

# FINAL DEVELOPMENT PLANS

## DISCOVERY PARK, ZONE 1, LOT 9-1

LEE'S SUMMIT, JACKSON COUNTY, MO

SECTION 30, T48N, R31W

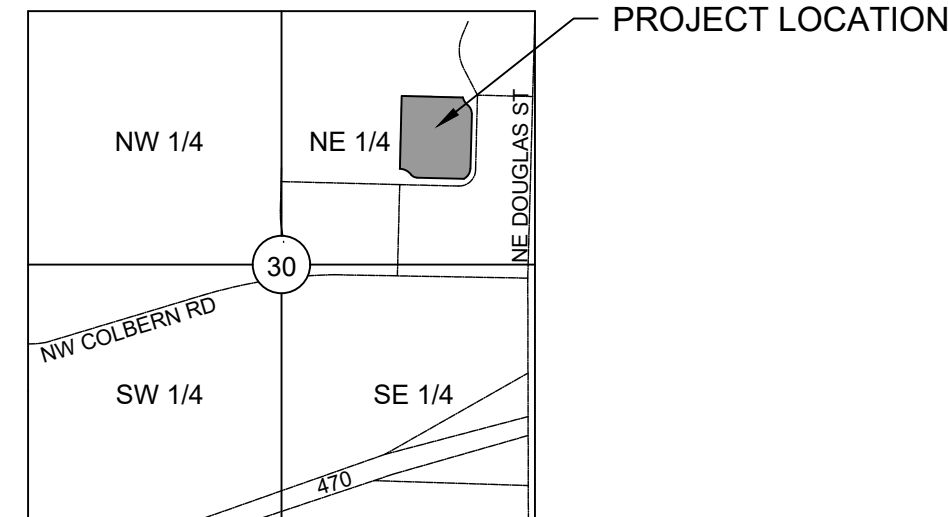
**SHEET INDEX:**

C100	COVER SHEET
C101	GENERAL NOTES
C102	EXISTING CONDITIONS
C200	SITE PLAN
C201	DIMENSION PLAN
C202	UTILITY PLAN
C203	FIRE ACCESS PLAN
C300	GRADING PLAN
C301	GRADING DETAILS
C302	GRADING DETAILS - 2
C303	GRADING DETAILS - 3
C304	GRADING DETAILS - 4
C400	DRAINAGE MAP
C401	PLAN & PROFILE - 1
C402	PLAN & PROFILE - 2
C403	STORM CALCULATIONS
C500	ESC - PHASE I
C502	ESC - PHASE II
C503	ESC - PHASE III
C600	DETAILS - 1
C601	DETAILS - 2
C602	DETAILS - 3
C603	DETAILS - 4
C604	DETAILS - 5
C605	ESC DETAILS

**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review

Development Services Department  
Lee's Summit, Missouri  
12/17/2024

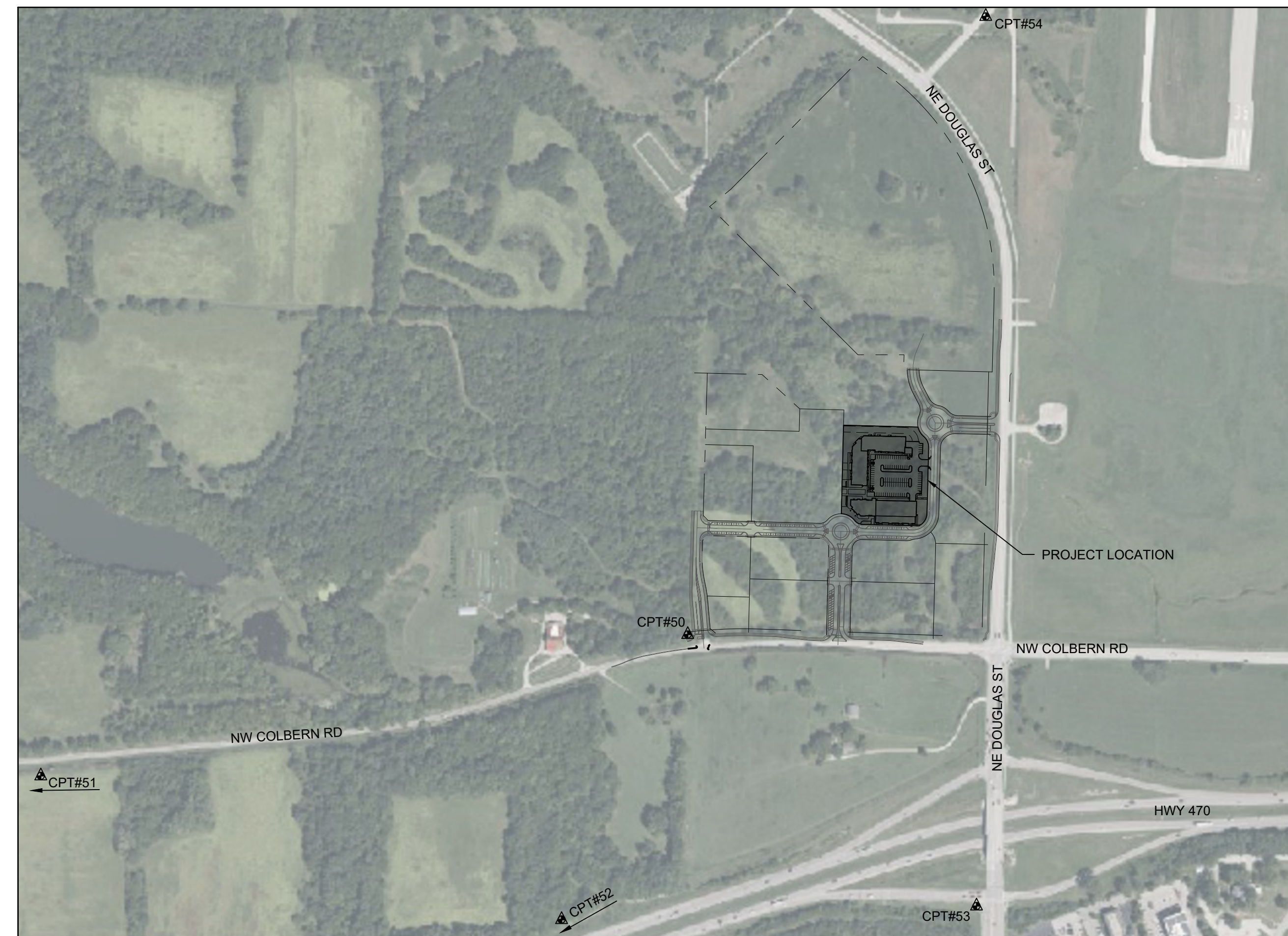
LOCATION MAP  
SECTION 30, TOWNSHIP 48N, RANGE 31W  
JACKSON COUNTY, MISSOURI  
SCALE=NTS



DATE: 12/3/2024

**LEGAL DESCRIPTION:**

THE VILLAGE AT DISCOVERY PARK, LOT 9-1



**SURVEY CONTROL:**

POINT TABLE				
POINT #	NORTHING	EASTING	ELEVATION	FULL DESCRIPTION
50	1012389.8190	2822108.7840	990.8100	CTL
51	1011606.5710	2817819.8520	933.2990	CTL
52	1009320.3430	2818811.2690	930.8920	CTL
53	1011007.3400	2823445.2840	988.4360	CTL
54	1014987.4060	2823402.9760	930.4780	CTL
55	1015699.8100	2821686.0380	935.0540	CTL

CP #50: 1/2" IB/CAP ON THE NORTH SIDE OF NW COLBERN ROAD. IT IS IN THE 1ST FIELD ENTRANCE WEST OF NE DOUGLAS STREET

CP#51: SET 1/2" IB/CAP ON THE SW CORNER OF COLBERN ROAD AND MAIN STREET

CP#52: SET 1/2" IB/CAP ON THE SOUTH SIDE OF MAIN STREET WHERE MAIN STREET TURNS EAST ON THE SOUTH SIDE OF I-470

CP#53: SET 1/2" IB/CAP ON THE EAST SIDE OF DOUGLAS JUST SOUTH OF THE I-470 INTERCHANGE. IN THE NW CORNER OF THE PARKING LOT TO THE OLD OUTBACK

CP#54: SET 1/2" IB/CAP ON THE SOUTH SIDE OF NE DOUGLAS ST. (OLD) WHERE IT BENDS BACK NORTH AT THE SE CORNER OF "THE CURE" CHURCH

CP#55: SET 1/2" IB/CAP ON THE EAST SIDE OF DOUGLAS AT DRIVEWAY FOR HOUSE 2545

WATERSHED: LITTLE CEDAR CREEK - LITTLE BLUE RIVER

DISTURBED AREA: 3.62 AC

**UTILITY CONTACTS:**

**SANITARY & WATER:**  
CITY OF LEE'S SUMMIT, MO  
220 SE GREEN STREET  
LEE'S SUMMIT, MO 64063  
PHONE: (816) 969-1900

**STORMWATER:**  
CITY OF LEE'S SUMMIT, MO  
220 SE GREEN STREET  
LEE'S SUMMIT, MO 64063  
PHONE: (816) 969-1800

**PUBLIC ROADWAY:**  
CITY OF LEE'S SUMMIT, MO  
220 SE GREEN STREET  
LEE'S SUMMIT, MO 64063  
PHONE: (816) 969-1900

**NATURAL GAS:**  
SPIRE GAS ENERGY  
3025 SW CLOVER DRIVE  
LEE'S SUMMIT, MO 64082  
PHONE: (816) 985-8888

**POWER:**  
EVERGY  
1300 SE HAMBLEN RD  
LEE'S SUMMIT, MO 64081  
PHONE: (816) 347-4320

**TELECOMMUNICATIONS:**  
AT&T  
PHONE: 800-286-8313  
SPECTRUM  
PHONE: 877-772-2253  
GOOGLE FIBER  
PHONE: 877-454-6959

**FEMA FLOOD INFORMATION:**

THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OF 0.2% ANNUAL CHANGE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE (FIRM) MAP NUMBER 29095C0409G, REVISION DATE JANUARY 20, 2017.

**OIL/GAS WELLS:**

NO OIL OR GAS WELLS ARE LOCATED WITHIN PROJECT LIMITS. INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, GEOLOGICAL SURVEY GEOSCIENCES TTECHNICAL RESOURCE ASEESMENT TOOL (GEOSTRAT).

**GENERAL NOTES:**

- ALL SITE DIMENSIONS TO THE EDGE OF PAVEMENT, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS AND FOUNDATION STEMWALLS.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.

**PROJECT SPECIFICATIONS:**

THE SPECIFICATIONS FOR THIS PROJECT SHALL BE THE FOLLOWING:

- MOST CURRENT VERSION OF THE DESIGN AND CONSTRUCTION MANUAL OF THE CITY OF LEE'S SUMMIT, MO.
- MOST CURRENT VERSION OF THE AMERICAN PUBLIC WORKS ASSOCIATION - KANSAS CITY METRO CHAPTER

THE STANDARD SPECIFICATIONS THROUGH AND INCLUDING THE LATEST AMENDMENTS SHALL BE PART OF THESE PROJECT DRAWINGS AND SPECIFICATIONS AND ARE HEREIN BY REFERENCE. THE MORE STRINGENT OF THESE STANDARD SPECIFICATIONS AND THOSE PREPARED BY THE ENGINEER PREPARING THESE PLANS SHALL GOVERN.

**CIVIL ENGINEER:**

OWN, INC.  
8455 COLLEGE BLVD  
OVERLAND PARK, KS 66210  
EMAIL: JBARTZ@WEAREOWN.COM  
PHONE: (816) 777-0400

**DEVELOPER:**

INTRINSIC DEVELOPMENT  
3622 ENDEAVOR AVE., STE. 101  
COLUMBIA, MO 65201  
CONTACT: JOHN ODLE  
PHONE: (573) 615-2252

**PREPARED AND SUBMITTED BY:**

JEFFREY W. BARTZ, P.E.  DATE 12/03/2024  
MISSOURI P.E. NO. 2012022594



8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**


200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 12/3/2024  
FIELD BOOK:



ISSUED BY:  
LICENSE NO: \_\_\_\_\_

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**COVER SHEET**

**SHEET NUMBER**

**C100**

1 OF 25



**LEGEND**

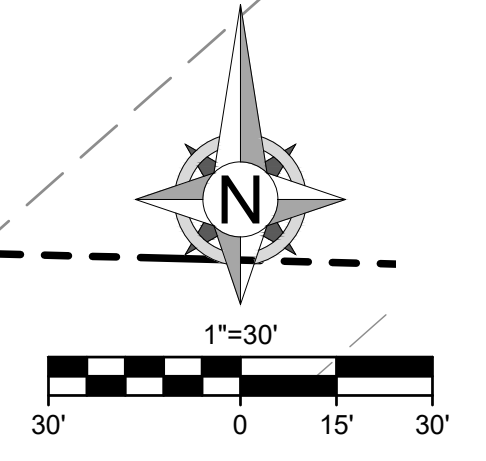
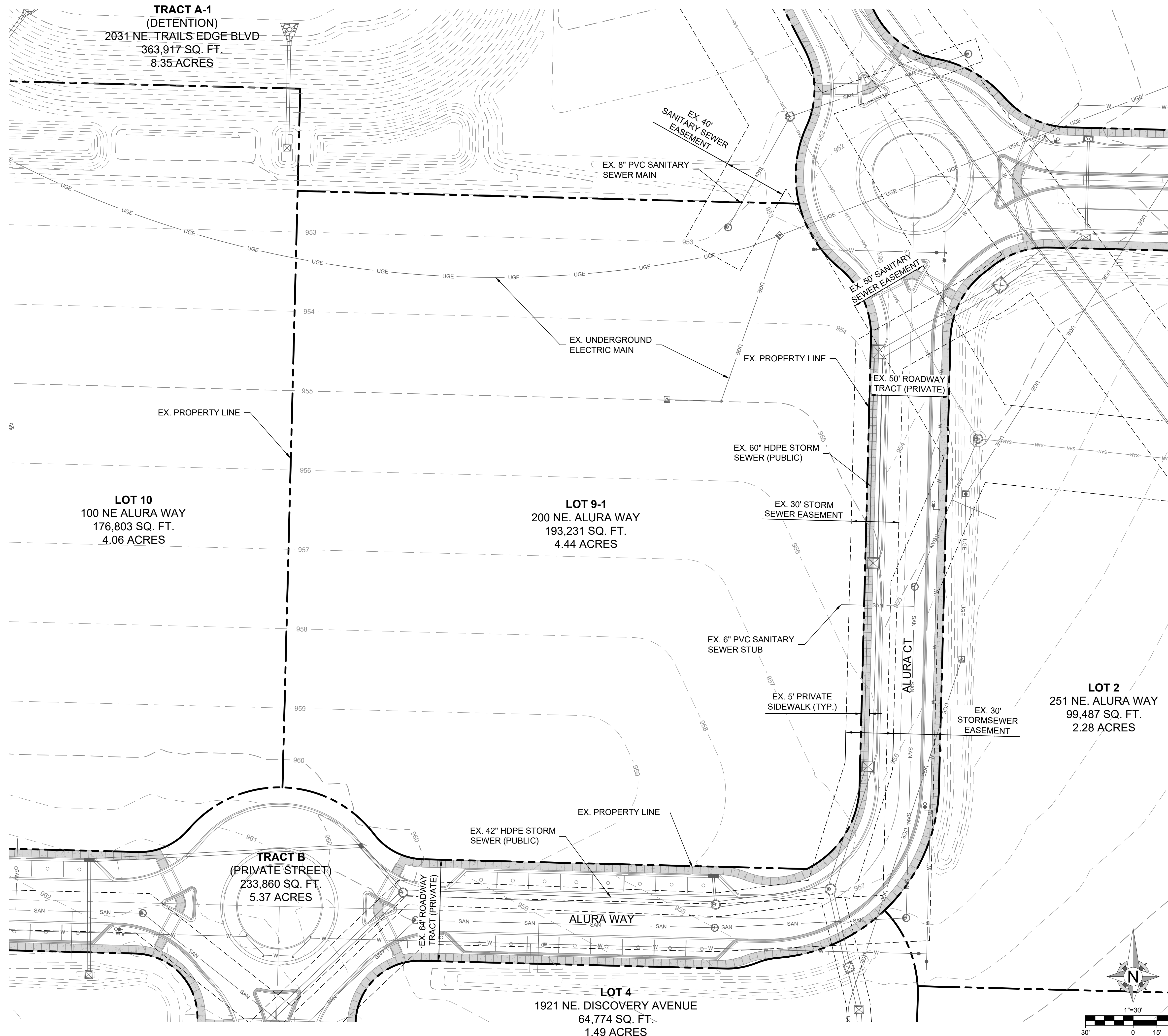
- PROPERTY LINE
- - - EX. SSWR EASEMENT
- - - EX. STORM EASEMENT
- ==== EX. CURB AND GUTTER
- EX. STORM SEWER
- SAN --- EX. SANITARY SEWER
- UGE --- EX. ELECTRICAL MAIN
- - - 1335 - - - EXISTING GRADE LINES

NOTE:  
REFERENCE THE FOLLOWING APPROVED CONSTRUCTION PLANS FOR MORE INFORMATION ON THE EXISTING INFRASTRUCTURE SHOWN:

- 1) **PRSITE20235732**  
PRIVATE SITE DEVELOPMENT PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1
- 2) **PRSUBD20232726 (PL20233146)**  
MASS GRADING & EROSION AND SEDIMENT CONTROL PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1 & ARIA APARTMENTS
- 3) **PRSUBD20232726 (PL2023206)**  
PUBLIC STORM SEWER PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1
- 4) **PRSUBD20232726 (PL2023144)**  
PUBLIC WATER MAIN EXTENSION PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1
- 5) **PRSUBD20232726 (PL2023145)**  
PUBLIC SANITARY SEWER AND FORCE MAIN RELOCATION PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1

**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review

Development Services Department  
Lee's Summit, Missouri  
12/17/2024



Engineering beyond.

8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

**REVISIONS**

NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 12/3/2024  
FIELD BOOK:



ISSUED BY:  
LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**EXISTING  
CONDITIONS**

**SHEET NUMBER**

**C102  
3 OF 25**

**LEGEND**

- PROPERTY LINE
- - - EX. UTILITY EASEMENT
- ==== CURB AND GUTTER (TYPE CG-1)
- ==== CURB AND GUTTER (TYPE CG-1 DRY)
- ==== CURB AND GUTTER (TYPE CG-2)
- ==== CURB AND GUTTER (AT RAMP)
- SAWCUT EX. PAVEMENT
- PROP. STORM SEWER
- ADA ACCESSIBLE PATH
- # PARKING STALL COUNT
- PROP. CONCRETE SIDEWALK
- HEAVY-DUTY CONCRETE PAVEMENT
- FIRE ACCESS LANE
- PROP. ASPHALT PAVEMENT
- GREEN SPACE

**KEY NOTES:**

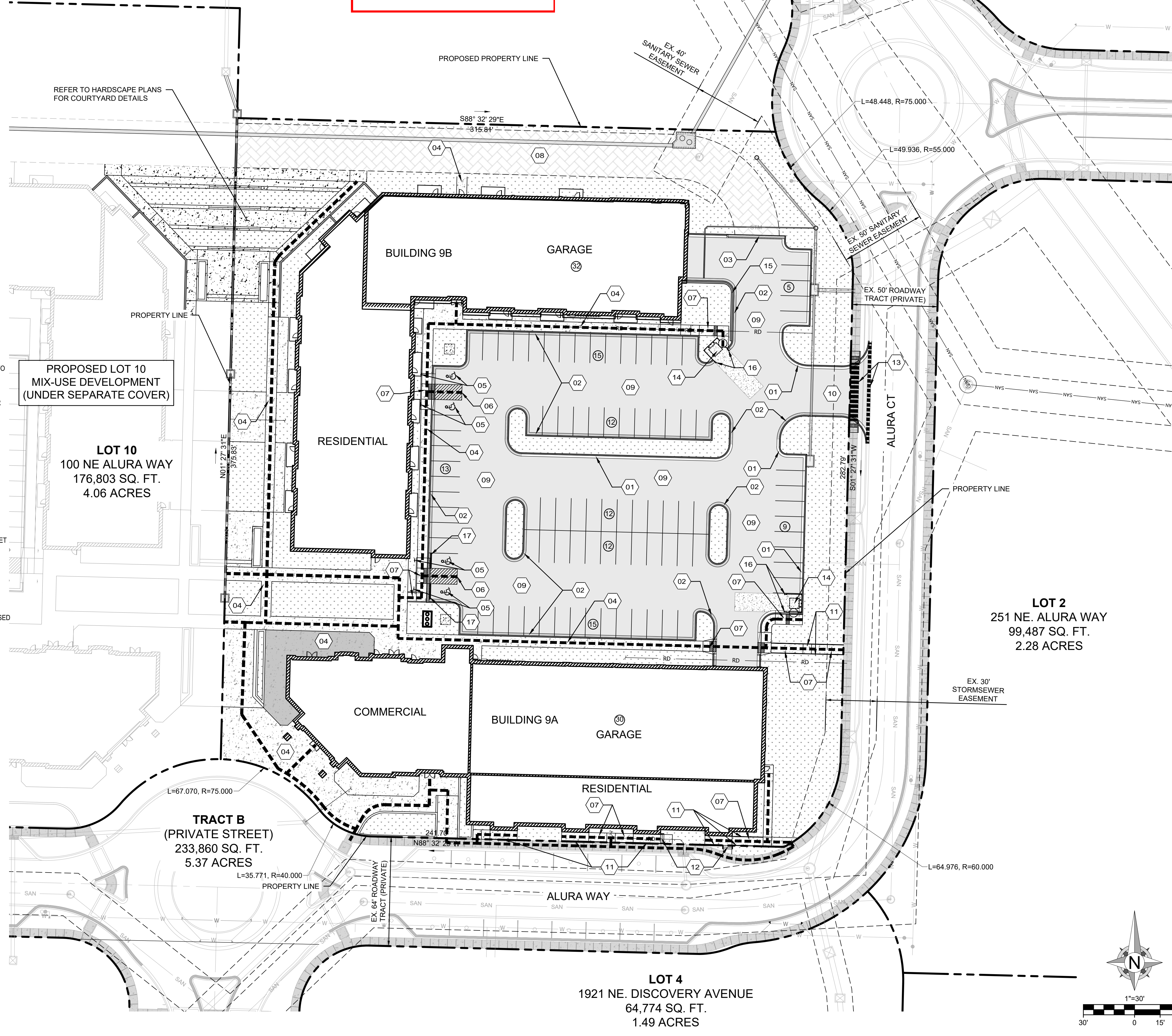
- 01 **INSTALL CURB & GUTTER (TYPE CG-1)**  
REFER TO SHEET C600 FOR TYPE CG-1 CURB AND GUTTER DETAIL.
- 02 **INSTALL CURB & GUTTER (TYPE CG-1 DRY)**  
REFER TO DETAIL SHEET C600 FOR TYPE CG-1 DRY CURB AND GUTTER DETAIL.
- 03 **INSTALL CURB & GUTTER (TYPE CG-2)**  
REFER TO SHEET C600 FOR TYPE CG-2 CURB AND GUTTER DETAIL.
- 04 **INSTALL SIDEWALK**  
REFER TO LOT 9 HARDSCAPE PLAN FOR PAVEMENT SECTION, COLOR, AND SURFACING.  
REFER TO SHEET C601 FOR SIDEWALK/SHARED-USE PATH DETAIL FOR AREAS NOT SHOWN ON HARDSCAPE PLANS.
- 05 **ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING & SIGNAGE**  
REFER TO DETAIL 008/SHEET C602 FOR ADA PAVEMENT STRIPING & SIGNING.
- 06 **ACCESSIBLE PARKING SPACE WITH ACCESS AISLE**  
TO BE ADA COMPLIANT W/ 1.5% MAX SLOPE IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- 07 **PROPOSED ADA RAMP**  
REFER TO SHEET C301 AND C302 FOR PROPOSED SPOT ELEVATIONS. REFER TO DETAIL 007/SHEET C602 FOR ADA RAMP DETAIL.
- 08 **PROPOSED FIRE LANE**  
CONTRACTOR SHALL COORDINATE WITH HARDSCAPE DESIGNER ON FIRE LANE PAVEMENT SECTION. DETAIL 006/SHEET C602 HAS BEEN PROVIDED FOR REFERENCE ONLY.
- 09 **PROPOSED ASPHALT PAVEMENT**  
INSTALL ASPHALT PAVEMENT AS SHOWN ON PLANS. REFER TO DETAILS 005/SHEET C602 FOR MORE DETAIL.
- 10 **CONNECT TO EXISTING ROADWAY**  
REFER TO CITY OF LEE'S SUMMIT STANDARD DETAIL GEN-1/SHEET C600.
- 11 **PROPOSED ADA HANDRAIL**  
INSTALL HANDRAIL AS SHOWN ON PLANS. REFER TO SHEET C301 - GRADING DETAILS FOR PROPOSED HANDRAIL LOCATION. REFER TO DETAIL 002/SHEET C601 - DETAILS - 2 FOR PROPOSED HANDRAIL DETAIL.
- 12 **PROPOSED STAIRS**  
INSTALL 6.5" - 7" RISERS AS SHOWN ON PLANS. REFER TO SHEET C301 - GRADING DETAILS FOR PROPOSED RISER LOCATIONS. REFER TO DETAIL 001/SHEET C601 - DETAILS - 2 FOR PROPOSED RISER DETAIL.
- 13 **EXISTING CURB & SIDEWALK (TO BE REMOVED)**  
SAW CUT, REMOVE, AND DISPOSE OF 60 LF OF EXISTING FULL HEIGHT CURB AS NEEDED TO INSTALL PROPOSED DRIVEWAY ENTRANCE. CONTRACTOR SHALL REPLACE ANY EXISTING CONCRETE DAMAGED DURING CURB REMOVAL. REFER TO CITY OF LEE'S SUMMIT, MISSOURI GEN-4/SHEET C600 FOR CURB REPLACEMENT DETAILS.
- 14 **PROPOSED TRASH ENCLOSURE (BY OTHERS)**  
INSTALL HEAVY-DUTY CONCRETE PAD AS SHOWN. RE: ARCHITECTURAL PLANS FOR SCREENING AND TRASH ENCLOSURE DETAILS.
- 15 **PROPOSED RETAINING WALL (BY OTHERS, FOR REFERENCE ONLY)**  
RE: APPROVED RETAINING WALL PLANS FOR MORE DETAIL.
- 16 **PROPOSED BOLLARD**  
INSTALL BOLLARD AS SHOWN ON PLAN. REFER TO DETAILS 011/SHEET C603 FOR MORE DETAIL.
- 17 **PROPOSED PARKING BLOCK**  
INSTALL PARKING BLOCK AS SHOWN ON PLANS. REFER TO DETAIL 012/SHEET C604.

**SITE DATA:**

<b>SITE</b>	
TOTAL SITE AREA:	147,668.40 SF (3.39 AC)
PRO. CONSTRUCTION AREA:	147,668.40 SF (3.39 AC)
IMPERVIOUS AREA:	0 SF (0.00 %)
PROP. IMPERVIOUS AREA:	117,064.82 SF (79.28 %)
FAR:	0.94
<b>BUILDING</b>	
TOTAL FLOOR AREA (BLDG A):	71,322.00 SQ. FT.
TOTAL FLOOR AREA (BLDG B):	85,672.30 SQ. FT.
BUILDING HEIGHT (BLDG A):	51'-11 1/2"
BUILDING HEIGHT (BLDG B):	42' - 0"
DWELLING UNITS (BLDG A):	40
DWELLING UNITS (BLDG B):	57
<b>PARKING</b>	
REQUIRED TOTAL PARKING:	153 (STANDARD + ADA)
TOTAL PARKING STALLS:	155 (STANDARD + ADA)
SURFACE PARKING STALLS:	93
GARAGE PARKING STALLS:	62
REQUIRED ADA STALLS:	7
ADA STALLS PROVIDED:	8
<b>LAND USE / ZONING</b>	
EXISTING:	VACANT
PROPOSED:	MIXED USE (COMMERCIAL/RESIDENTIAL)
EXISTING:	P-MIX
PROPOSED:	P-MIX

**TRACT A-1  
(DETENTION)**  
2031 NE. TRAILS EDGE BLVD  
409,464 SQ. FT.  
9.40 ACRES

**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review  
  
Development Services Department  
Lee's Summit, Missouri  
12/17/2024



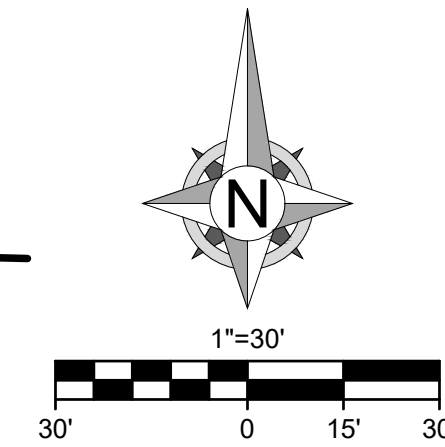
**PROPOSED LOT 10  
MIX-USE DEVELOPMENT  
(UNDER SEPARATE COVER)**

**LOT 10**  
100 NE ALURA WAY  
176,803 SQ. FT.  
4.06 ACRES

**TRACT B  
(PRIVATE STREET)**  
233,860 SQ. FT.  
5.37 ACRES

**LOT 2**  
251 NE. ALURA WAY  
99,487 SQ. FT.  
2.28 ACRES

**LOT 4**  
1921 NE. DISCOVERY AVENUE  
64,774 SQ. FT.  
1.49 ACRES



**OWN**  
Engineering beyond.

8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
DISCOVERY PARK  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 12/3/2024  
FIELD BOOK:

ISSUED BY: \_\_\_\_\_  
LICENSE NO: \_\_\_\_\_

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**SITE PLAN**

**SHEET NUMBER**

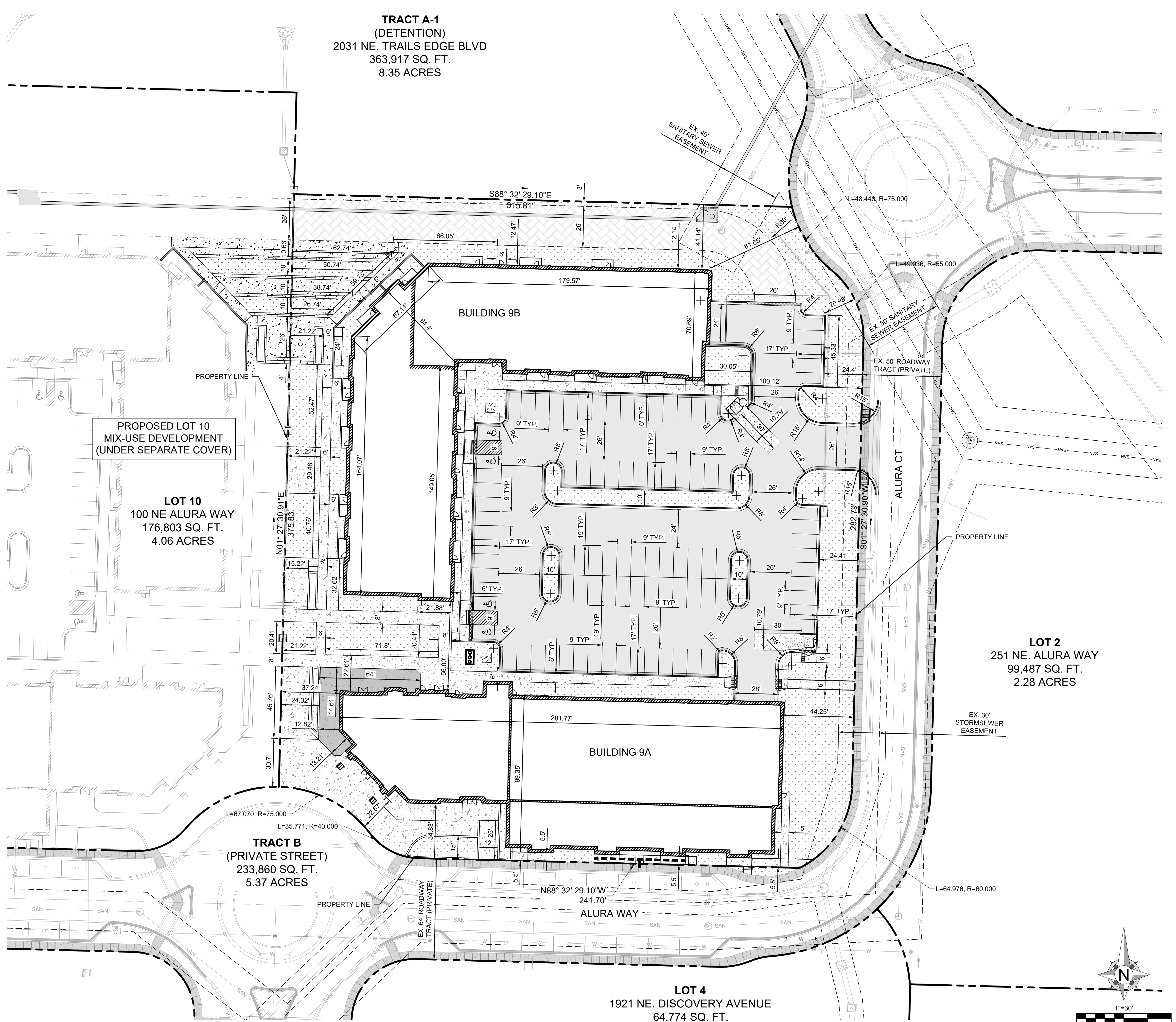
**C200**

4 OF 25

**LEGEND**

- PROPERTY LINE
- EX. UTILITY EASEMENT
- CURB AND GUTTER (TYPE CG-1)
- CURB AND GUTTER (TYPE CG-1 DRY)
- CURB AND GUTTER (TYPE CG-2)
- SAWCUT EX. PAVEMENT
- PROP. STORM SEWER
- ADA ACCESSIBLE PATH
- PARKING STALL COUNT
- PROP. CONCRETE SIDEWALK
- FIRE ACCESS LANE
- PROP. ASPHALT PAVEMENT
- GREEN SPACE

**TRACT A-1  
(DETENTION)**  
2031 NE. TRAILS EDGE BLVD  
363,917 SQ. FT.  
8.35 ACRES



**PROPOSED LOT 10  
MIX-USE DEVELOPMENT  
(UNDER SEPARATE COVER)**

**LOT 10**  
100 NE ALURA WAY  
176,803 SQ. FT.  
4.06 ACRES

**LOT 2**  
251 NE. ALURA WAY  
99,487 SQ. FT.  
2.28 ACRES

**TRACT B  
(PRIVATE STREET)**  
233,860 SQ. FT.  
5.37 ACRES

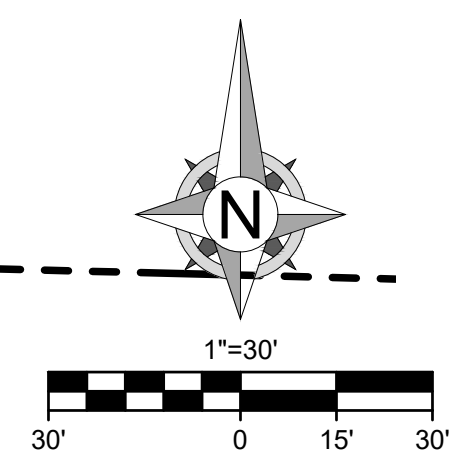
**LOT 4**  
1921 NE. DISCOVERY AVENUE  
64,774 SQ. FT.  
1.49 ACRES

**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review

Development Services Department  
Lee's Summit, Missouri

12/17/2024

NOTE: HARDSCAPE DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY.  
REFERENCE APPROVED HARDSCAPE PLANS FOR PROPOSED DIMENSIONS.



Engineering beyond.

8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

**REVISIONS**

NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 12/3/2024  
FIELD BOOK:



ISSUED BY:  
LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**DIMENSION PLAN**

**SHEET NUMBER**

**C201**  
5 OF 25

**KEY NOTES:**

**BUILDING A**

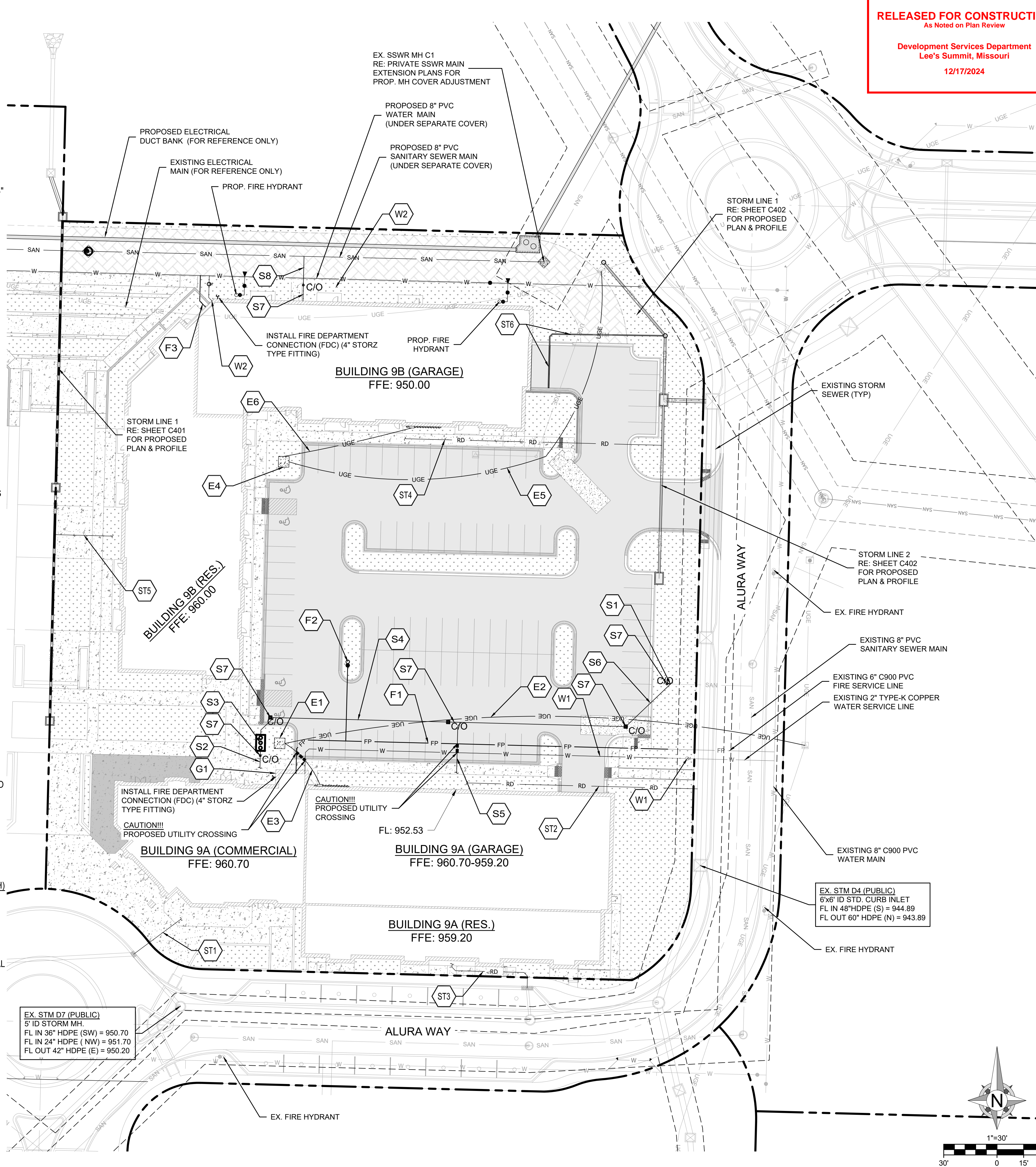
- S1 CONNECT TO EXISTING 6" (SDR-26 PVC) SSWR STUB  
REFERENCE PUBLIC SANITARY SEWER AND FORCEMAIN  
RELOCATION PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE  
1. CONTRACTOR SHALL POTHOLE EXISTING STUB TO VERIFY  
AS-BUILT INVERT ELEVATION.  
FL INV @ CAP = 945.60  
FL INV @ MAIN = 938.80
- S2 SANITARY SEWER SERVICE LINE (4" SDR-26 PVC)  
INSTALL 10 LF @ MIN. 1.00% FROM PROP. BUILDING TO PROP.  
GREASE INTERCEPTOR.  
MIN. FL @ BLDG = 957.70. RE: MEP PLANS FOR BUILDING  
CONTINUATION.
- S3 INSTALL GREASE INTERCEPTOR  
INSTALL GREASE INTERCEPTOR AS SHOWN. REFER TO MEP PLANS  
FOR MORE DETAILS.  
REFER TO DETAIL 011/SHEET C603 - DETAILS - 4 FOR REFERENCE  
DETAIL.  
FL IN = 957.60  
FL OUT = 957.60
- S4 SANITARY SEWER SERVICE LINE (4" SDR-26 PVC)  
INSTALL 118.5 LF @ 4.89% FROM PROP. GREASE INTERCEPTOR TO  
PROP. 6" SDR-26 PVC SSWR SERVICE.  
FL @ GREASE INTERCEPTOR = 957.60  
FL @ 6" SSWR SERVICE = 951.82
- S5 SANITARY SEWER SERVICE LINE (6" SDR-26 PVC)  
INSTALL 38.5 LF @ 2.00% FROM PROP. BUILDING 9A GARAGE TO  
PROP. 6" SDR-26 PVC SSWR SERVICE.  
FL @ BLDG 9A = 952.53  
FL @ 6" SSWR SERVICE = 951.82
- S6 SANITARY SEWER SERVICE LINE (6" SDR-26 PVC)  
INSTALL 127.50 LF @ 4.89% FROM 6" SSWR SERVICE LINE TO EX. 6"  
SSWR STUB CAP.  
FL @ 6" SSWR SERVICE = 951.82  
FL @ 6" SSWR STUB CAP = 945.60
- S7 INSTALL SSWR SERVICE LINE CLEANOUT  
INSTALL CLEANOUT AS SHOWN ON PLANS.  
REFER TO DETAIL 009/SHEET C602.
- W1 DOMESTIC WATER SERVICE LINE (3" C900 PVC)  
INSTALL 217 LF OF 3" C900 PVC SERVICE LINES FROM PROP.  
BUILDING TO EX. 2" STUB. INSTALL 2" METER & METER PIT PER CITY  
OF LEE'S SUMMIT STANDARD DETAILS WAT-11, SHEET C603.  
MAINTAIN MIN. 10' OF 2" TYPE-K COPPER WEST OF PROP. METER  
LOCATION.
- F1 FIRE SUPPRESSION SERVICE LINE (6" C900 PVC)  
INSTALL 296 LF FROM PROP. BUILDING TO EX. 6" C900 PVC FIRE  
SERVICE LINE STUB.  
CONTRACTOR SHALL COORDINATE WITH FIRE SUPPRESSION  
DESIGNER OR BACKFLOW LOCATION. CONTACT ENGINEER IF THE  
NEED FOR EXTERNAL VAULT ARISES.
- F2 FIRE HYDRANT ASSEMBLY  
INSTALL PROPOSED FIRE HYDRANT ASSEMBLY PER CITY OF LEE'S  
SUMMIT, MO WAT-7.  
REFER TO SHEET C6024 - DETAILS 5 FOR MORE DETAIL.
- G1 GAS SERVICE CONNECTION  
COORDINATE WITH OWNER AND MEP ON PROPOSED GAS SERVICE  
LINE.
- E1 PROPOSED TRANSFORMER  
INSTALL PROPOSED TRANSFORMER PER EVERGY STANDARDS.  
(FOR REFERENCE ONLY)
- E2 ELECTRICAL SERVICE PRIMARY (SIZE/QTY PER EVERGY)  
INSTALL 297 LF FROM EX. SECTIONALIZE TO PROPOSED  
TRANSFORMER. (FOR REFERENCE ONLY)
- E3 ELECTRICAL SERVICE SECONDARY (7 - 4" CONDUIT)  
INSTALL 32 LF FROM PROPOSED TRANSFORMER TO PROPOSED  
METER BANK. (FOR REFERENCE ONLY)
- ST1 ROOF DRAIN (6" HDPE/PVC)  
INSTALL 47 LF @ 2.00% FROM PROPOSED BUILDING 9A  
COMMERCIAL TO EX. STM D7.  
REFER TO MEP PLANS FOR BUILDING CONTINUATION.  
FL @ BLDG 9A COMMERCIAL = 956.50  
FL @ EX. STM D7 = 955.56
- ST2 ROOF DRAIN (6" HDPE/PVC)  
INSTALL 130 LF @ 6.77% FROM PROPOSED BUILDING 9A GARAGE  
TO EX. 60" HDPE STORM SEWER. CONTRACTOR SHALL CORE DRILL  
AND INSTALL 6" ADS INSERTA TEE.  
REFER TO MEP PLANS FOR BUILDING CONTINUATION.  
FL @ BLDG 9A GARAGE = 956.30  
FL @ EX. STM D7 = 947.50
- ST3 ROOF DRAIN (6" HDPE/PVC)  
INSTALL 53 LF @ 5.00% FROM PROPOSED BUILDING 9A  
RESIDENTIAL TO EX. STM F1.  
REFER TO MEP PLANS FOR BUILDING CONTINUATION.  
FL @ BLDG 9A GARAGE = 954.93  
FL @ EX. STR F1 = 952.28

**LEGEND**


- W WATER SERVICE
- SSW SANITARY SEWER SERVICE
- UGE U/G ELECTRIC
- SSW STORM SEWER
- SAN SANITARY SEWER MAIN
- PROP. UTILITY CROSSING

**BUILDING B**

- S8 SANITARY SEWER SERVICE LINE (4" SDR-26 PVC)  
CONNECT TO PROP. 8" SDR-26 PVC SSWR MAIN WITH 8"x4"  
PVC SERVICE WYE PER CITY OF LEE'S SUMMIT SAN -1.  
REFER TO SHEET C604 FOR STD. DTL. SAN-1.  
INSTALL 20 LF OF VERTICAL RISER @ 50%.  
INSTALL 5 LF FROM VERTICAL RISER TO PROP. BUILDING  
9B @ 5.00%.  
FL @ BLDG 9B = 945.27  
FL @ 8" SSWR MAIN = 935.02
- W2 DOMESTIC WATER SERVICE LINE (2" TYPE K-COPPER)  
INSTALL 5 LF OF 2" TYPE K-COPPER SERVICE LINE FROM  
PROP. 8" C900 PVC WATERMAIN TO PROP. 2" METER.  
INSTALL 2" METER & METER PIT PER CITY OF LEE'S  
SUMMIT STANDARD DETAILS WAT-11, SHEET C603.  
INSTALL 10 LF OF 2" TYPE-K COPPER FROM PROP. METER TO  
PROP. BUILDING 9B.  
RE: MEP PLANS FOR BUILDING CONTINUATION.
- F3 FIRE SUPPRESSION SERVICE LINE (6" C900 PVC)  
INSTALL 20 LF FROM PROP. BUILDING TO EX. 8" C900 PVC  
MAIN.  
CONTRACTOR SHALL COORDINATE WITH FIRE  
SUPPRESSION DESIGNER OR BACKFLOW LOCATION.  
CONTACT ENGINEER IF THE NEED FOR EXTERNAL VAULT  
ARISES.
- G2 GAS SERVICE CONNECTION  
COORDINATE WITH OWNER AND MEP ON PROPOSED GAS  
SERVICE LINE.
- E4 PROPOSED TRANSFORMER  
INSTALL PROPOSED TRANSFORMER PER EVERGY  
STANDARDS.  
(FOR REFERENCE ONLY)
- E5 ELECTRICAL SERVICE PRIMARY (SIZE/QTY PER EVERGY)  
INSTALL 262 LF FROM EX. SECTIONALIZE TO PROPOSED  
TRANSFORMER. (FOR REFERENCE ONLY)
- E6 ELECTRICAL SERVICE SECONDARY (6 - 4" CONDUIT)  
INSTALL 20 LF FROM PROPOSED TRANSFORMER TO  
PROPOSED METER BANK. (FOR REFERENCE ONLY)
- ST4 ROOF DRAIN (10" HDPE/PVC)  
INSTALL 142 LF @ 2.00% FROM PROPOSED BUILDING 9B  
GARAGE TO PROP. 24" HDPE STORM SEWER.  
CONTRACTOR SHALL CORE DRILL AND INSTALL 6" ADS  
INSERTA TEE.  
FL @ BLDG 9B GARAGE = 946.18  
FL @ PROP. STM LINE 2 = 943.34  
RE: MEP PLANS FOR BUILDING CONTINUATION
- ST5 ROOF DRAIN (6" HDPE/PVC)  
INSTALL 32 LF @ 4.00% FROM PROPOSED BUILDING 9B TO  
PROP. 15" HDPE STORM SEWER. (STORM LINE 1)  
CONTRACTOR SHALL CORE DRILL AND INSTALL 6" ADS  
INSERTA TEE.  
REFER TO MEP PLANS FOR BUILDING CONTINUATION.  
FL @ BLDG 9B = 954.31  
FL @ PROP. STM LINE 1 = 953.03  
RE: MEP PLANS FOR BUILDING CONTINUATION
- ST6 TRENCH DRAIN (KLASSIKDRAIN - K200 8" INTERNAL WIDTH)  
CONTRACTOR MAY SUBMIT EQUIVALENT TRENCH DRAIN  
TO ENGINEER FOR APPROVAL.  
  
INSTALL 23 LF (7 SECTIONS K2-1 THRU K2-7) OF SLOPED  
CHANNEL SECTION W/ TYPE 605Q - GALVANIZED GRATE.  
INSTALL K2 UNIVERSAL INLET/OUTLET END CAP TO  
SECTION K2-7. CONNECT 6" SCH. 40 PVC TO K2 UNIVERSAL  
END CAP PER MANUFACTURE SPECIFICATIONS.  
INSTALL 66 LF OF SCH. 40 PVC @ 8.15 % FROM PROP.  
TRENCH DRAIN TO PROP. STORM STR. 3A.  
FL @ TRENCH DRAIN = 949.13  
FL @ STR. 3B = 943.75



**RELEASED FOR CONSTRUCTION**  
 As Noted on Plan Review  
 Development Services Department  
 Lee's Summit, Missouri  
 12/17/2024


  
**OWN**  
 Engineering beyond.  
 8455 College Boulevard  
 Overland Park, KS 66210  
 816.777.0400  
 weareown.com  
 FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**  
 200 NE ALURA WAY  
 LEE'S SUMMIT, MO 64086  
 LOT 9-1 - THE VILLAGE AT  
 DISCOVERY PARK  
 NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
 DRAWN BY: JGD  
 CHECK BY: JWB  
 ISSUED DATE: 12/3/2024  
 FIELD BOOK:

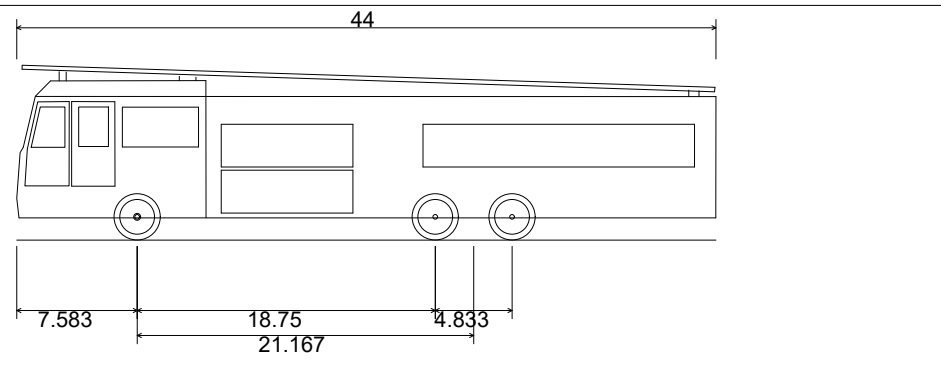


ISSUED BY:  
 LICENSE NO:

A licensed Missouri  
 Engineering Corporation  
 COA# 00062

**SHEET TITLE**  
**UTILITY PLAN**

**SHEET NUMBER**  
**C202**  
 6 OF 25

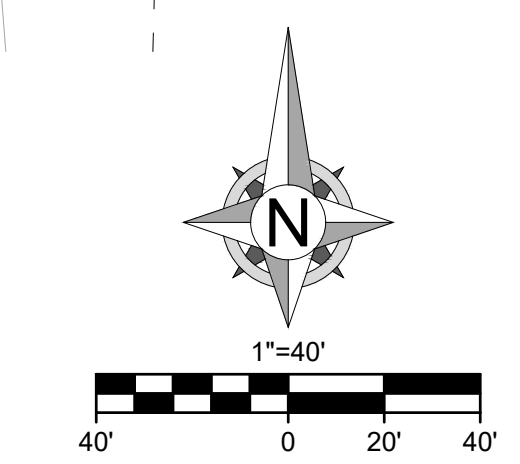
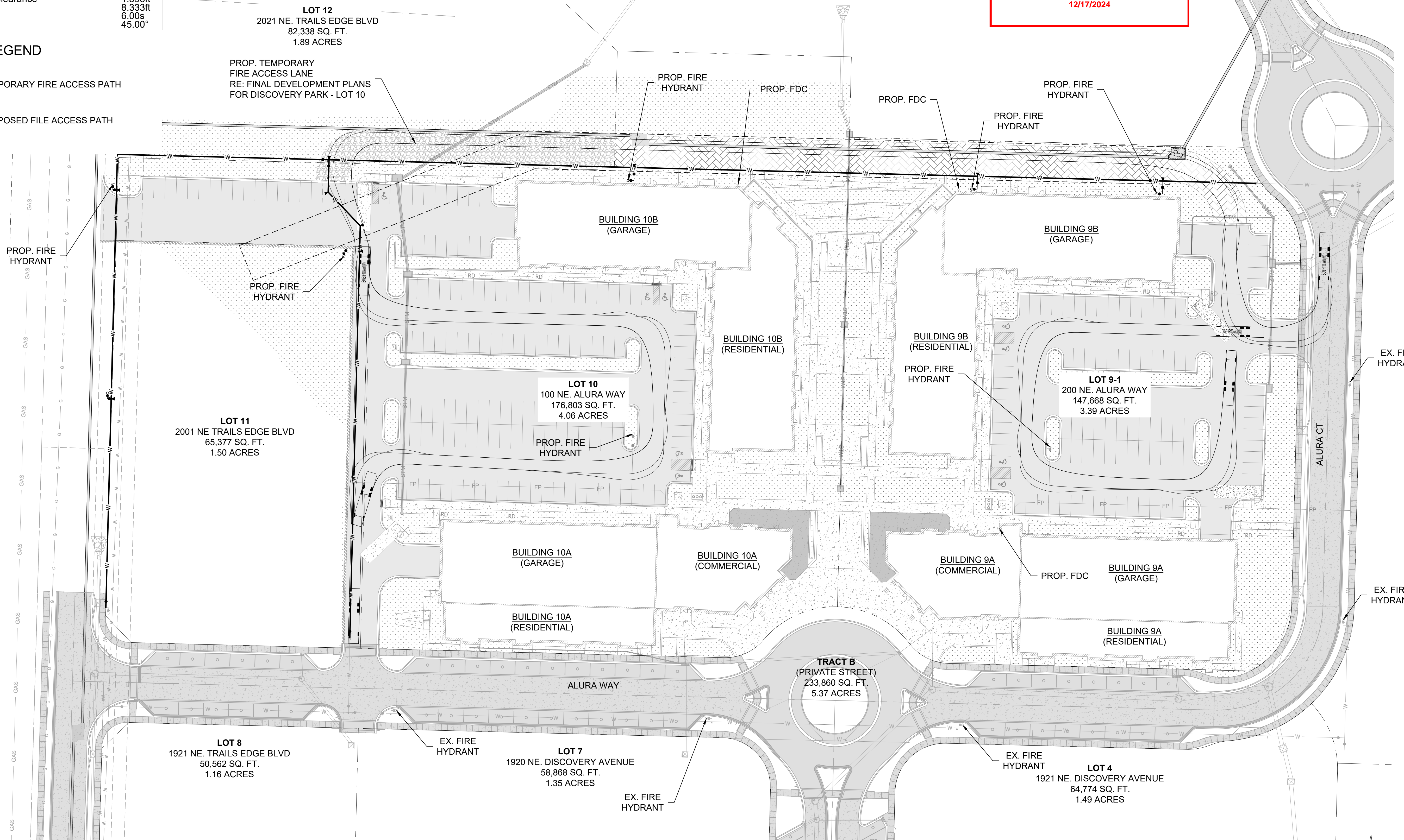


E-ONE HP100 Aerial (44')  
 Overall Length 44.000ft  
 Overall Width 8.333ft  
 Overall Body Height 11.000ft  
 Min Body Ground Clearance 1.393ft  
 Track Width 8.333ft  
 Lock-to-lock time 6.00s  
 Max Wheel Angle 45.00°

**LEGEND**

- TEMPORARY FIRE ACCESS PATH
- PROPOSED FIRE ACCESS PATH

**RELEASED FOR CONSTRUCTION**  
 As Noted on Plan Review  
 Development Services Department  
 Lee's Summit, Missouri  
 12/17/2024



Engineering beyond.

8455 College Boulevard  
 Overland Park, KS 66210  
 816.777.0400  
 weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
 THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
 LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
 DISCOVERY PARK  
 NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
 DRAWN BY: JGD  
 CHECK BY: JWB  
 ISSUED DATE: 12/3/2024  
 FIELD BOOK:

ISSUED BY:  
 LICENSE NO:

A licensed Missouri  
 Engineering Corporation  
 COA# 00062

**SHEET TITLE**

**FIRE ACCESS PLAN**

**SHEET NUMBER**

**C203**

7 OF 25



Engineering beyond.

8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

### DISCOVERY PARK THE VILLAGE - LOT 9-1

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

#### REVISIONS

NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

#### DRAWING INFORMATION

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 12/3/2024  
FIELD BOOK:



ISSUED BY:  
LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

#### SHEET TITLE

### GRADING PLAN

#### SHEET NUMBER

## C300

8 OF 25

### LEGEND

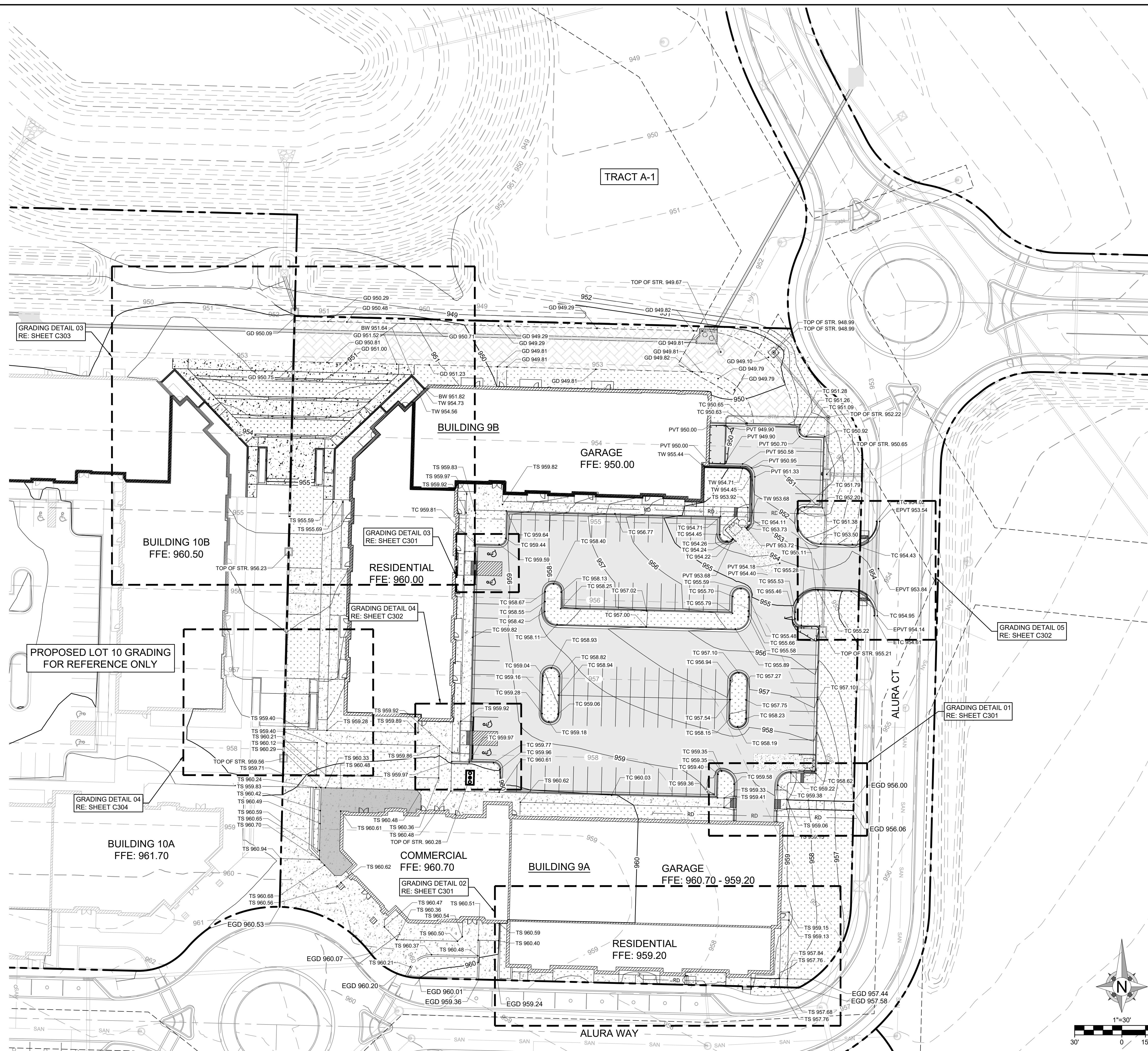
- - - 1335 - - - EXISTING GRADE LINES
- 1335 — PROPOSED NEW GRADE LINES
- - - GRADING DETAIL AREAS

#### NEW SPOT ELEVATIONS

LIST	ABBREVIATION
SIDEWALK	SW
TOP OF CURB	TC
TOP OF PAVEMENT	PVT
NEW GRADE	GD
EXISTING TOP OF CURB	ETC
EXISTING GRADE	EGD
EXISTING PAVEMENT	EPVT
EXISTING SIDEWALK	ESW
MATCH EXISTING SIDEWALK	ME TS ±
TOP OF STR.	TOP OF STR.
TOP OF WALL	TW

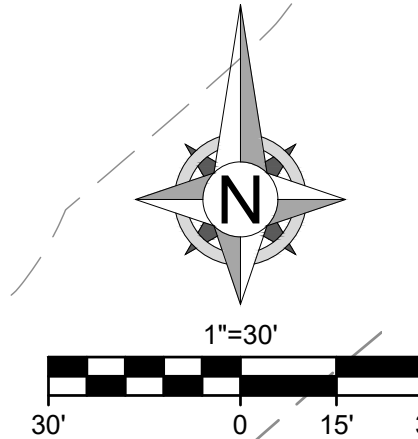
#### GENERAL NOTES:

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.



**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review

Development Services Department  
Lee's Summit, Missouri  
12/17/2024





**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
DISCOVERY PARK  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

**REVISIONS**

NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 12/3/2024  
FIELD BOOK:



ISSUED BY:  
LICENSE NO:

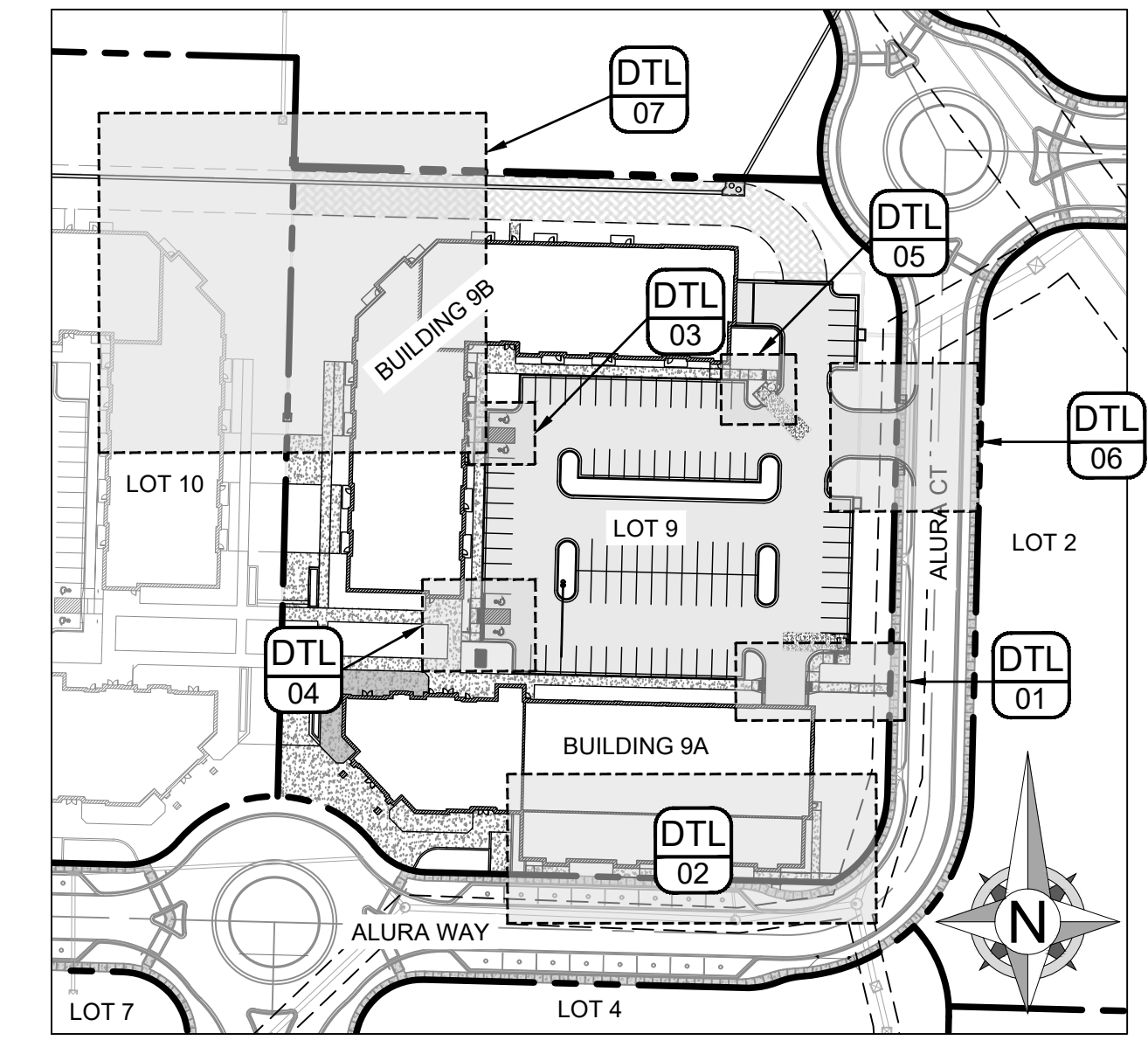
A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**GRADING  
DETAILS**

**SHEET NUMBER**

**C301**  
9 OF 25



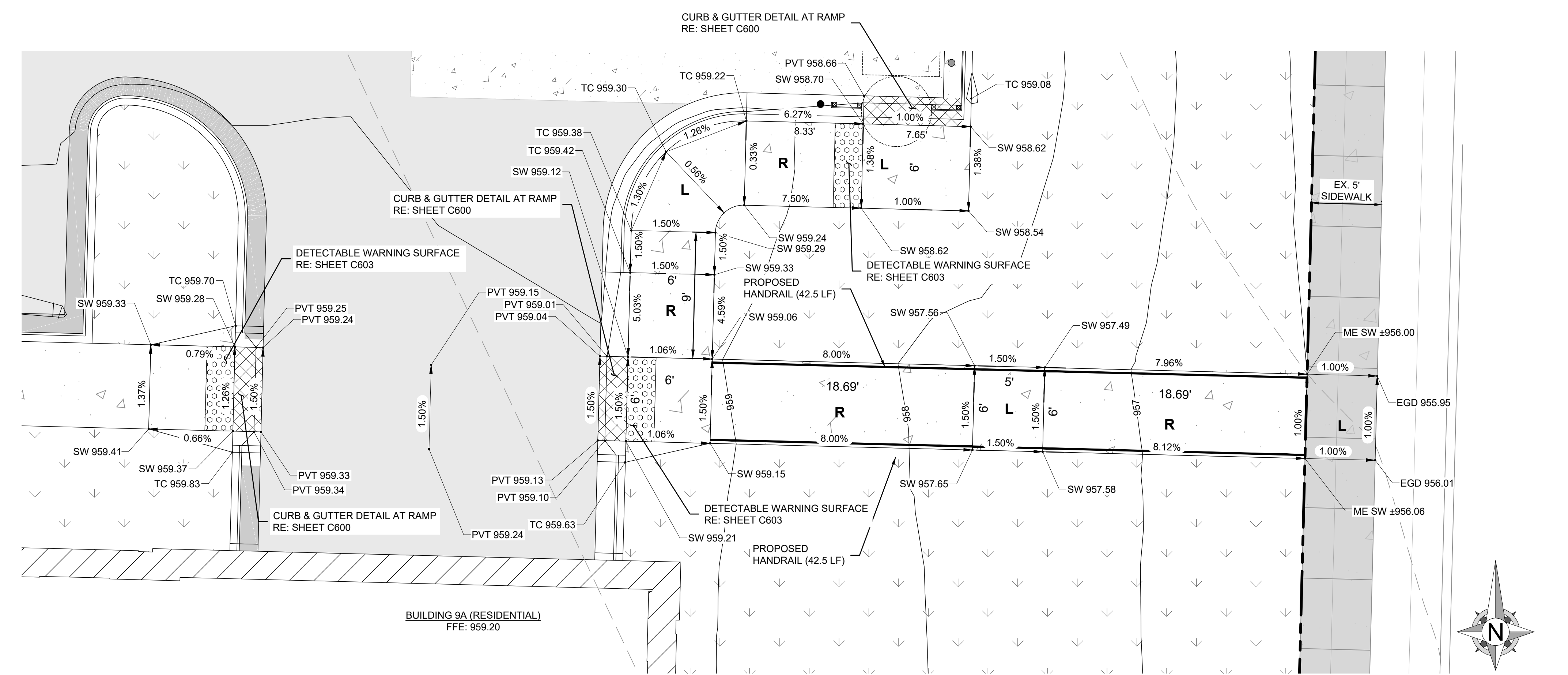
**VICINITY MAP**  
SCALE: 1" = 100'

**LEGEND**

- - 1335 - - EXISTING GRADE LINES
- 1335 —— PROPOSED NEW GRADE LINES
- ▨▨▨▨▨ CURE & GUTTER AT RAMP
- ○ ○ ○ ○ DETECTABLE WARNING SURFACE
- 1.53% → PERCENT SLOPE (IN DIRECTION OF FLOW)

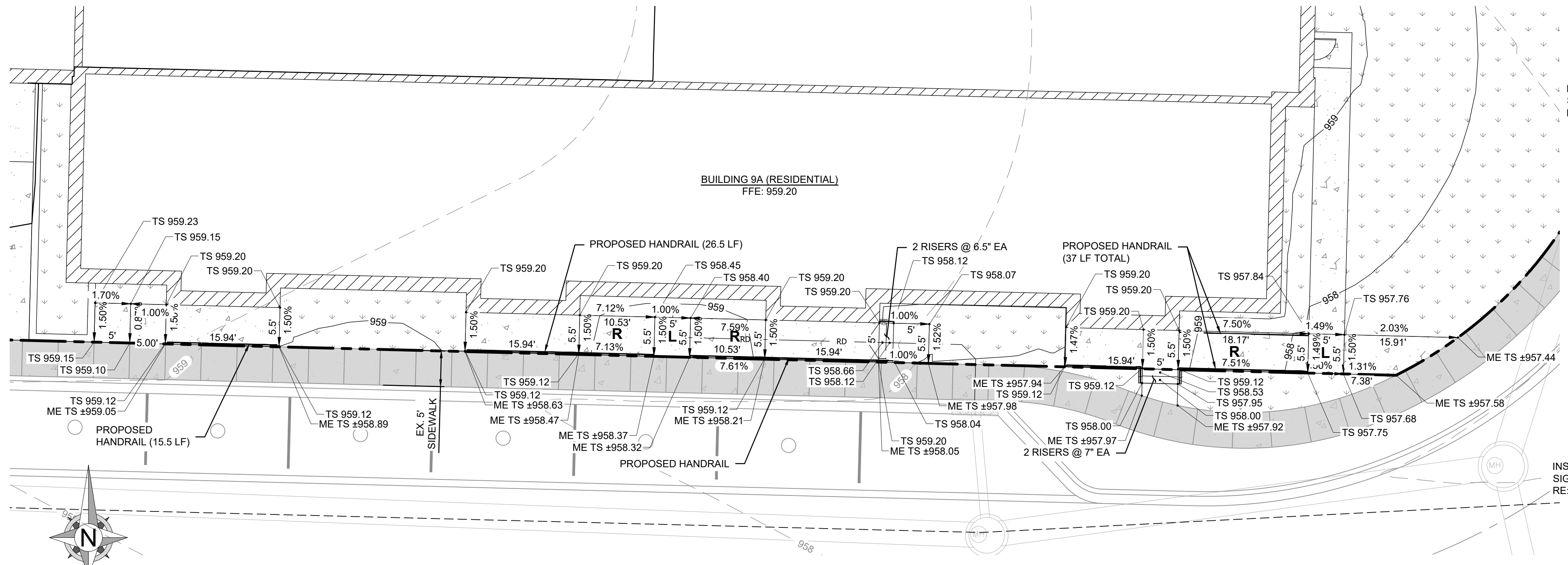
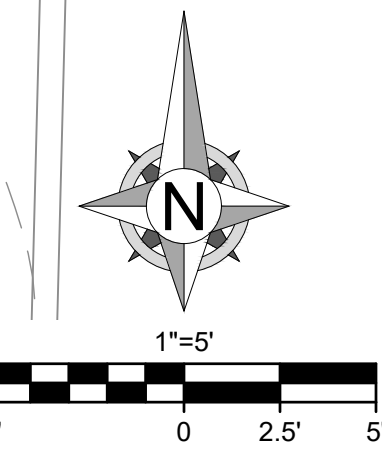
**NEW SPOT ELEVATIONS**

- |                         |              |
|-------------------------|--------------|
| LIST                    | ABBREVIATION |
| SIDEWALK                | SW           |
| TOP OF CURB             | TC           |
| TOP OF PAVEMENT         | PVT          |
| NEW GRADE               | GD           |
| EXISTING TOP OF CURB    | ETC          |
| EXISTING GRADE          | EGD          |
| EXISTING PAVEMENT       | EPVT         |
| EXISTING SIDEWALK       | ESW          |
| MATCH EXISTING SIDEWALK | ME TS ±      |
| TOP OF STR.             | TOP OF STR.  |
| TOP OF WALL             | TW           |

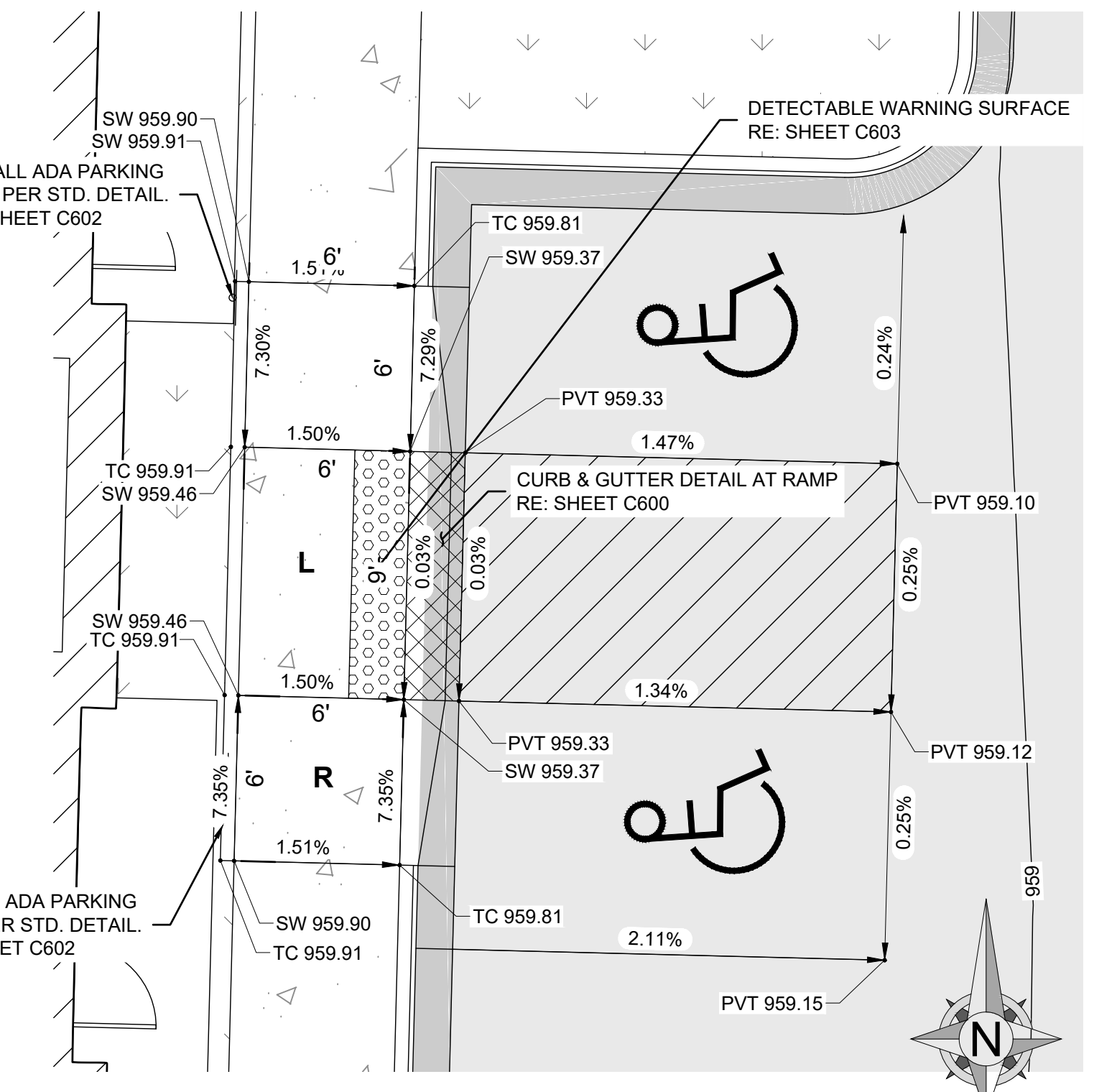
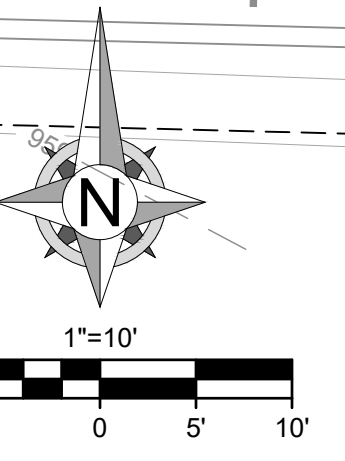


**DTL ADA GRADING DETAIL (N OF BUILDING 9A)**  
SCALE: 1" = 5'

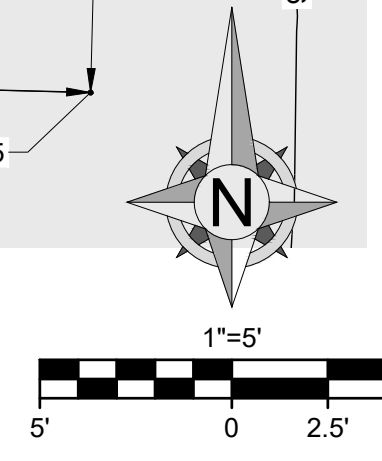
**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review  
  
Development Services Department  
Lee's Summit, Missouri  
12/17/2024

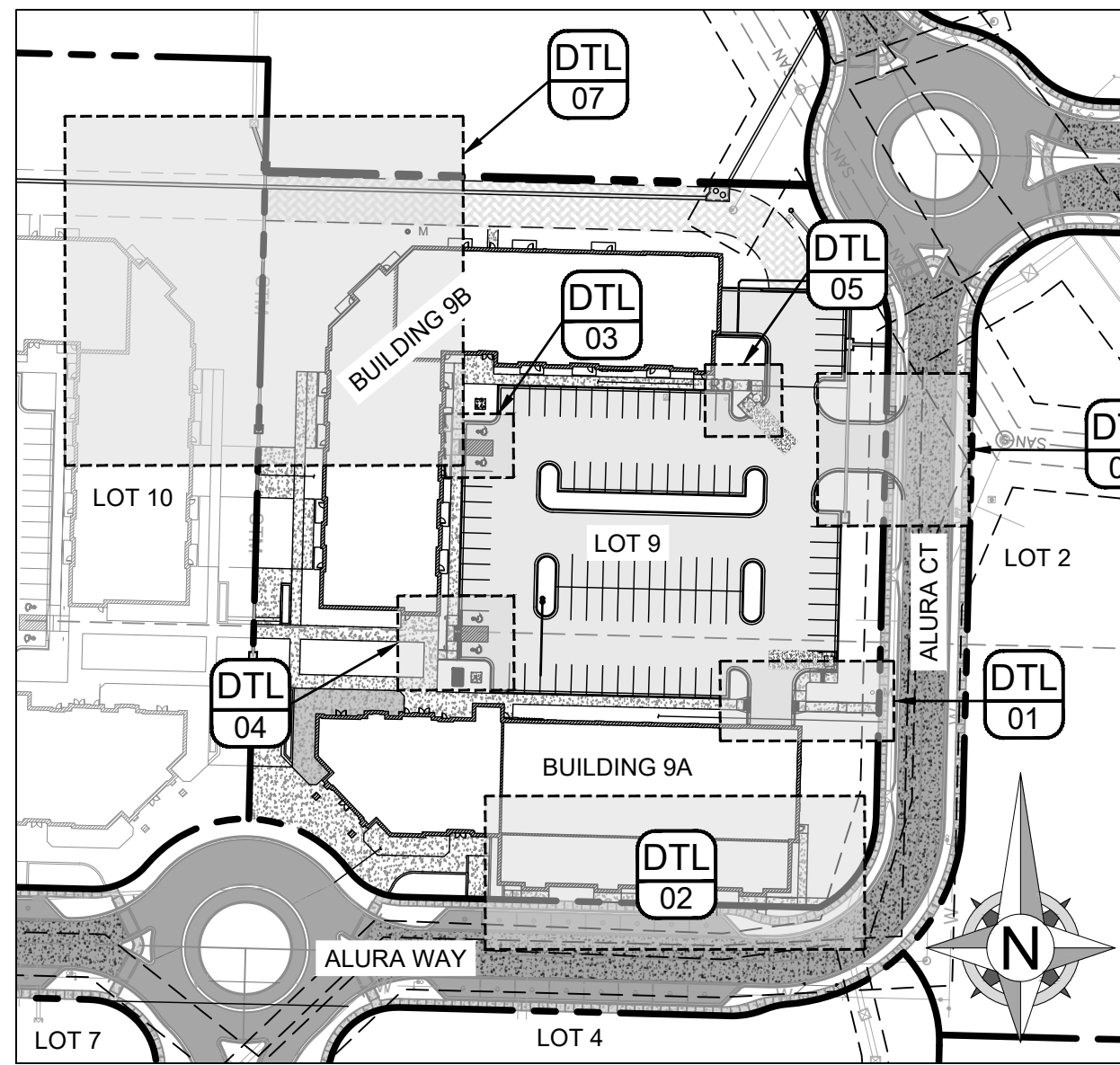


**DTL ADA GRADING DETAIL (BUILDING 9A)**  
SCALE: 1" = 10'



**DTL ADA GRADING DETAIL (PARKING 9B)**  
SCALE: 1" = 5'





VICINITY MAP  
SCALE: 1" = 100'

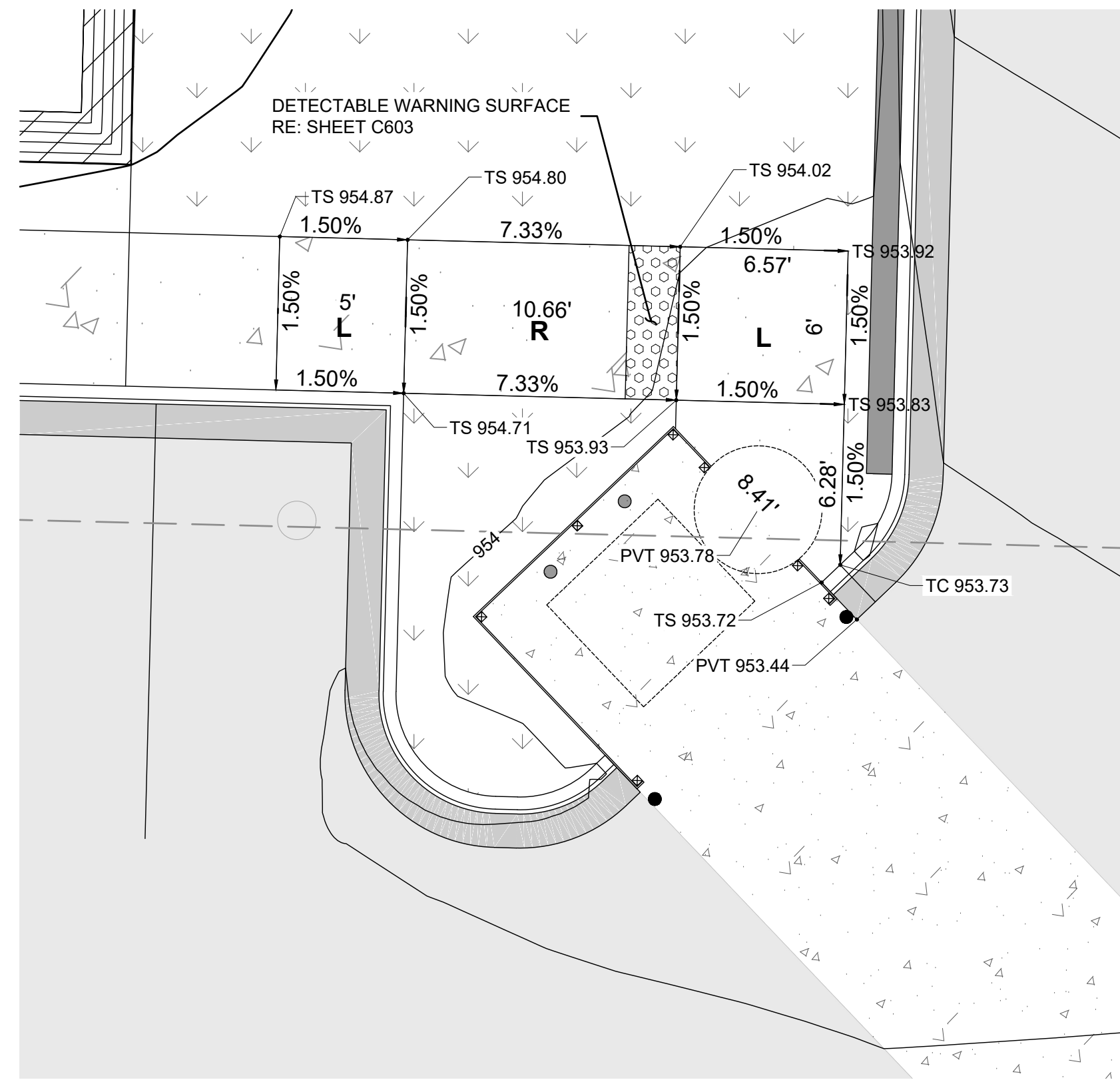
LEGEND

- 1335--- EXISTING GRADE LINES
- 1335—— PROPOSED NEW GRADE LINES
- XXXXXXXX CURB & GUTTER AT RAMP
- OOOOOOO DETECTABLE WARNING SURFACE
- 1.53% PERCENT SLOPE (IN DIRECTION OF FLOW)

NEW SPOT ELEVATIONS

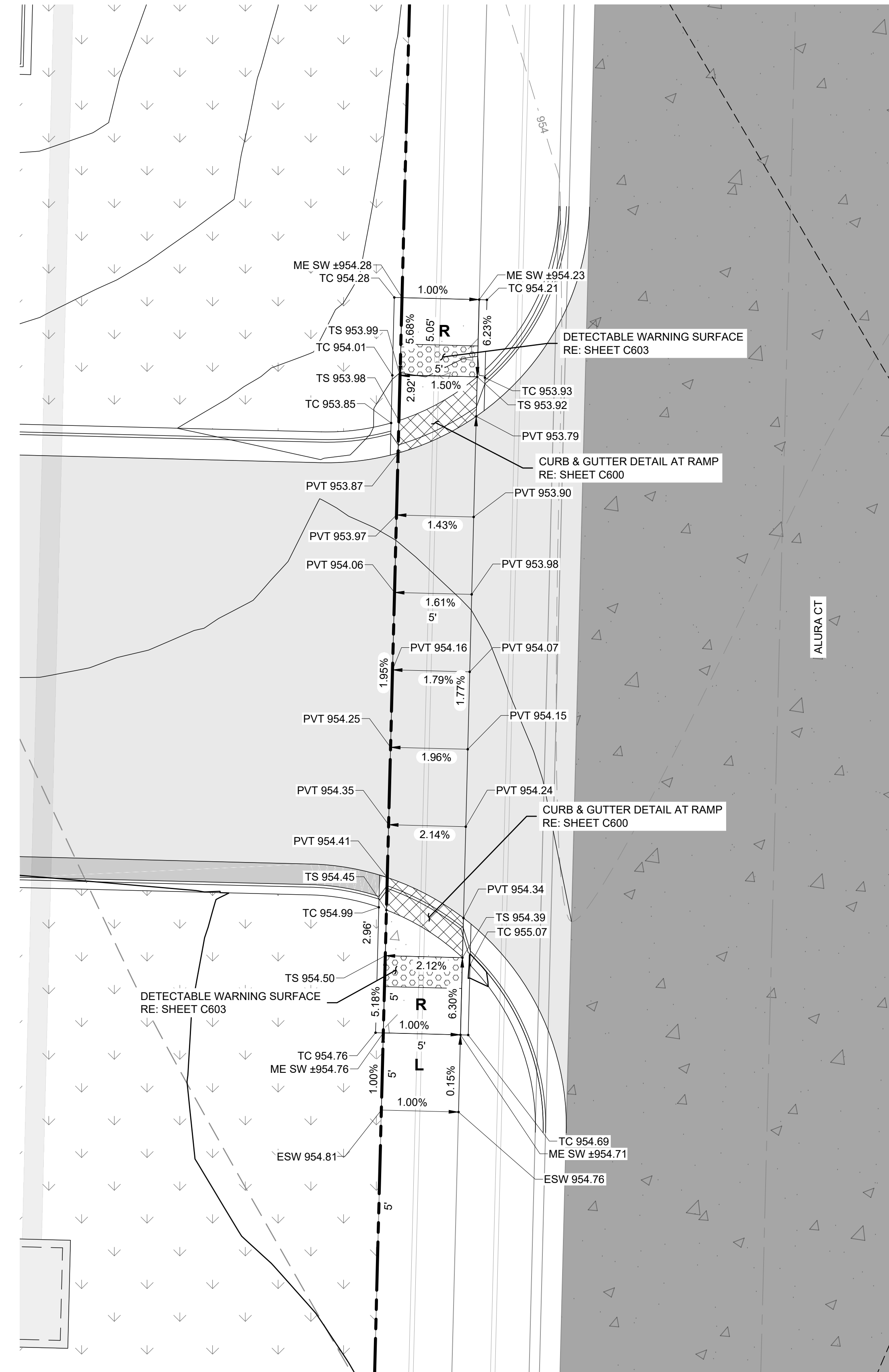
- LIST
- SIDEWALK
- TOP OF CURB
- TOP OF PAVEMENT
- NEW GRADE
- EXISTING TOP OF CURB
- EXISTING GRADE
- EXISTING PAVEMENT
- EXISTING SIDEWALK
- MATCH EXISTING SIDEWALK
- TOP OF STR.
- TOP OF WALL

- | ABBREVIATION |
|--------------|
| SW           |
| TC           |
| PVT          |
| GD           |
| ETC          |
| EGD          |
| EPVT         |
| ESW          |
| ME TS ±      |
| TOP OF STR.  |
| TW           |

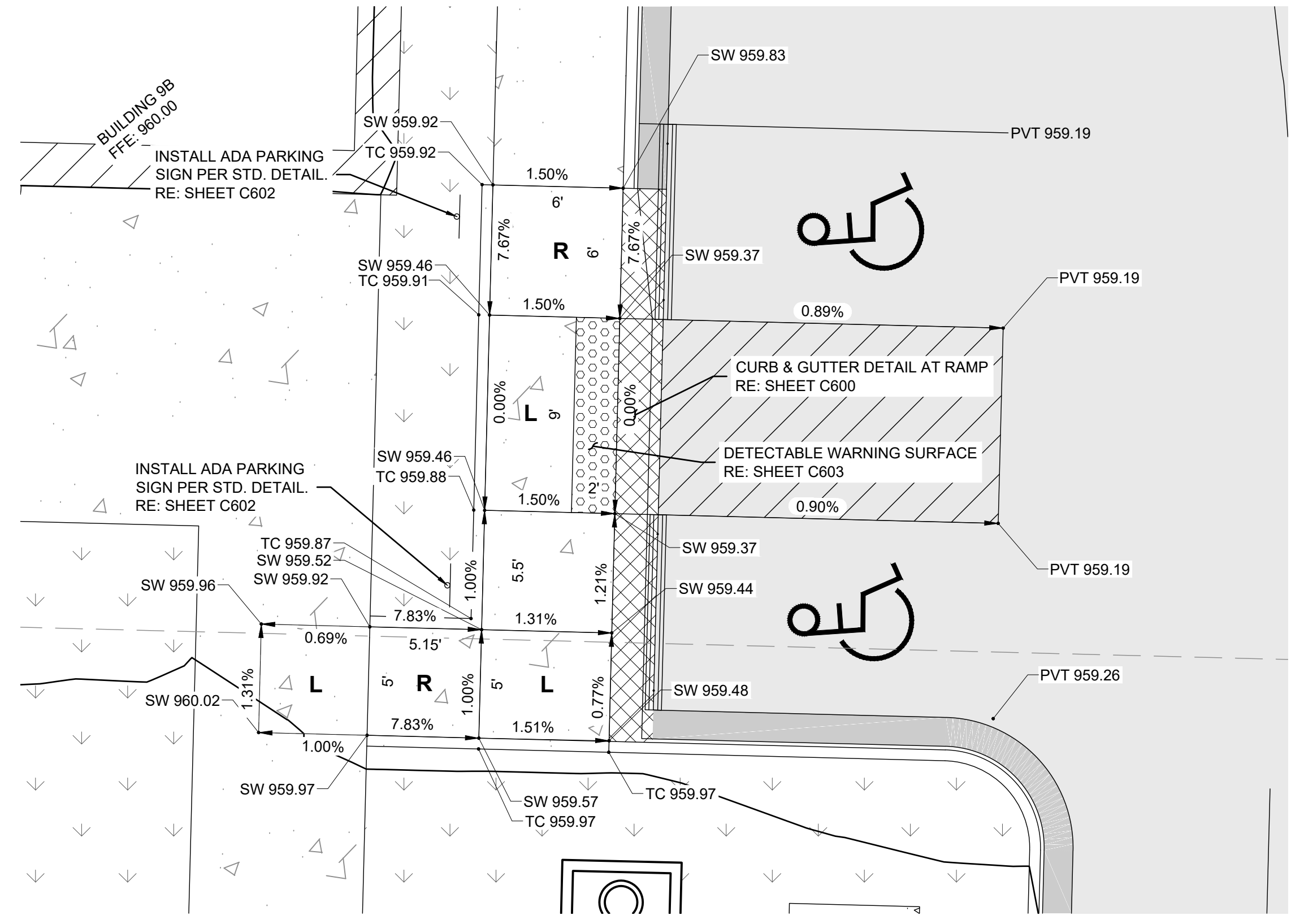


DTL TRASH ENCLOSURE B ADA ACCESS RAMP  
SCALE: 1" = 5'

**RELEASED FOR CONSTRUCTION**  
 As Noted on Plan Review  
 Development Services Department  
 Lee's Summit, Missouri  
 12/17/2024



DTL ADA GRADING DETAIL (SITE ENTRANCE)  
SCALE: 1" = 5'



DTL ADA GRADING DETAIL (SITE ENTRANCE)  
SCALE: 1" = 5'

**OWN**  
Engineering beyond.

8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
 DRAWN BY: JGD  
 CHECK BY: JWB  
 ISSUED DATE: 12/3/2024  
 FIELD BOOK:

ISSUED BY:  
 LICENSE NO:

A licensed Missouri  
 Engineering Corporation  
 COA# 00062

**SHEET TITLE**  
**GRADING  
 DETAILS - 2**

**SHEET NUMBER**  
**C302**  
 10 OF 25



Engineering beyond.

8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

### DISCOVERY PARK THE VILLAGE - LOT 9-1

200 NE ALURA WAY  
DISCOVERY PARK  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

#### REVISIONS

NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

#### DRAWING INFORMATION

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 12/3/2024  
FIELD BOOK:



ISSUED BY:  
LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review  
  
Development Services Department  
Lee's Summit, Missouri  
12/17/2024

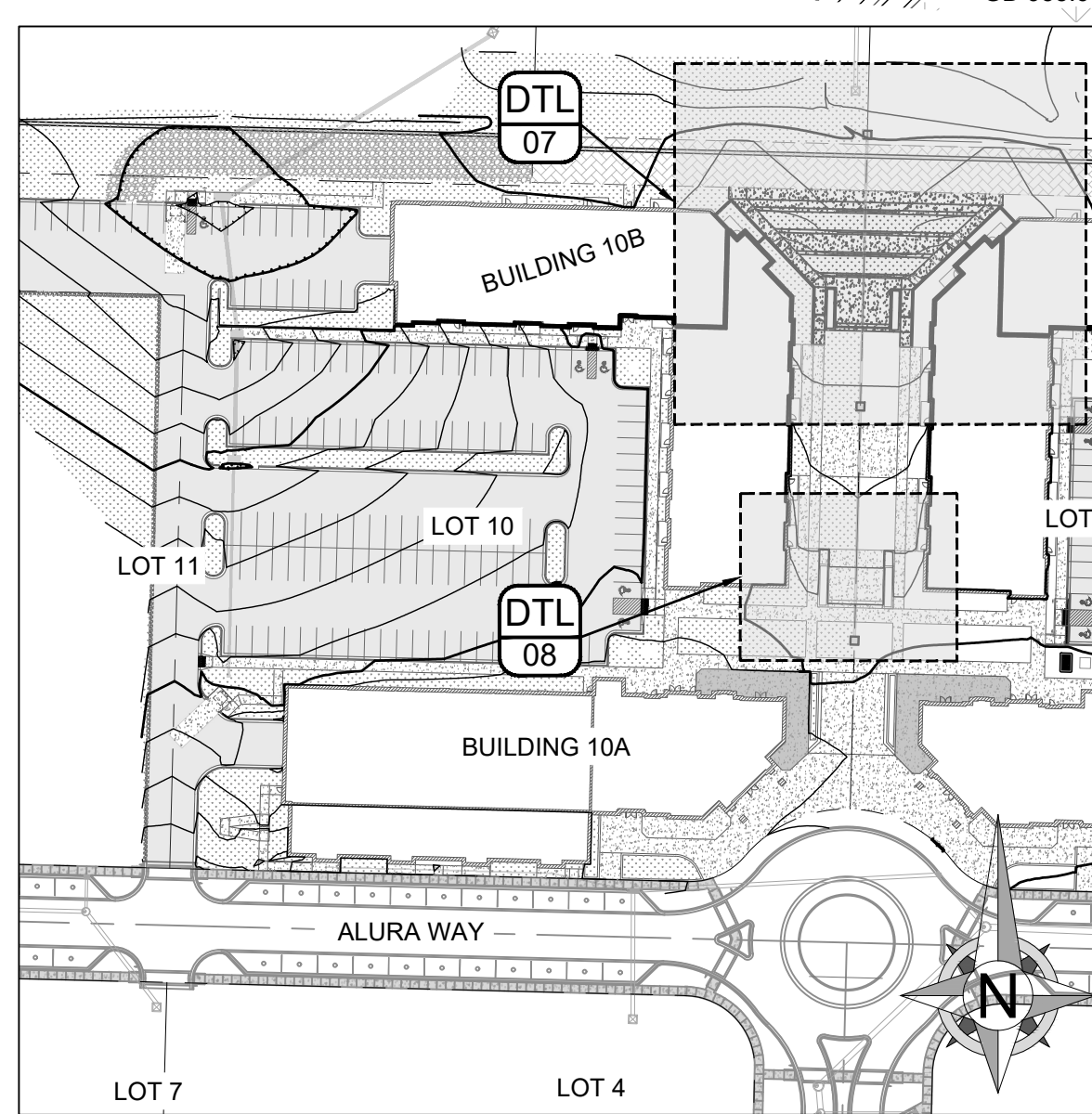
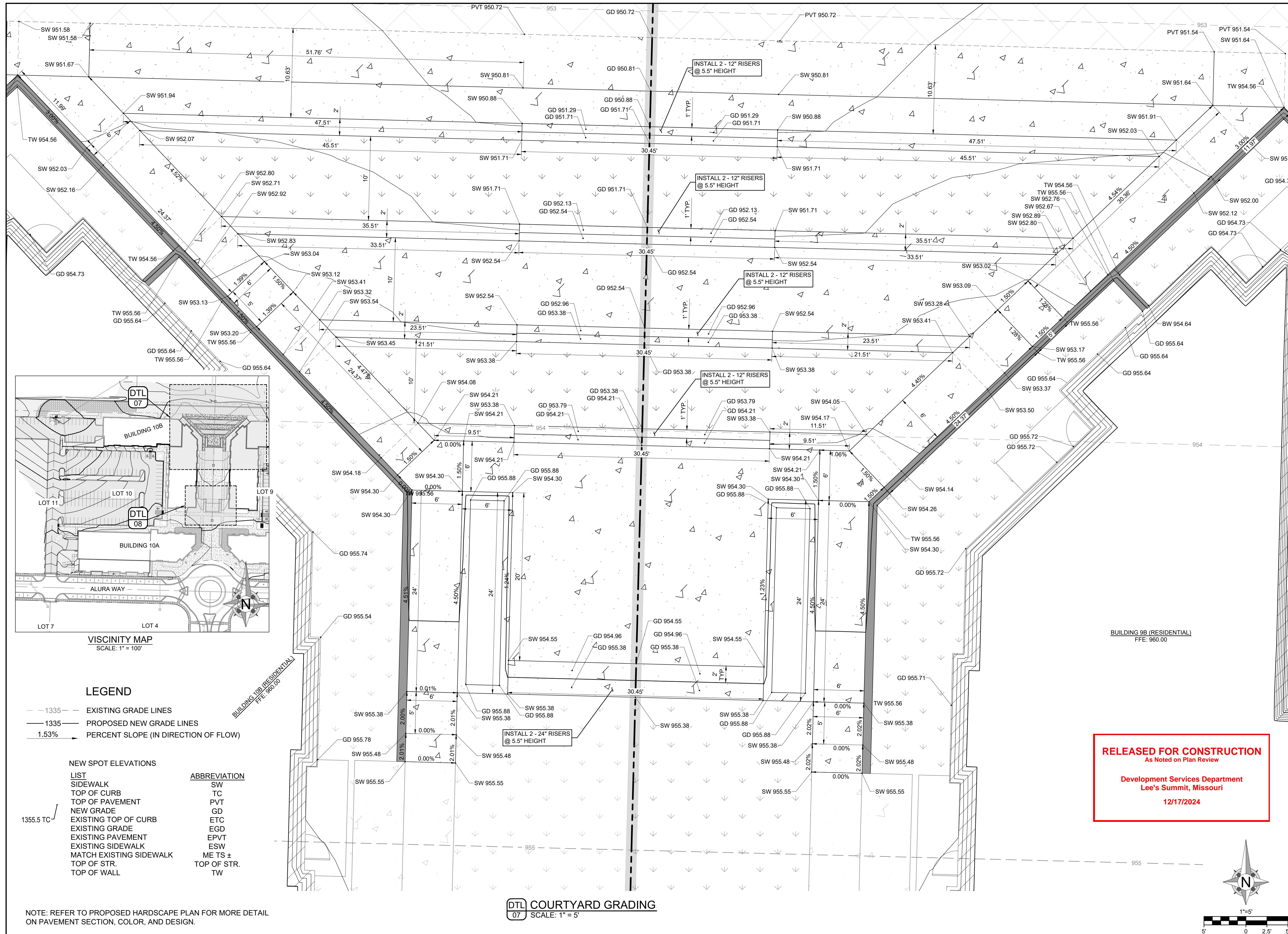
#### SHEET TITLE

### GRADING DETAILS - 3

#### SHEET NUMBER

### C303

11 OF 25



VICINITY MAP  
SCALE: 1" = 100'

#### LEGEND

- 1335 --- EXISTING GRADE LINES
- 1335 — PROPOSED NEW GRADE LINES
- 1.53% → PERCENT SLOPE (IN DIRECTION OF FLOW)

#### NEW SPOT ELEVATIONS LIST

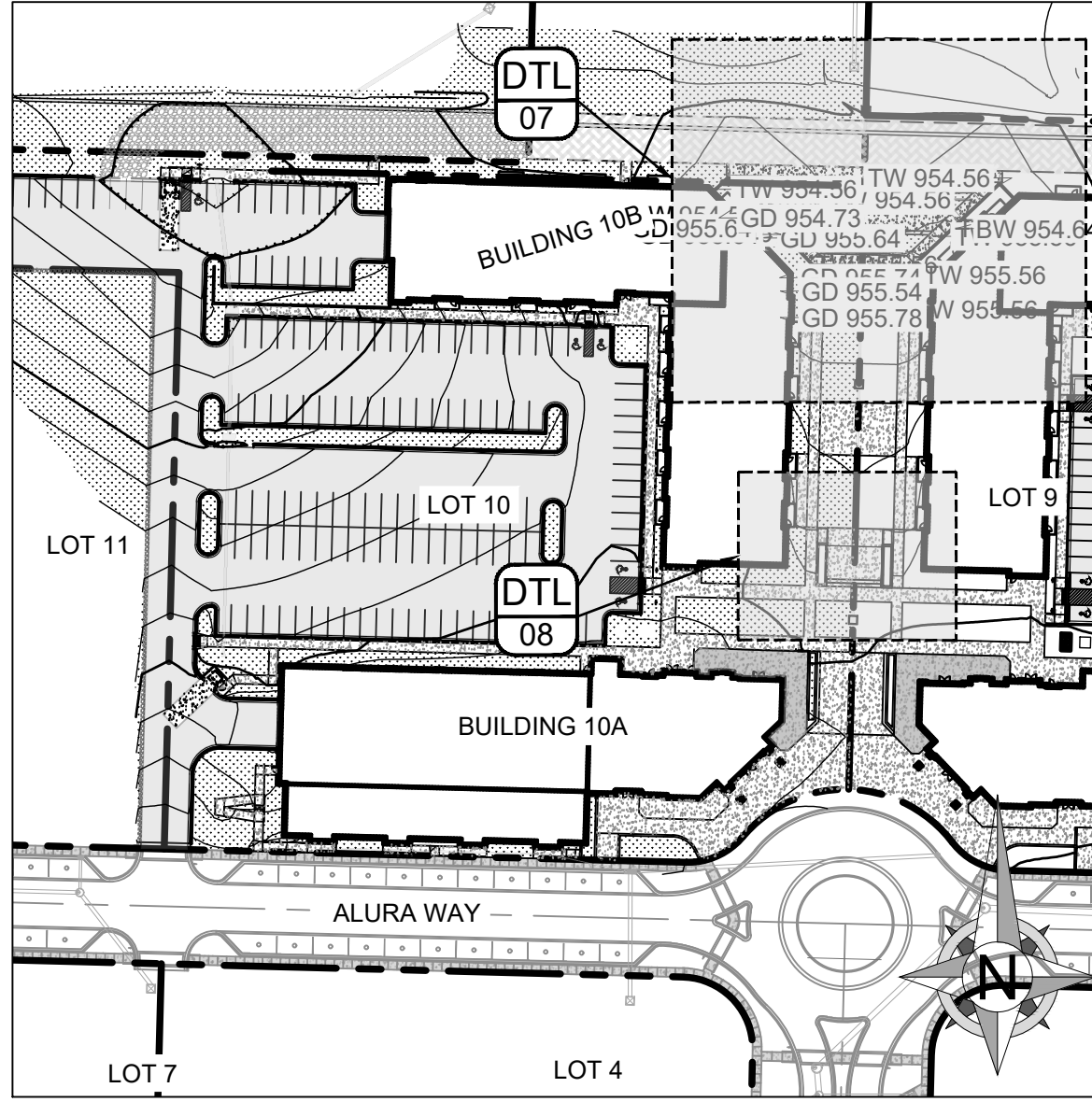
- 1355.5 TC
- SIDWALK
- TOP OF CURB
- TOP OF PAVEMENT
- NEW GRADE
- EXISTING TOP OF CURB
- EXISTING GRADE
- EXISTING PAVEMENT
- EXISTING SIDEWALK
- MATCH EXISTING SIDEWALK
- TOP OF STR.
- TOP OF WALL

#### ABBREVIATION

- SW
- TC
- PVT
- GD
- ETC
- EGD
- EPVT
- ESW
- ME TS ±
- TOP OF STR.
- TW

DTL COURTYARD GRADING  
07 SCALE: 1" = 5'

NOTE: REFER TO PROPOSED HARDSCAPE PLAN FOR MORE DETAIL  
ON PAVEMENT SECTION, COLOR, AND DESIGN.



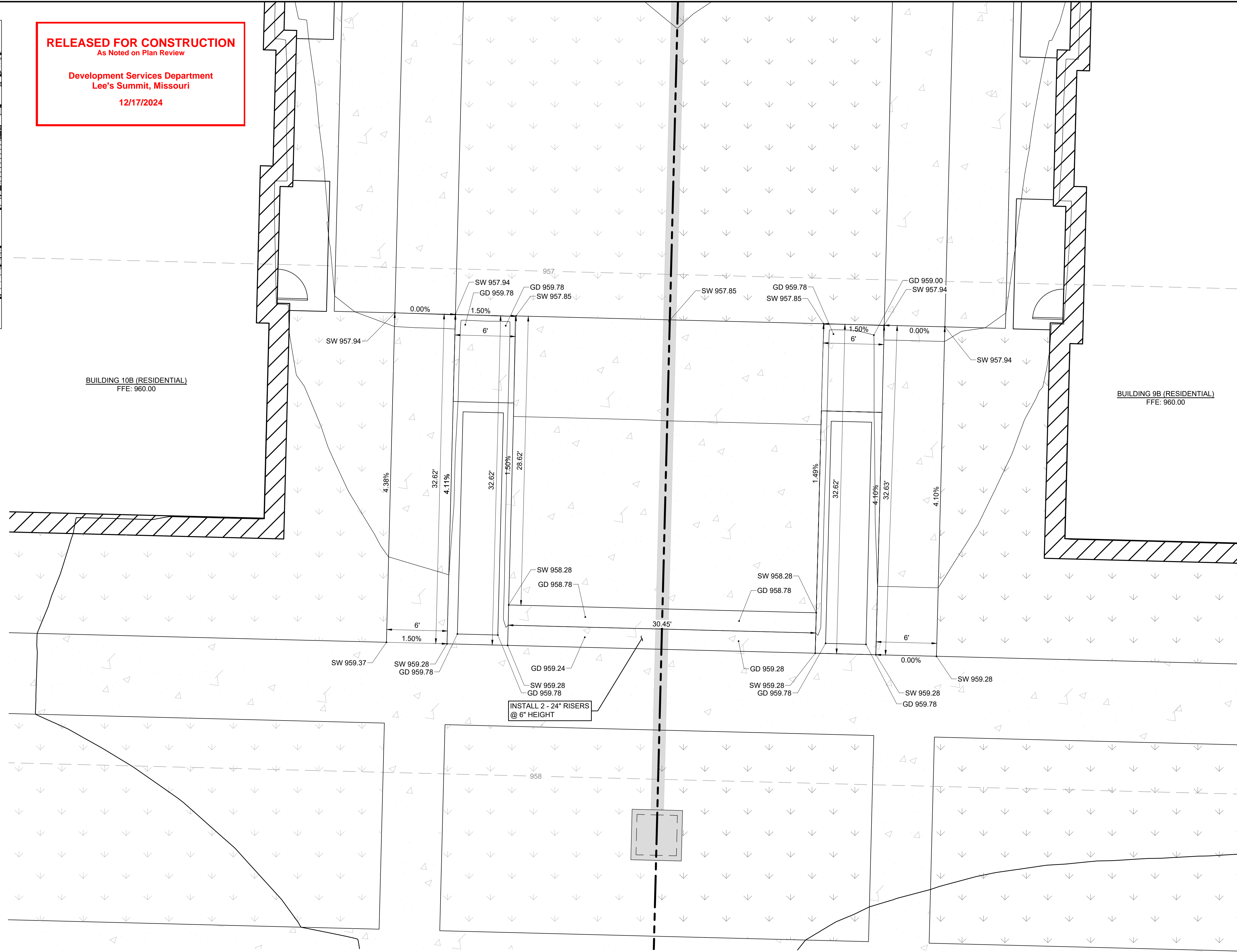
VICINITY MAP

**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review  
**Development Services Department**  
**Lee's Summit, Missouri**  
12/17/2024

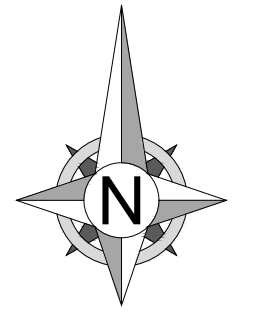
SCALE: 1" = 100'

**LEGEND**

- 1335 --- EXISTING GRADE LINES
  - 1335 — PROPOSED NEW GRADE LINES
  - XXXXXX CURB & GUTTER AT RAMP
  - OOOOO DETECTABLE WARNING SURFACE
  - 1.53% → PERCENT SLOPE (IN DIRECTION OF FLOW)
- NEW SPOT ELEVATIONS LIST**
- |                          |             |
|--------------------------|-------------|
| NEW SPOT ELEVATIONS LIST |             |
| SIDEWALK                 | SW          |
| TOP OF CURB              | TC          |
| TOP OF PAVEMENT          | PVT         |
| NEW GRADE                | GD          |
| EXISTING TOP OF CURB     | ETC         |
| EXISTING GRADE           | EGD         |
| EXISTING PAVEMENT        | EPVT        |
| EXISTING SIDEWALK        | ESW         |
| MATCH EXISTING SIDEWALK  | ME TS ±     |
| TOP OF STR.              | TOP OF STR. |
| TOP OF WALL              | TW          |



**DTL 08 COURTYARD GRADING - 2**  
SCALE: 1" = 5'



NOTE: REFER TO PROPOSED HARDSCAPE PLAN FOR MORE DETAIL ON PAVEMENT SECTION, COLOR, AND DESIGN.

**OWN**  
Engineering beyond.

8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK**  
**THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 12/3/2024  
FIELD BOOK:

ISSUED BY: \_\_\_\_\_  
LICENSE NO: \_\_\_\_\_

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**GRADING**  
**DETAILS - 4**

**SHEET NUMBER**

**C304**  
12 OF 25



Engineering beyond.

8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086


LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

**REVISIONS**

NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 12/3/2024  
FIELD BOOK:



ISSUED BY:  
LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**DRAINAGE MAP**

**SHEET NUMBER**

**C400**

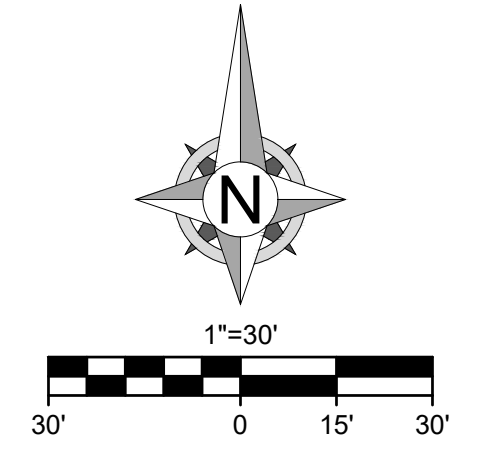
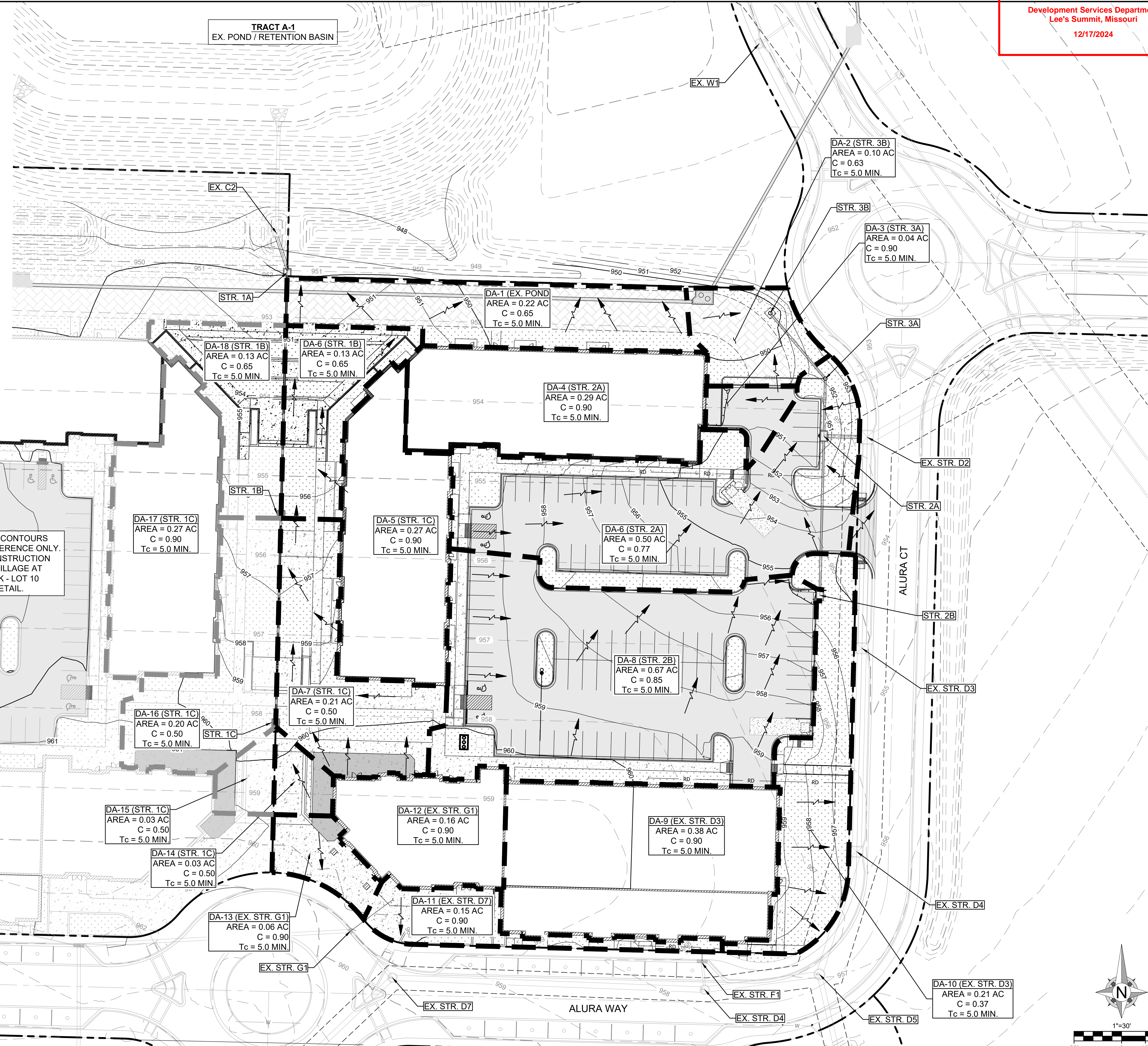
13 OF 25

**LEGEND**

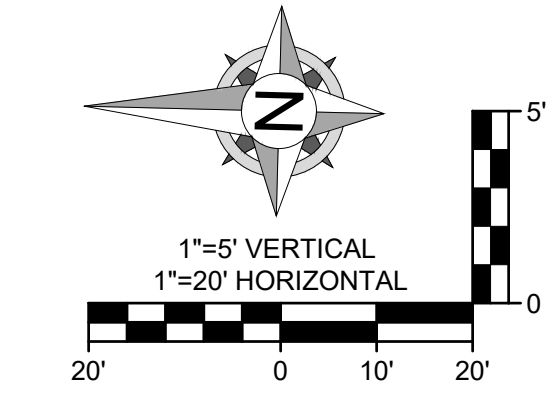
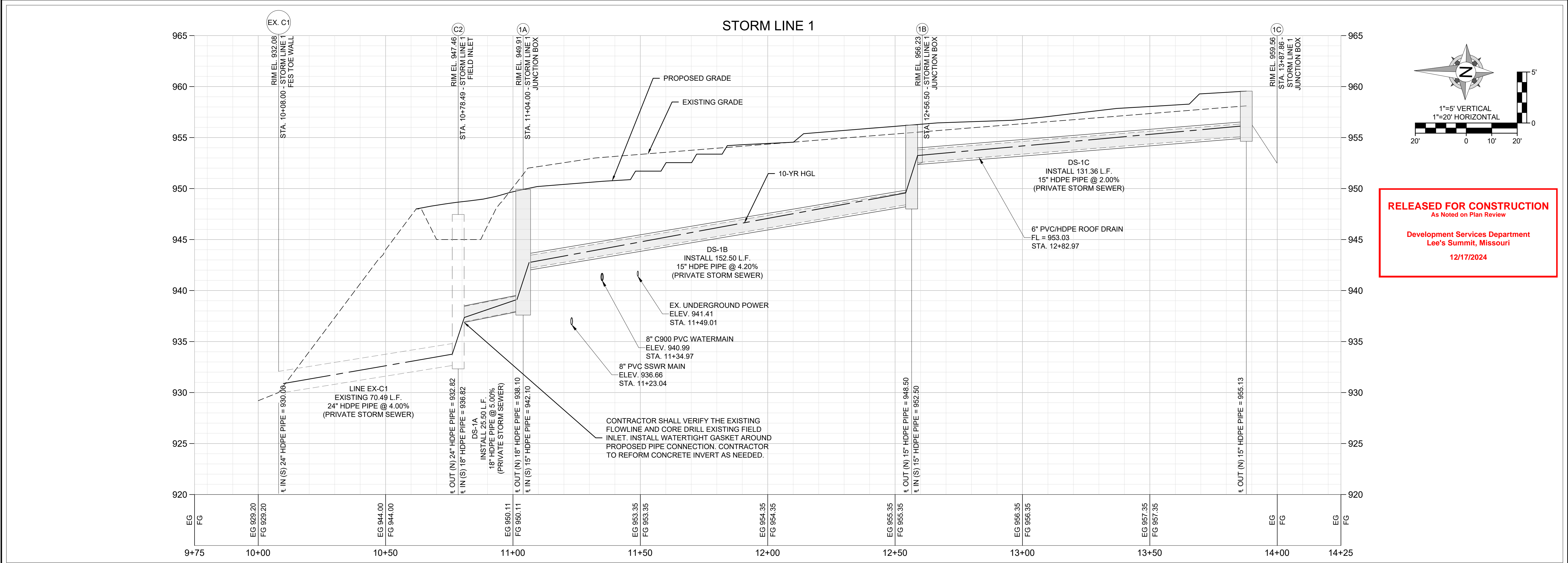
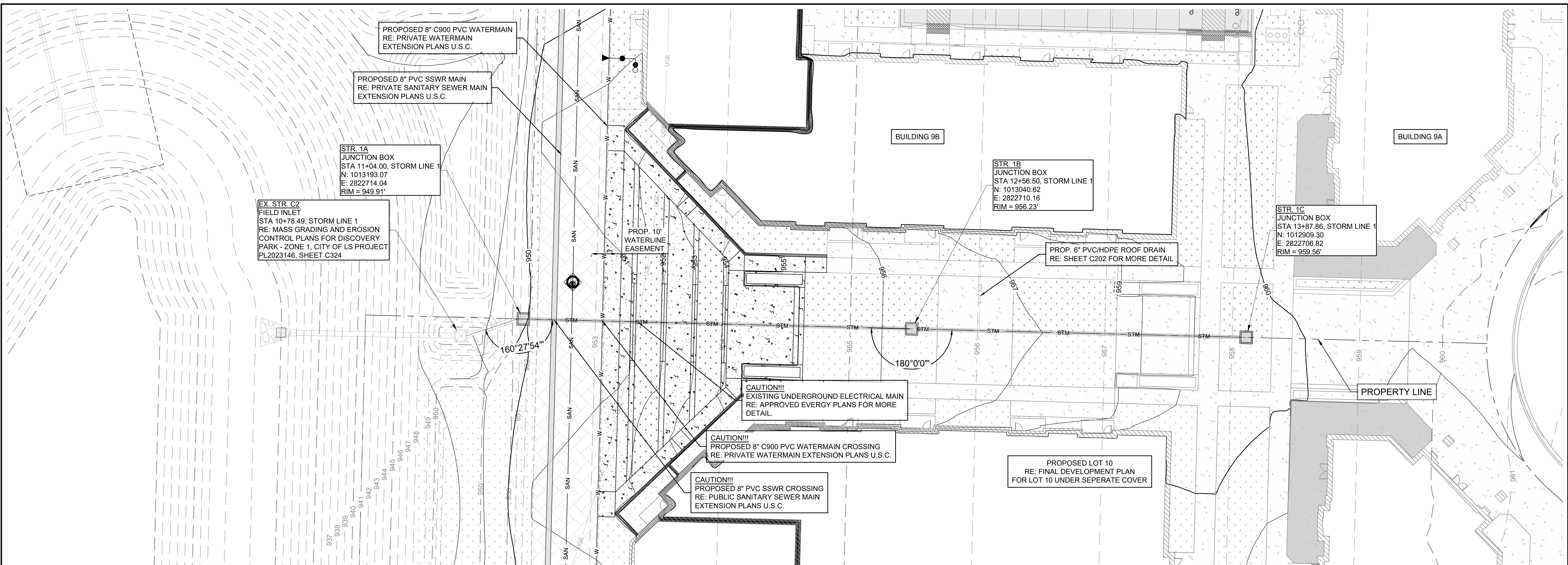
- - - 1335 - - - EXISTING GRADE LINES
- 1335 — PROPOSED NEW GRADE LINES
- — — DRAINAGE AREA BOUNDARY
- — — OFFSITE DRAINAGE BOUNDARY
- 000 STORM SEWER STRUCTURE NUMBER
- — — DRAINAGE ARROW
- DA-0 (STR. X) DRAINAGE AREA ID (OUTFALL)
- AREA = 0.00 AC RATIONAL "C" RUNOFF COEFFICIENT
- C = 0.00 TIME OF CONCENTRATION
- Tc = 5.0 MIN.

**NOTE:**  
REFERENCE PRIVATE SITE DEVELOPMENT PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1 (PRSITE20235732) AND PUBLIC STORM SEWER PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1 (PRSUBD20232726) FOR EXISTING STORM SEWER APPROVED CONSTRUCTION PLANS.

PROPOSED LOT 10 CONTOURS ARE SHOWN FOR REFERENCE ONLY. RE: APPROVED CONSTRUCTION PLANS FOR THE VILLAGE AT DISCOVERY PARK - LOT 10 FOR MORE DETAIL.



NOTE: NON-STANDARD LAND USE RATIONAL C-VALUE CALCULATED PER APWA 5600, SECTION 5602.3 C.



**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review  
**Development Services Department**  
**Lee's Summit, Missouri**  
**12/17/2024**

8455 College Boulevard  
 Overland Park, KS 66210  
 816.777.0400  
 weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
 THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
 LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
 DISCOVERY PARK  
 NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
 DRAWN BY: JGD  
 CHECK BY: JWB  
 ISSUED DATE: 12/3/2024  
 FIELD BOOK:

ISSUED BY: \_\_\_\_\_  
 LICENSE NO: \_\_\_\_\_

A licensed Missouri  
 Engineering Corporation  
 COA# 00062

**SHEET TITLE**

**PLAN & PROFILE**  
**- 1**

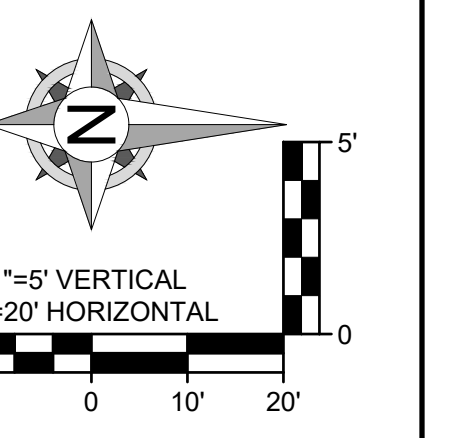
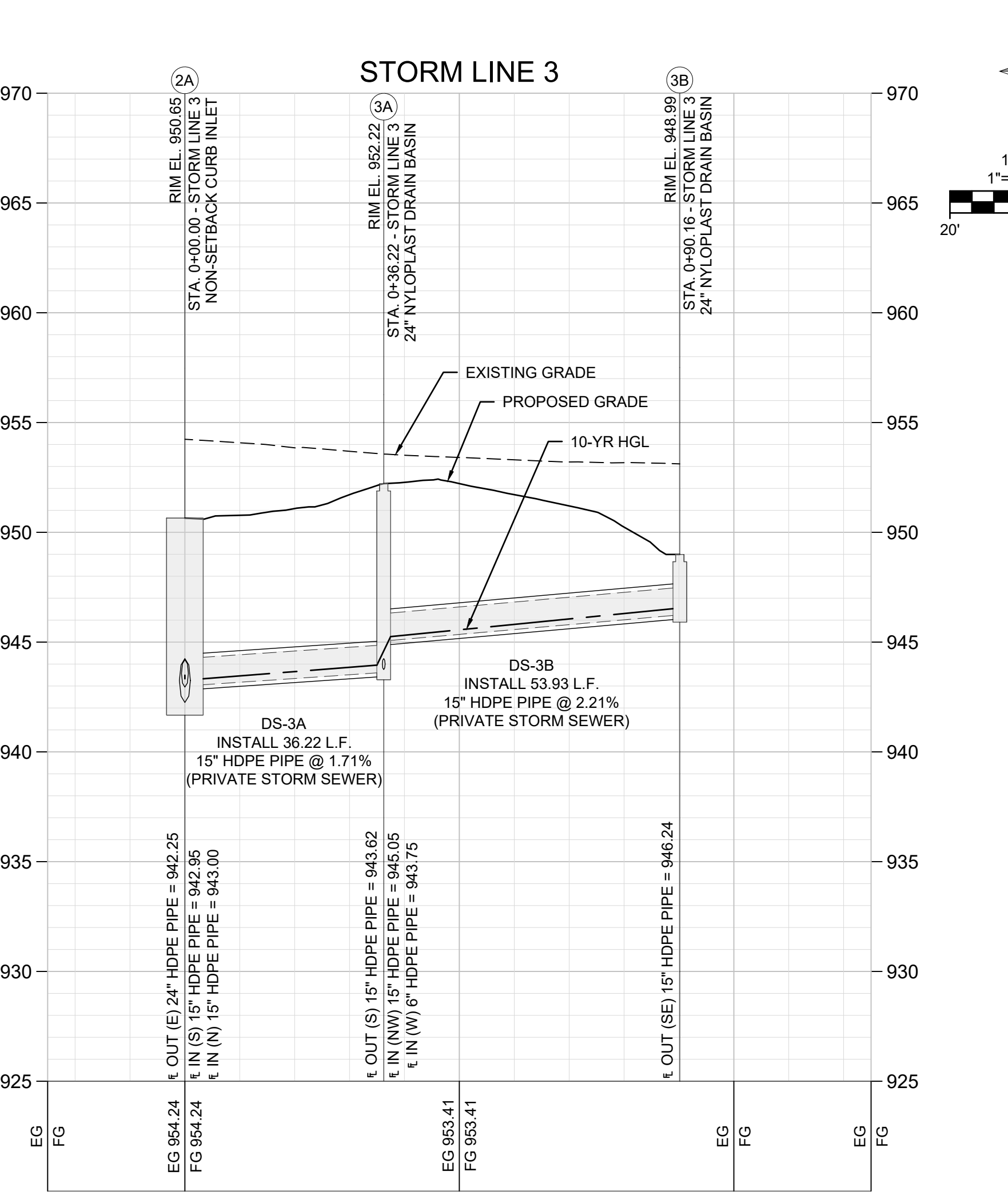
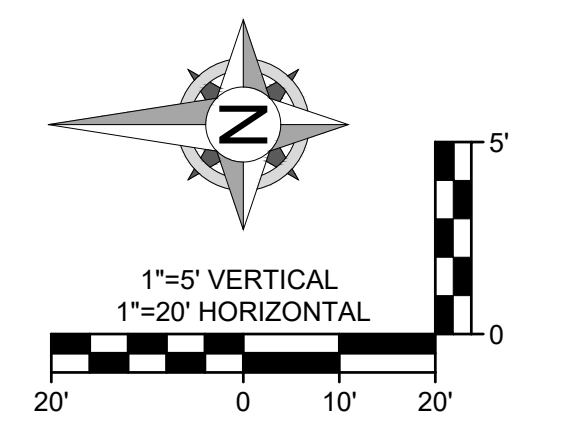
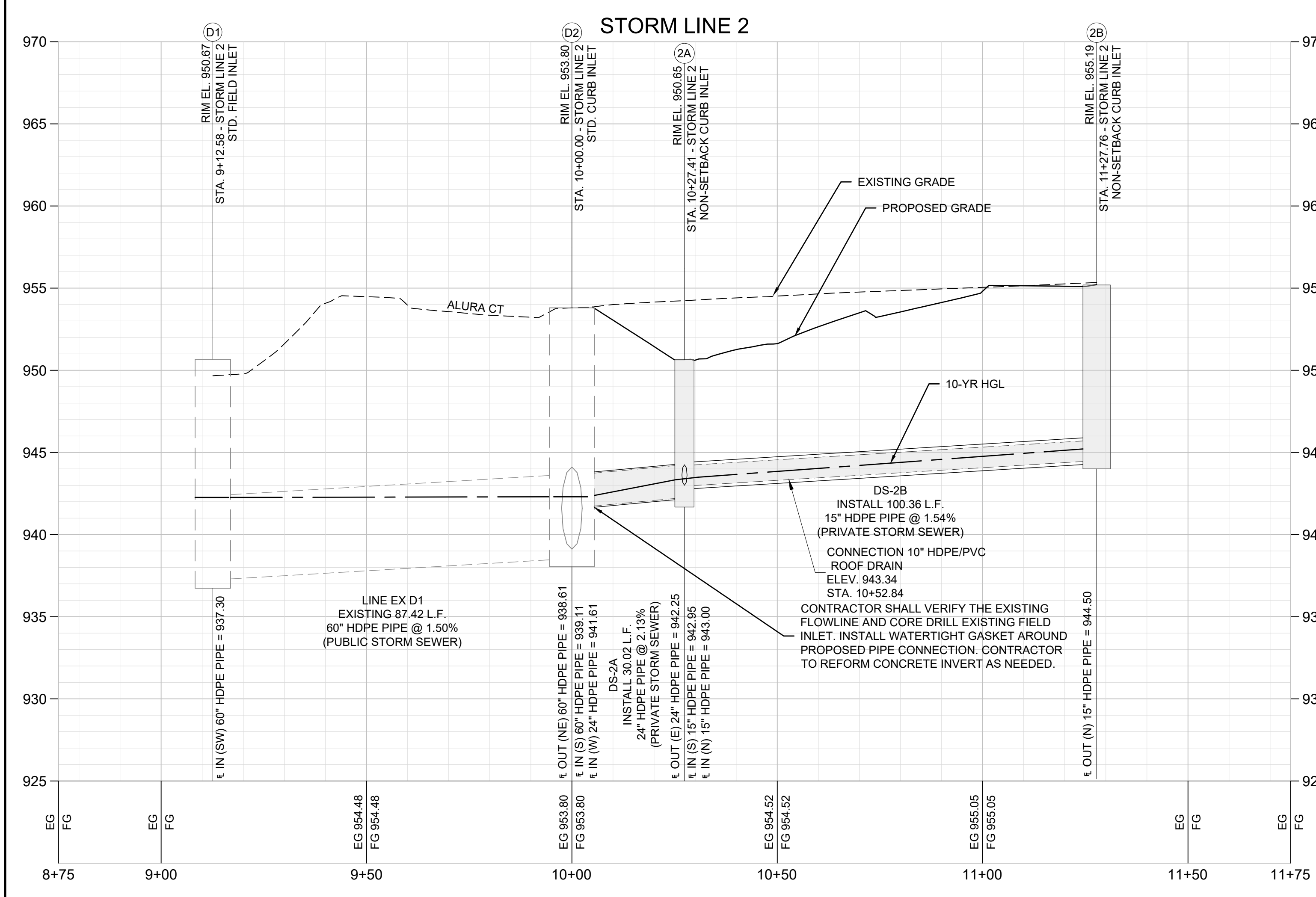
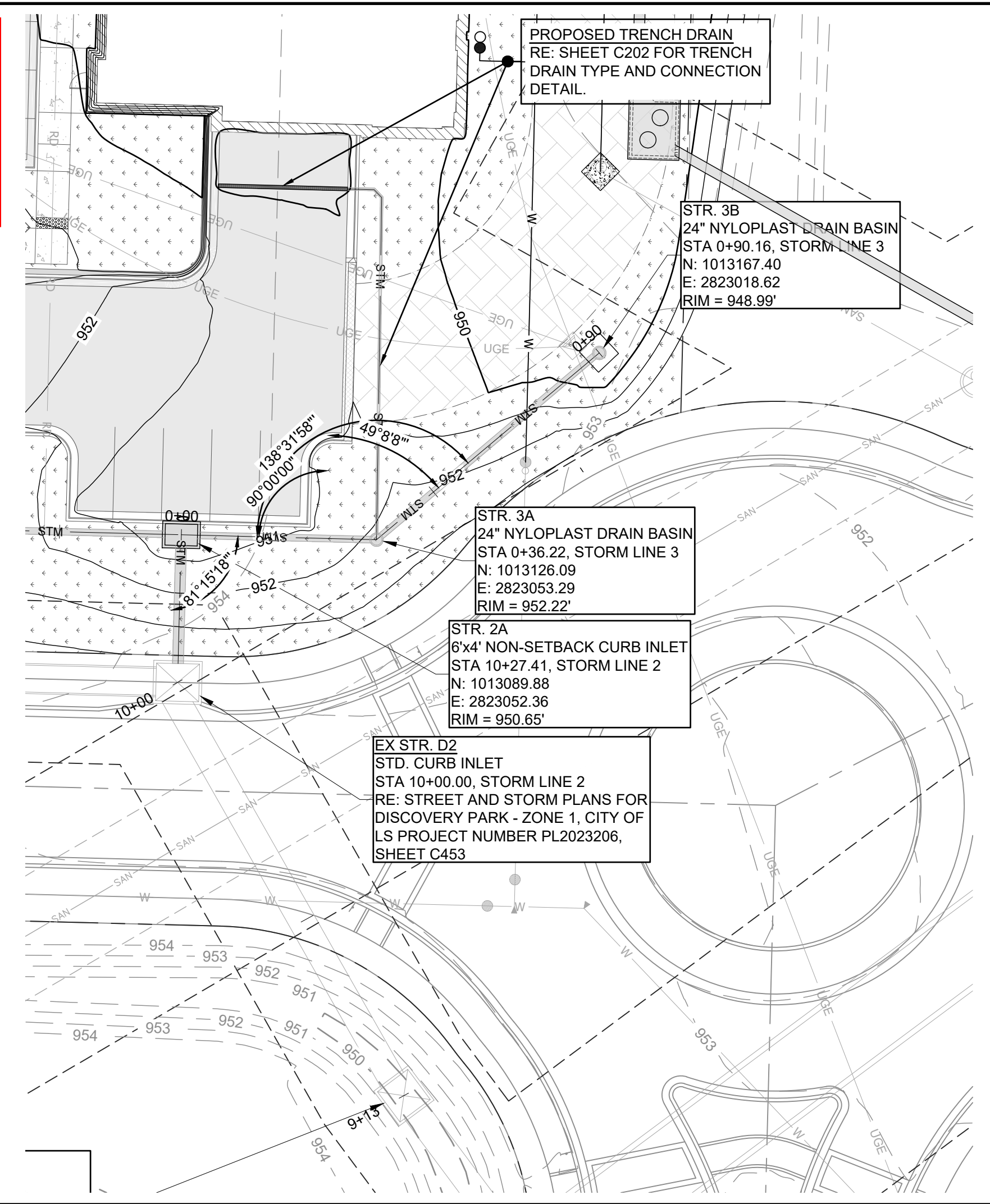
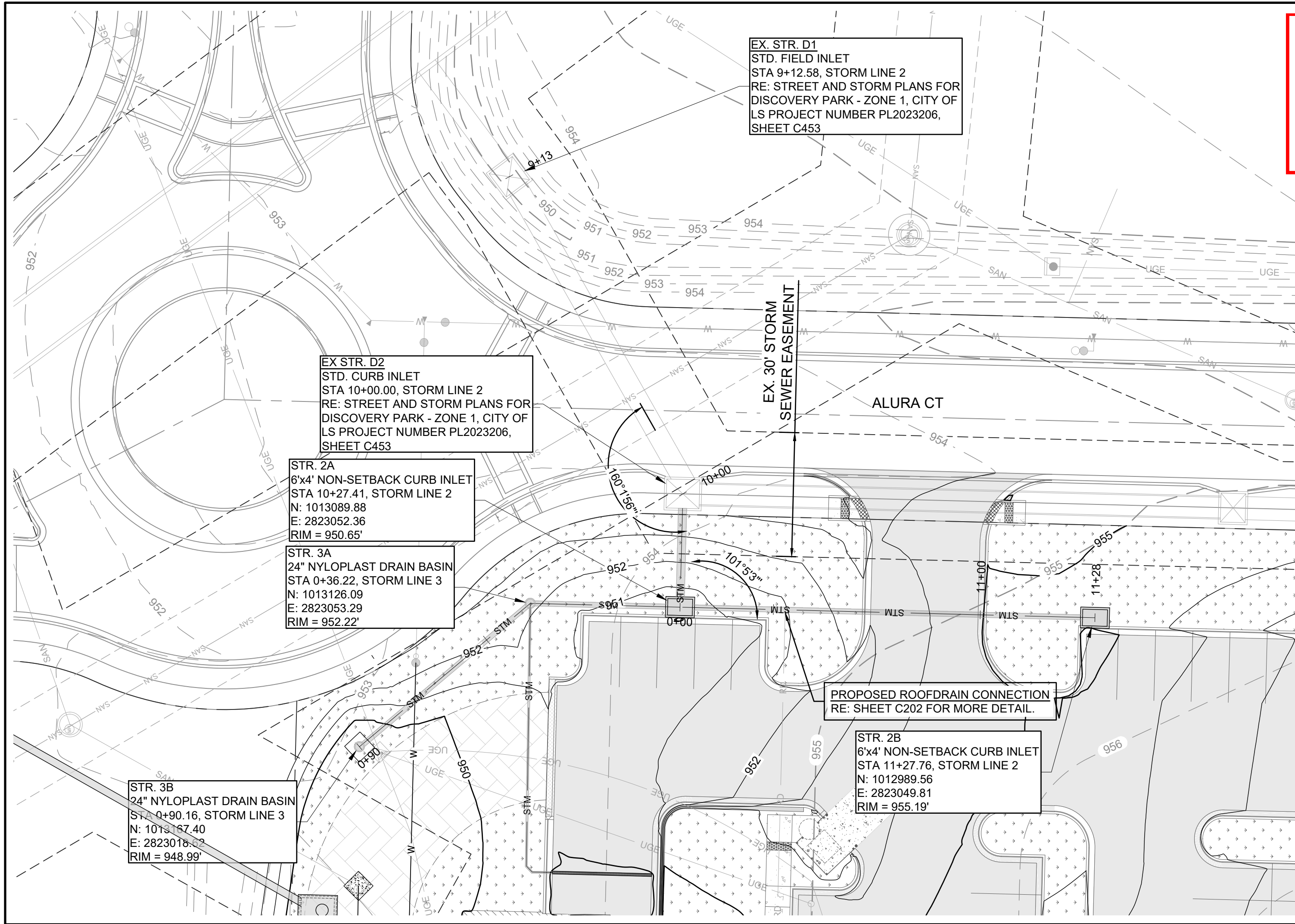
**SHEET NUMBER**

**C401**  
 14 OF 25

**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review

Development Services Department  
Lee's Summit, Missouri

12/17/2024



8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006

DRAWN BY: JGD

CHECK BY: JWB

ISSUED DATE: 12/3/2024

FIELD BOOK:

ISSUED BY: \_\_\_\_\_

LICENSE NO: \_\_\_\_\_

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**PLAN & PROFILE**

**- 2**

**SHEET NUMBER**

**C402**

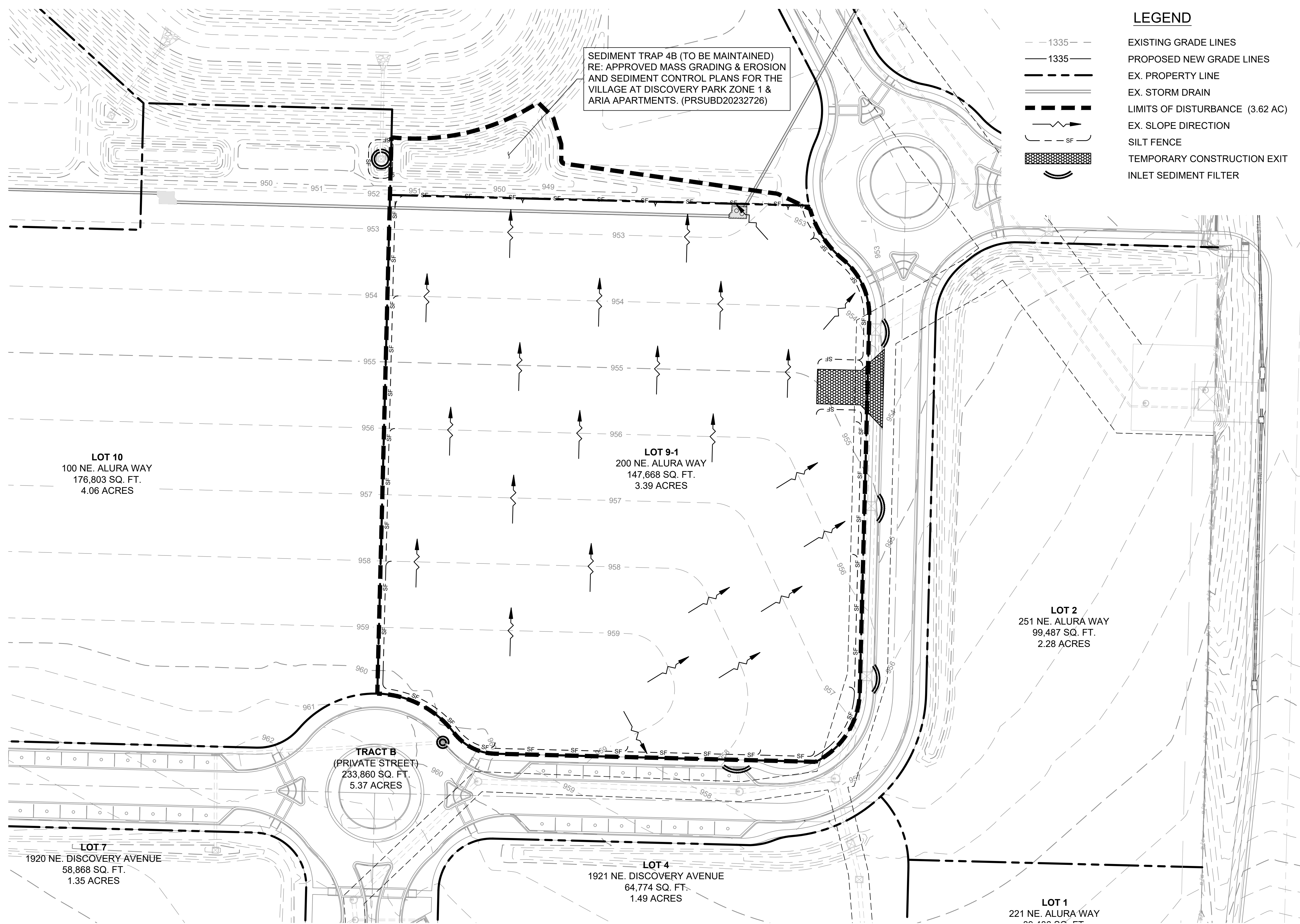
15 OF 25





**GENERAL NOTES:**

1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("EROSION CONTROL"), THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS ("SWPPP"), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATER OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. DUST ON SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATER OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURED PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS POSSIBLE.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 21 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. STABILIZATION MAY CONSIST OF SEED, SOD, TOCK, PAVEMENT, STRUCTURE OR OTHER NON-ERODIBLE COVER.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IS IS CARRIED OFF THE SITE. ONLY USED INGRESS/EGRESS LOCATIONS AS PROVIDED.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES CONSISTING OF TOPSOIL, CLAY, OR SILT SHALL BE LEFT IN A ROUGHENED DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
21. CONTRACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE. PONDING OF WATER WILL NOT BE ALLOWED ON SITE. IF NECESSARY, CONTRACTOR TO PROVIDE TEMPORARY SWALES OR PUMPING IN LOW POINT SUMP CONDITIONS UNTIL THE INSTALLATION OF STORM SEWER.



**LEGEND**

- 1335 — EXISTING GRADE LINES
- 1335 —— PROPOSED NEW GRADE LINES
- - - - EX. PROPERTY LINE
- ===== EX. STORM DRAIN
- - - - LIMITS OF DISTURBANCE (3.62 AC)
- EX. SLOPE DIRECTION
- - - - SF - SILT FENCE
- ====- TEMPORARY CONSTRUCTION EXIT
- INLET SEDIMENT FILTER

SEDIMENT TRAP 4B (TO BE MAINTAINED)  
RE: APPROVED MASS GRADING & EROSION  
AND SEDIMENT CONTROL PLANS FOR THE  
VILLAGE AT DISCOVERY PARK ZONE 1 &  
ARIA APARTMENTS. (PRSUBD20232726)

**EROSION CONTROL & MAINTENANCE PLAN NOTES:**

- ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS FOR GOOD HOUSEKEEPING, SPILL CONTROL AND EROSION AND SEDIMENT CONTROL AS SPECIFIED IN THE KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION SECTION 2150.
  2. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IN THEY SHOWN SIGNS OF UNDERMINING OR DETERIORATION.
  3. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED, AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
  4. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.
  5. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
  6. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
  7. DRAINAGE SWALES WITH SLOPES STEEPER THAN 15% SHALL BE INSPECTED AFTER EACH RAINFALL EVENT. THESE CHANNELS AND SLOPES SHOULD BE TREATED WITH EROSION CONTROL FABRIC. IF THE CHANNELS OR SLOPES SHOW ANY SIGNS OF FAILURE, COORDINATE WITH THE ENGINEER TO DEVELOP A PLAN TO RE-STABILIZE THE FAILED AREA.

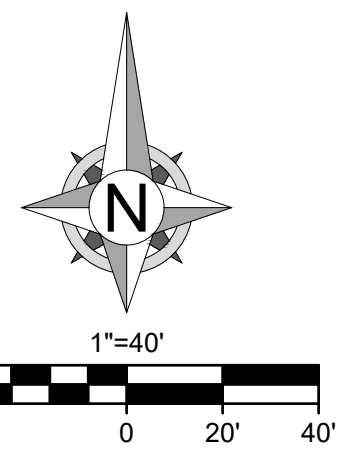
**GRADING NOTES:**

1. ALL TREES OUTSIDE OF LIMITS OF DISTURBANCE SHALL REMAIN. ONLY THOSE TREES WITHIN LIMITS OF DISTURBANCE THAT AREA IN THE AREA TO BE GRADED SHALL BE REMOVED.
2. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS. CONTRACTOR SHALL OBTAIN THE ON-SITE GEOTECHNICAL REPRESENTATIVE'S ACCEPTANCE OF THE EXISTING GROUND SURFACE MATERIALS AND THE PROPOSED FILL MATERIAL PRIOR TO THE PLACEMENT OF FILL.
3. ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, TOPSOIL, ETC. WHEN GRADING THE SITE.
4. ALL DISTURBED AREAS THAT SHALL BE FINISH GRADED WITH A MINIMUM OF FOUR INCHES OF TOPSOIL.
5. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
6. ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREIN.

**SEQUENCE OF CONSTRUCTION:**

- SITE IMPROVEMENTS CONSIST OF GRADING OPERATIONS, ALONG WITH RE-ACTIVATING OF AN EXISTING SEDIMENT TRAP. WORK SHALL BE CONDUCTED AS FOLLOWS:
1. MAINTAIN/RECONSTRUCT EXISTING SEDIMENT TRAP 4B AS DETAILED IN "MASS GRADING & EROSION AND SEDIMENT CONTROL PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1 & ARIA APARTMENTS" (CITY OF LEE'S SUMMIT, MO PROJECT NUMBER PRSUBD20232726)
  2. INSTALL CONSTRUCTION VEHICLE ENTRANCE AND INSTALL PERIMETER SILT FENCE AND INLET PROTECTION TO EXISTING INLETS SURROUNDING THE LIMITS OF DISTURBANCE.
  3. INSTALL SILT FENCE AND/OR DIVERSION BERM(S) AT TOE OF SLOPE ALONG PERIMETER OF PHASE I AREA. PHASE II ACTIVITIES CANNOT BEGIN UNTIL PHASE I IS COMPLETED.
  4. CONTRACTOR TO CONSTRUCT/MAINTAIN STORMWATER MANAGEMENT FACILITIES, SPECIFICALLY THOSE FEATURES RELATED TO DETENTION. PRIOR TO ANY LAND DISTURBANCE OF THE SITE AND PRIOR TO THE CONSTRUCTION OF ANY OTHER SITE DEVELOPMENT WORK AS NOT TO EFFECT DOWNSTREAM NEIGHBORS WITH UNDETAINED STORMWATER DISCHARGE.
  5. AS GRADING OPERATIONS ARE COMPLETED, AREAS TO REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH SEED AND COMPOST MULCH AND/OR STEEP SLOPE PROTECTION. SEE INTERMEDIATE EROSION CONTROL PLAN.

**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review  
  
Development Services Department  
Lee's Summit, Missouri  
12/17/2024



8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com  
FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

**REVISIONS**

NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 12/3/2024  
FIELD BOOK:

ISSUED BY:  
LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**ESC - PHASE I**

**SHEET NUMBER**

**C500**

17 OF 25

**GENERAL NOTES:**

- THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("EROSION CONTROL"), THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS ("SWPPP"), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATER OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATER OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURED PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS POSSIBLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 21 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. STABILIZATION MAY CONSIST OF SEED, SOD, TOCK, PAVEMENT, STRUCTURE OR OTHER NON-ERODIBLE COVER.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IS CARRIED OFF THE SITE. ONLY USED INGRESS/EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES CONSISTING OF TOPSOIL, CLAY, OR SILT SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE. PONDING OF WATER WILL NOT BE ALLOWED ON SITE. IF NECESSARY, CONTRACTOR TO PROVIDE TEMPORARY SWALES OR PUMPING IN LOW POINT SUMP CONDITIONS UNTIL THE INSTALLATION OF STORM SEWER.

**EROSION CONTROL & MAINTENANCE PLAN NOTES:**

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS FOR GOOD HOUSEKEEPING, SPILL CONTROL AND EROSION AND SEDIMENT CONTROL AS SPECIFIED IN THE KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION SECTION 2150.
- SILT PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IN THEY SHOW SIGN OF UNDERMINING OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED, AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- DRAINAGE SWALES WITH SLOPES STEEPER THAN 16% SHALL BE INSPECTED AFTER EACH RAINFALL EVENT. THESE CHANNELS AND SLOPES SHOULD BE TREATED WITH EROSION CONTROL FABRIC. IF THE CHANNELS OR SLOPES SHOW ANY SIGNS OF FAILURE, COORDINATE WITH THE ENGINEER TO DEVELOP A PLAN TO RE-STABILIZE THE FAILED AREA.

**GRADING NOTES:**

- ALL TREES OUTSIDE OF LIMITS OF DISTURBANCE SHALL REMAIN. ONLY THOSE TREES WITHIN LIMITS OF DISTURBANCE THAT AREA IN THE AREA TO BE GRADED SHALL BE REMOVED.
- ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF FILL.
- ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, TOPSOIL, ETC. WHEN GRADING THE SITE.
- ALL DISTURBED AREAS THAT SHALL BE FINISH GRADED WITH A MINIMUM OF FOUR INCHES OF TOPSOIL.
- FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
- ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREIN.

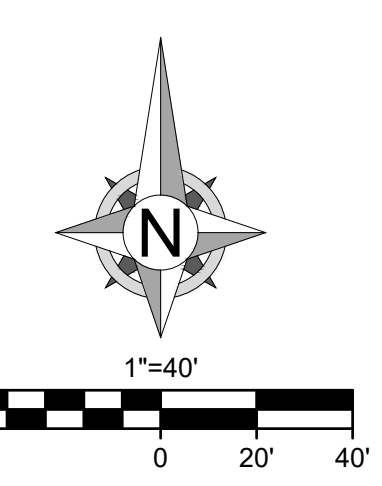
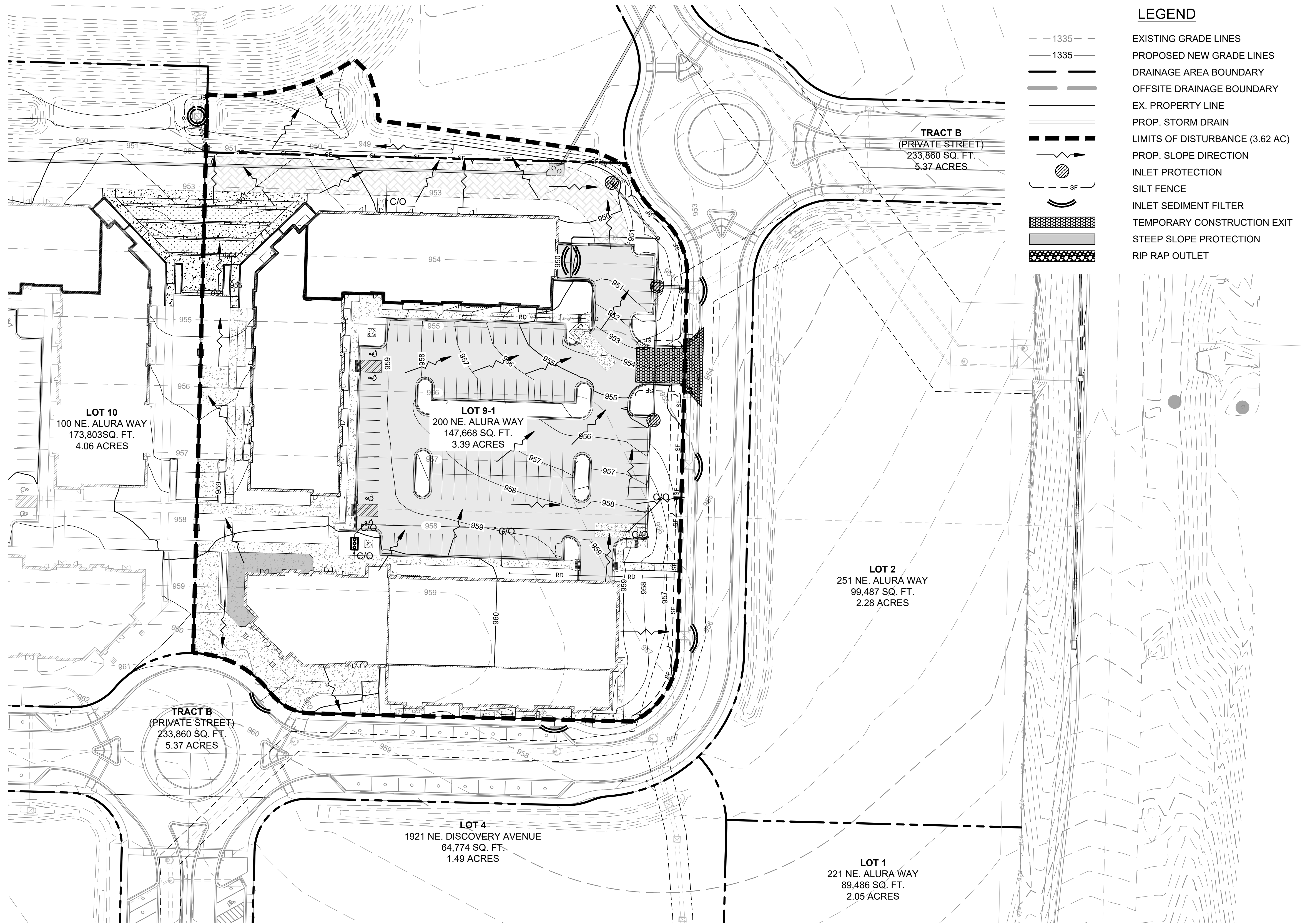
**SEQUENCE OF CONSTRUCTION:**

SITE IMPROVEMENTS CONSIST OF FINISHING MASS GRADING ACTIVITIES, BUILDING CONSTRUCTION, PARKING LOT PAVING, PROPOSED SERVICE LINE UTILITY INSTALLATION, AND STORM SEWERS. WORK SHALL BE CONDUCTED AS FOLLOWS:

- FINISH ANY MASS GRADING AND/OR STEEP SLOPE STABILIZATION ACTIVITIES THAT WERE NOT COMPLETED IN PHASE I.
- BEGIN INSTALLING UNDERGROUND INFRASTRUCTURE STARTING WITH SANITARY SEWER, FOLLOWED BY STORM SEWER, THEN WATER LINE. INSTALL INLET PROTECTION AND SLOPE INTERRUPT SILT FENCE ONCE PIPE BACKFILLING HAS BEEN COMPLETED.
- AS PIPE INSTALLATION OPERATIONS ARE COMPLETED, AREAS TO REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH SEED AND COMPOST MULCH AND/OR STEEP SLOPE PROTECTION. SEE FINAL STABILIZATION PLAN.
- AS STORM SEWER INFRASTRUCTURE IS COMPLETED, INLET PROTECTION SHALL BE INSTALLED TO PROTECT EXISTING STORM SEWER INFRASTRUCTURE FROM HIGHLY CONCENTRATED DISCHARGE FLOWS.
- ALL PHASE I AND PHASE II EROSION CONTROL MEASURES SHALL CONTINUE BEING REGULARLY INSPECTED AND MAINTAINED UNTIL FINAL STABILIZATION OF AT LEAST 70% OF THE DISTURBED SURFACE HAS BEEN MET THROUGH TEMPORARY SEEDING.
- PHASE 1 EROSION CONTROL BMP'S MAY BE REMOVED UPON COMPLETION OF PAVING ACTIVITIES.

**LEGEND**

- 1335 --- EXISTING GRADE LINES
- 1335 — PROPOSED NEW GRADE LINES
- DRAINAGE AREA BOUNDARY
- OFFSITE DRAINAGE BOUNDARY
- - - EX. PROPERTY LINE
- - - PROP. STORM DRAIN
- LIMITS OF DISTURBANCE (3.62 AC)
- PROP. SLOPE DIRECTION
- INLET PROTECTION
- SILT FENCE
- INLET SEDIMENT FILTER
- TEMPORARY CONSTRUCTION EXIT
- STEEP SLOPE PROTECTION
- RIP RAP OUTLET



8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006

DRAWN BY: JGD

CHECK BY: JWV

ISSUED DATE: 12/3/2024

FIELD BOOK:

ISSUED BY:

LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**ESC - PHASE II**

**SHEET NUMBER**

**C502**

18 OF 25

**GENERAL NOTES:**

- THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("EROSION CONTROL"), THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS ("SWPPP"), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATER OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATER OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURED PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS POSSIBLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 21 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. STABILIZATION MAY CONSIST OF SEED, SOD, TOCK, PAVEMENT, STRUCTURE OR OTHER NON-ERODIBLE COVER.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IS CARRIED OFF THE SITE. ONLY USED INGRESS/EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES CONSISTING OF TOPSOIL, CLAY, OR SILT SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE. PONDING OF WATER WILL NOT BE ALLOWED ON SITE. IF NECESSARY, CONTRACTOR TO PROVIDE TEMPORARY SWALES OR PUMPING IN LOW POINT SUMP CONDITIONS UNTIL THE INSTALLATION OF STORM SEWER.

**EROSION CONTROL & MAINTENANCE PLAN NOTES:**

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS FOR GOOD HOUSEKEEPING, SPILL CONTROL AND EROSION AND SEDIMENT CONTROL AS SPECIFIED IN THE KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION SECTION 2150.
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IN THEY SHOWN SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED, AREAS SHOULD BE FERTILIZED, WATERED, AND RESEDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- DRAINAGE SWALES WITH SLOPES STEEPER THAN 16% SHALL BE INSPECTED AFTER EACH RAINFALL EVENT. THESE CHANNELS AND SLOPES SHOULD BE TREATED WITH EROSION CONTROL FABRIC. IF THE CHANNELS OR SLOPES SHOW ANY SIGNS OF FAILURE, COORDINATE WITH THE ENGINEER TO DEVELOP A PLAN TO RE-STABILIZE THE FAILED AREA.

**GRADING NOTES:**

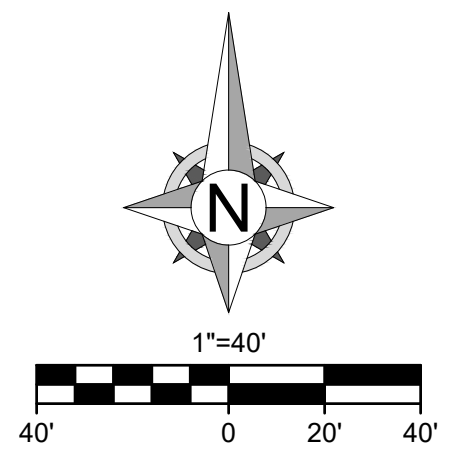
- ALL TREES OUTSIDE OF LIMITS OF DISTURBANCE SHALL REMAIN. ONLY THOSE TREES WITHIN LIMITS OF DISTURBANCE THAT AREA IN THE AREA TO BE GRADED SHALL BE REMOVED.
- ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS. CONTRACTOR SHALL OBTAIN THE ON-SITE GEOTECHNICAL REPRESENTATIVE'S ACCEPTANCE OF THE EXISTING GROUND SURFACE MATERIALS AND THE PROPOSED FILL MATERIAL PRIOR TO THE PLACEMENT OF FILL.
- ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, TOPSOIL, ETC. WHEN GRADING THE SITE.
- ALL DISTURBED AREAS THAT SHALL BE FINISH GRADED WITH A MINIMUM OF FOUR INCHES OF TOPSOIL.
- FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
- ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREIN.

**SEQUENCE OF CONSTRUCTION:**

SITE IMPROVEMENTS CONSIST OF PAVING STREETS, RE-ESTABLISHING GROUND COVER VEGETATION, DEACTIVATING SEDIMENT TRAP 4B, REMOVING SILT FENCE, AND REMOVING INLET PROTECTION. WORK SHALL BE COMPLETED IN THE SEQUENCE AS FOLLOWS:

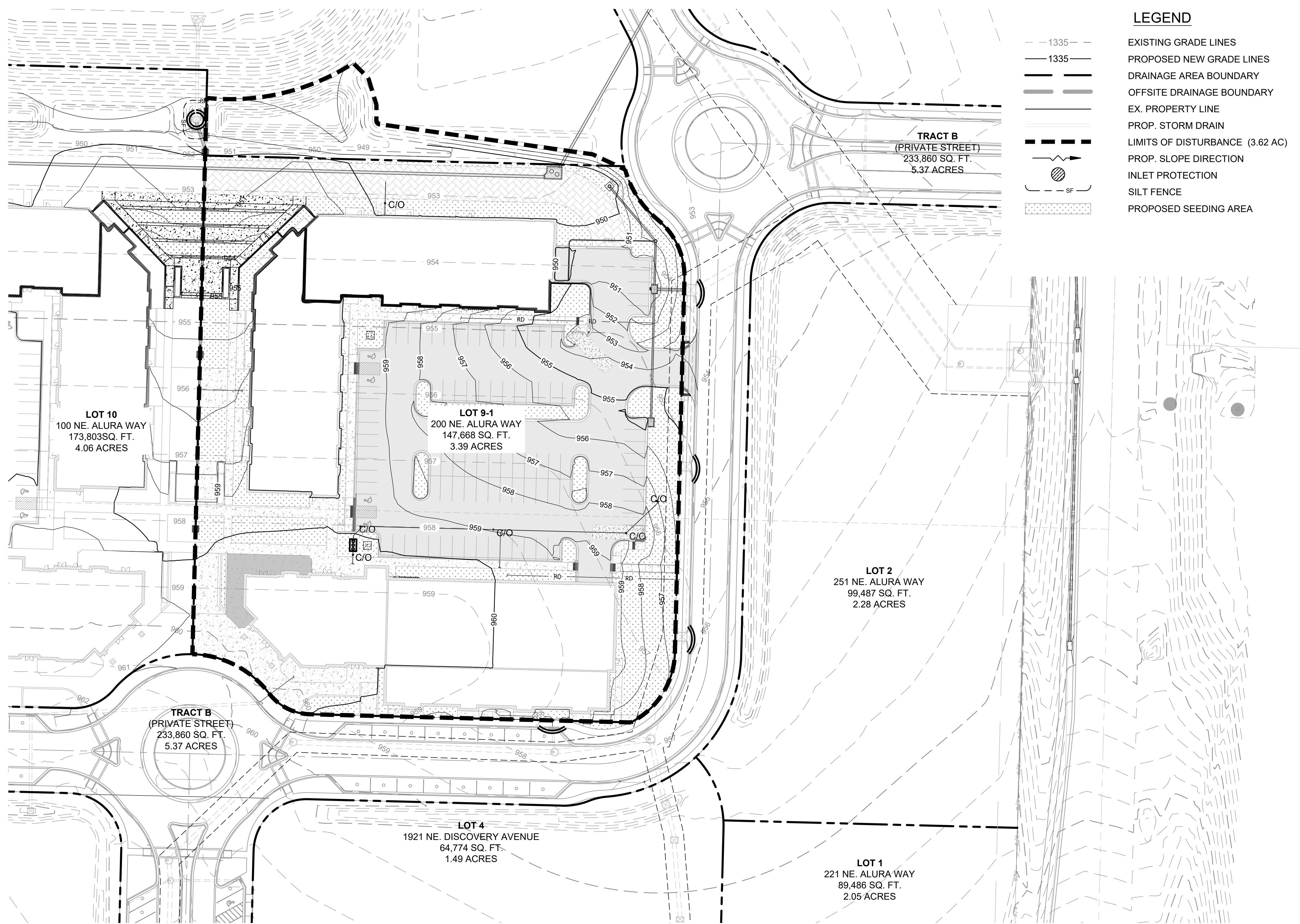
- REMOVE CONSTRUCTION ENTRANCE/EXIT AS ROADS ARE PAVED.
- INSTALL CURB, ROAD PAVEMENT, AND REQUIRED SIDEWALKS. ADJUST SILT FENCE AS NECESSARY TO PREVENT MUD AND SILT FROM FLOWING LONG DISTANCES.
- SEED AND/OR SOD ALL DISTURBED AREAS ONCE FINISHED GRADE HAS BEEN ACHIEVED. MAINTAIN SILT FENCE AND INLET PROTECTION UNTIL VEGETATIVE COVER HAS BEEN ESTABLISHED OVER 70% OF THE TOTAL DISTURBED AREA.
- AS ALL DISTURBED AREAS ARE STABILIZED WITH VEGETATIVE COVER, STORM SEWER INLET PROTECTION, SILT FENCE, AND SEDIMENT TRAP CAN BE REMOVED UPON CITY INSPECTION AND APPROVAL. ENSURE ENTIRE SITE IS STABILIZED PRIOR TO DEACTIVATION ON EROSION CONTROL.

**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review  
  
Development Services Department  
Lee's Summit, Missouri  
  
12/17/2024



**LEGEND**

- 1335 --- EXISTING GRADE LINES
- 1335 —— PROPOSED NEW GRADE LINES
- - - - - DRAINAGE AREA BOUNDARY
- - - - - OFFSITE DRAINAGE BOUNDARY
- - - - - EX. PROPERTY LINE
- - - - - PROP. STORM DRAIN
- - - - - LIMITS OF DISTURBANCE (3.62 AC)
- - - - - PROP. SLOPE DIRECTION
- INLET PROTECTION
- ▨ SILT FENCE
- ▨ PROPOSED SEEDING AREA



8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com  
FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWB  
ISSUED DATE: 12/3/2024  
FIELD BOOK:

ISSUED BY: \_\_\_\_\_  
LICENSE NO: \_\_\_\_\_

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**ESC - PHASE III**

**SHEET NUMBER**

**C503**

19 OF 25



8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006

DRAWN BY: JGD

CHECK BY: JWV

ISSUED DATE: 12/3/2024

FIELD BOOK:

ISSUED BY:

LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

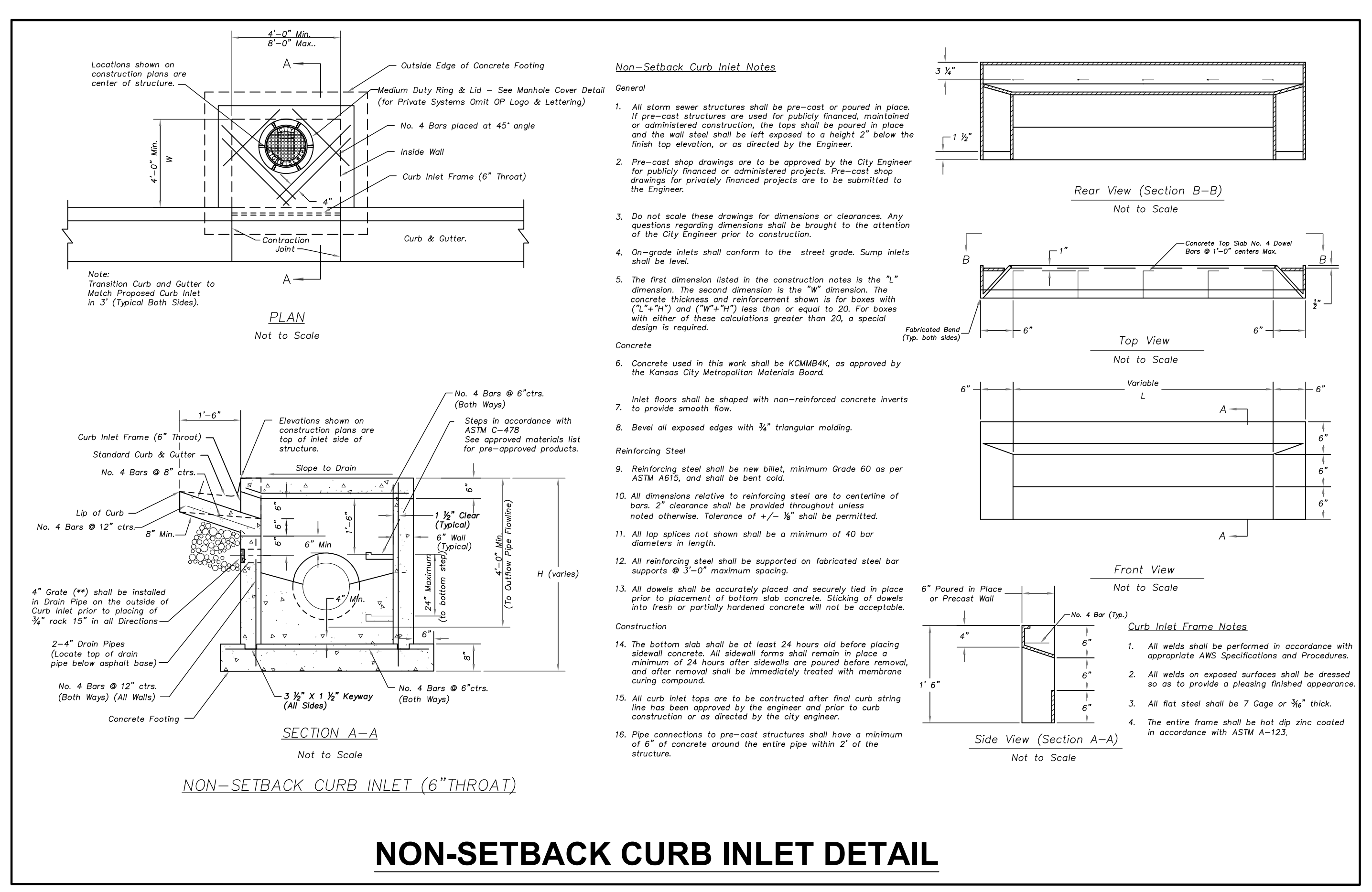
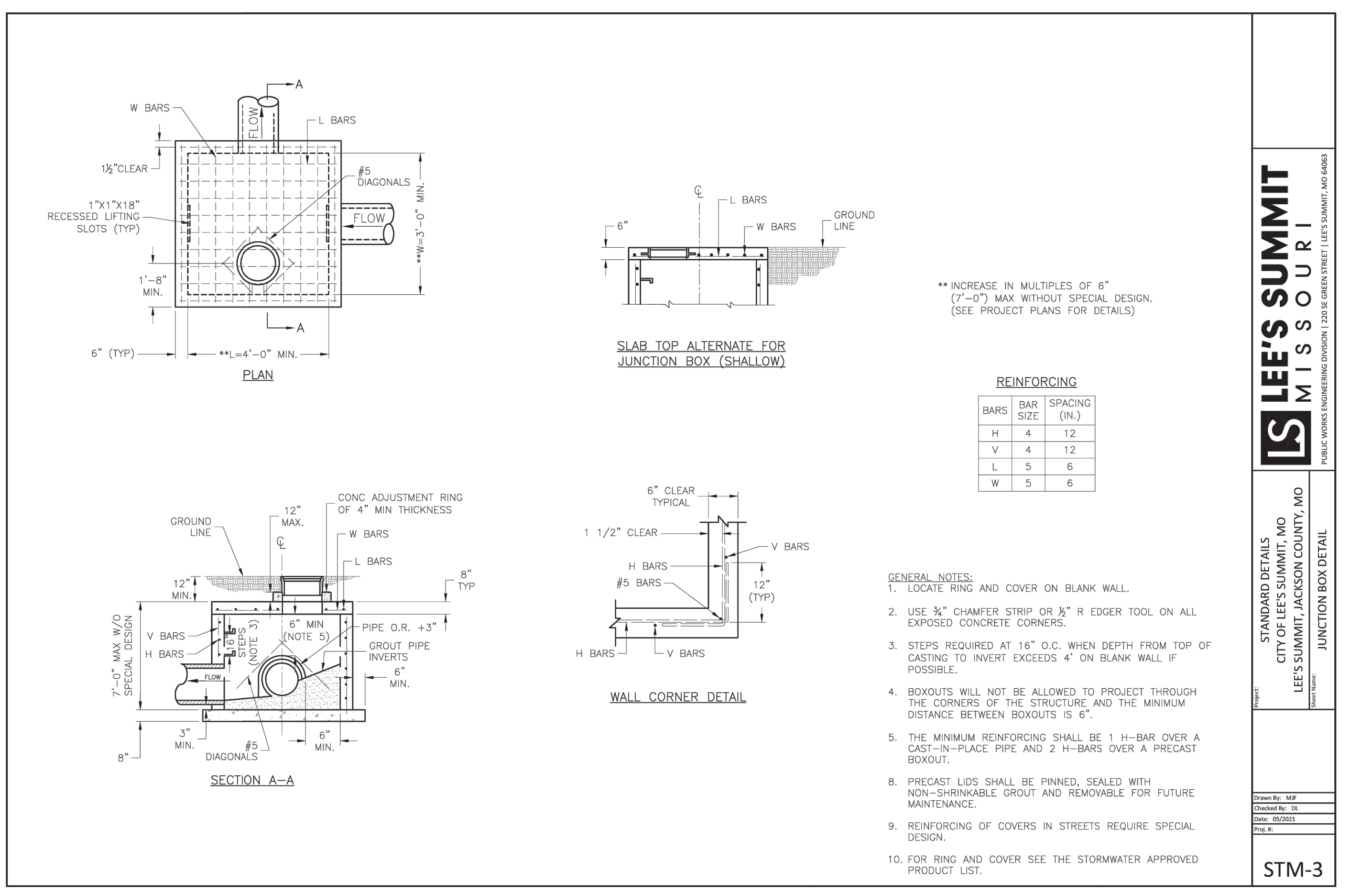
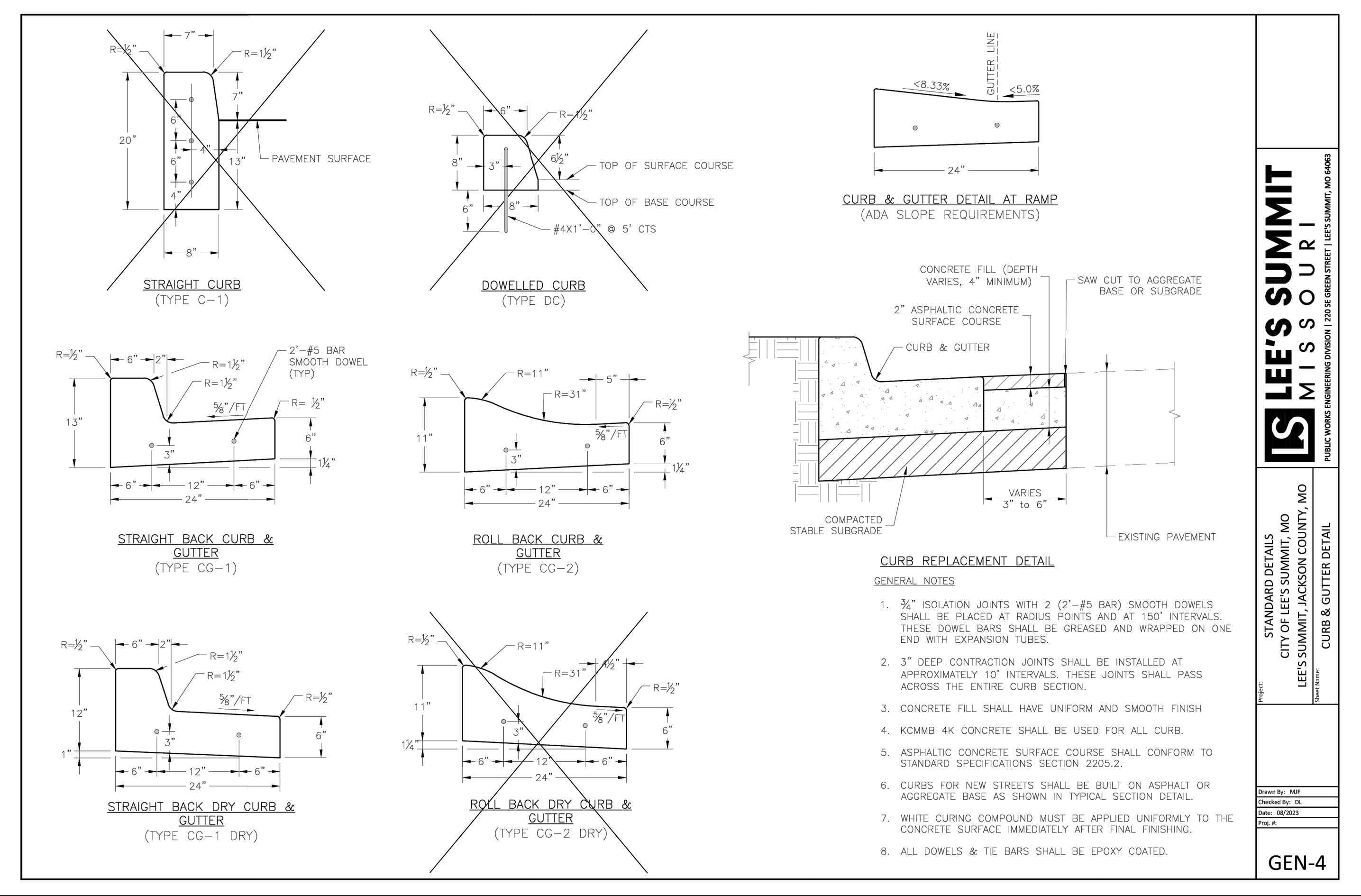
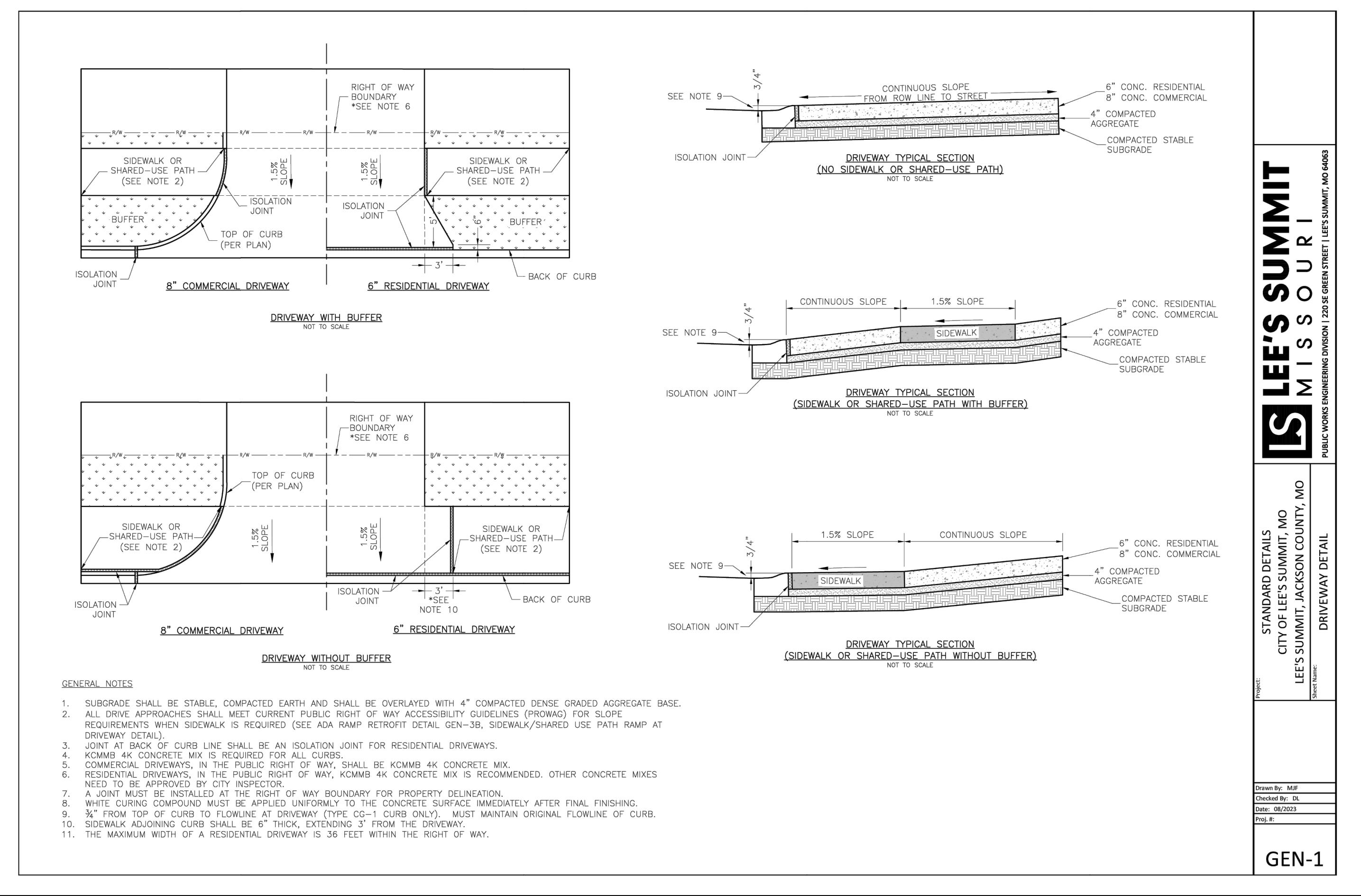
**SHEET TITLE**

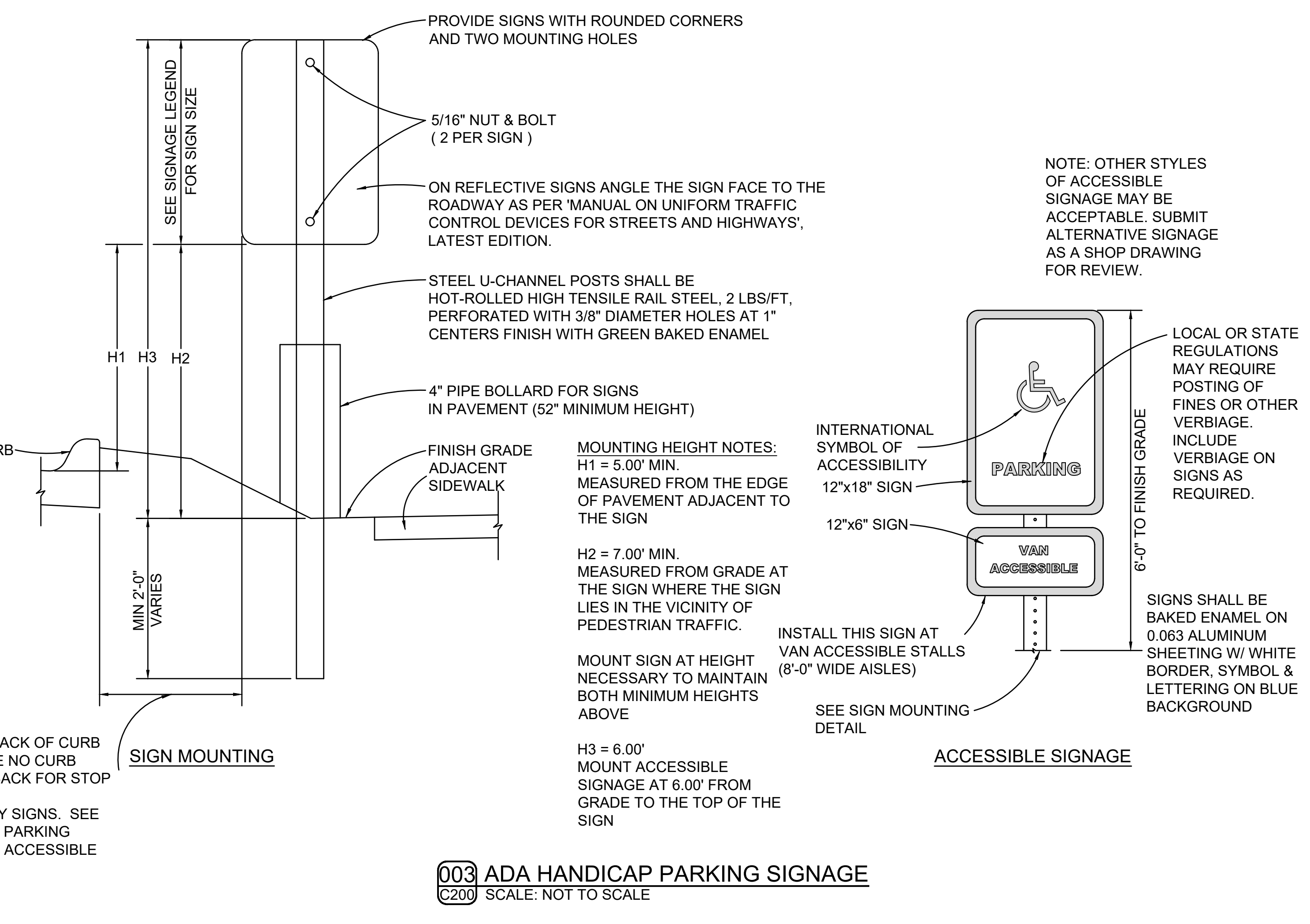
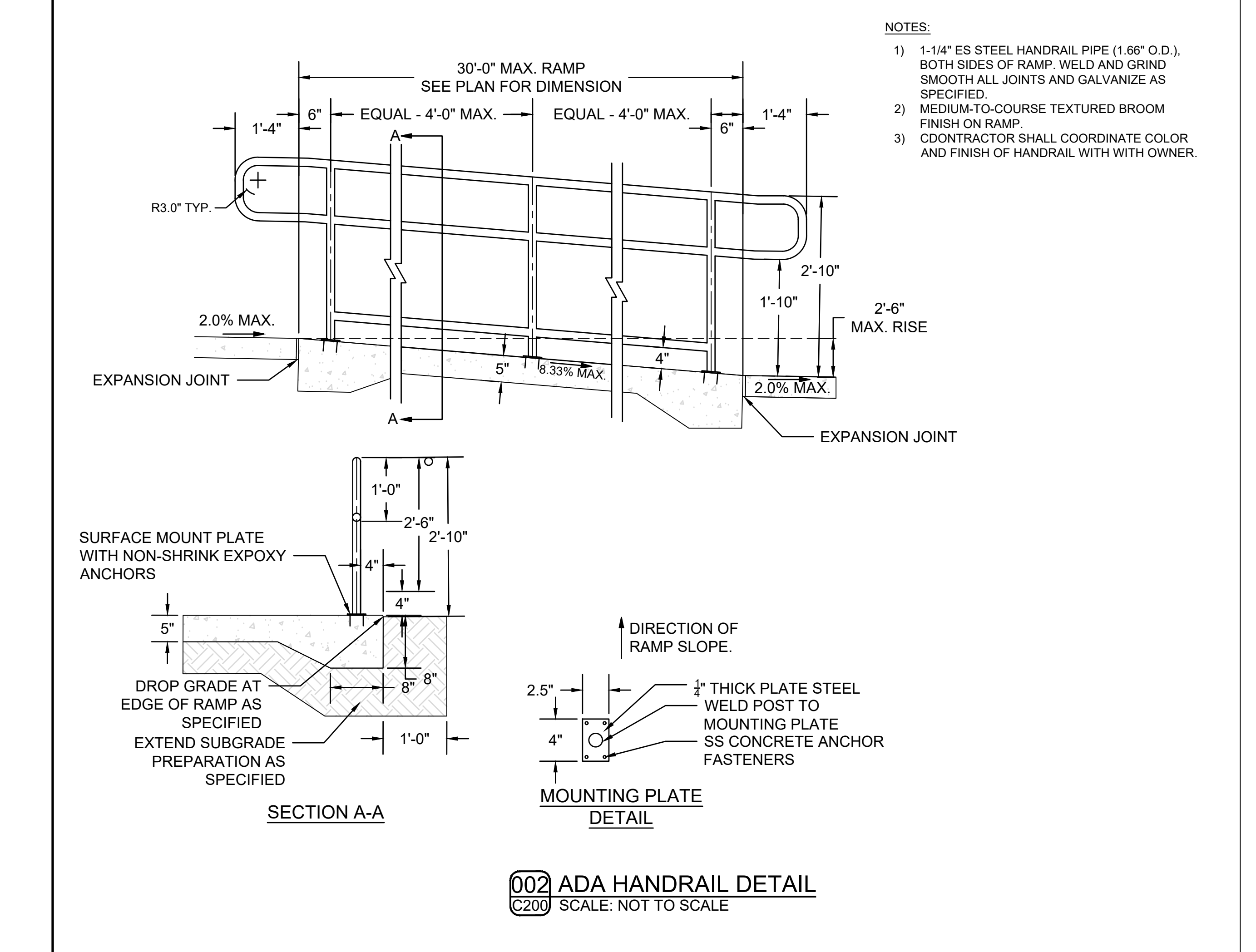
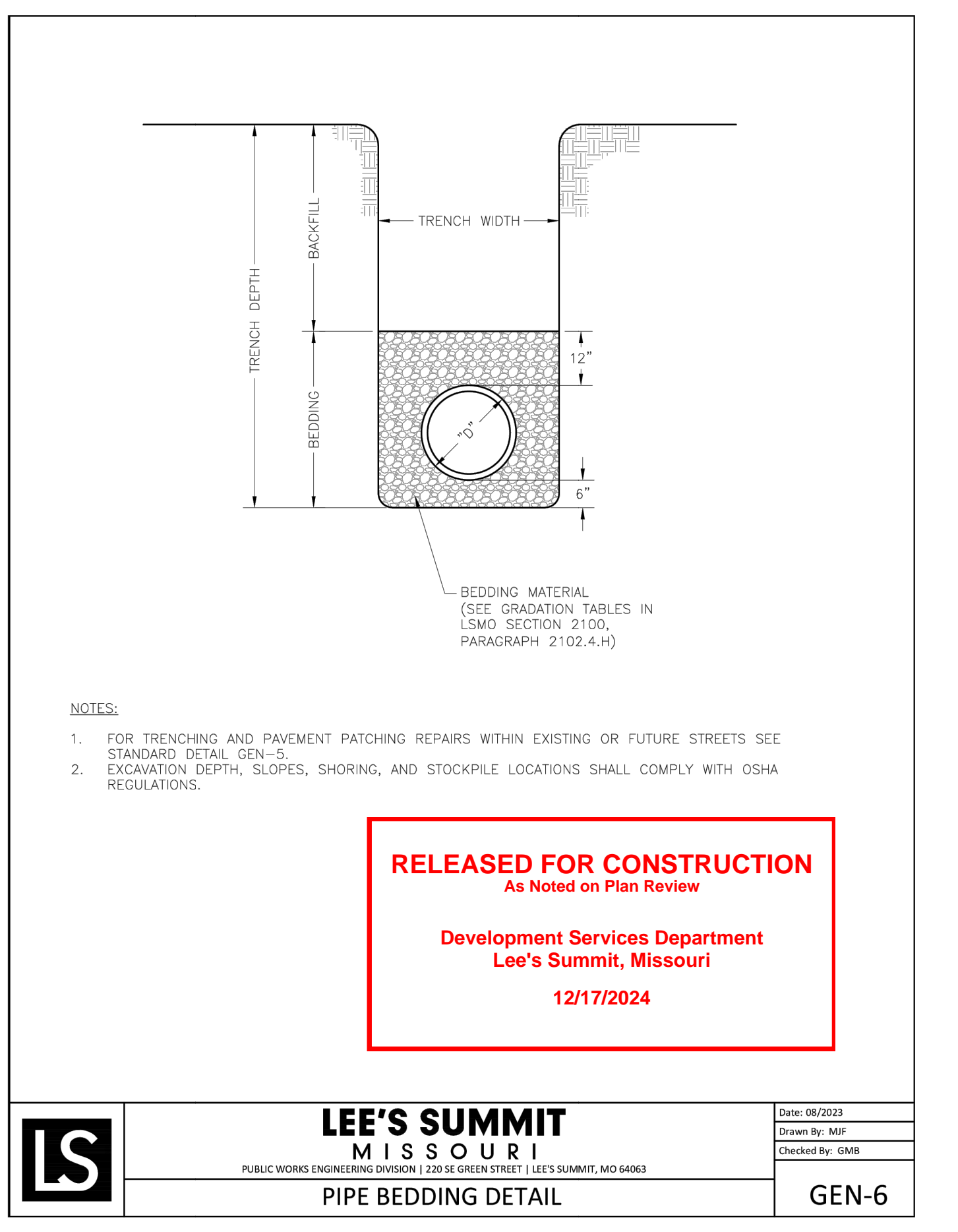
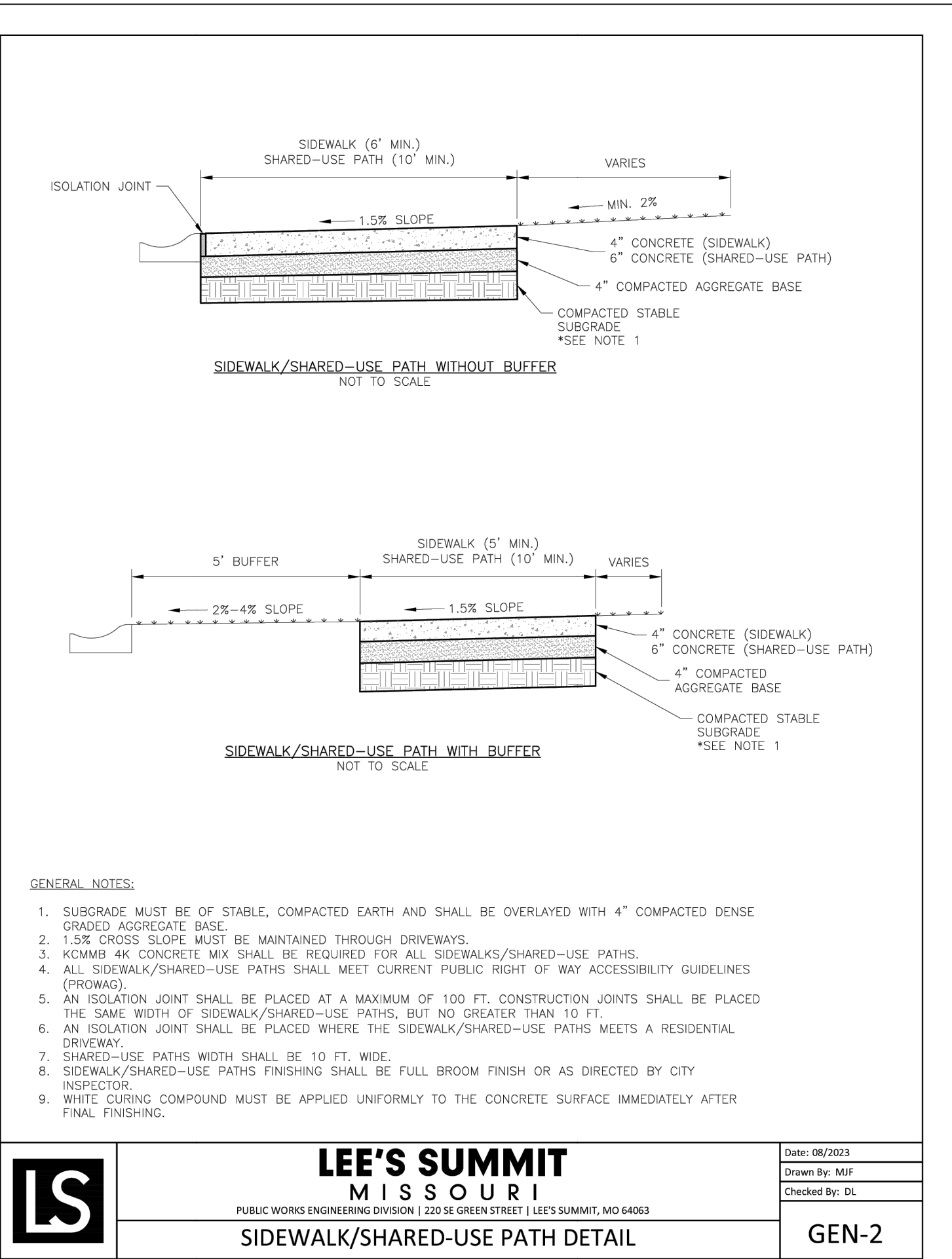
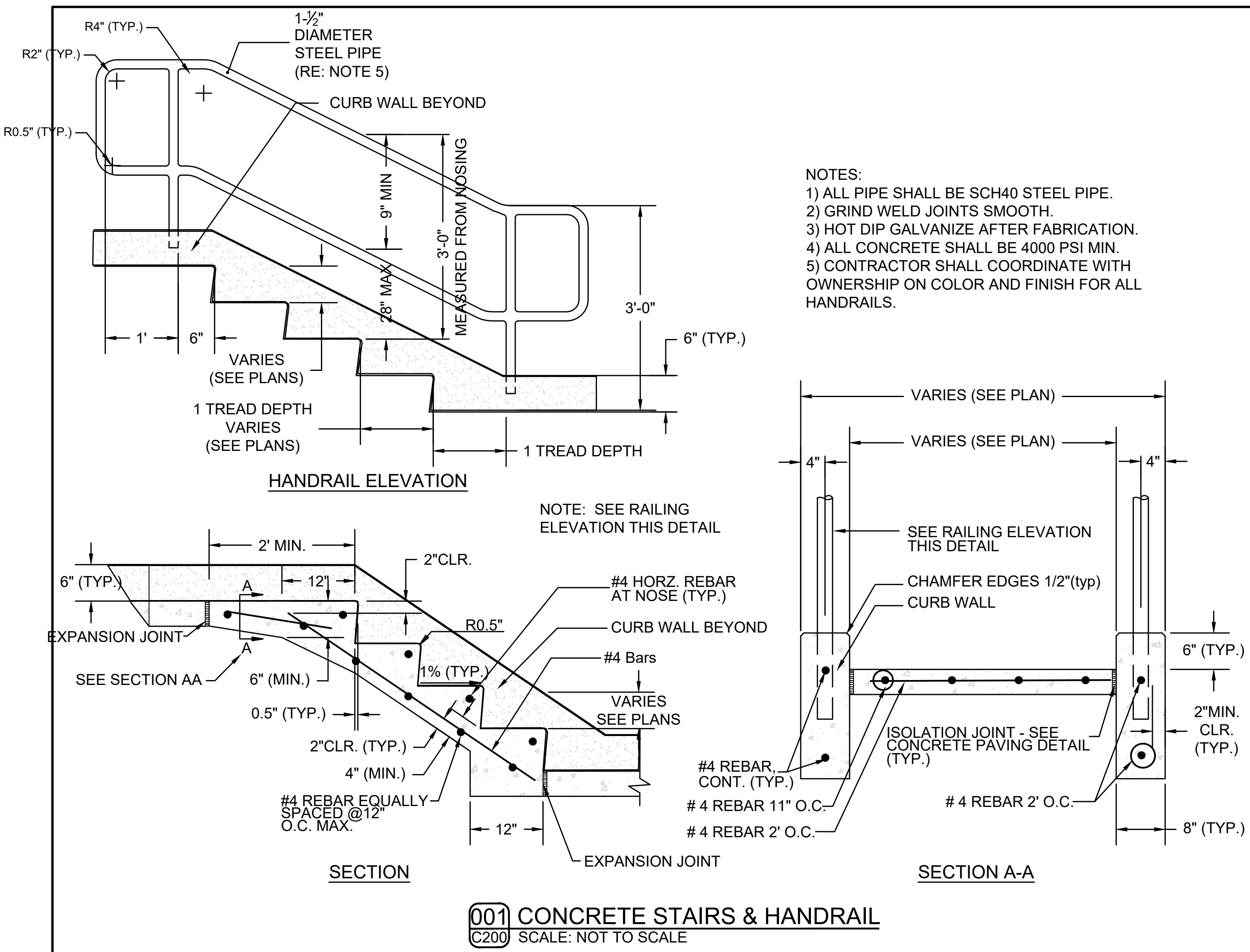
**DETAILS - 1**

**SHEET NUMBER**

**C600**

20 OF 25





REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006

DRAWN BY: JGD

CHECK BY: JWB

ISSUED DATE: 12/3/2024

FIELD BOOK:

ISSUED BY: \_\_\_\_\_

LICENSE NO: \_\_\_\_\_

A licensed Missouri  
 Engineering Corporation  
 COA# 00062

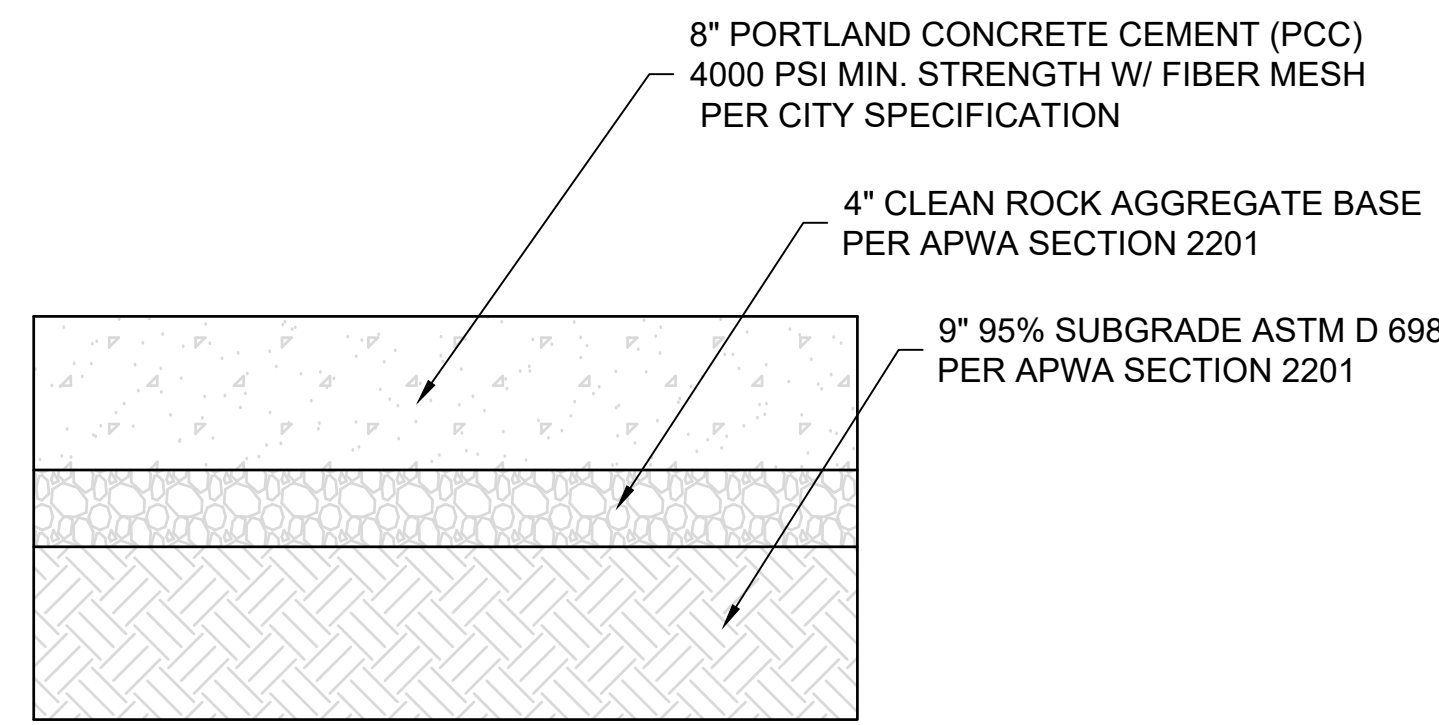
**SHEET TITLE**

**DETAILS - 2**

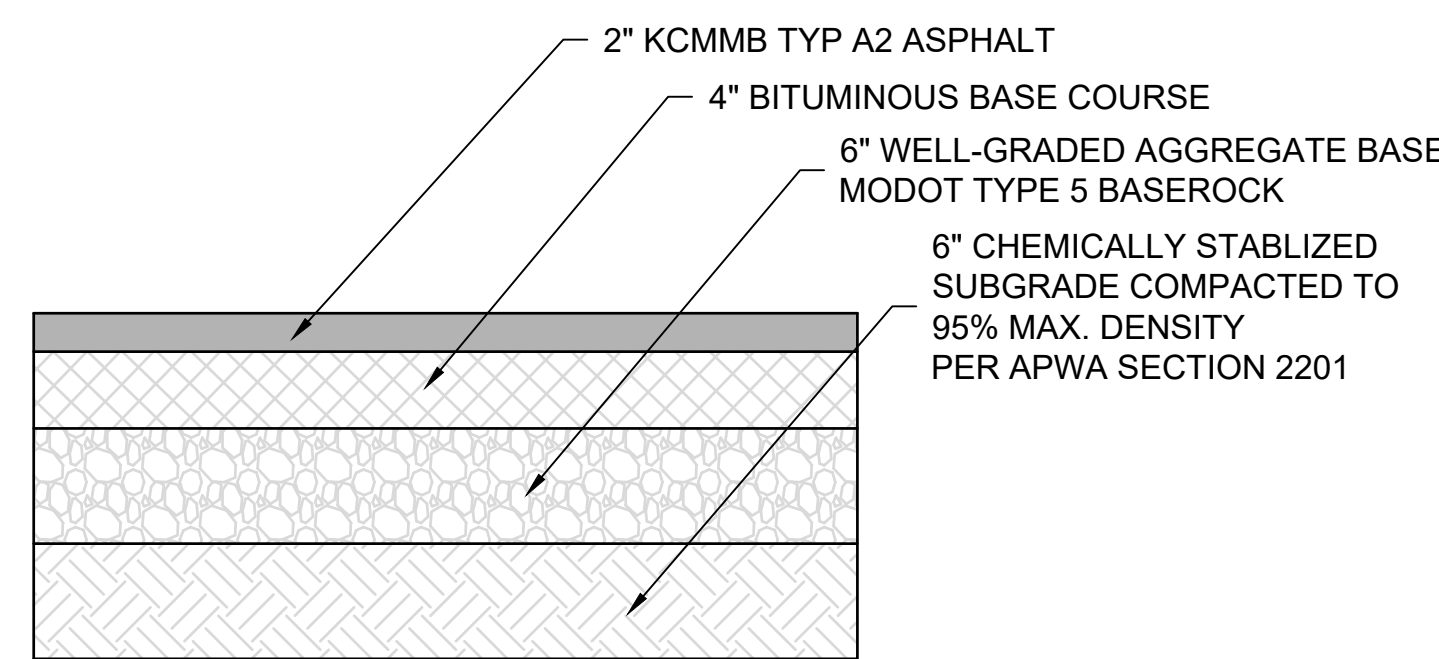
**SHEET NUMBER**

**C601**

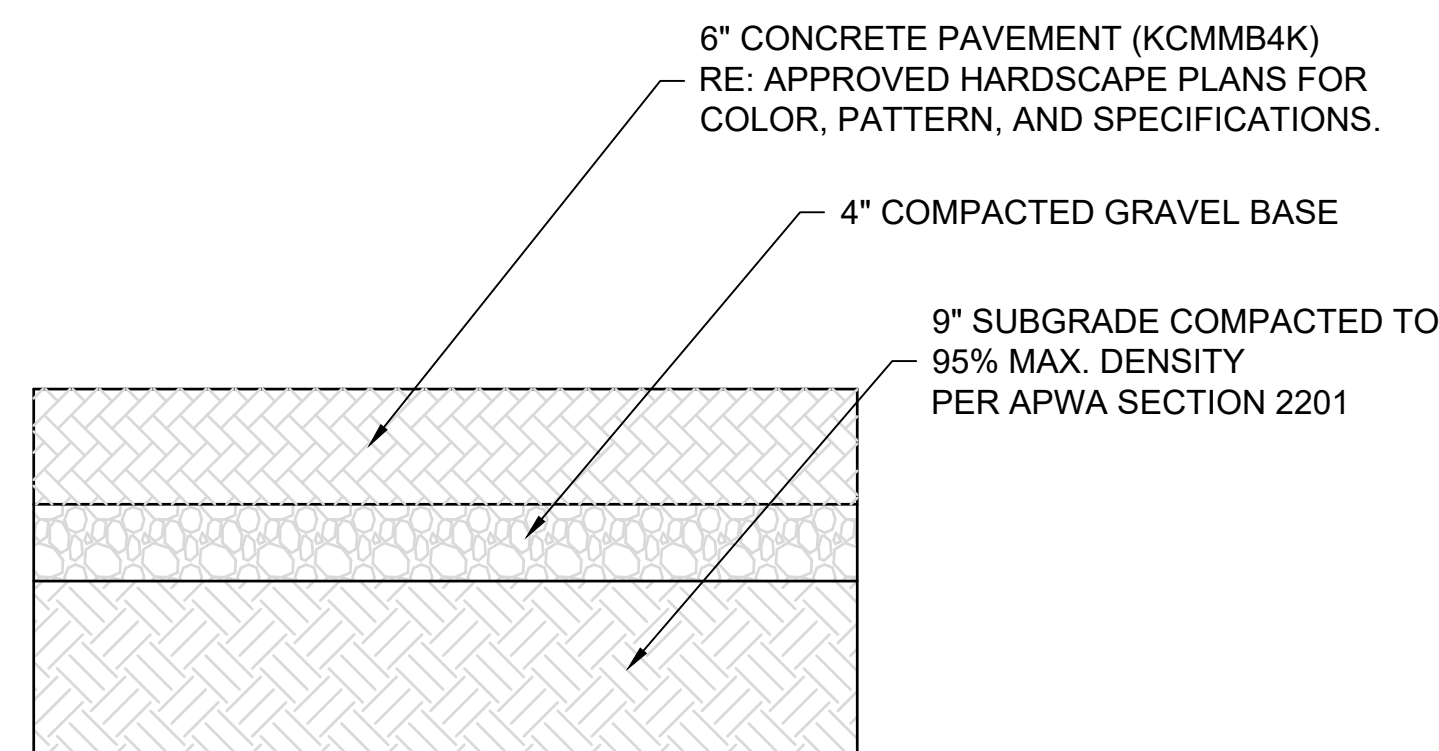
21 OF 25



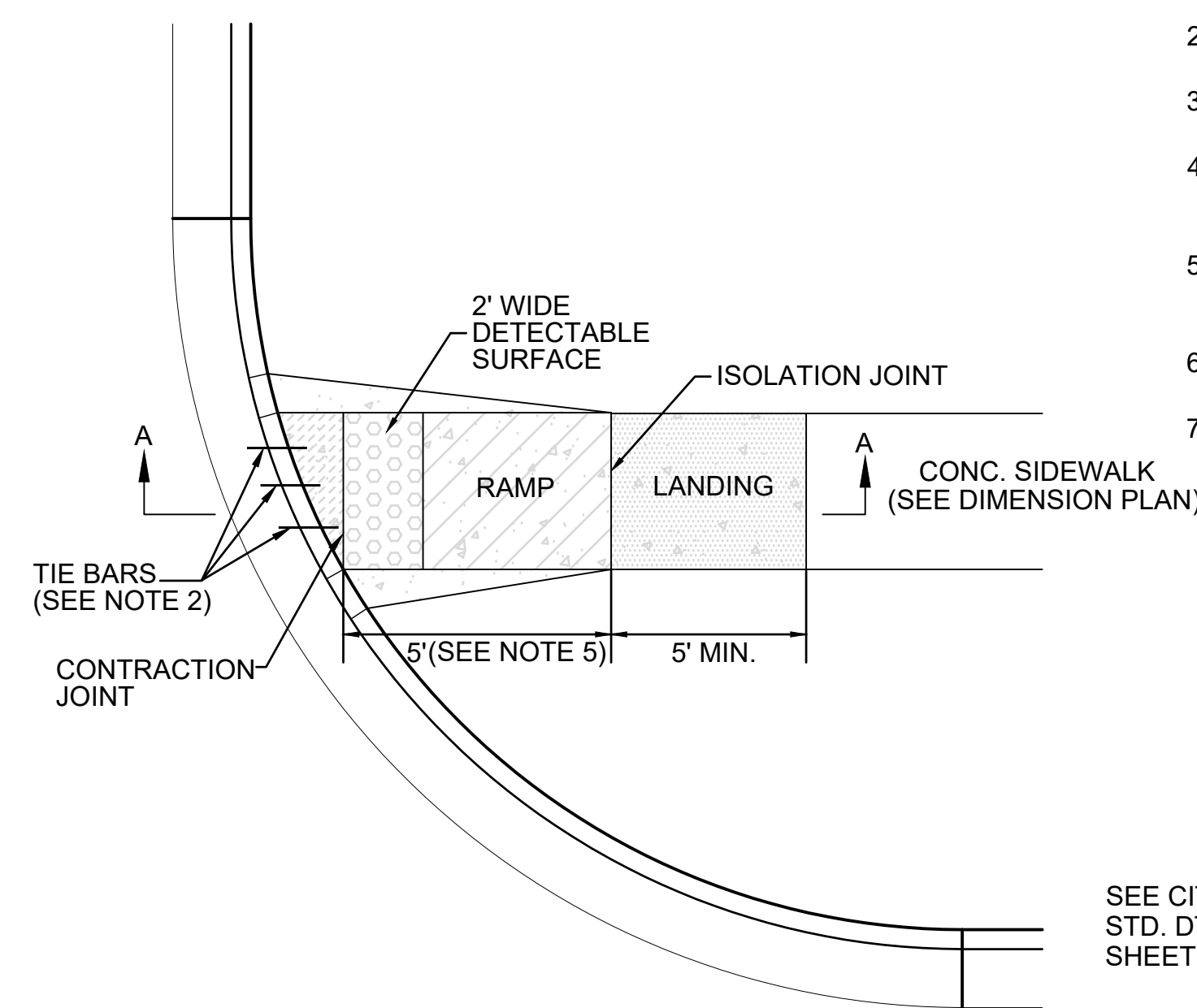
**004 HEAVY-DUTY CONCRETE SECTION**  
 C200 SCALE: NOT TO SCALE



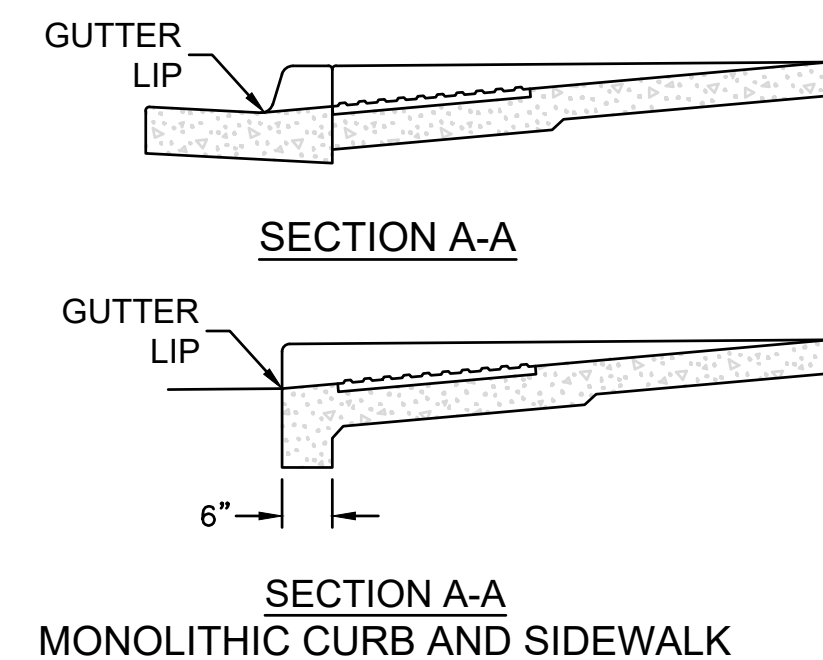
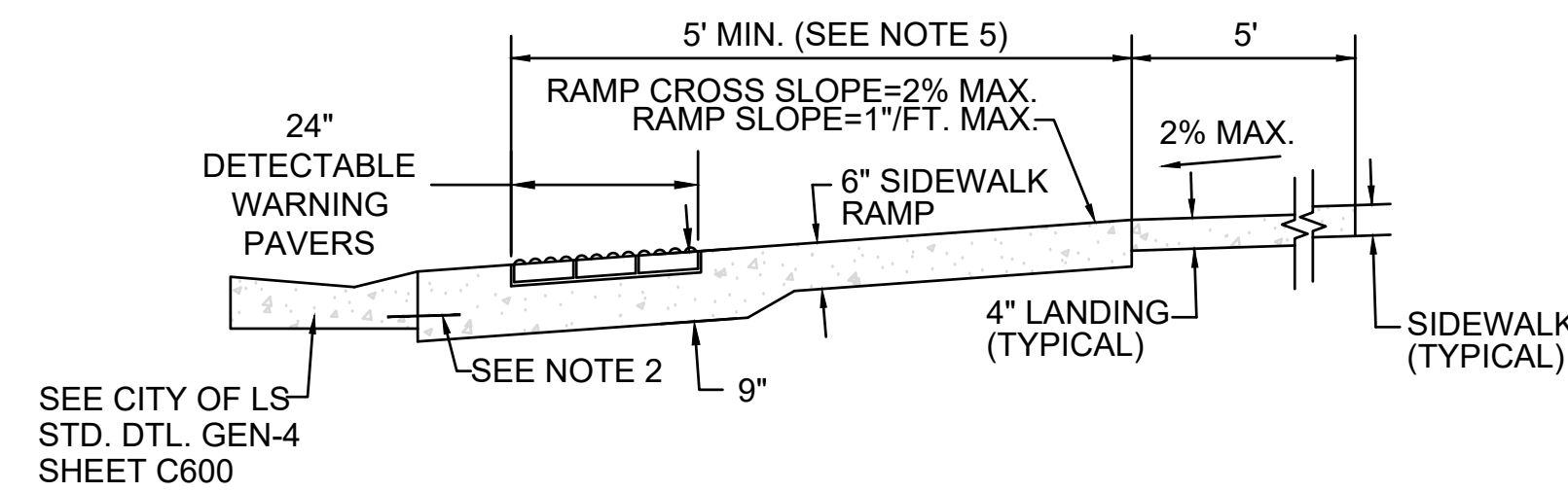
**005 LIGHT-DUTY ASPHALT SECTION**  
 C200 SCALE: NOT TO SCALE



**006 FIRE LINE PAVEMENT SECTION**  
 C200 SCALE: NOT TO SCALE

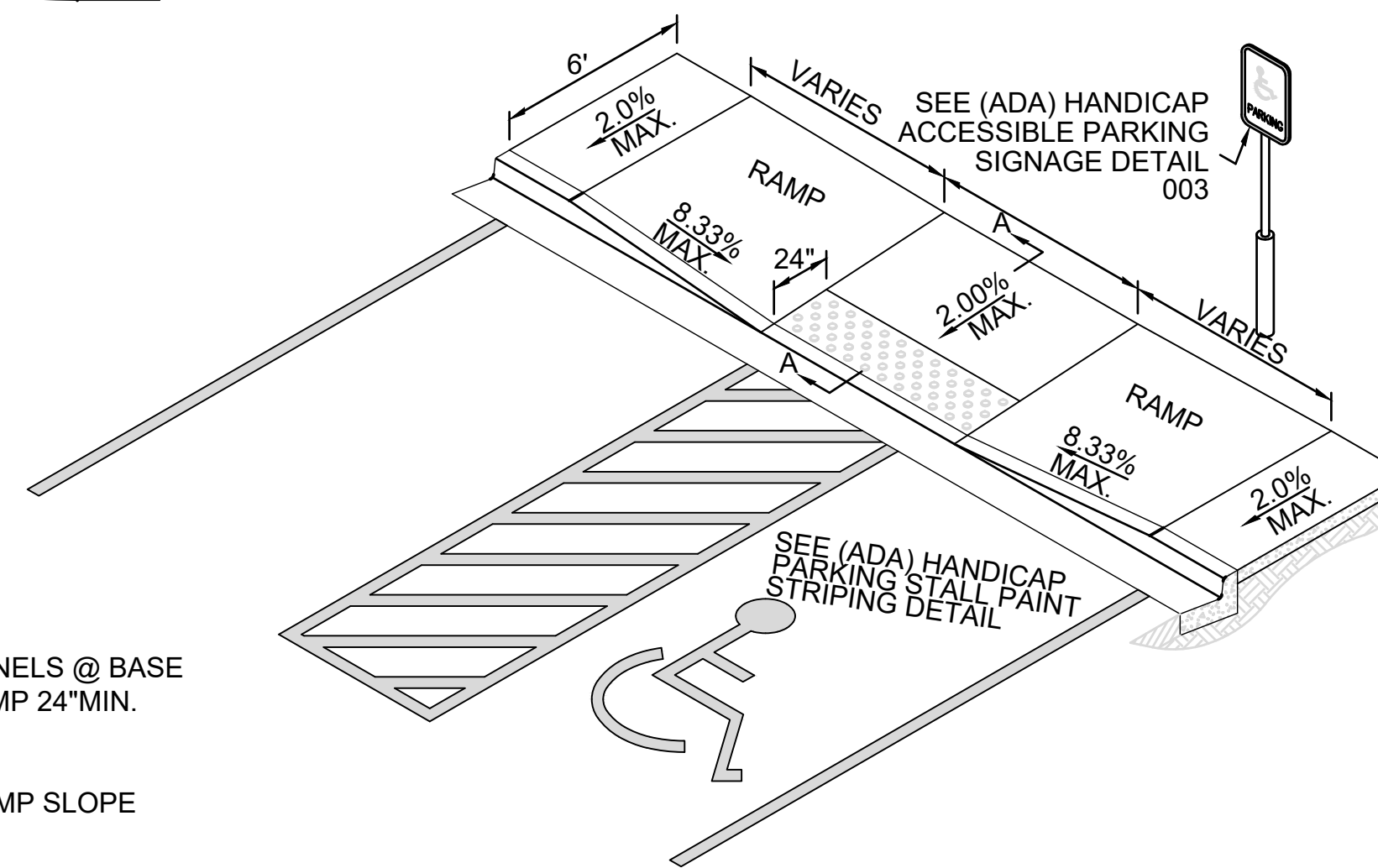


- NOTES:**
1. SIDEWALK RAMP LOCATION DETERMINED FROM THE INTERSECTION OF THE EXTENSION OF BACK OF SIDEWALK AND BACK OF CURB & GUTTER.
  2. TIE BARS #4 EPOXY COATED @ 12"OC.
  3. LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
  4. ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 250' CENTERS MAX.
  5. SIDEWALK RAMP SHALL BE LENGTHENED TO PROVIDE ADA COMPLIANCE SLOPE BUT NEED NOT EXCEED 15'.
  6. ADA RAMP SLOPE MAX. = 1"/FT. ADA CROSS SLOPE MAX. = 2%.
  7. SEE DETECTABLE WARNING DETAIL FOR THE INSTALLATION REQUIREMENTS.

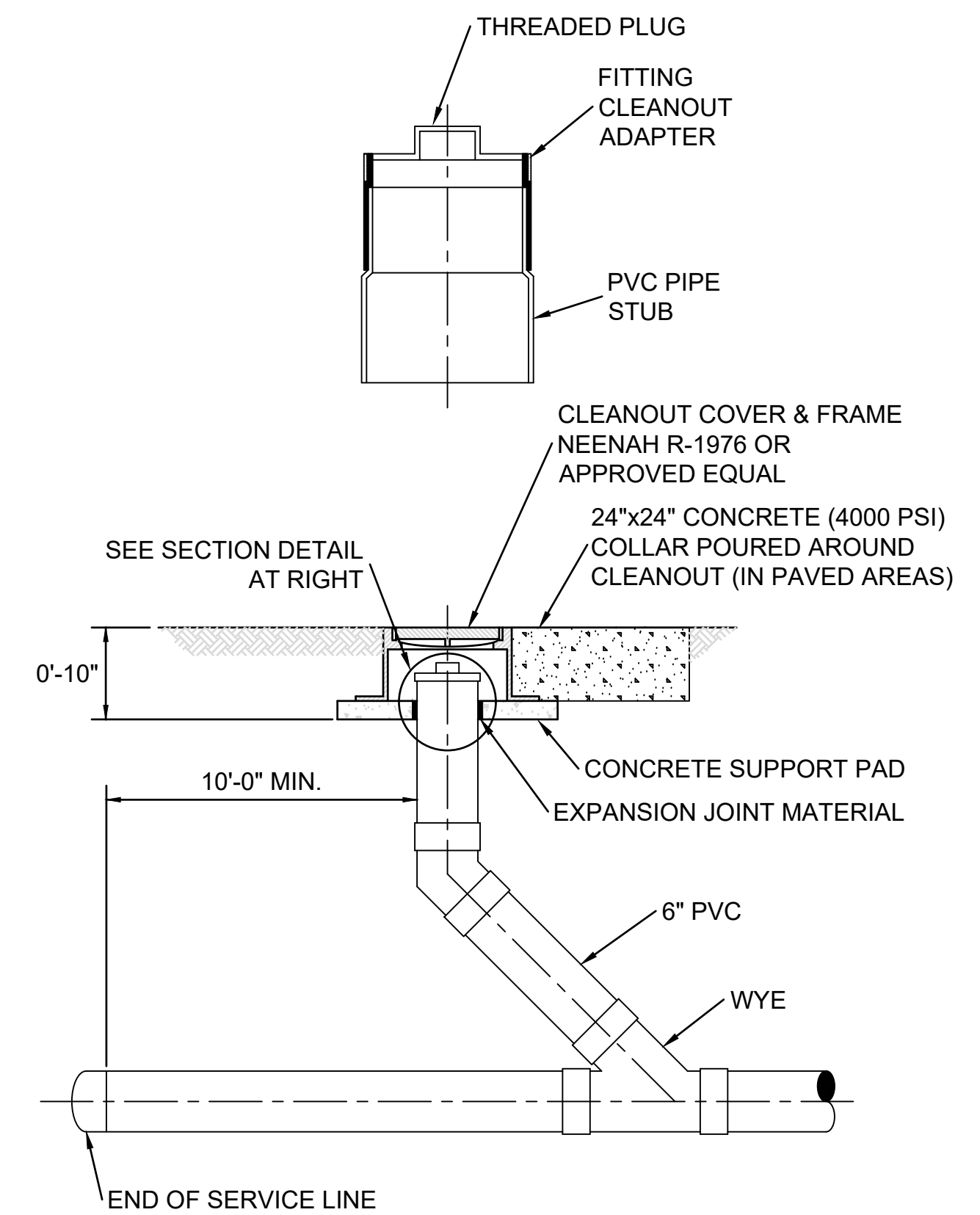


- GENERAL NOTES:**
1. PLACE TRUNCATED DOME DETECTABLE WARNING PANELS @ BASE OF CURB RAMP. INSTALL ACROSS FULL WIDTH OF RAMP 24" MIN. DEPTH.
  2. TOOLED JOINTS ARE REQUIRED AT ALL SIDEWALK RAMP SLOPE BREAKS.
  3. THICKEN CONCRETE UNDER DETECTABLE WARNING PANEL.
  4. IN FREEZE THAW ZONES, LEAVE 3/8" GAP IN BETWEEN PANELS & SEAL W/ SIKAFLEX 1A SEALANT OR APPROVED EQUAL.

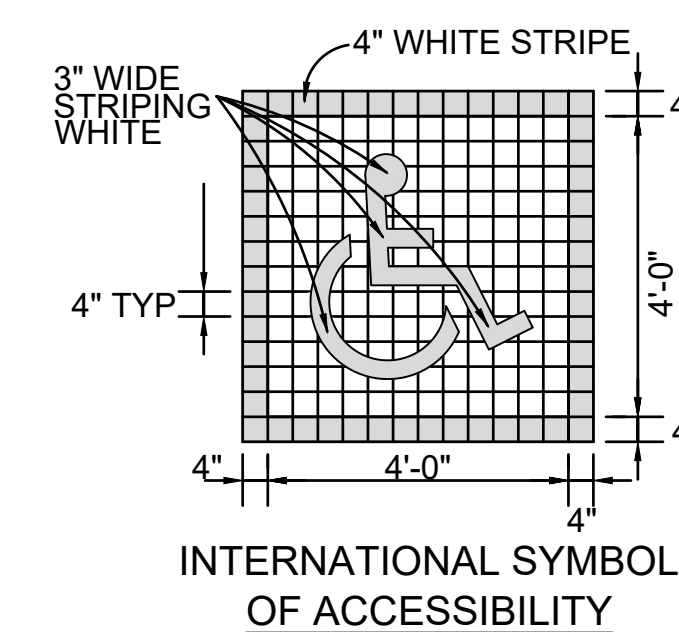
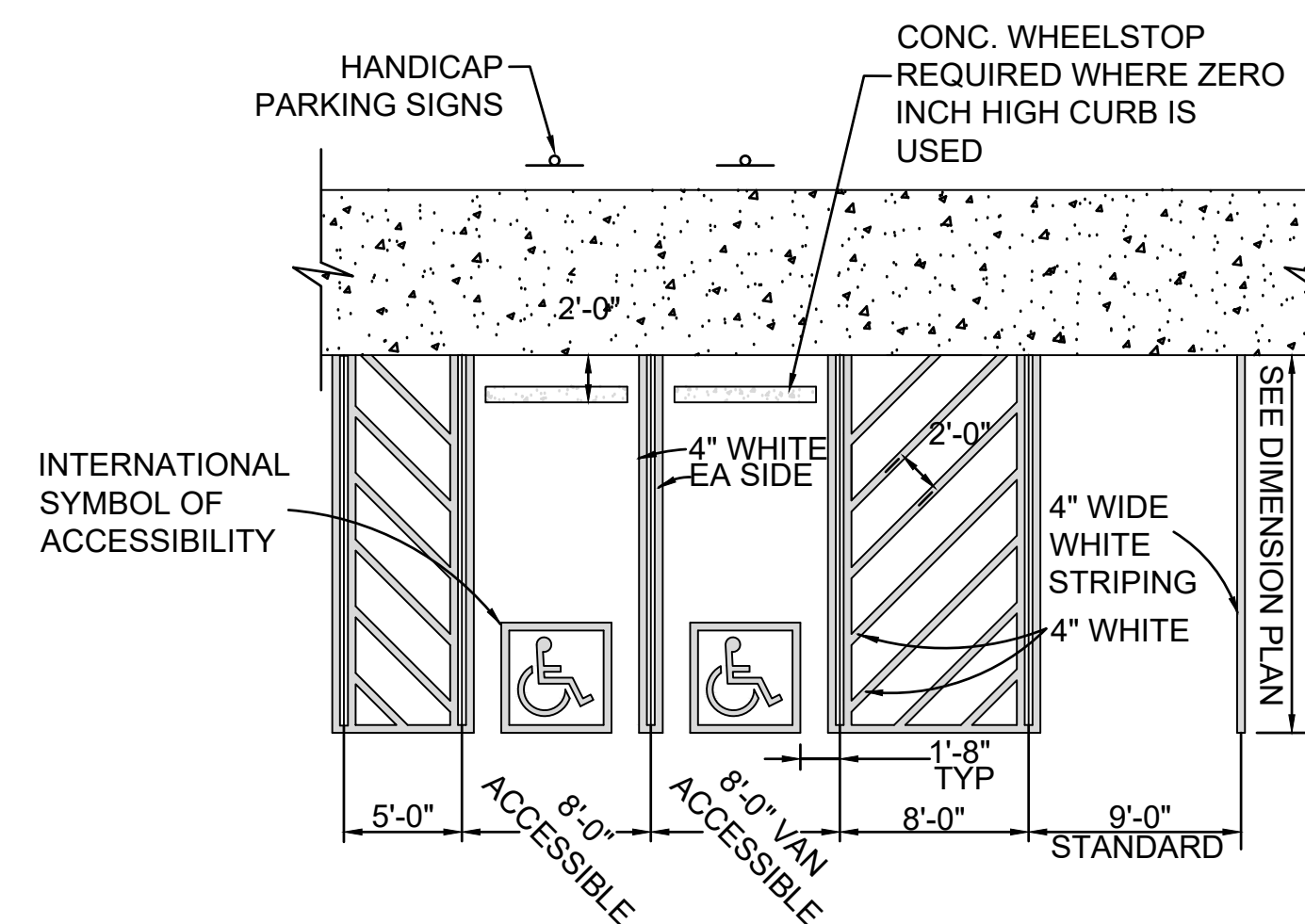
**007 SIDEWALK RAMP**  
 C200 SCALE: NOT TO SCALE



**RELEASED FOR CONSTRUCTION**  
 As Noted on Plan Review  
 Development Services Department  
 Lee's Summit, Missouri  
 12/17/2024

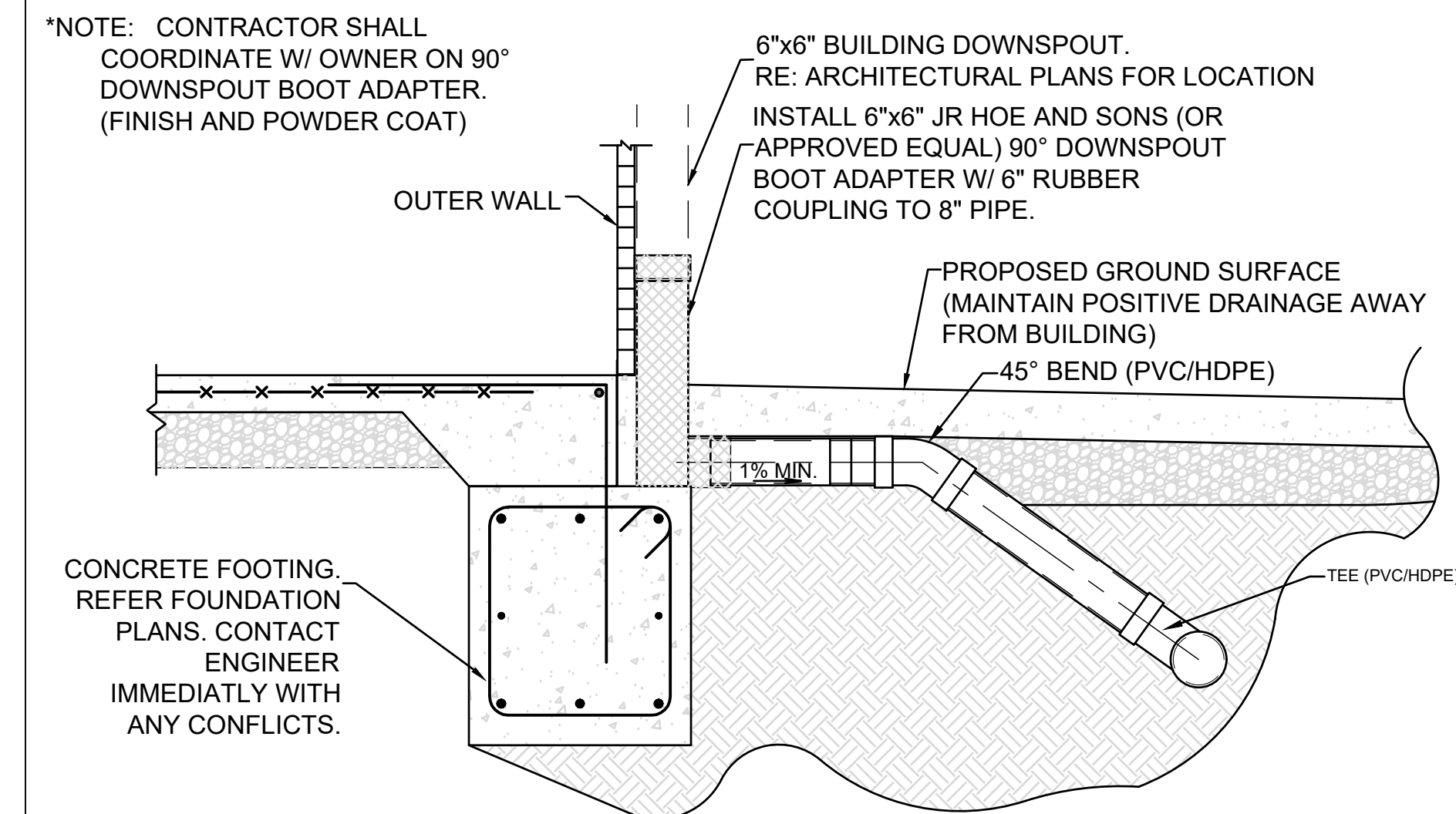


**009 CLEANOUT DETAIL**  
 C201 SCALE: NOT TO SCALE



- NOTE:**
1. SEE SITE GRADING AND DRAINAGE PLAN FOR PAVEMENT AND CURB ELEVATIONS, AND ASSOCIATED ALLOWABLE SLOPES FOR ACCESSIBLE PARKING

**008 (ADA) HANDICAP PARKING STRIPING**  
 C200 SCALE: NOT TO SCALE



**010 ROOF DOWNSPOUT CONNECTION DETAIL**  
 C403 SCALE: NOT TO SCALE

**DISCOVERY PARK THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
 LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT DISCOVERY PARK  
 NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
 DRAWN BY: JGD  
 CHECK BY: JWB  
 ISSUED DATE: 12/3/2024  
 FIELD BOOK:



ISSUED BY: \_\_\_\_\_  
 LICENSE NO: \_\_\_\_\_  
 A licensed Missouri Engineering Corporation  
 COA# 00062

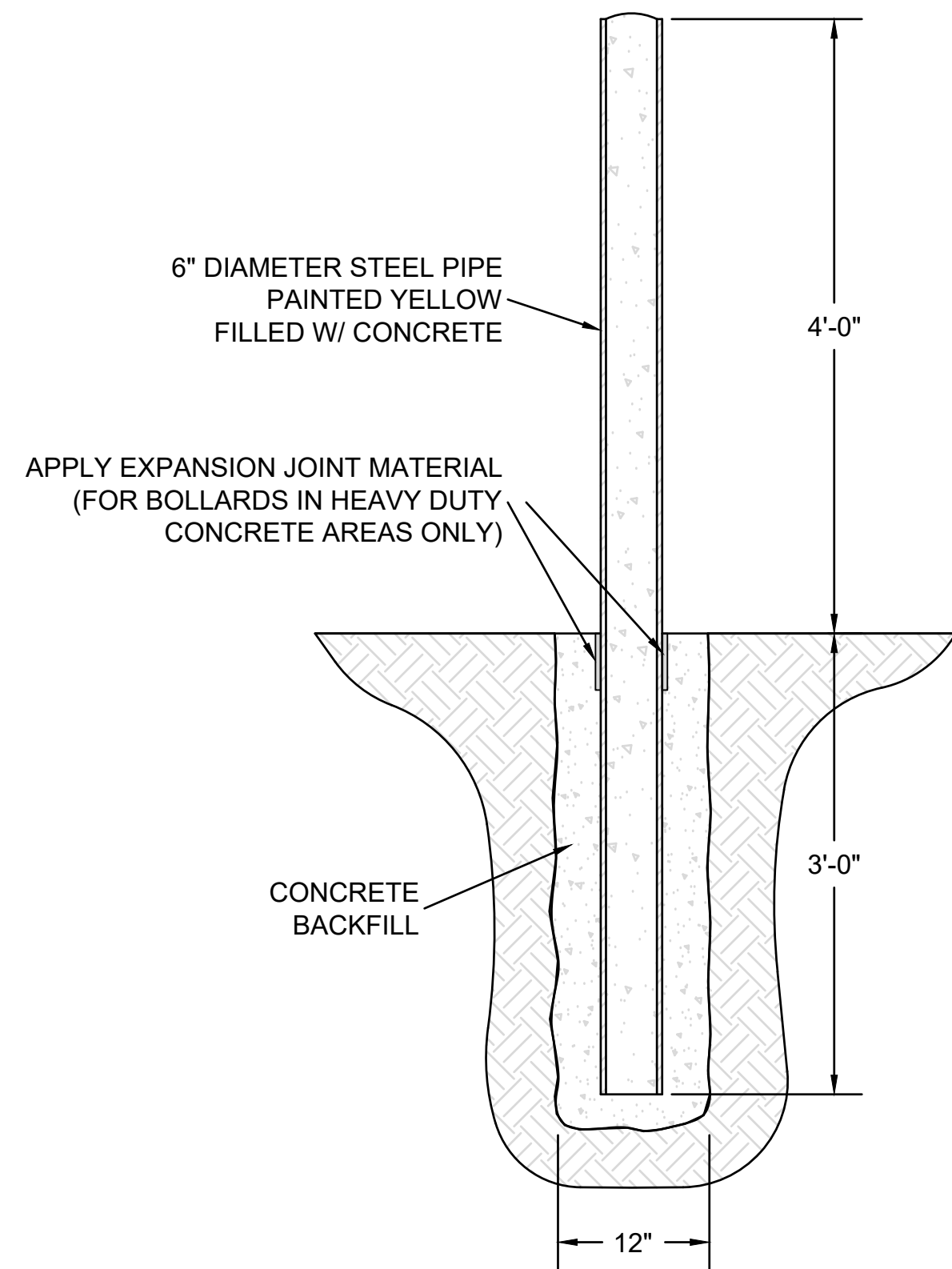
**SHEET TITLE**

**DETAILS - 3**

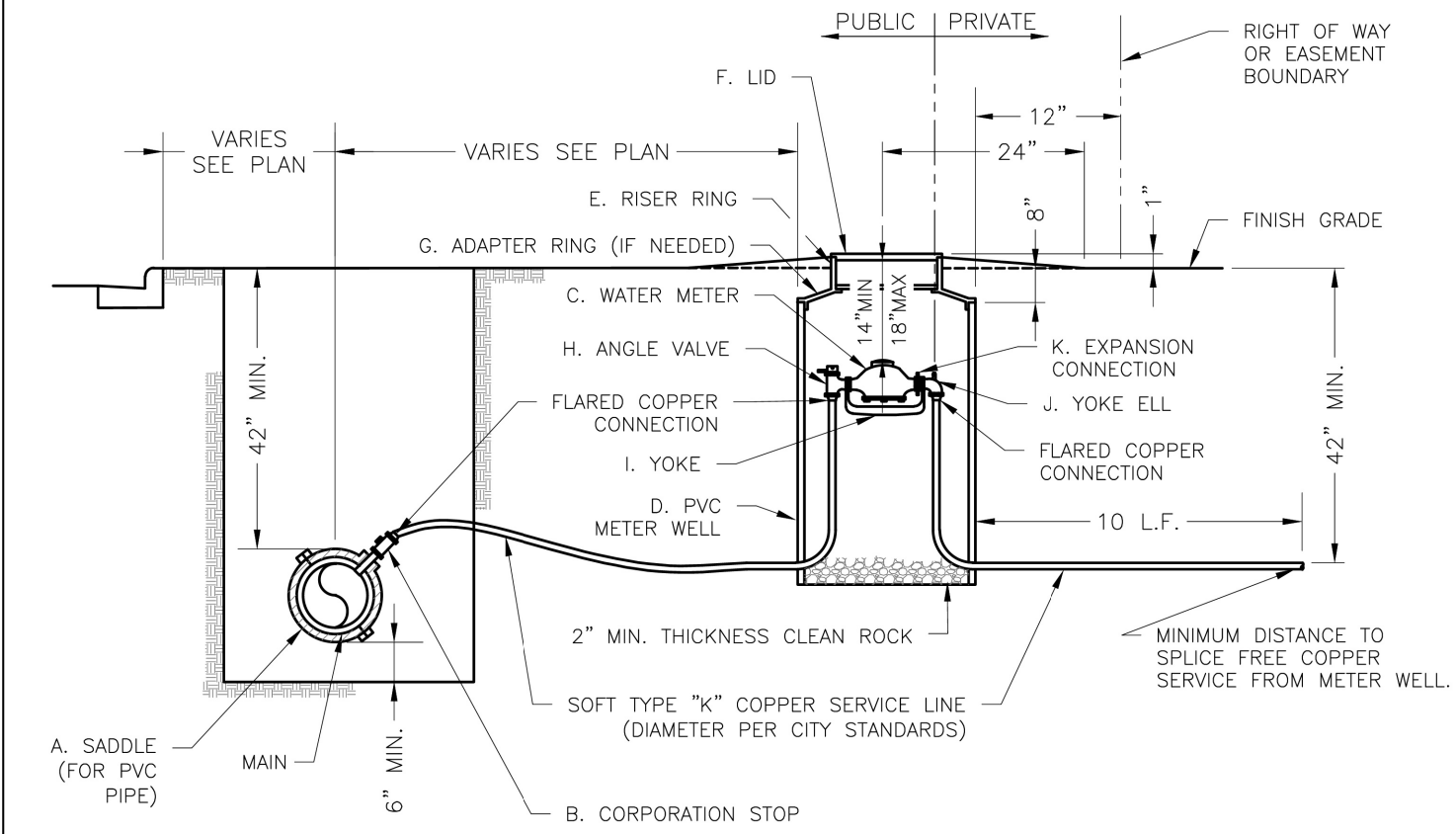
**SHEET NUMBER**

**C602**

22 OF 25



**011** STEEL/CONCRETE BOLLARD  
**C200** SCALE: NOT TO SCALE



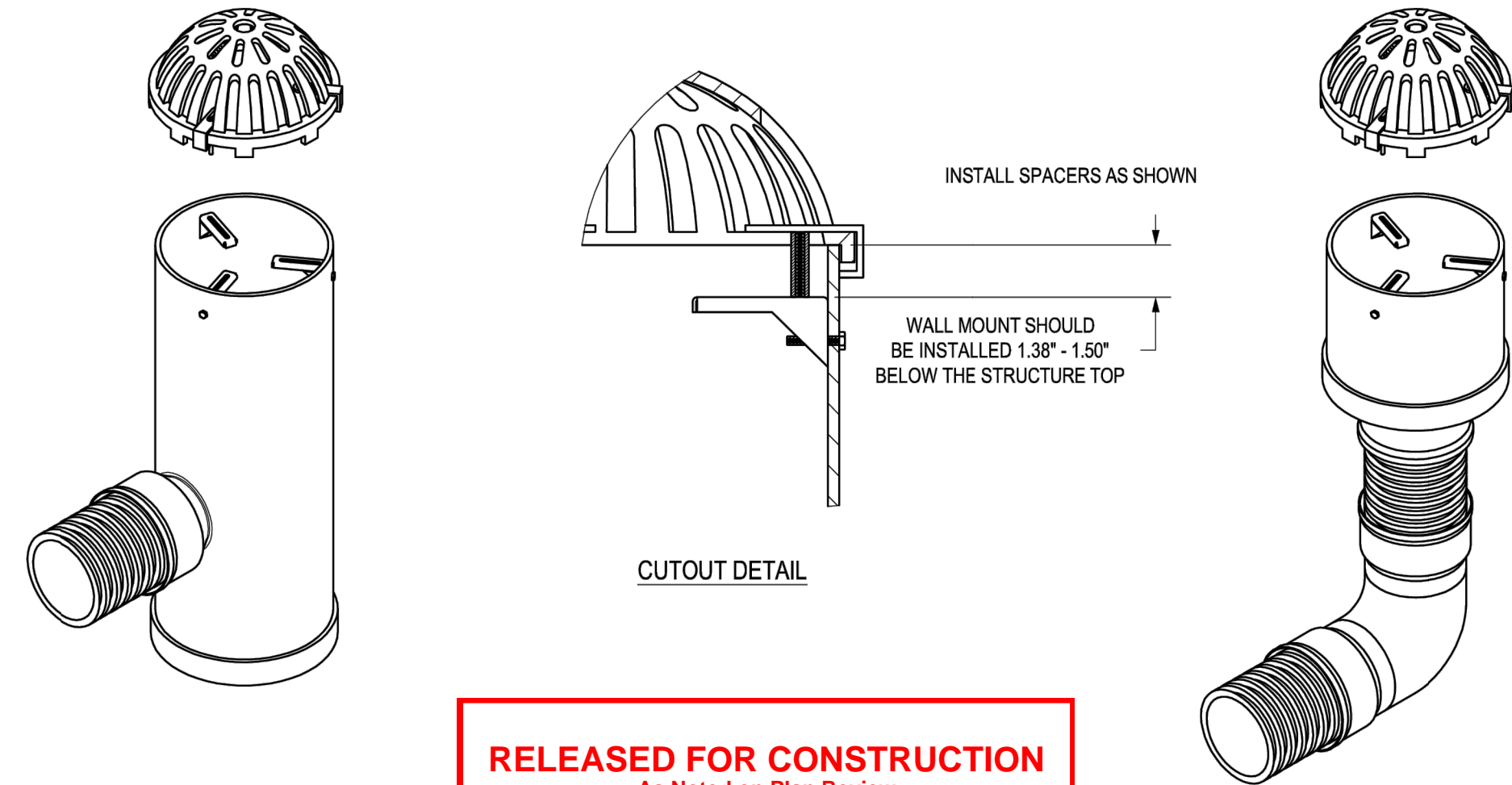
- NOTES:
- METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
  - IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
  - CITY TO FURNISH ITEMS A-K.
  - NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
  - 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
  - EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
  - NO SPLICES ALLOWED BETWEEN METER AND MAIN.
  - SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
  - LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
  - CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"

**LS** **LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083

Date: 08/2023  
Drawn By: MJF  
Checked By: NLY

**WAT-11**

**SERVICE CONNECTION WITH METER WELL**



**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review

Development Services Department  
Lee's Summit, Missouri  
12/17/2024

STAINLESS STEEL ADJUSTABLE LOCKING MECHANISM AVAILABLE FOR 12" - 30" DOME GRATES (PART # 123D0MELCK).

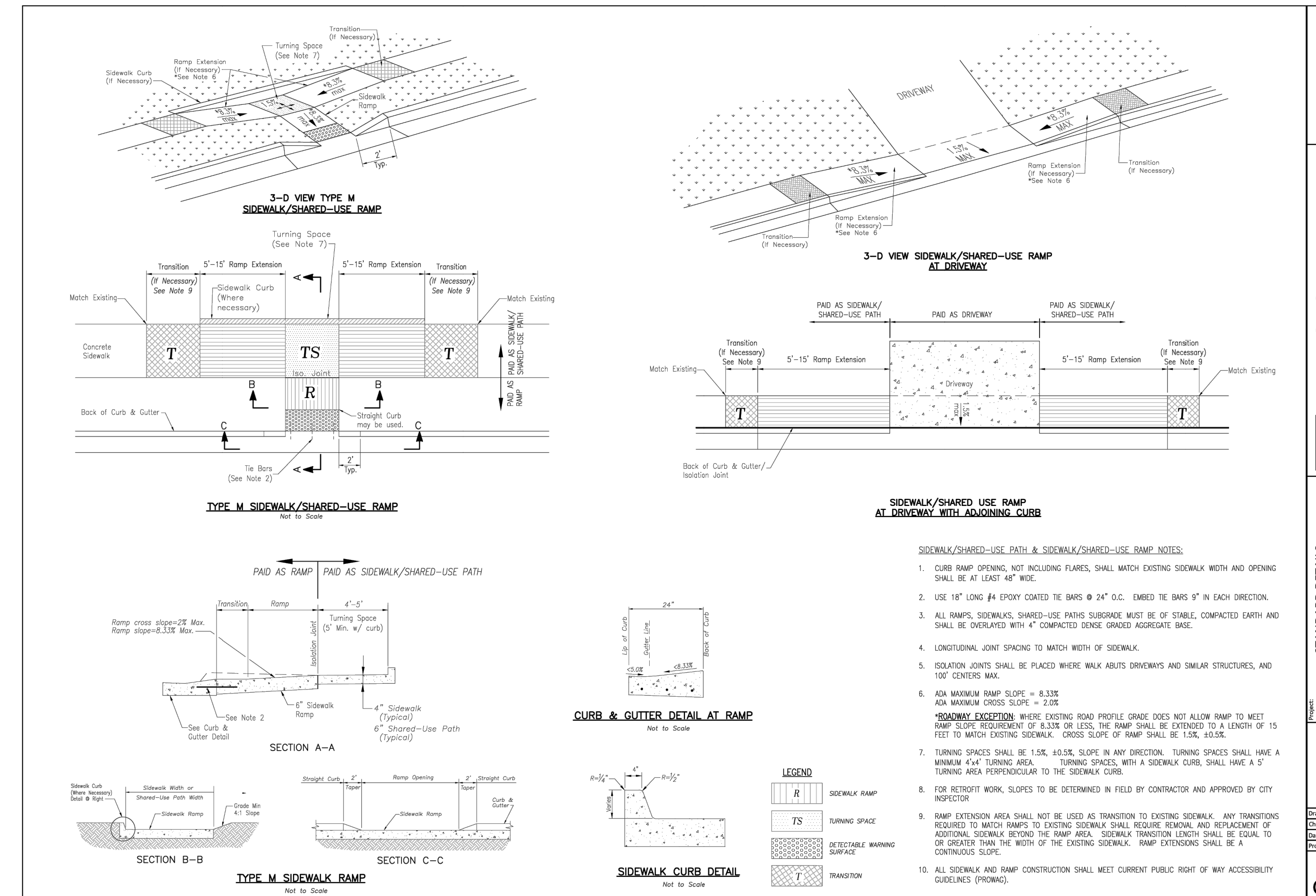
THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

DRAWN BY: EBC DATE: 3-11-11	APPD BY: EBC DATE: 3-11-11	REVISIONS: DATE: 7-28-14 DATE: 7-28-14	PROJECT NO./NAME	TITLE
MATERIAL	SCALE: 1:16	SHEET: 1 OF 1	DWG NO.: 7001-110-421	REV: B

3130 VERONA AVE  
BUFORD, GA 30518  
PHN (770) 932-2443  
FAX (770) 932-2490  
www.nyloplast-us.com

**ADS** Nyloplast

12 IN - 30 IN DOME LOCKING GRATE ASSEMBLY

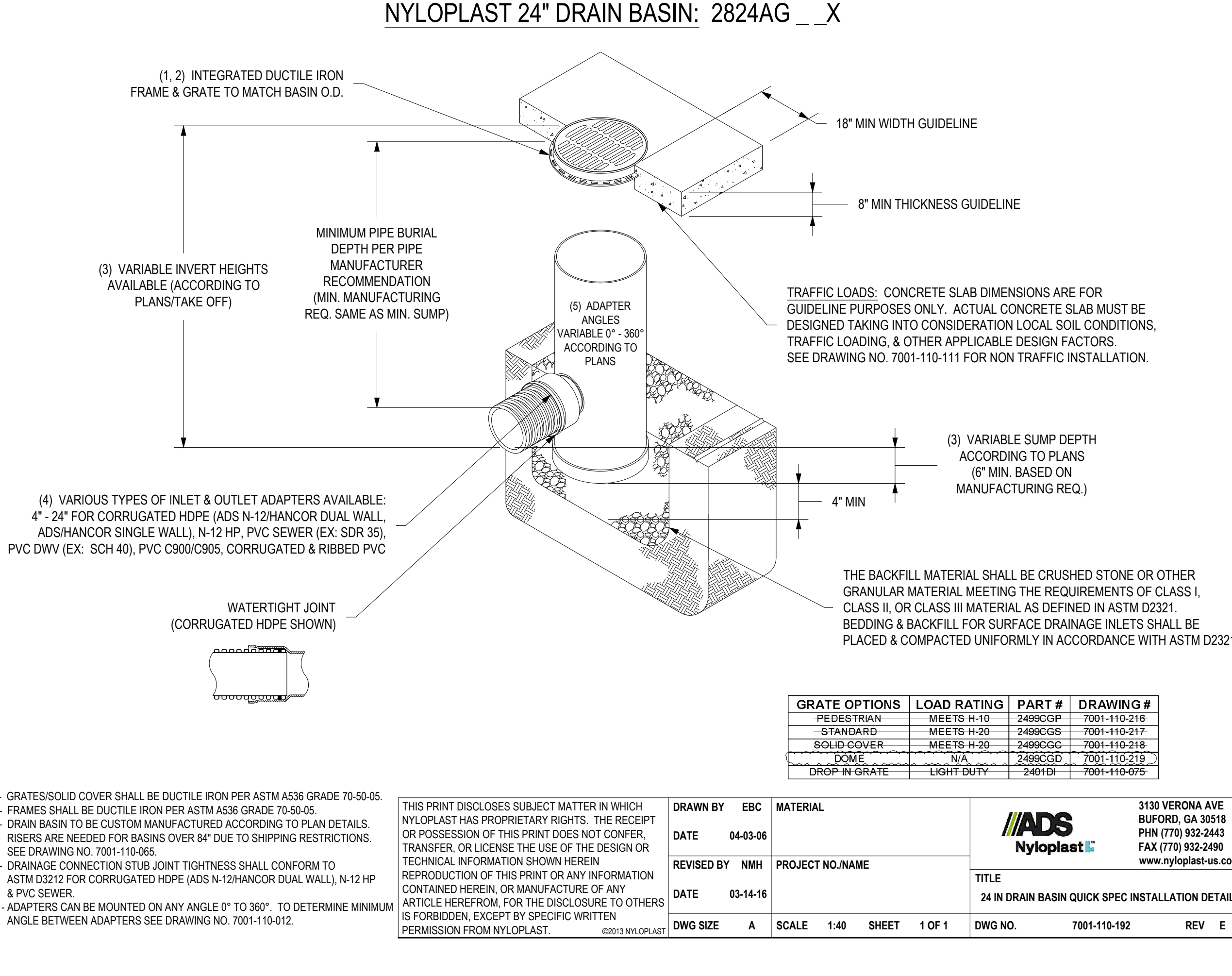


**LS** **LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
ADA RAMP RETROFIT DETAIL

Drawn By: MJF  
Checked By: DL  
Date: 08/2023

**GEN-3B**



**OWN**  
Engineering beyond.

8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006

DRAWN BY: JGD

CHECK BY: JVB

ISSUED DATE: 12/3/2024

FIELD BOOK:

**JEFFREY W. BARTZ**  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF MISSOURI  
NUMBER: PE-301202394  
EXPIRES: 12/03/2024

ISSUED BY:

LICENSE NO:

A licensed Missouri  
Engineering Corporation  
COA# 00062

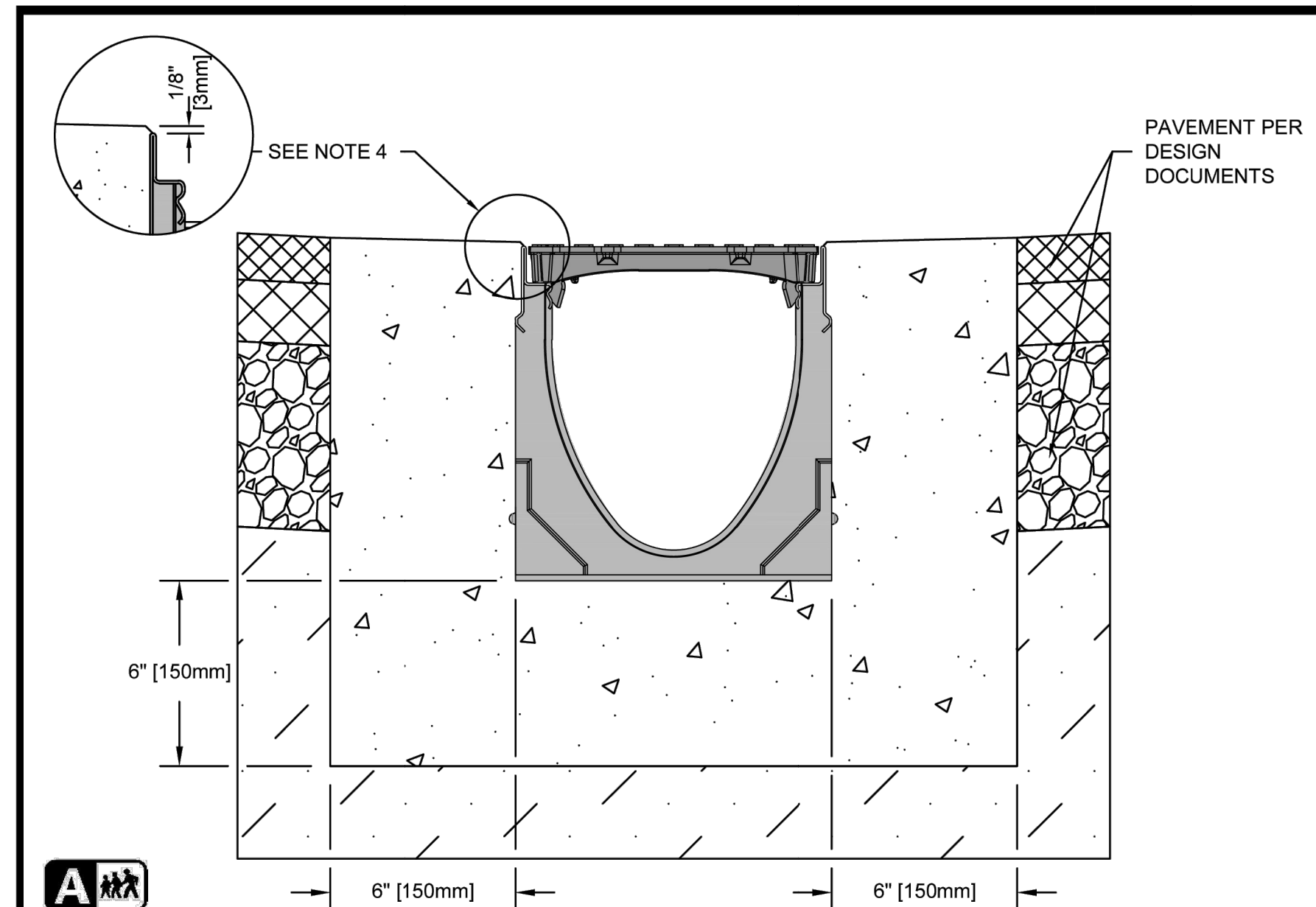
**SHEET TITLE**

**DETAILS - 4**

**SHEET NUMBER**

**C603**

23 OF 25



**SPECIFICATION CLAUSE**

**K200 KLASIKDRAIN 'DRAINLOK' LOAD CLASS A**

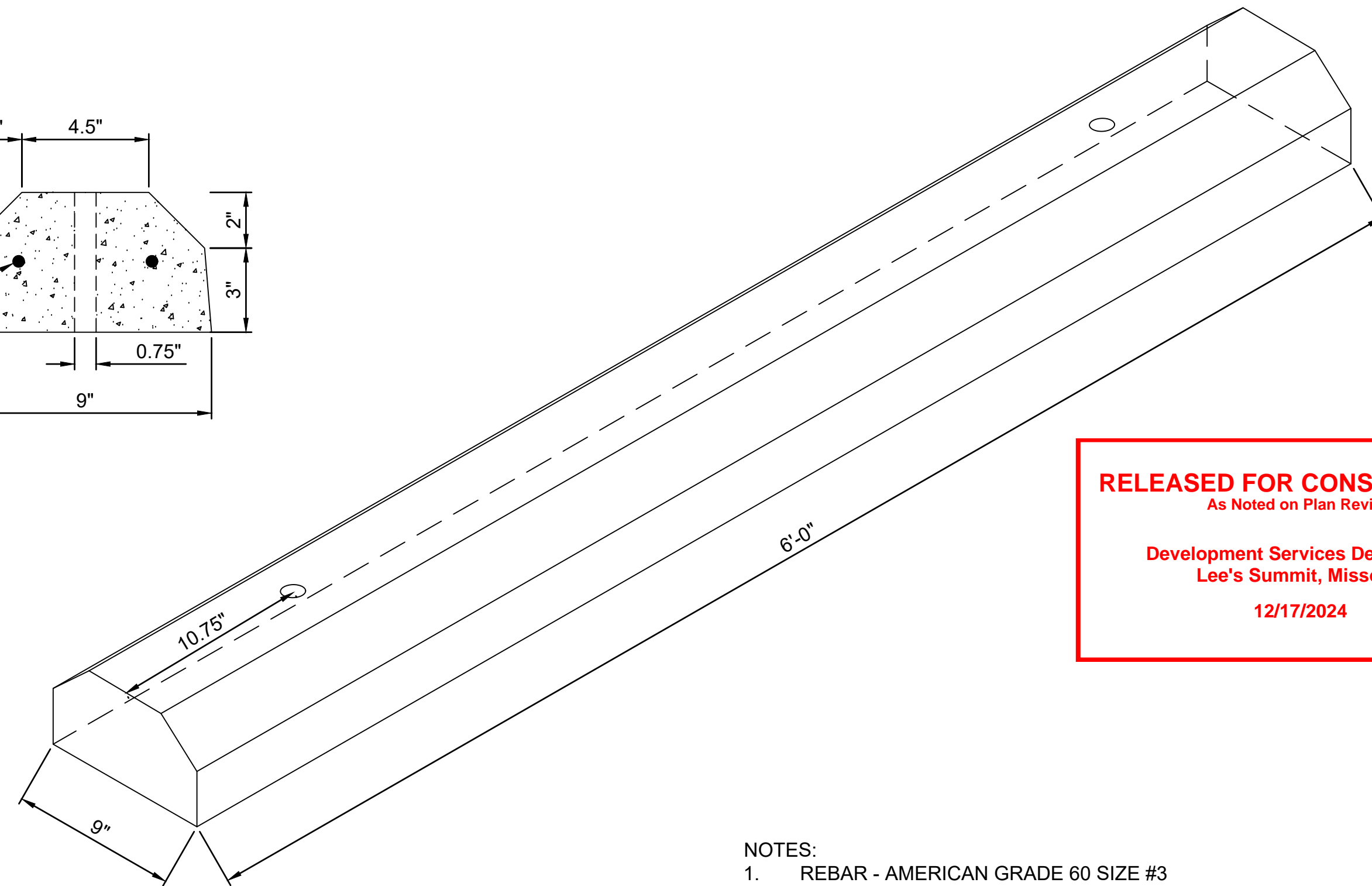
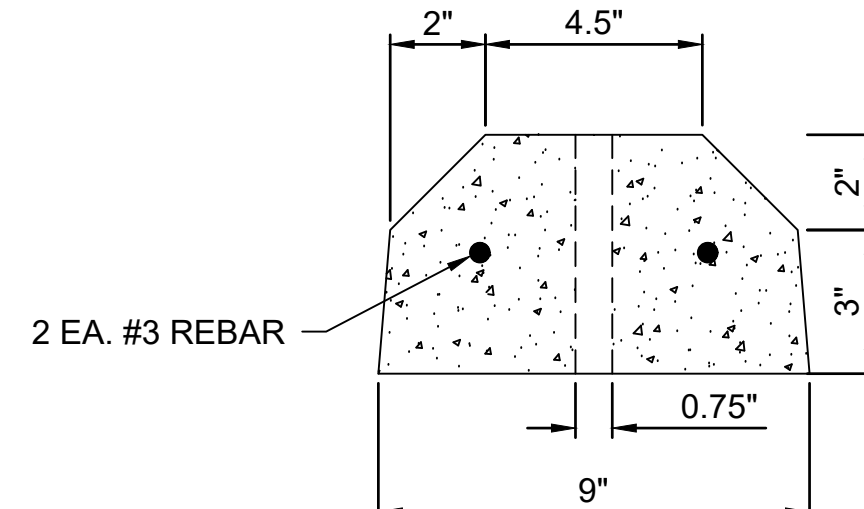
**GENERAL**  
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K200 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

**MATERIALS**  
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:  
 COMPRESSIVE STRENGTH: 14,000 PSI  
 FLEXURAL STRENGTH: 4,000 PSI  
 TENSILE STRENGTH: 1,500 PSI  
 WATER ABSORPTION: 0.07%  
 FROST PROOF: YES  
 DILUTE ACID AND ALKALI RESISTANT: YES  
 B117 SALT SPRAY TEST COMPLIANT: YES

THE SYSTEM SHALL BE 8" (200mm) NOMINAL INTERNAL WIDTH WITH A 10.2" (260mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING 'DRAINLOK' BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.



**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review  
Development Services Department  
Lee's Summit, Missouri  
12/17/2024

- NOTES:**
- REBAR - AMERICAN GRADE 60 SIZE #3
  - 4000 PSI CONCRETE 28 DAY
  - WEIGHT 200 POUNDS

012 PARKING BLOCK (TYP.)  
C200 SCALE: NOT TO SCALE

- NOTES:**
- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. ENGINEERING ADVICE MAY BE REQUIRED.
  - MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
  - EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. ENGINEERING ADVICE MAY BE REQUIRED.
  - THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" [3mm] ABOVE THE TOP OF THE CHANNEL EDGE.
  - CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
  - REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

K2D-A-EAP	<b>K200 - KLASIKDRAIN - LOAD CLASS: A</b> Exposed Asphalt Pavement	<b>ACO Polymer Products, Inc.</b>
	<b>INSTALLATION DRAWING - ACO DRAIN</b>	825 W. Beechcraft St. Casa Grande, AZ 85122 Tel: 520-421-9988 Fax: 520-421-9899 9470 Pinecone Dr. Mentor, OH 44060 Tel: 440-639-7230 Fax: 440-639-7235 4211 Pleasant Rd. Fort Mill, SC 29708 Tel: 440-639-7230 Fax: 803-802-1063
DATE: 08/17/16	Arizona Tel: 888-490-9552 e-mail: sales@acousa.com Ohio Tel: 800-543-4764 www.acousa.com South Carolina Tel: 800-543-4764	

**OWN**  
Engineering beyond.

8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**STORM MANHOLE COVER**

STANDARD 24" MANHOLE COVER  
MINIMUM WEIGHT = 160 LB

\*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCT LIST.

	<b>LEE'S SUMMIT MISSOURI</b>	DATE: 04/30/2024
	PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64083	DRAWN BY: CNS
		CHECKED BY: MJF
		DWG No.

**STM-6**

**SLAB MANHOLE FRAME**  
LEE'S SUMMIT PART NO.: LS103A  
MINIMUM WEIGHT = 145 LB

**STANDARD 24" MANHOLE FRAME**  
LEE'S SUMMIT PART NO.: LS101A  
MINIMUM WEIGHT = 250 LB

\*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCTS LIST.

**STORM MANHOLE FRAME DETAIL**

	<b>LEE'S SUMMIT MISSOURI</b>	DATE: 04/30/2024
	PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64083	DRAWN BY: CNS
		CHECKED BY: MJF
		DWG No.

**STM-7**

**HYDRANT - STRAIGHT SET**

**WAT-7**

DATE: 08/2023  
DRAWN BY: MJF  
CHECKED BY: KLY

**SANITARY SEWER STUB DETAIL**

**SAN-1**

DATE: 08/2023  
DRAWN BY: MJF  
CHECKED BY: AB

**DRAWING INFORMATION**

PROJECT NO: 24KC10006

DRAWN BY: JGD

CHECK BY: JWB

ISSUED DATE: 12/3/2024

FIELD BOOK:

ISSUED BY:  
LICENSE NO: \_\_\_\_\_

A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**DETAILS - 5**

**SHEET NUMBER**

**C604**

24 OF 25



OWN  
Engineering beyond.

8455 College Boulevard  
Overland Park, KS 66210  
816.777.0400  
weareown.com

FORMERLY ANDERSON ENGINEERING

**DISCOVERY PARK  
THE VILLAGE - LOT 9-1**

200 NE ALURA WAY  
DISCOVERY PARK  
LEE'S SUMMIT, MO 64086

LOT 9-1 - THE VILLAGE AT  
DISCOVERY PARK  
NW COLBERN RD & NE DOUGLAS ST

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	04/19/2024
2	PER CITY COMMENTS	10/10/2024
3	PER CITY COMMENTS	12/03/2024

**DRAWING INFORMATION**

PROJECT NO: 24KC10006  
DRAWN BY: JGD  
CHECK BY: JWV  
ISSUED DATE: 12/3/2024  
FIELD BOOK:

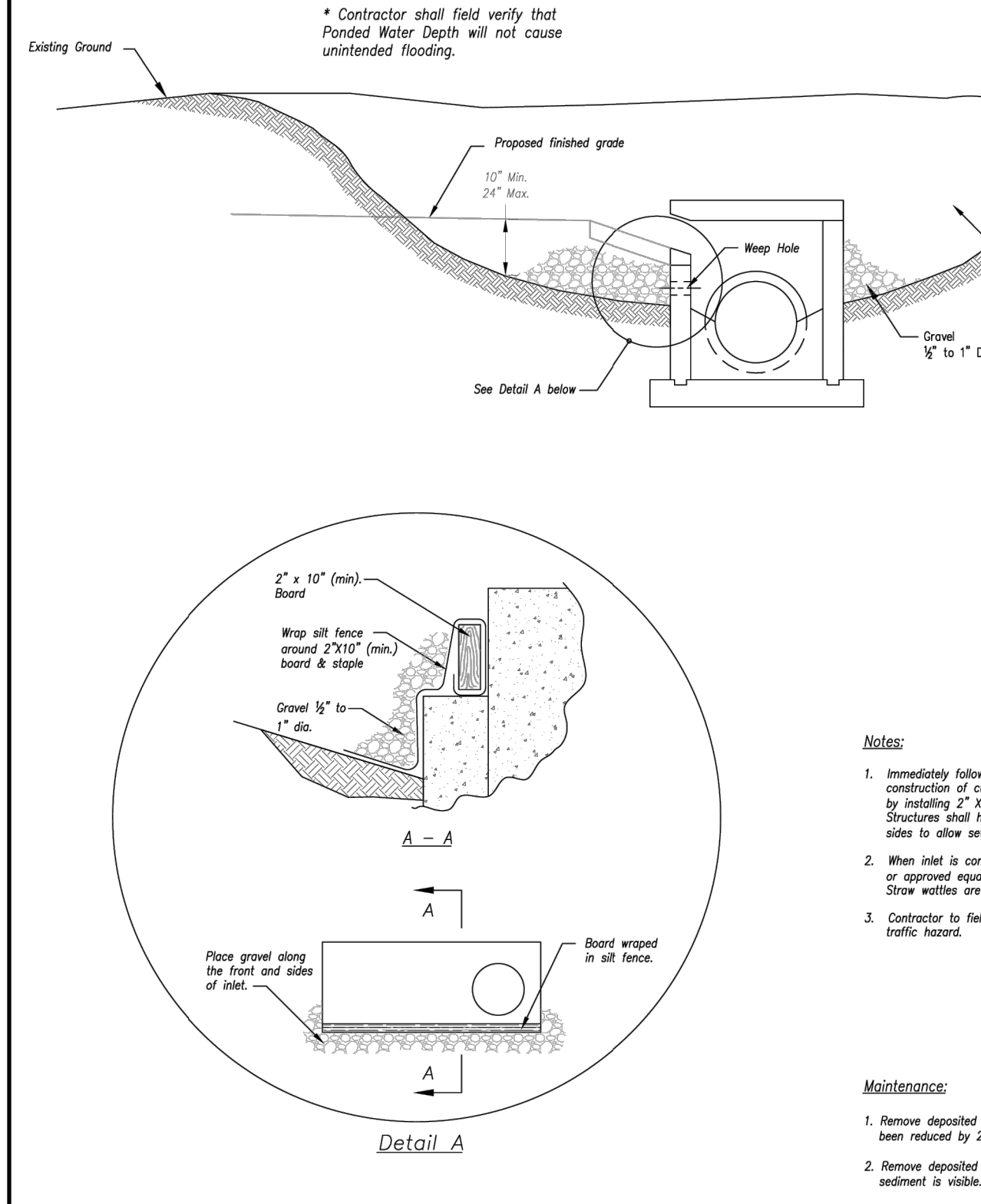
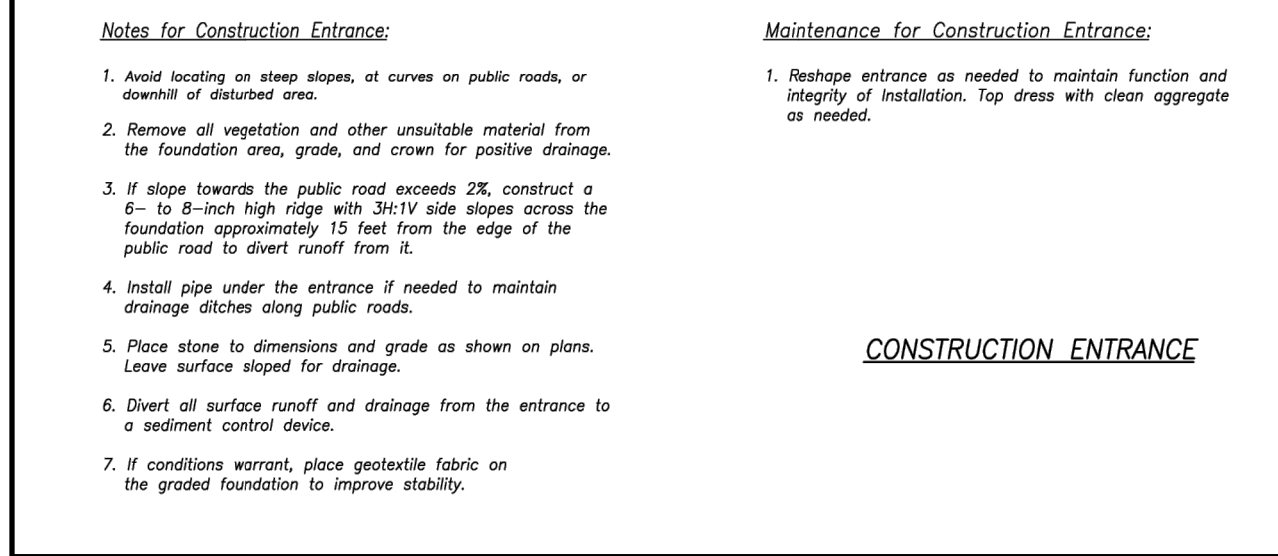
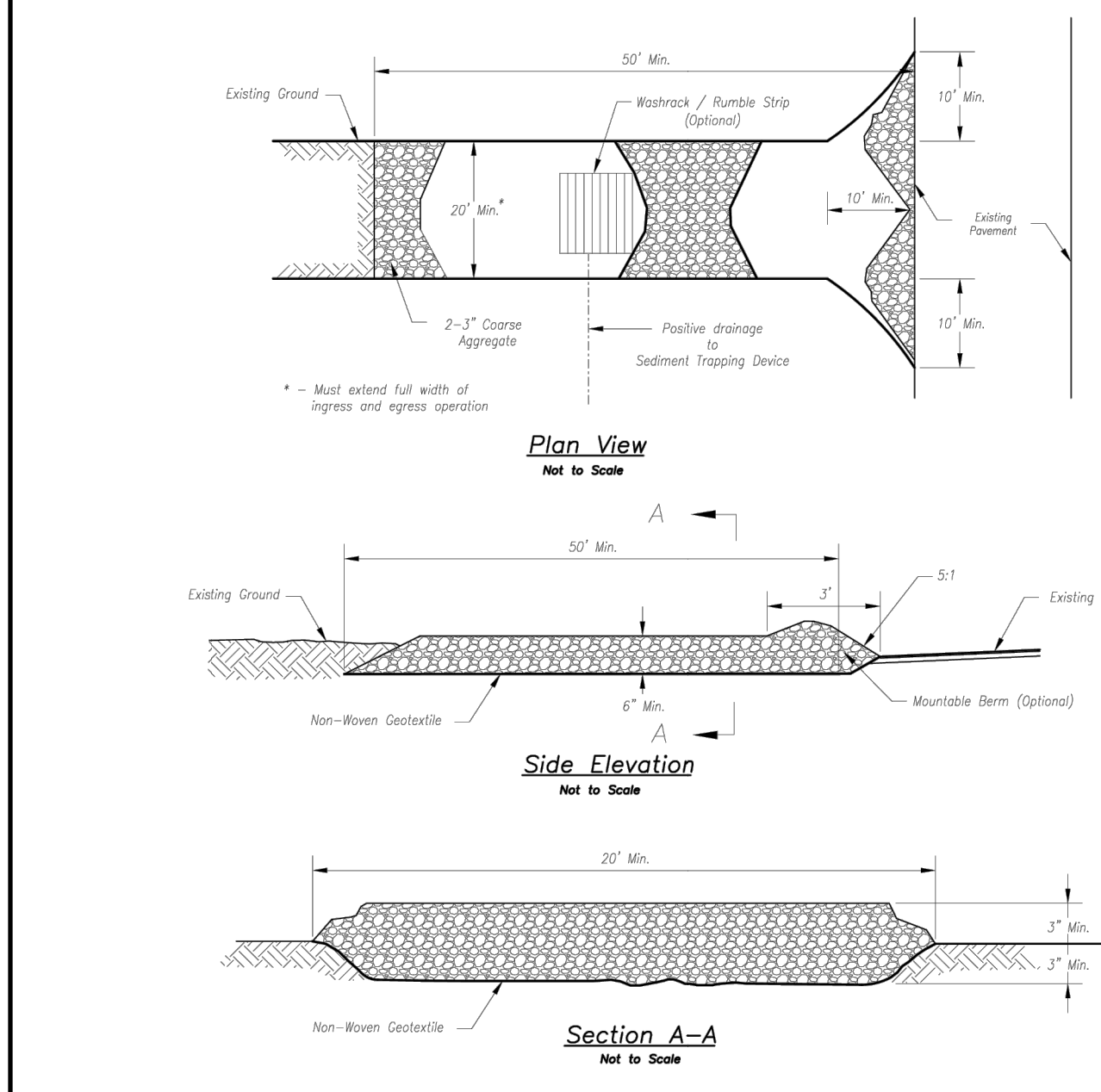
ISSUED BY:  
LICENSE NO:  
A licensed Missouri  
Engineering Corporation  
COA# 00062

**SHEET TITLE**

**ESC DETAILS**

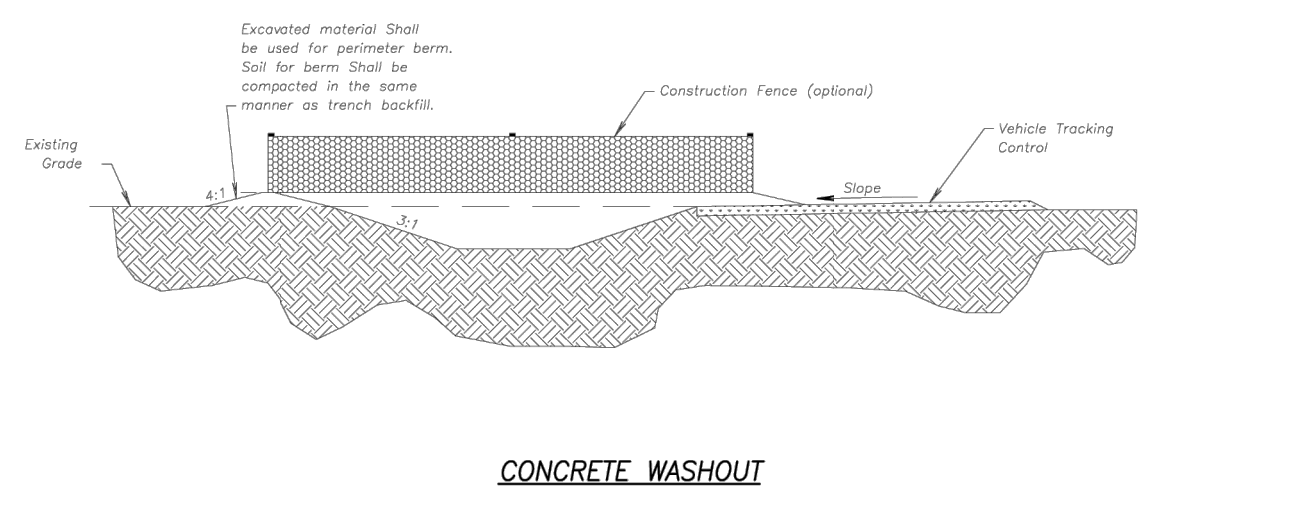
**SHEET NUMBER**

**C605**  
25 OF 25



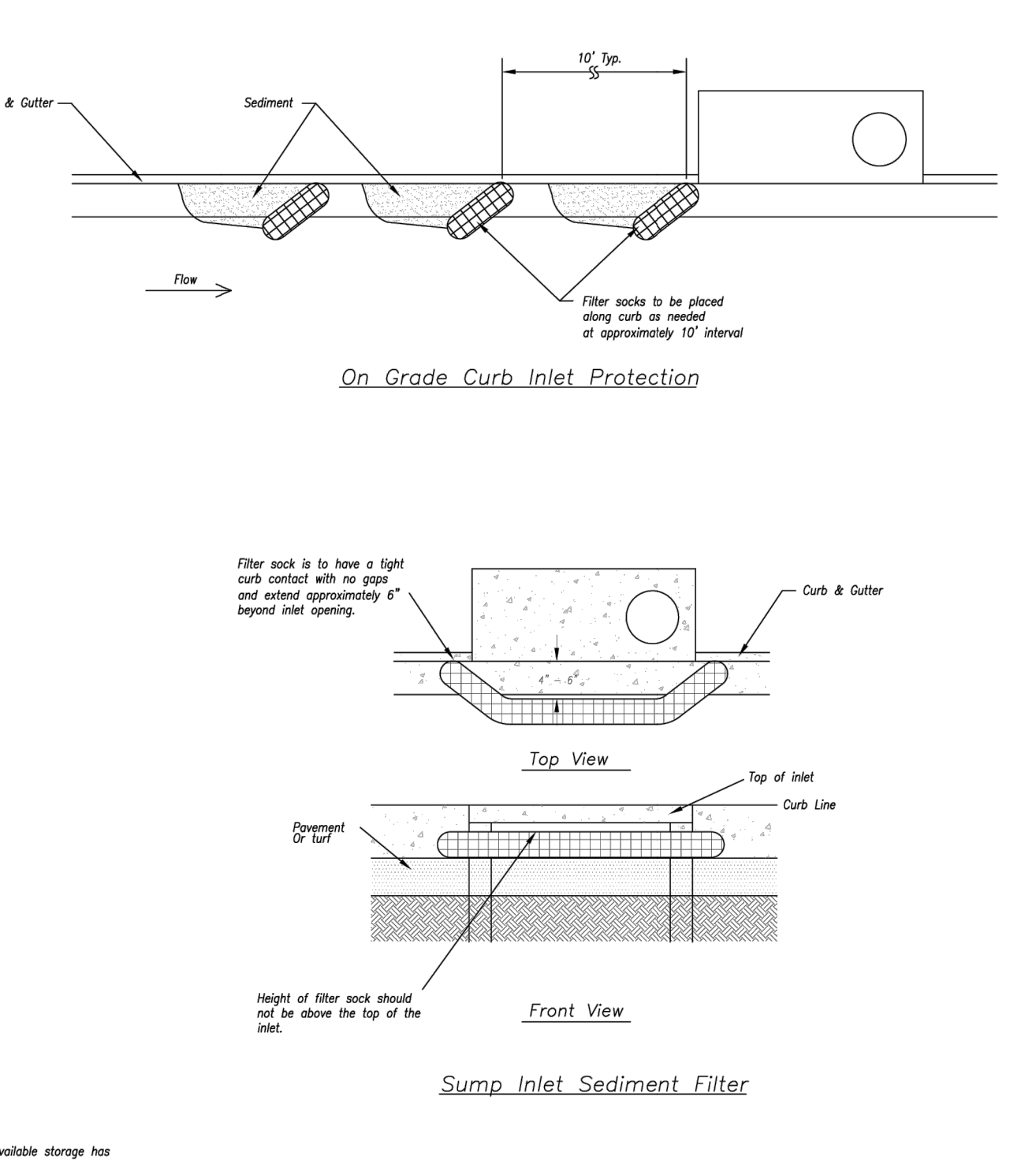
AMERICAN PUBLIC WORKS ASSOCIATION  
Kansas City Metro Chapter  
KANSAS CITY METRO CHAPTER  
STANDARD DRAWING NUMBER ESC-01  
ADOPTED: 10/24/2016

CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT



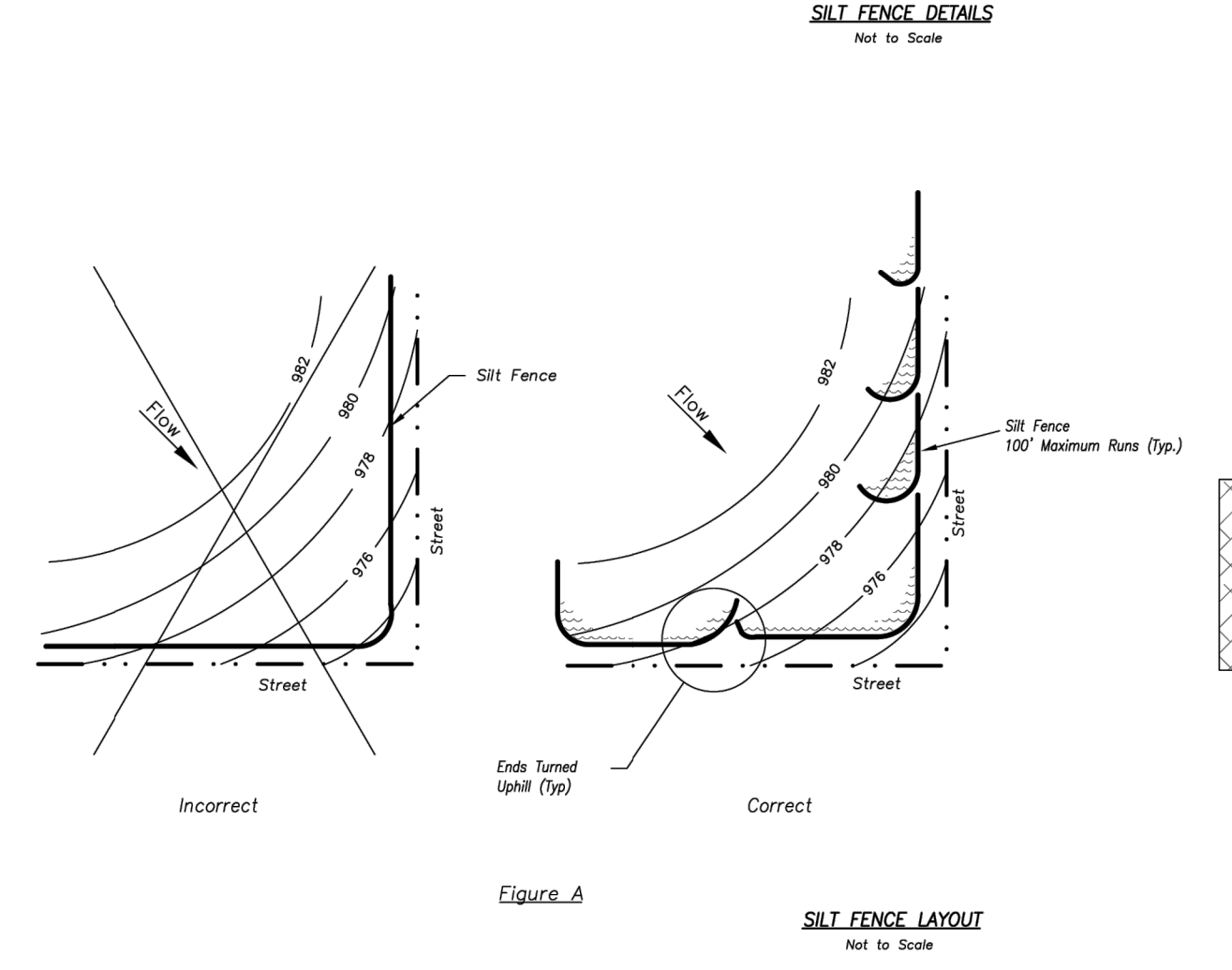
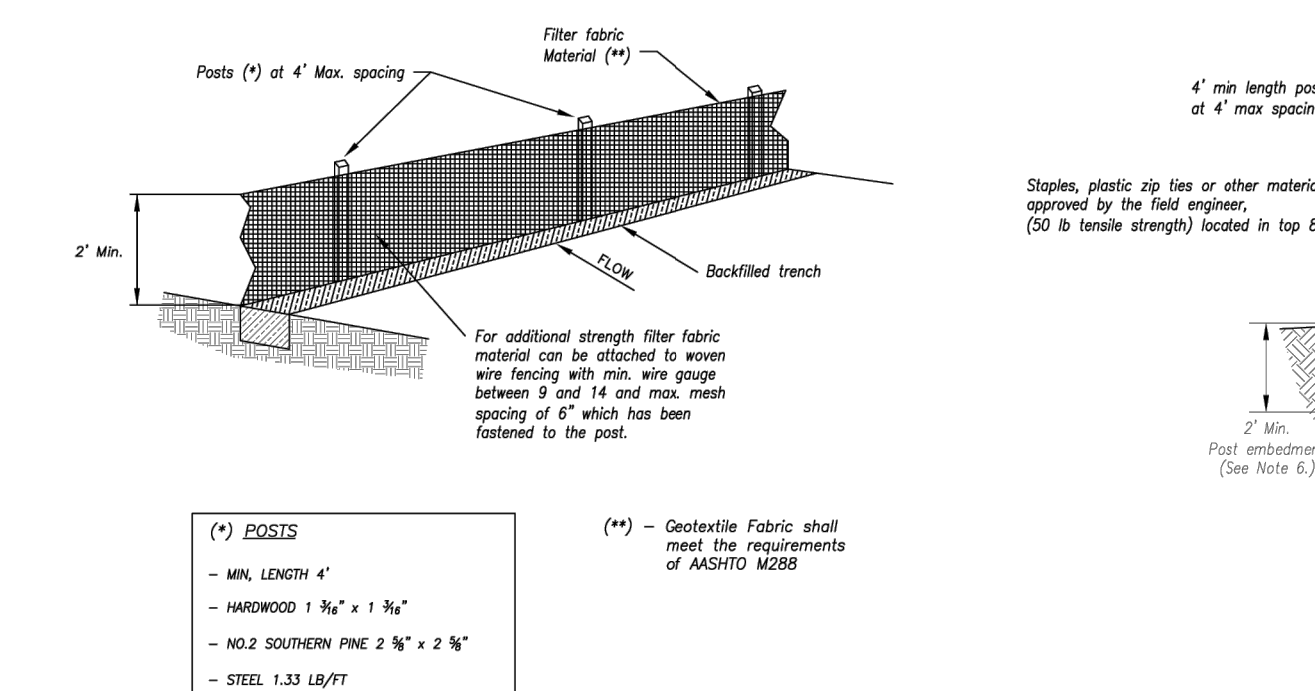
AMERICAN PUBLIC WORKS ASSOCIATION  
Kansas City Metro Chapter  
KANSAS CITY METRO CHAPTER  
STANDARD DRAWING NUMBER ESC-01  
ADOPTED: 10/24/2016

CONCRETE WASHOUT



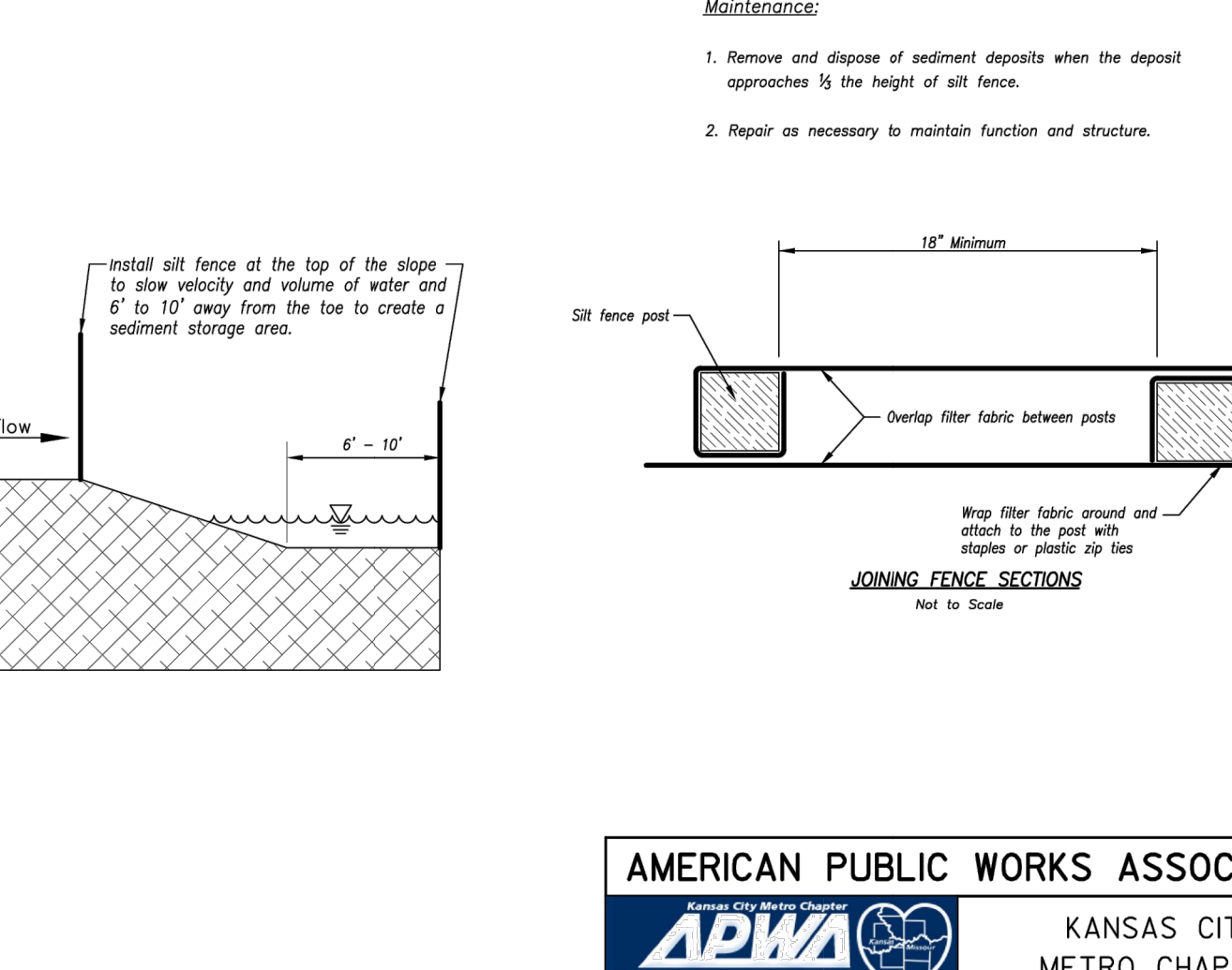
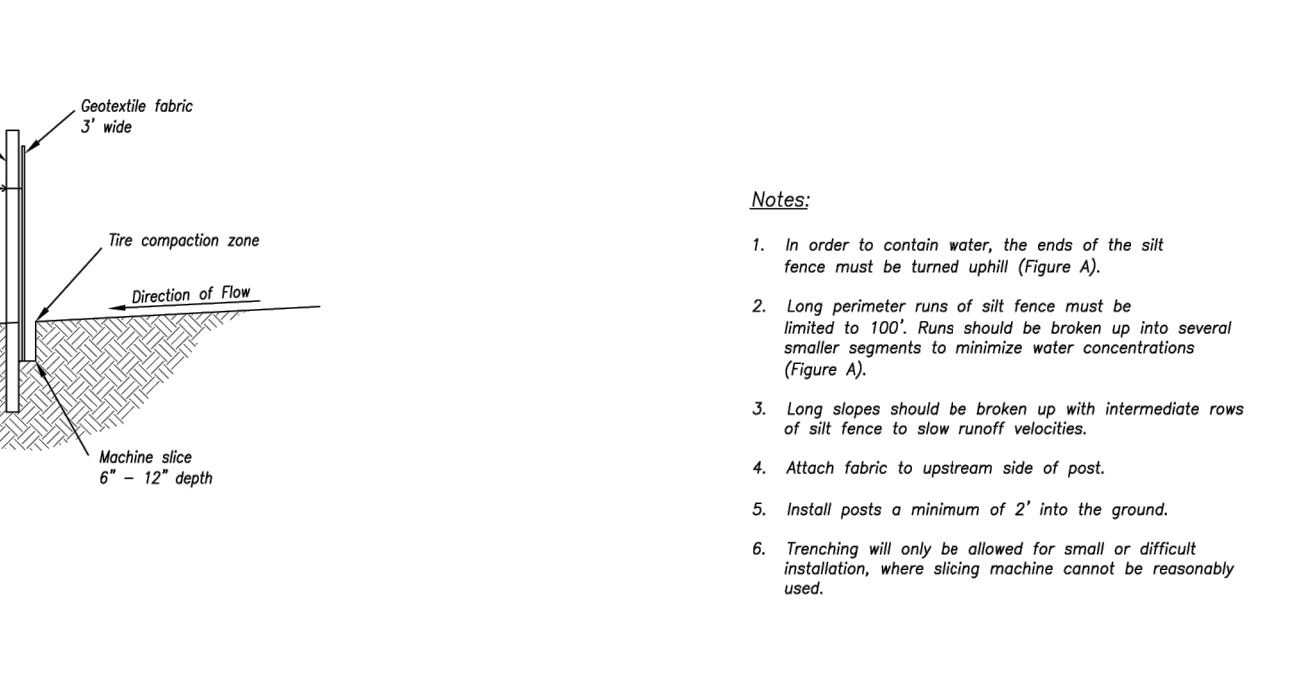
AMERICAN PUBLIC WORKS ASSOCIATION  
Kansas City Metro Chapter  
KANSAS CITY METRO CHAPTER  
STANDARD DRAWING NUMBER ESC-06  
ADOPTED: 10/24/2016

CURB INLET PROTECTION



AMERICAN PUBLIC WORKS ASSOCIATION  
Kansas City Metro Chapter  
KANSAS CITY METRO CHAPTER  
STANDARD DRAWING NUMBER ESC-07  
ADOPTED: 10/24/2016

AREA INLET AND JUNCTION BOX PROTECTION



AMERICAN PUBLIC WORKS ASSOCIATION  
Kansas City Metro Chapter  
KANSAS CITY METRO CHAPTER  
STANDARD DRAWING NUMBER ESC-03  
ADOPTED: 10/24/2016

SILT FENCE