

FINAL DEVELOPMENT PLAN FOR MID-CONTINENT PUBLIC LIBRARY COLBERN ROAD BRANCH ENTRANCE IMPROVEMENTS

NE 1/4 OF SECTION 29, TOWNSHIP 48 NORTH, RANGE 31 WEST
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

Sheet Number	Sheet Title
C1.0	TITLE SHEET
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C1.2	DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING DETAILS
C3.1	GRADING DETAILS
C4.0	STANDARD DETAILS
C4.1	STANDARD DETAILS
C5.0	TRAFFIC CONTROL PLAN
C5.1	TRAFFIC CONTROL DETAILS
C5.2	TRAFFIC CONTROL DETAILS



NOT TO SCALE

DEVELOPMENT TEAM CONTACT INFORMATION

OWNER/DEVELOPER	
AARON MASON MID-CONTINENT PUBLIC LIBRARY	ADMINISTRATIVE HEADQUARTERS 15616 E. 24 HWY. INDEPENDENCE, MO 64050 816.836.5200
CIVIL ENGINEER	
TERRY PARSONS OLSSON	7301 W. 133RD STREET SUITE 200 OVERLAND PARK, KS 66213 PH: 913.381.1170 FAX: 913.381.1174 tparsons@olsson.com

UTILITY AND GOVERNING AGENCY CONTACT INFORMATION	
CITY OF LEE'S SUMMIT, MISSOURI	220 SE GREEN LEE'S SUMMIT, MO 64063
CITY HALL	816.969.1000
BUILDING INSPECTIONS	816.969.1200
SPECIAL INSPECTIONS	816.969.1200
BUILDING PERMITS	816.969.1200
LAND DEVELOPMENT DIVISION/INSPECTIONS	816.969.1200
TRAFFIC OPERATIONS	816.969.1800
LEE'S SUMMIT WATER UTILITIES	1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081
LEE'S SUMMIT WATER & SERVICES	816.969.1940
LEE'S SUMMIT PUBLIC WORKS	816.969.1800
SPIRE (MGE)	314.342.0500
KANSAS CITY POWER & LIGHT	8700 EAST FRONT STREET KANSAS CITY, MO 64120 816.471.5275
TELEPHONE SERVICE	
AT&T	816.221.1781
CABLE TELEVISION SERVICE	
SPECTRUM	877.772.2253
GOOGLE FIBER	877.454.6959

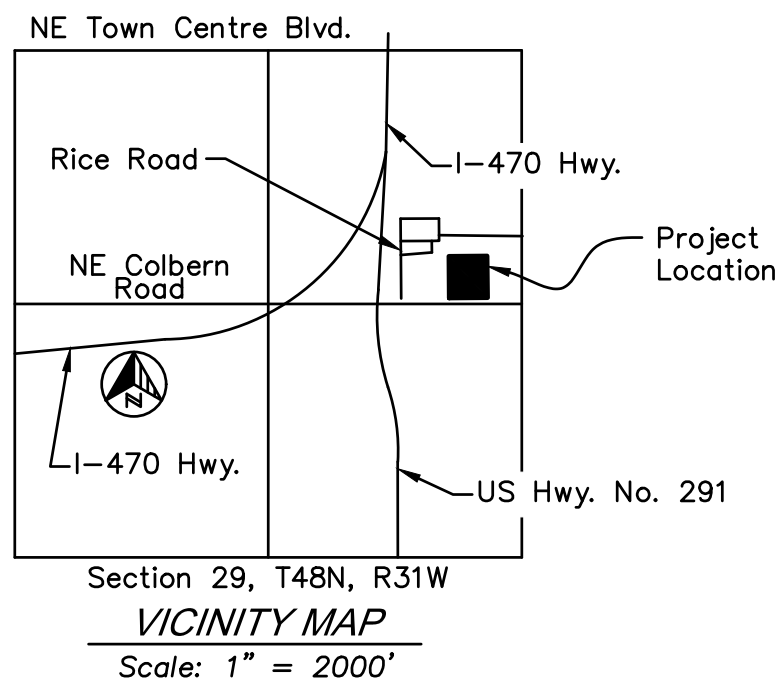
BENCHMARKS:

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BENCHMARK #1:
MO BRAUN 3: ALUMINUM NGS DISK SET IN CONCRETE 5'± ABOVE GRADE 57'± WEST OF
I-470 PAVED SHOULDER STAMPED "BRAUN 3, 1979"
PUBLISHED GRID COORDINATES (2003 ADJUSTMENT)
N: 310136.375M, E: 862153.323M
ELEV = 305.7M
GRID FACTOR: 0.9999001
ROUND COORDINATES (US SURVEY FEET):
N: 1017506.29', E: 2828581.25'
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LEGAL DESCRIPTION:

ALL OF LOT 1, RICE ACRES, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, TOGETHER WITH ALL THAT PART OF AN UNPLATTED TRACT OF LAND, ALL LYING IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 48 NORTH, RANGE 3 WEST, DESCRIBED BY TIMOTHY BLAIR WISWELL, MO-PLS 2009000067, OF OLSSON, INC. LC-366, AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 48 NORTH, RANGE 31 WEST; THENCE NORTH 88 DEGREES 28 MINUTES 52 SECONDS WEST, ON THE SOUTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 755.18 FEET TO A POINT ON THE SOUTHERLY EXTENSION OF THE WEST LINE OF LOT 1, RICE ACRES, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI; THENCE NORTH 01 DEGREE 23 MINUTES 04 SECONDS EAST, DEPARTING SAID SOUTH LINE, ON SAID SOUTHERLY EXTENSION, A DISTANCE OF 55.66 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1, THE POINT OF BEGINNING; THENCE NORTH 01 DEGREE 23 MINUTES 04 SECONDS EAST, ON SAID WEST LINE, A DISTANCE OF 436.21 FEET TO THE NORTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 88 DEGREES 38 MINUTES 41 SECONDS EAST, ON THE NORTH LINE OF SAID LOT 1 AND ITS EASTERLY EXTENSION, A DISTANCE OF 400.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 01 DEGREE 23 MINUTES 04 SECONDS WEST, ON SAID EASTERLY EXTENSION, A DISTANCE OF 436.21 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 88 DEGREES 38 MINUTES 41 SECONDS WEST, ON SAID EASTERLY EXTENSION AND ON SAID SOUTH LINE, A DISTANCE OF 400.00 FEET TO THE POINT OF BEGINNING, CONTAINING 174.485 SQUARE FEET OR 4.0056 ACRES, MORE OR LESS.

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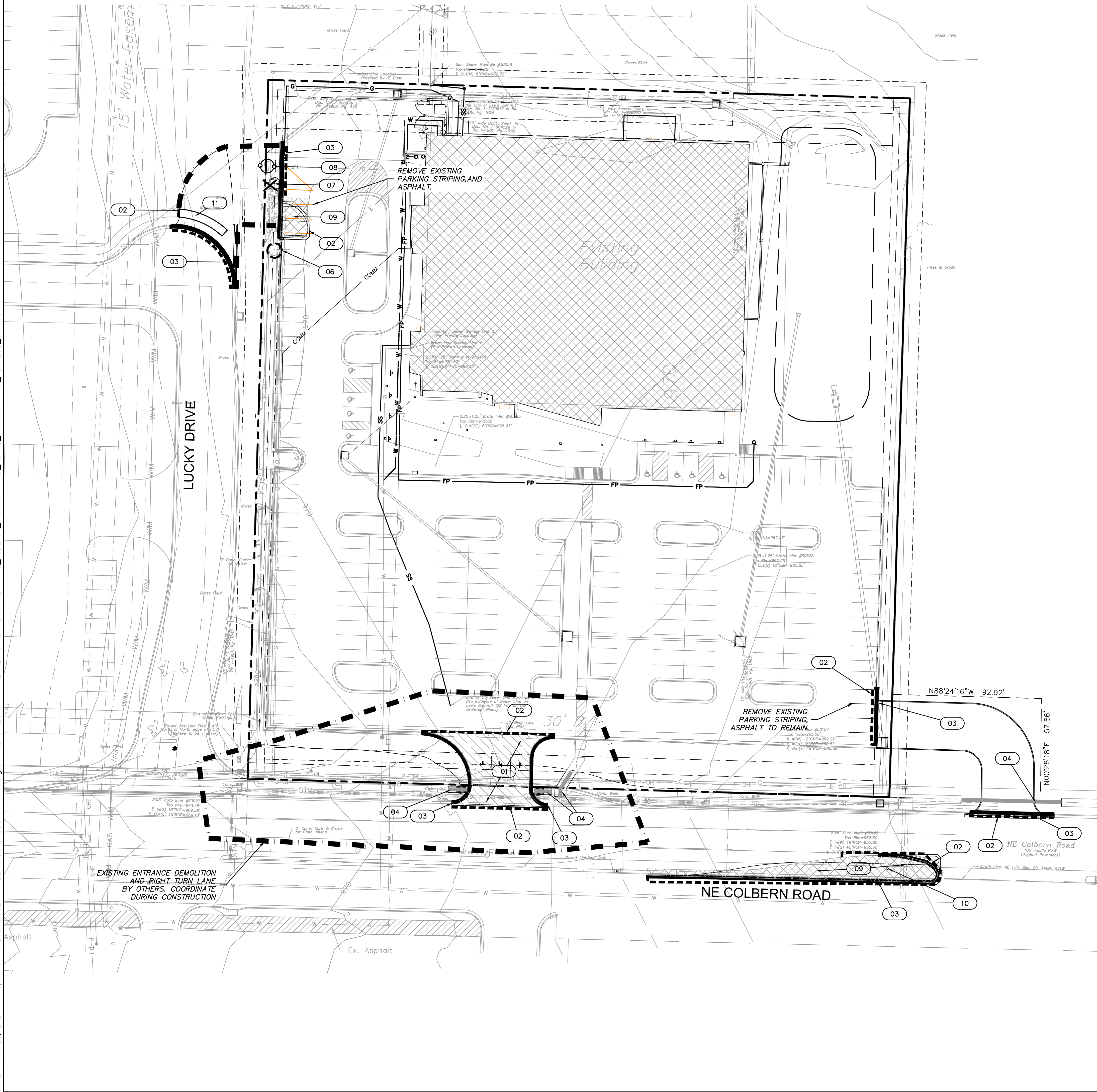
<p>TITLE SHEET</p> <p>FINAL DEVELOPMENT PLAN</p>	
<p>COLBURN ROAD BRANCH ENTRANCE IMPROVEMENTS</p> <p>1000 NE COLBURN ROAD</p>	
LEE'S SUMMIT, MISSOURI	2024

drawn by: _____
checked by: _____
approved by: _____
QA/QC by: _____
project no.: _____
drawing no: TTL01_0180330.dwg
date: _____

SHEET
C1.0

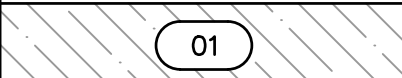
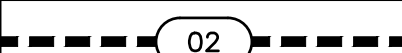
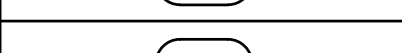
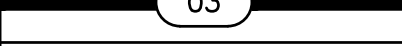
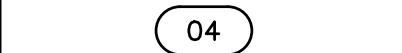
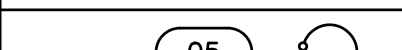
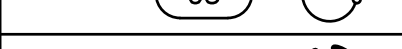
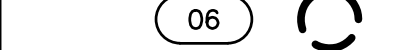
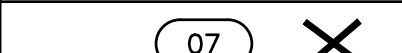
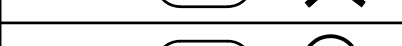
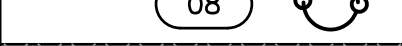
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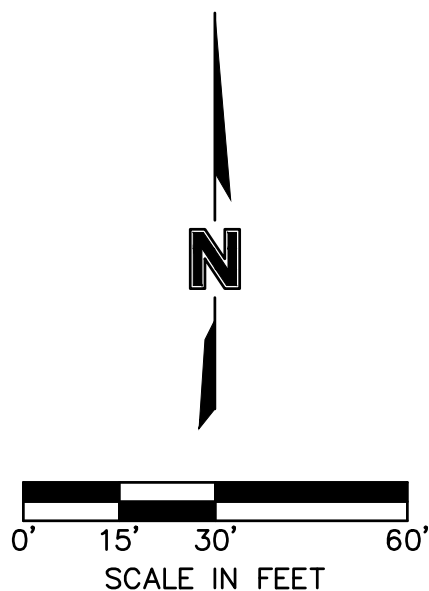
LEGEND

PROPERTY LINE

KEY NOTE LEGEND	
	01 REMOVE EXISTING CONCRETE ENTRANCE.
	02 SAWCUT EXISTING PAVEMENT
	03 REMOVE EXISTING CURB & GUTTER
	04 NOT USED
	05 PROTECT EXISTING UTILITY EQUIPMENT/ MANHOLE
	06 INSTALL TREE PROTECTION. SEE DETAIL ON C6.5
	07 REMOVE EXISTING TREE
	08 RELOCATE EXISTING ELECTRICAL BOX
	09 REMOVE EXISTING ASPHALT
	10 CONTRACTOR TO RELOCATE EXISTING LIGHT POLE. COORDINATE WITH CITY OF LS.
	11 REMOVE EXISTING CONCRETE SIDEWALK

DEMOLITION NOTES

1. CONTRACTOR TO PRESERVE ALL SURVEY CONTROL.
2. CONTRACTOR TO COMPLETE DEMOLITION PER THE INTENT OF THESE PLANS.
3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS INCLUDES PRIVATE AND PUBLIC UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT MISSOURI ONE CALL AT 1-800-344-7483 IN ADVANCE OF ANY EXCAVATION TO COORDINATE UTILITY LOCATIONS.
4. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER EXISTING LINES NOT OF RECORD OR SHOWN ON THESE PLANS.
5. CONTRACTOR TO REMOVE ALL TREES AND BRUSH FOR INSTALLATION OF IMPROVEMENTS.
6. REMOVAL AND DISPOSAL OF BUSHES AND TREES SMALLER THAN 12" IN DIAMETER SHALL BE CONSIDERED SUBSIDIARY TO THE PRICE BID FOR CLEARING AND GRUBBING.
7. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
8. DO NOT DISRUPT UTILITY SERVICE TO ADJACENT BUSINESSES OR RESIDENCES WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
9. DO NOT DISRUPT TRAFFIC ON ADJACENT PUBLIC STREETS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY.
10. ALL SIDEWALK AND PAVEMENT TO REMAIN SHALL BE PROTECTED IN PLACE INCLUDING PROTECTION FROM DAMAGE CAUSED BY REMOVAL OF ABUTTING PAVEMENT. CONTRACTOR SHALL SAW CUT WHERE NECESSARY.
11. CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DISCONNECTION, DEMOLITION, AND REMOVAL OF SERVICE LINES. CAP ALL LINES BEFORE PROCEEDING WITH WORK ON THIS CONTRACT.
12. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES WORK FORCE AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANIES FOR THEIR SERVICES.
13. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. TO THE BEST PRACTICES AND AS APPROVED BY THE ENGINEER AND THE CITY.
14. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
15. DEMOLITION OF BUILDINGS SHALL INCLUDE THE BUILDING STRUCTURE, PAD, FOOTINGS, FOUNDATIONS, BASEMENT WALLS, BASEMENT FLOORS, TRUCK DOCKS, STEPS, DECKS, ALL ITEMS REMAINING IN BUILDING, ALL BUILDING UTILITY SERVICES, SIDEWALKS, BACKFILLING AND RESTORING REMAINING EXCAVATIONS, BASEMENTS AND TRENCHES PER SPECIFICATIONS. ALL REMOVALS SHALL INCLUDE BUT NOT BE LIMITED TO ITEMS SUCH AS BUILDING FOOTINGS, SUBSURFACE STRUCTURES, SURFACE STRUCTURES, DRAINAGE STRUCTURES, PIPES, PAVEMENT OF ALL TYPES, CURB & GUTTER, SIDEWALK, ROCK, ABANDONED UTILITIES AS DIRECTED BY THE ENGINEERS, TREES, TREE ROOTS, ANY UNKNOWN MATERIALS, AND UNSUITABLE SUBGRADE MATERIALS. THE SITE SHOULD BE CLEARED FOR THE PROPOSED IMPROVEMENTS PER CITY REQUIREMENTS.
16. ALL LIGHT POLE DEMOLITION SHALL INCLUDE FIXTURES, BASES AND WIRING.
17. ALL UTILITY DEMOLITION SHALL INCLUDE METERS, MANHOLES AND OTHER STRUCTURES ASSOCIATED WITH THE UTILITY SERVICE LINE.



DEMOLITION PLAN FINAL DEVELOPMENT PLAN

COLBERN ROAD IMPROVEMENTS
MCPL - COLBERN ROAD

LEE'S SUMMIT, MISSOURI

2024

REV. NO.	DATE	REVISIONS DESCRIPTION
1	11.14.2024	REVISED PER CITY COMMENT

RLK

1

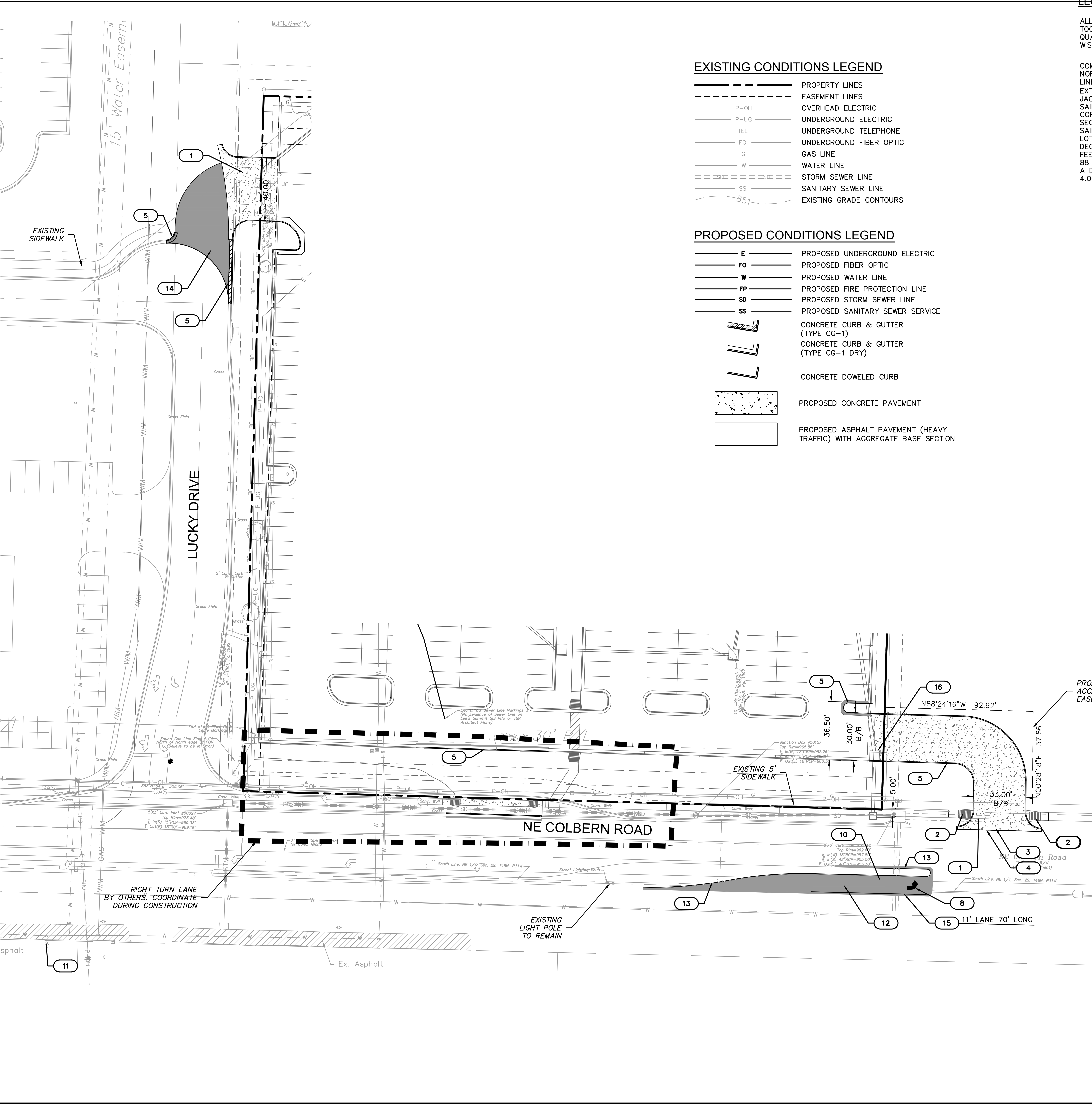
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TEL 913.381.1170 www.olsson.com

drawn by: _____ JTF
checked by: _____ TP
approved by: _____ TP
QA/QC by: _____ BS
project no.: _____ 018-0330 WP10
drawing no. C _____ DEM 0180330.dwg
date: _____ 11/01/2024

SHEET
C1.2

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EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- - - EASEMENT LINES
- P-OH OVERHEAD ELECTRIC
- P-UG UNDERGROUND ELECTRIC
- TEL UNDERGROUND TELEPHONE
- FO UNDERGROUND FIBER OPTIC
- G GAS LINE
- W WATER LINE
- SS STORM SEWER LINE
- SS SANITARY SEWER LINE
- 851- EXISTING GRADE CONTOURS

PROPOSED CONDITIONS LEGEND

- E PROPOSED UNDERGROUND ELECTRIC
- FO PROPOSED FIBER OPTIC
- W PROPOSED WATER LINE
- FP PROPOSED FIRE PROTECTION LINE
- SD PROPOSED STORM SEWER LINE
- SS PROPOSED SANITARY SEWER SERVICE
- CONCRETE CURB & GUTTER (TYPE CG-1)
- CONCRETE CURB & GUTTER (TYPE CG-1 DRY)
- CONCRETE DOWELED CURB
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT (HEAVY TRAFFIC) WITH AGGREGATE BASE SECTION

LEGAL DESCRIPTION

ALL OF LOT 1, RICE ACRES, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSONCOUNTY,MISSOURI, TOGETHER WITH ALL THAT PART OF AN UNPLATTED TRAC T OF LAND, ALL LYING IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 48 NORTH, RANGE 31 WEST, DESCRIBED BY TIMOTHY BLAIR WISWELL, MO-PLS 2009000067, AS FOLLOWS:

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SITE DATA

ZONING & SITE AREA		
PROPOSED USE: PUBLIC LIBRARY		
SITE AREA		ZONING
LOT 2 (AS DECRIBED):	4.00 ACRES (174,237 SF)	CP-2
IMPERVIOUS:	2.58 ACRES (112,384 SF) (64%)	
PERVIOUS:	1.42 ACRES (61,855 SF) (36%)	
FAR (0.55 MAX):	0.15	
BUILDING AREA		
BUILDING TYPE	# STORIES	SQUARE FOOTAGE
BUILDING	1	34,030 SF
PARKING		
USE	REQUIRED	PROVIDED
LIBRARY	4 PER 1000 SF = 136	157
ADA	4 (PER CITY TABLE)	8
TOTAL	136	165 (INCLUDING ADA)

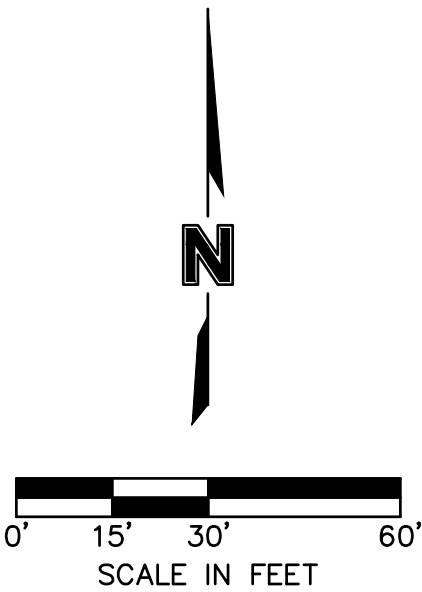
KEY NOTE LEGEND: (x)

- CONCRETE COMMERCIAL ENTRANCE PER CITY DETAIL
- CONSTRUCT ADA RAMP
- CONSTRUCT CONCRETE APRON
- PROPOSED FULL DEPTH SAW CUT
- PROPOSED CONCRETE TYPE CG-1 CURB
- PROPOSED CONCRETE SIDEWALK
- RELOCATE ELECTRICAL BOX COORDINATE WITH EVERY PRIOR TO PLACEMENT OF PAD FOR FINAL ALIGNMENT.
- THERMOPLASTIC LEFT TURN ARROW PER CITY STANDARDS
- PROPOSED CONCRETE DRIVE
- CONTRACTOR TO RELOCATE LIGHT POLE 5.3' TO THE NORTH. COORDINATE WITH CITY OF LS.
- EXISTING FIRE HYDRANT.
- RECONSTRUCT ASPHALT PAVEMENT IN EFFECTED AREA. CONTRACTOR TO VERIFY PAVEMENT CONDITION AND REPLACE AS NECESSARY
- INSTALL DOWELED CURB PER CITY STANDARDS
- PROPOSED HEAVY DUTY ASPHALT
- 4" PAINTED WHITE LINE PER CITY STANDARDS
- CONVERT EXISTING CURB INLET TO CURB GRADE INLET PER DETAIL

NOTE:

TO DATE, SUBJECT PROPERTY CONTAINS NO VISIBLE EVIDENCE OF ABANDONED OIL OR GAS WELLS LOCATED WITHIN THE PROPERTY BOUNDARY IDENTIFIED IN "ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI," BY EDWARD ALTON MAY, JR., DATED 1995.

THERE ARE NO FEMA DELINATED FLOODPLAINS ON THE PROPERTY.



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BY

REVISIONS DESCRIPTION

REV. NO.

DATE

11.14.2024

1

REVISED PER CITY COMMENTS

RLK

SITE PLAN

FINAL DEVELOPMENT PLAN

COLBERN ROAD IMPROVEMENTS

MCPL - COLBERN ROAD

LEE'S SUMMIT, MISSOURI

2024

drawn by: JTF

checked by: TP

approved by: TP

QA/QC by: BS

project no.: 018-0330 WP10

drawing no.: SIT01_0180330.dwg

date: 11/01/2024

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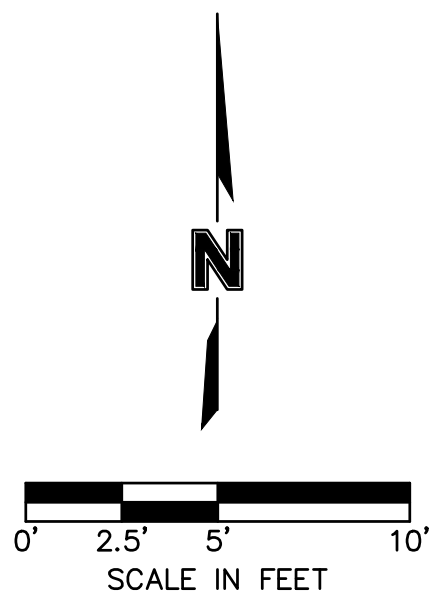
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NOTE:

CONTRACTOR TO FIELD VERIFY ELEVATION PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF DISCREPANCIES.

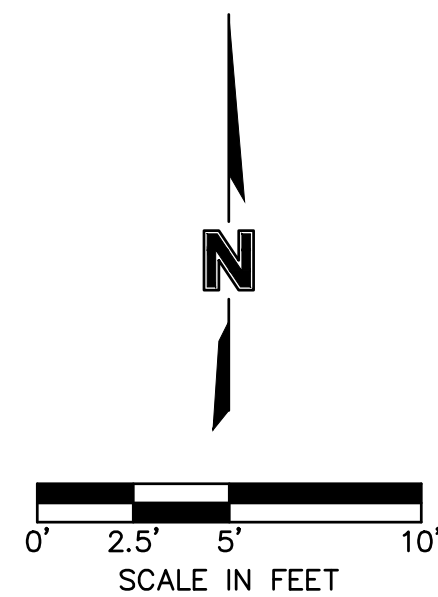


drawing by: _____ JTF		7301 West 133rd Street, Suite 200 Overland Park, KS 66213-4750 TEL 913.381.1170 www.olsson.com
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approved by: _____ TP		
QA/QC by: _____ BS		
project no.: 018-0330 WPHD		
drawing no. C_GRD_0180330.dwg		
date: 11/01/2024		
SHEET C3.0		

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GRADING DETAILS

COLBERN ROAD IMPROVEMENTS
MCPL-COLBERN ROAD

LEE'S SUMMIT, MISSOURI

2024

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REVISIONS

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SHEET
C3.1

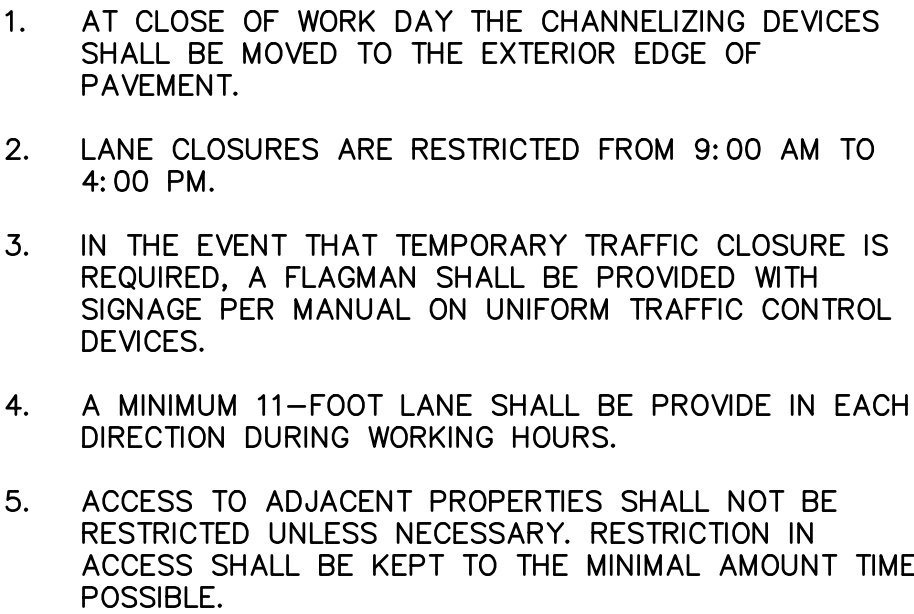


-
- NEENAH GRATE R-3067-L WITH CURB PLATE (HEAVY DUTY)
- BACK OF CURB
- MATCH EXISTING STRUCTURE
- #5 REBAR EW @ 6" C TO C
- MATCH EXISTING STRUCTURE

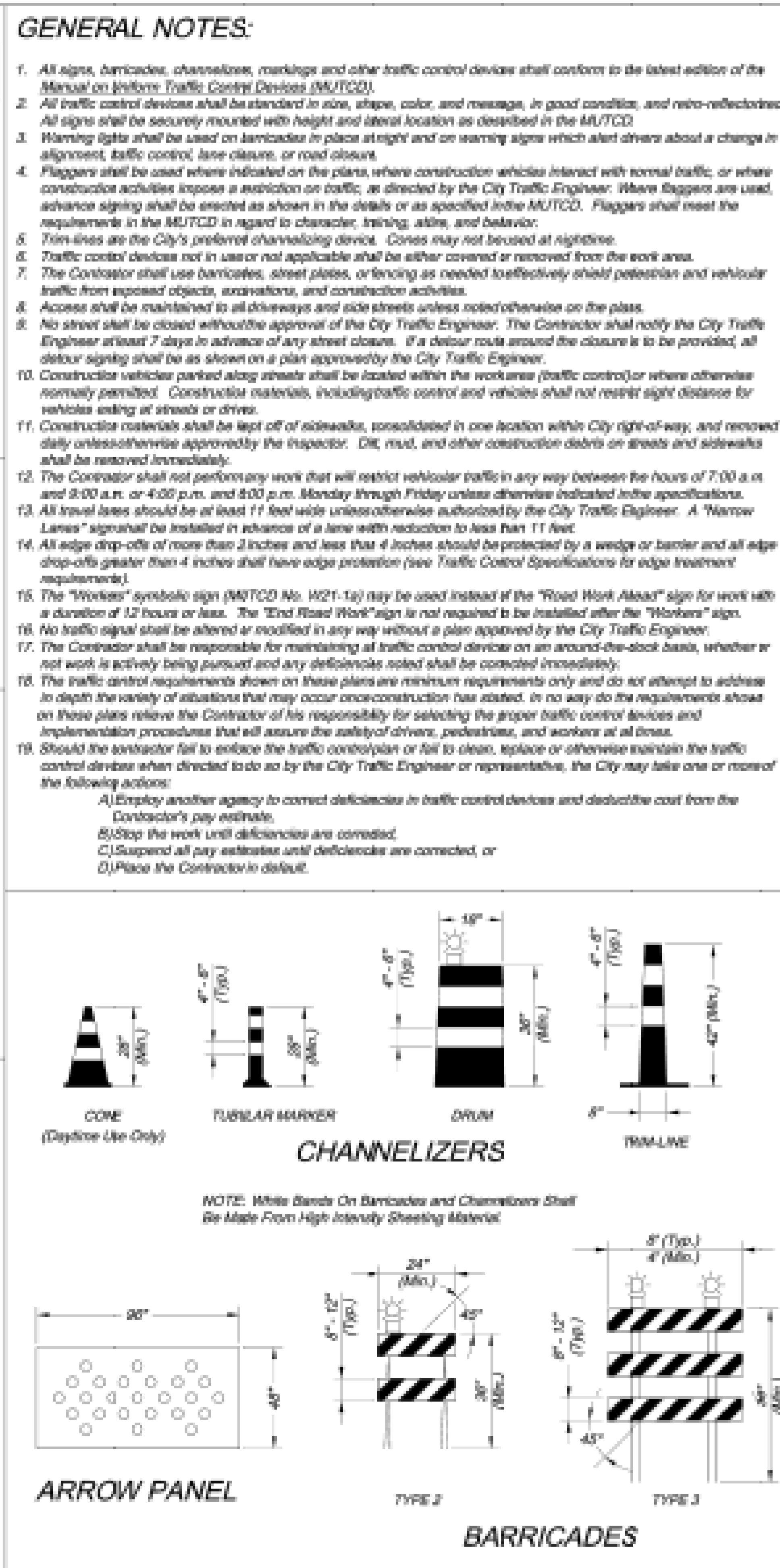
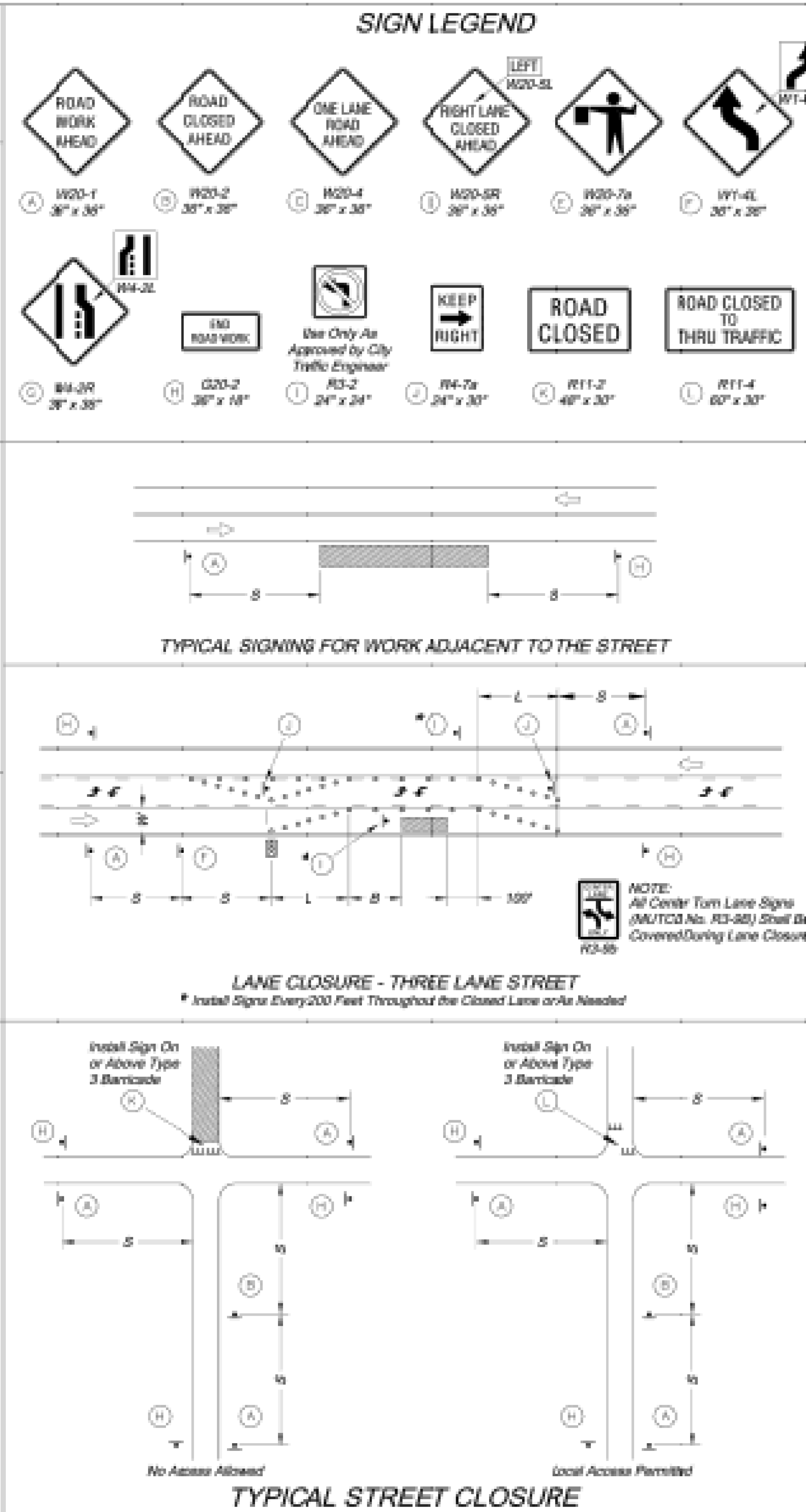
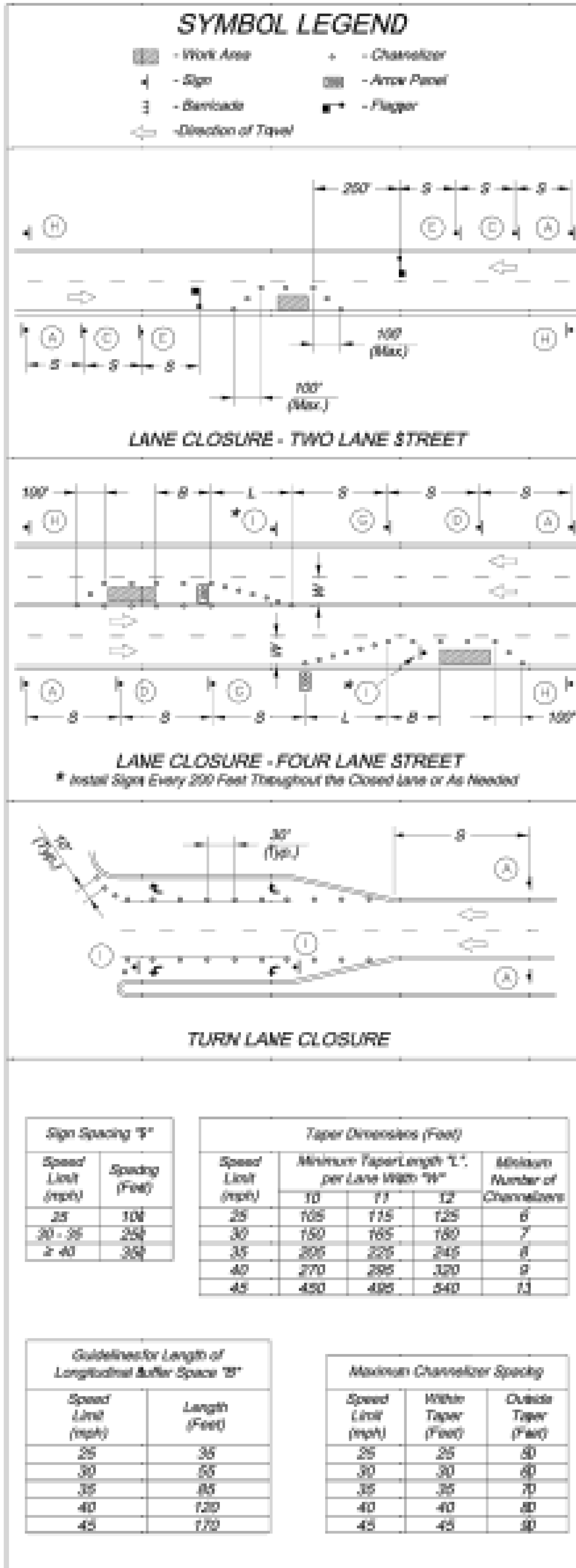
PLAN OF REPLACEMENT TOP



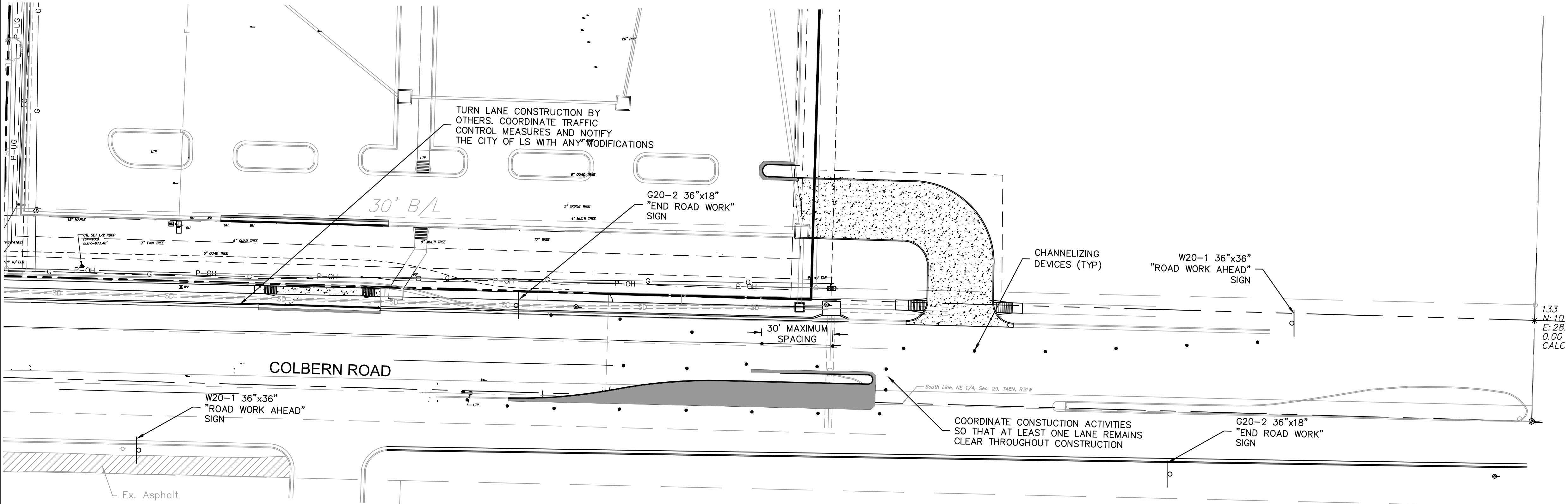
- NOTES:**
1. REINFORCING STEEL SHALL BE NEW BILLET, MINIMUM GRADE 60 AS PER ASTM A615M, AND SHALL BE BENT COLD.
 2. ALL DIMENSIONS RELATIVE TO REINFORCING STEEL ARE TO CENTERLINE OF BARS. 2" CLEARANCE SHALL BE PROVIDED THROUGHOUT UNLESS NOTED OTHERWISE. TOLERANCE OF $\pm 1/8"$ SHALL BE PERMITTED.
 3. ALL LAP SPLICES NOT SHOWN SHALL BE A MINIMUM OF 40 BAR DIAMETERS IN LENGTH.
 4. ALL REINFORCING STEEL SHALL BE SUPPORTED ON FABRICATED STEEL BAR SUPPORTS @ 3'-0" MAXIMUM SPACING.
 5. FLOOR OF INLET SHALL BE SHAPED WITH INVERT TO PROVIDE SMOOTH FLOW.
 6. BEVEL ALL EXPOSED EDGES WITH 3/4" CHAMFER OR 1/2" TOOLED EDGE.



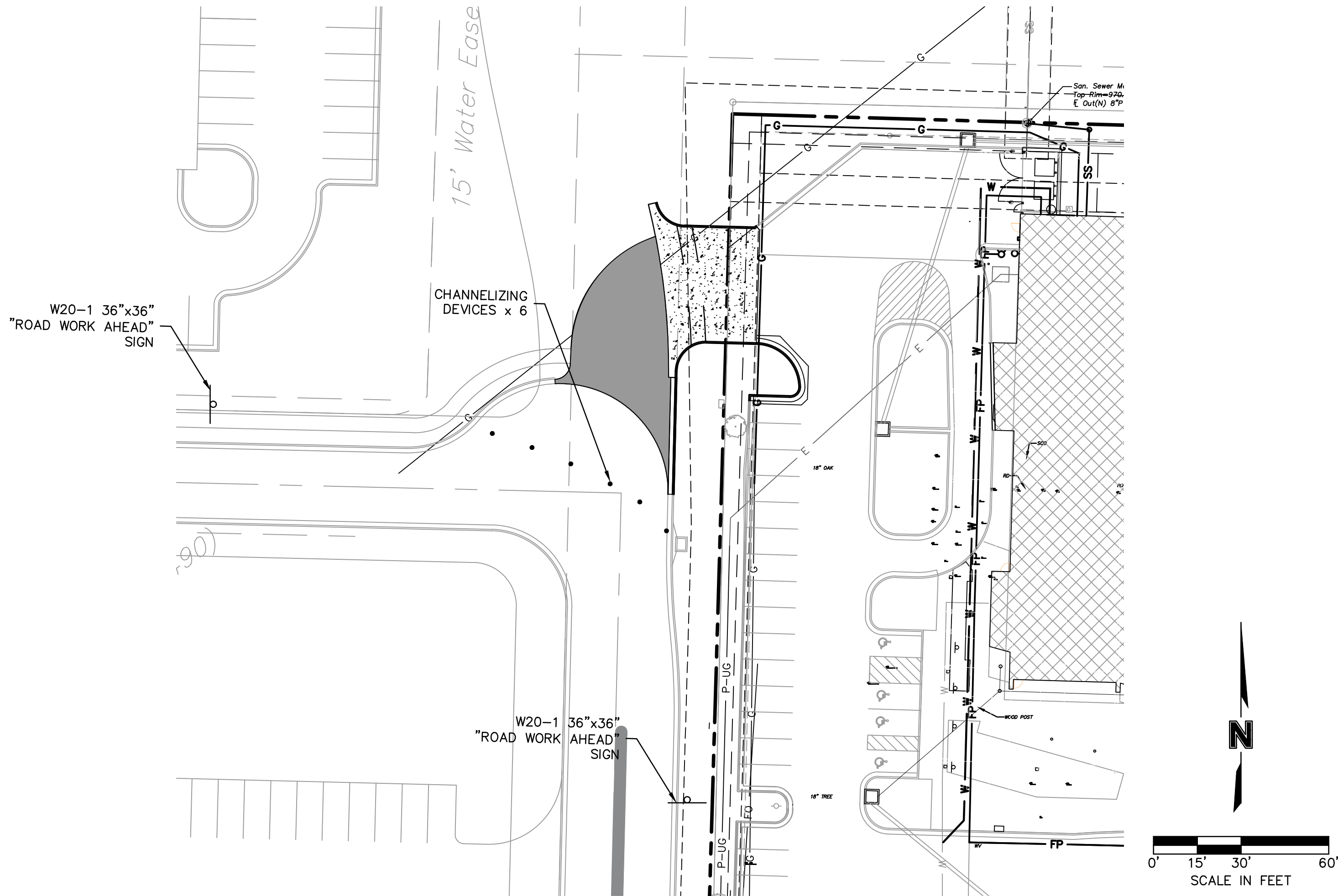
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C_PTLK01_018330 C_PBASE02_018330
USER: tterpers NEW 2018 AERIAL IMAGE



COLBERN ROAD TURN LANE AND ENTRANCE



LUCKY DRIVE ENTRANCE

NOTES:

1. AT CLOSE OF WORK DAY THE CHANNELIZING DEVICES SHALL BE MOVED TO THE EXTERIOR EDGE OF PAVEMENT.
2. LANE CLOSURES ARE RESTRICTED FROM 9:00 AM TO 4:00 PM.
3. IN THE EVENT THAT TEMPORARY TRAFFIC CLOSURE IS REQUIRED, A FLAGMAN SHALL BE PROVIDED WITH SIGNAGE PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
4. A MINIMUM 11-FOOT LANE SHALL BE PROVIDE IN EACH DIRECTION DURING WORKING HOURS.
5. ACCESS TO ADJACENT PROPERTIES SHALL NOT BE RESTRICTED UNLESS NECESSARY. RESTRICTION IN ACCESS SHALL BE KEPT TO THE MINIMAL AMOUNT TIME POSSIBLE.

GENERAL NOTES:

1. All signs, barricades, drums, markings and other traffic control devices shall conform to the Manual on Uniform Traffic Control Devices (M.U.T.C.D.), most current edition.
2. All traffic control devices shall be standard in size, shape, color and message, in good condition, and reflectorized. All signs and barricades in place at night shall be reflectorized with high intensity sheeting. All signs shall be securely mounted with height and lateral location as described in the M.U.T.C.D.
3. Warning lights should be used on all channelization devices and warning signs per M.U.T.C.D. Type A Low-Intensity Flashing Warning lights should be mounted on warning signs as well as barricades where used singly to warn users of potentially hazardous areas during nighttime hours. Type B High-Intensity Flashing warning lights should be used during day and nighttime operations to increase awareness of potentially hazardous areas. Type C Steady-Burn lights should be mounted on barricades where used in series to delineate the edge of the travel way.
4. Advance Warning Arrow Panels shall be used for all lane closures on multi-lane streets but should not be used in lieu of proper traffic control signs, barricades and channelization devices.
5. Flaggers shall be used where indicated on the plans, where construction vehicles interact with normal traffic or where construction activities impose a restriction on traffic, as directed by the Engineer in charge of construction. Where flaggers are used, advance signing shall be erected as shown above or as specified in the M.U.T.C.D. Flaggers shall meet the requirements in the M.U.T.C.D. in regard to character, training, attire and behavior.
6. Channelization devices used in the street shall be either drums, cones or Triline channelizers.
7. Traffic control devices not in use or not applicable shall be either covered or removed from the work area.
8. The Contractor shall place as many barricades as needed to effectively shield pedestrians and traffic from exposed objects, excavations and construction activities. ADA Pedestrian Barricades shall be installed around all excavations left open during non-construction times or as directed by the Engineer in charge of construction.
9. Access shall be maintained to all driveways and side streets unless noted otherwise on the plans.
10. Construction materials shall be kept off of sidewalks, consolidated in one location within City Right-Of-Way, and removed daily unless otherwise approved by the Engineer in charge of construction.
11. Dirt, mud and other construction debris on streets and sidewalks shall be removed immediately.
12. The Contractor shall not perform any work that will restrict traffic in any way between the hours of 7:00 a.m. and 8:30 a.m. or 4:30 p.m. and 6:00 p.m. unless prior approval has been given.
13. The Contractor shall be responsible for maintaining all traffic control devices on an around-the-clock basis, whether or not work is actively being pursued and any deficiencies noted shall be corrected immediately.
14. The traffic control requirements shown on these plans are minimum requirements only and do not attempt to address in depth the variety of situations that may occur once construction has started. In no way do the requirements shown on these plans relieve the contractor of his responsibility for selecting the proper traffic control devices and implementation procedures that will assure the safety of motorist, pedestrians, and workers at all times. Any additional quantities of traffic control devices necessary to complete the contract or as ordered by the Engineer shall be considered subsidiary to the contract bid price.
15. Construction vehicles parked along streets and construction signs shall not restrict sight distance for vehicles exiting at streets or any drives.
16. Should the contractor fail to enforce the traffic control plan or fail to clean, replace or otherwise maintain the traffic control devices when directed to do so by the Engineer or representative, the City/Controlling Jurisdiction may take one or more of the following actions:
 - A) Employ another agency to correct deficiencies in signing or warning devices and deduct the cost from the contractor's pay estimate
 - B) Suspend all pay Estimates until deficiencies are corrected.
 - C) Stop the work until deficiencies are corrected.
 - D) Place the contractor in default.
17. The Contractor shall keep roadway closures due to construction activities to a minimum and provide advanced notice to affected users.
18. The Contractor shall notify enforcement and emergency agencies before the start of construction to request their cooperation and to provide coordination of services when emergencies arise during the construction at the project site. When the contractor completes this notification with enforcement and emergency agencies, a report shall be furnished to the engineer on the status of incident management.
19. The Contractor may, if need arises or at the request of the Engineer, place reduced speed limit signing and work zone speed limit signing in advance of all active work zone areas. Work zone speed limit reduction shall not be greater than 10 mph throughout construction areas without advanced signing in place. Contractor shall cover or replace all speed limit signs in conflict with the work zone speed limit throughout the construction area.

TRAFFIC CONTROL PLAN
FINAL DEVELOPMENT PLAN

COLBERN ROAD IMPROVEMENTS
MCPL - COLBERN ROAD

LEE'S SUMMIT, MISSOURI

drawn by: JTF
checked by: TP
approved by: TP
QA/QC by: BS
project no.: 018-0330 WP10
drawing no.: CTTRL_0180330.dwg
date: 11/01/2024

SHEET
C5.0

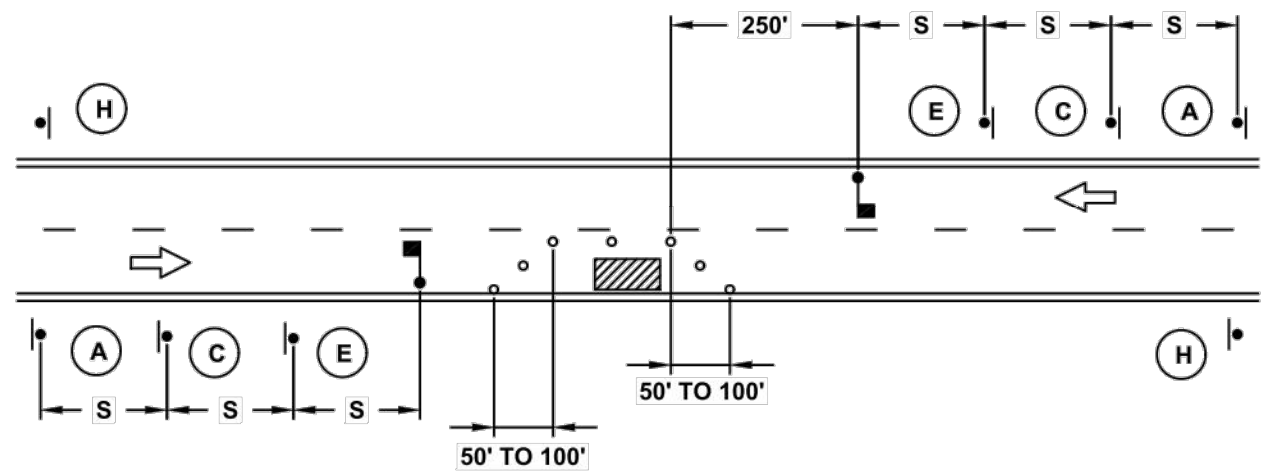
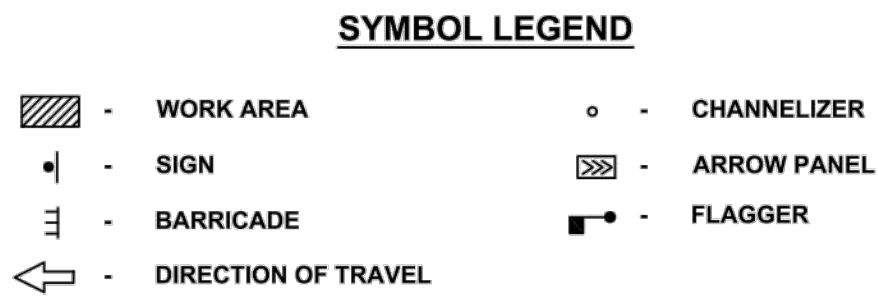
REV. NO.	DATE	REVISIONS DESCRIPTION	
		BY	RLK
1	11.14.2024		

REVISIONS

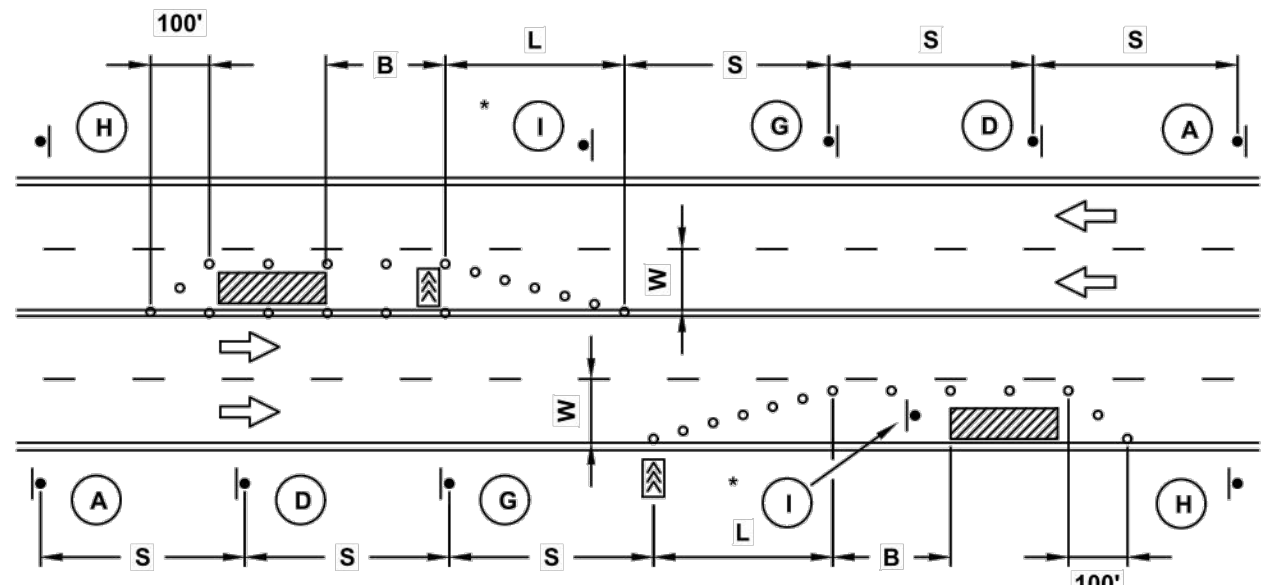
2024

olsson

7301 West 133rd Street, Suite 200
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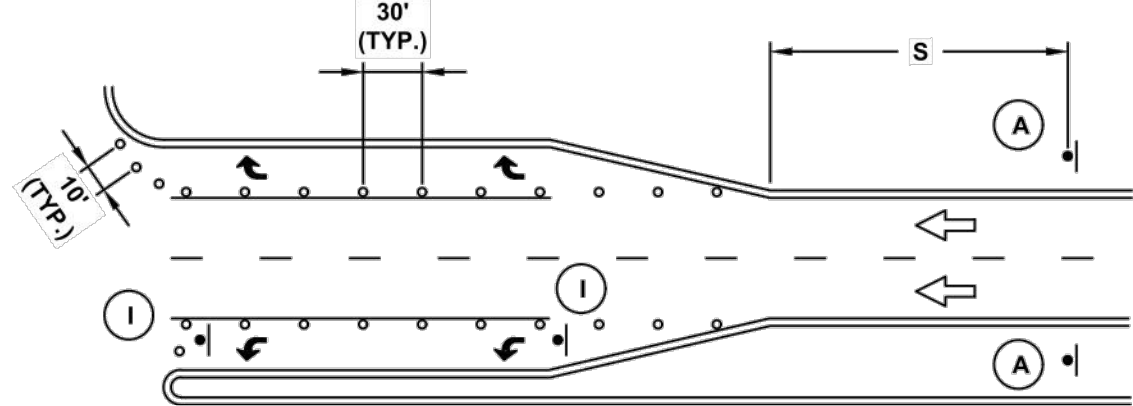


LANE CLOSURE - TWO LANE STREET

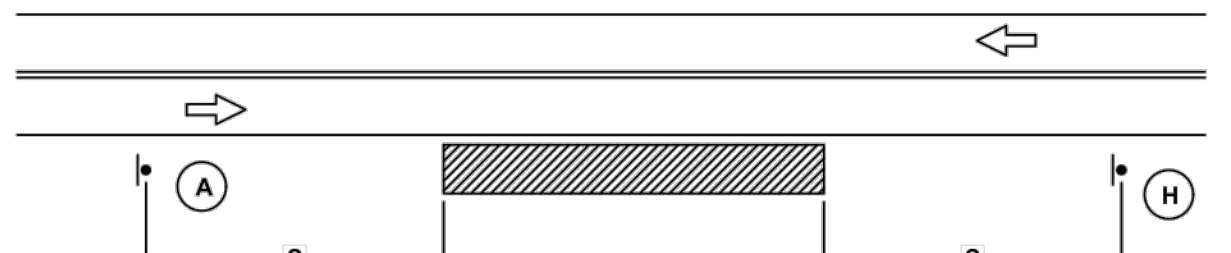


LANE CLOSURE - FOUR LANE STREET

* INSTALL SIGNS EVERY 200 FEET THROUGHOUT THE CLOSED LANE OR AS NEEDED



TURN LANE CLOSURE

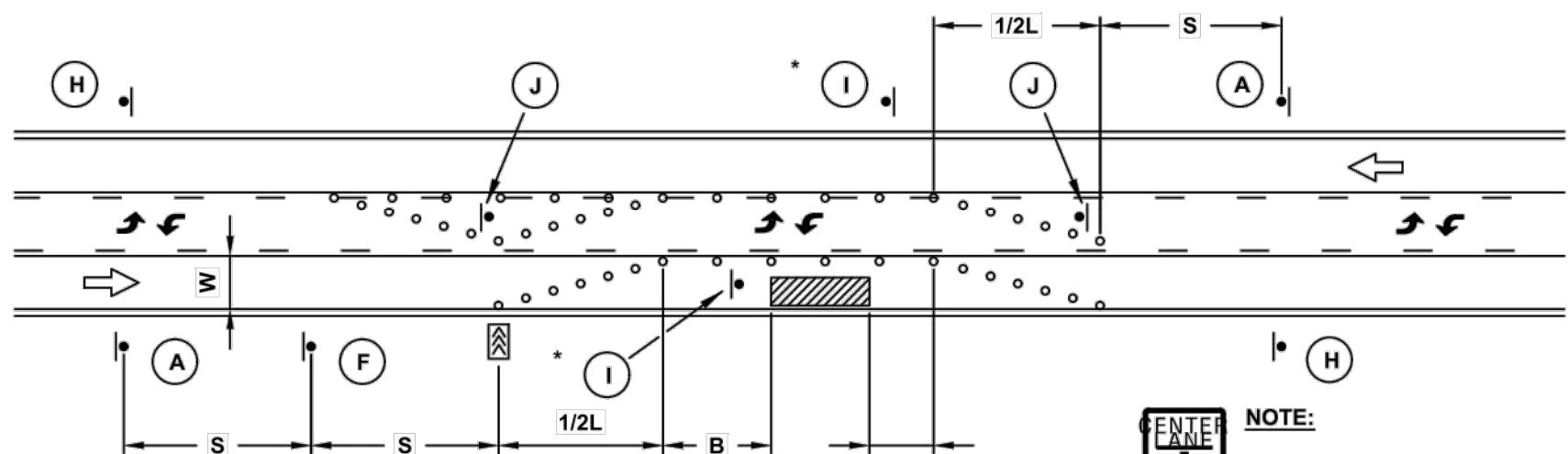
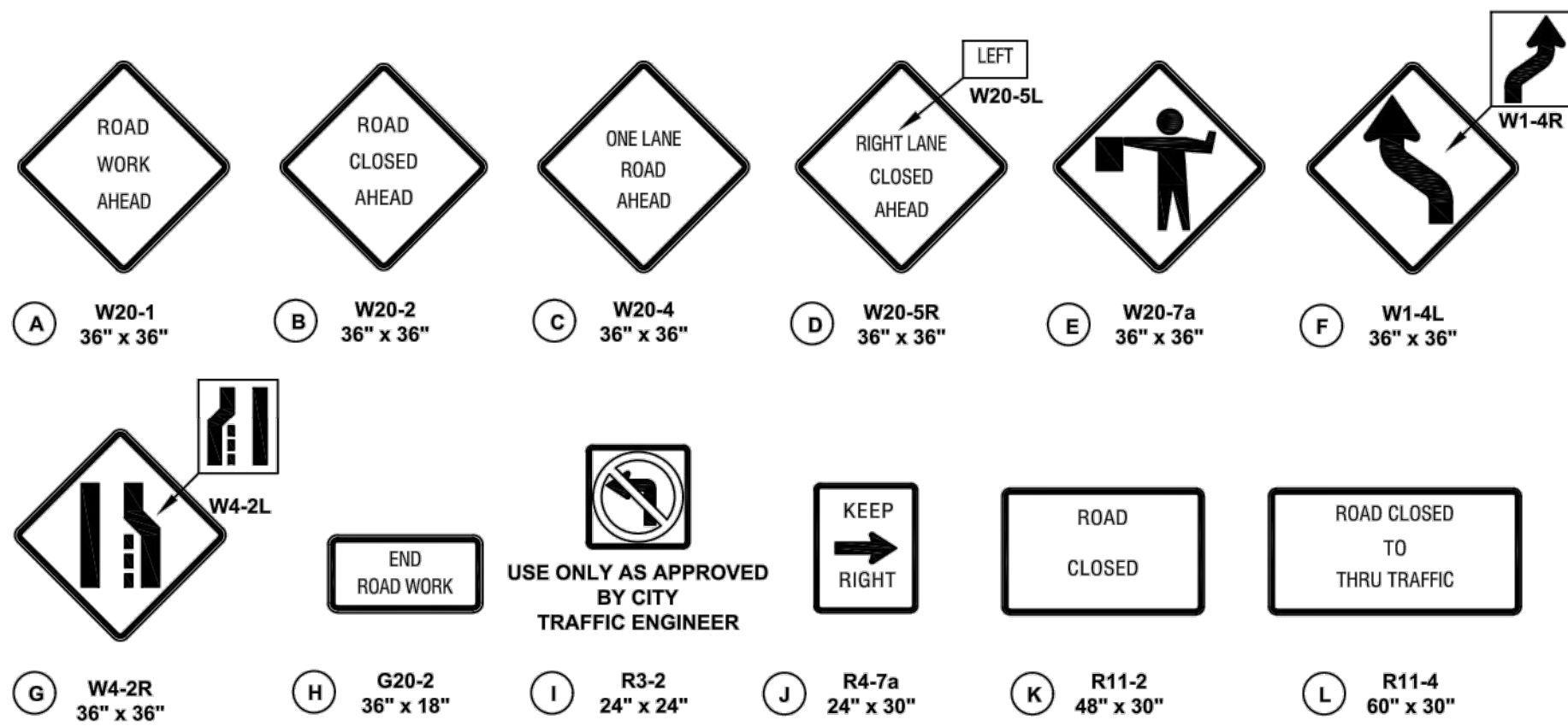


TYPICAL SIGNING FOR WORK ADJACENT TO THE STREET

GUIDELINES FOR LENGTH OF LONGITUDINAL BUFFER SPACE "B"		MAXIMUM CHANNELIZER SPACING		
SPEED LIMIT (MPH)	LENGTH (FEET)	SPEED LIMIT (MPH)	WITHIN TAPER (FEET)	OUTSIDE TAPER (FEET)
25	35	25	25	50
30	55	30	30	60
35	85	35	35	70
40	120	40	40	80
45	170	45	45	90

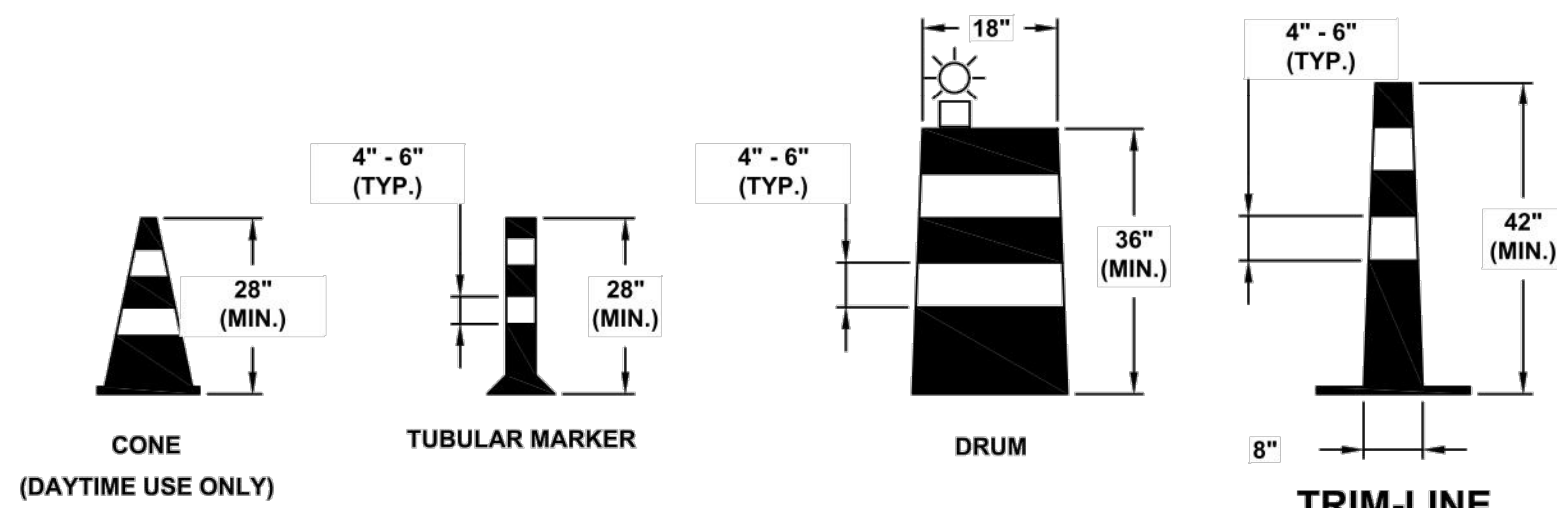
TAPER DIMENSIONS (FEET)					SIGN SPACING "S"	
SPEED LIMIT (MPH)	MINIMUM TAPER LENGTH "L", PER LANE WIDTH "W"			MINIMUM NUMBER OF CHANNELIZERS	SPEED LIMIT (MPH)	SPACING (FEET)
	10	11	12		25	100
25	105	115	125	6	30-35	250
30	150	165	180	7	≥ 40	350
35	205	225	245	8		
40	270	295	320	9		
45	450	495	540	13		

SIGN LEGEND



LANE CLOSURE - THREE LANE STREET

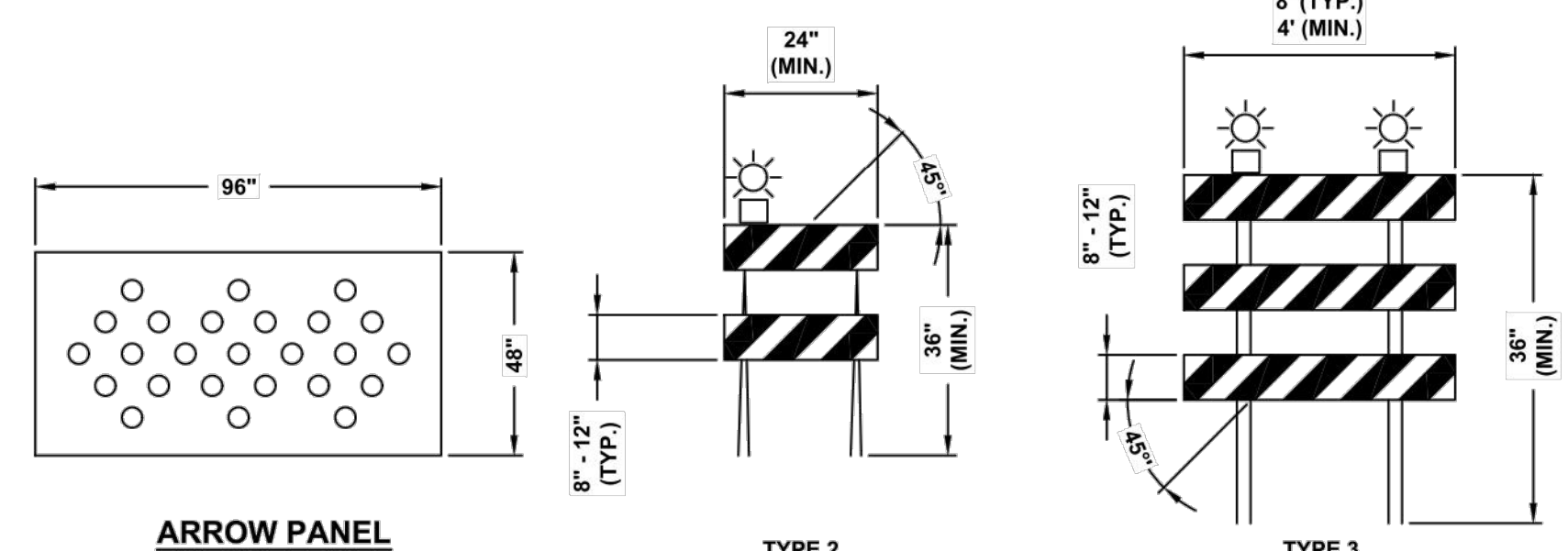
* INSTALL SIGNS EVERY 200 FEET THROUGHOUT THE CLOSED LANE OR AS NEEDED



CHANNELIZERS

TRIM-LINE

NOTE: WHITE BANDS ON BARRICADES AND CHANNELIZERS SHALL BE MADE FROM HIGH INTENSITY SHEETING MATERIAL.



ARROW PANEL

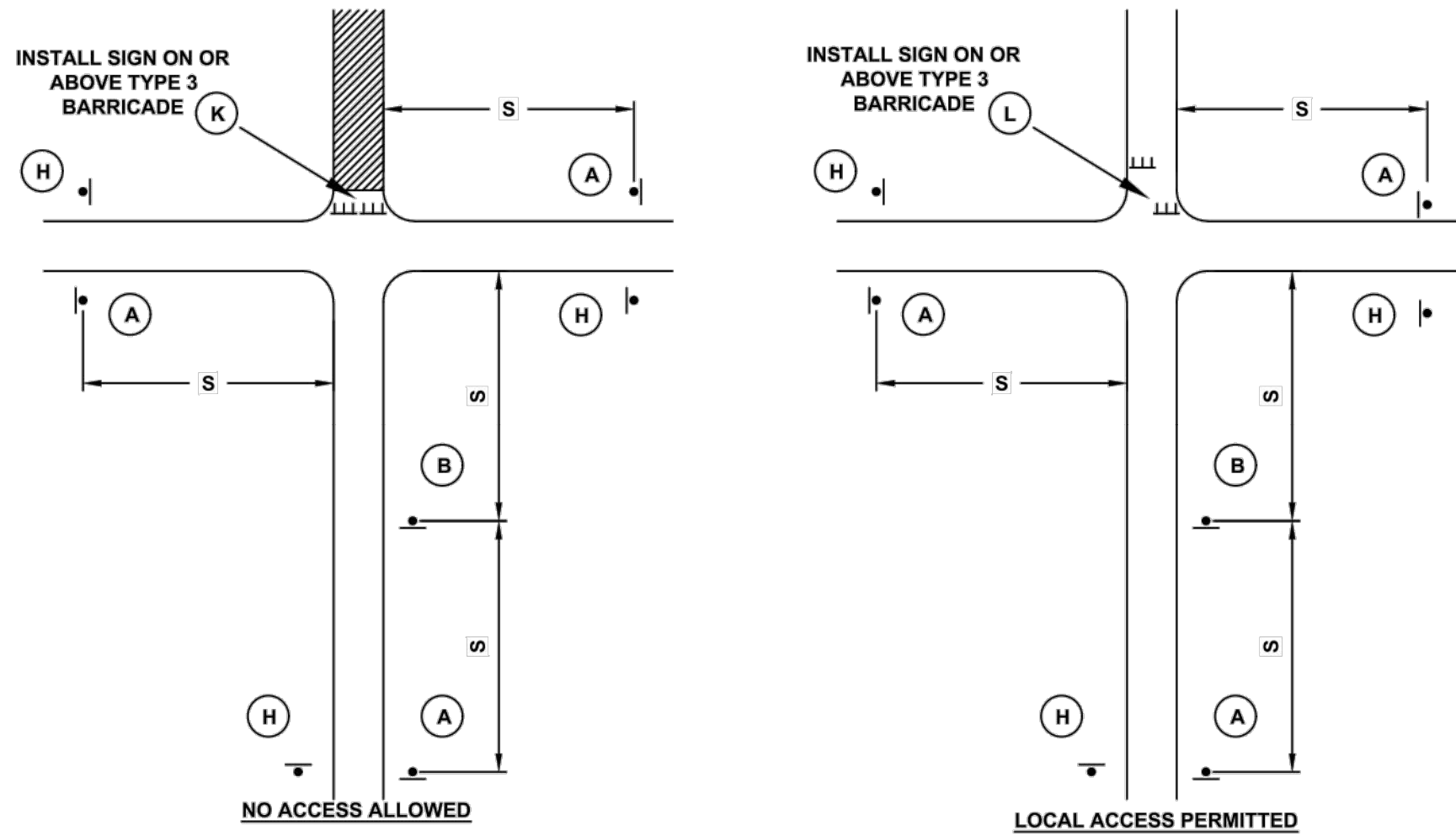
TYPE 2

BARRICADES

(OPTIONAL ON TWO LANE AND THREE LANE STREETS WITH SPEEDS LESS THAN 35 MPH)

GENERAL NOTES:

- ALL SIGNS, BARRICADES, CHANNELIZERS, MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL TRAFFIC CONTROL DEVICES SHALL BE STANDARD IN SIZE, SHAPE, COLOR, AND MESSAGE, IN GOOD CONDITION, AND RETRO-REFLECTORIZED. ALL SIGNS SHALL BE SECURELY MOUNTED WITH HEIGHT AND LATERAL LOCATION AS DESCRIBED IN THE MUTCD.
- WARNING LIGHTS SHALL BE USED ON BARRICADES IN PLACE AT NIGHT AND ON WARNING SIGNS WHICH ALERT DRIVERS ABOUT A CHANGE IN ALIGNMENT, TRAFFIC CONTROL, LANE CLOSURE, OR ROAD CLOSURE.
- FLAGGERS SHALL BE USED WHERE INDICATED ON THE PLANS, WHERE CONSTRUCTION VEHICLES INTERACT WITH NORMAL TRAFFIC, OR WHERE CONSTRUCTION ACTIVITIES IMPOSE A RESTRICTION ON TRAFFIC, AS DIRECTED BY THE CITY TRAFFIC ENGINEER. WHERE FLAGGERS ARE USED, ADVANCE SIGNING SHALL BE ERECTED AS SHOWN IN THE DETAILS OR AS SPECIFIED IN THE MUTCD. FLAGGERS SHALL MEET THE REQUIREMENTS IN THE MUTCD IN REGARD TO CHARACTER, TRAINING, ATTIRE, AND BEHAVIOR.
- TRIM-LINES ARE THE CITY'S PREFERRED CHANNELIZING DEVICE. CONES MAY NOT BE USED AT NIGHTTIME.
- TRAFFIC CONTROL DEVICES NOT IN USE OR NOT APPLICABLE SHALL BE EITHER COVERED OR REMOVED FROM THE WORK AREA.
- THE CONTRACTOR SHALL USE BARRICADES, STREET PLATES, OR FENCING AS NEEDED TO EFFECTIVELY SHIELD PEDESTRIAN AND VEHICULAR TRAFFIC FROM EXPOSED OBJECTS, EXCAVATIONS, AND CONSTRUCTION ACTIVITIES.
- ACCESS SHALL BE MAINTAINED TO ALL DRIVEWAYS AND SIDE STREETS UNLESS NOTED OTHERWISE ON THE PLANS.
- NO STREET SHALL BE CLOSED WITHOUT THE APPROVAL OF THE CITY TRAFFIC ENGINEER. THE CONTRACTOR SHALL NOTIFY THE CITY TRAFFIC ENGINEER AT LEAST 7 DAYS IN ADVANCE OF ANY STREET CLOSURE. IF A DETOUR ROUTE AROUND THE CLOSURE IS TO BE PROVIDED, ALL DETOUR SIGNING SHALL BE AS SHOWN ON A PLAN APPROVED BY THE CITY TRAFFIC ENGINEER.
- CONSTRUCTION VEHICLES PARKED ALONG STREETS SHALL BE LOCATED WITHIN THE WORK AREA (TRAFFIC CONTROL) OR WHERE OTHERWISE NORMALLY PERMITTED. CONSTRUCTION MATERIALS, INCLUDING TRAFFIC CONTROL AND VEHICLES SHALL NOT RESTRICT SIGHT DISTANCE FOR VEHICLES EXITING AT STREETS OR DRIVES.
- CONSTRUCTION MATERIALS SHALL BE KEPT OFF OF SIDEWALKS, CONSOLIDATED IN ONE LOCATION WITHIN CITY RIGHT-OF-WAY, AND REMOVED DAILY UNLESS OTHERWISE APPROVED BY THE INSPECTOR. DIRT, MUD, AND OTHER CONSTRUCTION DEBRIS ON STREETS AND SIDEWALKS SHALL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK THAT WILL RESTRICT VEHICULAR TRAFFIC IN ANY WAY BETWEEN THE HOURS OF 7:00 A.M. AND 9:00 A.M. OR 4:00 P.M. AND 6:00 P.M. MONDAY THROUGH FRIDAY UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS.
- ALL TRAVEL LANES SHOULD BE AT LEAST 11 FEET WIDE UNLESS OTHERWISE AUTHORIZED BY THE CITY TRAFFIC ENGINEER. A "NARROW LANES" SIGN SHALL BE INSTALLED IN ADVANCE OF A LANE WIDTH REDUCTION TO LESS THAN 11 FEET.
- ALL EDGE DROP-OFFS OF MORE THAN 2 INCHES AND LESS THAN 4 INCHES SHOULD BE PROTECTED BY A WEDGE OR BARRIER AND ALL EDGE DROP-OFFS GREATER THAN 4 INCHES SHALL HAVE EDGE PROTECTION (SEE TRAFFIC CONTROL SPECIFICATIONS FOR EDGE TREATMENT REQUIREMENTS).
- THE "WORKERS" SYMBOLIC SIGN (MUTCD NO. W21-1A) MAY BE USED INSTEAD OF THE "ROAD WORK AHEAD" SIGN FOR WORK WITH A DURATION OF 12 HOURS OR LESS. THE "END ROAD WORK" SIGN IS NOT REQUIRED TO BE INSTALLED AFTER THE "WORKERS" SIGN.
- NO TRAFFIC SIGNAL SHALL BE ALTERED OR MODIFIED IN ANY WAY WITHOUT A PLAN APPROVED BY THE CITY TRAFFIC ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TRAFFIC CONTROL DEVICES ON AN AROUND-THE-CLOCK BASIS, WHETHER OR NOT WORK IS ACTIVELY BEING PURSUED AND ANY DEFICIENCIES NOTED SHALL BE CORRECTED IMMEDIATELY.
- THE TRAFFIC CONTROL REQUIREMENTS SHOWN ON THESE PLANS ARE MINIMUM REQUIREMENTS ONLY AND DO NOT ATTEMPT TO ADDRESS IN DEPTH THE VARIETY OF SITUATIONS THAT MAY OCCUR ONCE CONSTRUCTION HAS STARTED. IN NO WAY DO THE REQUIREMENTS SHOWN ON THESE PLANS RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR SELECTING THE PROPER TRAFFIC CONTROL DEVICES AND IMPLEMENTATION PROCEDURES THAT WILL ASSURE THE SAFETY OF DRIVERS, PEDESTRIANS, AND WORKERS AT ALL TIMES.
- SHOULD THE CONTRACTOR FAIL TO ENFORCE THE TRAFFIC CONTROL PLAN OR FAIL TO CLEAN, REPLACE OR OTHERWISE MAINTAIN THE TRAFFIC CONTROL DEVICES WHEN DIRECTED TO DO SO BY THE CITY TRAFFIC ENGINEER OR REPRESENTATIVE, THE CITY MAY TAKE ONE OR MORE OF THE FOLLOWING ACTIONS:
 - EMPLOY ANOTHER AGENCY TO CORRECT DEFICIENCIES IN TRAFFIC CONTROL DEVICES AND DEDUCT THE COST FROM THE CONTRACTOR'S PAY ESTIMATE.
 - STOP THE WORK UNTIL DEFICIENCIES ARE CORRECTED.
 - SUSPEND ALL PAY ESTIMATES UNTIL DEFICIENCIES ARE CORRECTED, OR
 - PLACE THE CONTRACTOR IN DEFAULT.



TYPICAL STREET CLOSURE

REV.	NO.	DATE	DESCRIPTION
1		11/14/2024	

PROJECT: STANDARD DETAILS
PUBLIC WORKS ENGINEERING
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SHEET NAME: TRAFFIC CONTROL DETAILS

DRAWN BY: CNS
CHECKED BY: MJF
DATE: 05/13/2024
PROJECT #: ---

TRAFFIC CONTROL DETAILS
FINAL DEVELOPMENT PLAN
COLBURN ROAD IMPROVEMENTS
MCPL - COLBURN ROAD

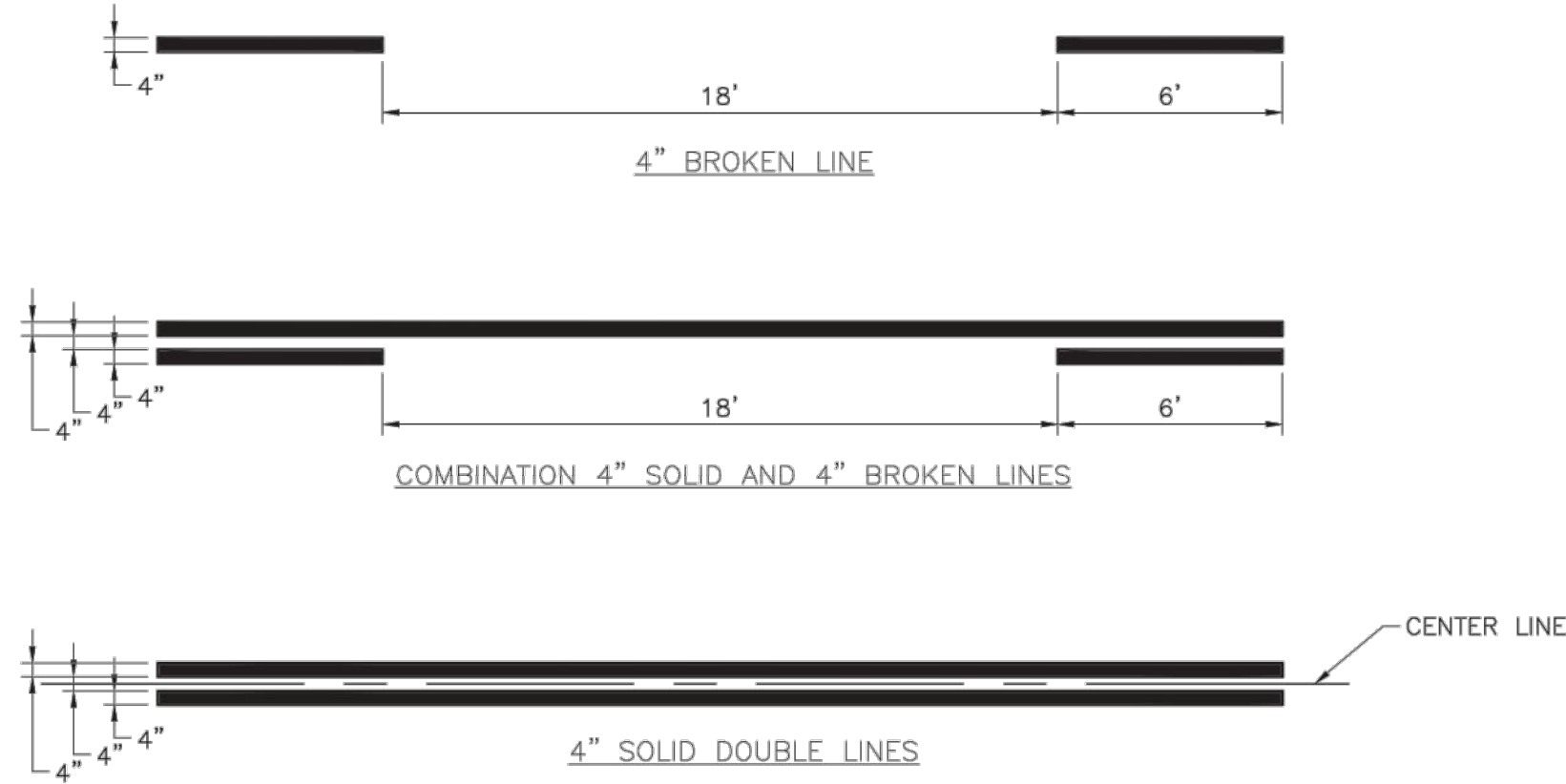
LEE'S SUMMIT, MISSOURI

drawn by: JTF
checked by: TP
approved by: TP
QA/QC by: BS
project no.: 018-0330 WP10
drawing no.: C_DTL01_80330.dwg
date: 11/01/2024

SHEET
C5.1

REVISIONS

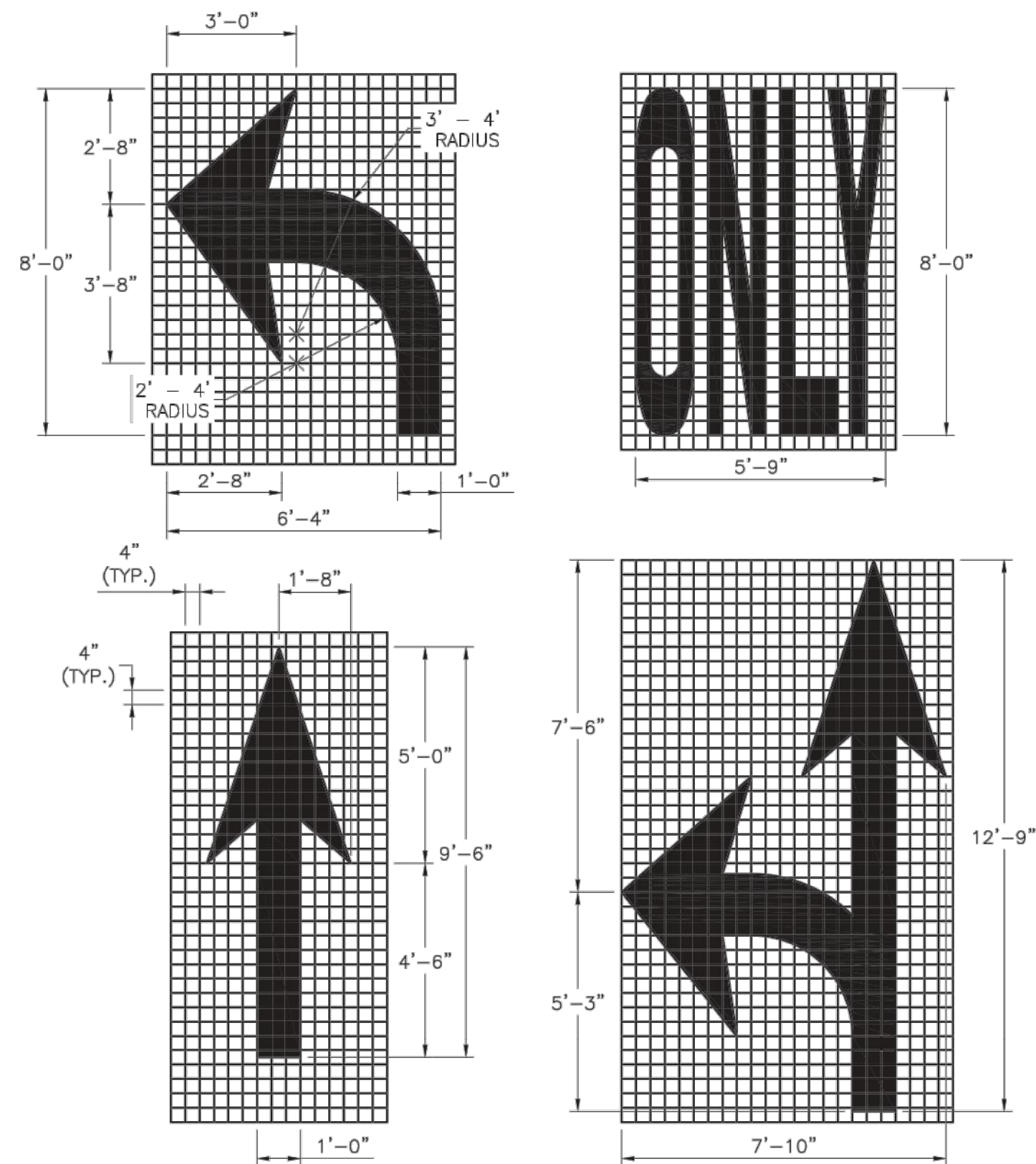
2024



TYPICAL LINE DETAILS

NOTES:

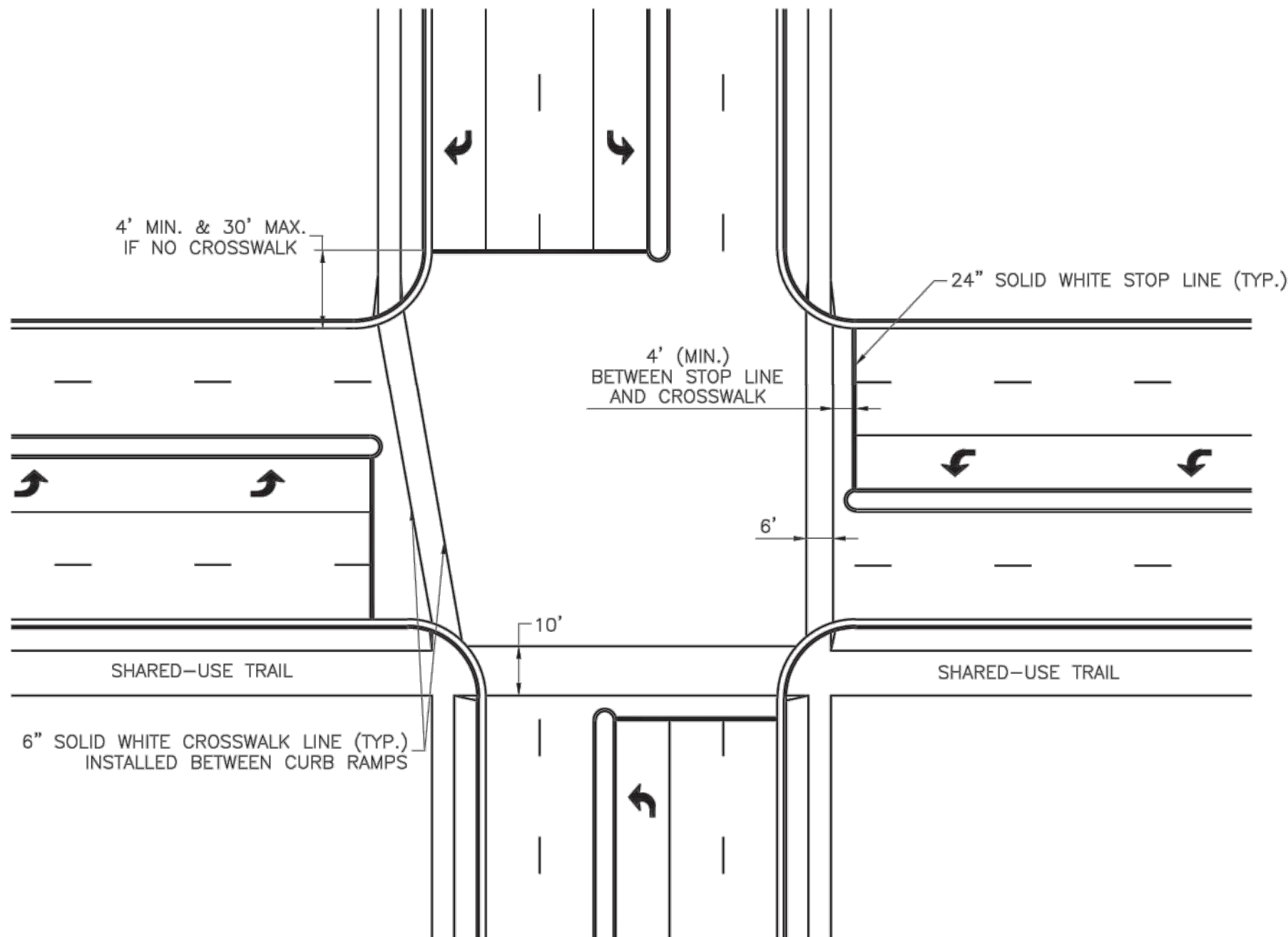
- ALL EDGE LINE, CENTER LINE, AND LANE LINE PAVEMENT MARKINGS SHALL BE 4" WIDE UNLESS OTHERWISE NOTED.
- EDGE LINES SHALL BE CONTINUOUS SOLID WHITE OR YELLOW LINES. RIGHT SIDE EDGE LINES SHALL BE SOLID WHITE. MEDIAN OR LEFT SIDE EDGE LINES ON DIVIDED ROADWAYS ARE TO BE SOLID YELLOW. EDGE LINES AND CENTER LINES SHALL BE CONTINUOUS ACROSS DRIVEWAYS.



ARROW AND SYMBOL DETAILS

NOTES:

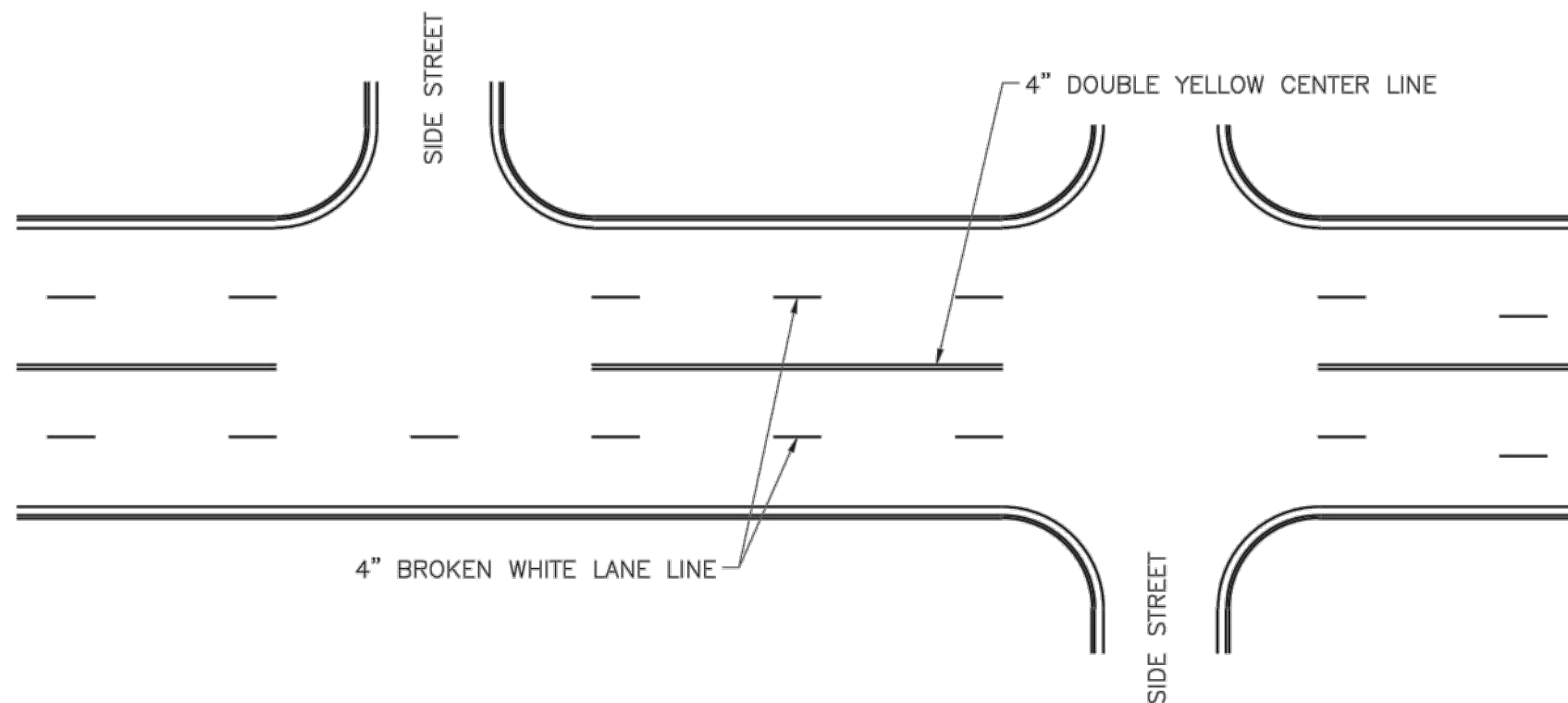
- ALL ARROW AND SYMBOL MARKINGS SHALL BE WHITE, AND SHALL BE CENTERED IN THEIR RESPECTIVE TRAFFIC LANES.
- RIGHT-TURN AND COMBINATION RIGHT-TURN/STRAIGHT ARROWS ARE REVERSE OF ARROWS SHOWN.



TYPICAL INTERSECTION MARKINGS

NOTES:

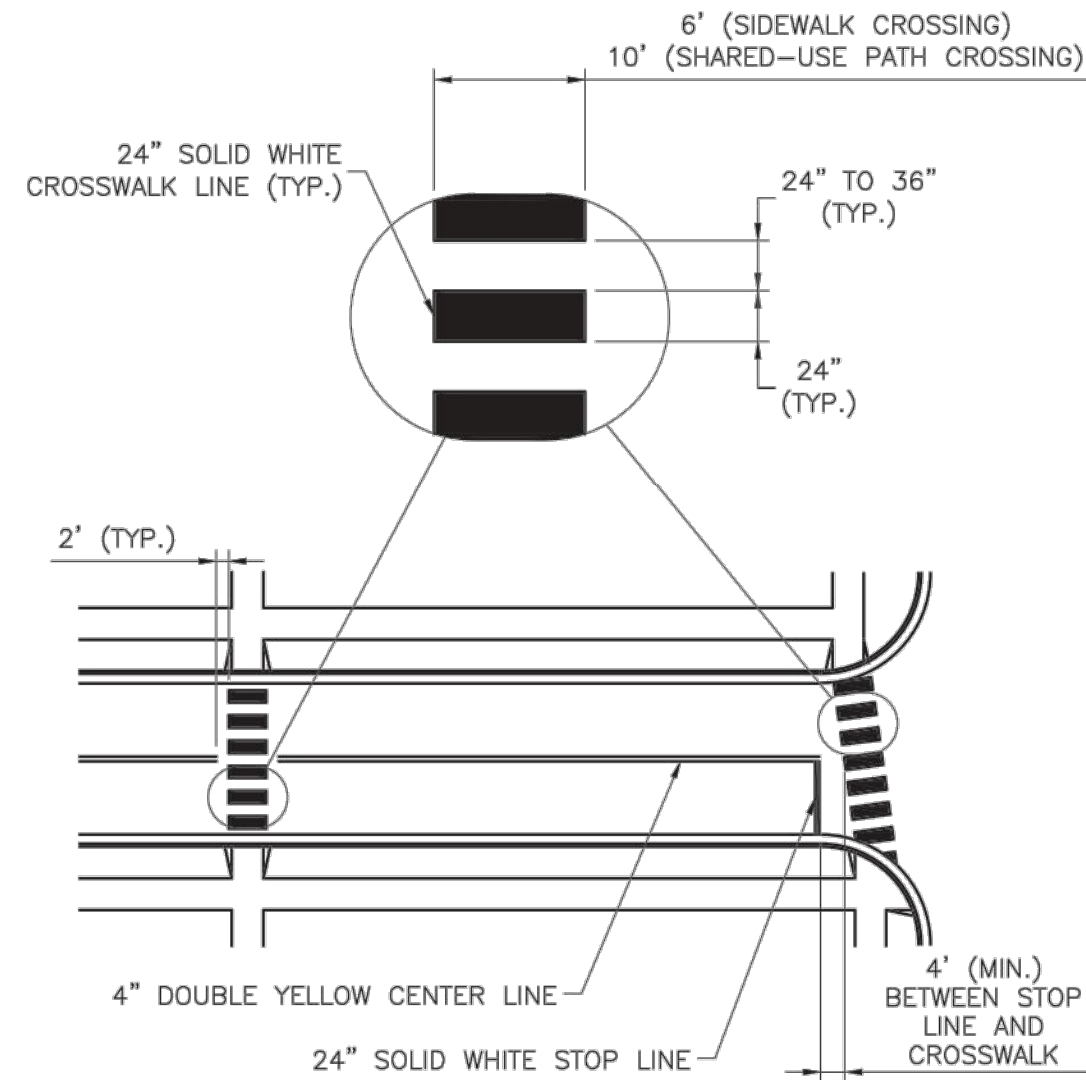
- TRANSVERSE CROSSWALK LINES SHALL BE INSTALLED SUCH THAT THE DISTANCE BETWEEN LINES IS AT LEAST 6 FEET OR 10 FEET.
- STOP LINES ARE REQUIRED AT SIGNALIZED INTERSECTIONS, ON MULTI-LANE STOP CONTROLLED APPROACHES, OR ADVANCE OF CROSSWALKS AT CONTROLLED INTERSECTIONS.



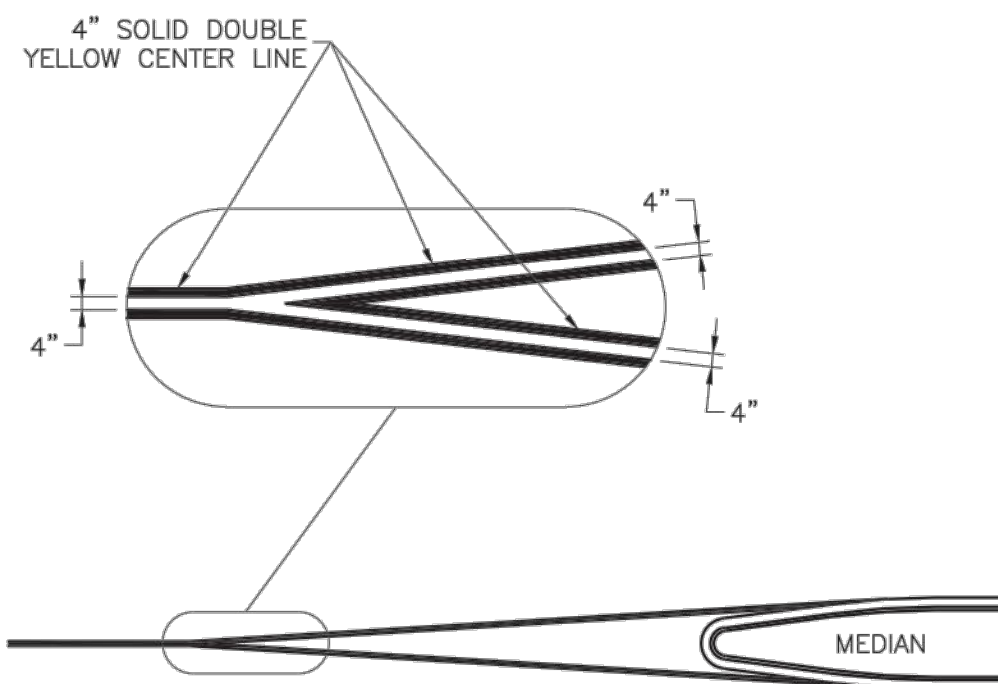
TYPICAL MARKINGS FOR FOUR-LANE UNDIVIDED ROADWAY

PAVEMENT MARKING GENERAL NOTES:

- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL WORDS AND SYMBOLS SHALL CONFORM TO THE LATEST EDITION OF STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS PRINTED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.
- PAVEMENT MARKINGS, EITHER TEMPORARY OR PERMANENT ARE REQUIRED AT ALL TIMES IF THE ROADWAY IS OPEN TO TRAFFIC.
- ALL PAVEMENT MARKINGS THAT CONFLICT WITH THE DESIRED MARKINGS SHALL BE COMPLETELY REMOVED. REMOVALS SHALL NOT LEAVE THE ROAD SURFACE SCARRED WITH AN IMAGE THAT MISLEADS TRAFFIC. ANY EXCESS DAMAGE OR SCARRING OF PAVEMENT SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE PROPOSED PERMANENT MARKINGS SHALL BE LAID OUT BY THE CONTRACTOR IN ADVANCE OF THE MARKING INSTALLATION. MARKINGS SHALL NOT BE APPLIED UNTIL THE LAYOUT HAS BEEN APPROVED BY THE CITY TRAFFIC ENGINEER.
- CENTER LINES SHALL BE MARKED ON ALL UNDIVIDED ARTERIAL STREETS, AND ANY OTHER UNDIVIDED STREET WITH MORE THAN TWO LANES AND/OR A SPEED LIMIT OF 30 MPH OR MORE.
- EDGE LINES SHALL BE MARKED ON ALL NON-CURBED STREETS.



TYPICAL MID-BLOCK OR SCHOOL CROSS WALK



TYPICAL MEDIAN NOSE CENTER LINE DETAIL

LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Project: STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
Sheet Name: ROADWAY MARKING DETAILS

Drawn By: BWC
Checked By: MP
Date: 01/2020
Proj. #:

TRAFFIC CONTROL DETAILS
FINAL DEVELOPMENT PLAN

COLBURN ROAD IMPROVEMENTS
MCPL - COLBURN ROAD

LEE'S SUMMIT, MISSOURI

2024

REVISIONS

BY

REV. NO. DATE REVISIONS DESCRIPTION
1 11.14.2024 REVISED PER CITY COMMENTS RLK

drawn by: JTF
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