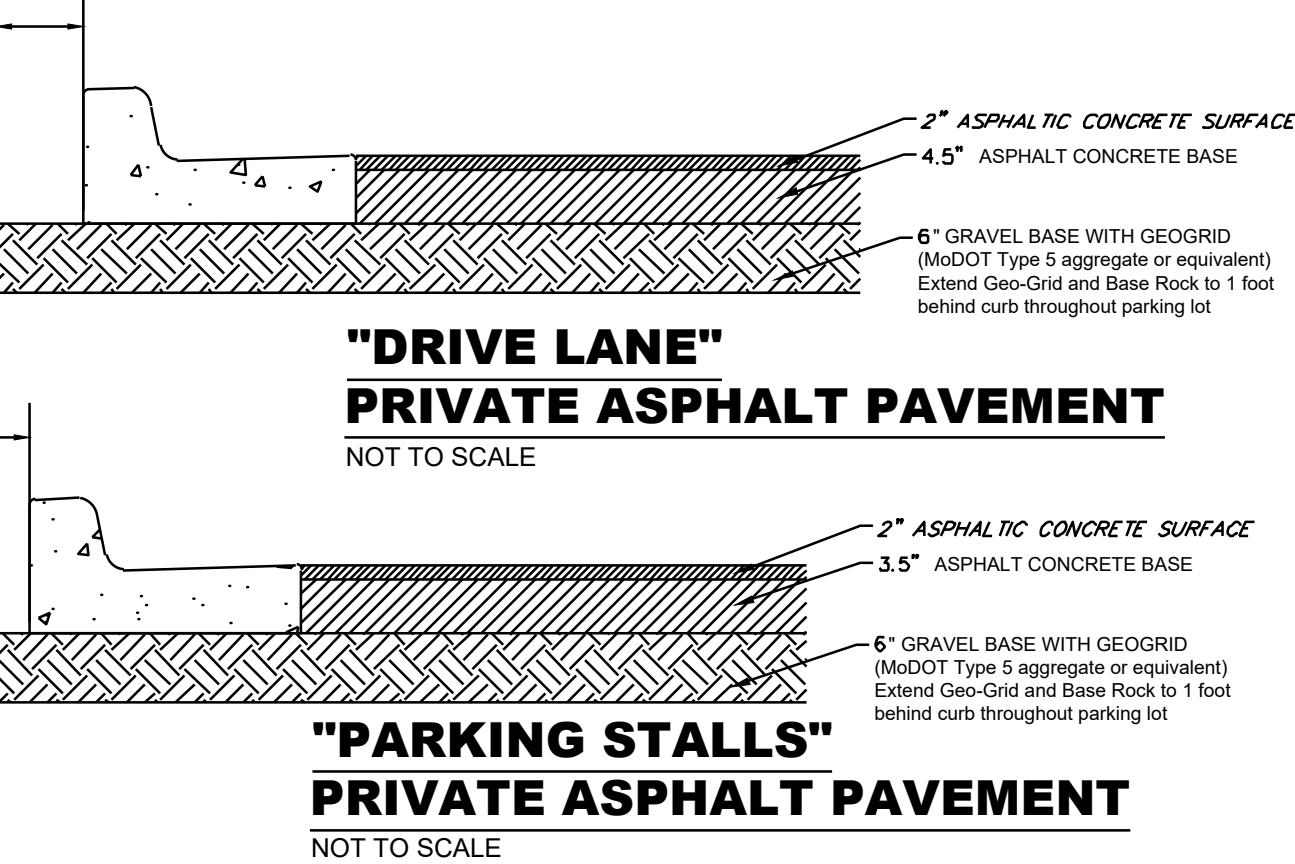
Parking: Sports Complex  
Provided 321 Standard (0 ADA Accessible)  
Required 321 Standard (0 ADA Accessible)

Parking: Commercial  
Provided 121 Standard (0 ADA Accessible)  
Required 121 Standard (0 ADA Accessible)  
Total Parking Spaces 442

Parking: Church extra parking  
Provided 201 Standard (0 ADA Accessible)  
Required 201 Standard (0 ADA Accessible)  
Total Parking Spaces 643

LEGEND:

Existing Underground Power UCP UCP  
Existing Conc. Curb & Gutter  
Existing Wood Fence X X  
Existing Gas Main GAS  
Existing Water Main X-W/M X-W/M  
Existing Storm Sewer X-ST/M X-ST/M  
Existing Sanitary Sewer X-SAN X-SAN  
Existing Underground Telephone UGT UGT  
Existing Overhead Power OHE  
Proposed Storm Sewer ST ST  
Proposed Sanitary Sewer SS SS  
Proposed Underground Power UGT UGT  
Proposed Gas Service GAS  
Proposed 8" D.I.P. Water W  
Proposed Electrical Service UCP UCP

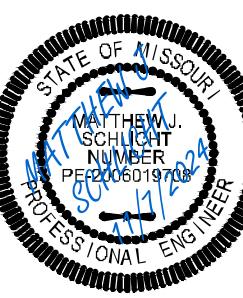


Professional Registration  
Missouri  
Engineering 2005002185-D  
Surveying 2005008114-0  
Kansas  
Engineering 5-1896  
Surveying LS-219  
Oklahoma  
Engineering 8254  
Nebraska  
Engineering CA2621

View High Sports Complex  
Lee's Summit, Jackson County, Missouri

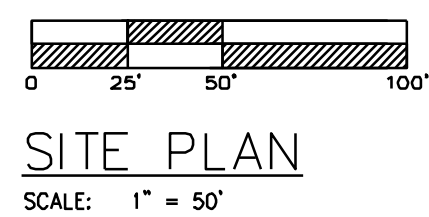
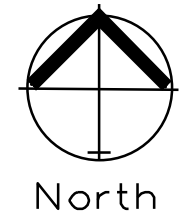
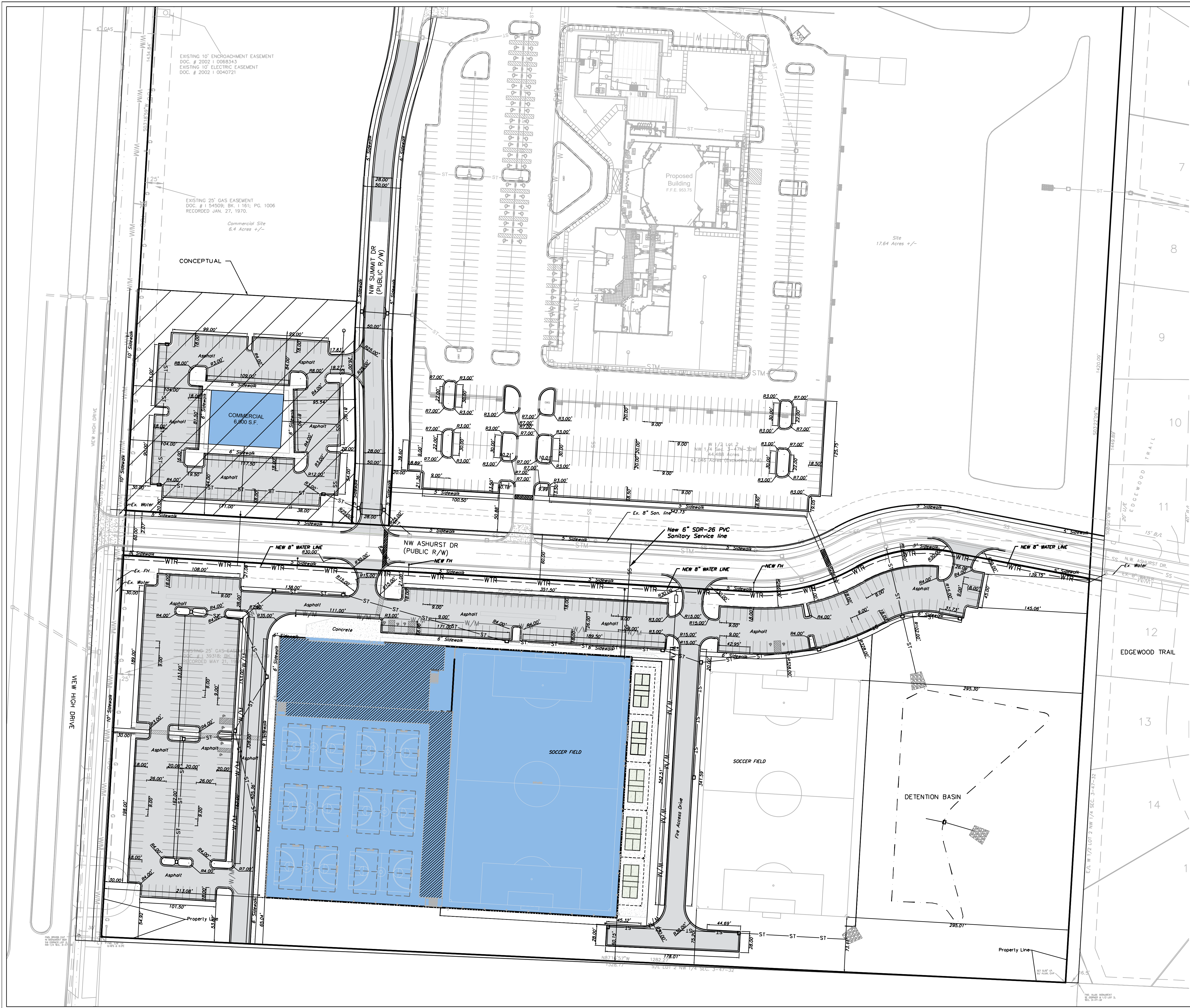
Project: View High Sports Complex  
Issue Date: November 7, 2024

OVERALL SITE PLAN  
Construction Plans for:  
View High Sports Complex  
Lee's Summit, Jackson County, Missouri

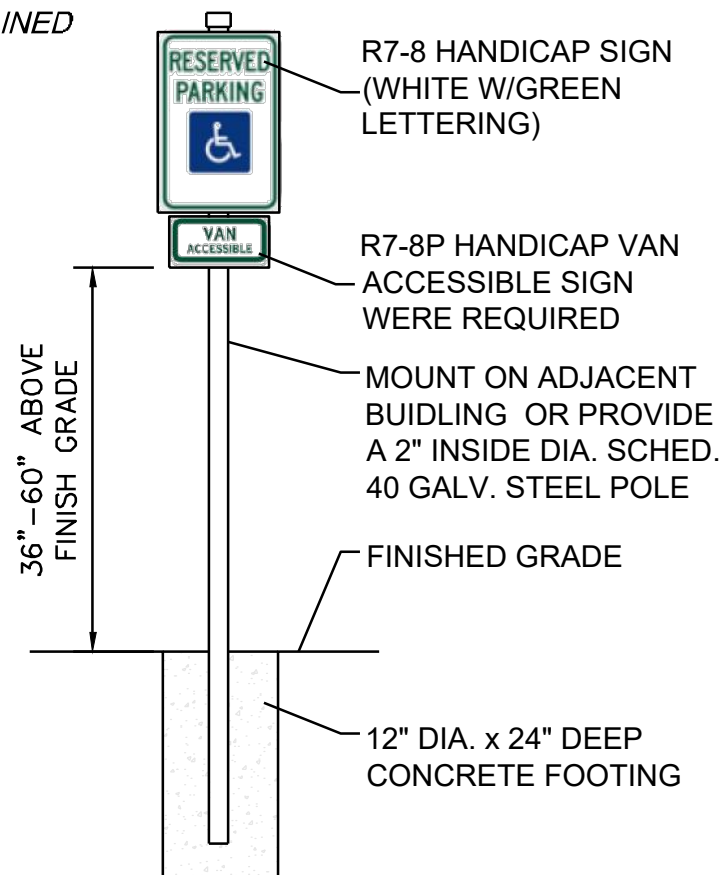


Matthew J. Schlicht  
MO PE 2006019708  
KS PE 19071  
OK PE 25226

| REVISIONS |
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SIGN MAY BE WALL MOUNTED DIRECTLY TO BUILDING. DIMENSIONS MUST BE MAINTAINED



**HANDICAP SIGN DETAIL**  
NOT TO SCALE

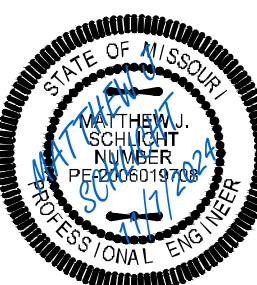


Professional Registration  
Missouri  
Engineering 3005002185-D  
Surveying 30050038318-C  
Kansas  
Engineering 5-1896  
Surveying LS-219  
Oklahoma  
Engineering 6254  
Nebraska  
Engineering CA2621

View High Sports Complex  
Lee's Summit, Jackson County, Missouri

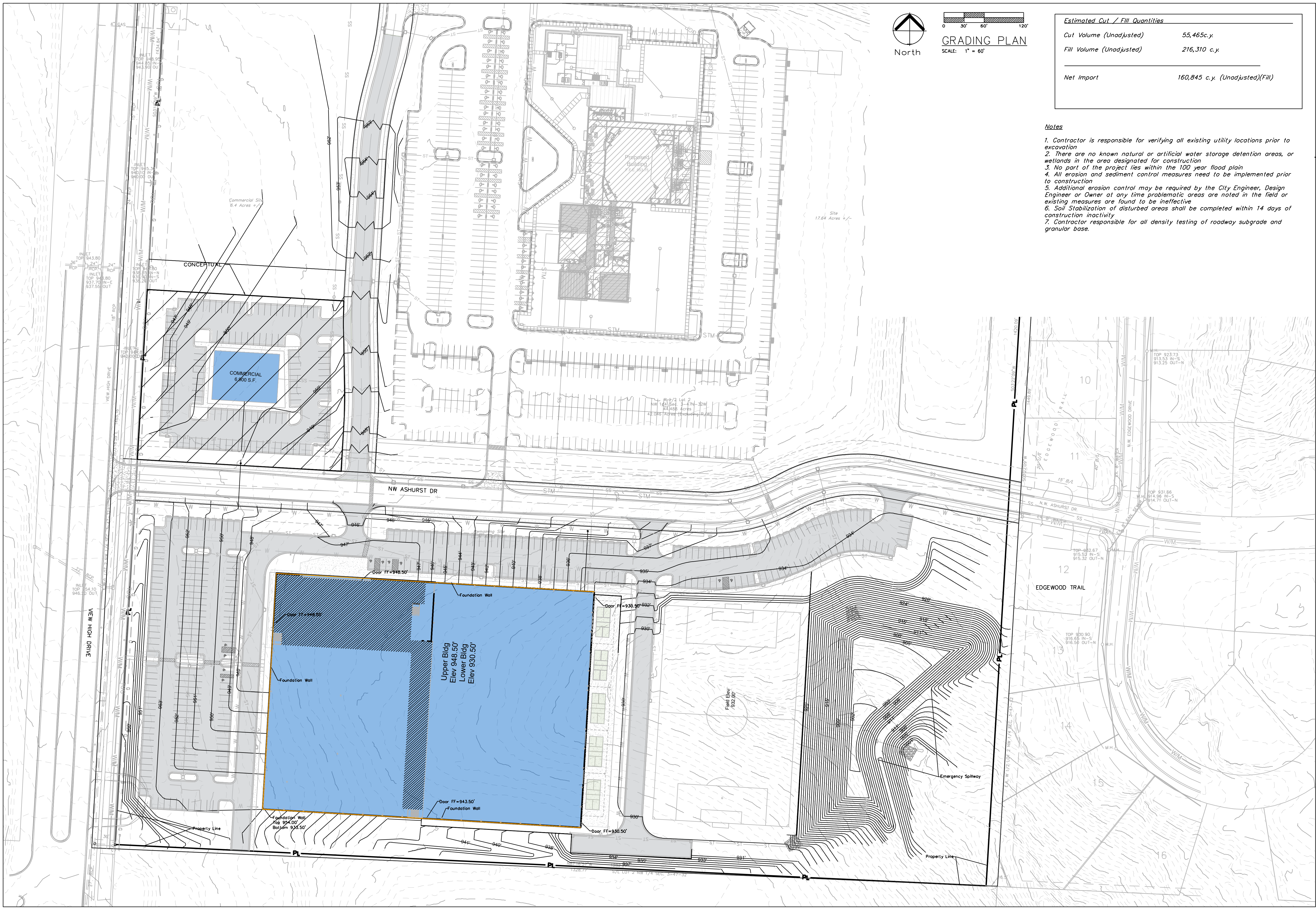
Project: View High Sports Complex  
Drawn By: [Name]  
Check By: [Name]  
Issue Date: November 7, 2024

Site Plan  
Construction Plans for:  
View High Sports Complex  
Lee's Summit, Jackson County, Missouri



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KS PE 19071  
OK PE 25226

REVISIONS



| Estimated Cut / Fill Quantities |                                 |
|---------------------------------|---------------------------------|
| Cut Volume (Unadjusted)         | 55,465 c.y.                     |
| Fill Volume (Unadjusted)        | 216,310 c.y.                    |
|                                 |                                 |
| Net Import                      | 160,845 c.y. (Unadjusted)(Fill) |

- Notes
1. Contractor is responsible for verifying all existing utility locations prior to excavation
  2. There are no known natural or artificial water storage detention areas, or wetlands in the area designated for construction
  3. No part of the project lies within the 100 year flood plain
  4. All erosion and sediment control measures need to be implemented prior to construction
  5. Additional erosion control may be required by the City Engineer, Design Engineer or Owner at any time problematic areas are noted in the field or existing measures are found to be ineffective
  6. Soil Stabilization of disturbed areas shall be completed within 14 days of construction inactivity
  7. Contractor responsible for all density testing of roadway subgrade and granular base.

ENGINEERING  
ENGINEERING & SURVEYING  
SOLUTIONS

50 SE 30TH STREET  
LEE'S SUMMIT, MO 64082  
P: (816) 623-9888 F: (816) 623-9849

Professional Registration

Missouri  
Engineering 3025002185-D  
Surveying 3030308114-0

Kansas  
Engineering 5-1886  
Surveying LS-219

Oklahoma  
Engineering 6254

Nebraska  
Engineering CA2621

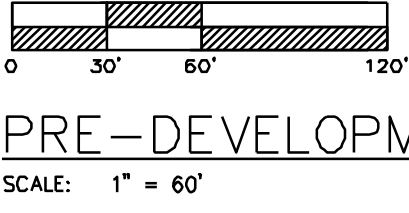
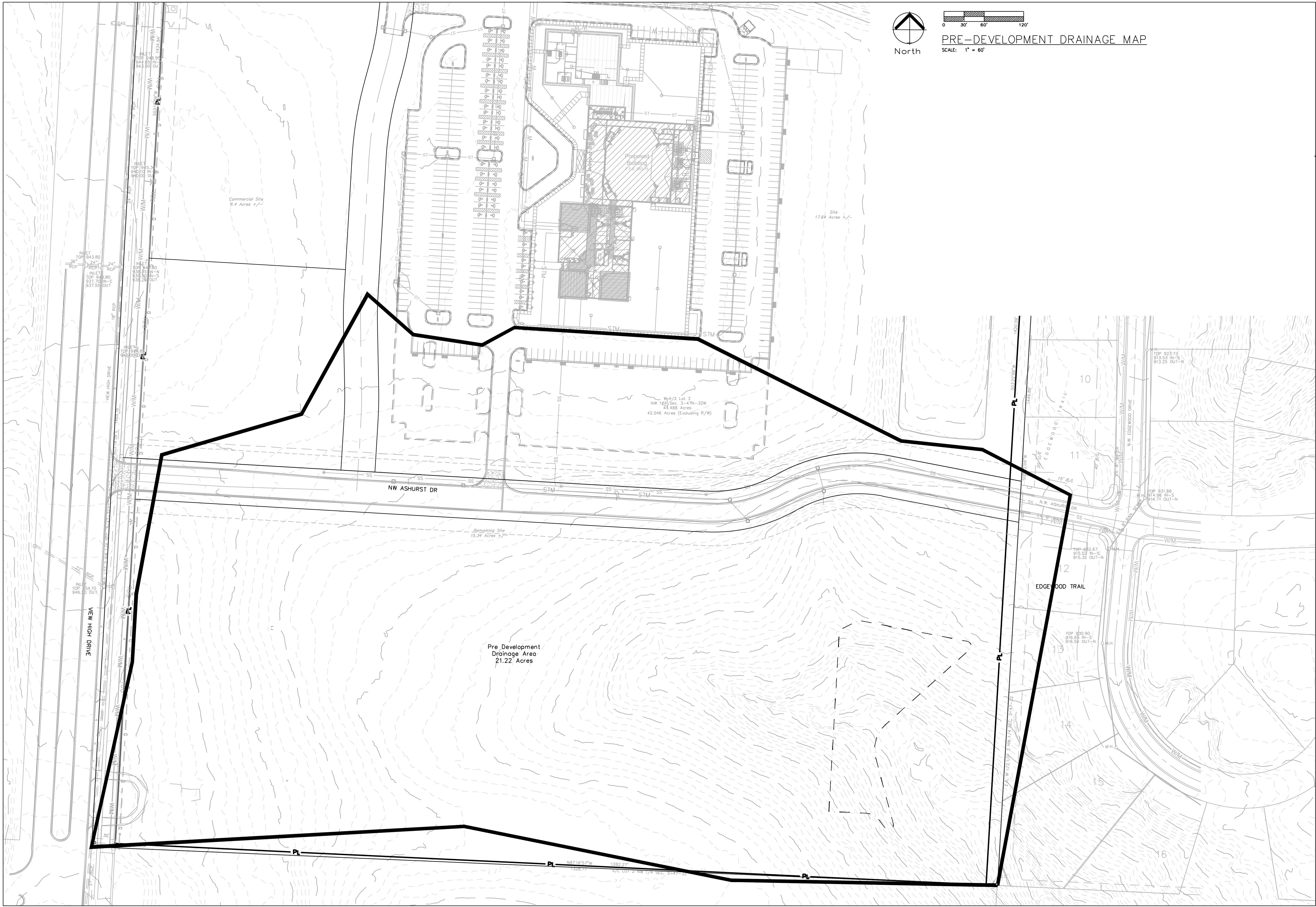
Grading Plan  
Construction Plans for:  
View High Sports Complex  
Lee's Summit, Jackson County, Missouri

Project: View High Sports Complex, LS/MO  
Issue Date: November 7, 2024

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OK PE 25226

REVISIONS

C. 200



PRE-DEVELOPMENT DRAINAGE MAP



Professional Registration  
Missouri  
Engineering 200502185-D  
Surveying 20050308118-C  
Kansas  
Engineering 5-1886  
Surveying LS-219  
Oklahoma  
Engineering 825-4  
Nebraska  
Engineering CA2621

View High Sports Complex  
Lee's Summit, Jackson County, Missouri

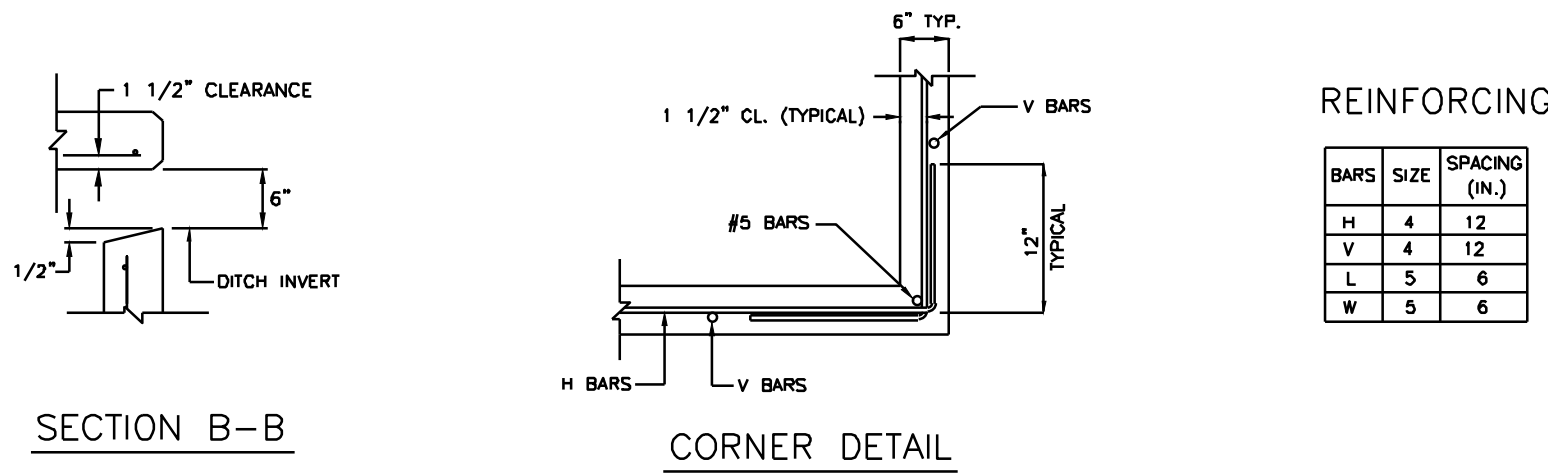
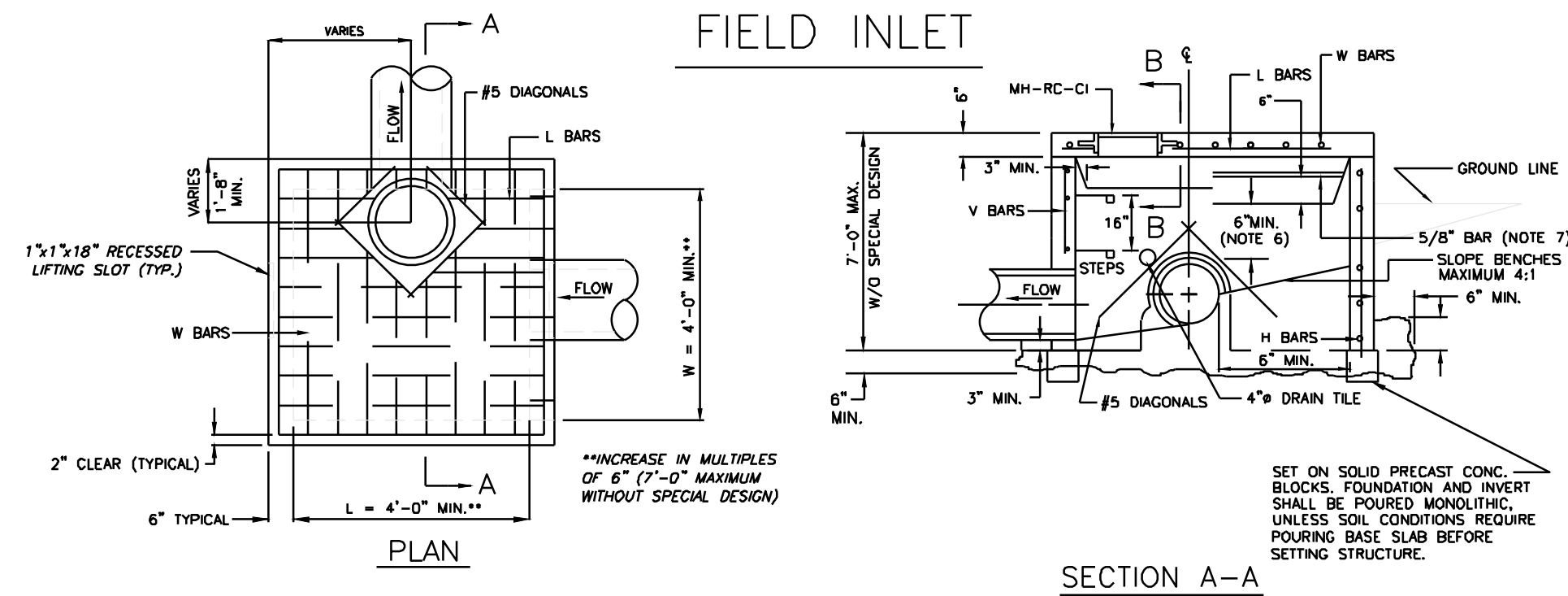
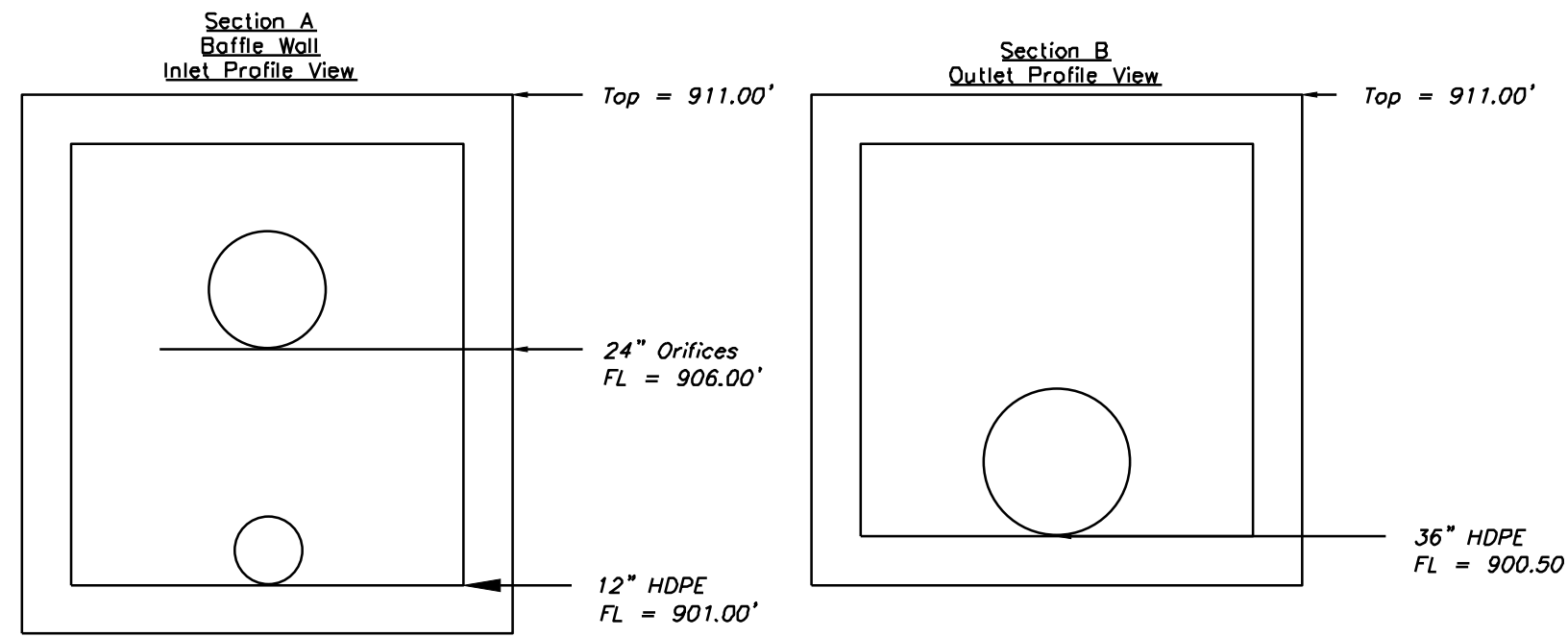
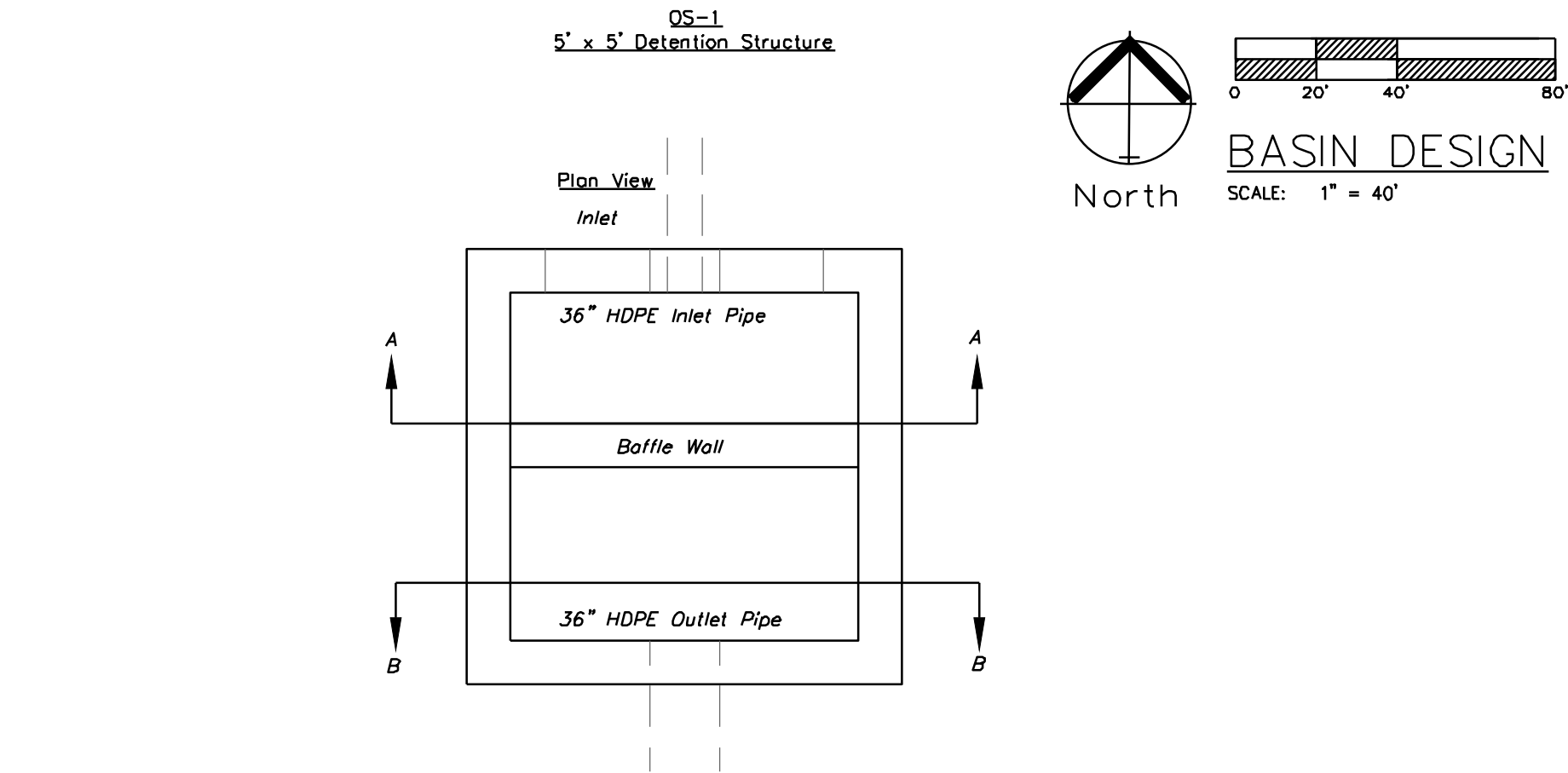
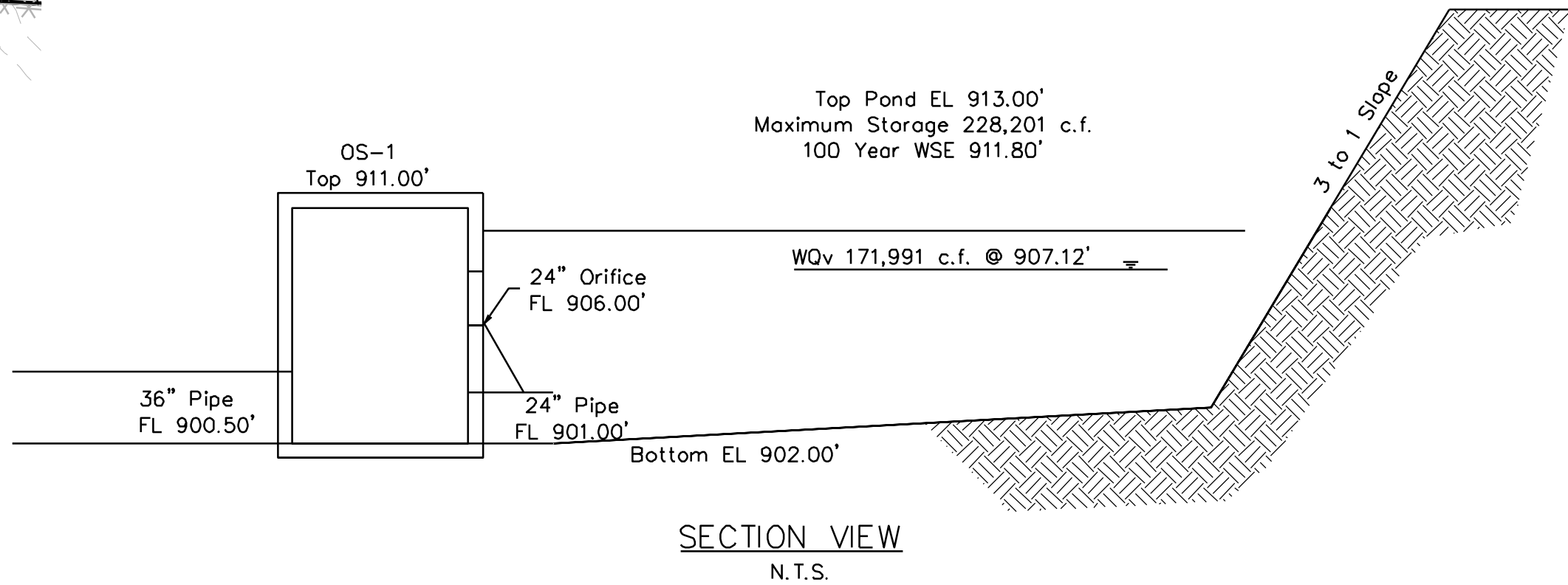
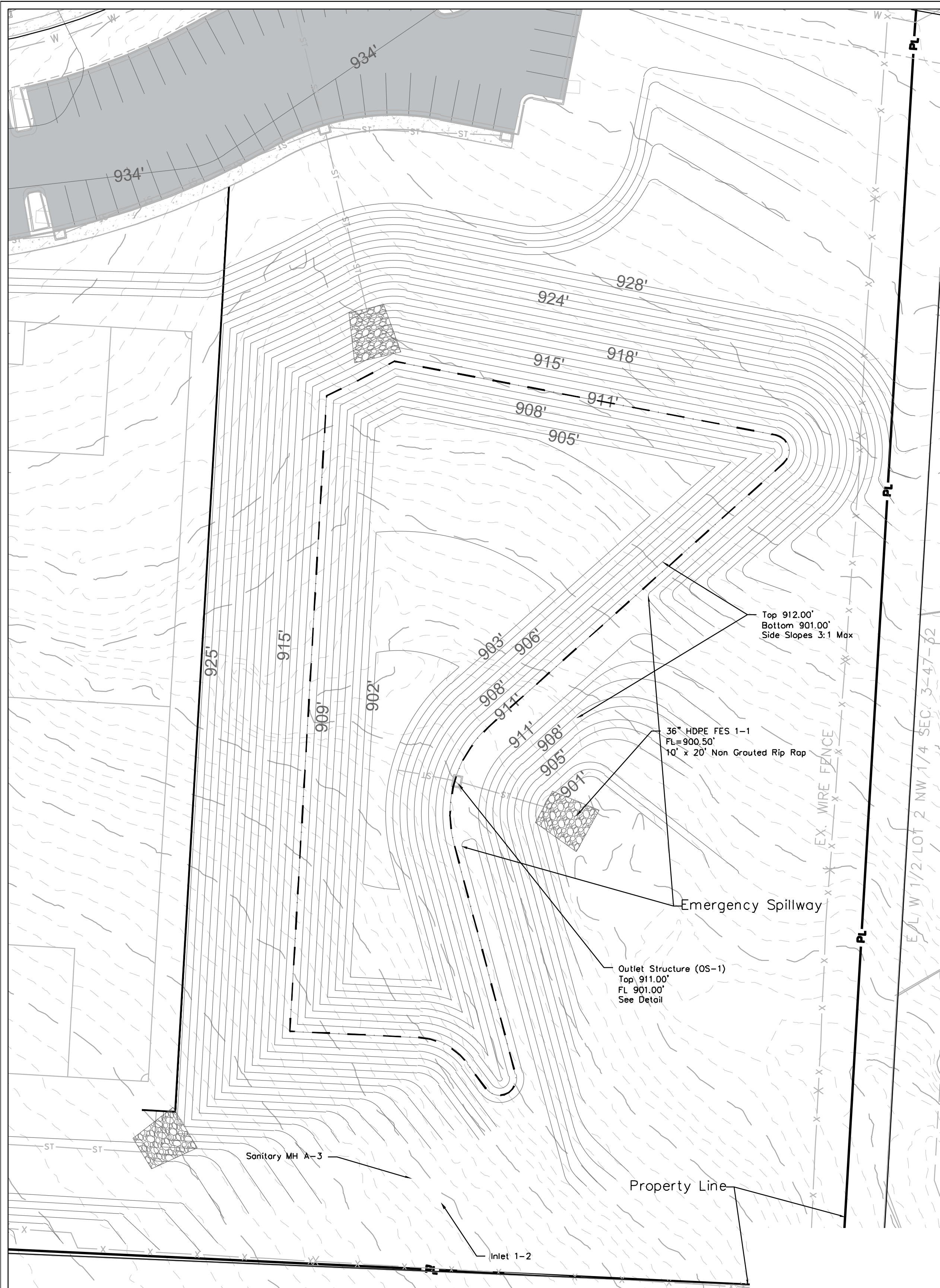
Project: View High Sports Complex  
Drawn By: [Name]  
Check Date: November 7, 2024

Pre-Development Drainage Map  
Construction Plans for:  
View High Sports Complex  
Lee's Summit, Jackson County, Missouri

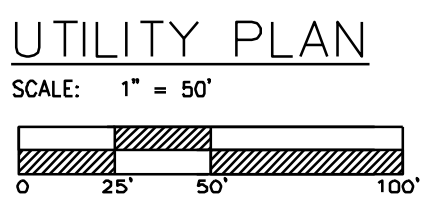
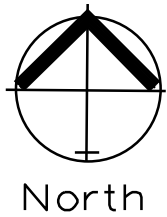
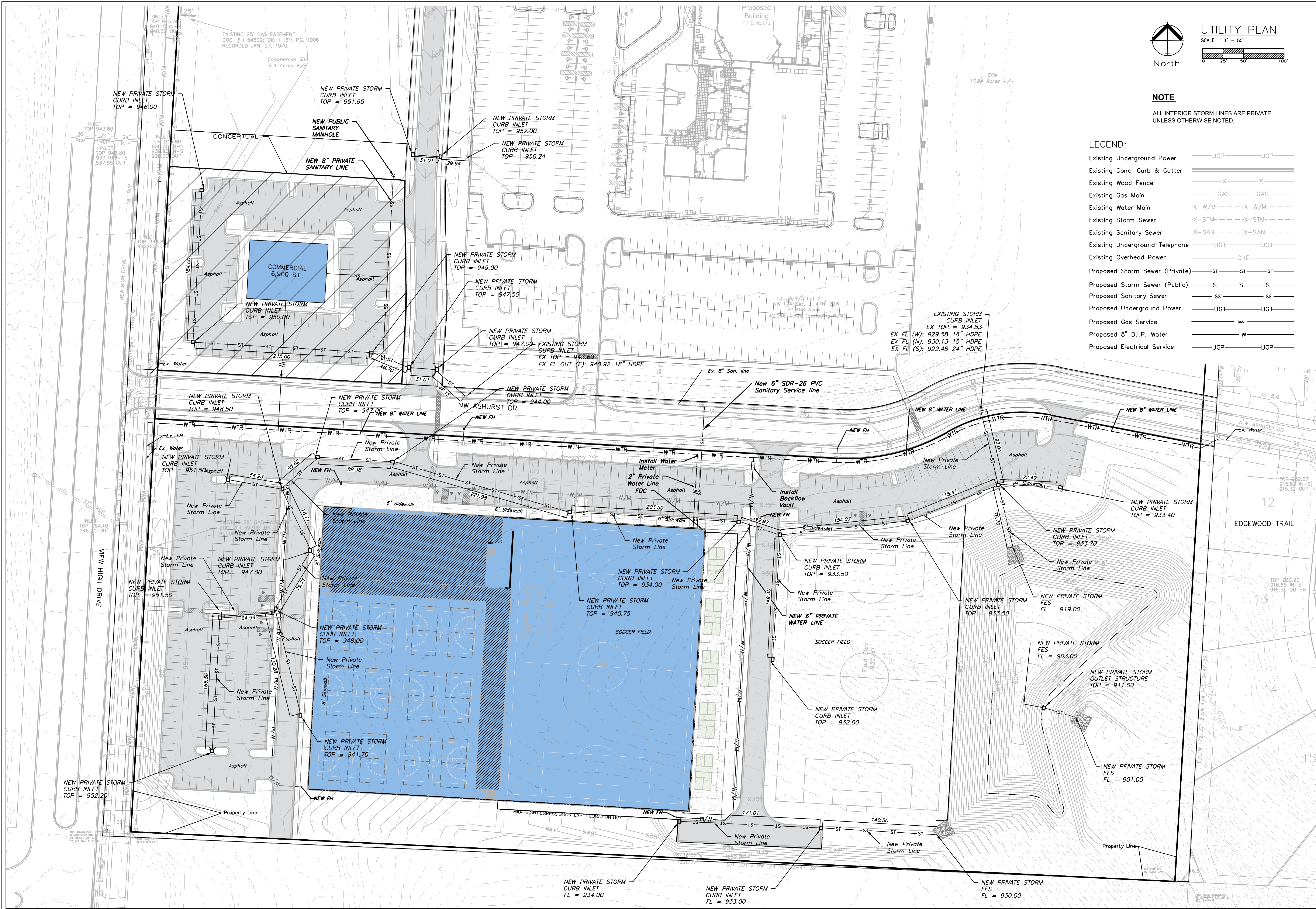
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OK PE 25226

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- GENERAL NOTES:
1. Locate ring and cover over outlet.
  2. All work and materials shall conform to APWA Sect. 2600.
  3. Use 3/4" chamfer strip on all exposed concrete corners.
  4. Steps required @ 16" O.C. when depth from top of costing to invert exceeds 4 feet.
  5. Boxouts will not be allowed to project through the corners of the structure.
  6. The minimum reinforcing shall be 1 H-bar over a cast-in place pipe and 2 H-bars over a precast boxout.
  7. Limit opening height to 6" with No. 5 galvanized bars extending to corner rebars.
  9. Show field inlet orientation on plans plus number and size of opening.
  10. O.R. = one half outside pipe diameter (O.D.).
  11. 4" # field tile or precast hole shall be located at entering pipe and in the front face sump points. These tiles or openings shall be capped with 1/4" galvanized wire mesh on the outside of the inlet and clear the invert and base concrete.

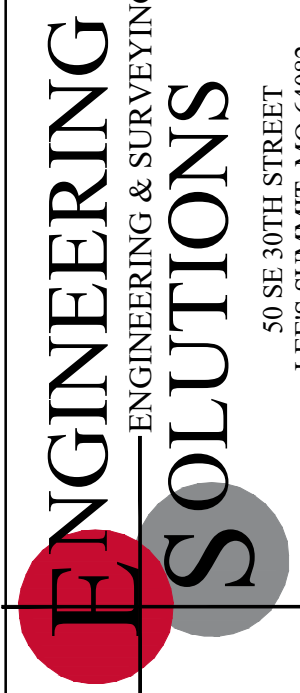


**NOTE**

ALL INTERIOR STORM LINES ARE PRIVATE UNLESS OTHERWISE NOTED.

**LEGEND:**

|                                |         |         |
|--------------------------------|---------|---------|
| Existing Underground Power     | UGP     | UGP     |
| Existing Conc. Curb & Gutter   | X       | X       |
| Existing Wood Fence            |         |         |
| Existing Gas Main              | GAS     | GAS     |
| Existing Water Main            | -X-W/M- | -X-W/M- |
| Existing Storm Sewer           | -X-STM- | -X-STM- |
| Existing Sanitary Sewer        | -X-SAN- | -X-SAN- |
| Existing Underground Telephone | UGT     | UGT     |
| Existing Overhead Power        | OHE     |         |
| Proposed Storm Sewer (Private) | ST      | ST      |
| Proposed Storm Sewer (Public)  | S       | S       |
| Proposed Sanitary Sewer        | SS      | SS      |
| Proposed Underground Power     | UGT     | UGT     |
| Proposed Gas Service           | GAS     |         |
| Proposed 8" D.I.P. Water       | W       |         |
| Proposed Electrical Service    | UGP     | UGP     |

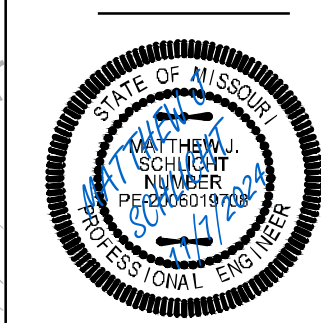


Professional Registration  
Missouri  
Engineering 2005002186-D  
Surveying 2005008140-D  
Kansas  
Engineering 5-1686  
Surveying 15-219  
Oklahoma  
Engineering 9254  
Nebraska  
Engineering CA2621

Utility Plan  
Construction Plans for:  
View High Sports Complex  
Lee's Summit, Jackson County, Missouri

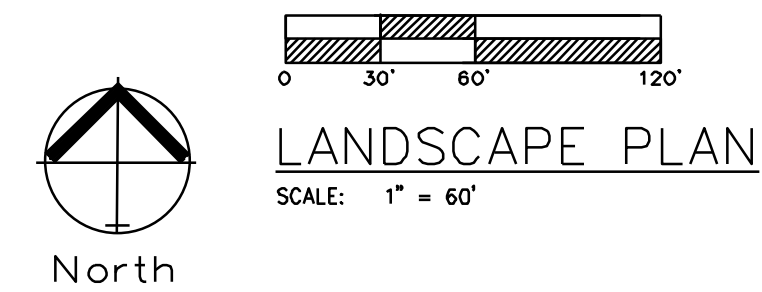
Project:  
View High Sports Complex  
Sheet:  
November 7, 2024

Utility Plan  
Construction Plans for:  
View High Sports Complex  
Lee's Summit, Jackson County, Missouri



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KS PE 19071  
OK PE 25226

| REVISIONS |
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**NOTE:**

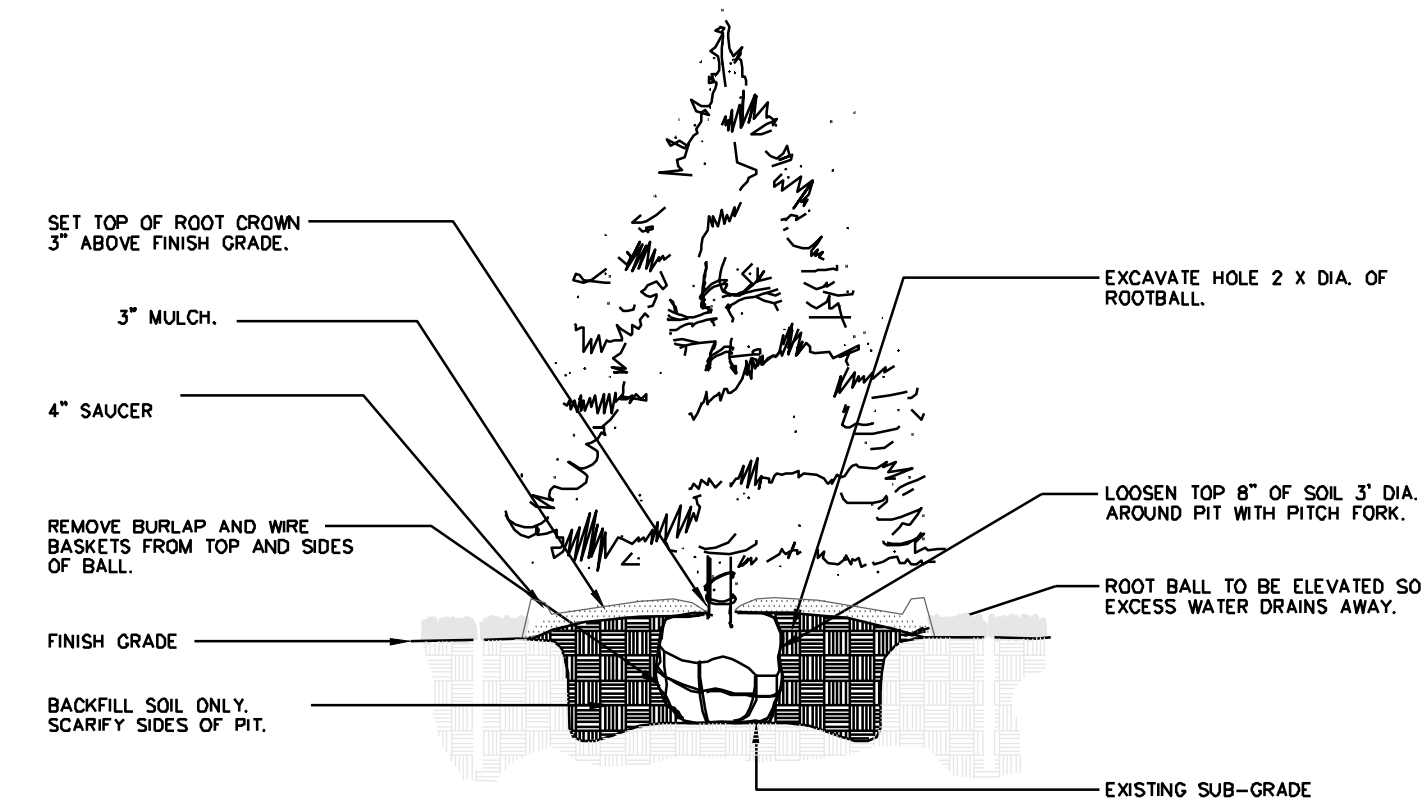
**BUFFER/SCREEN REQUIRED BETWEEN LAND USES**

Proposed use **CP-2**  
Adjoining use **RP-1**

**Medium impact screening. A 70 percent semi-opaque screen between land uses which are dissimilar in character. Semi-opaque screening should partially block views from adjoining land uses and create a separation between the adjoining land uses. For medium impact screening either a landscape screen or fencing is required.**

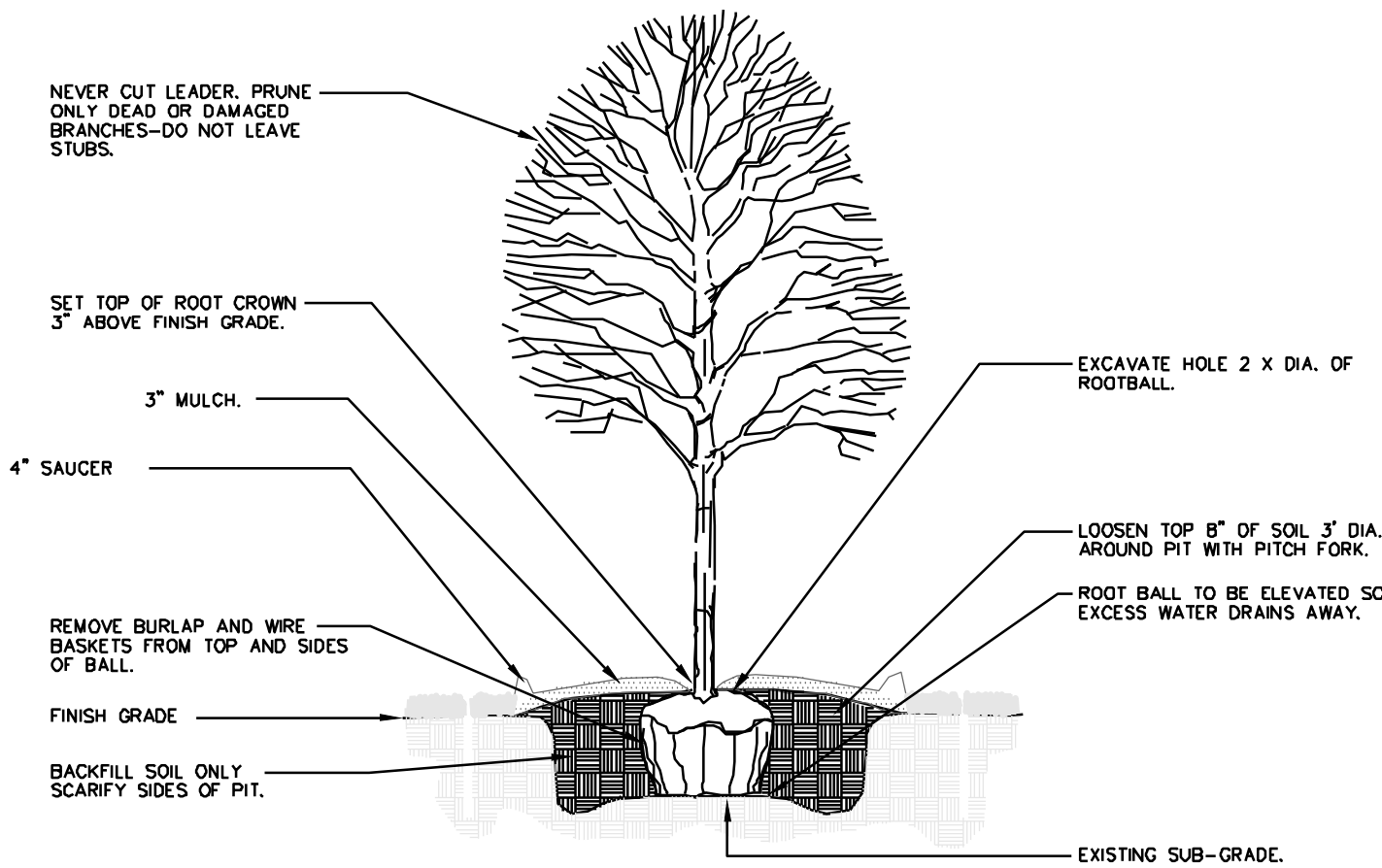
*Note:*  
*All Ground mounted equipment shall be totally screened.*

| PLANTING SCHEDULE:                                                                              |        |     |                                                       |              |
|-------------------------------------------------------------------------------------------------|--------|-----|-------------------------------------------------------|--------------|
| IS FOR PHASE I ONLY. AT FULL BUILD THE UNITED DEVELOPMENT ORDINANCE REQUIREMENTS SHALL BE MET.  |        |     |                                                       |              |
| SYMBOL                                                                                          | QUANT. | KEY | NAME                                                  | SIZE         |
| tree       | 55     | TA  | AMERICAN BASSWOOD LINDEN<br>TILIA AMERICANA           | 3.0" CAL     |
| evergreen  | 135    | SR  | SKYROCKET JUNIPER<br>JUNIPERUS SCOPULORUM "SKYROCKET" | 8' HL        |
| tree       | 88     | RB  | OKLAHOMA REDBUD<br>CERCIS RENIFORMIS "OKLAHOMA"       | 3.0" CAL     |
| shrub      | 478    | BB  | BURNING BUSH<br>EUONYMUS ALATA "COMPACTUS"            | 2 Gallon Pot |



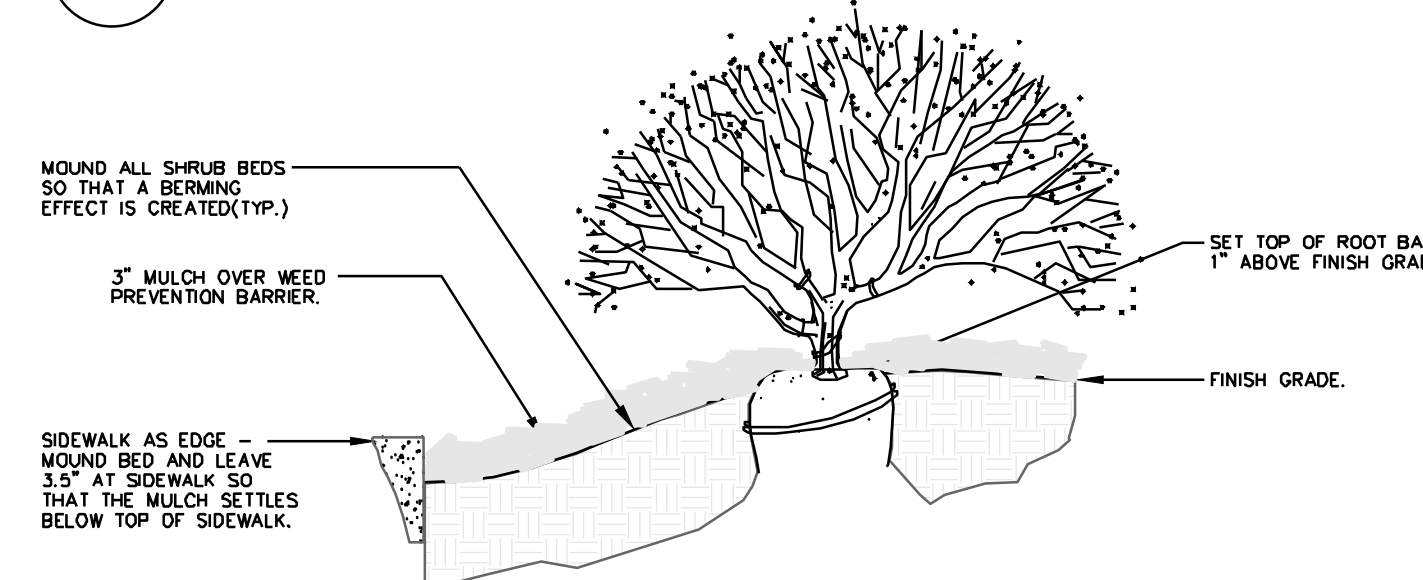
## 1 EVERGREEN TREE PLANTING

NTZ



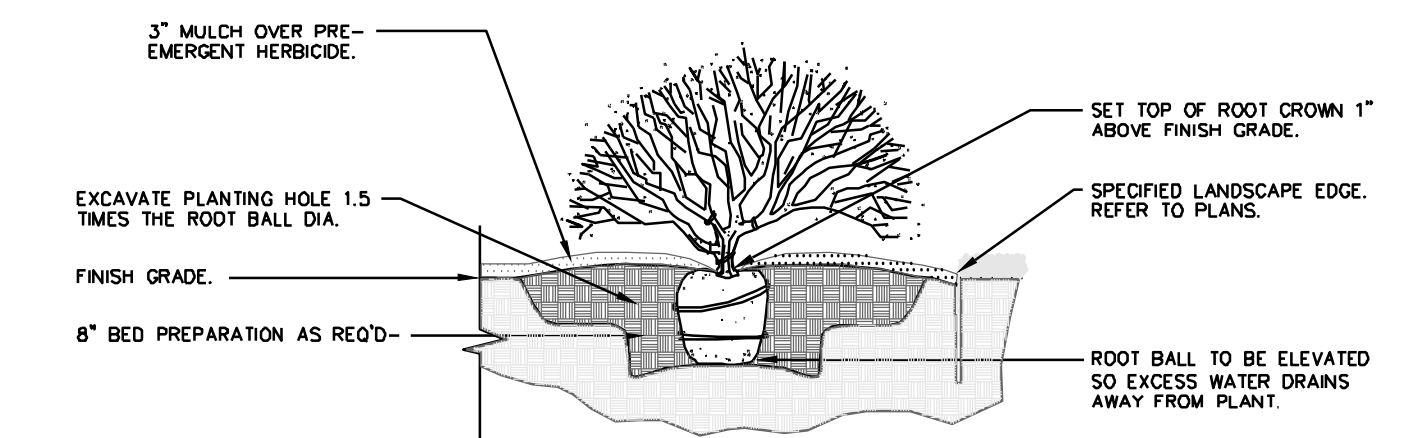
## 2 DECIDUOUS TREE PLANTING

NTZ



## 3 SIDEWALK EDGE AT PLANT BED

NTZ



## 4 SHRUB PLANTING

NTZ

## GENERAL LANDSCAPE NOTES: PLANT MATERIAL

1. ALL PLANT MATERIAL SHALL BE FIRST CLASS REPRESENTATIVES OF SPECIFIED SPECIES, VARIETY OR CULTIVAR, IN HEALTHY CONDITION WITH NORMAL WELL DEVELOPED BRANCHES AND ROOT PATTERNS. PLANT MATERIAL MUST BE FREE OF OBJECTIONABLE FEATURES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH PROPER STANDARDS AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD OF NURSERY STOCK", ANSI Z60.1-2004.
2. SHRUBS SHALL BE CONTAINER GROWN AND WILL BE FREE OF DISEASE AND PESTS. NO BARE ROOT, ALL PLANT BEDS TO BE MULCHED TO A DEPTH OF 3" WITH DARK BROWN, HARDWOOD MULCH. PLANTING BEDS ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
3. HOLE AREA FOR TREE TO BE TWICE (2x) THE DIAMETER OF THE ROOT BALL AND ROOT BALL SHALL BE SLIGHTLY MOUNDED FOR WATER RUN-OFF.
4. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESICCANT TO LEAVES BEFORE TRANSPORT TO REDUCE THE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESICCANT AFTER PLANTING TO REDUCE TRANSPIRATION. REMOVE TWINE AND BURLAP FROM ROOT BALLS. SOIL ON TOP OF CONTAINERIZED OR BALLED PLANTS IS TO BE REMOVED UNTIL ALL PLANTS' ROOT FLARES ARE EXPOSED. THIS IS THE NATIVE SOIL LINE AT WHICH PLANTING DEPTHS SHOULD BE MEASURED.
5. AFTER PLANTING IS COMPLETED, PRUNE MINIMALLY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL HABIT OR SHAPE OF THE PLANT. MAKE CUTS BACK TO BRANCH COLLAR, NOT FLUSH. DO NOT PAINT ANY CUTS WITH WHITE TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED.
6. GUARANTEE TREES, SHRUBS, GROUND COVER PLANTS FOR ONE CALENDAR YEAR FOLLOWING PROVISIONAL ACCEPTANCE OF THE OVERALL PROJECT. DURING THE GUARANTEE PERIOD, PLANTS THAT DIE DUE TO NATURAL CAUSES OR THAT ARE UNHEALTHY OR UNSIGHTLY IN CONDITION, SHALL BE REPLACED BY THE CONTRACTOR.

## LAWN AND TURF AREAS

7. ALL LAWN AREAS TO BE SODDED AS SHOWN ON PLANS. SOD SHALL COMPLY WITH US DEPT. OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT AND EQUAL IN QUALITY TO STANDARDS FOR CERTIFIED SEED. SOD SHALL BE HEALTHY, THICK TURF HAVING UNDERGONE A PROGRAM OF REGULAR FERTILIZING, MOWING AND WEED CONTROL. SEED AND SOD SHALL BE A TURF-TYPE TALL FESCUE (3 WAY) BLEND. SEED BLEND SHALL CONSIST OF THE FOLLOWING:

|                       |     |
|-----------------------|-----|
| TURF-TYPE TALL FESCUE | 90% |
| KENTUCKY BLUEGRASS    | 10% |

8. ALL AREAS DISTURBED SHALL BE SODDED.

## INSTALLATION

9. THE INSTALLATION OF ALL PLANT MATERIALS SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT, MO, AND LANDSCAPE INDUSTRY STANDARDS.
10. ALL LANDSCAPE AREAS TO BE FREE OF ALL BUILDING DEBRIS AND TRASH, BACK FILLED WITH CLEAN FILL SOIL AND TOP DRESSED WITH 4" OF TOPSOIL. TOPSOIL SHALL HAVE A pH RANGE OF 5.5 TO 7 AND A 4% ORGANIC MATERIAL MINIMUM, ASTM D5258.
11. PLANT BEDS TO BE "MOUNDED", ALL PLANT MATERIAL, PLANT BEDS, MULCH AND DUG EDGE ARE TO BE INSTALLED PER LANDSCAPE PLANS, DETAILS, AND MANUFACTURER'S RECOMMENDATIONS.
12. REESTABLISH FINISH GRADES TO WITHIN ALLOWABLE TOLERANCES ALLOWING 3/4" FOR SOD AND 3" FOR MULCH IN PLANT BEDS. HAND RAKE ALL AREAS TO SMOOTH EVEN SURFACES FREE OF DEBRIS, CLODS, ROCKS, AND VEGETATIVE MATTER GREATER THAN 1".
13. ALL PLANT BEDS, SHRUBS AND TREES SHALL BE MULCHED WITH 3" OF DARK BROWN, HARDWOOD MULCH, EXCEPT IF NOTED AS ROCK. DARK BROWN, HARDWOOD MULCH SHALL BE INSTALLED OVER DEWITT PRO 5 WEED CONTROL FABRIC IN PLANT BEDS ONLY.
14. CONTRACTOR IS RESPONSIBLE FOR INITIAL WATERING UPON INSTALLATION.
15. DUG EDGES ARE TO BE DUG WHERE MULCH BEDS ARE ADJACENT TO TURF AREAS. NO EDGING IS REQUIRED ADJACENT TO PAVEMENT OR CURB.
16. THE EXACT LOCATION OF ALL UTILITIES, STRUCTURES, AND UNDERGROUND UTILITIES SHALL BE DETERMINED AND VERIFIED ON SITE BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION OF THE MATERIALS. DAMAGE TO EXISTING UTILITIES AND OR STRUCTURES SHALL BE REPLACED TO THEIR ORIGINAL CONDITION BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
17. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS AND RECORD INSPECTIONS BY LEGAL AUTHORITIES.
18. PROVISIONS SHALL BE MADE FOR READILY ACCESSIBLE IRRIGATION WITHIN 100' MAX. OF ALL LANDSCAPED AREAS INCLUDING ALL PLANT BEDS, INDIVIDUAL TREES, AND TURF AREAS. ALL LAWN AREAS (AS SHOWN ON PLANS) WILL BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL IRRIGATION COMPONENTS, SLEEVING, PIPE, AND CONTROL. DESIGN DRAWINGS OF IRRIGATION SYSTEM SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
19. ANY SUBSTITUTIONS OR DEVIATIONS SHALL BE REQUESTED IN WRITING BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIALS. ALL PLANTS ARE TO BE LOCATED AS SPECIFIED ON DRAWINGS.

## MAINTENANCE BY OWNER

20. ALL SHRUBS ARE TO BE MAINTAINED IN THEIR NATURAL SHAPE TO ALLOW EVENTUAL GROWTH INTO A HEDGE.
21. MAINTAIN NATURAL HABIT OF ALL SPECIFIED PLANT MATERIAL.
22. NEW SOD TO BE THOROUGHLY WATERED UNTIL ROOTS "TAKE HOLD" OF SOD BED. CONTINUE WATERING AS REQUIRED, UNTIL COMPLETELY ESTABLISHED.

## IRRIGATION PERFORMANCE SPECIFICATION:

THE FOLLOWING CRITERIA SHALL BE CONSIDERED MINIMUM STANDARDS FOR DESIGN AND INSTALLATION OF LANDSCAPE IRRIGATION SYSTEM:

1. GENERAL - IRRIGATION SYSTEM TO INCLUDE DRIP IRRIGATION OF SHRUB BEDS ADJACENT TO BUILDINGS, SPRAY HEADS IN THE PARKING ISLANDS, AND ROTORS AROUND THE PERIMETER OF THE PARKING LOTS. HEADS SHALL THROW AWAY FROM BUILDING AND ACID SPRAYING OVER SIDEWALKS.
2. IRRIGATION SYSTEM SHALL CONFORM TO ALL INDUSTRY STANDARDS AND ALL FEDERAL, STATE AND LOCAL LAWS GOVERNING DESIGN AND INSTALLATION.
3. WATERLINE TYPW, SIZE LOCATION, PRESSURE AND FLOW SHALL BE FIELD VERIFIED PRIOR TO SYSTEM DESIGN AND INSTALLATION.
4. ALL MATERIALS SHALL BE FROM NEW STOCK FREE OF DEFECTS AND CARRY A MINIMUM ONE YEAR WARRANTY FROM THE DATE OF SUBSTANTIAL COMPLETION.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED IN SUCH A WAY THAT ALL SYSTEM COMPONENTS OPERATE WITHIN THE GUIDELINES ESTABLISHED BY THE MANUFACTURER.
6. LAWN AREA AND SHRUB BEDS SHALL BE ON SEPARATE CIRCUITS.
7. PROVIDE WATER TAP, METER SET, METER VAULT AND ALL OTHER OPERATIONS NECESSARY TO PROVIDE WATER FOR IRRIGATION SHALL CONFORM TO LOCAL WATER GOVERNING AUTHORITY GUIDELINES AND STANDARDS.
8. BACKFLOW PREVENTION SHALL BE PROVIDED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
9. IRRIGATION CONTROLLER TO BE LOCATED IN UTILITY ROOM INSIDE BUILDING, AS IDENTIFIED BY OWNER.
10. IRRIGATION CONTROLLER STATIONS SHALL BE LABELED TO CORRESPOND WITH THE CIRCUIT IT CONTROLS.
11. CONTRACTOR SHALL PROVIDE TO THE OWNER WRITTEN OPERATION INFORMATION FOR ALL SYSTEM COMPONENTS.
12. CONTRACTOR SHALL PROVIDE TO THE OWNER ALL KEYS, ACCESS TOOLS, WRENCHES AND ADJUSTING TOOLS NECESSARY TO GAIN ACCESS, ADJUST AND CONTROL THE SYSTEM.
13. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
14. AN AUTOMATIC RAIN SHUT-OFF OR MOISTURE DEVICE SHALL BE INSTALLED.
15. INSTALL SCHEDULE 40 PVC SLEEVES UNDER ALL CURBS, PAVING AND SIDEWALKS. SLEEVES TO BE TWICE THE SIZE OF THE LINE IT HOUSES.
16. INSTALL MANUAL DRAIN VALVES AT LOWEST POSSIBLE ELEVATION ON IRRIGATION MAIN TO ALLOW GRAVITY DRAINING OF MAIN DURING WINTER MONTHS. PROVIDE QUICK COUPLERS AT MULTIPLE LOCATIONS TO ALLOW FOR EASY "BLOWING OUT" OF LATERAL AND MAIN LINES.
17. ZONES OR NOZZLES SHALL BE DESIGNED WITH MATCHED PRECIPITATION RATES.
18. MINIMUM LATERAL DEPTH IS 15" AND MAIN DEPTH IS 18".
19. SUBMIT DESIGN DRAWING WITH BID TO ALLOW OWNER TO EVALUATE SYSTEM. INCLUDE CUT SHEETS OF ALL COMPONENTS AND ZONE TABLE ILLUSTRATING FLOWS AND ANTICIPATED PRESSURE AT FURTHEST HEAD.
20. AN "AS-BUILT" SCALED DRAWING SHALL BE PROVIDED TO THE OWNER BY THE CONTRACTOR AND SHALL INCLUDE UT NOT BE LIMITED TO THE FOLLOWING:
  - a. AS CONSTRUCTED LOCATION OF ALL COMPONENTS
  - b. COMPONENT NAME, MANUFACTURER, MODEL INFORMATION, SIZE AND QUANTITY
  - c. PIPE SIZE AND QUANTITY
  - d. INDICATION OF SPRINKLER HEAD SPRAY PATTERN
  - e. CIRCUIT IDENTIFICATION SYSTEM
  - f. DETAILED METHOD OF WINTERIZED SYSTEM

SUBMIT AS-BUILT DRAWING IN FULL SIZE DRAWING FORM AS WELL AS PDF ELECTRONIC FORMAT. (SCANNING FULL SIZE COPY OF PLAN IS ACCEPTABLE IF IT CAN BE PRINTED TO SCALE.

CONCEPT VIEW FROM NW PARKING



FINKLE + WILLIAMS  
ARCHITECTURE

CONCEPT VIEW OF ENTRY



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ARCHITECTURE

KINGSPAN INSULATED METAL PANELS

MP-01

KINGSPAN 3"TH OPTIMO METAL PANEL, WHITE COLOR TO BE SELECTED FROM STANDARD COLOR OPTIONS, TBD



MP-02

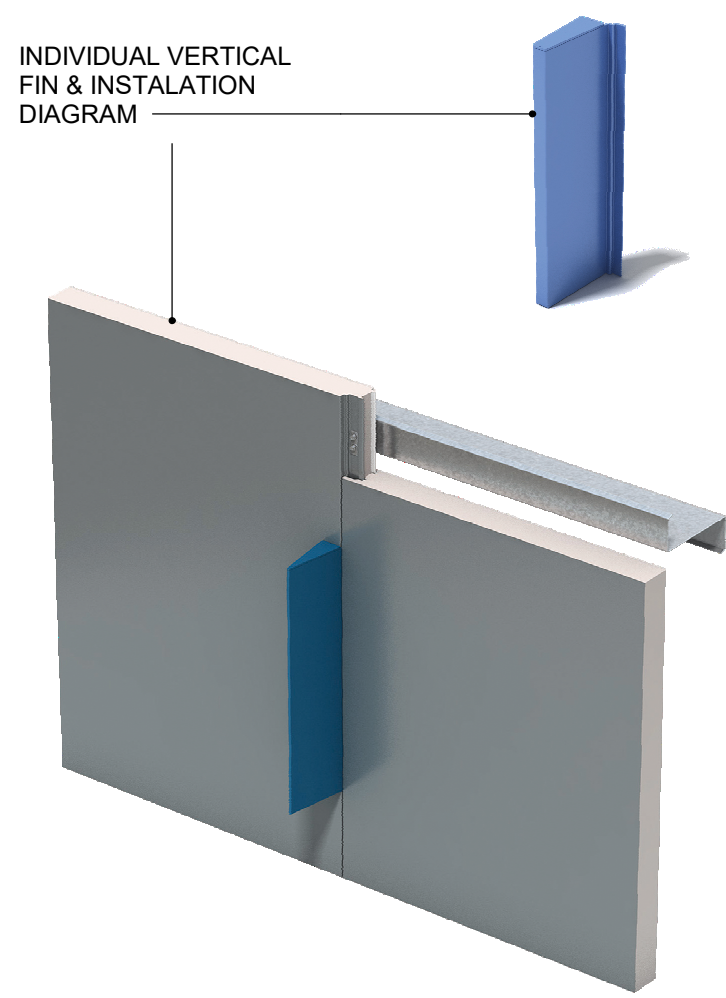
KINGSPAN 3"TH OPTIMO METAL PANEL, PEWTER METALLIC



KINGSPAN ACCENT FINIS

MP-04

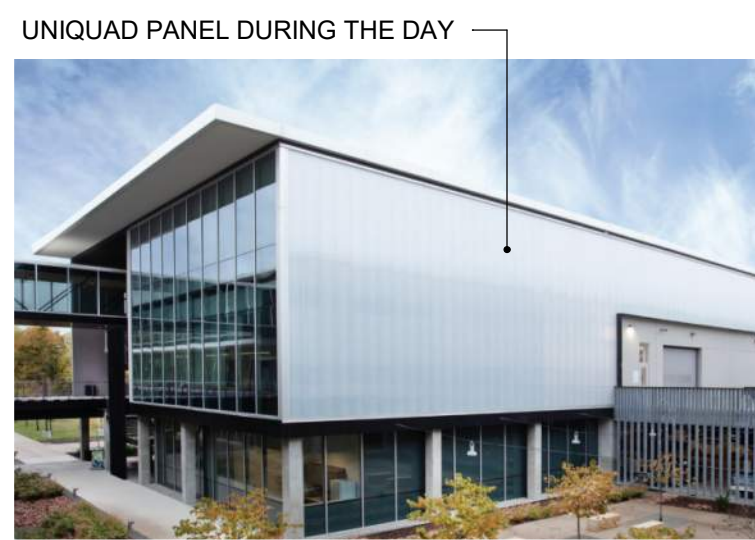
KINGSPAN OPTIMO 4" VERTICAL ACCENT FIN; COLOR TO MATCH ADJACENT MTL PANEL



KINGSPAN UNIQUAD TRANSLUCENT PANELS

GL-01

KINGSPAN UNIQUAD TRANSLUCENT PANEL



UNIQUAD PANEL AT NIGHT



WOOD SLAT EXTERIOR PANELING

WD-01

WOOD PLANK; BASIS OF DESIGN= 3/4"TH 5.25" SOLID WOOD ACCOYA, MFR AND FINISH TBD



LOBBY SOFFIT



VIEW HIGH  
SPORTS

VIEW HIGH DRIVE  
LEE'S SUMMIT, MO

Project No.: 24024  
Date: 24-1210  
Issued For: PDP RESUBMITTAL

| REVISIONS |      |             |
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| No.       | Date | Description |
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REGISTRATION

NOT FOR CONSTRUCTION

PROJECT TEAM

|                 |                                 |
|-----------------|---------------------------------|
| ARCHITECT       | FINKLE+WILLIAMS<br>ARCHITECTURE |
| CIVIL           | CIVIL<br>CONSULTANT             |
| LANDSCAPE       | LANDSCAPE                       |
| FOUNDATIONS     | FOUNDATIONS                     |
| STRUCTURAL      | STRUCTURAL                      |
| PLUMBING        | PLUMBING                        |
| MECHANICAL      | MECHANICAL                      |
| ELECTRICAL      | ELECTRICAL                      |
| FIRE PROTECTION | FIRE PROTECTION                 |
| CONTRACTOR      | GC                              |

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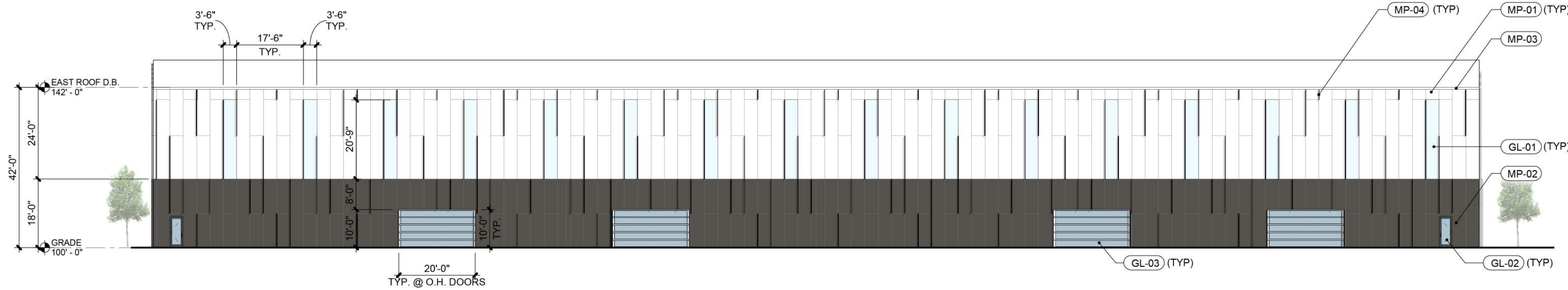
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PDP CONCEPT

SHEET NUMBER

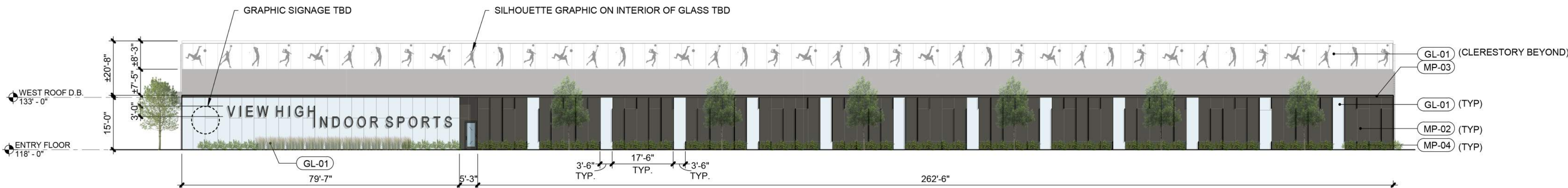
PDP-1

GLASS = 2,060 SF (14%)  
ARCH MTL PANEL = 12,504 SF (86%)



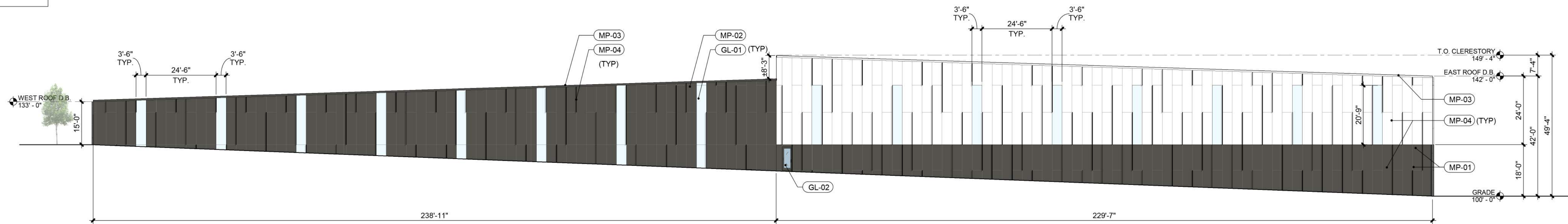
4 EAST ELEVATION - PDP  
PDP-2 SCALE : 1" = 20'-0"

GLASS = 1,800 SF (33%)  
ARCH MTL PANEL = 3,168 SF (67%)



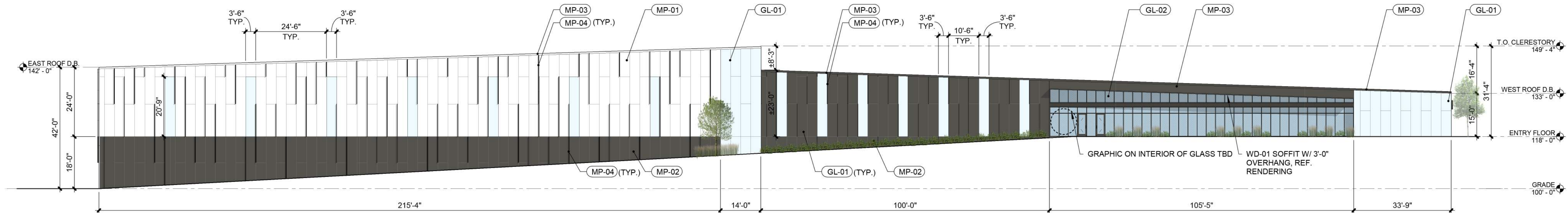
3 WEST ELEVATION - PDP  
PDP-2 SCALE : 1" = 20'-0"

GLASS = 1,211 SF (8%)  
ARCH MTL PANEL = 13,926 SF (92%)



2 SOUTH ELEVATION - PDP  
PDP-2 SCALE : 1" = 20'-0"

GLASS = 3,450 SF (25%)  
ARCH MTL PANEL = 10,537 SF (75%)



1 NORTH ELEVATION - PDP  
PDP-2 SCALE : 1" = 20'-0"

## EXTERIOR MATERIAL LEGEND

|                  |       |                                                                                               |
|------------------|-------|-----------------------------------------------------------------------------------------------|
| ARCH. MTL. PANEL | MP-01 | KINGSPAN 3"TH OPTIMO METAL PANEL, WHITE COLOR TO BE SELECTED FROM STANDARD COLOR OPTIONS, TBD |
|                  | MP-02 | KINGSPAN 3"TH OPTIMO METAL PANEL, PEWTER METALLIC                                             |
|                  | MP-03 | ALUM FASCIA/FLASHING; CUSTOM COLOR TO MATCH ADJACENT MTL PANEL                                |
|                  | MP-04 | KINGSPAN OPTIMO 4" VERTICAL ACCENT FIN; COLOR TO MATCH ADJACENT MTL PANEL                     |
| GLAZING SYSTEMS  | GL-01 | KINGSPAN uniQUAD TRANSLUCENT PANEL                                                            |
|                  | GL-02 | STOREFRONT GLAZING SYSTEM; BASIS OF DESIGN, COLOR: EXTRA DARK BRONZE ANODIZED                 |
|                  | GL-03 | ALUM. AND GLASS OVERHEAD DOOR; COLOR TO MATCH GL-02                                           |
| WOOD CLADDING    | WD-01 | WOOD PLANK; BASIS OF DESIGN= 3/4"TH 5.25" SOLID WOOD ACCOYA, MFR AND FINISH TBD               |

## VIEW HIGH SPORTS

VIEW HIGH DRIVE  
LEE'S SUMMIT, MO

Project No.: 24024  
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| STRUCTURAL      | STRUCTURAL                   |
| PLUMBING        | PLUMBING                     |
| MECHANICAL      | MECHANICAL                   |
| ELECTRICAL      | ELECTRICAL                   |
| FIRE PROTECTION | FIRE PROTECTION              |
| CONTRACTOR      | GC                           |



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SHEET TITLE

PDP  
ELEVATIONS

SHEET NUMBER

PDP-2