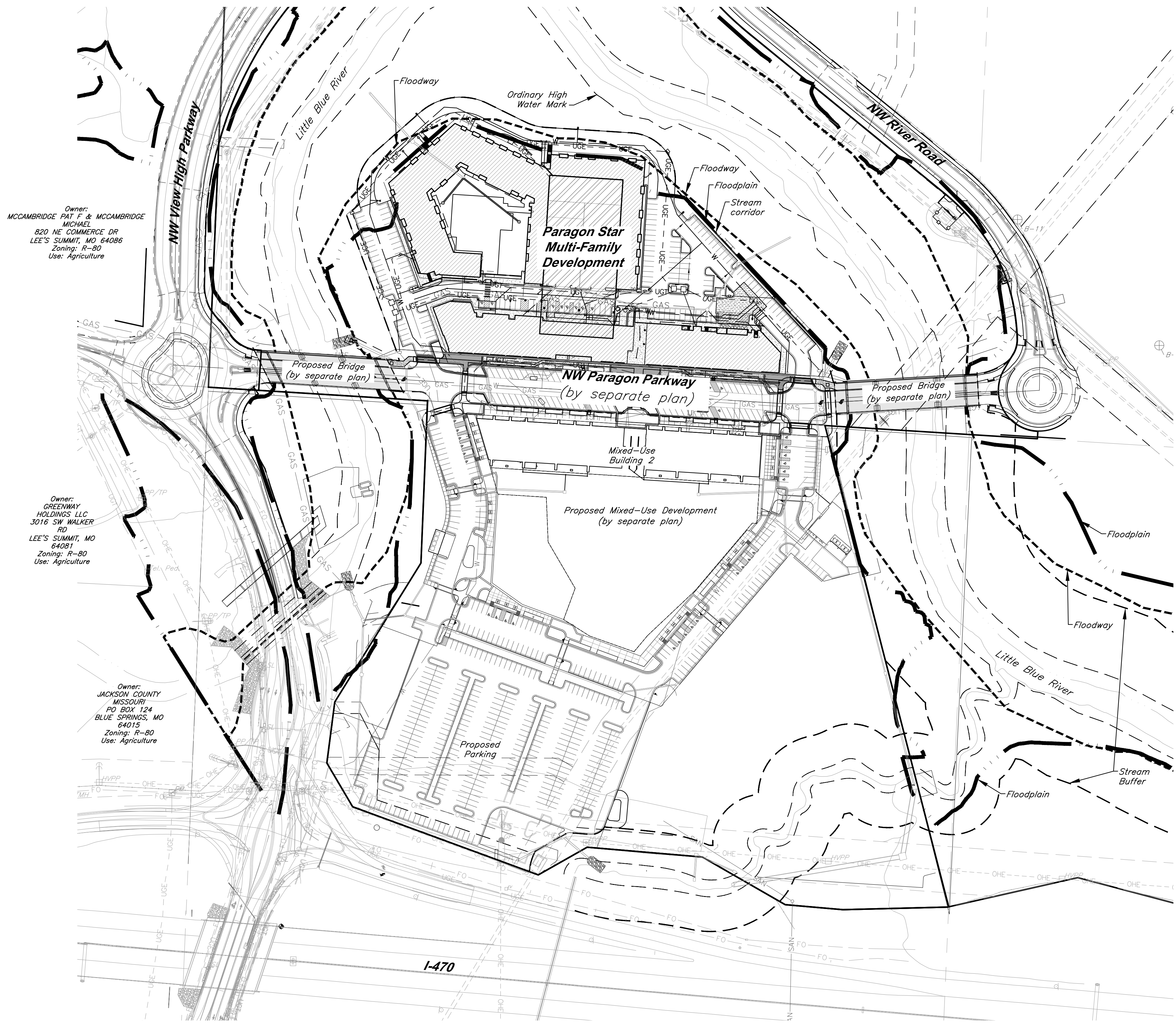


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Owner:  
MCCAMBRIDGE PAT F & MCCAMBRIDGE  
MICHAEL  
820 NE COMMERCE DR  
LEE'S SUMMIT, MO 64086  
Zoning: R-80  
Use: Agriculture

Owner:  
GREENWAY  
HOLDINGS LLC  
3016 SW WALKER  
RD  
LEE'S SUMMIT, MO  
64081  
Zoning: R-80  
Use: Agriculture

Owner:  
JACKSON COUNTY  
MISSOURI  
PO BOX 124  
BLUE SPRINGS, MO  
64015  
Zoning: R-80  
Use: Agriculture

**Prepared and Submitted By:**

George Butler Associates, Inc.  
9801 Renner Boulevard Lenexa, Kansas 66219  
Phone: 913-492-0400 Fax: 913-577-8312  
Contact: Jay Healy, P.E.  
Email: jhealy@gbateam.com

**Floodplain:**

According to FEMA Flood Insurance Rate Map (FIRM) Community Panel No. 29095C0404G, effective Date 1/20/17, the tract lies partially within an area designated as Special Flood Hazard Areas. Special Flood Hazard Areas defined on portions of the site include regulatory floodway, Zone AE (with depths identified on site from 810 to 811), and 0.2% Annual Chance Flood Hazard Areas.

A CLOMR has been issued for this project, case number 20-07-0520R, dated 2/14/20. Proposed Floodplain/ Floodway refers to boundary set by this CLOMR.

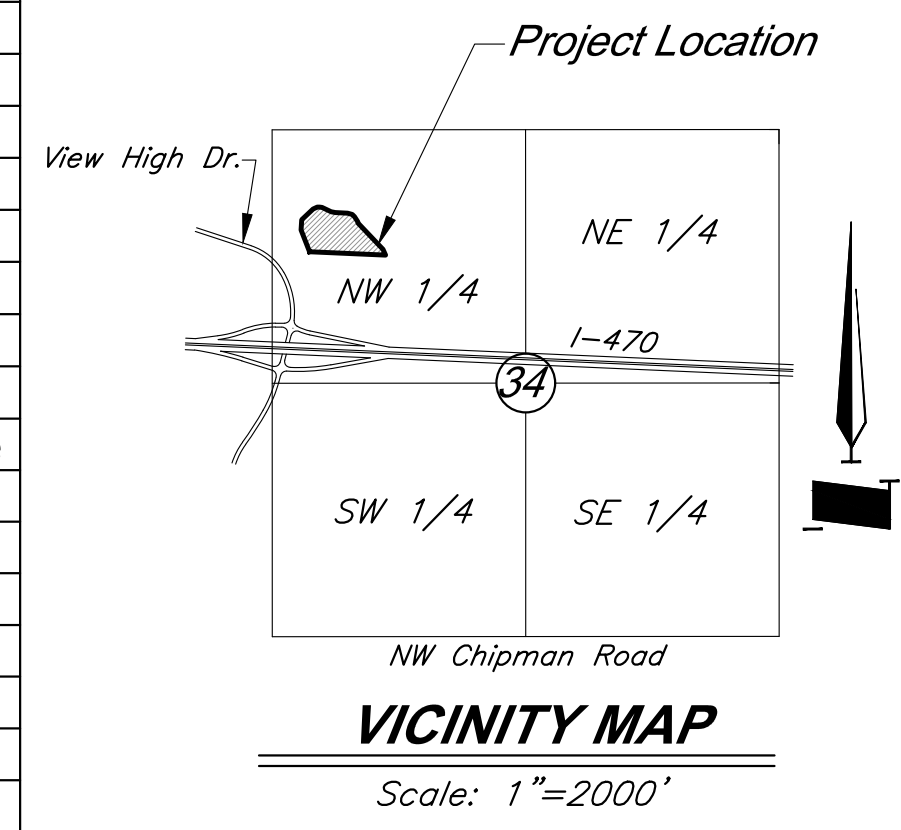
**Zoning:**

PMIX - Planned Mixed Use

**Notes:**

1. No oil or gas wells are located on site per Missouri Department of Natural Resources.

Land Use	
Total Site Area (AC)	19.63
Lot 5 Area (AC)	14.20
Lot 6 Area (AC)	0.72
Lot 7A Area (AC)	1.11
Lot 7B Area (AC)	0.69
Lot 7C Area (AC)	1.78
Lot 8 Area (AC)	1.13
Residential Building Area (SF)	344,995
Retail Building Area (SF)	35,232
Garage Area (SF)	168,460
Use	Mixed Use
Zoning	PMIX
Setback	0
Dwelling Units	374
Bedroom Count	426
Total Parking Spaces	660
Regular Parking Spaces	647
ADA Parking Spaces	13

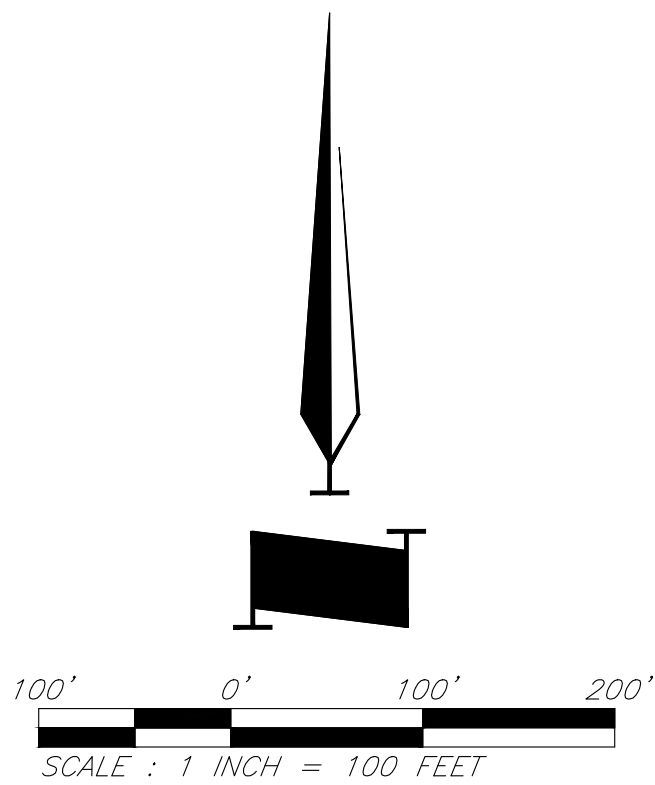


Legend	
	Power Pole
	Guy Anchor
	Electric Meter
	Electrical Transformer
	Electric Pedestal
	Power Pole/Telephone Pole
	Power Pole/Light Pole
	Gas Meter
	Gas Valve
	Curb Inlet
	Junction Box
	Sanitary Sewer Manhole
	Light Pole
	Boring Hole
	Sign
	Property Corner
	Telephone Manhole
	Telephone Pedestal
	Telephone Pole
	Proposed Building
	Barbed Wire Fence
	Centerline
	Fiber Optic Line
	Gas Line
	Guard Rail
	Over Head Electric
	Over Head Telephone
	Property Line
	Right-of-Way Line
	Sanitary Sewer Line
	Stream
	Underground Electric
	Underground Telephone
	Underground Cable TV
	Water Line
	Proposed Grades
	Proposed Storm Sewers
	Existing Grades
	Existing Storm Sewers
	Tree Deciduous
	Fire Hydrant
	Water Meter
	Proposed Floodway
	Proposed Floodplain
	Stream Corridor

**PROJECT BENCHMARK**

BM #11 - Chiseled "L" on top Northeast corner of concrete guardrail at the Northeast corner of I470 and Cedar Creek Bridge. Coordinates: N=1008590.33', E=2803864.07', EL=833.80

BM #13 - Chiseled "L" on NE corner of Interstate 470 and Cedar Creek Bridge. Coordinates: N=1008342.79', E=2806758.22', EL=852.04'



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PROJECT:

**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24	Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

**General Site Plan**

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C001

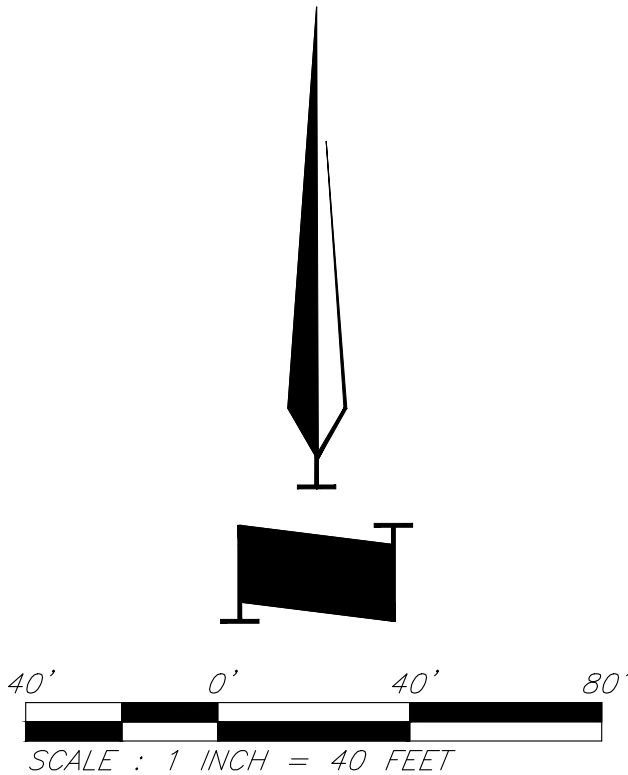


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**CAUTION!**  
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

- LEGEND**
- Existing Contour
  - Existing Flood Zone AE
  - Existing Flood Zone X
  - Stream Corridor
  - Proposed Floodplain
  - Proposed Floodway



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PROJECT:

**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

**FDP Resubmittal**

ISSUE:

11/5/24	Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

**Existing Conditions**

JOB NO: 18017, 19050.07, 19050.08  
DATE: 08.12.2022    DRAWN BY: JRH

SHEET NO:

**C002**



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FDP BOUNDARY DESCRIPTION

A tract of land being all of Lot 2, Paragon Star First Plat, a subdivision in the North Half of Northwest Quarter of Section 34, Township 48 North, Range 32 West of the Fifth Principal Meridian, in the City of Lee's Summit, Jackson County, Missouri, more particularly described as follows:

Commencing at the Northwest Corner of the Northwest Quarter of said Section 34; thence South 02°25'47" West, along the West line of said Section, a distance of 895.66 feet, to a point on a non-tangent curve, said point also being the Point of Beginning; thence Northeasterly, departing said West line, along a curve to the right, having a radius of 648.00 feet, a central angle of 54°41'08", and an initial tangent bearing of North 15°06'40" East, a distance of 618.48 feet, to a point of tangency; thence North 69°47'48" East, a distance of 235.03 feet, to a point of curvature; thence Northeasterly and Southeasterly, along a curve to the right, having a radius of 84.00 feet, and a central angle of 91°10'09", a distance of 133.66 feet, to a point of tangency; thence South 19°02'03" East, a distance of 13.19 feet, to a point of curvature; thence Southeasterly, along a curve to the left, having a radius of 616.00 feet, a central angle of 18°21'00", a distance of 197.28 feet, to a point of compound curvature; thence Southeasterly, along a curve to the left, having a radius of 540.00 feet, a central angle of 13°19'41", a distance of 125.61 feet, to a point of tangency; thence South 50°42'44" East, a distance of 438.70 feet, to a point of curvature; thence Southeasterly, along a curve to the right, having a radius of 370.00 feet, and a central angle of 21°49'29", a distance of 140.94 feet, to a point of compound curvature; thence Southeasterly and Southerly, along a curve to the right, having a radius of 264.00 feet, and a central angle of 12°30'46", a distance of 57.65 feet, to a point of compound curvature; thence Southerly, along a curve to the right, having a radius of 368.00 feet, and a central angle of 13°59'23", a distance of 89.85 feet; thence South 01°25'13" East, a distance of 3.16 feet, to a point on a non-tangent curve; thence Southerly and Southwesterly, along a curve to the right, having a radius of 48.98 feet, a central angle of 56°47'34", and whose initial tangent bearing is South 01°25'22" East, a distance of 48.55 feet, to a point of compound curvature; thence Southwesterly and Westerly, along a curve to the right, having a radius of 112.00 feet, and a central angle of 31°18'53", a distance of 61.21 feet, to a point of tangency; thence South 86°41'02" West, a distance of 214.11 feet; thence North 78°36'20" West, a distance of 41.68 feet; thence North 86°20'31" West, a distance of 743.41 feet; thence South 83°16'48" West, a distance of 64.46 feet; thence North 84°23'47" West, a distance of 159.95 feet, to a point of curvature; thence Westerly and Northwesterly, along a curve to the right, having a radius of 111.50 feet, and a central angle of 33°14'40", a distance of 64.69 feet, to a point of compound curvature; thence Northeasterly, along a curve to the right, having a radius of 84.00 feet, a central angle of 16°00'54", a distance of 23.48 feet, to a point of reverse curvature; thence Northwesterly, along a curve to the left, having a radius of 106.00 feet, a central angle of 07°58'31", a distance of 14.75 feet, to a point of reverse curvature; thence Northwesterly, along a curve to the right, having a radius of 84.00 feet, a central angle of 12°03'20", a distance of 17.67 feet, to a point on said West line; thence North 02°25'47" East, along said West line, a distance of 280.21 feet, to the Point of Beginning, containing 854,869.97 square feet or 19.63 acres, more or less.

Coordinates Shown Hereon:

Modified State Plane (Project Ground Coordinates)  
2403 - Missouri West, U.S. Feet  
Vertical - NAVD83, U.S. Feet

CAF=0.99990648  
Coordinates x CAF = State Plane

CP #100 - 1/2" rebar with GBA cap on South side of View High Drive, 18' West of asphalt field entrance, approximately 975' North along the centerline of View High Drive from the ramp to West bound I-470.  
Coordinates:  
N: 1009568.88"  
E: 2803498.54"  
EL: 819.37'

Ties:  
1) North 4.15' to the South edge of asphalt of View High Drive  
2) East 18.00' to West edge of asphalt field entrance  
3) South 27.50' to west end of 18" cmp culvert for field entrance

CP #102 - 1/2" rebar with GBA cap along South side of East bound I-470, East of Bridge spanning View High Drive.  
Coordinates:  
N: 1009463.46"  
E: 2803878.88"  
EL: 829.94'

Ties:  
1) ENE 38.90' to centerline of steel highway reflector post, 1st post E. of bridge  
2) North 9.50' to South edge of asphalt shoulder of East bound I-470  
3) WNW 53.65' to top SE corner of concrete guardrail for I-470 bridge spanning View High Drive

CP #104 - 1/2" rebar with GBA cap along South edge of off ramp from East bound I-470 to View High Drive.  
Coordinates:  
N: 1008447.60"  
E: 2803180.41"  
EL: 822.96'

Ties:  
1) North 3.10' to South edge of asphalt of off ramp  
2) WNW 3.00' to SE corner of concrete pad around state lighting control box  
3) North 47.20' to SE corner of concrete pad around state lighting control box, North side of off ramp  
4) East 530 1/2 to centerline of View High Drive

CP #105 - 1/2" rebar with GBA cap in grass between South edge of asphalt of East bound I-470 and the North edge of asphalt of East bound on ramp from View High Drive, at East end of grass area.  
Coordinates:  
N: 1008400.01"  
E: 2804608.18"  
EL: 833.34'

Ties:  
1) SW 8.64' to centerline of reflector post, North side of on ramp  
2) East 52.40' to centerline of reflector post, South side of I-470, East end of grass area

CP #106 - Set 1/2" rebar with GBA cap, West of View High Drive, South of entrance to substation at 10528 View High Drive  
Coordinates:  
N: 1006295.09"  
E: 2803203.41"  
EL: 844.66'

Ties:  
1) NE 62.75' to front face of curb inlet

2) N 28 1/2 to center of gravel substation entrance  
3) E 20 1/2 to West edge of sidewalk

CP #120 - 1/2" rebar with GBA cap at NW corner of View High Drive and access road "Future View High Drive Pkwy"  
Coordinates:  
N: 1009573.66"  
E: 2803729.57"  
EL: 811.46'

Ties:  
1) NW 3.60' to East edge of asphalt  
2) West 51.44' to back of curb at nose of island  
3) NE 56.30' to center of MH lid

CP #121 - 1/2" rebar with GBA cap approximately 1430 ± ENE of access road "Future View High Drive Pkwy" from View High Drive, near MH #1055  
Coordinates:  
N: 1009788.28"  
E: 2805047.90"  
EL: 806.65'

Ties:  
1) SW 3.65' to center of MH lid  
2) WNW 14 ± to power pole  
3) NW 35.65' to NE corner of chain link fence area

CP #122 - 1/2" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive  
Coordinates:  
N: 1010126.48"  
E: 2804884.88"  
EL: 813.20'

Ties:  
1) West 298 ± to center of MH lid  
2) South 199 ± to center of MH lid

CP #302 - 5/8" rebar on North end of gravel construction parking area, at NE quadrant of intersection of Interstate 470 and View High Drive  
Coordinates:  
N: 1009855.67"  
E: 2804291.58"  
EL: 813.83'

Ties:  
1) SE 156 ± to high voltage power pole

CP #303 - 1/2" rebar at E. end of gravel construction parking area  
Coordinates:  
N: 1009733.32"  
E: 2804645.61"  
EL: 811.78'

Ties:  
1) South 5.00' to North edge of high voltage OHP  
2) West 34.00' to East edge of gravel parking lot  
3) SW 57.85' to steel R/W post at fence line

CP #304 - 1/2" rebar West of future View High Pkwy at top of hill near tree line, approximately 732 ± North of access road "Future View High Drive Pkwy" from View High Drive  
Coordinates:  
N: 1010251.92"  
E: 2803699.53"  
EL: 839.39'

Ties:  
1) NNE 23.10' to South face of twin 10" oak tree  
2) SW 5.30' to East face of 10" oak tree  
3) NW 14.60' to East face of 9" oak tree

CP #305 - 1/2" rebar South of dead end of

gravel driveway, which connects to Easterly end of E. 97th Street, on top of hill.  
Coordinates:  
N: 1010784.43"  
E: 2804698.47"  
EL: 888.55'

Ties:  
1) SE 4.00' to great break at ridge line

CP #306 - 1/2" rebar on South side of gravel drive leading to lift station, near bend in road.  
Coordinates:  
N: 1009431.99"  
E: 2806165.47"  
EL: 810.46'

Ties:  
1) North 4.00' to South edge of gravel drive  
2) SE 18.80' to North face of power pole

BM #10 - Chiseled "L" on top SW corner of concrete curb inlet at NE Quadrant of intersection of View High Drive and Chipman Road, 1st inlet East of View High Drive.  
Coordinates:  
N: 1005584.32"  
E: 2803334.61"  
EL: 951.45'

BM #11 - Chiseled "L" cut on NE corner of concrete guard rail at NE corner of Interstate 470 and View High Drive  
Coordinates:  
N: 1008590.33"  
E: 2803864.07"  
EL: 833.80'

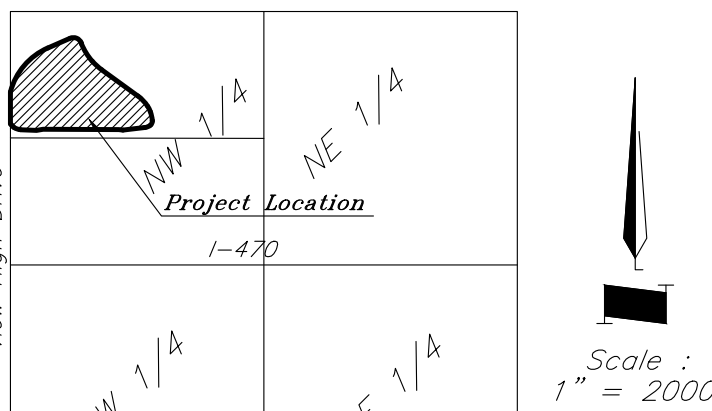
BM #13 - Chiseled "L" on NE corner of Interstate 470 and Cedar Creek Bridge  
Coordinates:  
N: 1008542.79"  
E: 2806758.22"  
EL: 852.04'

BM #16 - Chiseled "U" on top centerline of West side of curb inlet, at North end of island for View High Drive, 1st inlet South of Meers Road.  
Coordinates:  
N: 1007918.62"  
E: 2803553.77"  
EL: 830.12'

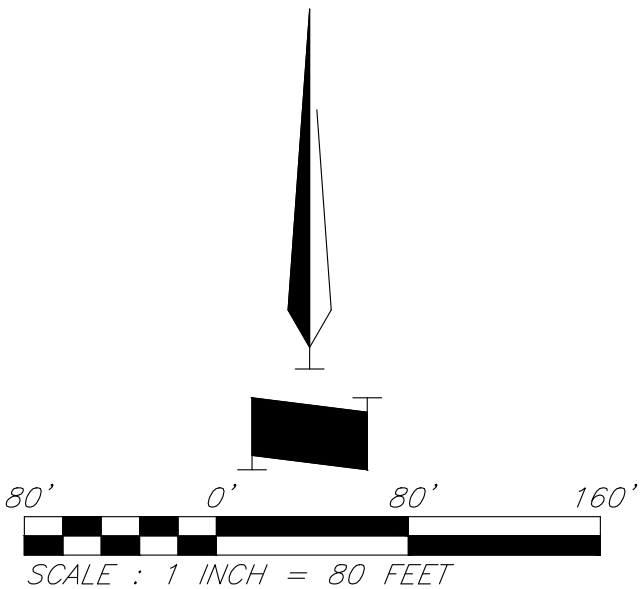
AREA TABLE

ADDRESS	LOT	AREA	BUILDING SETBACK TO PERIMETER PROPERTY	PARKING SETBACK	FLOOR-AREA RATIO
3290 NW Paragon Pkwy	LOT 5	618,315.40 sqft or 14.20 acres	N/A	N/A	N/A
3280 NW Paragon Pkwy	LOT 6	31,334.95 sqft or 0.72 acres	0 FT	0 FT	N/A
3200 NW Paragon Pkwy	LOT 7A	48,455.77 sqft or 1.11 acres	0 FT	0 FT	0.86
3260 NW Paragon Pkwy	LOT 7B	30,055.22 sqft or 0.69 acres	0 FT	0 FT	1.00
3240 NW Paragon Pkwy	LOT 7C	77,652.57 sqft or 1.78 acres	0 FT	0 FT	0.54
3220 NW Paragon Pkwy	LOT 8	49,056.06 sqft or 1.13 acres	0 FT	0 FT	N/A
Total		854,869.97 sqft or 19.63 acres			

COORDINATE TABLE					
Point	Northing	Easting	Point	Northing	Easting
1A-96	1000821.54	2794091.51	12	1009512.58	2804874.77
1	1009849.40	2803493.77	13	1009471.07	2804853.64
2	1010288.56	2803895.54	14	1009451.41	2804796.48
3	1010369.72	2804116.09	15	1009439.03	2804582.75
4	1010318.29	2804224.49	16	1009447.26	2804541.89
5	1010305.83	2804228.80	17	1009494.69	2803800.06
6	1010132.73	2804321.64	18	1009487.14	2803736.05
7	1010042.66	2804408.77	19	1009502.76	2803576.88
8	1009764.89	2804748.29	20	1009526.89	2803517.83
9	1009657.27	2804837.95	21	1009543.96	2803501.83
10	1009604.17	2804860.09	22	1009555.40	2803492.53
11	1009515.74	2804874.69	23	1009569.47	2803481.89



VICINITY MAP  
Section 34, Township 48, Range 32



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Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24 Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

FDP Lot Plan

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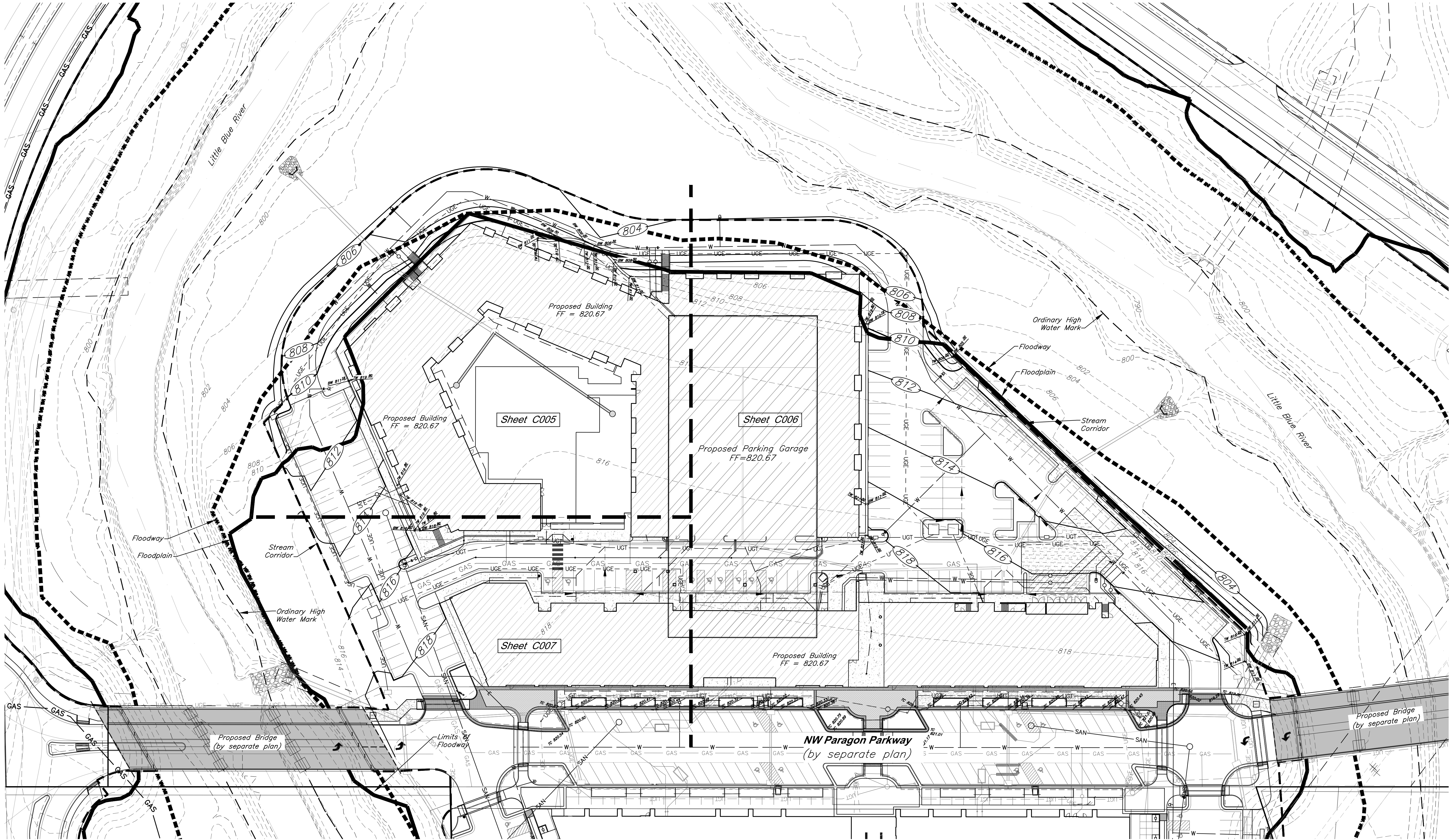
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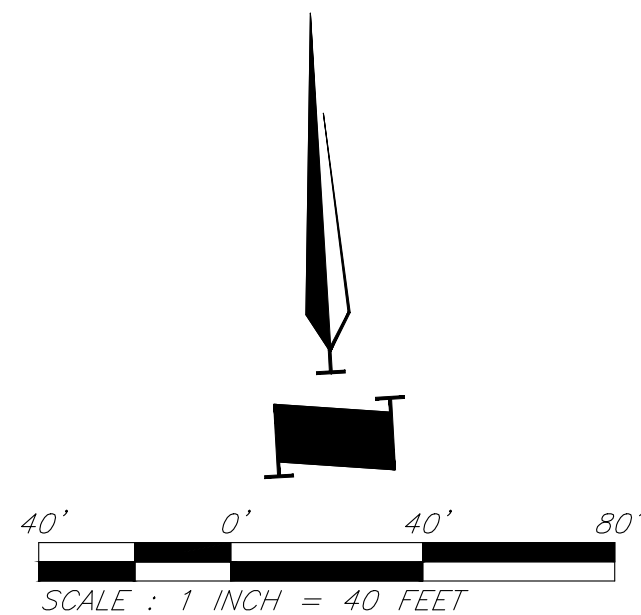


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utilities prior to commencing  
construction.

LEGEND			
	Existing Contour		Existing Flood Zone AE
	Proposed Contour		Existing Flood Zone X
	Proposed Top of Curb		Stream Corridor
	Proposed Spot Grade		Proposed Floodplain
	Drainage Flow Arrow		Proposed Floodway



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ISSUE:

11/5/24 Revision

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DRAWING TITLE:

**Overall Grading  
Plan**

JOB NO: 18017, 19050.07, 19050.08

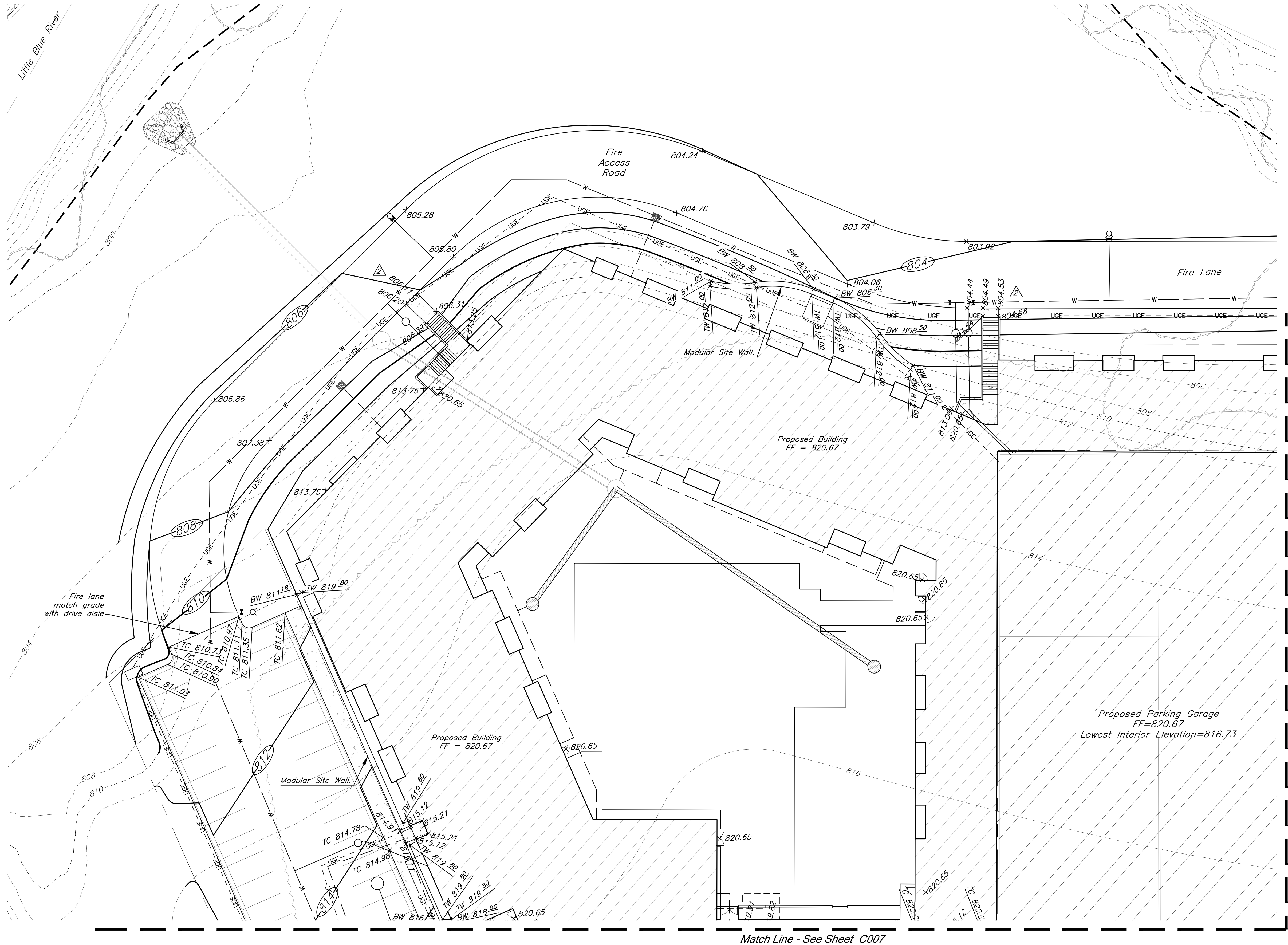
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SHEET NO:

**C004**

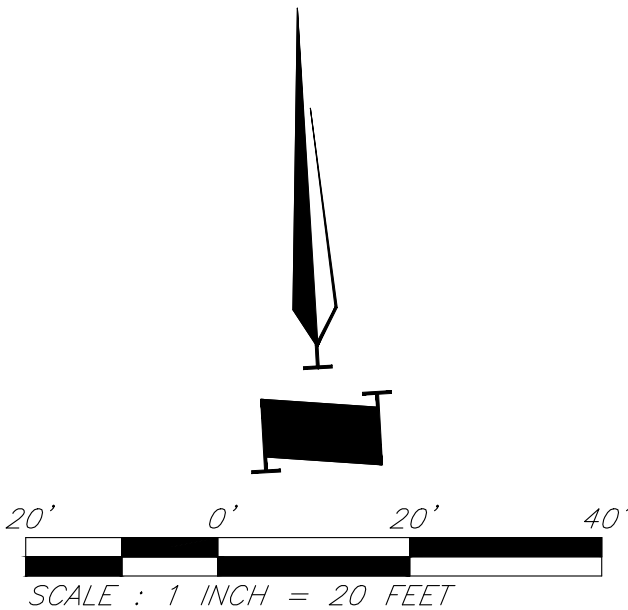


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**CAUTION!**  
Numerous Utilities on site. Contractor  
to verify location and elevation of all  
utilities prior to commencing  
construction.

- LEGEND**
- |                 |                      |     |                        |
|-----------------|----------------------|-----|------------------------|
| ---XXX---       | Existing Contour     | --- | Existing Flood Zone AE |
| ---(XXX)---     | Proposed Contour     | --- | Existing Flood Zone X  |
| ---TC XXX.XX--- | Proposed Top of Curb | --- | Stream Corridor        |
| ---XXX.XX---    | Proposed Spot Grade  | --- | Proposed Floodplain    |
| --->---         | Drainage Flow Arrow  | --- | Proposed Floodway      |



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PROJECT:

# Paragon Star North Village

3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

7/11/22	Addendum 1
11/5/24	Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

Grading Plan

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

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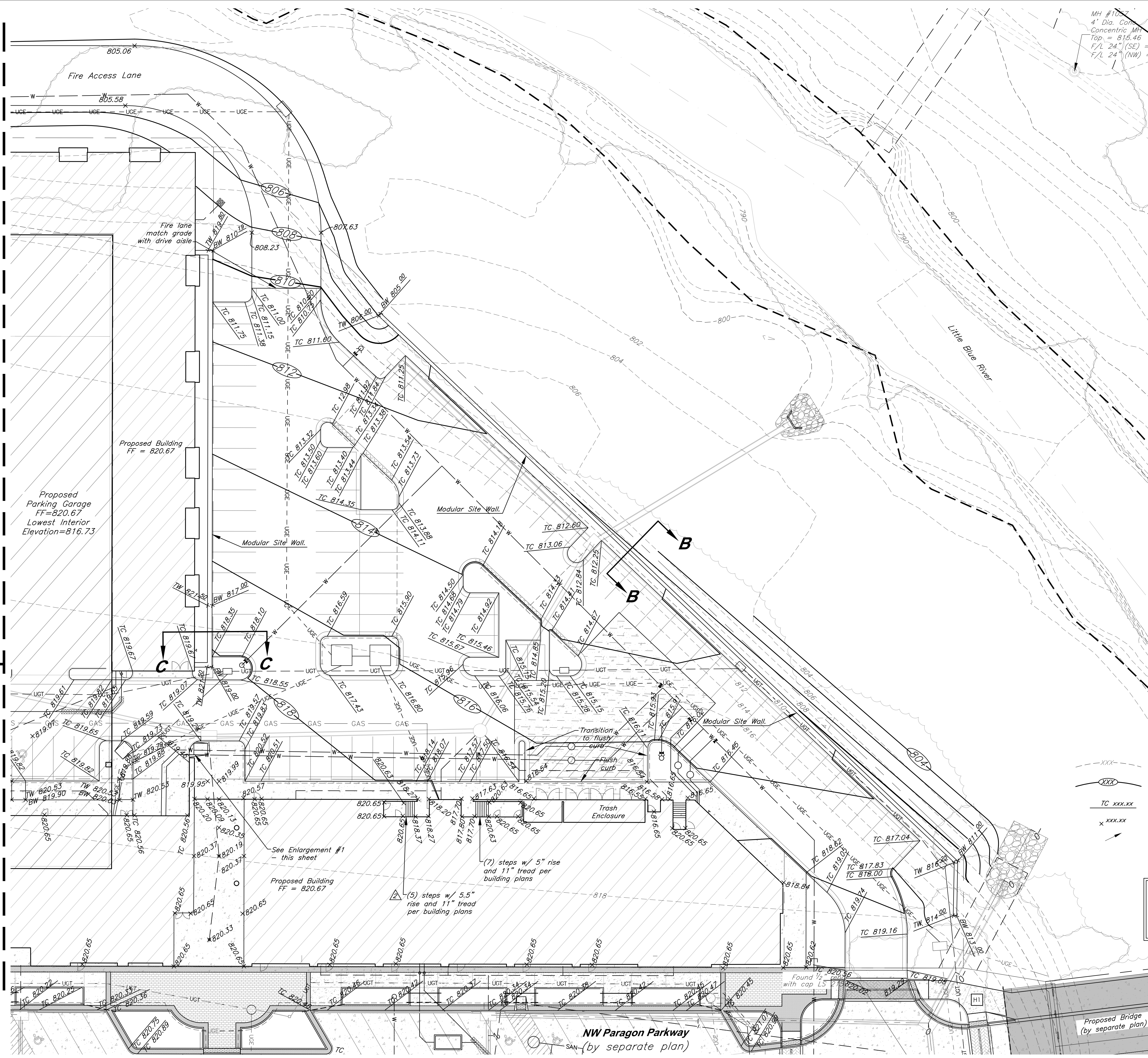
C005



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Match Line - See Sheet C008

Match Line - See Sheet C007



MH #100  
4" Dia. Conc.  
Concentric MH  
Top = 815.46  
F/L 24" (SE) =  
F/L 24" (NW) =

Top of Wall elevation  
varies. See Grading  
Plan this sheet

Big Block or  
approved equal

Final Grade  
Slope 3:1

Existing  
Grade

### SITE WALL SECTION B-B

Not to Scale

Top of Wall = 821.50

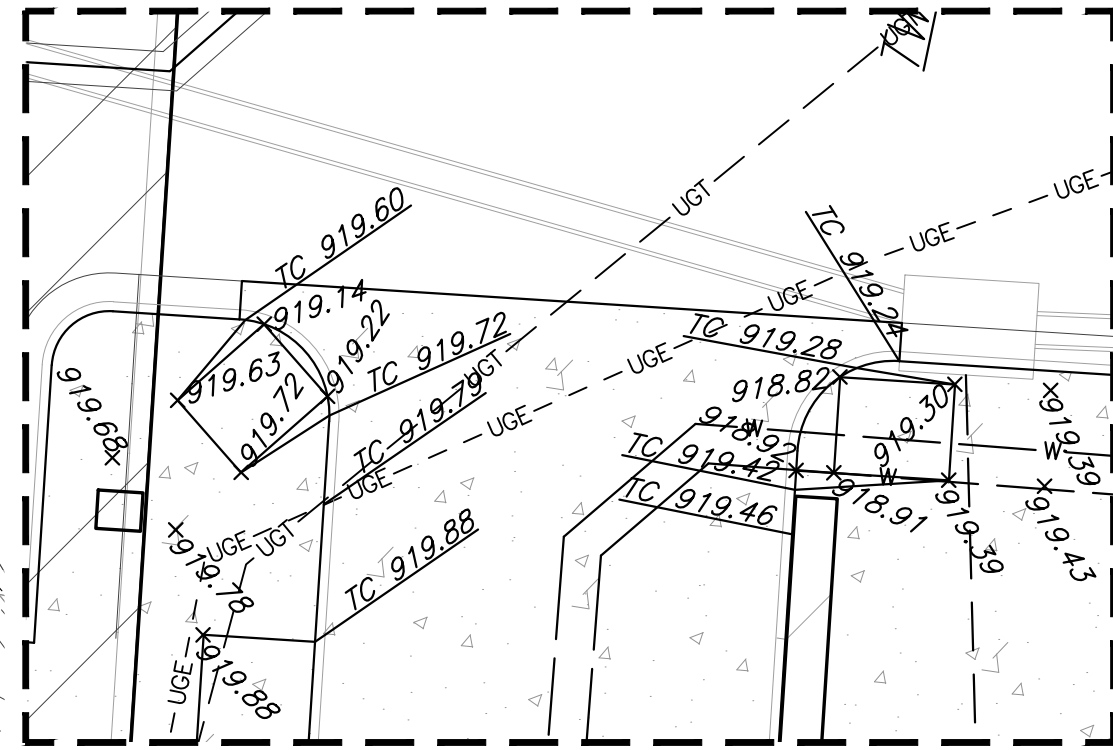
Big Block or  
approved equal

Parking Lot  
grade

Existing  
Grade

### SITE WALL SECTION C-C

Not to Scale



Enlargement #1

Scale: 1" = 10'

### LEGEND

---XXX---	Existing Contour	---	Existing Flood Zone AE
---XXX---	Proposed Contour	---	Existing Flood Zone X
TC xxx.xx	Proposed Top of Curb	---	Stream Corridor
x xxx.xx	Proposed Spot Grade	---	Proposed Floodplain
→	Drainage Flow Arrow	---	Proposed Floodway

### CAUTION!

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20' 0' 20' 40'  
SCALE : 1 INCH = 20 FEET

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PROJECT:

Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

7/11/22	Addendum 1
11/5/24	Revision

PROFESSIONAL SEAL:

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SHEET NO:

C006





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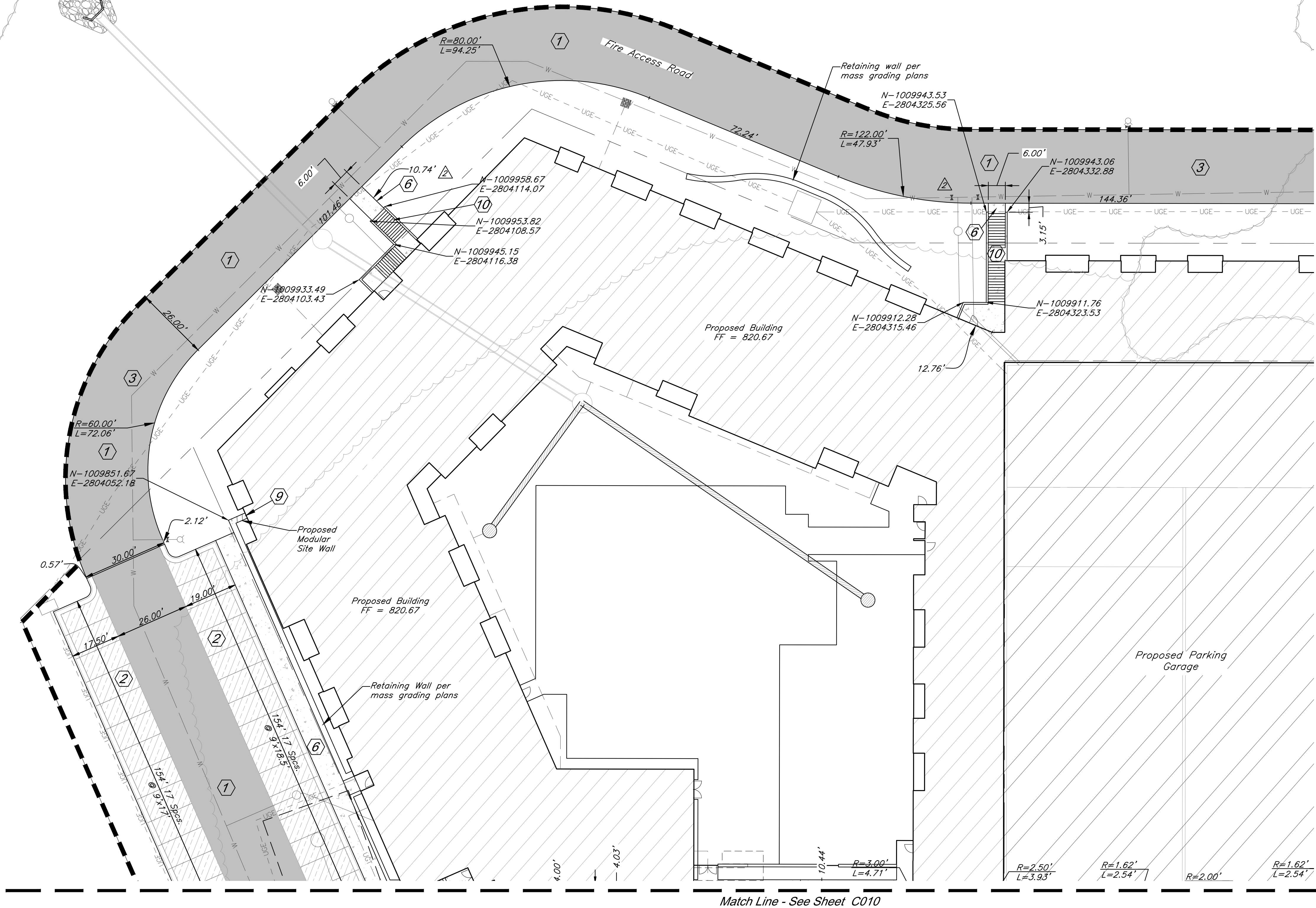
3200 NW Paragon Parkway, Lee's Summit, MO 64081

C007



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Little Blue River



**CONSTRUCTION NOTES:**

- 1 Proposed HD Asphalt Pavement
- 2 Proposed LD Asphalt Pavement
- 3 Proposed Fire Access Road
- 4 Type CG-1 Curb & Gutter
- 6 Construct Concrete Sidewalk
- 9 Construct Modular Site Walls per Architectural and Structural Plans
- 10 Construct Stairs per Architectural and Structural Plans

**DIMENSION NOTES:**

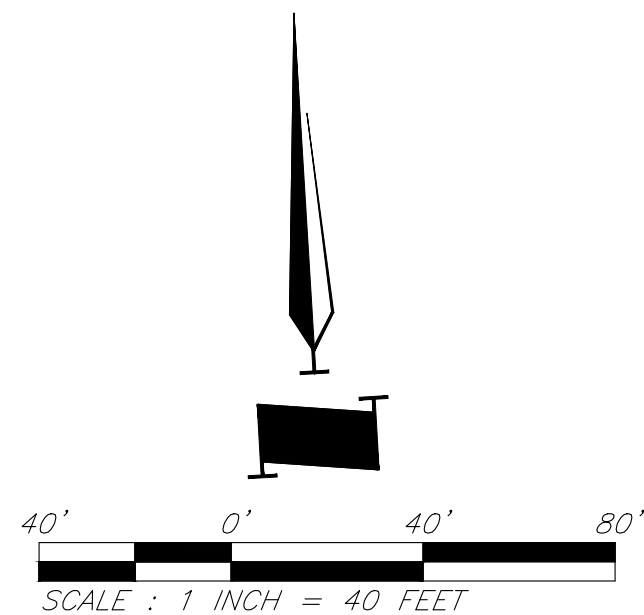
1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheets C018-C019 for construction details.

**CAUTION!**

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

**LEGEND**

- |  |                             |  |                                  |
|--|-----------------------------|--|----------------------------------|
|  | Proposed HD Asphalt Surface |  | Proposed Water Line              |
|  | Proposed LD Asphalt Surface |  | Proposed Storm Sewer             |
|  | Type CG-1 "Dry Curb"        |  | Existing Sanitary Sewer          |
|  | Proposed Modular Site Wall  |  | Crosswalk Sign / Stop Sign (Typ) |
|  | Proposed Concrete Walk      |  | Proposed Grass Paver             |



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PROJECT:

**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081  
FDP Resubmittal

ISSUE:

	7/11/22	Addendum 1
	11/5/24	Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

**Dimension Plan**

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

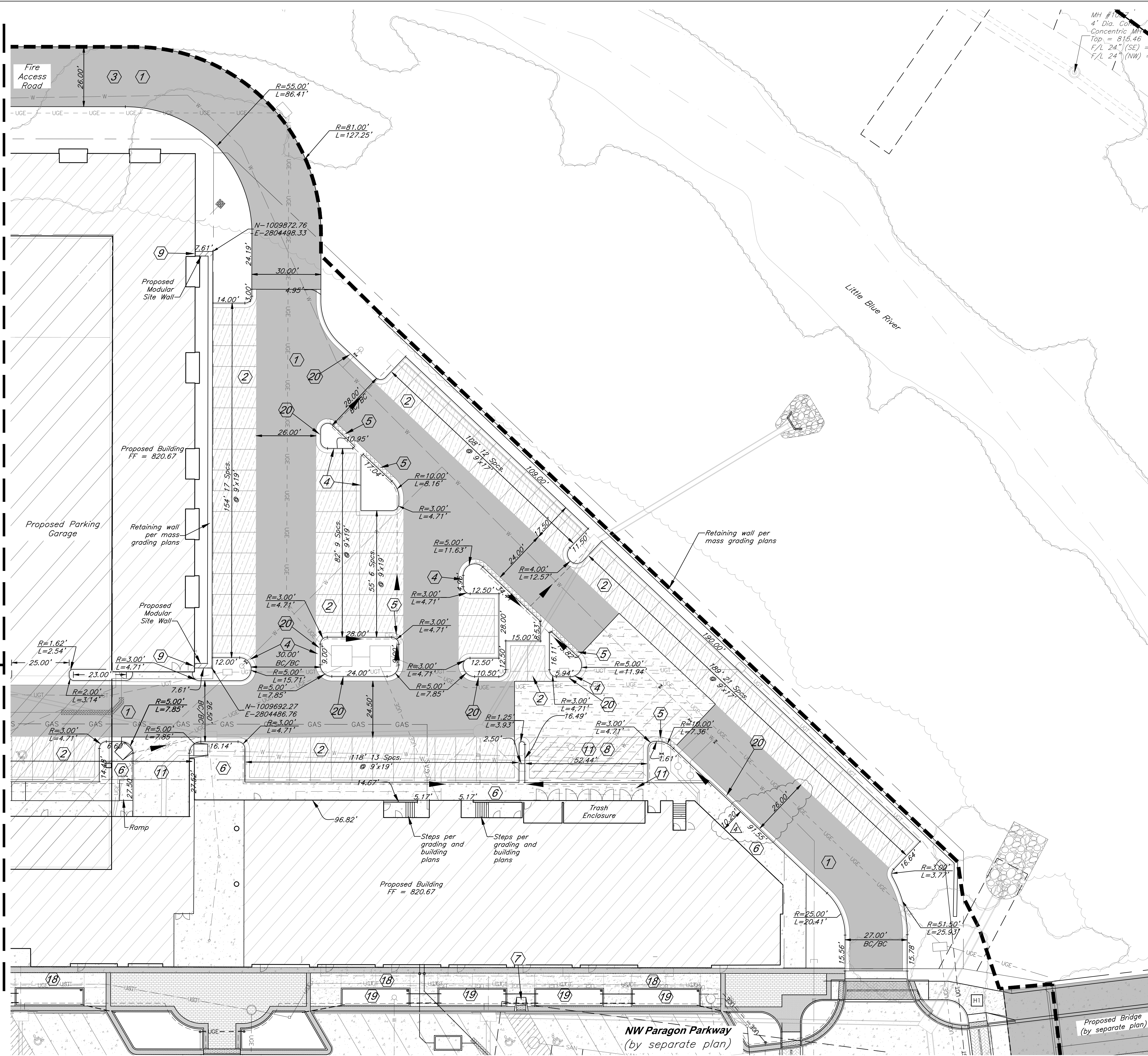
**C008**



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Match Line - See Sheet C008

Match Line - See Sheet C010



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**CONSTRUCTION NOTES:**

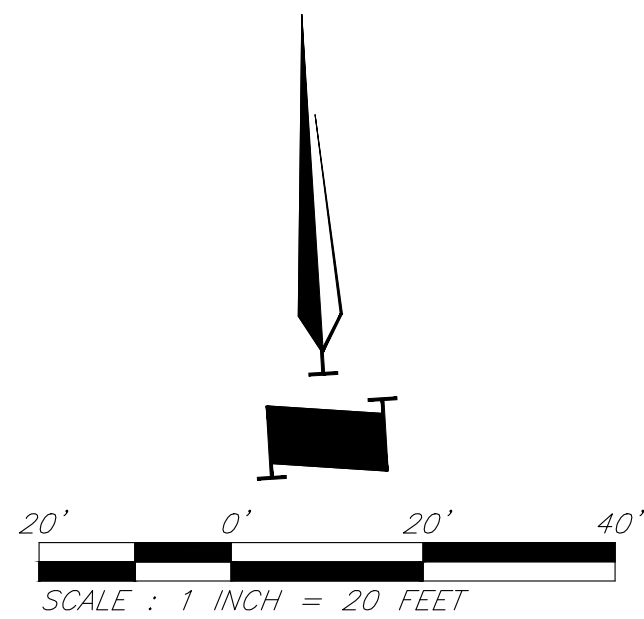
- 1 Proposed HD Asphalt Pavement
- 2 Proposed LD Asphalt Pavement
- 3 Proposed Fire Access Road
- 4 Type CG-1 Curb & Gutter
- 5 Type CG-1 "Dry" Curb & Gutter
- 6 Construct Concrete Sidewalk
- 7 Construct ADA Ramp
- 8 No Parking Pavement Striping for Trash Enclosure
- 9 Construct Modular Site Walls per Architectural and Structural Plans
- 11 Proposed HD Concrete Pavement
- 18 Construct typical sidewalk per streetscape details
- 19 Construct raised planter per streetscape details
- 20 Paint each edge of paved fire lane per Lee's Summit Code Chapter 13, Article III, Section 13-44-503.3. Paint 6 inch wide stripe on asphalt with 4 inch white lettering stating "FIRE LANE-NO PARKING". Wording shall not be spaced greater than 15 feet apart.

**DIMENSION NOTES:**

1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheet C018-C019 for construction details.

**LEGEND**

- Proposed HD Asphalt Surface
- Proposed LD Asphalt Surface
- Proposed Concrete Pavement
- Proposed HD Concrete Pavement (Trash Enclosure)
- Proposed Grass Paver
- Type CG-1 "Dry Curb"
- Proposed Water Line
- Proposed Storm Sewer
- Existing Sanitary Sewer



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PROJECT:

**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

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11/5/24 Revision

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Dimension Plan

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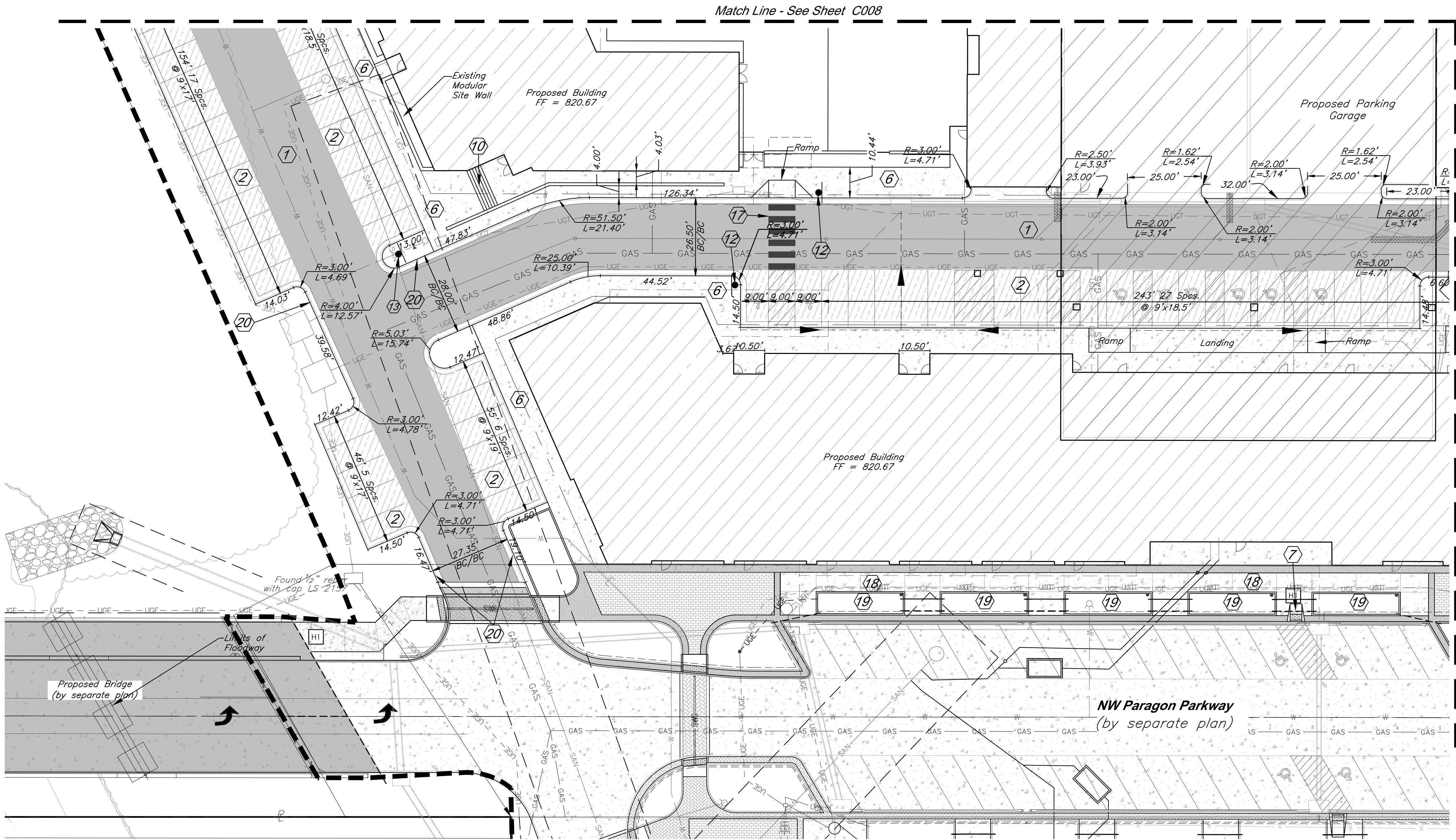
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SHEET NO:

**C009**

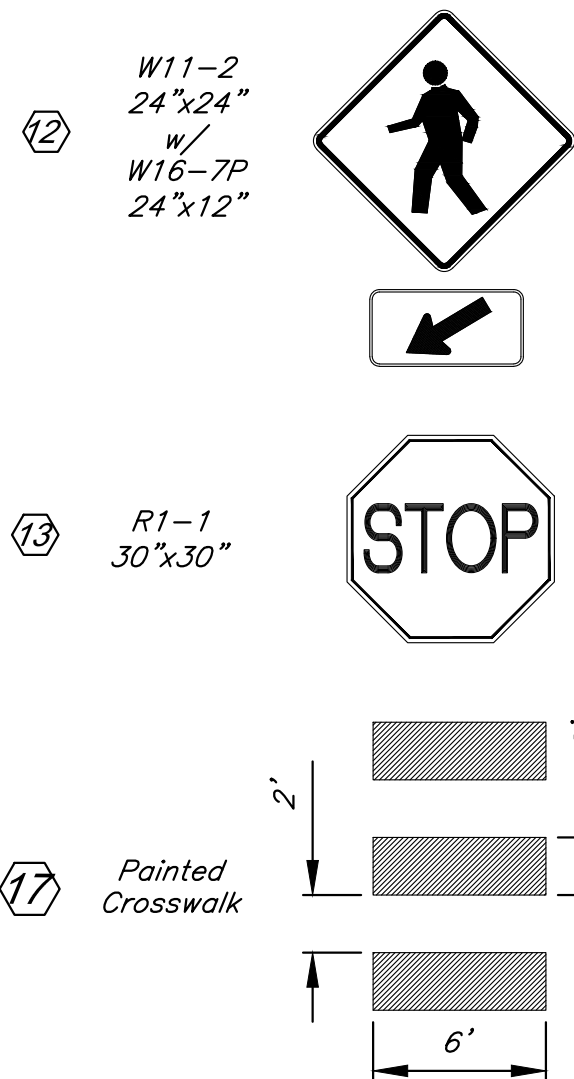


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Notes:

- All signs shall be placed 2' behind back of curb unless otherwise noted.
- All ADA accessible parking stalls to be painted in accordance with U.S. Dept. of Justice specifications.
- All pavement markings on private property shall be waterborne paint.
- All pavement markings in public Right of Way shall be preformed Thermoplastic conforming to AASHTO M249-79.



CONSTRUCTION NOTES:

- Proposed HD Asphalt Pavement
- Proposed LD Asphalt Pavement
- Type CG-1 Curb & Gutter
- Type CG-1 "Dry" Curb & Gutter
- Construct Concrete Sidewalk
- Construct ADA Ramp
- Construct Stairs per Architectural and Structural Plans
- Crosswalk Signage (See Detail this Sheet)
- Stop Sign Signage (See Detail this Sheet)
- White Traffic Paint Crosswalk
- Construct typical sidewalk per streetscape details
- Construct raised planter per streetscape details
- Paint each edge of paved fire lane per Lee's Summit Code Chapter 13, Article III, Section 13-44-503.3. Paint 6 inch wide stripe on asphalt with 4 inch white lettering stating "FIRE LANE-NO PARKING". Wordings shall not be spaced greater than 15 feet apart.

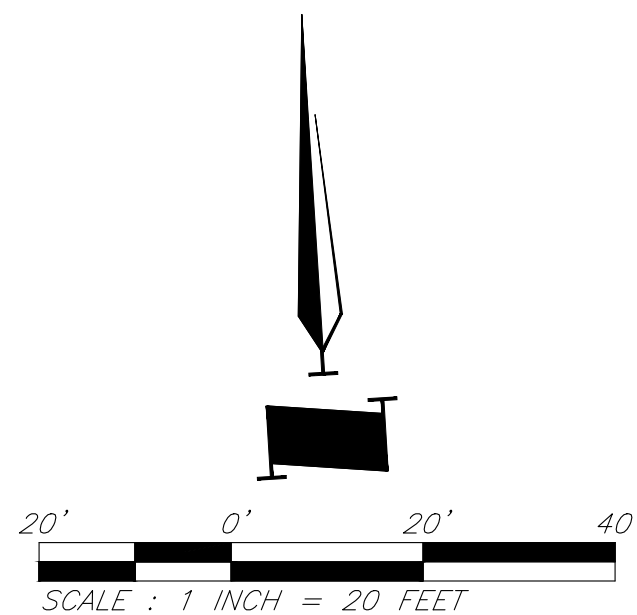
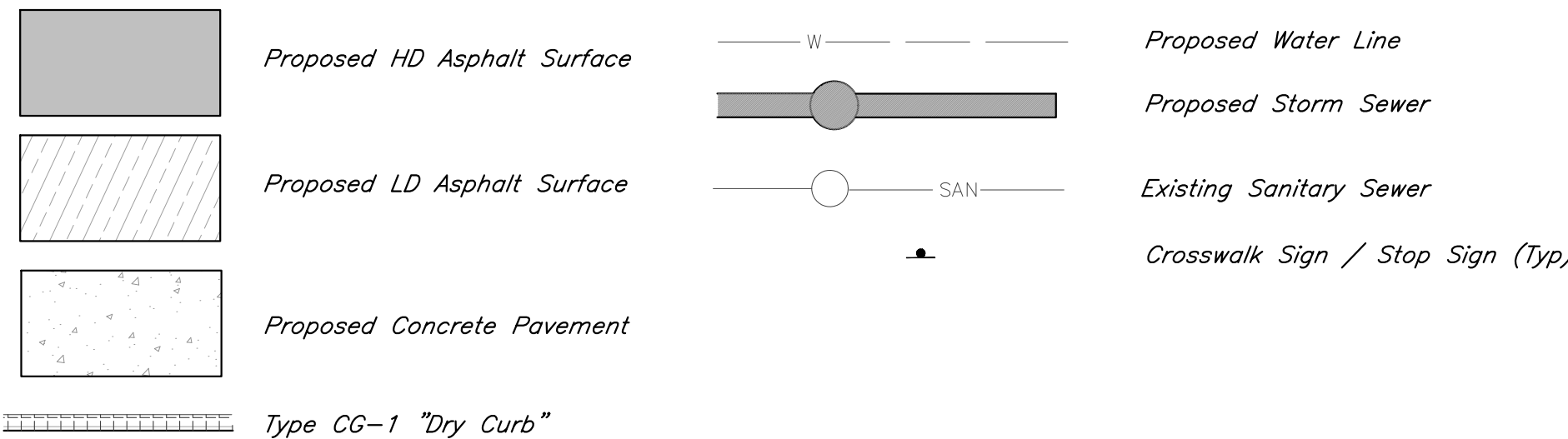
DIMENSION NOTES:

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- Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
- See Sheet C018 - C019 for construction details.

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LEGEND



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PROJECT:

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3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24	Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

Dimension Plan

JOB NO: 18017, 19050.07, 19050.08

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C010



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Sanitary Sewer Construction Notes

- (S1) Connect 6" Service Line to Sanitary Sewer Line A with cut-in wye, Sta=14+18.41,  $\ell$ =809.26.  $\ell$  End of wye=809.93. Install 67 LF 6" Dia. SDR26 PVC Pipe @ 7.07% to S3.
- (S2) Install Cleanout
- (S3) Connect to 6" building stub,  $\ell$ =814.67. See MEP plan for continuation.
- (S4) Connect 6" Service Line to Sanitary Sewer Line A with cut-in wye, Sta=14+8.20,  $\ell$ =809.17.  $\ell$  End of Tee=809.84. Install 200 LF 6" Dia. SDR26 PVC Pipe @ 1% to S5.
- (S5) Install wye connection,  $\ell$ =811.83. Install 21 LF 6" Dia. SDR26 PVC Pipe @ 1% to S6. Install 60.5 LF 6" Dia. SDR26 PVC Pipe @ 1% to S7.
- (S6) Connect to 6" building stub,  $\ell$ =812.04. See MEP plan for continuation.
- (S7) Install wye connection,  $\ell$ =812.44. Install 19 LF 6" Dia. SDR26 PVC Pipe @ 1% to S8. Install 95 LF 6" Dia. SDR26 PVC Pipe @ 1% to S9.
- (S8) Connect to 6" building stub,  $\ell$ =812.63. See MEP plan for continuation.
- (S9) Connect to 6" building stub,  $\ell$ =813.39. See MEP plan for continuation.
- (S10) 45° Bend
- (S11) 22.5° Bend
- (S12) Sanitary line crosses under storm sewer. Construct 10 LF Reinforced Concrete Encasement, centered on crossing.
- (S13) Sanitary line crosses under storm sewer. Construct 30 LF Reinforced Concrete Encasement, centered on crossing.
- (S14) Connect 6" Service Line to existing Sanitary Sewer Service Stub,  $\ell$ =811.41±. Install 6 LF 6" dia. SDR26 PVC north to building stub,  $\ell$ =813.67.
- (S15) Connect 4" Service Line to existing Sanitary Sewer Service Stub,  $\ell$ =811.41±. Install 6 LF 4" dia. SDR26 PVC north to building stub (grease line),  $\ell$ =813.67.
- (S16) Connect 6" Service Line to existing Sanitary Sewer Service Stub,  $\ell$ =813.20±.
- (S17) Connect 4" Service Line to existing Sanitary Sewer Service Stub (grease line),  $\ell$ =813.20±.

Storm Sewer Construction Notes

- (ST1) Connect roof drain line to Structure 5002,  $\ell$ =813.00. Install 6 LF 10" Dia. SDR 26 PVC @ 2% to ST2.
- (ST2) Install tee connection,  $\ell$ =813.12. Install 21 LF 10" Dia. SDR26 PVC @ 2% to ST3. Install 14 LF 10" Dia. SDR26 PVC @ 2% to ST4.
- (ST3) Connect to building stub,  $\ell$ =813.54. See MEP Plan for continuation.
- (ST4) Install tee connection,  $\ell$ =813.40. Install 6.5 LF 10" Dia. SDR26 PVC @ 2% to ST5. Install 70.5 LF 10" Dia. SDR26 PVC @ 2% to ST6.
- (ST5) Connect to building stub,  $\ell$ =813.53. See MEP Plan for continuation.
- (ST6) Install tee connection,  $\ell$ =814.81. Install 2.5 LF 10" Dia. SDR26 PVC @ 5% to ST7. Install 29 LF 10" Dia. SDR26 PVC @ 2% to ST8.
- (ST7) Connect to building stub,  $\ell$ =814.94. See MEP Plan for continuation.
- (ST8) Connect to building stub,  $\ell$ =815.39. See MEP Plan for continuation.
- (ST9) Connect roof drain line to Structure 5901,  $\ell$ =813.00. Install 4 LF 12" Dia. SDR 26 PVC @ 2% to ST10.
- (ST10) Install tee connection,  $\ell$ =813.08. Install 25 LF 12" Dia. SDR26 PVC @ 2% to ST11. Install 27.5 LF 12" Dia. SDR26 PVC @ 2% to ST12.
- (ST11) Connect to building stub,  $\ell$ =813.58. See MEP Plan for continuation.
- (ST12) Install tee connection,  $\ell$ =813.63. Install 6 LF 12" Dia. SDR26 PVC @ 2% to ST13. Install 60.5 LF 12" Dia. SDR26 PVC @ 2% to ST14.
- (ST13) Connect to building stub,  $\ell$ =813.75. See MEP Plan for continuation.
- (ST14) Connect to building stub,  $\ell$ =814.84. See MEP Plan for continuation.

- (ST15) Connect roof drain line to Structure 4301,  $\ell$ =813.71. Install 18 LF 8" Dia. SDR 26 PVC @ 2% to ST16.
- (ST16) Install tee connection,  $\ell$ =814.07. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST17. Install 57 LF 8" Dia. SDR26 PVC @ 2% to ST18.
- (ST17) Connect to building stub,  $\ell$ =814.15. See MEP Plan for continuation.
- (ST18) Install tee connection,  $\ell$ =815.21. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST19. Install 62 LF 8" Dia. SDR26 PVC @ 2% to ST20.
- (ST19) Connect to building stub,  $\ell$ =815.29. See MEP Plan for continuation.
- (ST20) Connect to building stub,  $\ell$ =816.45. See MEP Plan for continuation.

- (ST21) Connect roof drain line to Structure 4302,  $\ell$ =815.53. Install 22 LF 8" Dia. SDR 26 PVC @ 2% to ST22.
- (ST22) Connect to building stub,  $\ell$ =815.97. See MEP Plan for continuation.

- (ST23) Connect roof drain line to Structure 5401,  $\ell$ =815.03. Install 18 LF 8" Dia. SDR 26 PVC @ 2% to ST24.
- (ST24) Install tee connection,  $\ell$ =815.39. Install 18 LF 8" Dia. SDR26 PVC @ 2% to ST25. Install 33 LF 8" Dia. SDR26 PVC @ 2% to ST28.
- (ST25) Install tee connection,  $\ell$ =815.75. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST26. Install 60 LF 8" Dia. SDR26 PVC @ 2% to ST27.

- (ST26) Connect to building stub,  $\ell$ =815.83. See MEP Plan for continuation.
- (ST27) Connect to building stub,  $\ell$ =816.95. See MEP Plan for continuation.

- (ST28) Install tee connection,  $\ell$ =816.05. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST29. Install 52 LF 8" Dia. SDR26 PVC @ 2% to ST30.
- (ST29) Connect to building stub,  $\ell$ =816.13. See MEP Plan for continuation.
- (ST30) Connect to building stub,  $\ell$ =817.09. See MEP Plan for continuation.
- (ST31) Connect 8" PVC pipe to structure 5702,  $\ell$ =815.44. Install 49.67 LF 8" PVC pipe @ 2% to ST32.
- (ST32) Construct 12" Nyloplast Drain Basin with Pedestrian Grate Top elev.=820.19  $\ell$  8" In (S)=816.93  $\ell$  8" Out (N)=816.43 Install 36.5 LF 8" PVC pipe @ 2% to ST33.
- (ST33) Construct 12" Nyloplast Inline Drain with Pedestrian Grate Top elev.=820.33  $\ell$  8" Out (N)=817.66

- (ST34) Construct 3'x3' riprap pad. D50=6", depth=12".  $\ell$  6"=808.00 Install 21 LF 6" PVC roof drain SW @ 5% to ST35.

- (ST35) Connect to building stub,  $\ell$ =809.05. See MEP Plan for continuation.
- (ST36) Construct 3'x3' riprap pad. D50=6", depth=12".  $\ell$  6"=806.00 Install 23.5 LF 6" PVC roof drain SW @ 5% to ST37.

- (ST37) Connect to building stub,  $\ell$ =807.18. See MEP Plan for continuation.
- (ST38) Construct 3'x3' riprap pad. D50=6", depth=12".  $\ell$  8"=808.00 Install 12.5 LF 6" PVC roof drain SW @ 5% to ST39.

- (ST39) Connect to building stub,  $\ell$ =808.63. See MEP Plan for continuation.

- (ST40) Connect roof drain line to Structure 5705,  $\ell$ =816.25. Install 46.5 LF 6" Dia. SDR 26 PVC @ 2% to ST41.
- (ST41) Install tee connection,  $\ell$ =817.18. Install 42.5 LF 8" Dia. SDR26 PVC @ 2% to ST42. Install 27.5 LF 8" Dia. SDR26 PVC @ 2% to ST43.
- (ST42) Connect to building stub,  $\ell$ =818.03. See MEP Plan for continuation.
- (ST43) Connect to building stub,  $\ell$ =817.73. See MEP Plan for continuation.

- (ST44) Connect roof drain line to Structure 5705,  $\ell$ =816.25. Install 37 LF 12" Dia. SDR 26 PVC @ 2% to ST41.

- (ST45) Install tee connection,  $\ell$ =816.99. Install 76.5 LF 8" Dia. SDR26 PVC @ 2% to ST46. Install 16 LF 12" Dia. SDR26 PVC @ 2% to ST47.

- (ST46) Connect to building stub,  $\ell$ =818.52. See MEP Plan for continuation.

- (ST47) Install tee connection,  $\ell$ =817.31. Install 5 LF 8" Dia. SDR26 PVC @ 2% to ST48. Install 36 LF 8" Dia. SDR26 PVC @ 2% to ST49.

- (ST48) Connect to building stub,  $\ell$ =817.41. See MEP Plan for continuation.

- (ST49) Connect to building stub,  $\ell$ =818.03. See MEP Plan for continuation.

- (ST50) Connect roof drain line to Structure 5704,  $\ell$ =816.10. Install 35 LF 6" Dia. SDR 26 PVC @ 2% to ST51.

- (ST51) Install wye connection,  $\ell$ =816.80. Install 32 LF 4" Dia. SDR26 PVC @ 2% to ST52. Install 23 LF 4" Dia. SDR26 PVC @ 2% to ST53.

- (ST52) Connect to building stub,  $\ell$ =817.44. See MEP Plan for continuation.
- (ST53) Connect to building stub,  $\ell$ =817.26. See MEP Plan for continuation.

- (ST54) Connect roof drain line to Structure 5704,  $\ell$ =815.93. Install 21 LF 8" Dia. SDR 26 PVC @ 2% to ST55.

- (ST55) Install wye connection,  $\ell$ =816.35. Install 3 LF 6" Dia. SDR26 PVC @ 2% to ST56. Install 2.5 LF 6" Dia. SDR26 PVC @ 2% to ST57.

- (ST56) Connect to building stub,  $\ell$ =816.41. See MEP Plan for continuation.

- (ST57) Connect to building stub,  $\ell$ =816.40. See MEP Plan for continuation.

- (ST58) Connect roof drain line to Structure 5703,  $\ell$ =815.00. Install 23 LF 8" Dia. SDR 26 PVC @ 2% to ST59.

- (ST59) Install wye connection,  $\ell$ =815.46. Install 34.5 LF 6" Dia. SDR26 PVC @ 2% to ST60. Install 66 LF 6" Dia. SDR26 PVC @ 2% to ST61.

- (ST60) Connect to building stub,  $\ell$ =816.15. See MEP Plan for continuation.

- (ST61) Connect to building stub,  $\ell$ =816.78. See MEP Plan for continuation.

- (ST62) Connect roof drain line to Structure 5701,  $\ell$ =815.73. Install 30 LF 8" Dia. SDR 26 PVC @ 2% to ST59.

- (ST63) Install wye connection,  $\ell$ =816.33. Install 4 LF 6" Dia. SDR26 PVC @ 2% to ST64. Install 67 LF 6" Dia. SDR26 PVC @ 2% to ST65.

- (ST64) Connect to building stub,  $\ell$ =816.41. See MEP Plan for continuation.

- (ST65) Connect to building stub,  $\ell$ =817.67. See MEP Plan for continuation.

- (ST66) Connect roof drain line to Structure 5701,  $\ell$ =815.73. Install 91.5 LF 8" Dia. SDR 26 PVC @ 2% to ST67.

- (ST67) Connect to building stub,  $\ell$ =817.56. See MEP Plan for continuation.

Gas Construction Notes

- (G1) Gas service line per service provider
- (G2) Retail Gas Meter
- (G3) Retail Gas Meter
- (G4) Multi-Family Gas Meter
- (G5) Multi-Family gas service

General Utility Notes:

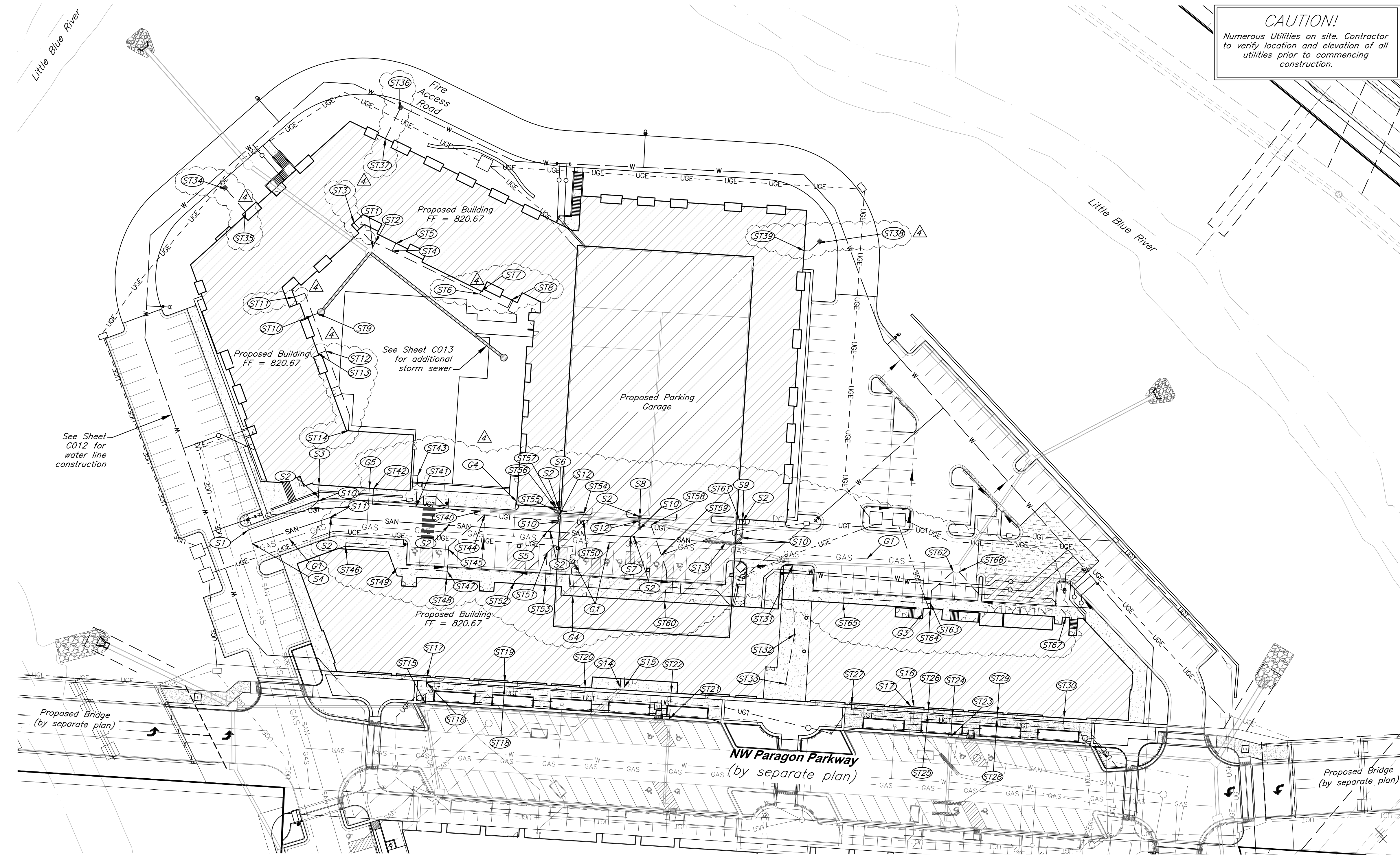
- See Sheet C018 for Construction Details.
- Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
- Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
- Water line minimum burial depth shall be 42 inches. All other pipe burial shall be minimum 12 inches.

Notes:

- Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
- Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
- Taps on all in grade inlets shall maintain street slope, low point inlets to be set level.
- Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.

CAUTION!

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.



Legend

- W ——— Proposed Water Line
- Proposed Storm Sewer
- SAN ——— Proposed Sanitary Sewer
- GAS — GAS ——— Proposed Gas Line
- UGE — — UGE — — Proposed Underground Electric
- UGT — — — UGT — — — Proposed Telecom

Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

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PROJECT:

ISSUE:

9/28/22 ASI 1  
11/5/24 Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

Utility Plan

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C011







G:\127201 Civil 3D\Production Drawings\LS Multifamily FDP\1272000000.dwg Layout: C013 Utility Plan -- Tuesday November 05, 2024, 1:06pm -- Copyright 2024, George Butler Associates, Inc. THE PROFESSIONAL WHOSE SEAL, SIGNATURE, AND PERSONAL SEAL APPEARS ON THE PAGE ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THE PAGE. ANY DISCLAIMERS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL RELATING TO, OR INTENDING TO BE USED FOR, ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.

Electrical Service Construction Notes

- E1 Install 9'x9' Building Transformer Pad per Every Standards  
E2 Install 200 Amp Sectionalizer Furnished by Every per Detail 760.1-3  
E3 Connect to existing 200 Amp Sectionalizer constructed per Paragon Parkway Plans  
E4 Install 64 LF 4" Dia. Sch. 40 PVC Conduit.  
E5 Install 300 LF (8) 3" Dia. Sch. 40 PVC Conduit to building electrical room. Continue per MEP Plans.  
E6 Install 9 LF 4" Dia. Sch. 40 PVC Conduit.  
E7 Install 122 LF (8) 3" Dia. Sch. 40 PVC Conduit to building electrical room. Continue per MEP Plans.  
E8 Install 168 LF 4" Dia. Sch. 40 PVC Conduit.  
E9 Install 356 LF 4" Dia. Sch. 40 PVC Conduit.  
E10 See MEP Plan for electrical service conduit.  
E11 Install 266 LF 4" Dia. Sch. 40 PVC Conduit.  
E12 Install 242 LF 4" Dia. Sch. 40 PVC Conduit.  
E13 Install 8 LF 4" Dia. Sch. 40 PVC Conduit.  
E14 See MEP Plan for electrical service conduit.  
E15 See MEP Plan for electrical service conduit.  
E16 Install 287 LF 4" Dia. Sch. 40 PVC Conduit.  
E17 Connect to existing 4" Dia. PVC Conduit installed per the Multifamily Mass Grading Plans.  
E18 Connect to existing 3" Dia. PVC Conduit installed per the Multifamily Mass Grading Plans.

Amenity Zone Electrical Construction Notes

- AE1 Install 35 LF 1" HDPE Conduit from existing connection to Planter Box  
AE2 Install 39 LF 1" HDPE Conduit from existing connection to Planter Box

Telecom Construction Notes

- T1 Install Telecom Utility Pull Box.  
T2 Connect to existing Telecom Pull Box installed per Paragon Parkway Plans  
T3 Install 119 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.  
T4 Install 108 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.  
T5 Install 109 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.  
T6 Install 82 LF (2) 5" HDPE Conduit to building mail room. Two conduits shall have (4) 2" fabric innerducts.  
T7 Install 285 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.  
T8 Install 98 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.  
T9 Install 98 LF (3) 5" HDPE Conduit to IT Room. Two conduits shall have (4) 2" fabric innerducts.

Amenity Zone Telecom Construction Notes

- AT1 Install Digital Display with Power/Data Connections, Unswitched Hot Power  
AT2 Install Telecom Utility 12"x12" Quazite Box  
AT3 Install 281 LF 2" PVC Conduit  
AT4 Install 15 LF 2" PVC Conduit  
AT5 Install 215 LF 2" PVC Conduit  
AT6 Install 19 LF 2" PVC Conduit

Underdrain Construction Notes

- UD1 Install 4" Dia. Perforated HDPE @ 0.5% minimum slope.  
UD2 Install 4" Dia. HDPE Tee  
UD3 Connect to Storm Structure 5705,  $\ell$ =817.50.  
UD4 Connect to Storm Structure 5702,  $\ell$ =816.60.  
UD5 Connect to Storm Structure 5701,  $\ell$ =813.28.  
UD6 Connect to Storm Structure 5101,  $\ell$ =809.75.  
UD7 Connect to Storm Structure 5102,  $\ell$ =808.75.  
UD8 Connect to Storm Structure 4301,  $\ell$ =817.70.  
UD9 Connect to Storm Structure 4302,  $\ell$ =817.80.  
UD10 Connect to Storm Structure 5401,  $\ell$ =817.50.

General Utility Notes

- See Sheet C018 for Construction Details.
- Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
- Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
- Water line minimum burial depth shall be 42 inches. All other pipe burial shall be minimum 12 inches.

Electrical Service General Notes

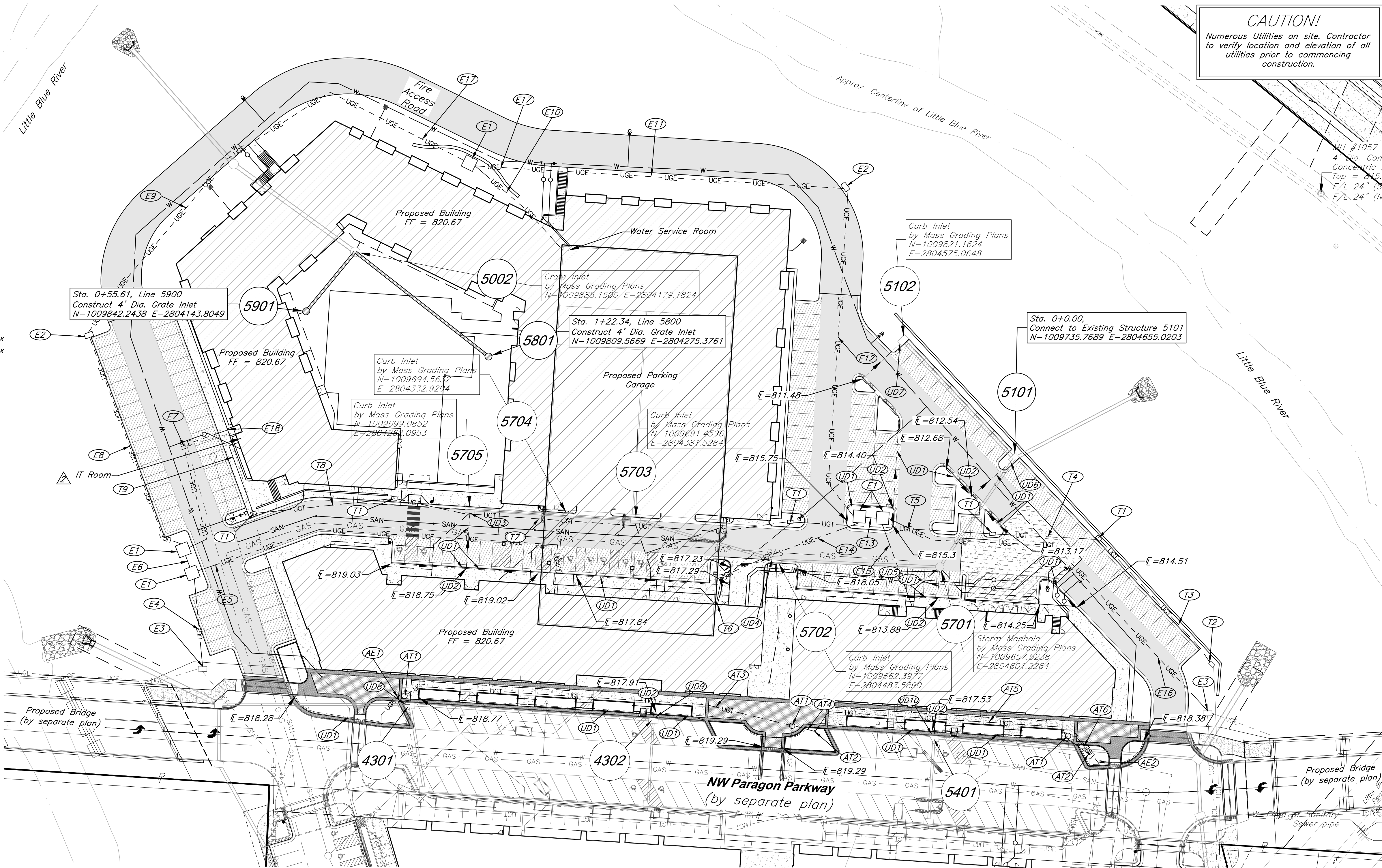
- Electrical routing reflects the latest, although preliminary designs from Every. Final routing of conduit shall match final design from Every.
- Electrical conduit shall be NEC approved schedule 40 gray PVC.
- Electrical trench, conduit, and backfill per Every Standards (Typ. All).

Legend

— W —	Proposed Water Line		Proposed Building
	Proposed Storm Sewer		Proposed HD Asphalt Surface
— SAN —	Proposed Sanitary Sewer		Proposed LD Asphalt Surface
— GAS — GAS —	Proposed Gas Line		Proposed Concrete
— UGE — — UGE — —	Proposed Underground Electric		
— UGT — — UGT — —	Proposed Telecom		
	Flow Path		

Notes:

- Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
- Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
- Tops on all in grade inlets shall maintain street slope, low point inlets to be set level.
- Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.



CAUTION!

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PROJECT:

Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

	7/11/22	Addendum 1
	9/28/22	ASI 1
	11/5/24	Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

Utility Plan

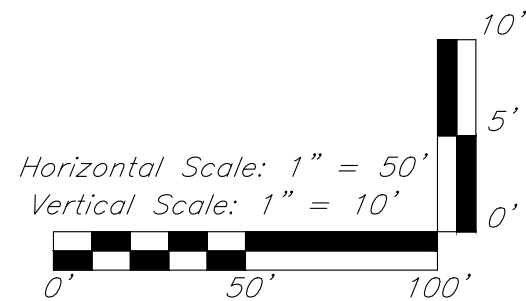
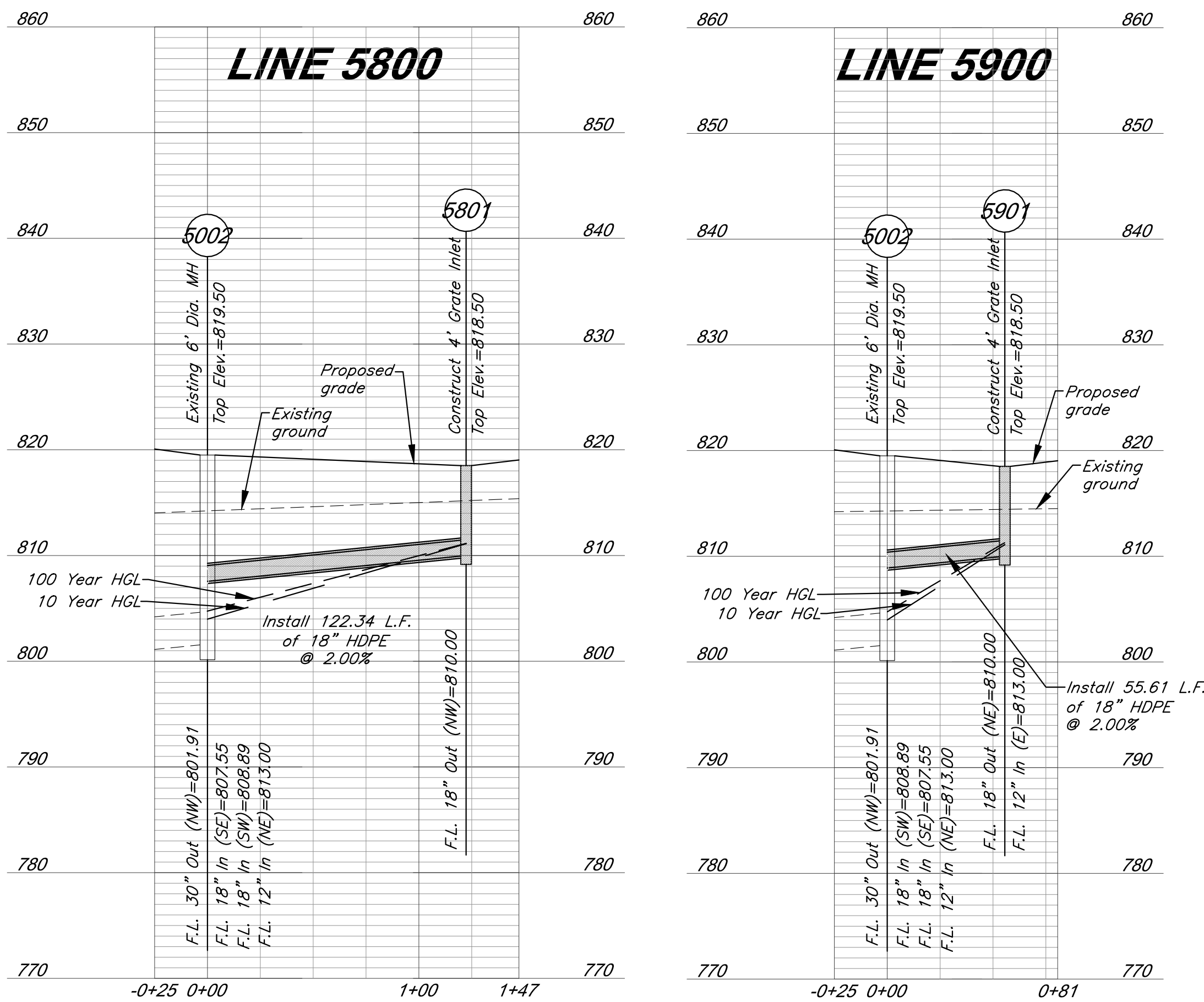
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C013



[illegible]

100 Year Storm																																
Structures		Runoff Calculations									Pipe Design										Design Checks											
From	To	Direct Area (acre)	Line In (acre)	Total Area (acre)	C	K	Tc (min)	Flow Time (min)	Intensity (in/hr)	Design Q (cfs)	Description	Pipe length (lin ft)	Pipe Slope (ft/ft)	Pipe dia (in)	Manning's n Value	Q full (cfs)	Pipe Area, sf	V full (fps)	Design V (fps)	Hw/D	outlet head, H	HW, Inlet Control, (ft)	HW, Outlet Control, (ft)	Inlet Top Elevation	Upstream flowline	Downstream flowline	Inlet Drop (ft)	Downstream Water Elevation	Hydraulic Grade Elev (Calculated)	Hydraulic Grade Allowable	Comments	
Line 5800	5801	0.25		0.90	1.25	5.00			10.32	2.9	Curb Inlet RCP														818.50					811.11	818.00	
	5002			0.25	0.90	1.25	5.00	0.36	10.32	2.9		122.34	2.00	18	0.013	14.90	1.77	8.43	5.59		0.7	0.28	811.11	808.56		810.00	807.55		808.30		808.30	
Line 5900	5901	0.14	0.32	0.46	0.90	1.25	5.00		10.32	1.6	Curb Inlet RCP														818.50					811.37	818.00	
	5002			0.46	0.90	1.25	5.00	0.14	10.32	5.3		55.61	2.00	18	0.013	14.90	1.77	8.43	6.58	0.9	0.49	811.37	810.13		810.00	808.89		809.64		809.64		

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PROJECT:

**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

**ISSUE:**

11/5/24 Revision

PROFESSIONAL SEAL

DRAWING TITLE:

## Storm Sewer Profiles

JOB NO: 18017, 19050.07, 19050.08

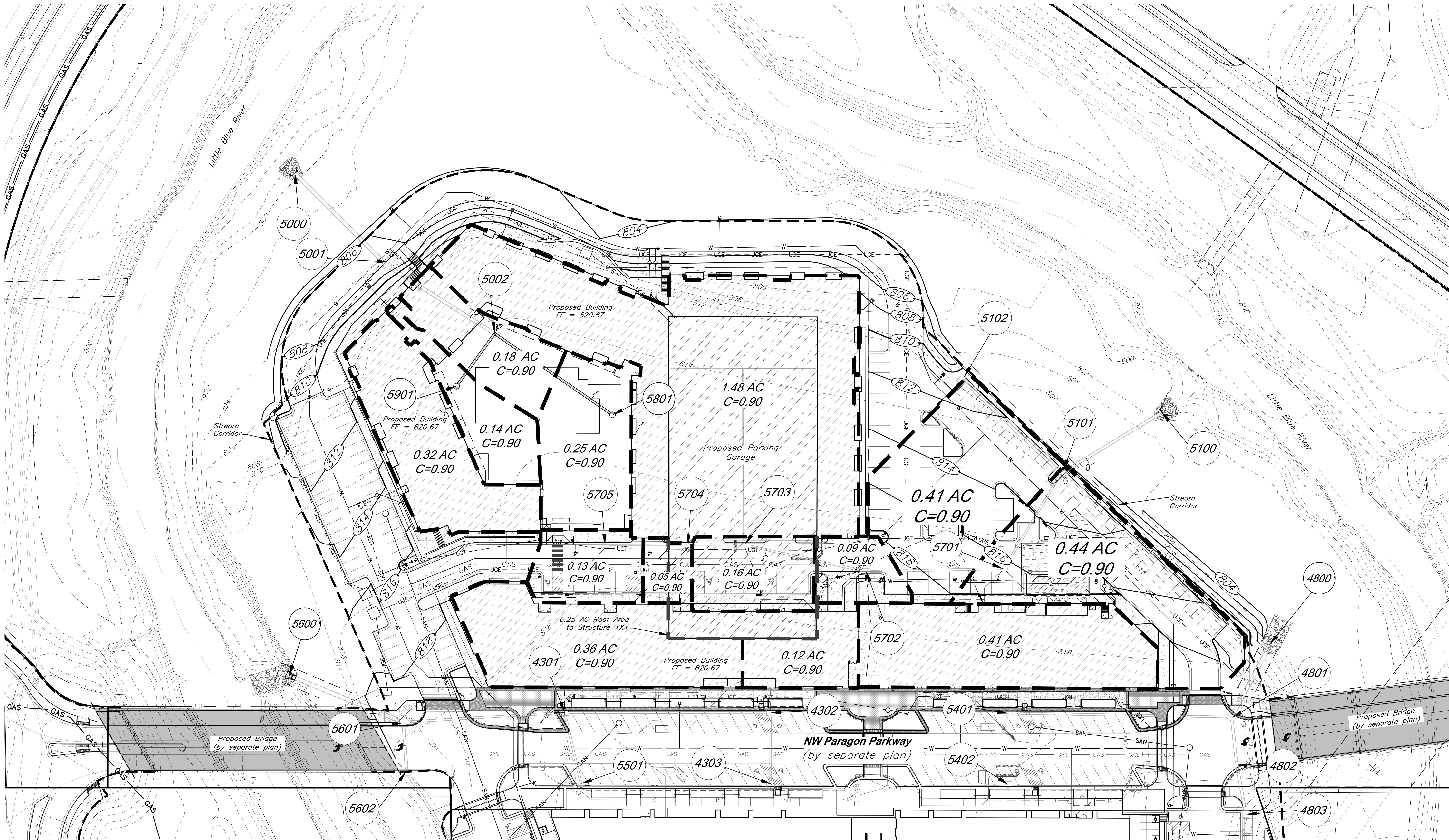
DATE: 08.12.2022      DRAWN BY: JRH

SHEET NO.

# C014

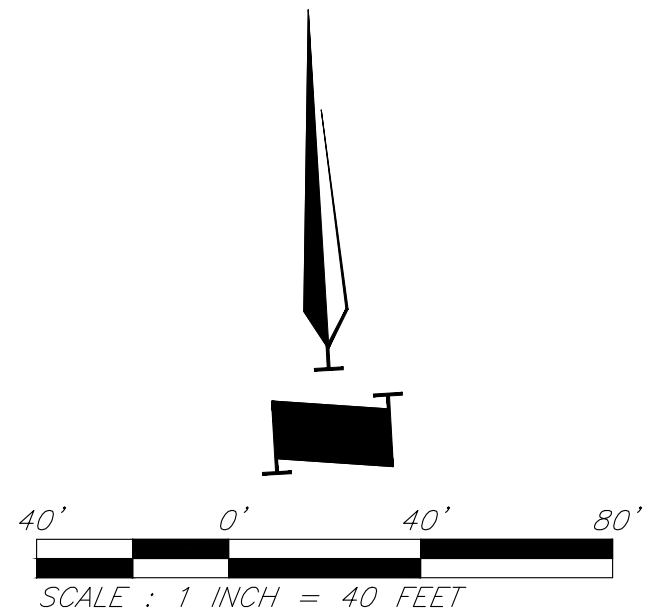


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**CAUTION!**  
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

- LEGEND**
- XXX--- Existing Contour
  - XXX--- Proposed Contour
  - Proposed Drainage Area
  - 0.28 Acres Drainage Area
  - Proposed Storm Sewer
  - Future Storm Sewer



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PROJECT:

# Paragon Star North Village

3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24 Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

Drainage Map

JOB NO: 18017, 19050.07, 19050.08

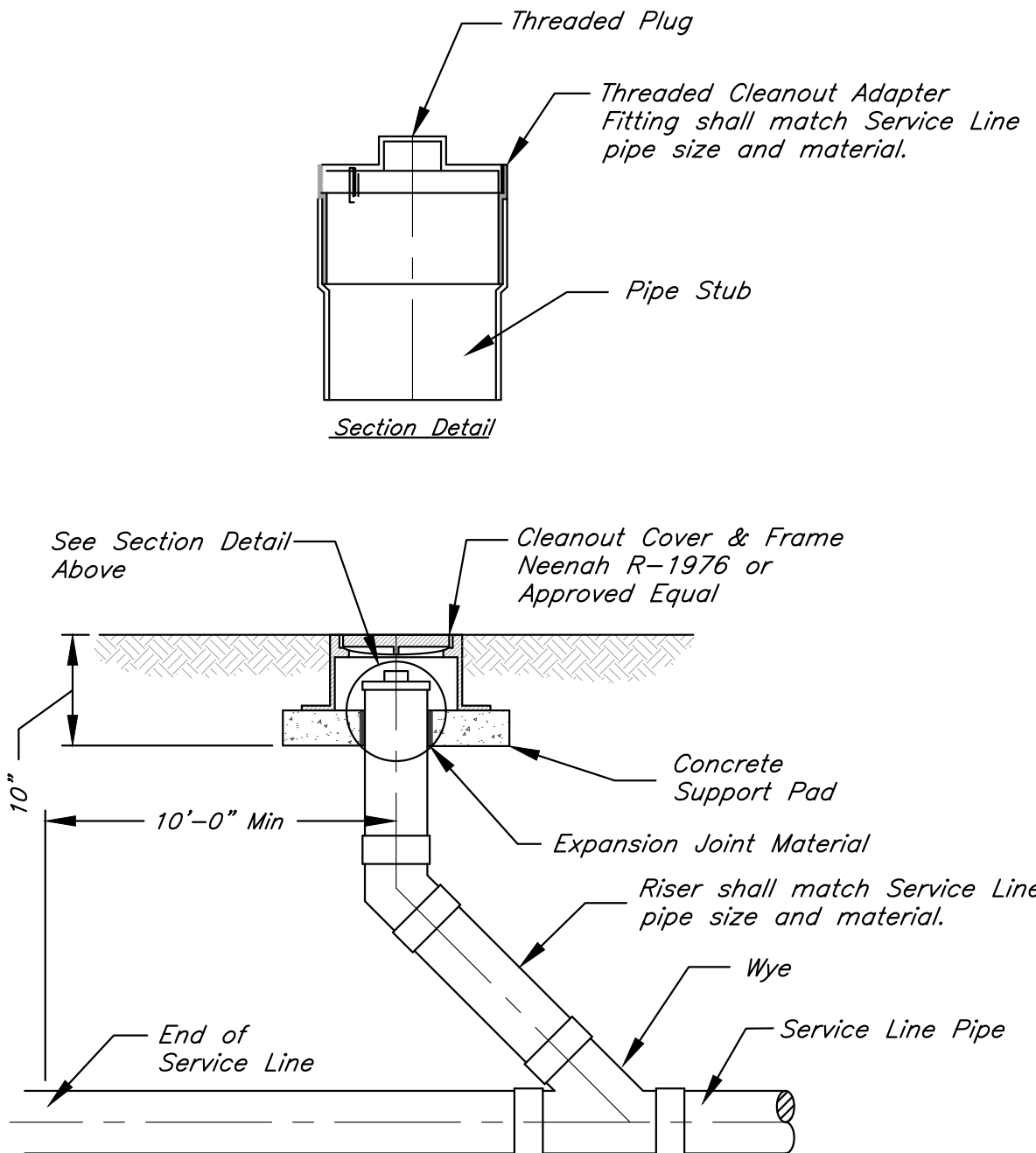
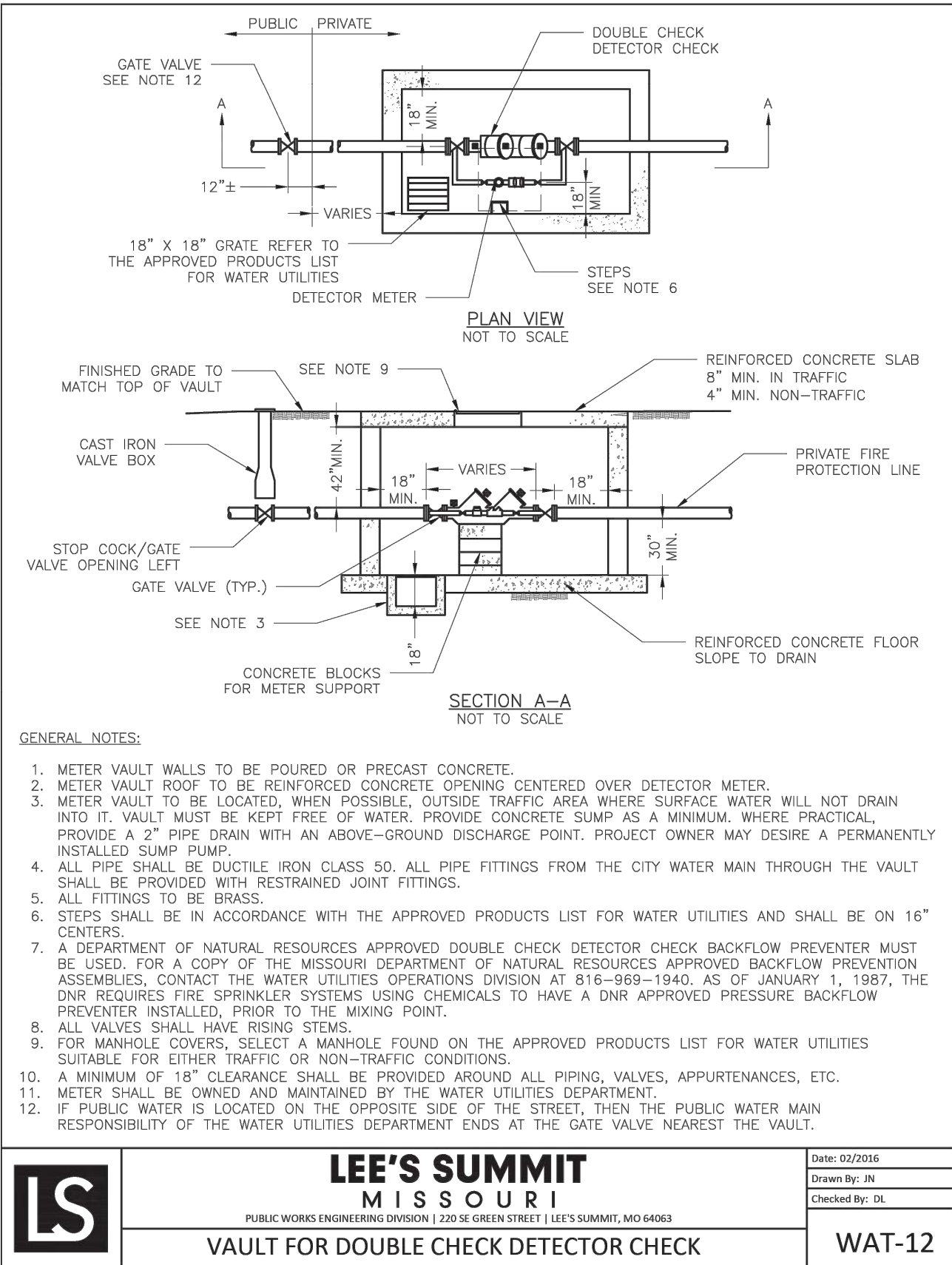
DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

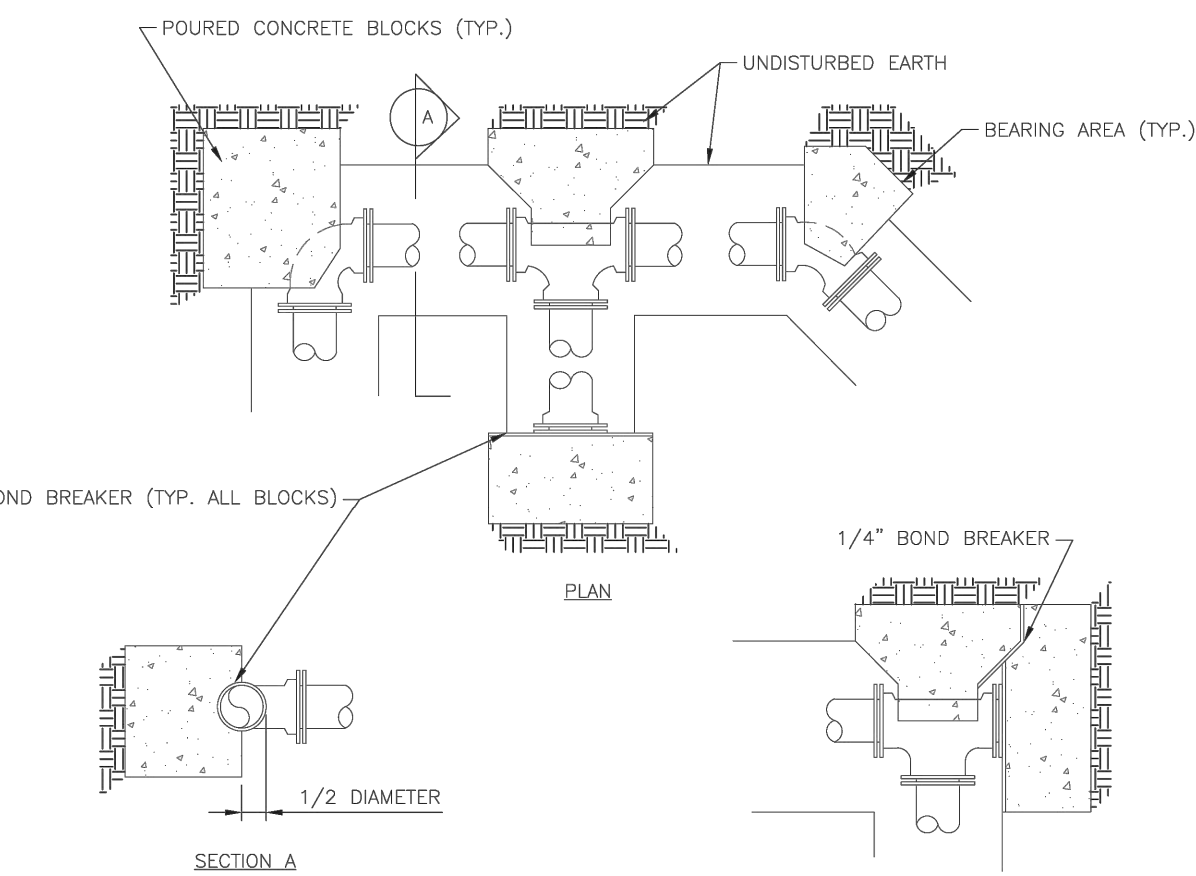
C015



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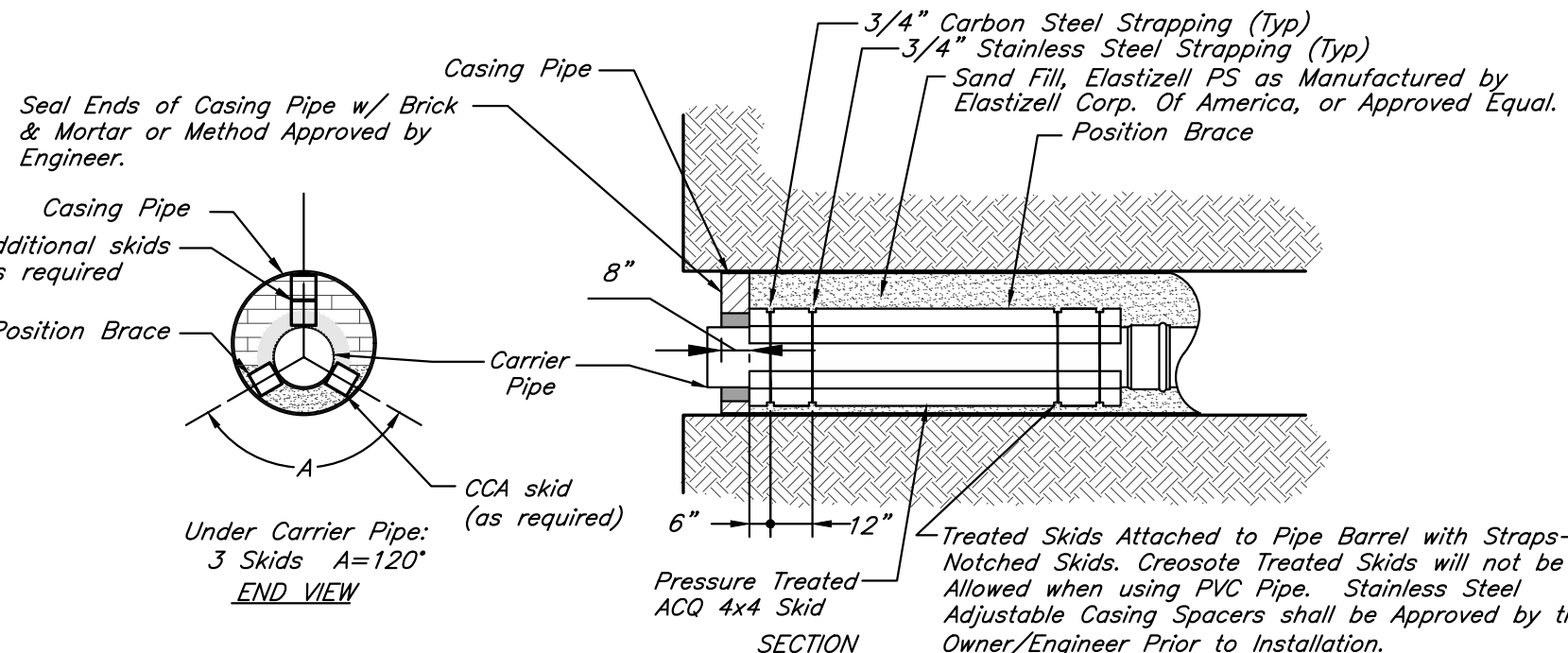


REQUIRED CONCRETE BEARING AREA (SQUARE FEET - SF)					
NOM. DIA (INCHES)	180 TEE, PLUG	90 BEND	45 BEND	22.5 BEND	11.25 BEND
6	4.7	6.7	4.0	4.0	4.0
8	8.4	11.8	6.4	4.0	4.0
10	13.1	18.5	10.0	5.1	4.0
12	18.8	28.7	14.4	7.4	4.0
14	25.7	36.3	19.6	10.0	5.0
16	33.5	47.4	25.6	13.1	6.6
18	42.4	REST. JT.	32.5	16.5	8.3
20	REST. JT.	REST. JT.	40.1	20.4	10.3
24	REST. JT.	REST. JT.	REST. JT.	29.4	14.8



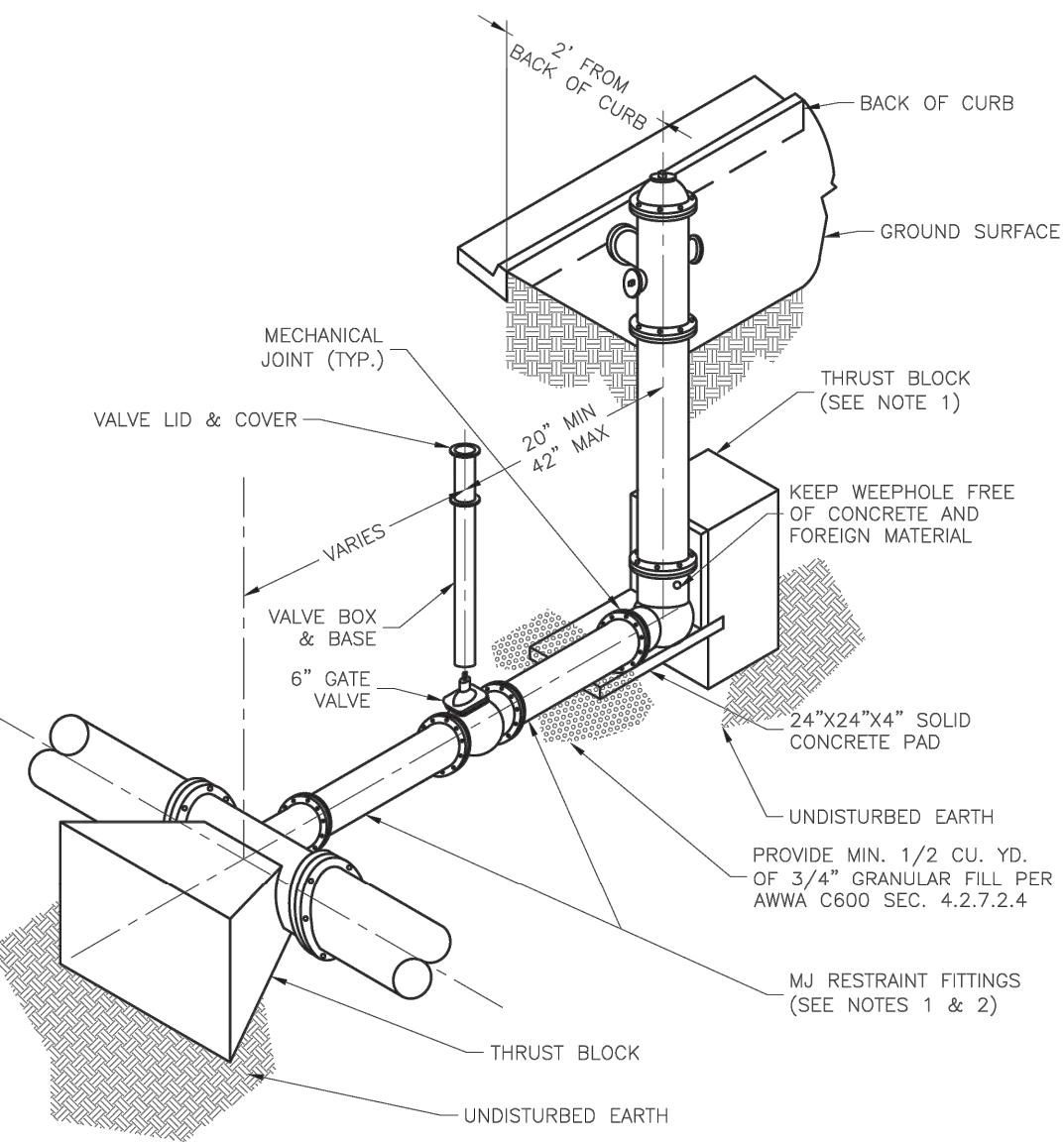
- NOTES:**
- ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.
  - MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
  - BEARING AREA MUST BE AGAINST UNDISTURBED SOIL.
  - DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083  
HORIZONTAL THRUST BLOCK  
WAT-1



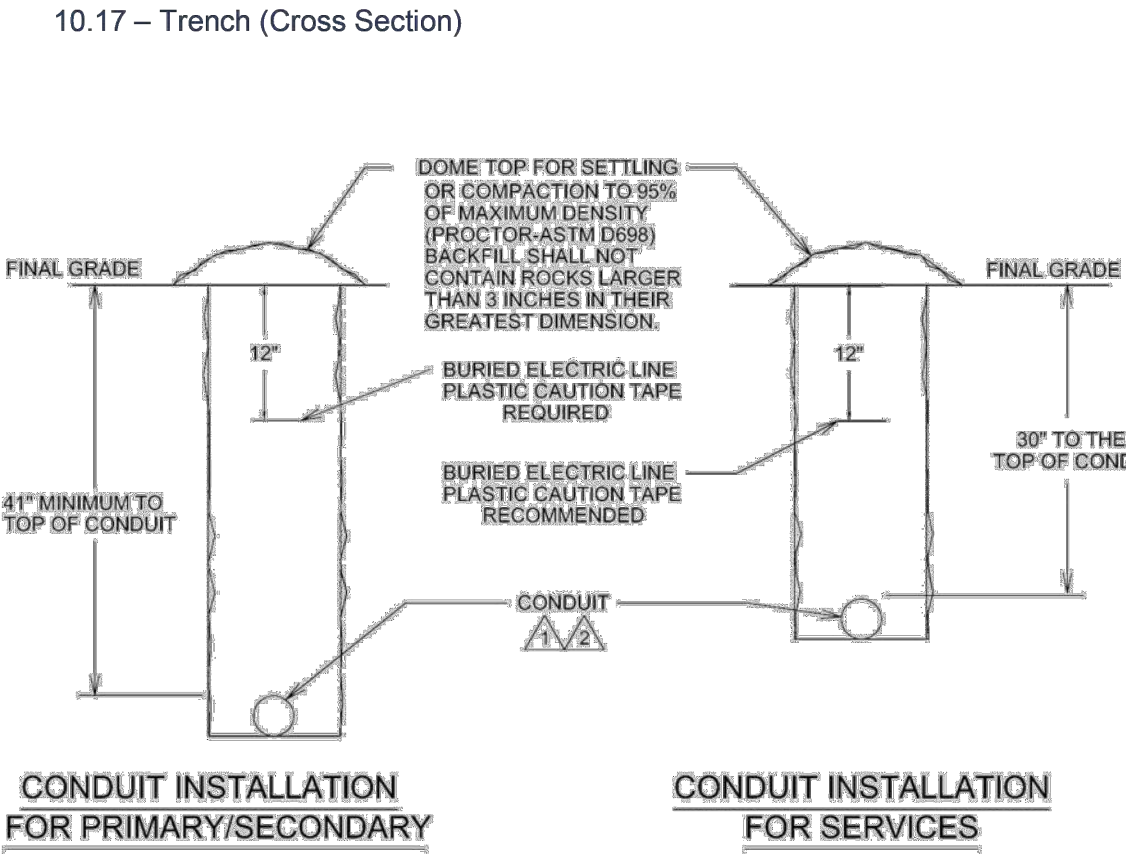
Note: In lieu of wood skids and brick and mortar end seals, the Contractor may install casing spacers and fabricated end seals. A minimum of three (3) spacers shall be installed on each pipe.

## WATER SERVICE LINE IN CASING PIPE DETAIL

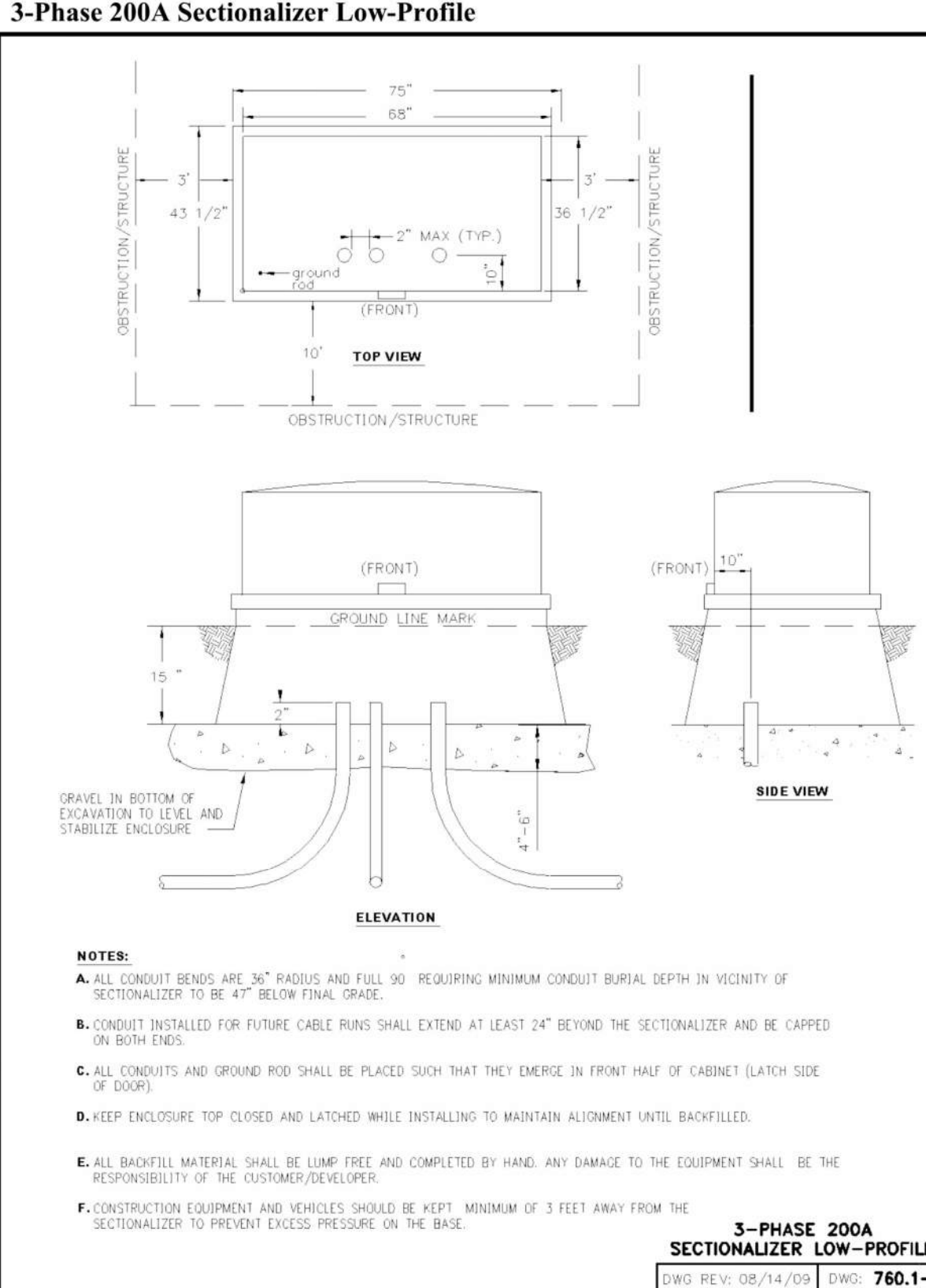


- NOTES:**
- WHEN RETAINER GLANDS ARE USED IN LIEU OF MECHANICAL JOINT (MJ) RESTRAINT FITTINGS, HORIZONTAL THRUST BLOCKS ARE REQUIRED.
  - GATE VALVE MAY BE BOLTED DIRECTLY TO MJ RESTRAINT TEE.
  - SEE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR FIRE HYDRANT, VALVES, VALVE BOX LID, AND COVER.
  - BOTTOM HYDRANT FLANGE SHALL BE 2" TO 6" ABOVE FINISHED GRADE.
  - FOR STREETS WITHOUT CURBS FIRE HYDRANTS SHALL BE PLACED WITHIN 1 FOOT OF THE R/W LINE, BUT NOT MORE THAN 10' FROM EDGE OF PAVEMENT. FIRE HYDRANT SHALL NOT BE PLACED IN BOTTOM OF DITCH.
  - HYDRANT SHALL BE ROTATED AS DIRECTED BY INSPECTOR.

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083  
HYDRANT - STRAIGHT SET  
WAT-7

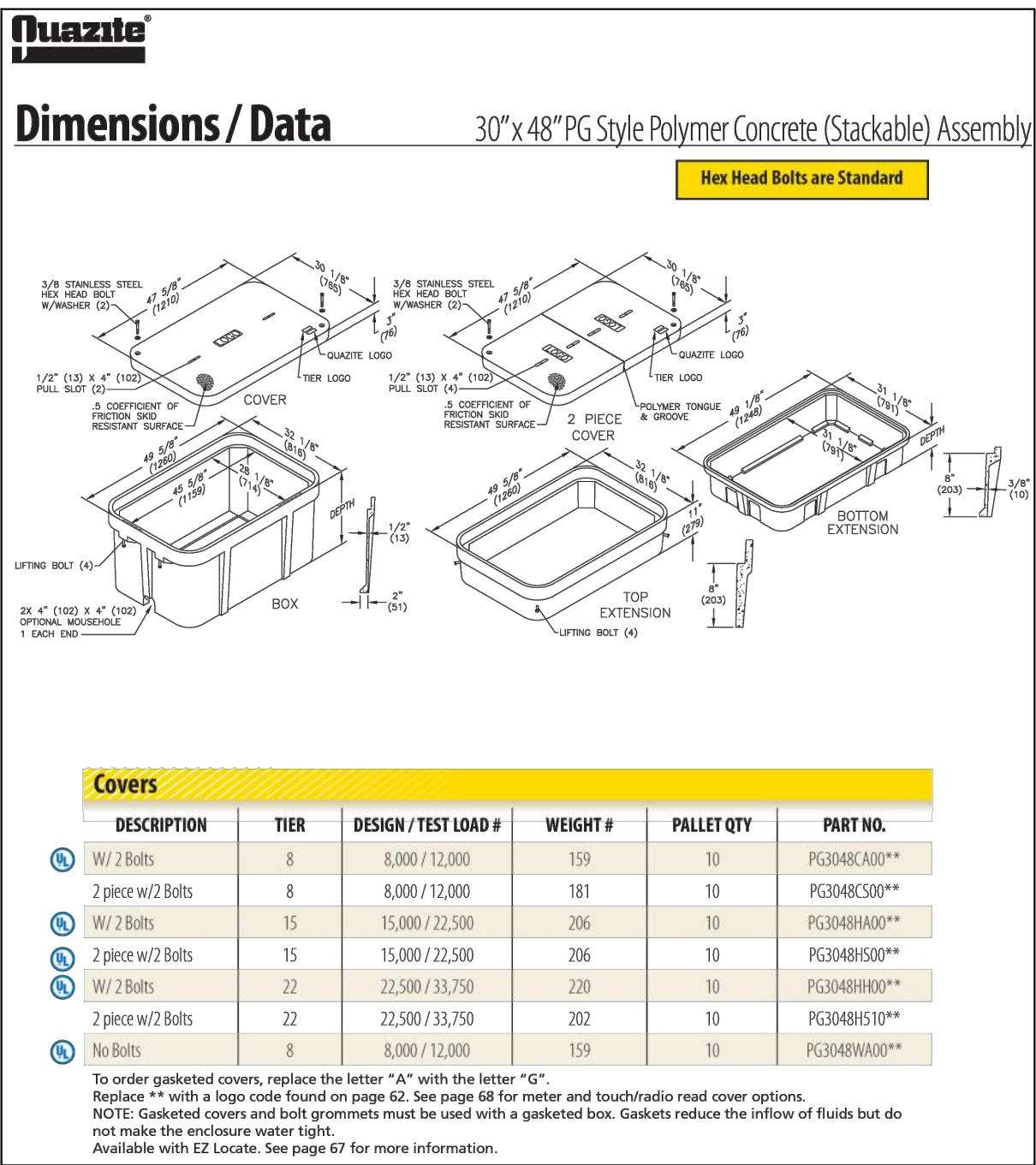


- Conduit shall be NEC approved rigid conduit, such as or U.L. listed non-metallic gray PVC schedule 40. The conduits shall be free of burrs and have clean bores. Where customer/developers installed conduit interconnects with the Company's conduit, customer/developer shall not use half sizes. (EG. 2 1/2", 3 1/2", etc.)
- Conduit Sizing: See Section 6 - Underground Construction (Pg. 33).
- Installation shall conform to NESC, NEC, local codes, and this standard. Multiple conduit installations shall have the conduits separated by a maximum of 4 inches between conduits.



## SECTIONALIZER DETAIL

Not to Scale



## TELECOM PULL BOX

Not to Scale

## Dimensions / Data 30"x48" PG Style Polymer Concrete (Stackable) Assembly (Continued)

Boxes (Box depths 24" thru 48" must be used as bottom of any stack)

DESCRIPTION	DEPTH	TIER	DESIGN / TEST LOAD #	WEIGHT #	PALLET QTY	PART NO.
Standard Open Bottom	18"		22,500 / 33,750	185	4	PG3048BA18
	24"	22	22,500 / 33,750	236	3	PG3048BA24
	36"		22,500 / 33,750	343	2	PG3048BA36
	48"		22,500 / 33,750	450	1	PG3048BA48
Solid bottom	18 1/2"		22,500 / 33,750	220	4	PG3048DA18
	24 1/2"	22	22,500 / 33,750	287	3	PG3048DA24
	36 1/2"		22,500 / 33,750	394	2	PG3048DA36
	48"		22,500 / 33,750	501	1	PG3048DA48

To order boxes with 2 standard mouseholes, replace the letter "A" with the letter "B".  
To order gasketed boxes, replace the letter "A" with the letter "G".  
NOTE: Gasketed covers and bolt grommets must be used with a gasketed box. Gaskets reduce the inflow of fluids but do not make the enclosure water tight.

Top Extension						
DESCRIPTION	DEPTH	TIER	DESIGN / TEST LOAD #	WEIGHT #	PALLET QTY	PART NO.
Open bottom	11"	22	22,500 / 33,750	100	8	PG3048EA11

Bottom Extensions (for use under 18" box only, one per box)						
DESCRIPTION	DEPTH	TIER	DESIGN / TEST LOAD #	WEIGHT #	PALLET QTY	PART NO.
Open bottom	8 3/4"	22	22,500 / 33,750	102	8	PG3048EA08
Solid bottom	9 1/4"	22	22,500 / 33,750	151	8	PG3048EA08

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PROJECT:

**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

ISSUE:

7/11/22 Addendum 1  
11/5/24 Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

Utility Details

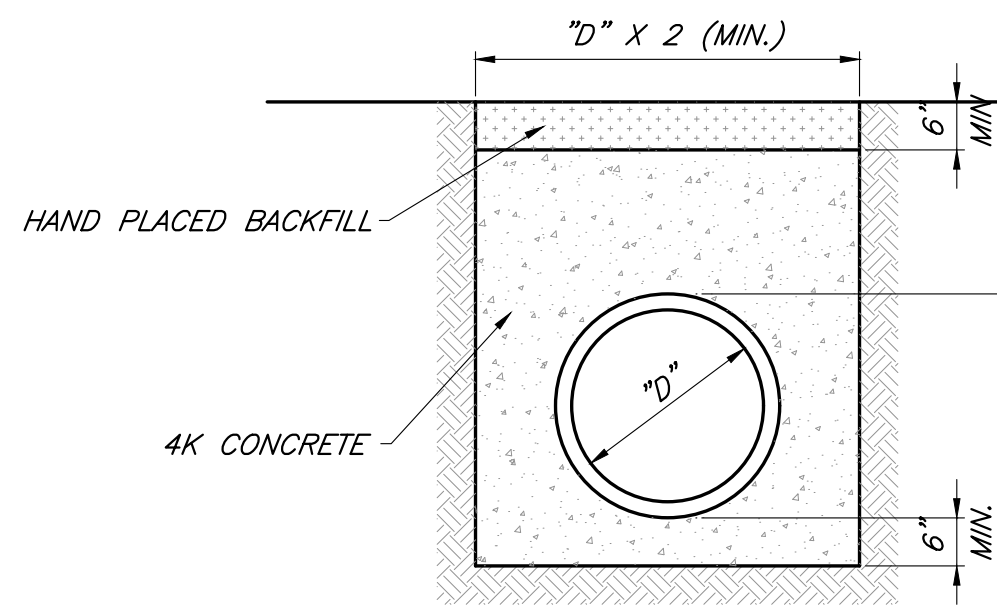
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

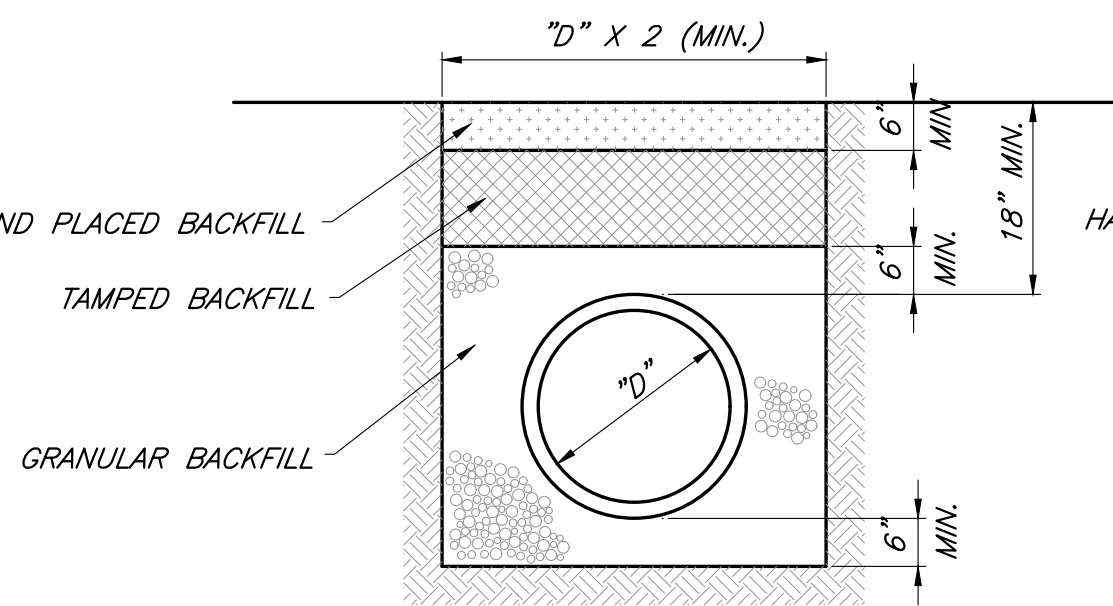
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C016

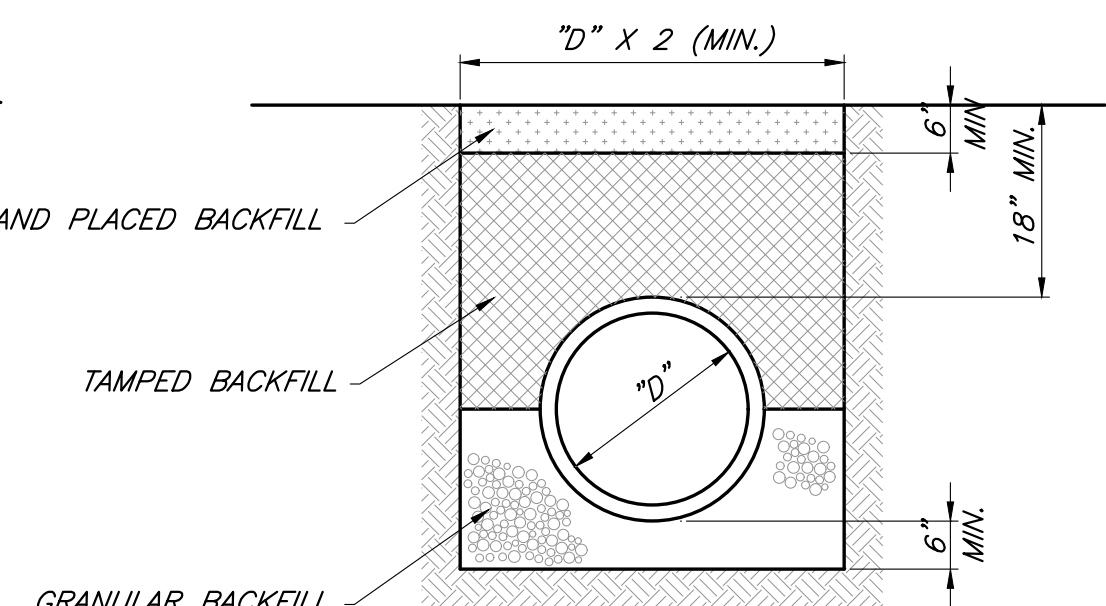




CONCRETE ENCASEMENT  
CLASS A



HDPE/PVC PIPE BEDDING  
CLASS C



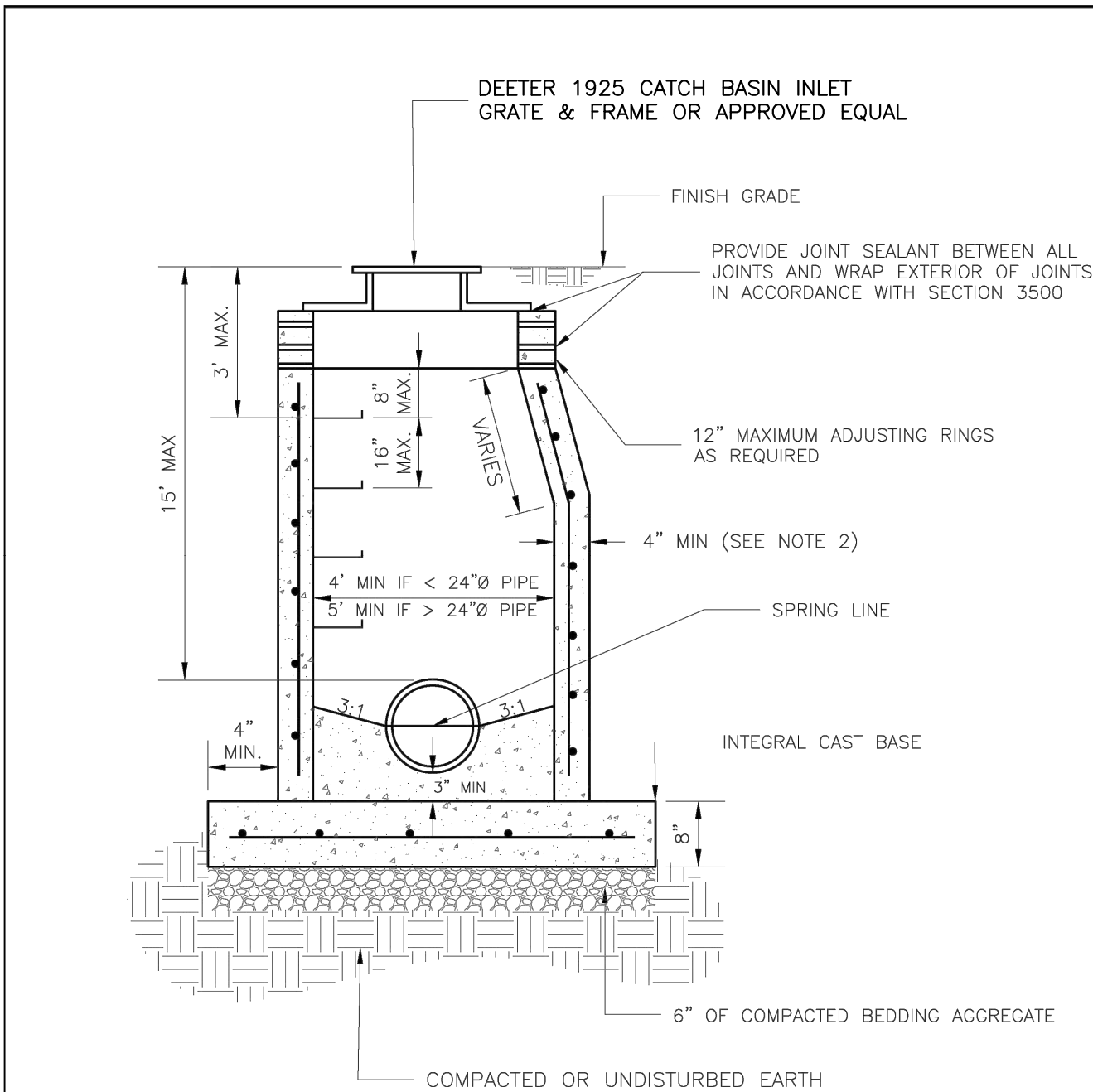
FIRST CLASS BEDDING (RCP,  
CLASS B

PIPE BEDDING NOTES:

1. GRANULAR FILL SHALL BE 1/2" CLEAN ROCK, PLACED IN 6" LIFTS AND COMPACTED BY SLICING WITH A SHOVEL.
2. TAMPED FILL SHALL BE FINELY DIVIDED, JOB EXCAVATED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND STONES, COMPACTED TO TYPE AA MR-5 COMPACTION.
3. HAND PLACED FILL SHALL BE FINELY DIVIDED MATERIAL, FREE OF DEBRIS AND STONES, COMPACTED TO TYPE 95%.

## ***PIP BEDDING DETAILS***

*Not to Scale*



NOTES:

1. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478 EXCEPT AS MODIFIED BY THE SPECIFICATIONS.
2. A WALL THICKNESS NOT LESS THAN ONE-TWELFTH ( $\frac{1}{12}$ ) OF THE INSIDE DIAMETER OR 4", WHICHEVER IS GREATER, SHALL BE USED WHEN THE MANHOLE DEPTH IS LESS THAN 15'.
3. WATERPROOFING SHALL BE REQUIRED ON THE OUTSIDE OF MANHOLES. THE WATERPROOFING SHALL CONSIST OF A TOWARD FULLY ADHESIVE MEMBRANE WITH A MINIMUM 60 MILS. THICKNESS COATING.
4. ONLY ECCENTRIC MANHOLE COINGS WILL BE ALLOWED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
5. THE FILL CONCRETE FLOW CHANNEL FOR SIDE BRANCHES SHALL BE PLACED TO PROVIDE A SMOOTH TRANSITION INTO THE FLOW LINE.
6. REFER TO THE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR APPROVED MANHOLE GASKET MODELS.
7. REFER TO THE APPROVED PRODUCTS LIST FOR APPROVED STEPS.



**LEE'S SUMMIT**  
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**STANDARD SANITARY PRECAST MANHOLE**

Date: 08/2023

Drawn By: MF

Checked By: A

SAN-2

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PROJECT

Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

3200 NW Paragon Parkway, Lee's Summit, MO 64081

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ISSUE

11/5/24 Revision

DRAWING TITLE:

## Storm Sewer Details

JOB NO: 18017, 19050.07, 19050.08

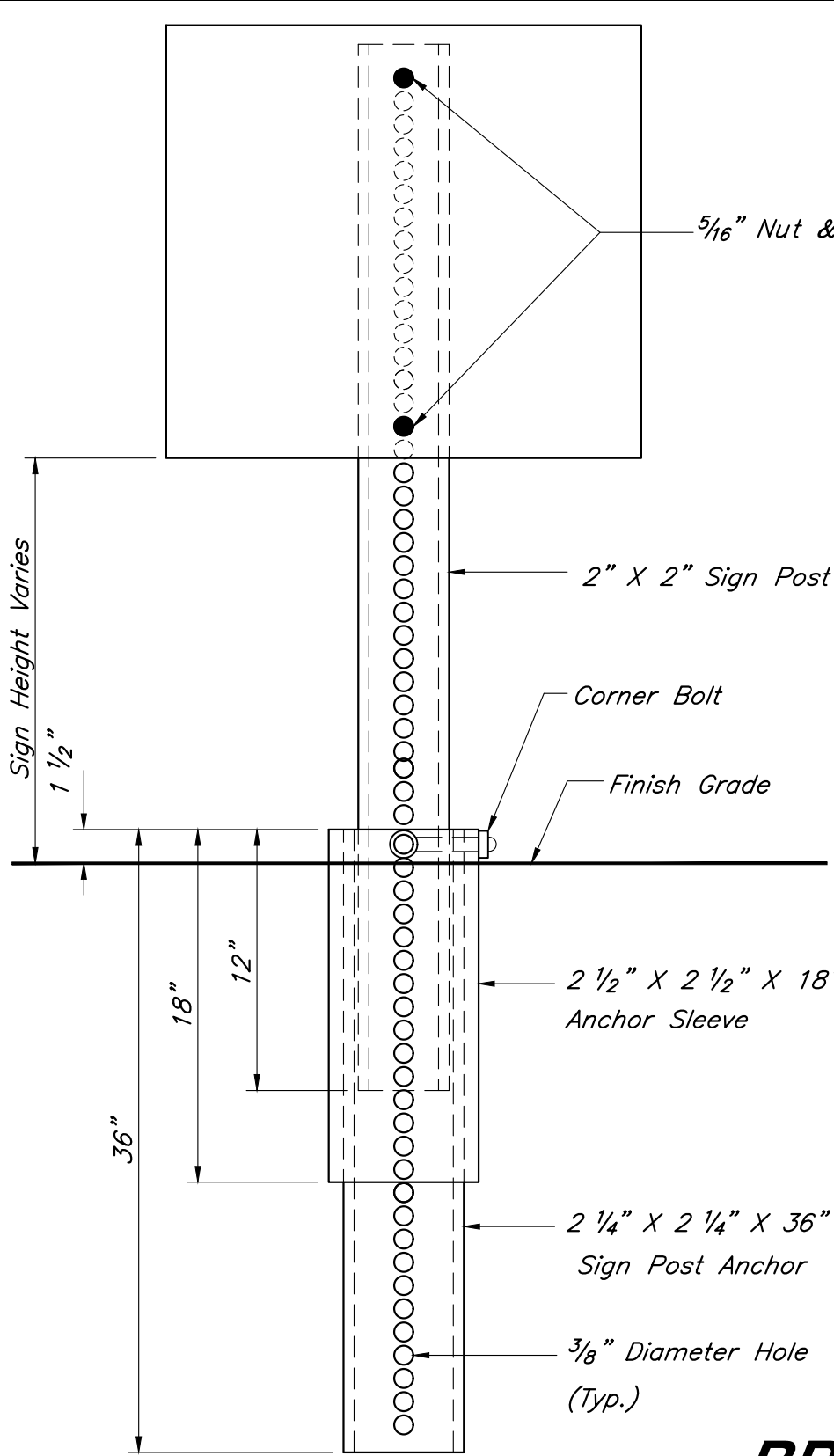
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### BREAK-AWAY SIGN POST DETAIL

Not to Scale

- Pavement Installation Sequence
1. Sign post anchor driven into subgrade prior to the placement of the pavement.
  2. Anchor sleeve driven into subgrade over the sign post anchor prior to the placement of the pavement.
  3. Insert sign post into the sign post anchor and bolt in place.

- Ground Installation Sequence
1. Sign post anchor driven into the ground.
  2. Anchor sleeve driven into the ground over the sign post anchor.
  3. Insert sign post into the sign post anchor and bolt in place.

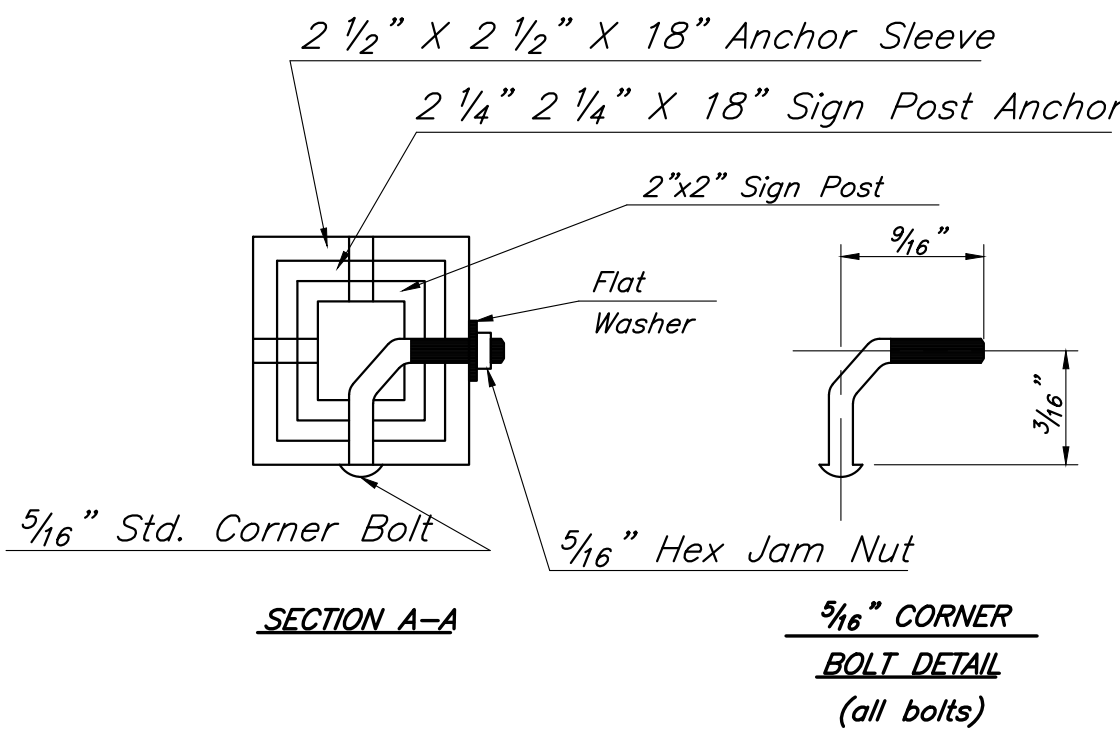
Note:  
In all installations the first hole above the finished grade level in all three units must be in line for insertion of the corner bolt.

All corner bolts and nuts for fastening the signs and sign post assembly shall comply the applicable ANSI standards and ASTM testing requirements and shall be subsidiary items.

All Components shall be galvanized.

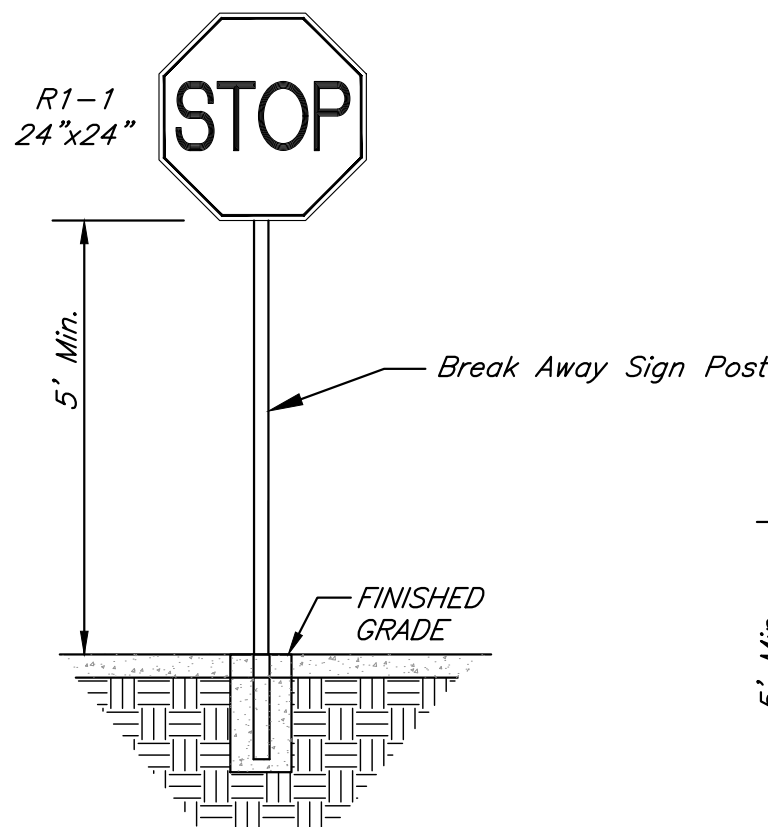
### Sign Notes:

1. All letter, number & symbol sizes, spacing & colors, and the sign colors shall conform to the current "Manual On Uniform Traffic Control Devices."
2. Sign blank material shall be as follows:  
Signs 36"x36" or greater 0.100" thick  
Guide Signs 0.125" thick  
All other signs 0.080" thick
3. All sign mounting hardware shall be galvanized.
4. All sign faces shall be fabricated using ASTM Type III Prismatic reflective sheeting.



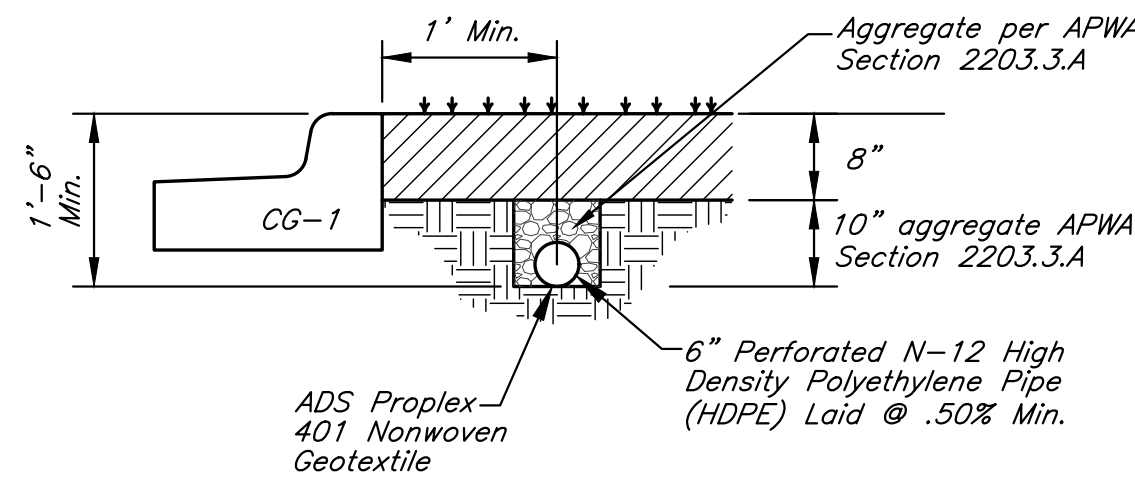
### SECTION A-A

### 5/16" CORNER BOLT DETAIL (all bolts)



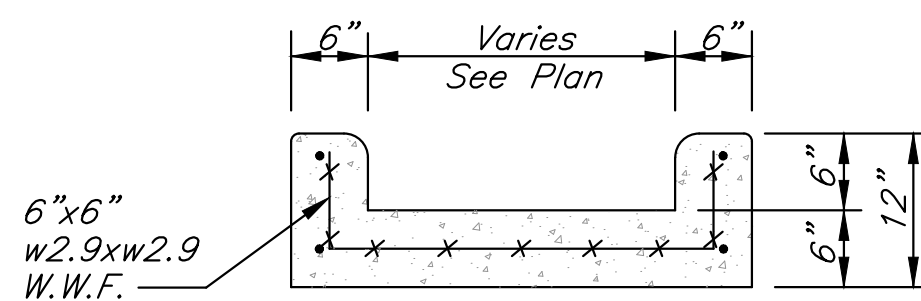
### STOP SIGN DETAIL

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### UNDERDRAIN DETAIL

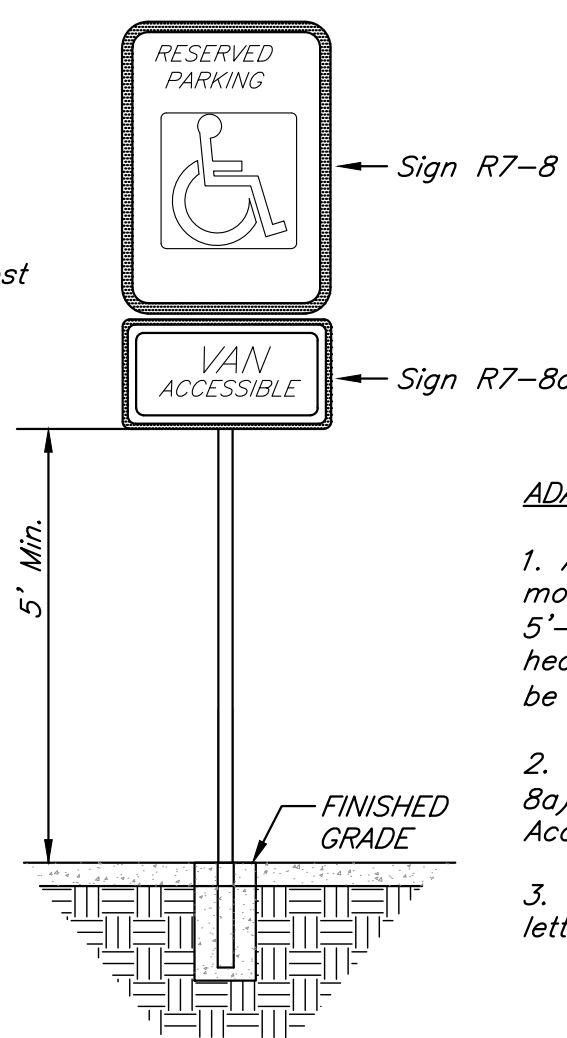
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### Section

### CONCRETE FLUME

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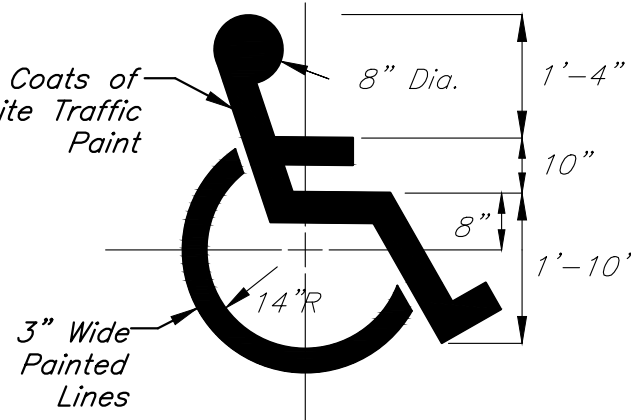


### TYPICAL ACCESSIBLE SIGNAGE

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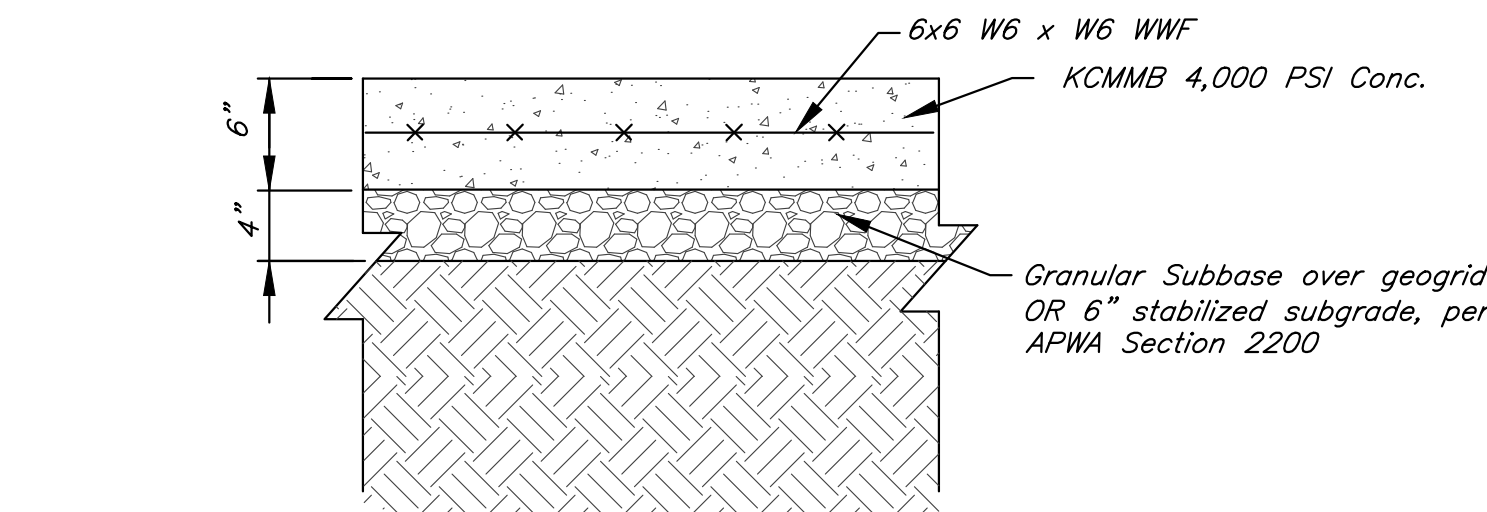
### ADA Sign Notes:

1. Accessible Sign (R7-8) Shall be mounted on a pole or other structure 5'-6" above the parking surface, at the head of the parking space, and shall be at least 12"x18" in area.
2. Supplemental Accessible Sign (R7-8a) shall be used on all required Van Accessible Spaces.
3. Signs shall be blue with white lettering.



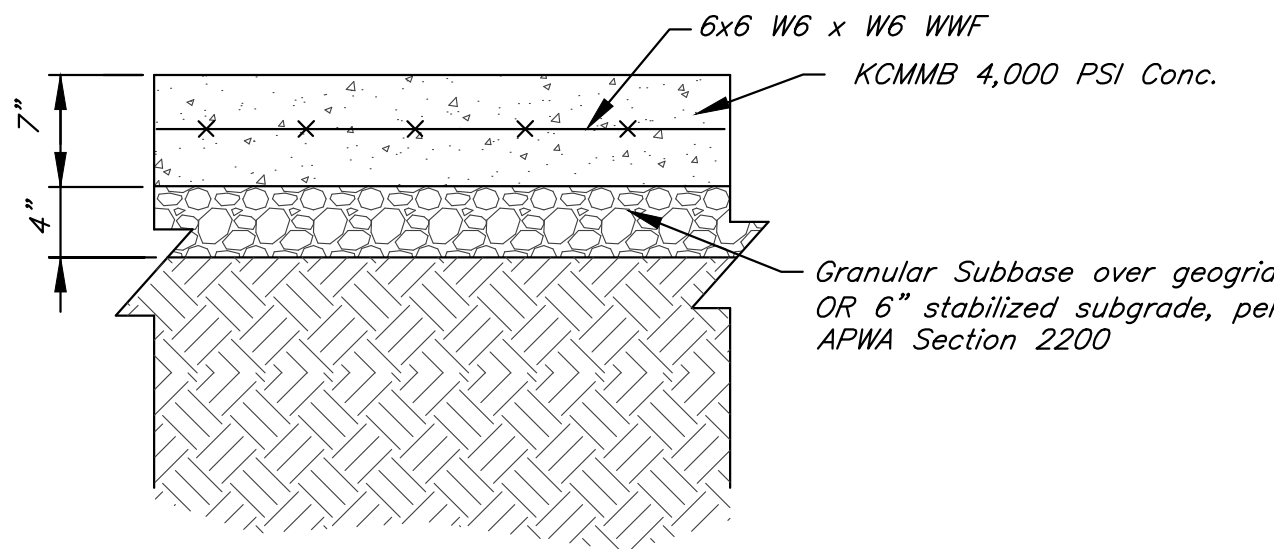
### ACCESSIBLE PARKING SYMBOL DETAIL

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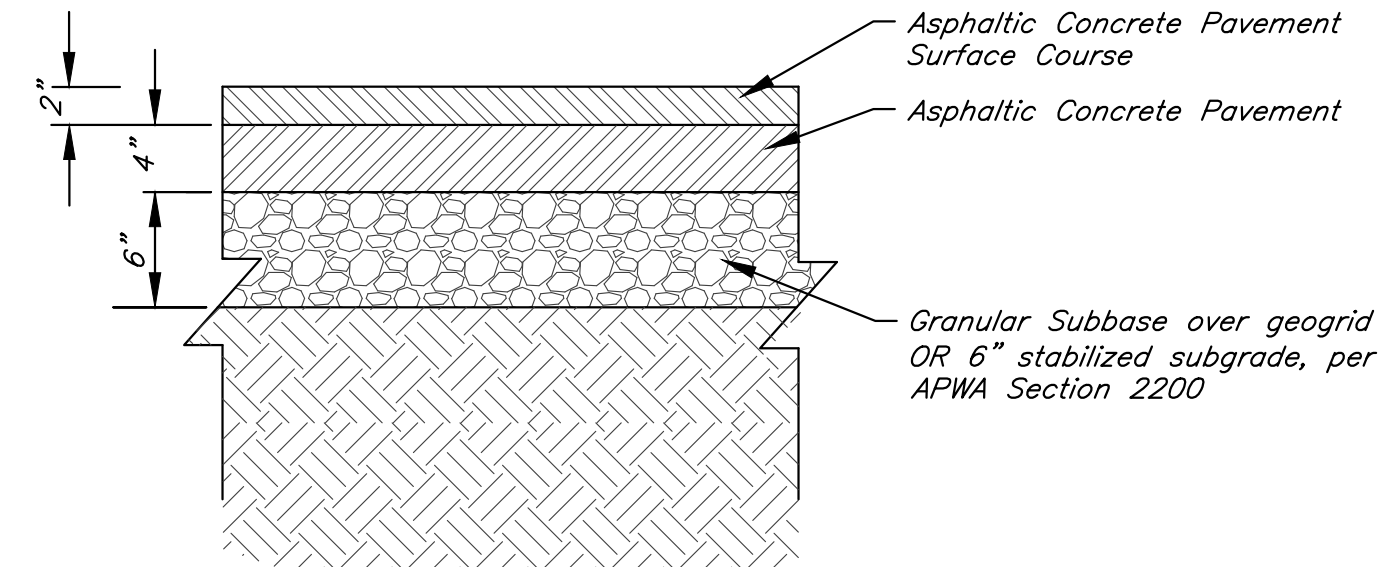
### CONCRETE PAVEMENT SECTION

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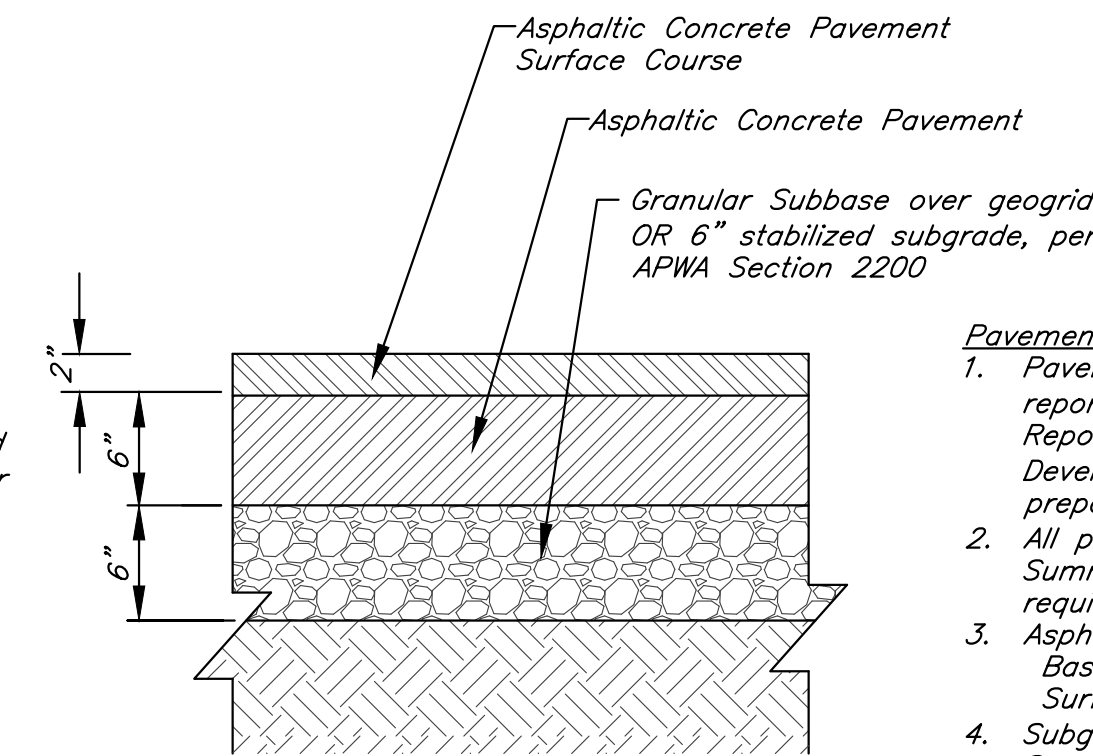
### HEAVY DUTY CONCRETE PAVEMENT SECTION

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### LIGHT DUTY ASPHALT PAVEMENT SECTION

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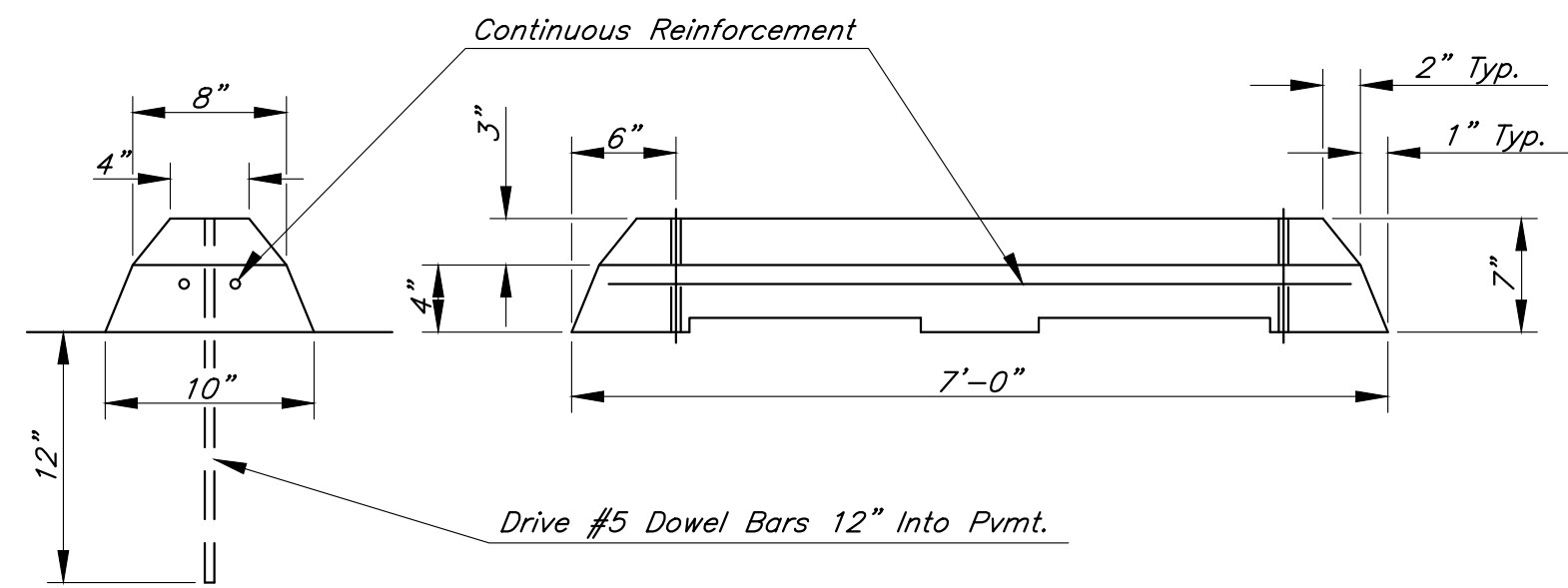


### HEAVY DUTY ASPHALT PAVEMENT SECTION

Not To Scale

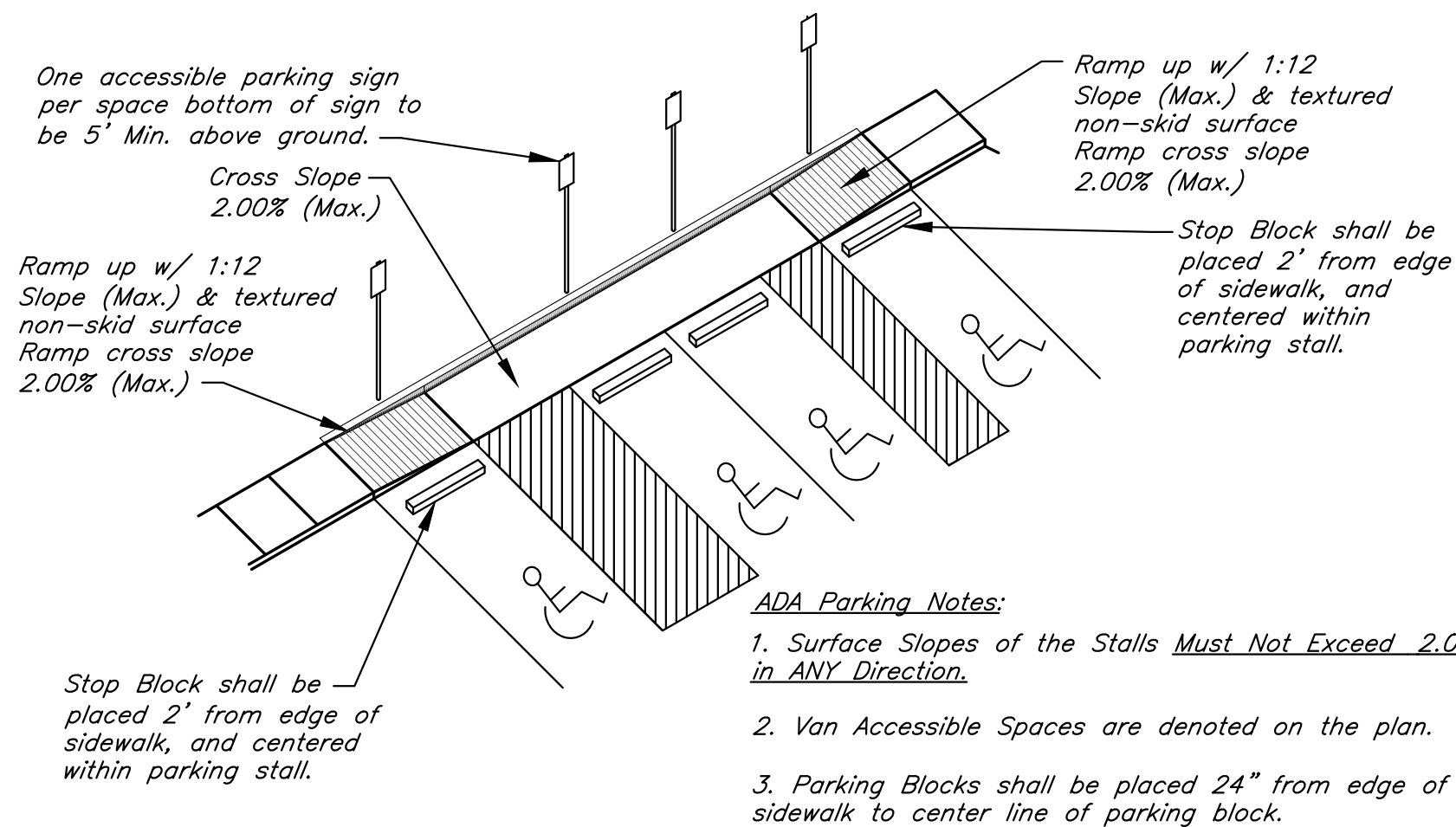
### Pavement Notes:

1. Pavement sections from geotechnical report title "Geotechnical Engineering Report - Paragon Multi-Family Development", dated August 11, 2021, prepared by Terracon Consultants, Inc.
2. All pavement shall meet City of Lee's Summit UDO Section 8.620 requirements.
3. Asphalt mix shall be APWA Base: 1-01, 2-01 or 5-01 Surface: 2-01, 3-01 or 5-01
4. Subgrade stabilization shall be per Lee's Summit Standard Specifications - APWA Section 2200.



### PRECAST CONCRETE STOP BLOCK

Not to Scale



### ADA Parking Notes:

1. Surface Slopes of the Stalls Must Not Exceed 2.00% in ANY Direction.
2. Van Accessible Spaces are denoted on the plan.
3. Parking Blocks shall be placed 24" from edge of sidewalk to center line of parking block.

### ADA PARKING DETAIL

Not to Scale

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PROJECT:

Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24 Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

Construction  
Details

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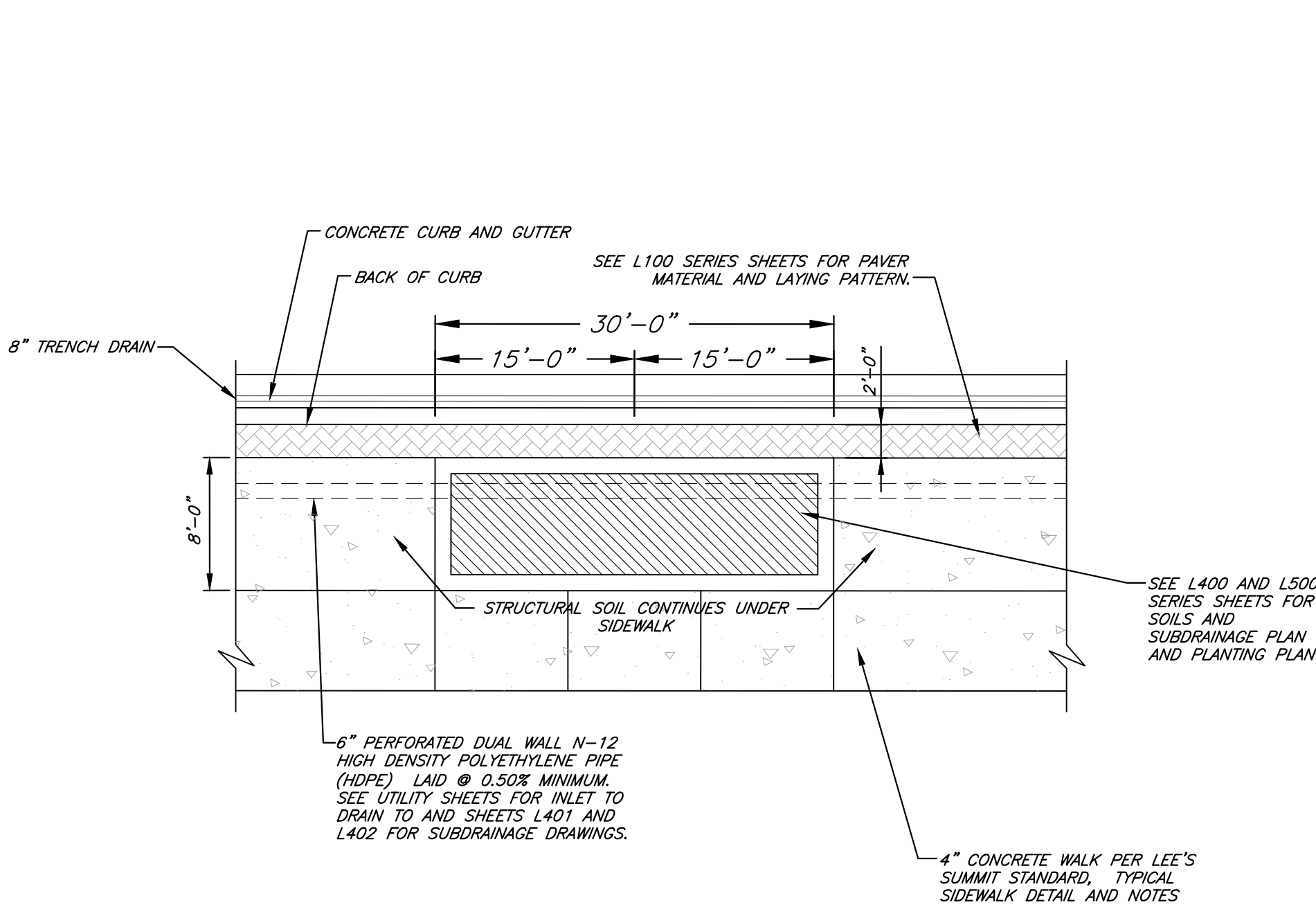
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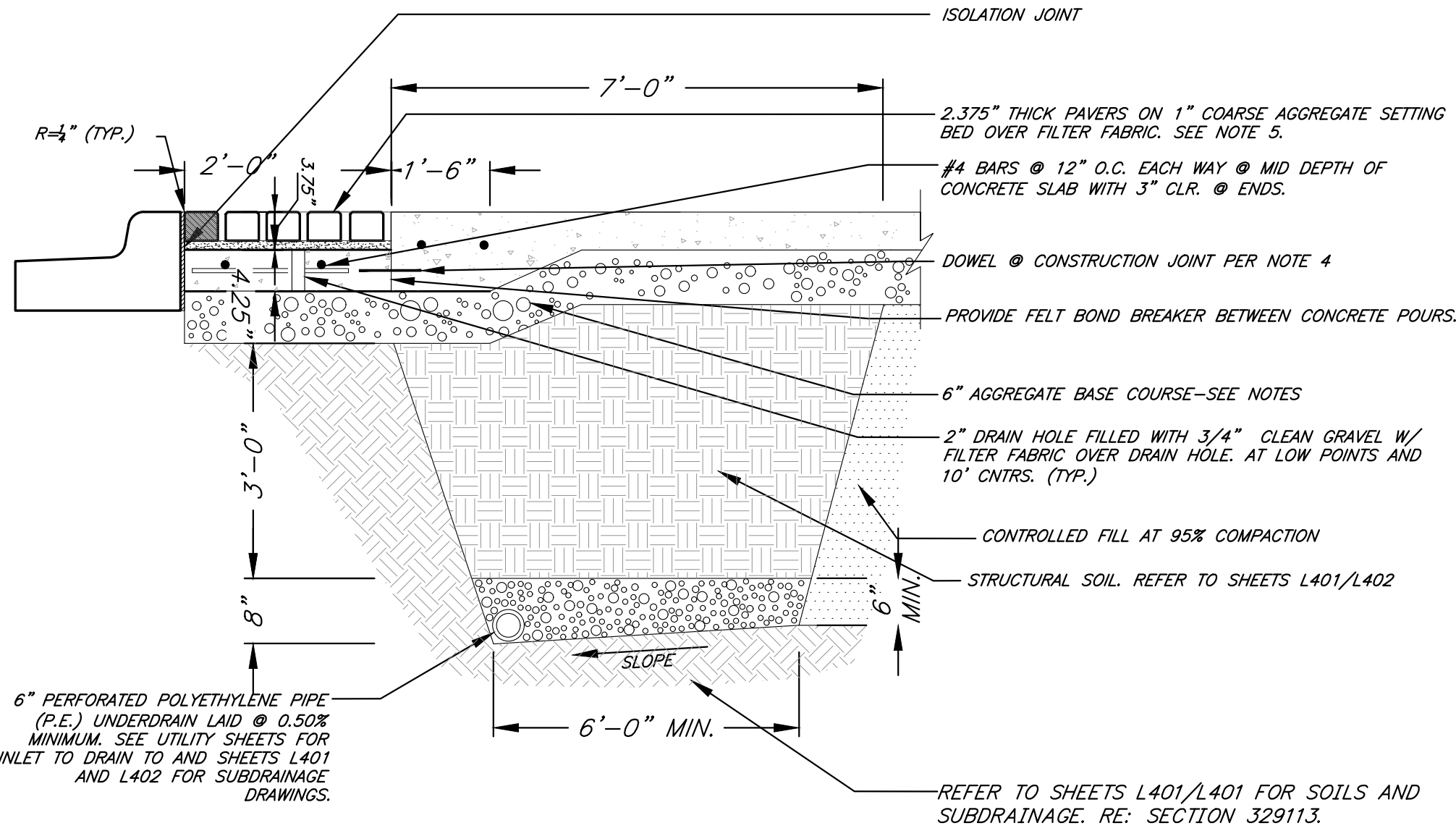


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### RAISED PLANTER PLAN

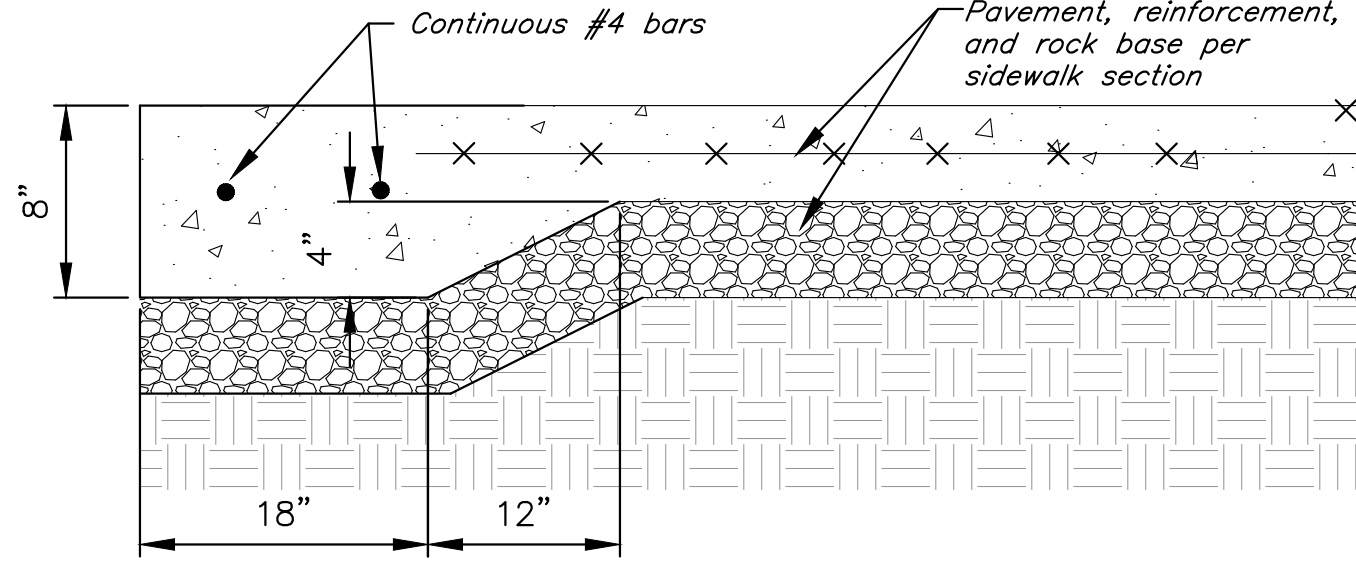
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- NOTES:
1. ALL CONCRETE SHALL BE KCMMB-4K.
  2. LEE'S SUMMIT STANDARD TYPE 1 JOINTS SHALL BE PLACED AS SHOWN ON PLANS.
  3. AGGREGATE BASE COURSE SHALL BE 97% COMPACTED AB-3 OR Limestone SCREENINGS WITH A WATER CONTENT BETWEEN -2 AND +1 PERCENTAGE POINTS OF THE OPTIMUM WATER CONTENT.
  4. AT CONSTRUCTION JOINTS IN CONCRETE SLAB, INSTALL #5 X 12" LONG SMOOTH DOWELS @ 12" SPACING ALONG THE CONSTRUCTION JOINT. GREASE AND WRAP ONE END SIMILAR TO LEE'S SUMMIT STANDARD TYPE 2 JOINT. DOWEL INSTALLED ON EACH SIDE OF JOINT. (NO 1/2" PREMOLED NON-EXTRUDING FILLER.)
  5. PAVERS WILL BE SELECTED BY THE LANDSCAPE ARCHITECT. SEE L100 SERIES SHEETS FOR MATERIAL TYPE AND LAYING PATTERN.

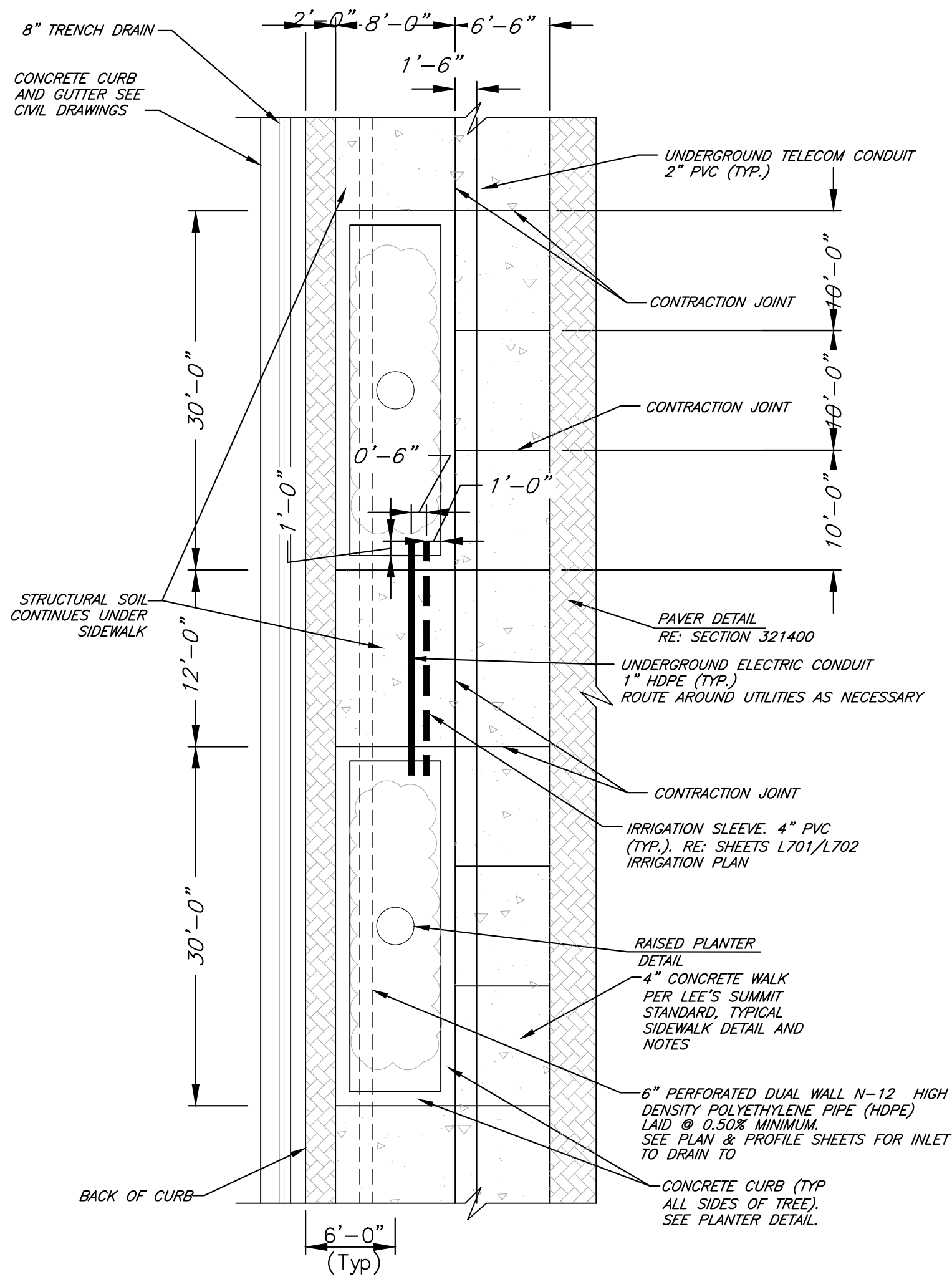
### AMENITY ZONE PAVER DETAIL

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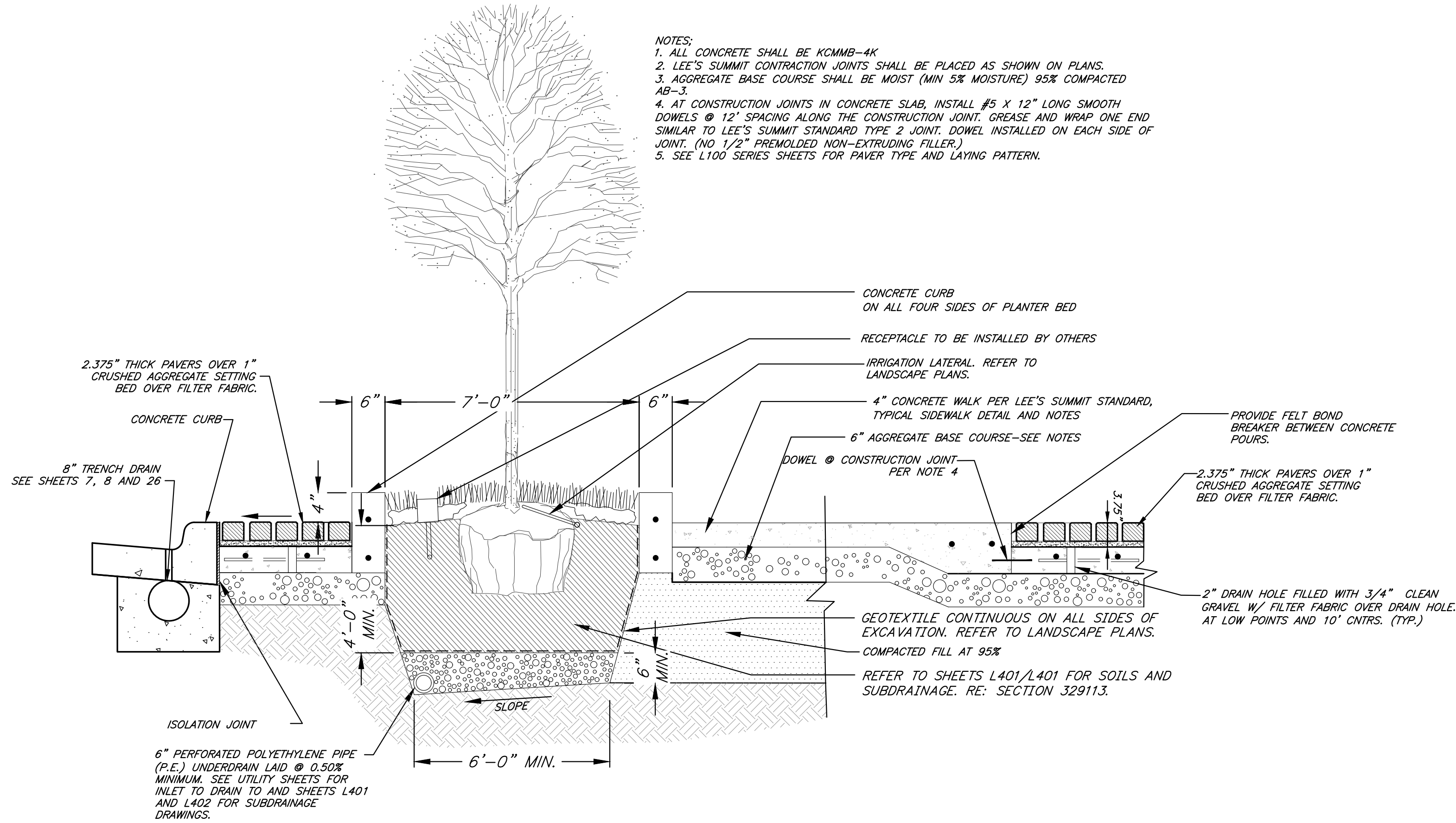
### THICKENED EDGE DETAIL

Not to Scale



### TYPICAL SIDEWALK LAYOUT

Not to Scale



### TREE PLANTER DETAIL

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PROJECT:

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FDP Resubmittal

ISSUE:

11/5/24 Revision

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Streetscape  
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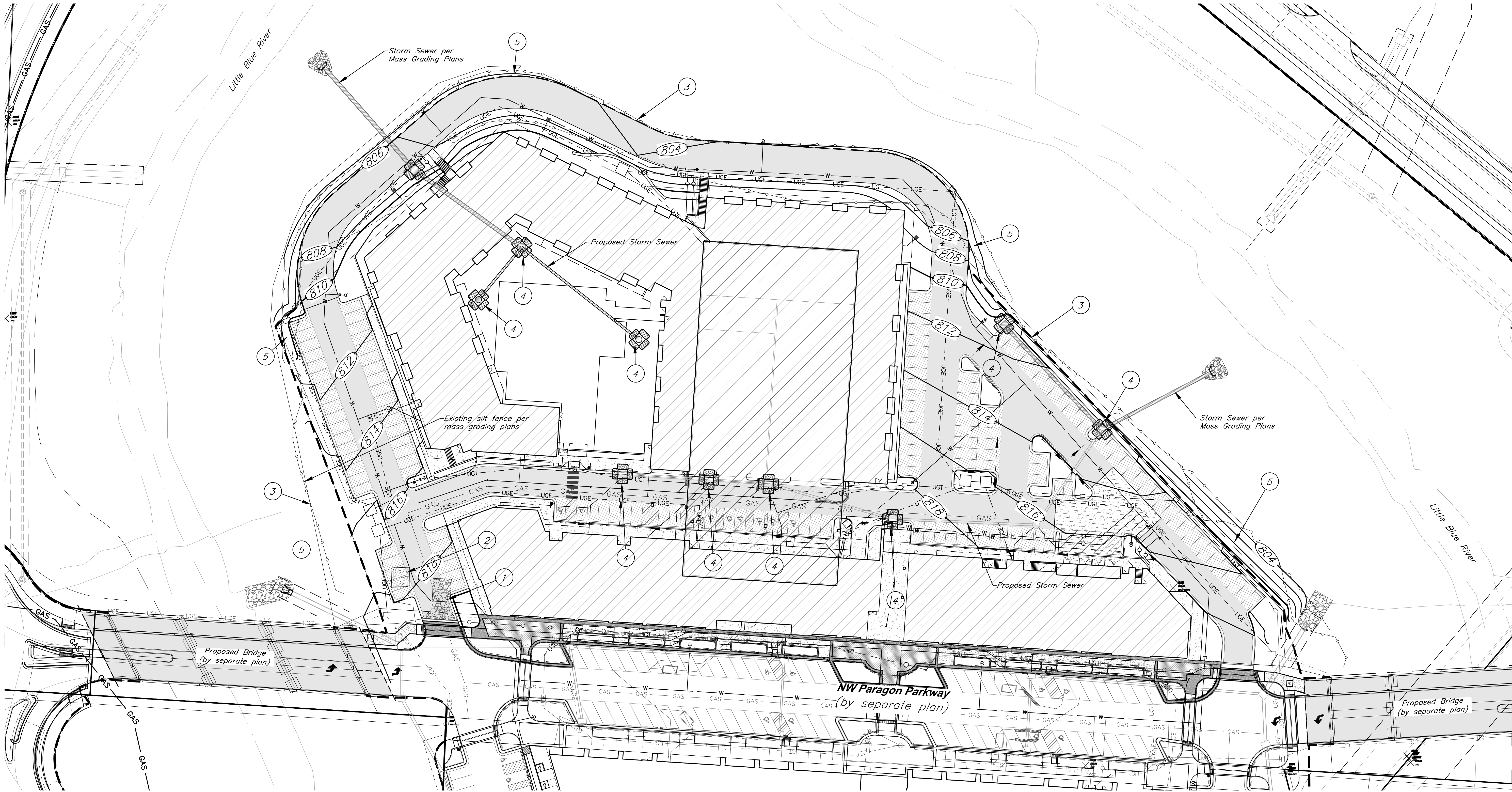
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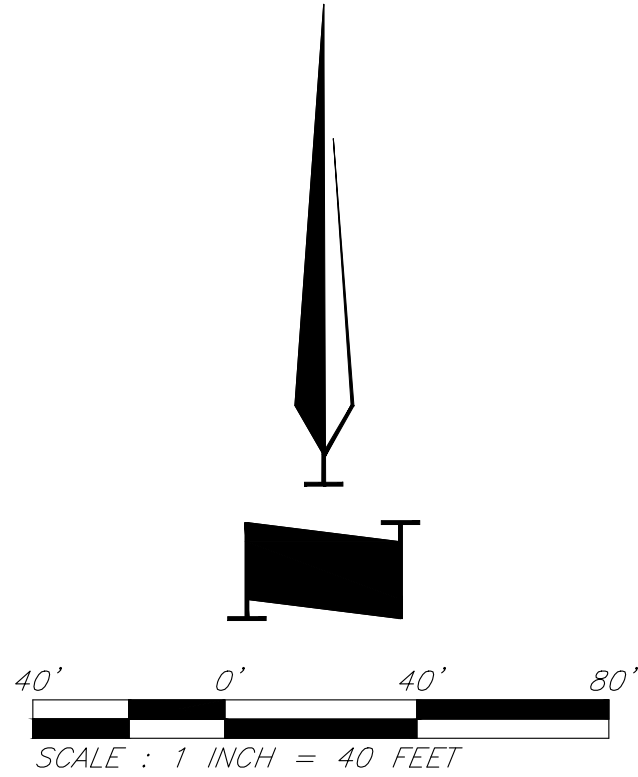


EROSION & SEDIMENT CONTROL STAGING CHART

Project Stage	Ref. No.	BMP Description	May Remove after Stage	Notes
A. Place Erosion Control Prior to Land Disturbance	1	Const. Entrance & Staging Area	C	
	2	Construct Concrete Wash-out	C	
	3	Perimeter Silt Fence	C	
B. Final Grading, Paving, and Landscaping	4	Inlet Protection	C	
	5	Seed & Mulch or Blanket or Sod		Erosion control blanket to be installed w/ seed. Check approved seeding dates and install temporary stabilization if out of seeding season. Install blanket according to manufacturer's instructions and stapling pattern.

Note: Permanent Stabilization will be considered stabilized when 100% of disturbed area is established with perennial vegetation with a density of 70%.

- Legend
- Proposed Contour
  - Existing Contour
  - Geotechnical Boring Location
  - Straw Wattles
  - Inlet Filter Sock
  - Grading Limits
  - Sediment Fence
  - Exist. Sediment Fence (to be maintained on perimeter)



PROJECT BENCHMARK:

BM #11 - Chiseled "L" on top Northeast corner of concrete guardrail at the Northeast corner of 1470 bridge spanning View High Drive. EL=833.80

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Erosion Control Plan

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EROSION AND SEDIMENT CONTROL NOTES

The layout of erosion control best management practices (BMPs) shown on the engineering plans is intended to control erosion and minimize, if not eliminate, the transport of sediment from the disturbed areas. The Contractor shall be responsible for the evaluation of existing surface drainage patterns and for making adjustments to the BMP locations to best control erosion and minimize, if not eliminate, the transport of sediment from the disturbed areas. The following are measures to achieve the control of erosion and sediment.

1. Stabilization Practices – Stabilization practices are very effective at preventing erosion by shielding the soil surface from the impact of rain, slowing the velocity of runoff, holding soils in place, and increasing infiltration of runoff and allowing the soil to absorb more rainfall.
- a. Temporary Seeding Stabilization – During acceptable growing periods (see Table 1 below); temporary seeding of annual vegetation with a straw mulch cover shall be used as a temporary cover until permanent vegetation is established. If there is a possibility that a vegetative cover will be required to control erosion for more than 1 year, then consider the addition of a perennial/permanent grass species as part of a seeding mixture.

Table 1. Temporary Seeding Dates and Minimum Application Rates

Seeding Dates	Temporary Seed Species	Minimum Application Rates (pure live seed lbs. per acre)	Straw Mulch (tons per acre)
Jan. 1 – Jan. 31	None	Not Applicable	2.5
Feb. 1 – May 31	Annual Ryegrass	120	1.5
June 1 – Aug. 4	None	Not Applicable	2.5
Aug. 15 – Nov. 15	Cereal/Winter Rye	120	1.5
Nov. 16 – Dec. 31	None	Not Applicable	2.5

Seedbed Preparation – For broadcast seeding or drilling, loosen soil to depth of 3 inches. For no till drilling, loosen soil if it is compacted. Loosen compacted, hard or crusted soil surfaces with a disk, ripper, chisel, harrow or other tillage equipment. Avoid preparing the seedbed under excessively wet conditions. For establishment and long-term growth, apply a complete fertilizer at rates recommended by soil tests or as specified in plans and specifications. If soil pH is less than 6.0, apply lime according to soil tests. Incorporate necessary lime and fertilizer to a depth of 3 to 6 inches of soil.

Installation – For the best results use certified seed. Apply seed uniformly using a cyclone seeder, drop-type spreader, drill, cultipacker seeder or hydroseeder. When using a drill seeder, plant rye or other grains about 1 inch deep and plant grasses no more than ½ inch. A vegetative straw mulch cover shall be applied over the seed mixture to help germinate and establish plant cover, control weeds, and protect seed mixture against temperature extremes. Follow straw mulch preparation and application procedures described herein.

- b. Temporary Mulch Stabilization – During non-growing periods, a straw mulch cover shall be applied in unseeded areas to protect against erosion until temporary or permanent vegetation is established.

Site Preparation – Divert runoff water from areas above the site that will be mulched. Remove stumps, roots and other debris from the construction area. Grade area as needed to permit the use of equipment for seeding, mulching and maintenance. Shape area so that it is relatively smooth.

Application – Spread straw mulch uniformly over the area with a power blower, hydroseeder, or by hand. No more than 25% of the ground surface should be visible after spreading. Apply straw mulch at a rate of 1.5 tons per acre as a seed cover or 2.5 tons per acre as a stand alone cover. The straw should be dry, unchopped, unweathered; free of weed seeds and rot. In areas of steep slopes or high winds, or in critical areas such as swales, mulching may need to be secured to the ground with a binder, netting, or tacking.

- c. Permanent Seeding Stabilization – All disturbed areas shall be permanently seeded with a cool season grass mixture as specified in the Standards and Specifications of the City of Lee’s Summit, Missouri..

Seedbed Preparation – loosen soil to depth of 3 inches. For no till drilling, loosen soil if it is compacted. Loosen compacted, hard or crusted soil surfaces with a disk, ripper, chisel, harrow or other tillage equipment. Avoid preparing the seedbed under excessively wet conditions. For establishment and long-term growth, apply a complete fertilizer at rates recommended by soil tests or as specified in plans and specifications. If soil pH is less than 6.0, apply lime according to soil tests. Incorporate necessary lime and fertilizer to a depth of 3 to 6 inches of soil.

Installation – For the best results use certified seed. Apply seed uniformly using a hydroseeder. A vegetative straw mulch cover shall be applied over the seed mixture to help germinate and establish plant cover, control weeds, and protect seed mixture against temperature extremes. Follow straw mulch preparation and application procedures described in the Standards and Specifications of the City of Lee’s Summit, Missouri.

2. Structural Practices

- a. Silt Fence – A temporary sediment barrier consisting of a geotextile fabric shall be installed as shown on the attached engineering plans and details. Silt fencing shall be installed to maintain sediment onsite.

Minimum Requirements:

Location – Fence should be built on a nearly level grade and at least 10 feet from the toe of the slope to provide a broad shallow sediment pool. Install on the contour, where fence can intercept runoff as a sheet flow; not located crossing channels, waterways or other concentrated flow paths; not attached to existing trees.

Spacing of Support Posts – 10 feet maximum for fence supported by wire; 6 feet maximum for high strength fabric without supportive wire backing. Support posts should be driven into the ground a minimum of 10 inches deep.

Trench – Bottom 1 foot of fence must be buried minimum of 4 inches deep.

- b. Inlet Protection – When installation of the storm drainage system is complete, gravel curb inlet sediment traps will be placed at the drainage system inlets. Construction shall be in accordance with attached engineering plans and details.
- c. Stockpiles – The toe of stockpiles shall be placed a minimum of 10 feet from erosion control measures. If stockpiles are to remain for more than 14 days, they shall be temporarily stabilized with vegetative mulch and temporary seeding.

3. Maintenance – The contractor shall repair all erosion control measures or re-seed areas that are disturbed or damaged as a result of weather or other situations, within 2 days after the occurrence. This will include all areas bare of vegetation.

EROSION CONTROL GENERAL NOTES

1. The Contractor is responsible for erosion control during construction and until the Owner and City accepts the work as complete. The erosion control measures shown on this plan are a typical minimum installation. The Contractor shall be responsible for adjusting or adding to these measures as necessary during the phasing of the construction to assure adequate control.

2. Clearing and grubbing within 50’ of a defined drainage course should be avoided when possible. Where changes to a defined drainage course occur, work should be delayed until all materials and equipment necessary to protect and complete the drainage change are on site. Changes shall be completed as quickly as possible once the work has been initiated. The area impacted by the construction activities shall be revegetated or protected from erosion as soon as possible, areas within 50’ of a defined drainage ways should be recontoured as needed or otherwise protected within five (5) working days after grading has ceased.

3. Where soil disturbing activities cease in an area for more than 14 days, the disturbed areas shall be protected from erosion by stabilizing the area with mulch or other similarly effective erosion control measures. If the slope of the area is greater than 3:1 or if the slope is greater than 3% and greater than 150 feet in length, then the disturbed areas shall be protected from erosion by stabilizing the area with mulch or other similarly effective erosion control measures if activities cease for more than seven (7) days.

4. Existing vegetation shall be preserved to the extent and where practical. In no case shall disturbed areas remain without vegetative ground cover for a period in excess of 60 days.

5. Additional site management practices which shall be adhered to during the construction process shall include:

–Solid and hazardous waste management including providing trash containers and regular site clean up for proper disposal of solid waste such as building and construction material, product/material shipping waste, food containers and cups, and providing containers for the proper disposal of waste paints solvents, and cleaning compounds.

–Provisions of portable toilets for proper disposal of sanitary sewage.

–Storage of construction materials away from drainage courses and low areas.

–Installation of containment berms and use of drip pans at petroleum product and liquid storage tanks and containers.

6. All disturbed areas shall be seeded, fertilized and mulched, or sodded, in accordance with the Standards and Specifications adopted by the City of Lee’s Summit, Missouri and good engineering

practices. This shall be completed within fourteen (14) days after completing the work, in any area. If this is outside of the seeding period, silt barriers or other similarly effective measures shall be provided until such time that the areas can be seeded.

7. All erosion control measures, temporary or permanent, require maintenance to preserve their effectiveness. All erosion control devices shall be inspected immediately after each heavy rainstorm and at least daily during prolonged rainfall. Any required repairs should be made immediately. All costs associated with the repair work including related incidentals will be the contractor’s responsibility and shall be included in the Contractor’s bid for the proposed work. Only after the project is complete and accepted can the erosion control be removed.

8. Seeding shall be done before the proposed seedbed becomes eroded, crusted over, or dried out and shall not be done when the ground is frozen, or covered with snow. The seed shall comply with requirements of the Missouri Seed Law and the Federal Seed Act. Also, it shall contain no seed of any plant on the Federal Noxious Weed List. Other weed seed shall not exceed one percent by weight of mix.

9. During the dates Dec. 15 through May 30 ALL lime, fertilizer, seed, and mulch shall be applied to finished slopes of disturbed areas. During the months of June, July, October, and November 1st through December 15th, lime, fertilizer, seed, and mulch shall be applied at the following rates:

Lime – 100% of the specified quantity  
Fertilizer – 75% of the specified quantity  
Seed – 50% of the specified quantity  
Mulch – 100% of the specified quantity

10. Mulch shall be Vegetative type, cereal straw form stalks of oats, rye, or barley, or approved equal. The straw shall be free of prohibited weed seed and relatively free of all other noxious and undesirable seed. Apply straw mulch at a rate of 1.5 tons per acre as a seed cover or 2.5 tons per acre as a stand alone cover. Mulch shall be embedded by a mulch anchoring tool or disk type roller having flat serrated disks spaced not more than 10 inches apart and cleaning scrapers shall be provided.

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PROJECT:

Paragon Star North Village  
3200 NW Paragon Parkway, Lee’s Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24 Revision

PROFESSIONAL SEAL:

DRAWING TITLE:

Erosion Control  
Notes

JOB NO: 18017, 19050.07, 19050.08

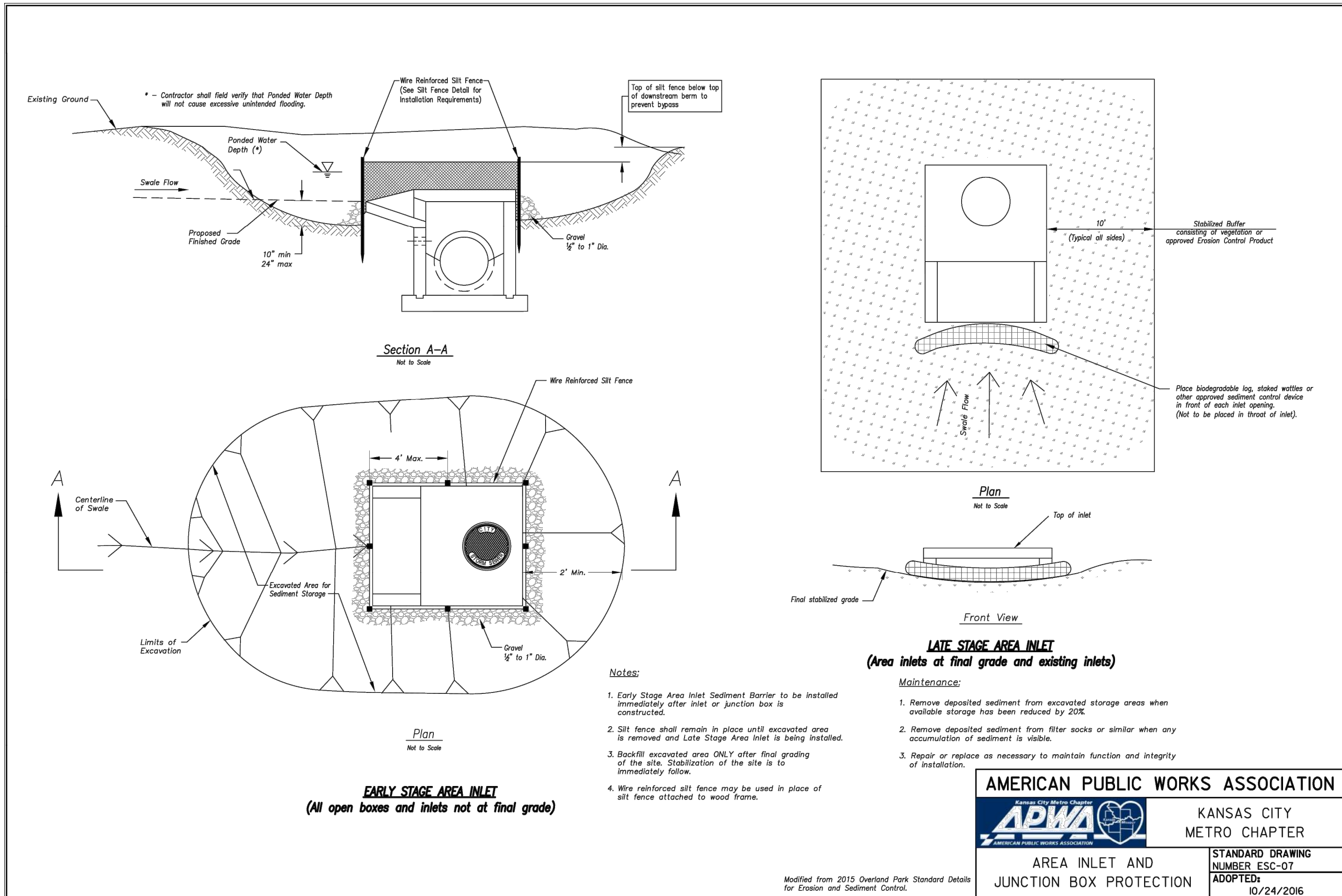
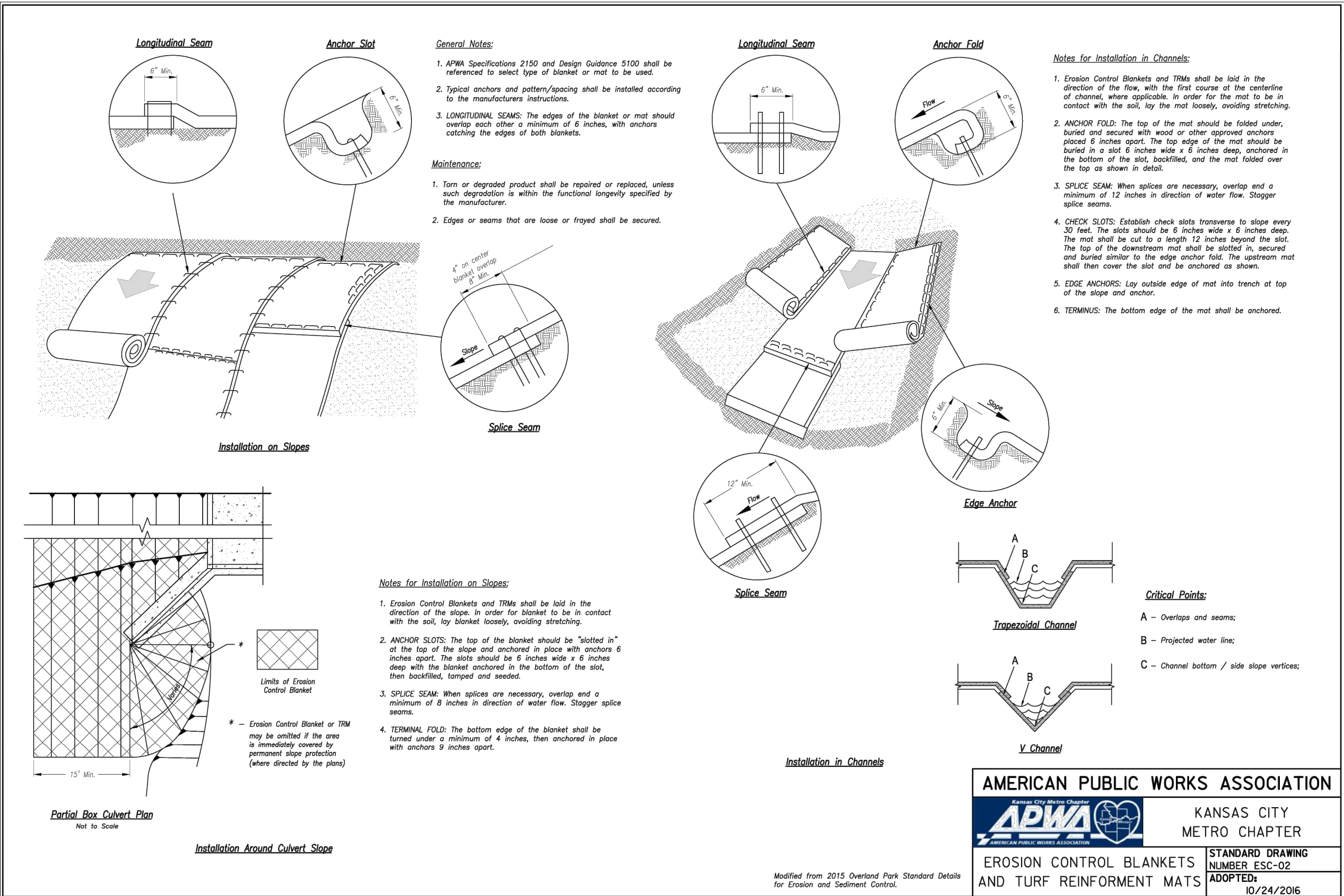
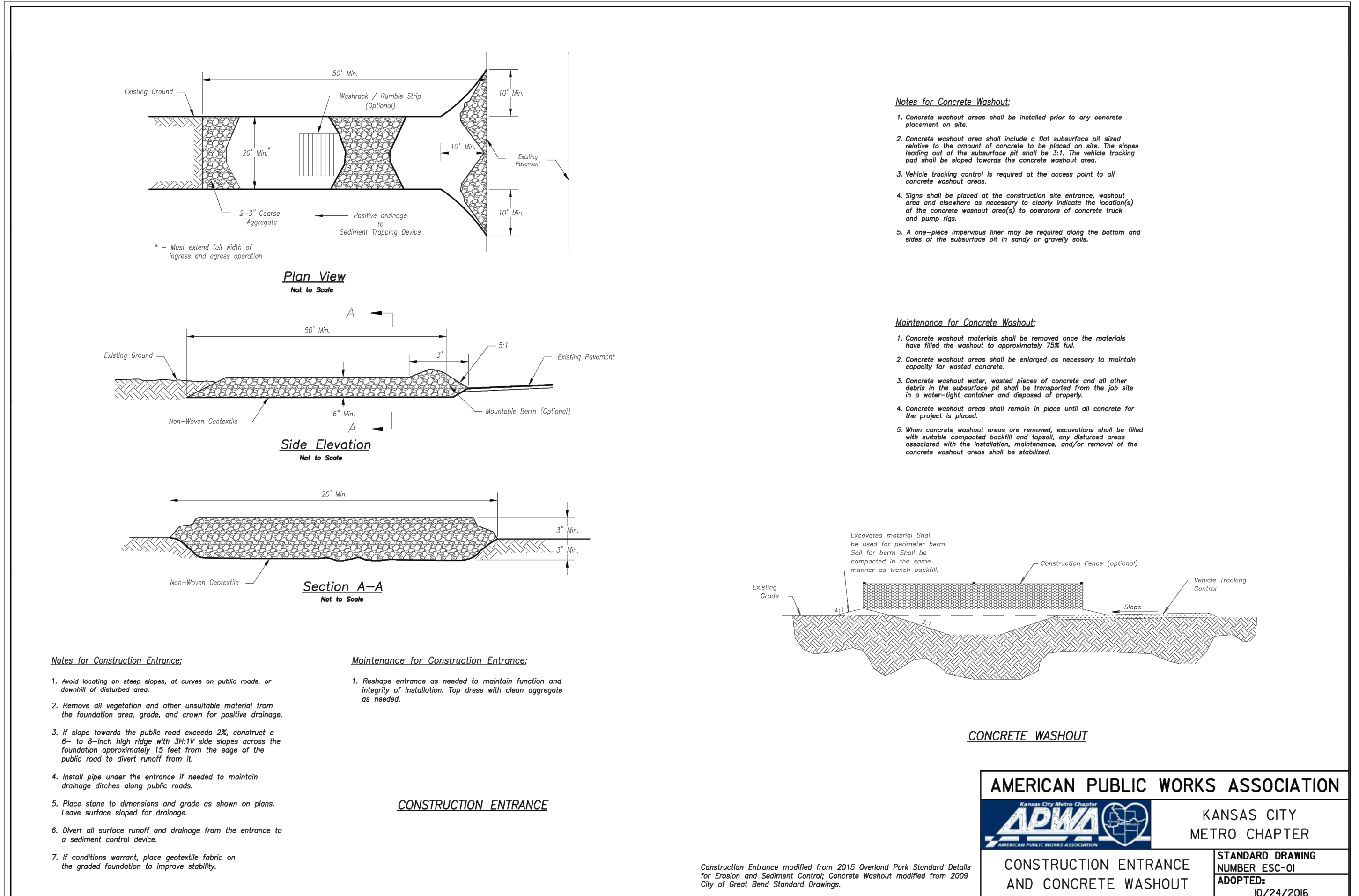
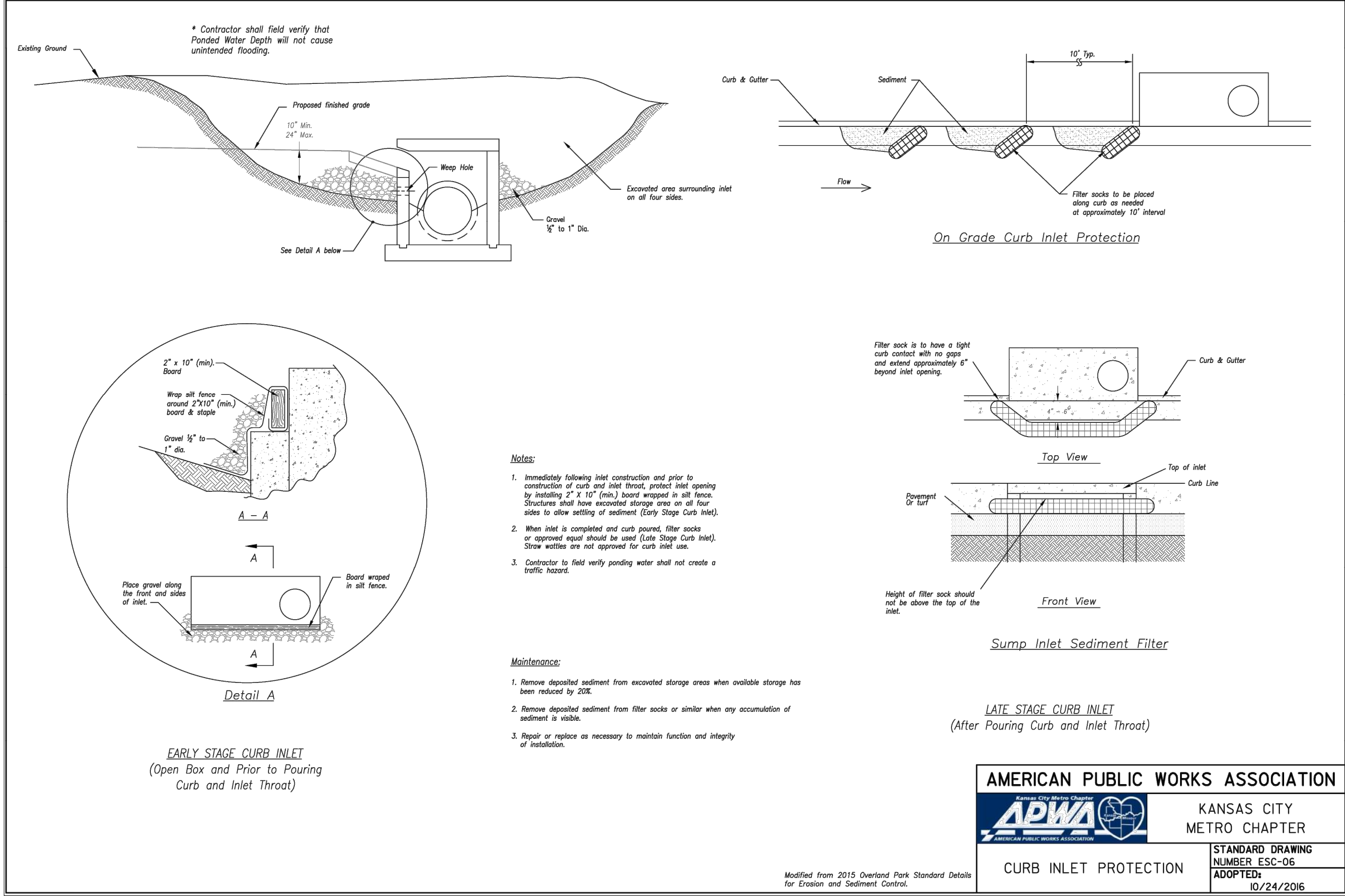
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C022



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PROJECT:

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3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

11/5/24 Revision

PROFESSIONAL SEAL:

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**Erosion Control Details**

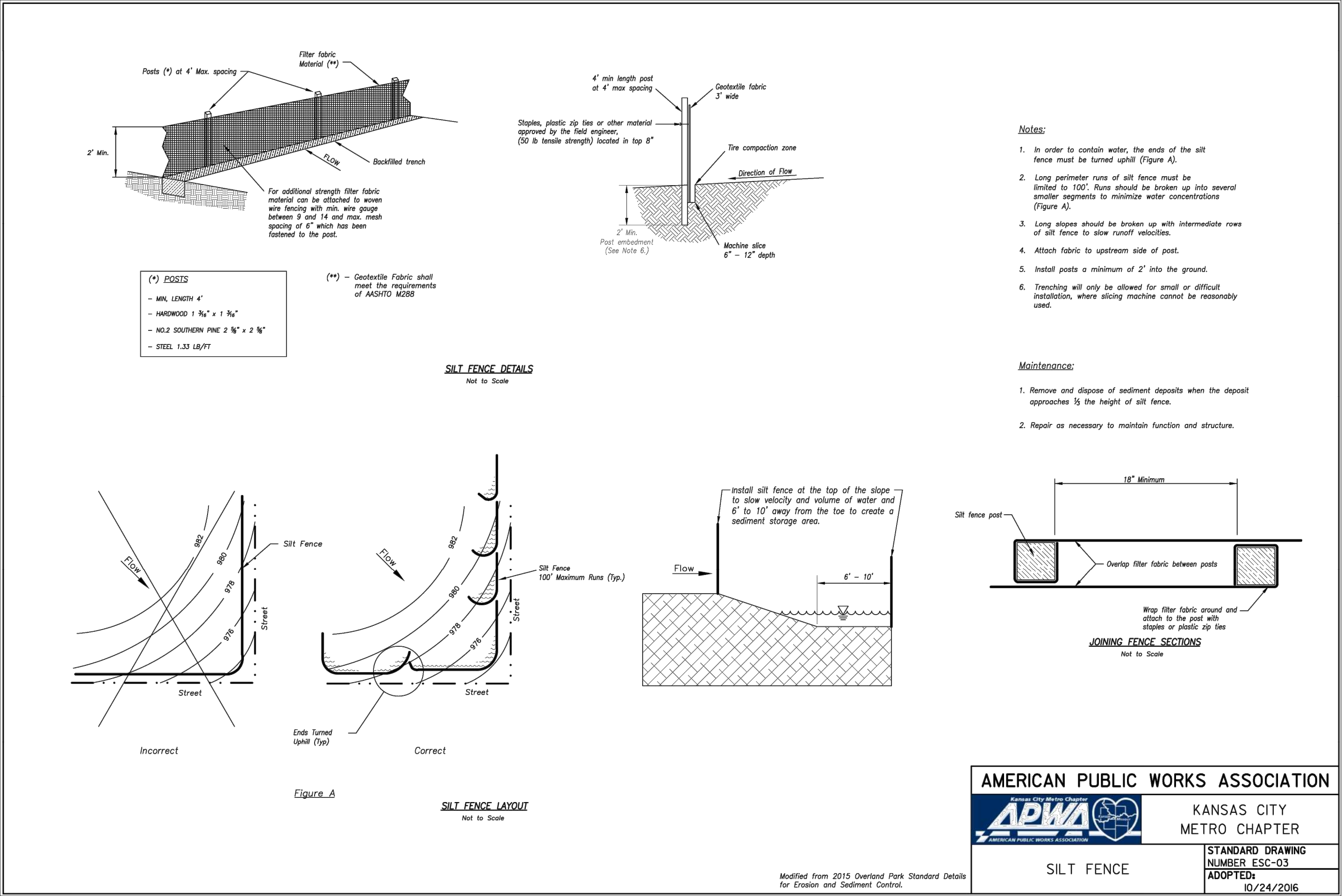
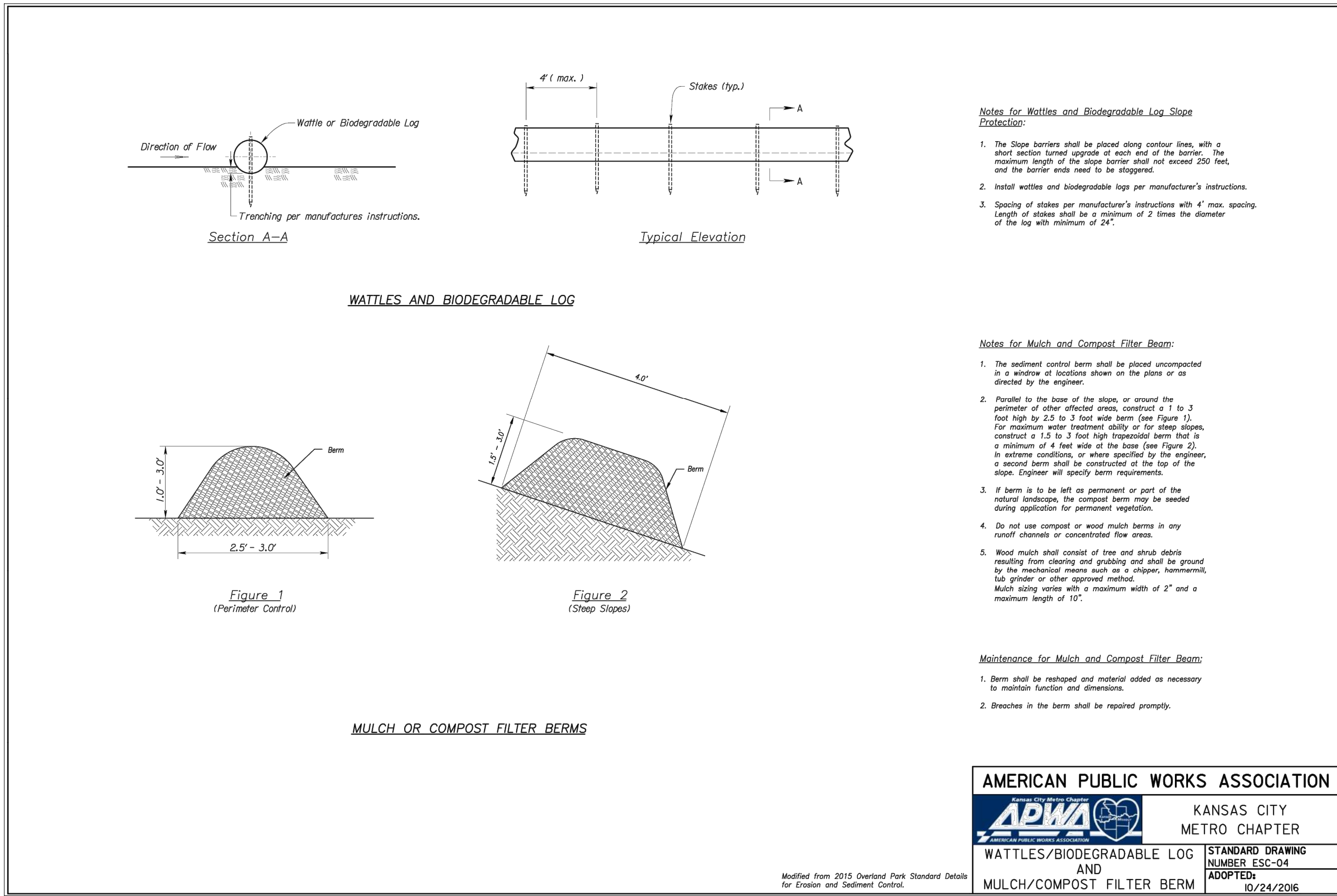
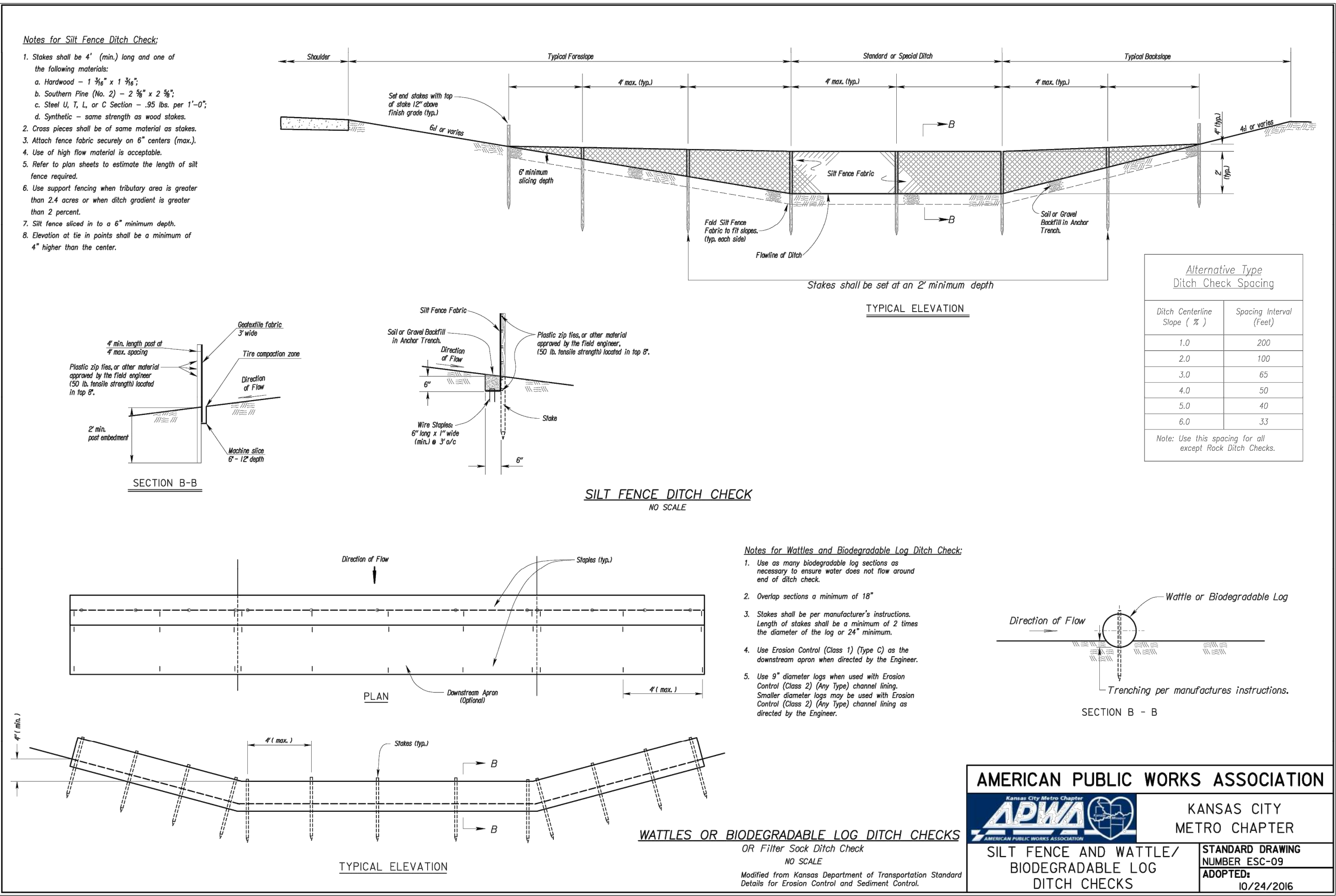
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DRAWING TITLE:

**Erosion Control Details**

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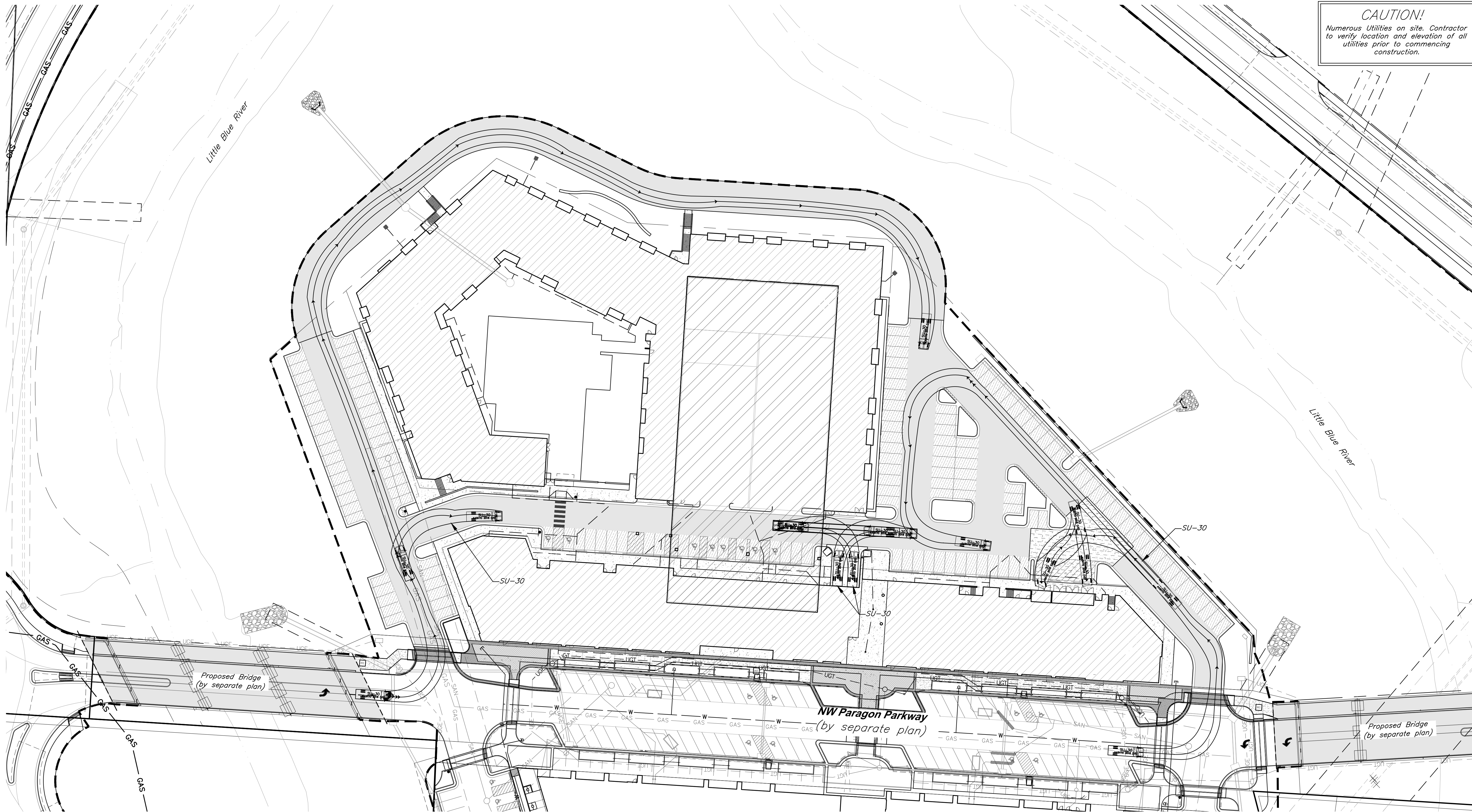
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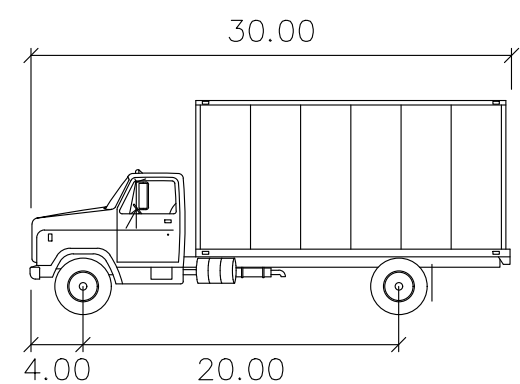
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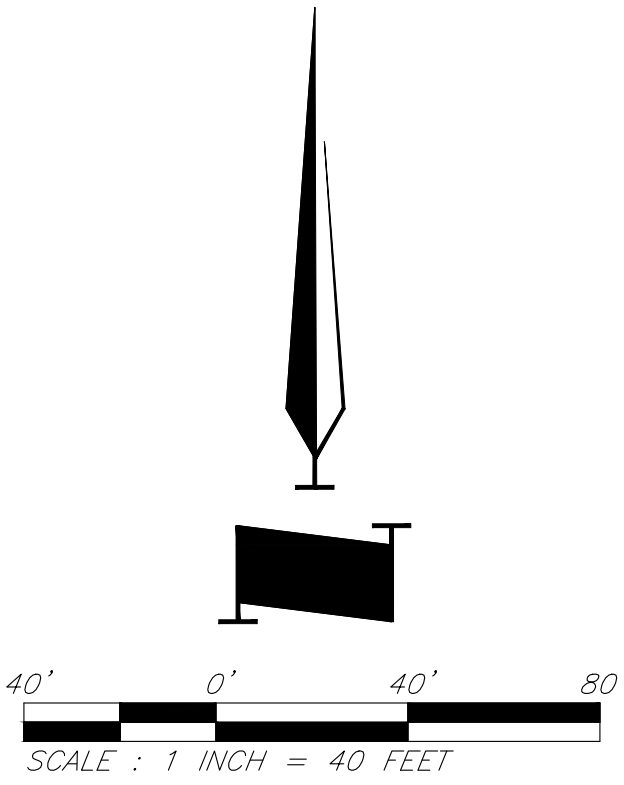


**CAUTION!**  
Numerous Utilities on site. Contractor  
to verify location and elevation of all  
utilities prior to commencing  
construction.



SU-30

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8



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3200 NW Paragon Parkway, Lee's Summit, MO 64081

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**Turning  
Movements**

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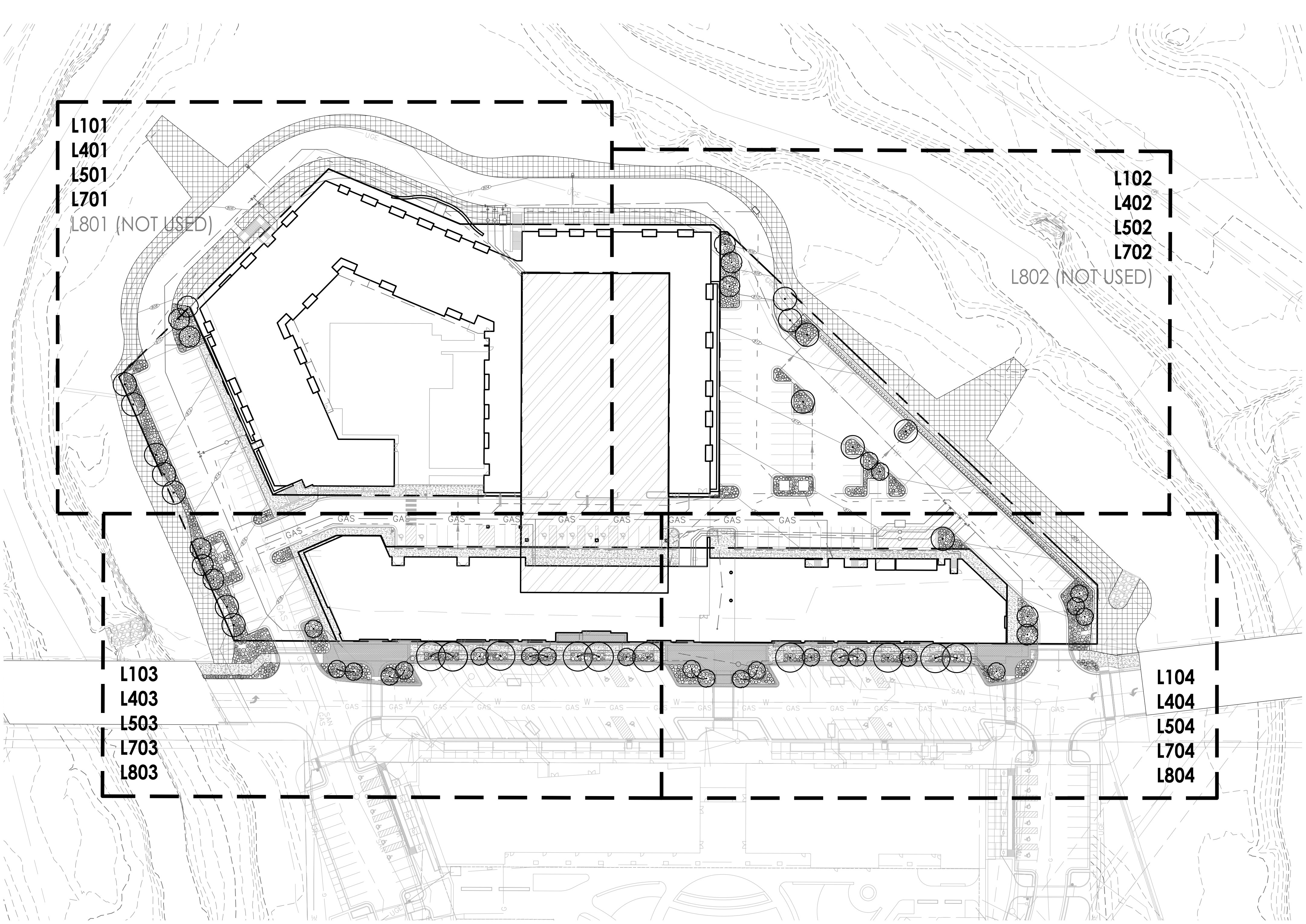
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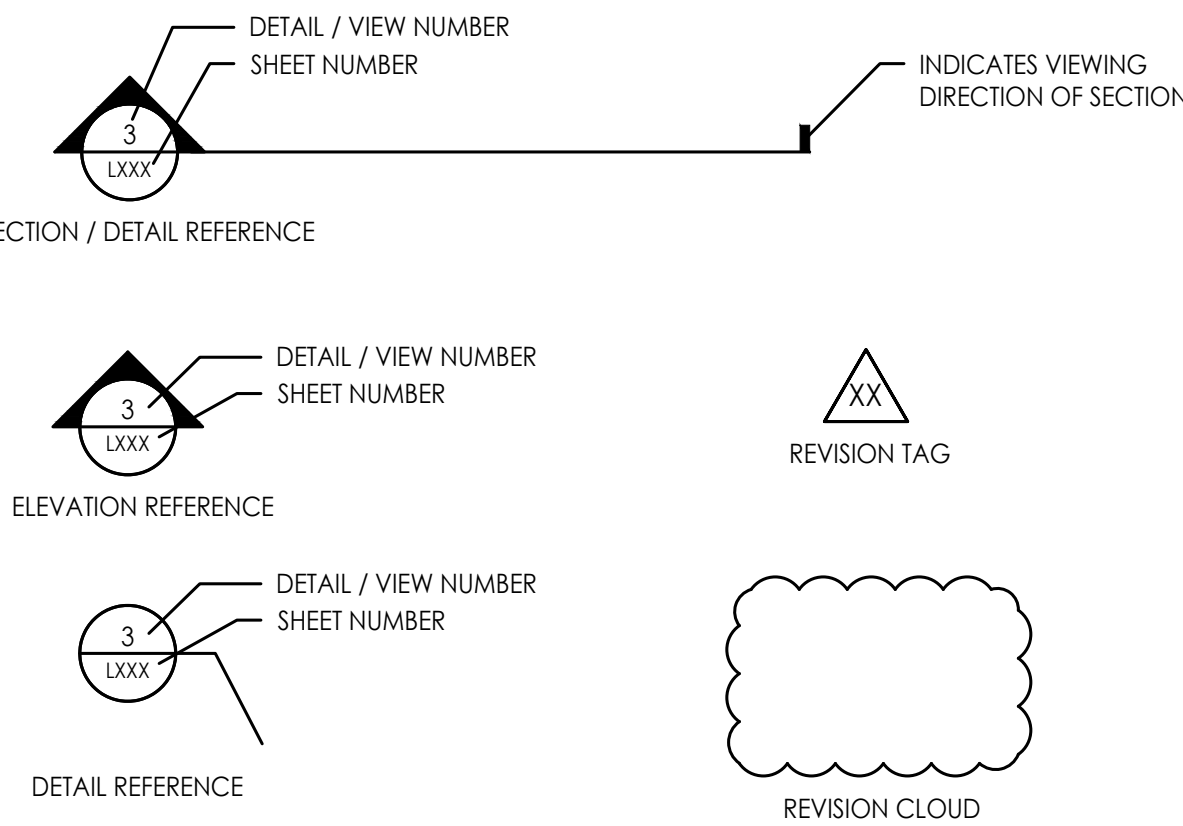
## GENERAL NOTES

- ALL SITE AND UTILITY INFORMATION SHOWN IS BASED UPON INFORMATION AVAILABLE AT THE TIME OF DESIGN. VERIFY ALL SITE CONDITIONS, ELEVATIONS, UTILITY LOCATIONS AND DIMENSIONS INCLUDING NEW IMPROVEMENTS PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
- ALL DIMENSIONS SHOWN ARE REPRESENTED USING U.S. SURVEY DIMENSION STANDARDS.

## COMMON ABBREVIATIONS

APPROX	APPROXIMATE	MH	MANHOLE
ARCH	ARCHITECT	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
B&B	BALLED AND BURLAPPED	N	NORTH
BC	BOTTOM OF CURB	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BM	BENCHMARK	NOM	NOMINAL
BOC	BACK OF CURB	NTS	NOT TO SCALE
BW	BOTTOM OF WALL	OC	ON CENTER
CAL	CALIPER	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	PC	POINT OF CURVATURE
CF	CUBIC FEET	PE	POLYURETHANE
CIP	CAST IN PLACE	PERF	PERFORATED
CL	CENTERLINE	PI	POINT OF INTERSECTION
CLR	CLEAR, CLEARANCE	PL	PROPERTY LINE
CJ	CONTROL JOINT	PT	POINT, POINT OF TANGENCY
CM	CENTIMETER	PVC	POLYVINYL CHLORIDE
CO	CLEAN OUT	QTY	QUANTITY
CONT	CONTINUOUS	R	RADIUS
CY	CUBIC YARD	RE	REFERENCE, REFER TO
DEG	DEGREE	REINF	REINFORCED
DEMO	DEMOLISH, DEMOLITION	REQ'D	REQUIRED
DIA	DIAMETER	REV	REVISION, REVISED
DIM	DIMENSION	ROW	RIGHT OF WAY
DTL	DETAIL	S	SOUTH
DWG	DRAWING	SAN	SANITARY
E	EAST	SEC	SECTION
EA	EACH	SF	SQUARE FOOT (FEET)
EJ	EXPANSION JOINT	SHT	SHEET
EL	ELEVATION	SIM	SIMILAR
ENG	ENGINEER	SPECS	SPECIFICATIONS
EQ	EQUAL	STM	STORM SEWER
EST	ESTIMATE	SY	SQUARE YARD
E.W.	EACH WAY	STA	STATION
EXIST	EXISTING	STD	STANDARD
EXP	EXPANSION, EXPOSED	SYM	SYMMETRICAL
FFE	FINISHED FLOOR ELEVATION	T&B	TOP AND BOTTOM
FG	FINISHED GRADE	T&C	TOP OF BACK CURB
FL	FLOW LINE	TC	TOP OF CURB
FT	FOOT (FEET)	TF	TOP OF FOOTING
FIG	FOOTING	TH	THICK
GA	GAUGE	TOPO	TOPOGRAPHY
GEN	GENERAL	TW	TOP OF WALL
GR	GRADE ELEVATION	TYP	TYPICAL
HDPE	HIGH-DENSITY POLYURETHANE	VAR	VARIES
HORIZ	HORIZONTAL	VOL	VOLUME
HP	HIGH POINT	W/	WITH
HT	HEIGHT	W/O	WITHOUT
ID	INSIDE DIAMETER	WT	WEIGHT
INV	INVERT ELEVATION	WL	WATER LEVEL
IN	INCH(ES)	WWF	WELED WIRE FABRIC
INCL	INCLUDE(D)	YD	YARD
JT	JOINT	@	AT
LF	LINEAR FEET		
LP	LOW POINT		
MAX	MAXIMUM		

## SYMBOLS LEGEND



## 1 KEY PLAN

Scale: 1:50

### LANDSCAPE REQUIREMENTS - Paragon Star North Village Final Development Plan CITY: LEE'S SUMMIT, MISSOURI

Code	Requirement	Location	Dimension	Required	Provided	Additional Notes
8.790.A.1 Street Frontage Trees	One (1) tree shall be planted for each 30lf of street frontage	Paragon Parkway	743 LF	25 Trees	27	Trees part of streetscape designs
8.790.A.2 Street Frontage Green Strip	Any parking or loading visible from a street shall be separated with a 20 ft wide landscape strip	East & West Ends of Paragon Parkway		20 FT	20 FT	
8.790.A.3 Street Frontage Shrubs	One (1) shrub shall be provided for each 20ft of street frontage	Paragon Parkway	743 LF	25 Shrubs	25	Provided as part of streetscape design
8.790.B.1 Open Yard Areas	Provide two (2) shrubs per 5,000 square feet of total lot area excluding building footprint area.	North Village Lot	120683 SF	48 Shrubs	48	236,554 SF of lot area 115,871 SF building footprint
8.790.B.2 Open Yard Areas	All portions of the site not covered with paving or buildings shall be landscaped.	North Village Lot	N/A			Refer to site landscape beds
8.790.B.3 Open Yard Areas	In addition to trees required based upon street frontage, provide one (1) tree for every 5,000 square feet of lot area not covered by buildings/structures.	North Village Lot	120683 SF	24 Trees	30	236,554 SF of lot area 115,871 SF building footprint
8.810.A Parking Lot Landscaping & Trees	Landscape islands, strips or other planting areas shall constitute 5% of the entire area devoted to parking spaces, aisles and driveways.	Northeast Parking Lot West Parking Lot	42346 SF 22310 SF	2117 SF 1116 SF	2538 SF 1368 SF	
8.810.B Parking Lot Landscaping & Trees	Landscape island shall be located at the end of every parking bay. The island shall be planted in trees, shrubs, grass, or ground cover.	Northeast and West Parking Lots	N/A			Refer to site landscape beds
8.810.C Parking Lot Landscaping & Trees	Tree planting areas shall be no less than ten feet in width. No tree shall be located less than four feet from the back of curb.	Northeast and West Parking Lots	N/A			Refer to site landscape beds



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Issued for GMP

ISSUE:

PROFESSIONAL SEAL:

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CONSTRUCTION

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KEY PLAN &  
GENERAL  
INFORMATION

JOB NO: 1249

SCALE:

DATE: 07.11.2022

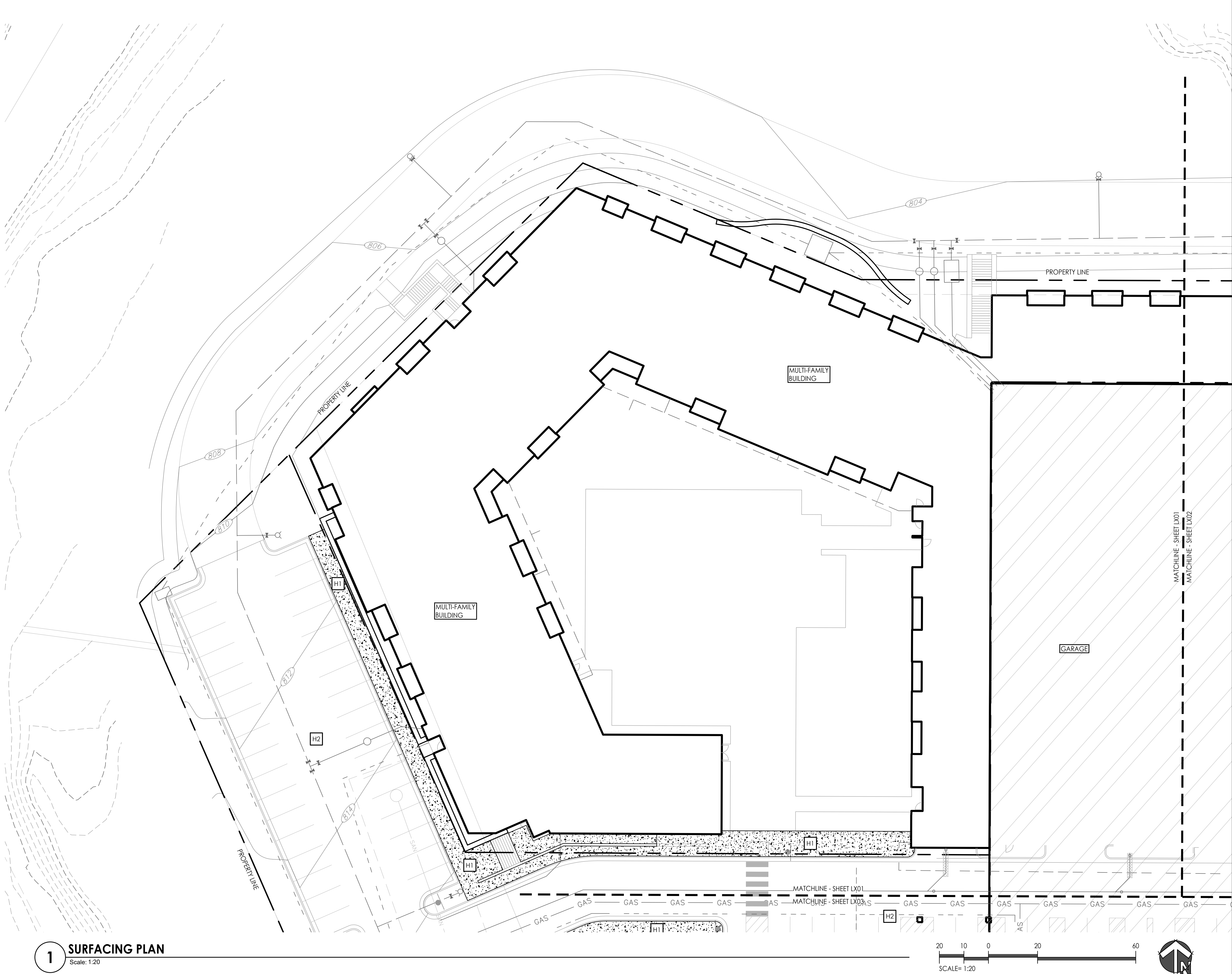
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**1 SURFACING PLAN**  
Scale: 1:20

**SURFACE FINISHES AND MATERIALS LEGEND**

- H1

CONCRETE SIDEWALK AND PAVER EDGE w/  
MEDIUM BRUSH FINISH  
(REFER TO CIVIL DRAWINGS)
- H2

ROAD AND PARKING LOT PAVING  
(RE: CIVIL DWGS)
- H3

TYPE 1 - PRECAST CONCRETE PAVERS  
(RUNNING BOND PATTERN)  
(RE: 1/L120)
- H4

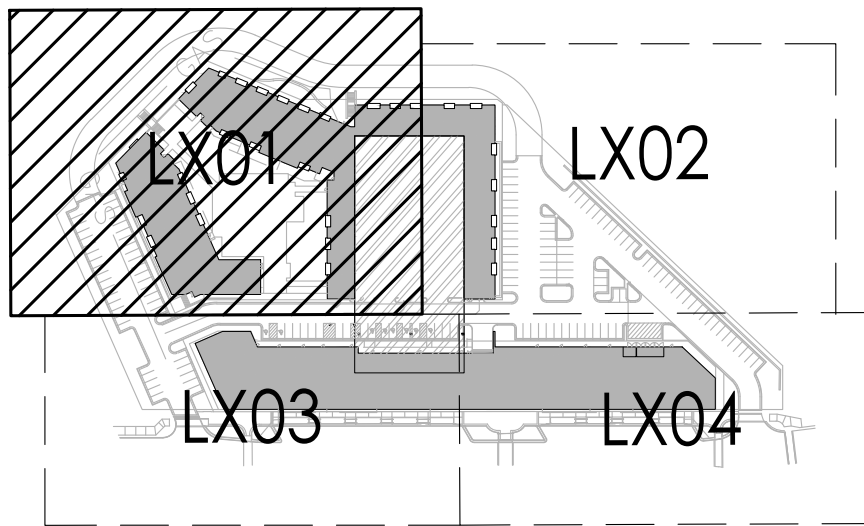
TYPE 2 - PRECAST CONCRETE PAVERS  
(HERRINGBONE PATTERN)  
(RE: 1/L120)
- H5

CONCRETE PLANTER CURB  
(RE: CIVIL DWGS)

**SURFACE FINISHES AND MATERIALS NOTES**

- THIS PLAN PROVIDES GENERAL LAYOUT AND TYPES OF HORIZONTAL SURFACE MATERIALS AND FINISHES TO BE PROVIDED BY THE CONTRACTOR. REFER TO THE FOLLOWING SPECIFICATION SECTIONS FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK:
  - SECTION 321400 - UNIT PAVING**
  - SECTION 321316 - DECORATIVE FINISHES CONCRETE PAVING**
- REFER TO CIVIL DRAWINGS FOR DIMENSIONS AND LAYOUT OF PAVING. SURFACE LIMITS, DIMENSIONS ON THIS DRAWING ARE PROVIDED FOR GENERAL ARRANGEMENT AND EXTENTS OF THE FINISHES TO BE PROVIDED.

**KEY PLAN**



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PROJECT:

Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

ISSUE:

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SURFACE FINISHES & MATERIALS PLAN

JOB NO: 1249      SCALE:

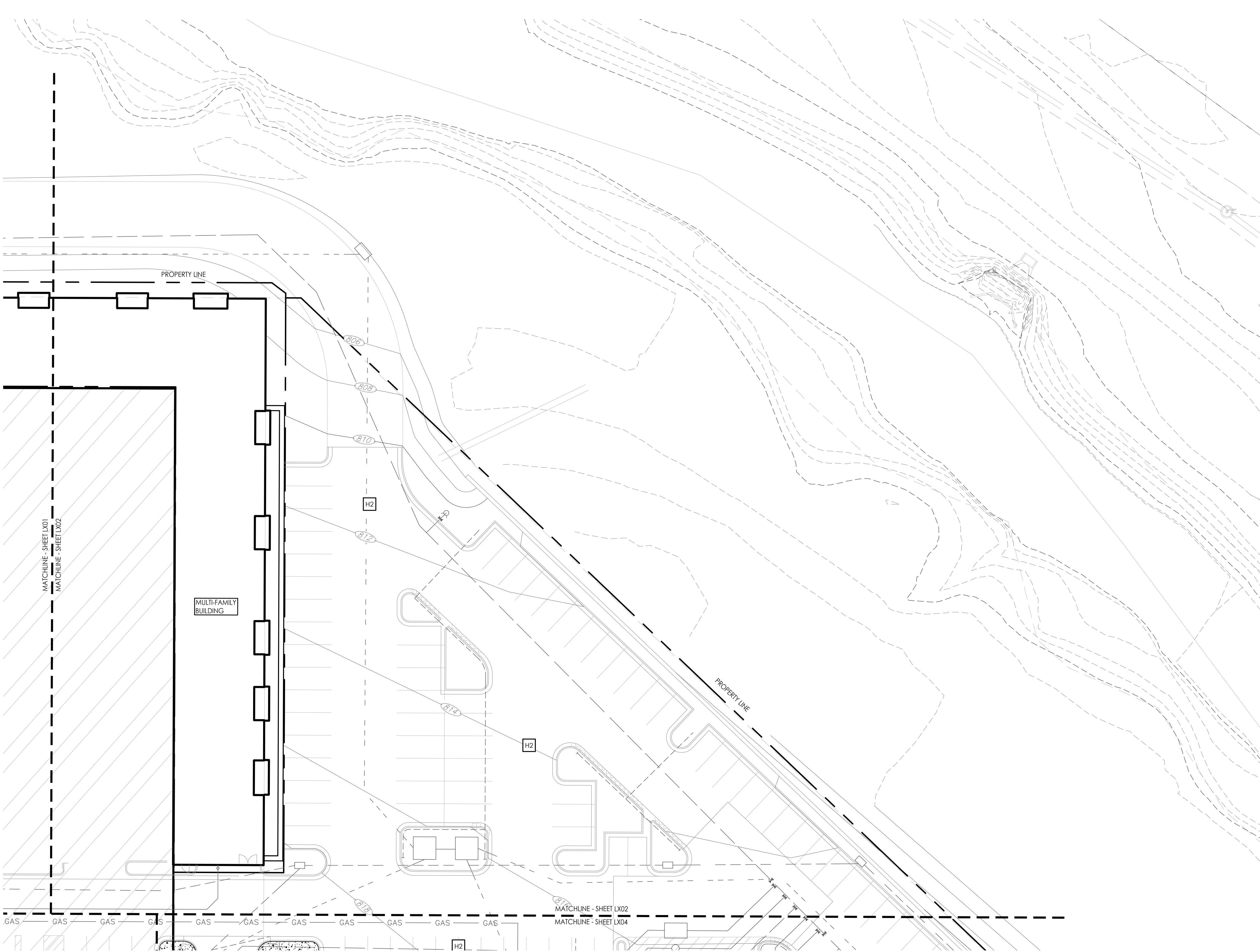
DATE: 07.11.2022      DRAWN BY: MRK

SHEET NO:

L101



G:\Archive\2018\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTI-FAMILY\L100 HARDSCAPE-MULTIFAM.dwg 7/11/2022 11:16:40 AM MICHAEL KILLEN 0.38491  
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**1 SURFACING PLAN**  
Scale: 1:20

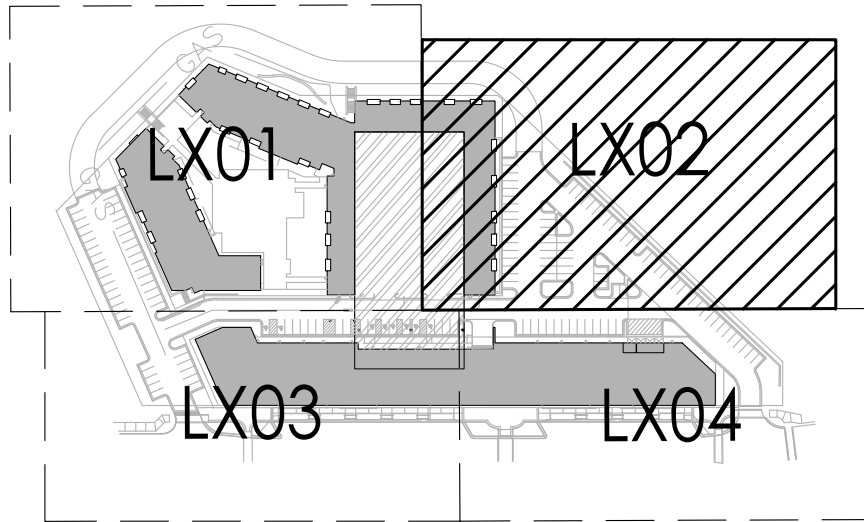
**SURFACE FINISHES AND MATERIALS LEGEND**

- |  |   |
|--|---|
|  | CONCRETE SIDEWALK AND PAVER EDGE w/<br>MEDIUM BRUSH FINISH<br>(REFER TO CIVIL DRAWINGS) |
|  | ROAD AND PARKING LOT PAVING<br>(RE: CIVIL DWGS)   |
|  | TYPE 1 - PRECAST CONCRETE PAVERS<br>(RUNNING BOND PATTERN)<br>(RE: 1/L120)              |
|  | TYPE 2 - PRECAST CONCRETE PAVERS<br>(HERRINGBONE PATTERN)<br>(RE: 1/L120)               |
|  | CONCRETE PLANTER CURB<br>(RE: CIVIL DWGS)   |

**SURFACE FINISHES AND MATERIALS NOTES**

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  - SECTION 321400 - UNIT PAVING**
  - SECTION 321316 - DECORATIVE FINISHES CONCRETE PAVING**
- REFER TO CIVIL DRAWINGS FOR DIMENSIONS AND LAYOUT OF PAVING SURFACE LIMITS. DIMENSIONS ON THIS DRAWING ARE PROVIDED FOR GENERAL ARRANGEMENT AND EXTENTS OF THE FINISHES TO BE PROVIDED.

**KEY PLAN**



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PROJECT:

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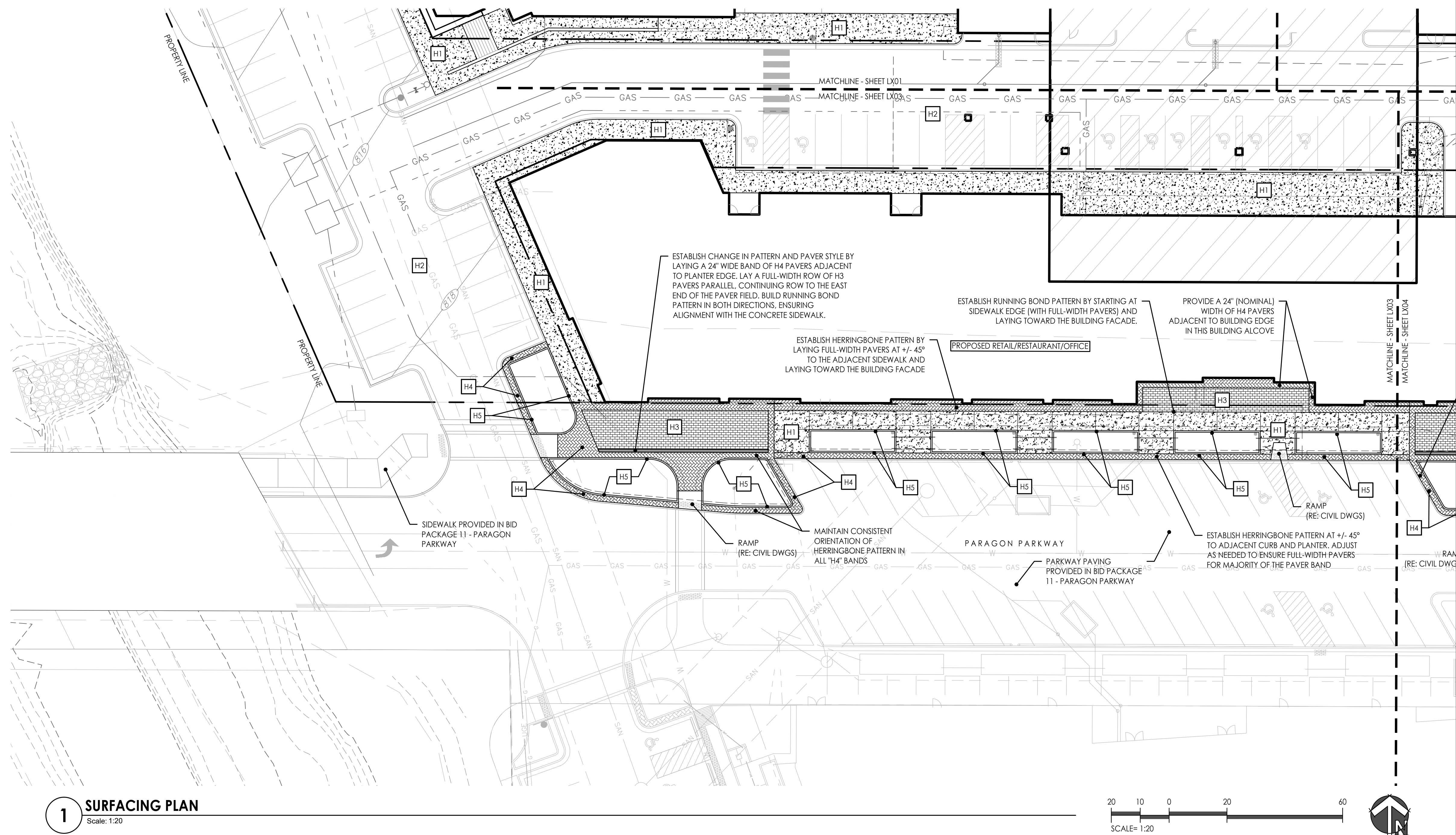
**SURFACE  
FINISHES &  
MATERIALS  
PLAN**

JOB NO: 1249 SCALE:  
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

**L102**





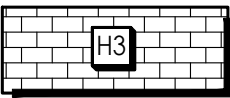
## SURFACE FINISHES AND MATERIALS LEGEND



CONCRETE SIDEWALK AND PAVER EDGE w/  
MEDIUM BRUSH FINISH  
(REFER TO CIVIL DRAWINGS)



ROAD AND PARKING LOT PAVING  
(RE: CIVIL DWGS)



TYPE 1 - PRECAST CONCRETE PAVEMENT  
(RUNNING BOND PATTERN)  
(RE: 1/L120)



TYPE 2 - PRECAST CONCRETE PAVEMENT  
(HERRINGBONE PATTERN)  
(RE: 1/L120)

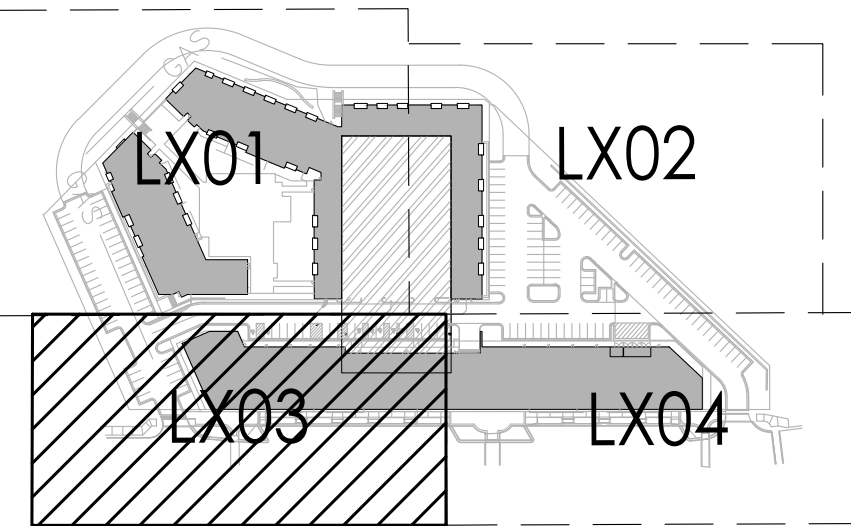


CONCRETE PLANTER CURE  
(RE: CIVIL DWGS)

## SURFACE FINISHES AND MATERIALS NOTES

1. THIS PLAN PROVIDES GENERAL LAYOUT AND TYPES OF HORIZONTAL SURFACE MATERIALS AND FINISHES TO BE PROVIDED BY THE CONTRACTOR. REFER TO THE FOLLOWING SPECIFICATION SECTIONS FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK:
  - **SECTION 321316 - DECORATIVE FINISHES CONCRETE PAVING**
  - **SECTION 321400 - UNIT PAVING**
2. REFER TO CIVIL DRAWINGS FOR DIMENSIONS AND LAYOUT OF PAVING SURFACE LIMITS. DIMENSIONS ON THIS DRAWING ARE PROVIDED FOR GENERAL ARRANGEMENT AND EXTENTS OF THE FINISHES TO BE PROVIDED.

## KEY PLAN



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PROJECT

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## SURFACE FINISHES & MATERIALS PLAN

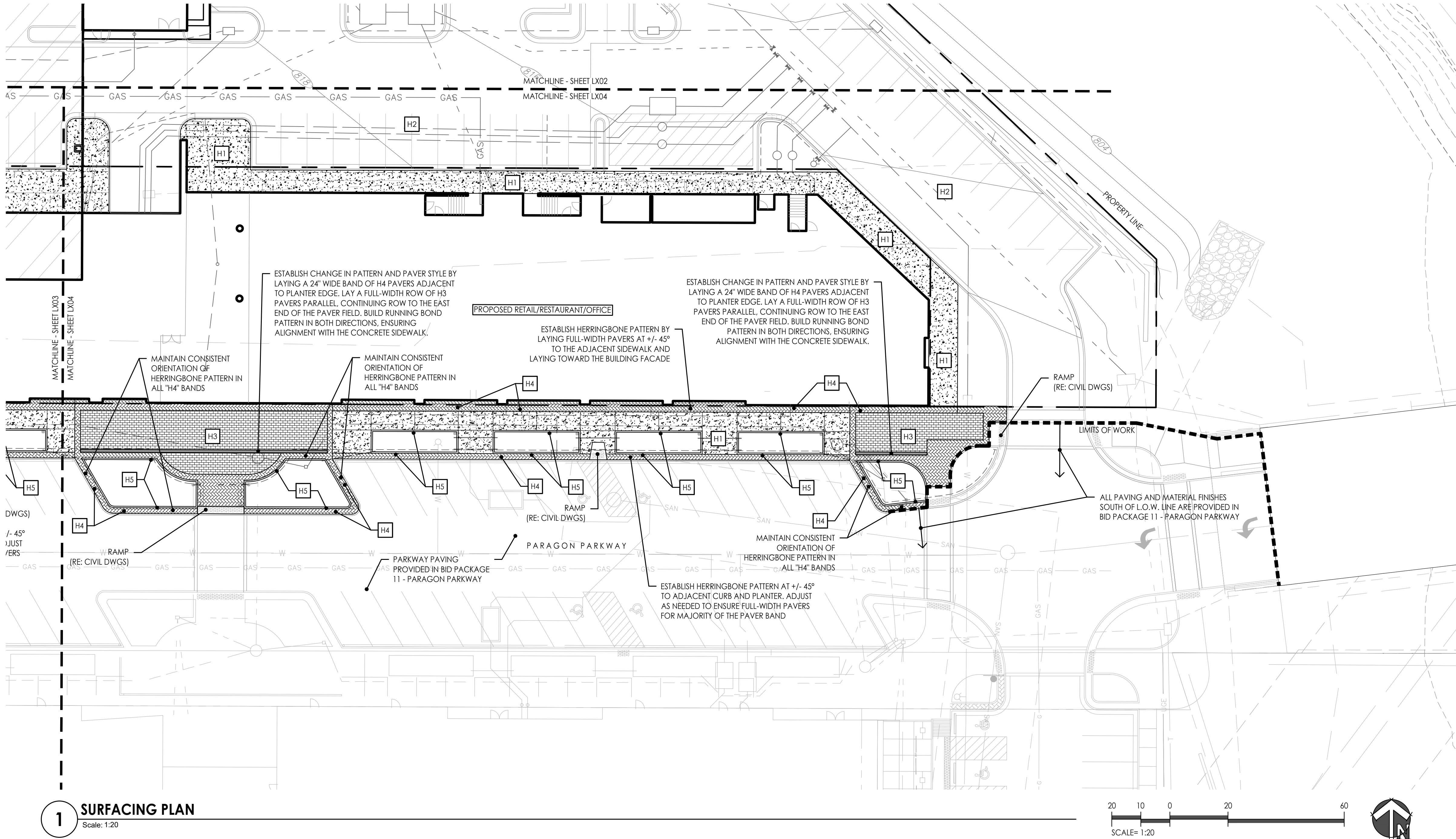
JOB NO: 1249      SCALE:  
DATE: 07.11.2022      DRAWN BY: MRK

SHEET NO.

# L103



G:\Active\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTI-FAMILY\L100 HARDSCAPE-MULTIFAM.dwg 7/11/2022 11:16:49 AM MICHAEL KILLEN 0.38491  
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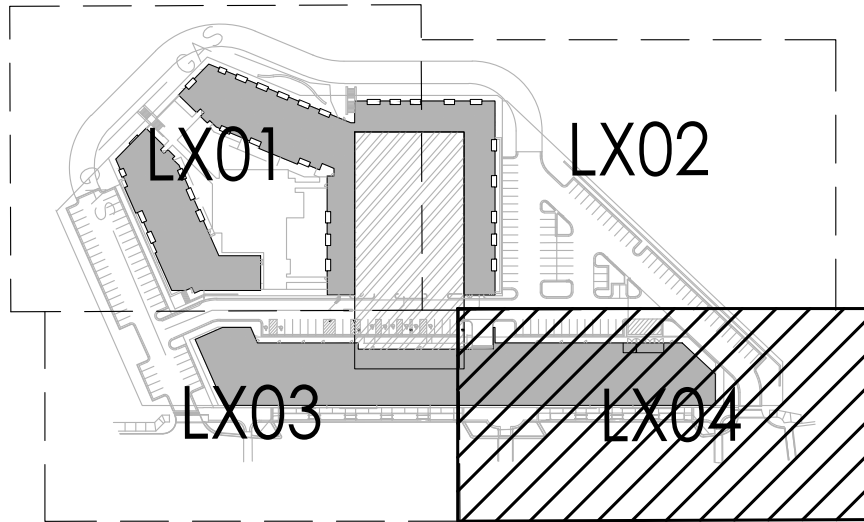
SURFACE FINISHES AND MATERIALS LEGEND

- H1** CONCRETE SIDEWALK AND PAVER EDGE w/ MEDIUM BRUSH FINISH (REFER TO CIVIL DRAWINGS)
- H2** ROAD AND PARKING LOT PAVING (RE: CIVIL DWGS)
- H3** TYPE 1 - PRECAST CONCRETE PAVERS (RUNNING BOND PATTERN) (RE: 1/L120)
- H4** TYPE 2 - PRECAST CONCRETE PAVERS (HERRINGBONE PATTERN) (RE: 1/L120)
- H5** CONCRETE PLANTER CURB (RE: CIVIL DWGS)

SURFACE FINISHES AND MATERIALS NOTES

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  - SECTION 321400 - UNIT PAVING
  - SECTION 321316 - DECORATIVE FINISHES CONCRETE PAVING
- REFER TO CIVIL DRAWINGS FOR DIMENSIONS AND LAYOUT OF PAVING SURFACE LIMITS. DIMENSIONS ON THIS DRAWING ARE PROVIDED FOR GENERAL ARRANGEMENT AND EXTENTS OF THE FINISHES TO BE PROVIDED.

KEY PLAN



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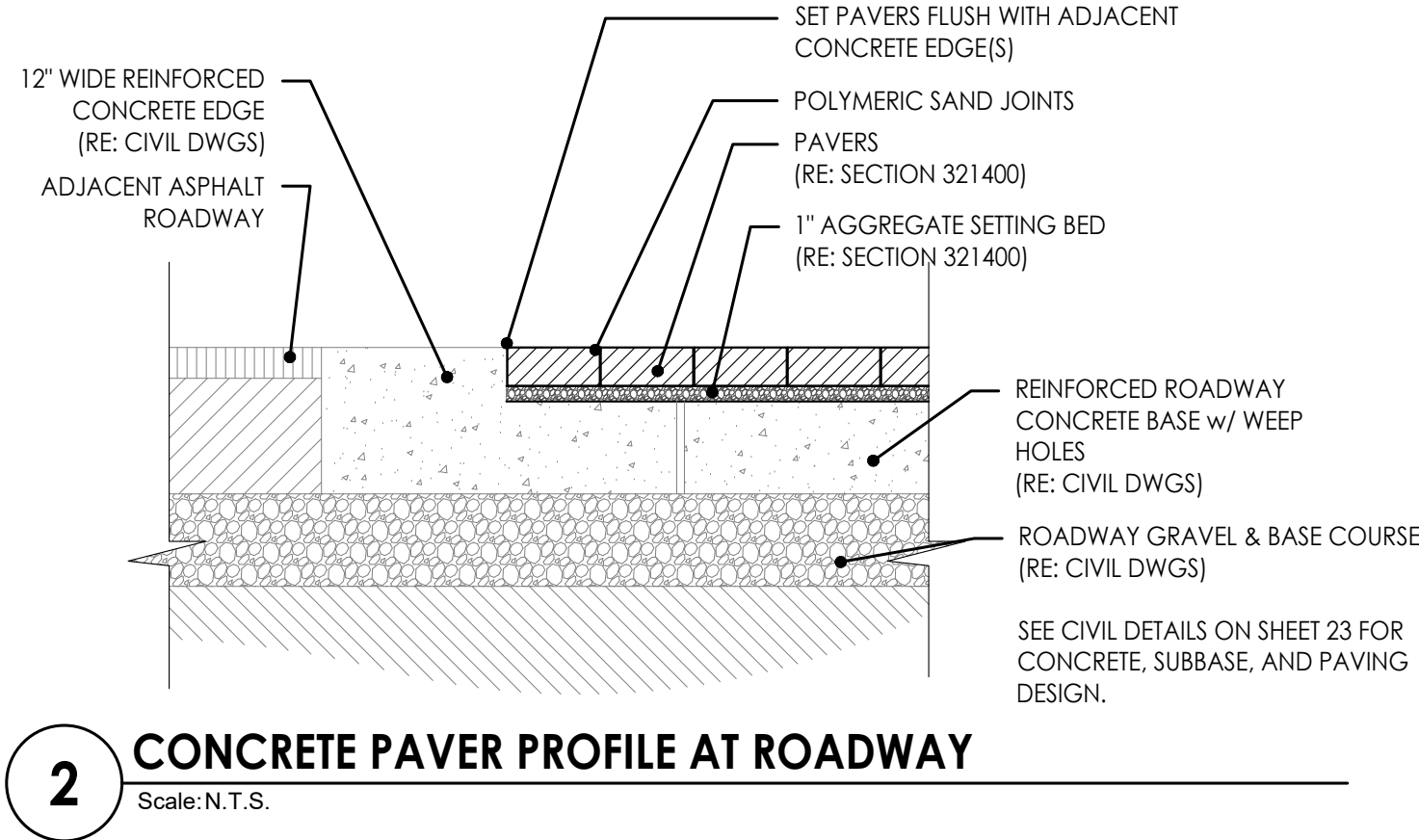
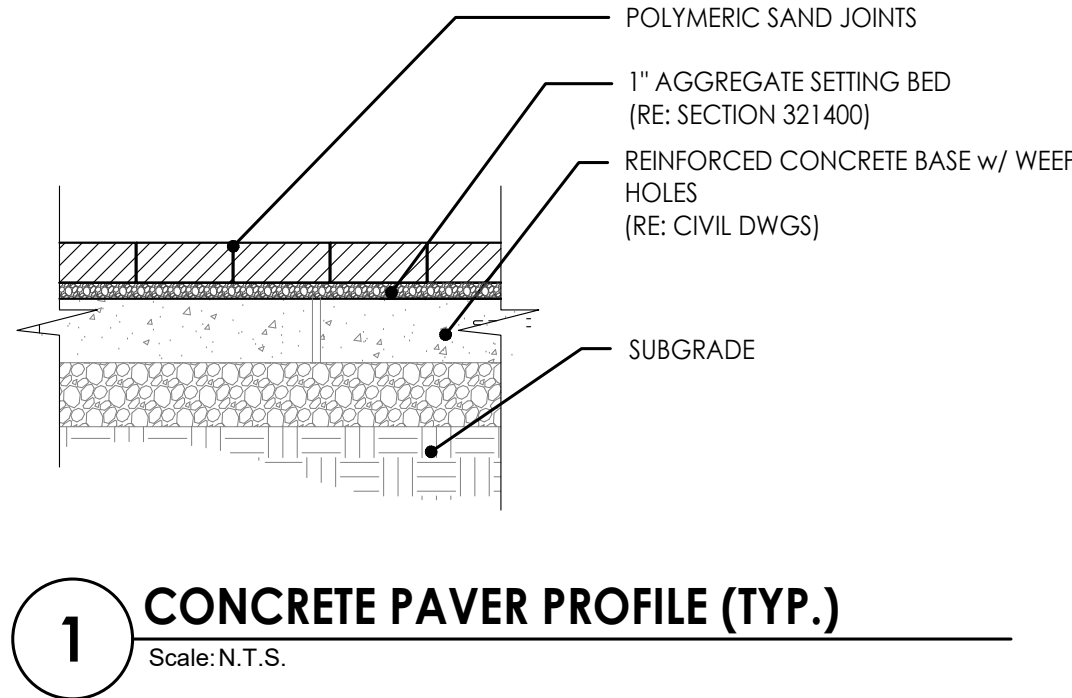
SURFACE  
FINISHES &  
MATERIALS  
PLAN

JOB NO: 1249 SCALE:  
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

L104





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HARDSCAPE  
DETAILS

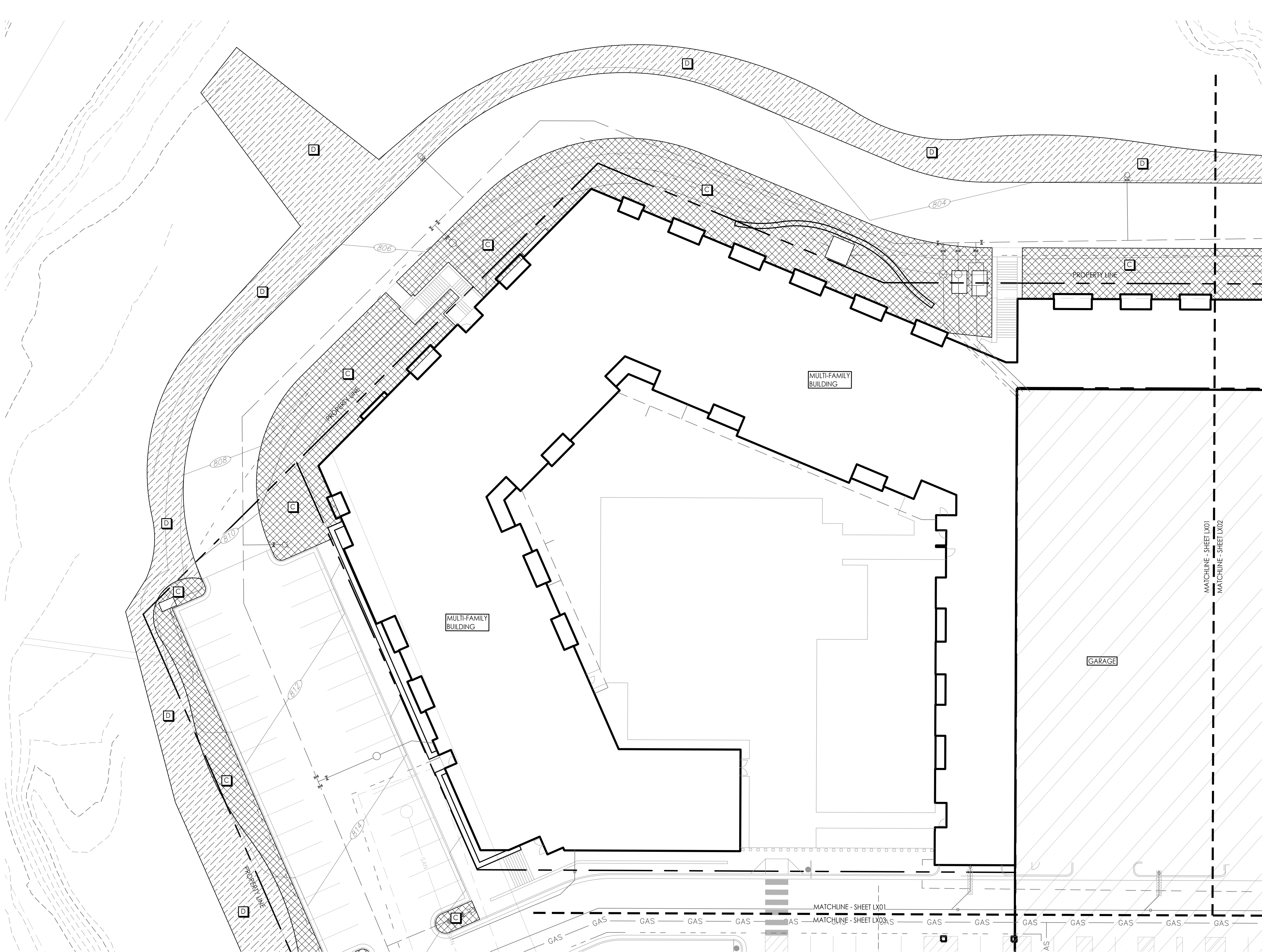
JOB NO: 1249      SCALE:  
DATE: 07.11.2022      DRAWN BY: MRK

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L120



G:\Archive\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTIFAMILY\L400 SOILS-SUBDRAIN\MULTIFAM.dwg 7/11/2022 11:17:11 AM MICHAEL KILLEN 0.38491  
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**1 SOILS & SUBDRAINAGE PLAN**  
Scale: 1:20

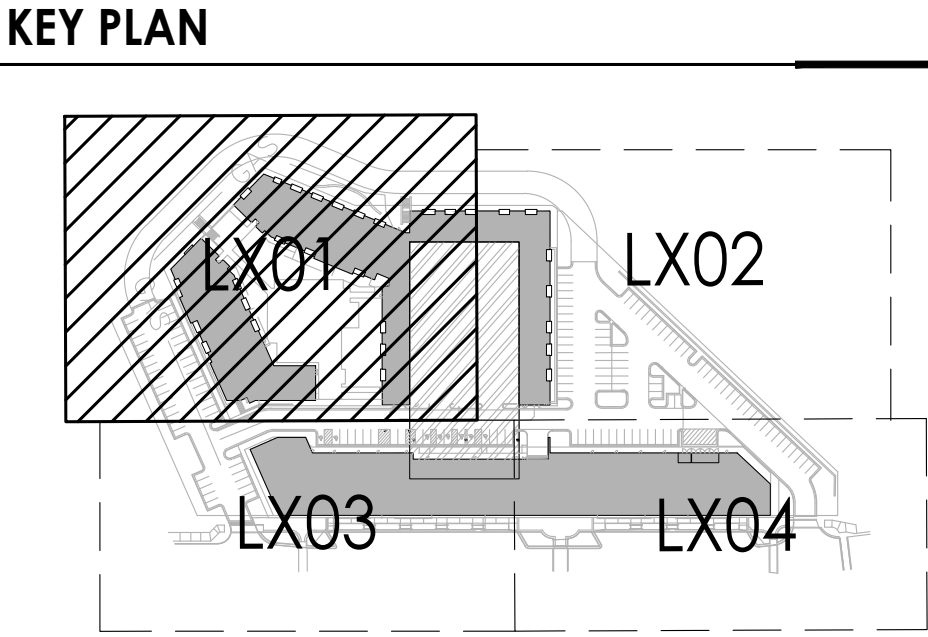


SOILS LEGEND		
SYMBOL	DESCRIPTION	NOTES
<div>A</div>	SOIL TYPE A	PLANTING SOIL MIX (48" MIN. DEPTH) OVER DRAINAGE GRAVEL (6"-12" DEPTH) AND SUBDRAINAGE LINES CONNECTED TO STORM DRAIN SYSTEM. (RE: 3/L420; SECTION 329113)
<div>B</div>	SOIL TYPE B	STRUCTURAL SOIL (48" MIN DEPTH) OVER DRAINAGE GRAVEL (6" MIN DEPTH) AND SUBDRAINAGE LINES CONNECTED TO STORM DRAIN SYSTEM. (RE: 2/L420; SECTION 329113)
<div>C</div>	SOIL TYPE C	NATIVE TOPSOIL STRIPPED FROM SITE (12" MINIMUM)
<div>D</div>	SOIL TYPE D	TOPSOIL STRIPPED FROM SITE: PLACED PER EARTHWORK SPEC.

SUBDRAINAGE LEGEND	
<div><div>DIRECTION OF PIPE FLOW</div><div>---&gt;---&gt;---&gt;</div></div>	6" PLANTING BED PERFORATED HDPE PIPE (RE: 4/L420)
<div><div>DIRECTION OF PIPE FLOW</div><div>---&gt;---&gt;---&gt;</div></div>	6" PLANTING BED SOLID HDPE PIPE (RE: 4/L420)
<div><div>CLEANOUT</div><div>○</div></div>	CLEANOUT (RE: 5 & 6/L420)

- SOILS NOTES**
- THIS PLAN ILLUSTRATES THE SCHEMATIC SCOPE OF WORK FOR THE CONSTRUCTION OF SOIL PROFILES FOR THE VILLAGE AT PARAGON STAR. REFER TO SPECIFICATION SECTION 329113 SOIL PREPARATION FOR SOIL TYPOLOGY AND PLACEMENT REQUIREMENTS.
  - CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
  - VERIFY ALL SITE CONDITIONS AND DIMENSIONS SHOWN ON THE PLAN PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS ENCOUNTERED DURING CONSTRUCTION.

- SUBDRAINAGE NOTES**
- THIS PLAN PROVIDES LAYOUT AND TYPES OF ALL LANDSCAPE SUBDRAINAGE TO BE PROVIDED & INSTALLED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 334610 - LANDSCAPE SUBDRAINAGE** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK.
  - ALL SUBDRAINAGE COLLECTOR PIPE SHALL BE INSTALLED AT A MINIMUM 0.5% SLOPE UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL RESTORE SUBGRADE TO MEET GRADING AND COMPACTION REQUIREMENTS PER DRAWINGS AND SPECIFICATIONS.
  - CONTRACTOR TO PROTECT DRAIN LINES DURING CONSTRUCTION FROM DEBRIS (INCLUDING SOIL OR GRAVEL MATERIAL OR OTHER TRASH) FROM ENTERING OR BLOCKING LINES.
  - CONTRACTOR TO AVOID TRAFFIC OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
  - CLEANOUTS AT ENDS OF SUBDRAINAGE COLLECTORS ARE TYPICAL.
  - COORDINATE DRAINAGE CONNECTION AND INVERTS WITH AS-BUILT CONDITIONS.
  - SUBDRAINAGE LOCATION, LAYOUT, AND SITE CONDITIONS TO BE VERIFIED PRIOR TO CONSTRUCTION BY THE CONTRACTOR. NOTIFY OWNERS REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS ENCOUNTERED DURING CONSTRUCTION.
  - CONTRACTOR TO COORDINATE DRAINAGE LINES WITH ALL UNDERGROUND UTILITIES.



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PROJECT:

**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

ISSUED FOR GMP

ISSUE:

PROFESSIONAL SEAL:

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DRAWING TITLE:

**SOILS & SUBDRAINAGE PLAN**

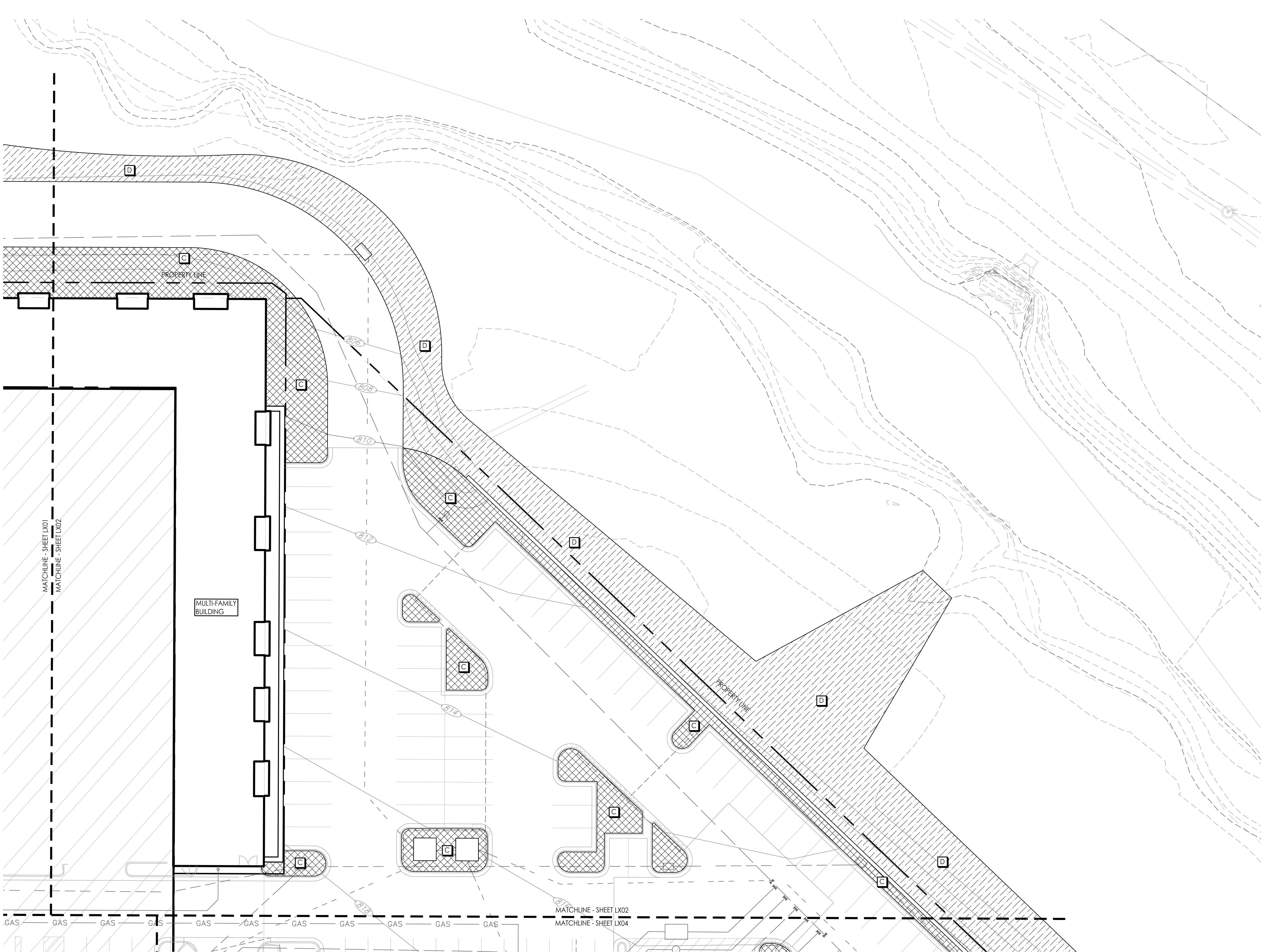
JOB NO: 1249      SCALE:  
DATE: 07.11.2022      DRAWN BY: MRK

SHEET NO:

**L401**



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**1 SOILS & SUBDRAINAGE PLAN**  
Scale: 1:20

**SOILS LEGEND**

SYMBOL	DESCRIPTION	NOTES
	SOIL TYPE A	PLANTING SOIL MIX (48" MIN. DEPTH) OVER DRAINAGE GRAVEL (6"-12" DEPTH) AND SUBDRAINAGE LINES CONNECTED TO STORM DRAIN SYSTEM. (RE: 3/L420; SECTION 329113)
	SOIL TYPE B	STRUCTURAL SOIL (48" MIN DEPTH) OVER DRAINAGE GRAVEL (6" MIN DEPTH) AND SUBDRAINAGE LINES CONNECTED TO STORM DRAIN SYSTEM. (RE: 2/L420; SECTION 329113)
	SOIL TYPE C	NATIVE TOPSOIL STRIPPED FROM SITE (12" MINIMUM)
	SOIL TYPE D	TOPSOIL STRIPPED FROM SITE: PLACED PER EARTHWORK SPEC.

**SUBDRAINAGE LEGEND**

	6" PLANTING BED PERFORATED HDPE PIPE (RE: 4/L420)
	6" PLANTING BED SOLID HDPE PIPE (RE: 4/L420)
	CLEANOUT (RE: 5 & 6/L420)

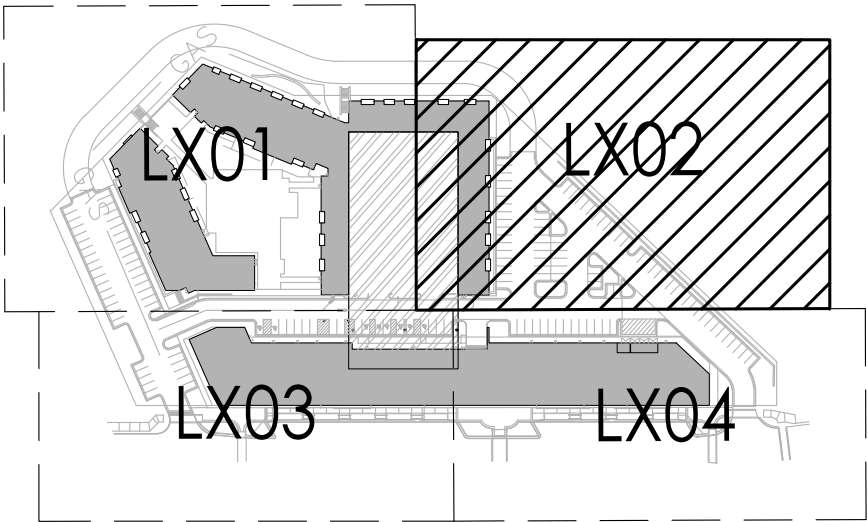
**SOILS NOTES**

- THIS PLAN ILLUSTRATES THE SCHEMATIC SCOPE OF WORK FOR THE CONSTRUCTION OF SOIL PROFILES FOR THE VILLAGE AT PARAGON STAR. REFER TO SPECIFICATION SECTION 329113 SOIL PREPARATION FOR SOIL TYPOLOGY AND PLACEMENT REQUIREMENTS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
- VERIFY ALL SITE CONDITIONS AND DIMENSIONS SHOWN ON THE PLAN PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS ENCOUNTERED DURING CONSTRUCTION.

**SUBDRAINAGE NOTES**

- THIS PLAN PROVIDES LAYOUT AND TYPES OF ALL LANDSCAPE SUBDRAINAGE TO BE PROVIDED & INSTALLED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 334610 - LANDSCAPE SUBDRAINAGE** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK.
- ALL SUBDRAINAGE COLLECTOR PIPE SHALL BE INSTALLED AT A MINIMUM 0.5% SLOPE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL RESTORE SUBGRADE TO MEET GRADING AND COMPACTION REQUIREMENTS PER DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO PROTECT DRAIN LINES DURING CONSTRUCTION FROM DEBRIS (INCLUDING SOIL OR GRAVEL MATERIAL OR OTHER TRASH) FROM ENTERING OR BLOCKING LINES.
- CONTRACTOR TO AVOID TRAFFIC OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
- CLEANOUTS AT ENDS OF SUBDRAINAGE COLLECTORS ARE TYPICAL.
- COORDINATE DRAINAGE CONNECTION AND INVERTS WITH AS-BUILT CONDITIONS.
- SUBDRAINAGE LOCATION, LAYOUT, AND SITE CONDITIONS TO BE VERIFIED PRIOR TO CONSTRUCTION BY THE CONTRACTOR. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS ENCOUNTERED DURING CONSTRUCTION.
- CONTRACTOR TO COORDINATE DRAINAGE LINES WITH ALL UNDERGROUND UTILITIES.

**KEY PLAN**



CIVIL ENGINEERING  
G&A  
9801 Renner Boulevard  
Lenexa, KS 66219  
913.492.0400  
www.gbateam.com  
MO Certificate of Authority # 000133  
  
LANDSCAPE ARCHITECTURE  
LAND3 Studio, LLC  
317 SE Main  
Lee's Summit, MO 64693  
www.land3studio.com  
MO Certificate of Authority # 2008001860  
  
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Hoerr Schaudt Landscape Architects  
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MEP ENGINEERING  
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www.finklewilliams.com  
Missouri Certificate of Authority #F00453304

PROJECT:

**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Issued for GMP

ISSUE:

PROFESSIONAL SEAL:

**NOT FOR  
CONSTRUCTION**

DRAWING TITLE:

**SOILS &  
SUBDRAINAGE  
PLAN**

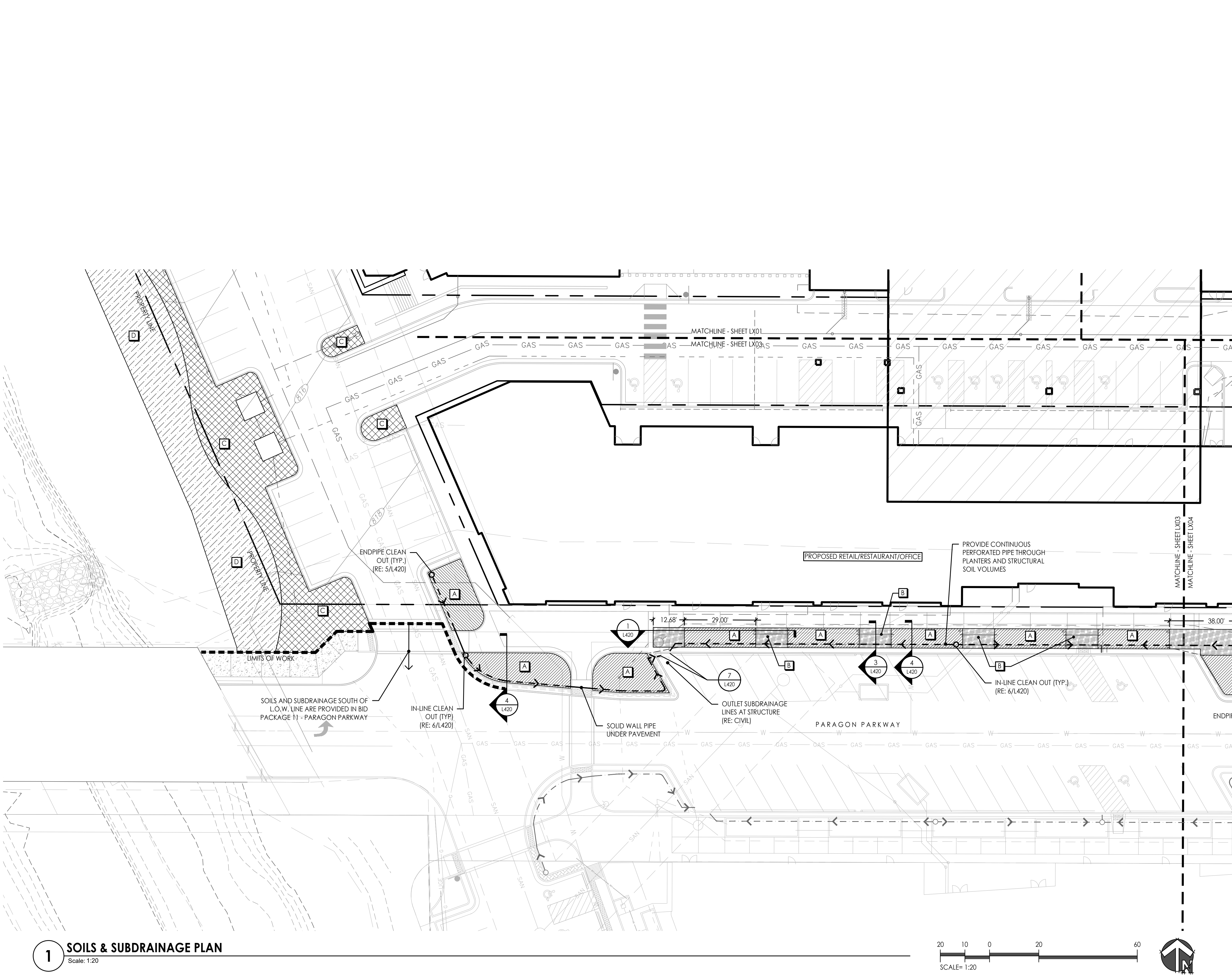
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DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

**L402**



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**1 SOILS & SUBDRAINAGE PLAN**  
Scale: 1:20

**SOILS LEGEND**

SYMBOL	DESCRIPTION	NOTES
	SOIL TYPE A	PLANTING SOIL MIX (48" MIN. DEPTH) OVER DRAINAGE GRAVEL (6"-12" DEPTH) AND SUBDRAINAGE LINES CONNECTED TO STORM DRAIN SYSTEM. (RE: 3/L420; SECTION 329113)
	SOIL TYPE B	STRUCTURAL SOIL (48" MIN DEPTH) OVER DRAINAGE GRAVEL (6" MIN DEPTH) AND SUBDRAINAGE LINES CONNECTED TO STORM DRAIN SYSTEM. (RE: 2/L420; SECTION 329113)
	SOIL TYPE C	NATIVE TOPSOIL STRIPPED FROM SITE (12" MINIMUM)
	SOIL TYPE D	TOPSOIL STRIPPED FROM SITE: PLACED PER EARTHWORK SPEC.

**SUBDRAINAGE LEGEND**

	6" PLANTING BED PERFORATED HDPE PIPE (RE: 4/L420)
	6" PLANTING BED SOLID HDPE PIPE (RE: 4/L420)
	CLEANOUT (RE: 5 & 6/L420)

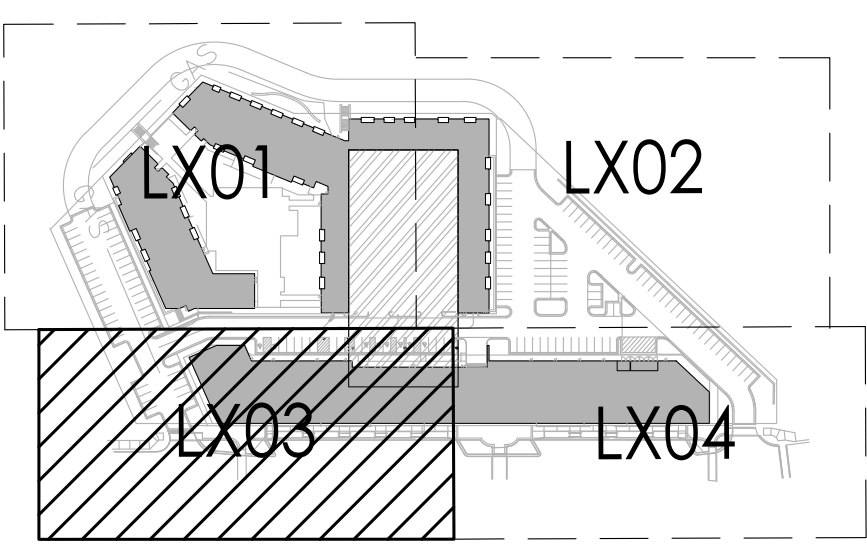
**SOILS NOTES**

- THIS PLAN ILLUSTRATES THE SCHEMATIC SCOPE OF WORK FOR THE CONSTRUCTION OF SOIL PROFILES FOR THE VILLAGE AT PARAGON STAR. REFER TO SPECIFICATION SECTION 329113 SOIL PREPARATION FOR SOIL TYPOLOGY AND PLACEMENT REQUIREMENTS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
- VERIFY ALL SITE CONDITIONS AND DIMENSIONS SHOWN ON THE PLAN PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS ENCOUNTERED DURING CONSTRUCTION.

**SUBDRAINAGE NOTES**

- THIS PLAN PROVIDES LAYOUT AND TYPES OF ALL LANDSCAPE SUBDRAINAGE TO BE PROVIDED & INSTALLED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 334610 - LANDSCAPE SUBDRAINAGE** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK.
- ALL SUBDRAINAGE COLLECTOR PIPE SHALL BE INSTALLED AT A MINIMUM 0.5% SLOPE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL RESTORE SUBGRADE TO MEET GRADING AND COMPACTION REQUIREMENTS PER DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO PROTECT DRAIN LINES DURING CONSTRUCTION FROM DEBRIS (INCLUDING SOIL OR GRAVEL MATERIAL OR OTHER TRASH) FROM ENTERING OR BLOCKING LINES.
- CONTRACTOR TO AVOID TRAFFIC OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
- CLEANOUTS AT ENDS OF SUBDRAINAGE COLLECTORS ARE TYPICAL.
- COORDINATE DRAINAGE CONNECTION AND INVERTS WITH AS-BUILT CONDITIONS.
- SUBDRAINAGE LOCATION, LAYOUT, AND SITE CONDITIONS TO BE VERIFIED PRIOR TO CONSTRUCTION BY THE CONTRACTOR. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS ENCOUNTERED DURING CONSTRUCTION.
- CONTRACTOR TO COORDINATE DRAINAGE LINES WITH ALL UNDERGROUND UTILITIES.

**KEY PLAN**



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PROJECT:

**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

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**SOILS &  
SUBDRAINAGE  
PLAN**

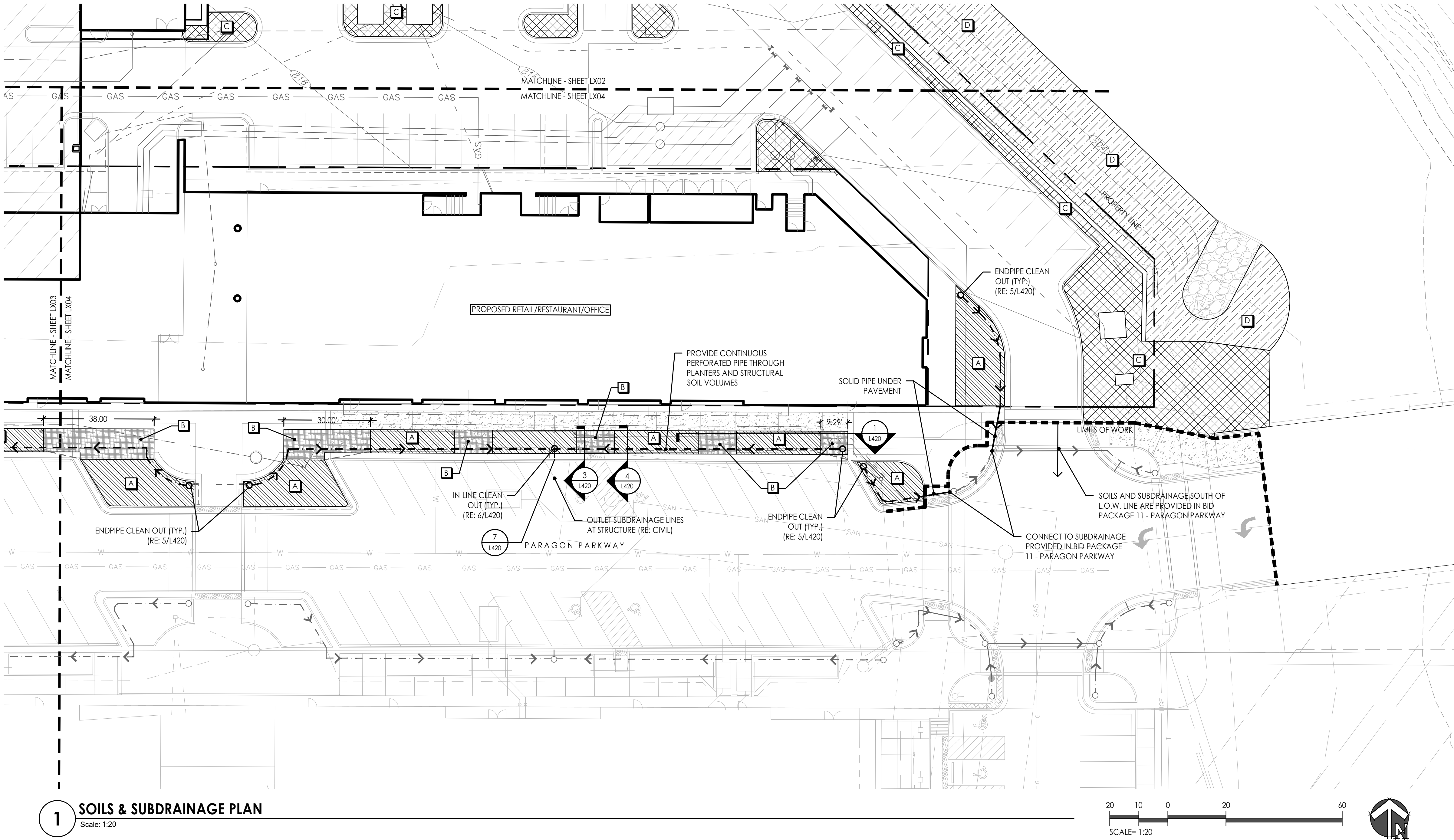
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DATE: 07.11.2022      DRAWN BY: MRK

SHEET NO:

**L403**



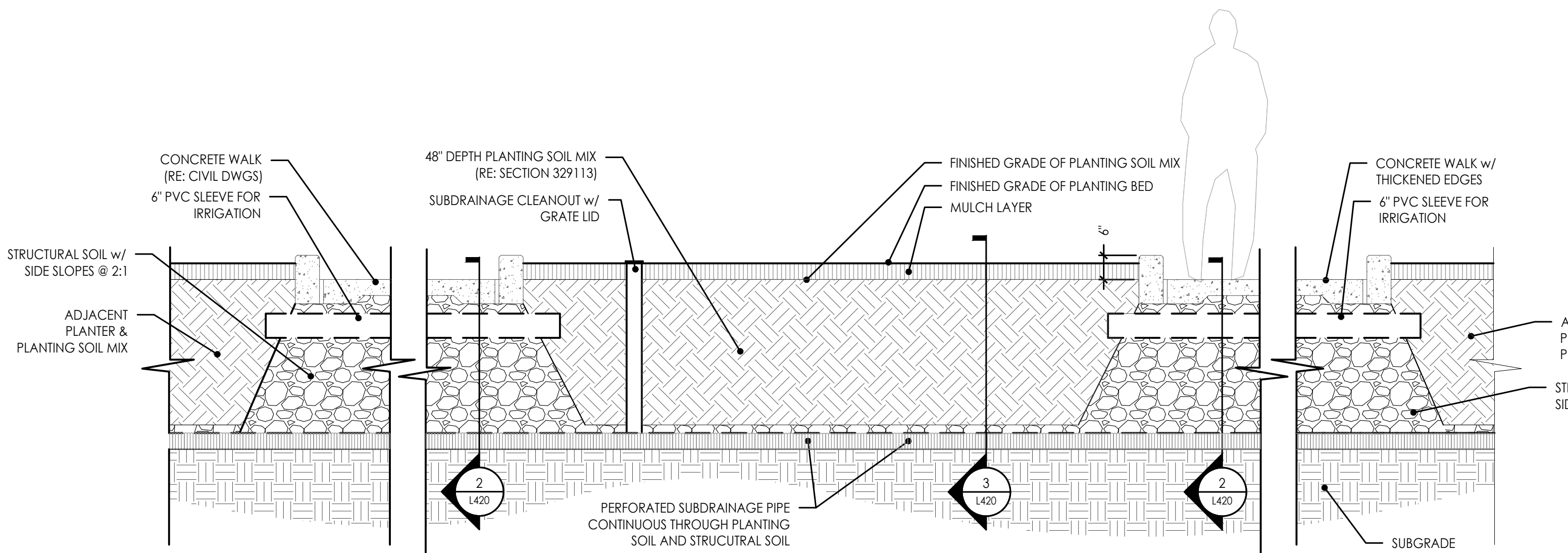
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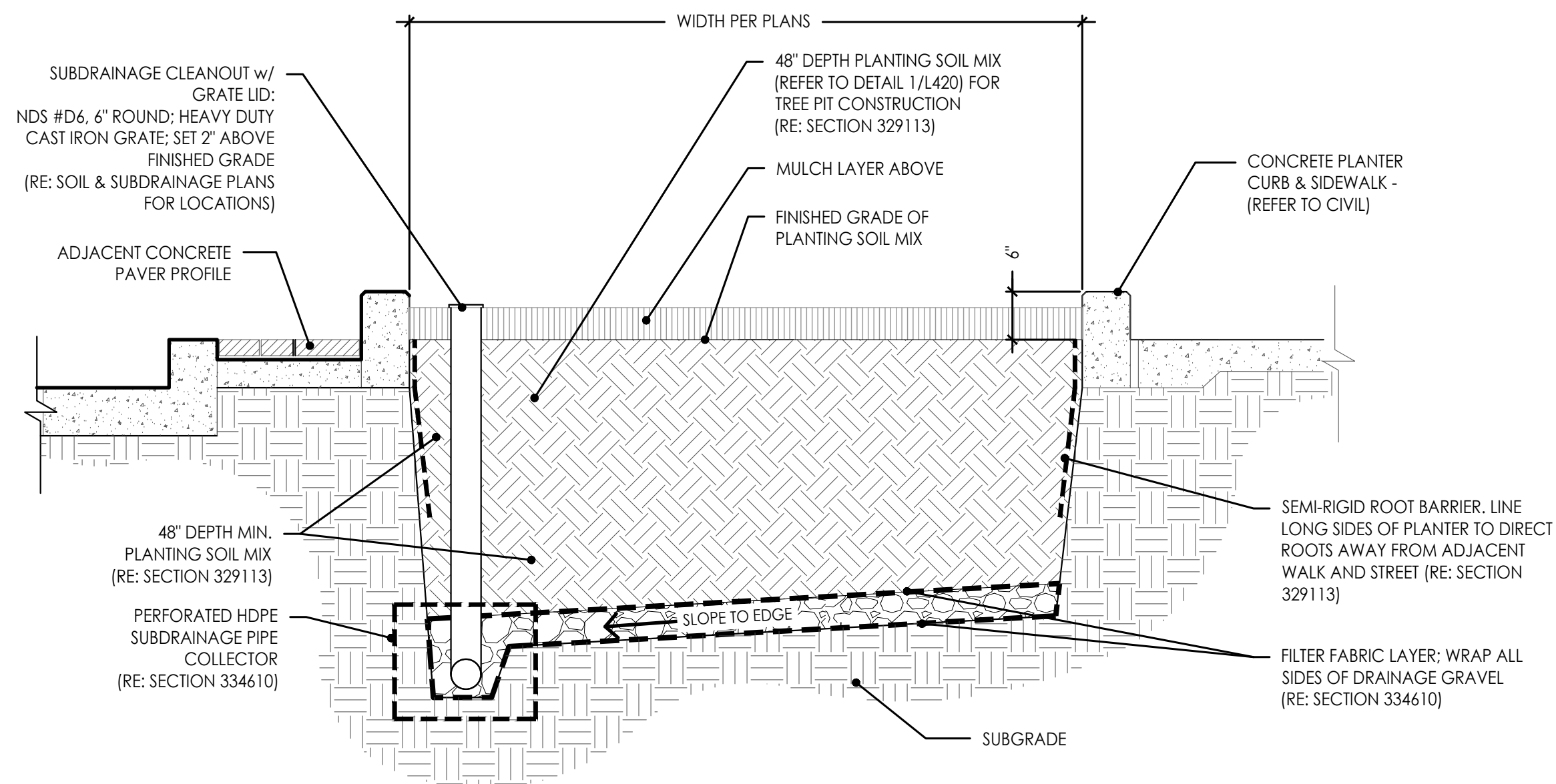


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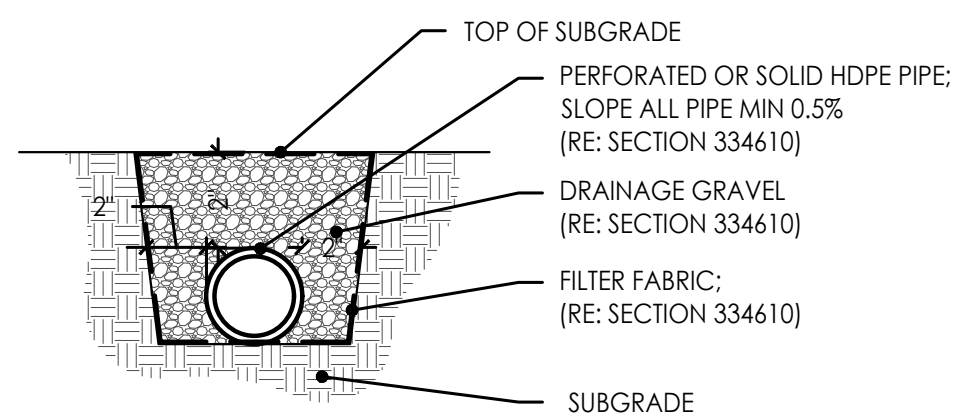
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MICHAEL KILLEN



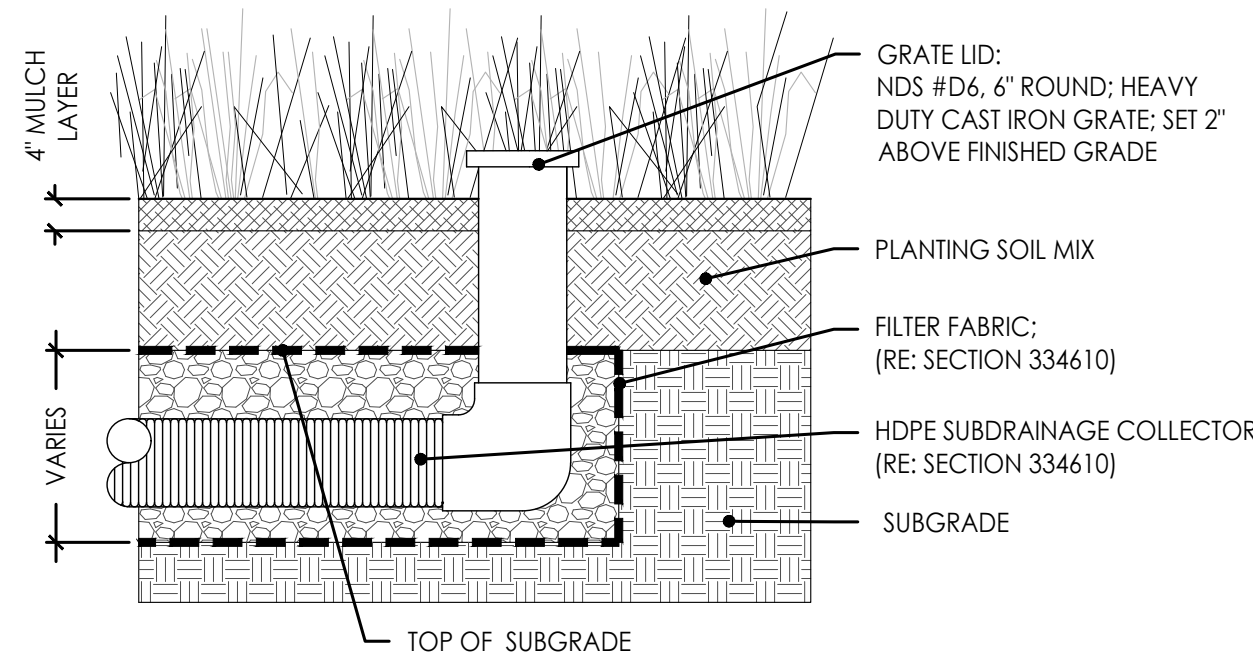
**1 PLANTING TRENCH CONSTRUCTION**  
Scale: N.T.S.



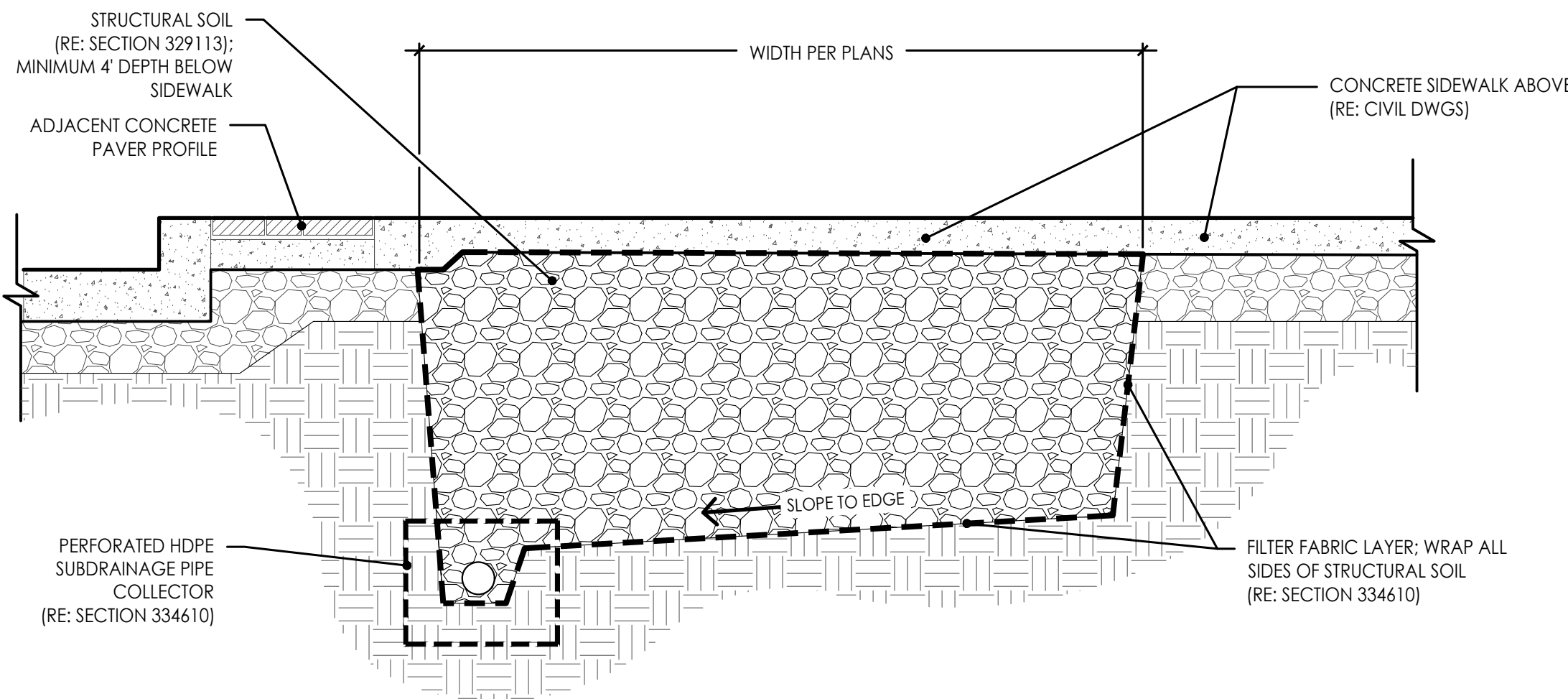
**3 TREE WELL PLANTER (TYP.)**  
Scale: N.T.S.



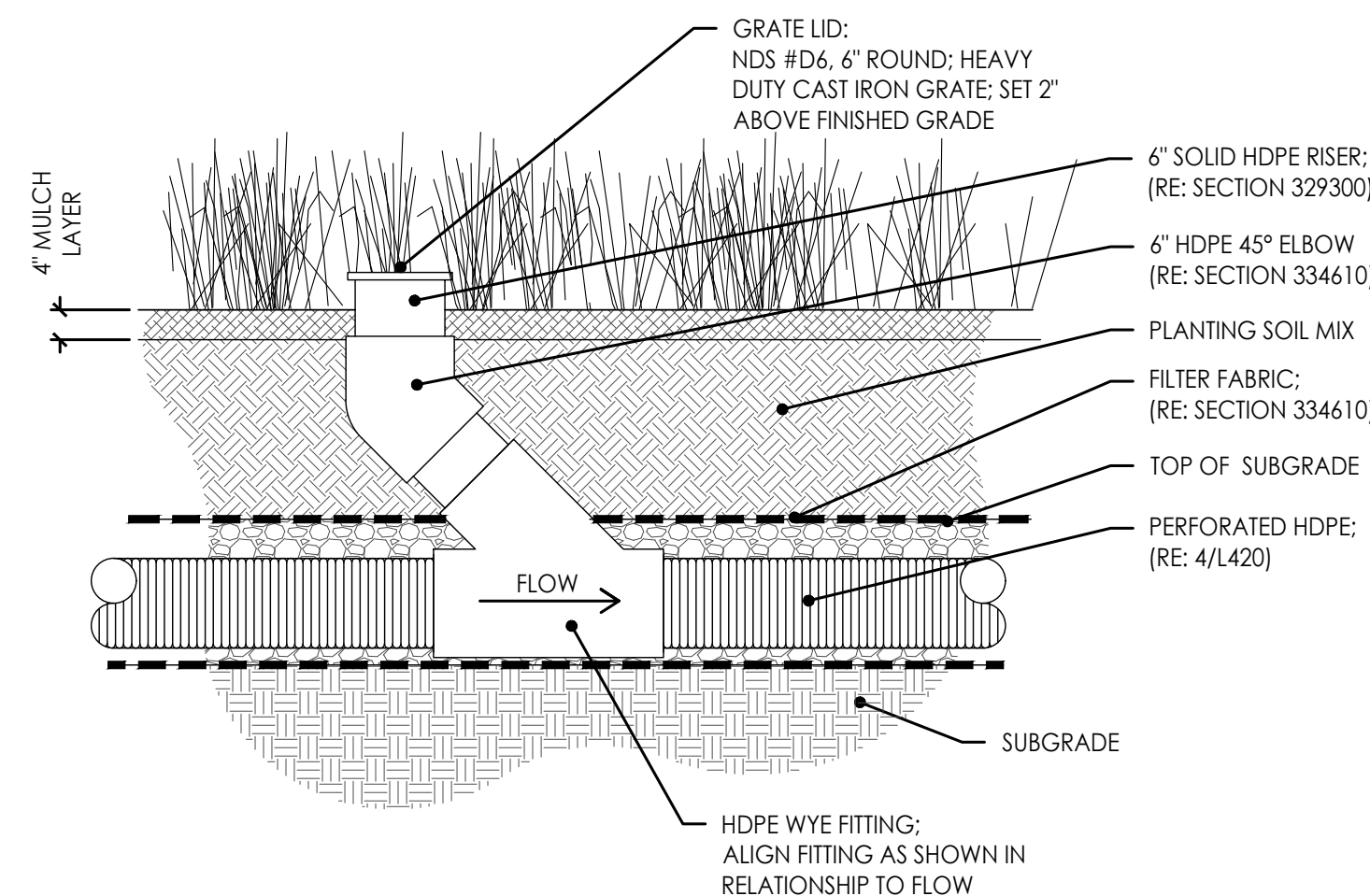
**4 PLANTING SUBDRAINAGE PIPE**  
Scale: N.T.S.



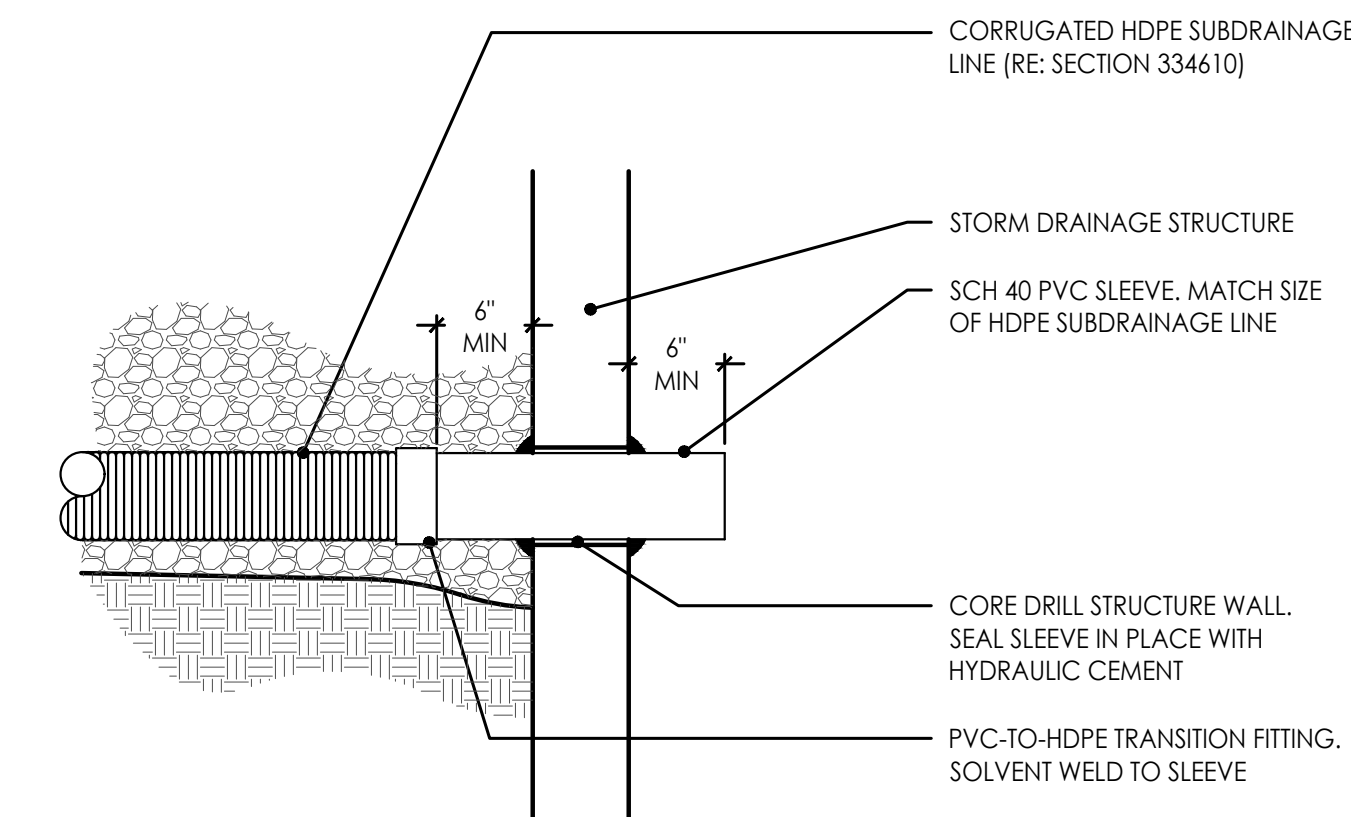
**5 PLANTING SUBDRAINAGE ENDPipe CLEANOUT**  
Scale: N.T.S.



**2 STRUCTURAL SOIL TRENCH BELOW CONCRETE SLAB**  
Scale: N.T.S.



**6 PLANTING SUBDRAINAGE INLINE CLEANOUT**  
Scale: N.T.S.



**7 SUBDRAINAGE OUTLET CONNECTION**  
Scale: N.T.S.

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LANDSCAPE ARCHITECTURE  
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PROJECT:

**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Issued for GMP

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DRAWING TITLE:

**SOILS &  
SUBDRAINAGE  
DETAILS**

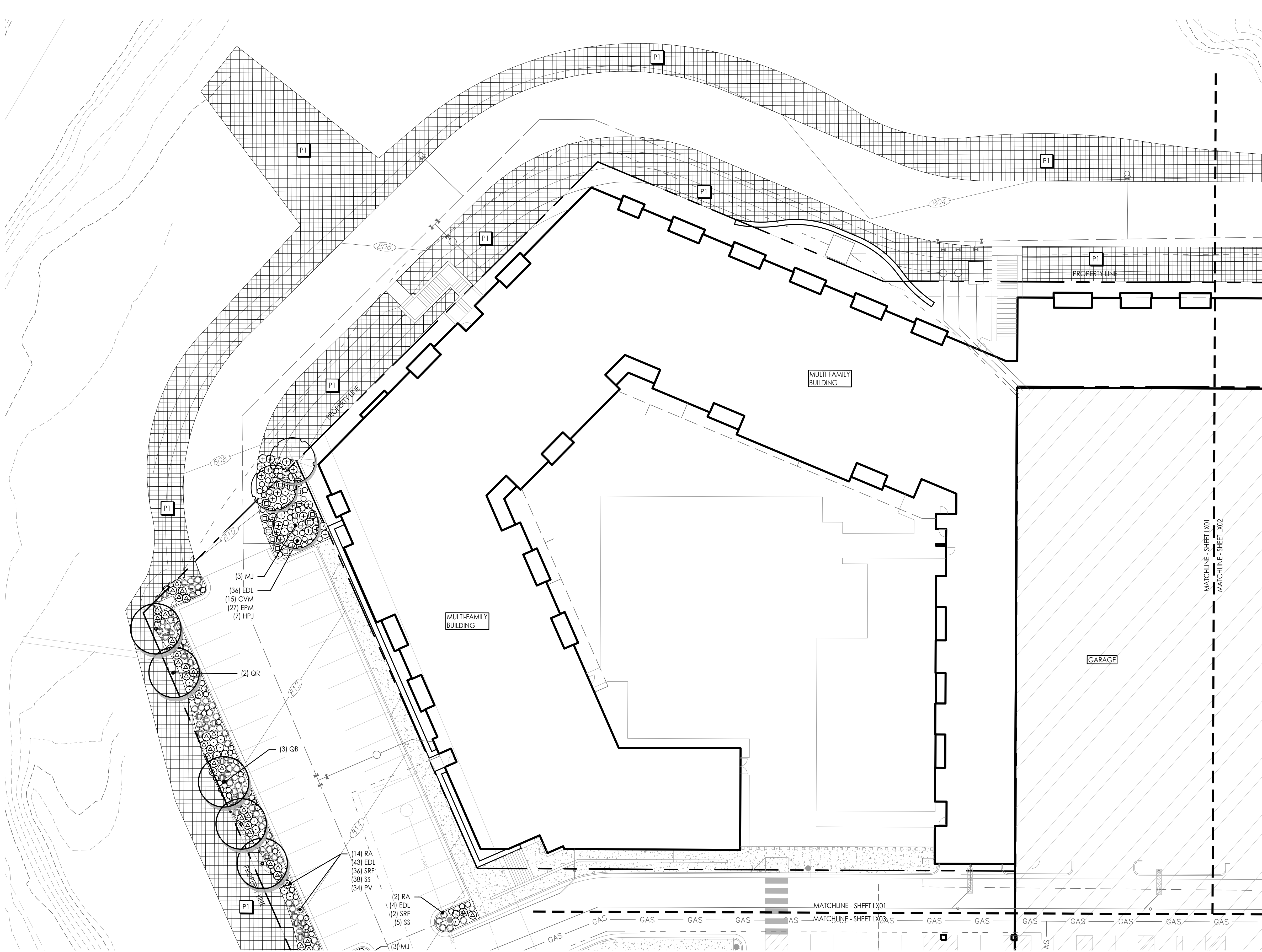
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DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

**L420**



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O.386921  
MICHAEL KILLEN  
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# 1 PLANTING PLAN

Scale: 1:20



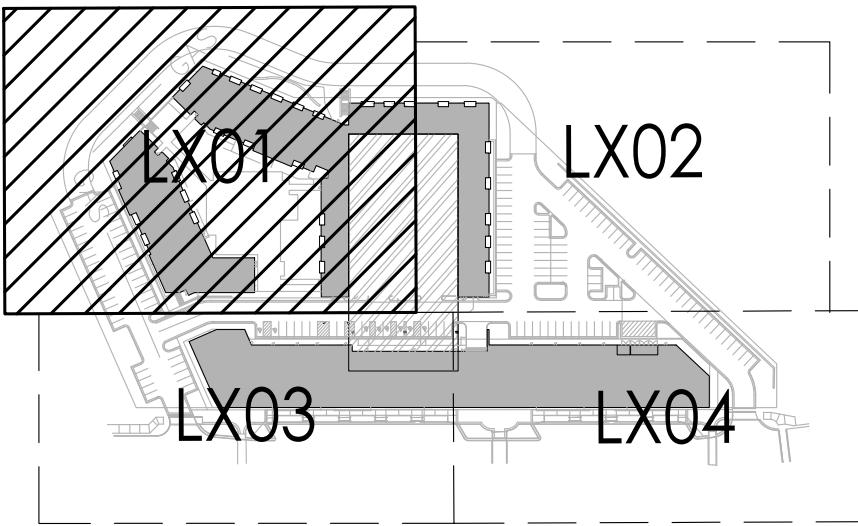
## PLANTING SCHEDULE

SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
●	SHADE/STREET TREES		
	AF	Autumn Blaze Maple <i>Acer freemanii</i> 'Autumn Blaze'	3' cal.
	QR	Northern Red Oak <i>Quercus rubra</i>	2.5" cal.
	GT	Sunburst Honeylocust <i>Gleditsia triacanthos inermis</i> 'Sunburst'	3' cal.
	QB	Swamp White Oak <i>Quercus bicolor</i>	2.5" cal.
	GB	Maidenhair Tree <i>Ginkgo biloba</i> 'Fastigiata'	2.5" cal.
●	ORNAMENTAL TREE		
	CC	Eastern Redbud <i>Cercis canadensis</i>	3' cal.
	MJ	Magnolia <i>Magnolia x 'Jane'</i>	3' cal.
	MA	Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3' cal.
	AG	Autumn Brilliance Serviceberry <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	3' cal.
	DECIDUOUS SHRUB		
●	RA	Grow-low Sumac <i>Rhus aromatica</i> 'Gro-low'	3 gal.
	HPJ	Little Lime® Hydrangea <i>Hydrangea paniculata</i> 'Jane'	5 gal.
ORNAMENTAL GRASS			
△	BC	Side Oats Grama Grass <i>Bouteloua curtipendula</i>	3 gal.
⊕	PV	Shennadoah Switchgrass <i>Panicum virgatum</i> 'Shennadoah'	1 gal.
⊕	PAH	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hameln'	1 gal.
⊕	SSC	Standing Ovation Little Bluestem <i>Schizachyrium scoparium</i> 'Standing Ovation'	1 gal.
⊕	SS	Little Bluestem <i>Schizachyrium scoparium</i>	1 gal.
⊕	SH	Prairie Dropseed <i>Sporobolus heterolepis</i>	1 gal.
PERENNIAL/GROUND COVER			
△	SRF	Rough Goldenrod <i>Solidago rugosa</i> 'Fireworks'	1 gal.
⊕	CVM	Moonbeam Coreopsis <i>Coreopsis verticillata</i> 'Moonbeam'	1 gal.
⊕	EPM	Purple Coneflower <i>Echinacea purpurea</i> 'Magnus'	1 gal.
⊕	PA	Russian Sage <i>Perovskia atriplicifolia</i>	3 gal.
⊕	EDL	Joe-pye Weed <i>Eupatorium dubium</i> 'Little-Joe'	1 gal.
TURF/SEED MIXES			
⊕	Native Prairie Seed Mix Butterfly Milkweed- Asclepias tuberosa (5%) Blue Wild Indigo- Baptisia australis (5%) New Jersey Tea- Ceanothus americanus (5%) Amethyst Vernal Witchhazel (10%) Switchgrass- Panicum virgatum (13%) Little Bluestem- Schizachyrium scoparium (30%) Indiangrass- Sorghastrum nutans (20%) Fall Aster - Symphoricarpos oblongifolium (10%)		

## PLANTING NOTES

- THIS PLAN PROVIDES LAYOUT, QUANTITY & SIZES OF ALL PLANT MATERIAL TO BE INSTALLED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 329300 - PLANTS** AND **SECTION 329200 - TURF AND GRASSES** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS & EXECUTION OF WORK.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
- LOCATIONS OF ALL PLANT MATERIALS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SEED ALL DISTURBED AREAS BACK TO ORIGINAL FINISHED GRADE ELEVATIONS, INCLUDING, EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.
- PLANTING LAYOUT IS NOT INTENDED TO BE EXACT, BUT TO ILLUSTRATE THE DESIGN INTENT AS FOLLOWS:
  - CLUSTER THE SAME TYPE OF PLANT IN GROUPS OF 2-5, ADJUSTING BASED ON OVERALL PLANT COUNTS IN THE PLANTING BED (FEWER TOTAL PLANTS WILL HAVE SMALLER GROUPINGS, MORE TOTAL PLANTS WILL HAVE LARGER GROUPINGS)
  - PLACE SHORTER (AT MATURITY) PLANTS AT THE EDGES OF PLANTERS OR WHERE CAR DOORS OR BUMPERS MAY OVERHANG.
  - PLACE TALLER (AT MATURITY) PLANTS IN THE CENTER OF PLANTERS OR THE TRANSITION EDGE TO NATIVE SEEDED AREAS.

## KEY PLAN



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PROJECT:

Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

PROFESSIONAL SEAL:

DRAWING TITLE:

PLANTING  
PLAN

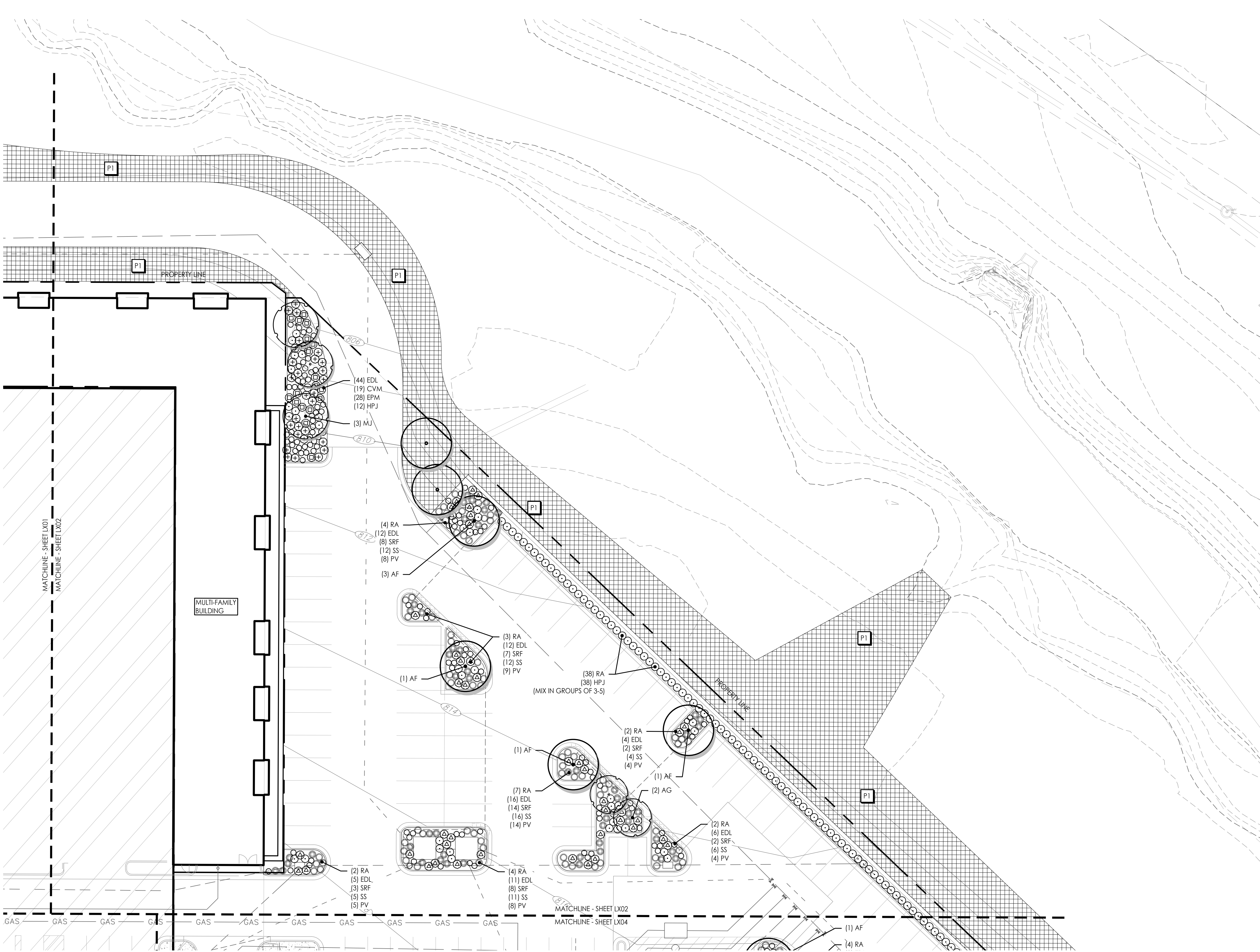
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1 PLANTING PLAN  
Scale: 1:20

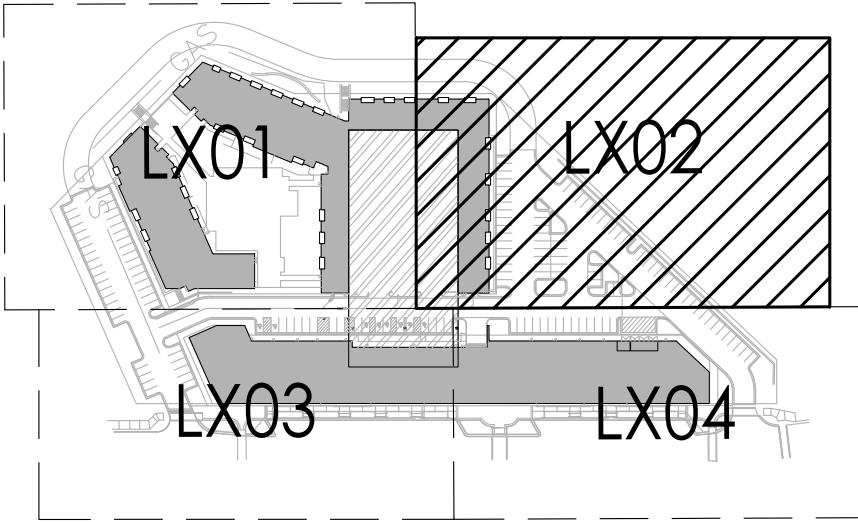
## PLANTING SCHEDULE

SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
●	SHADE/STREET TREES		
	AF	Autumn Blaze Maple <i>Acer freemanii</i> 'Autumn Blaze'	3' cal.
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	GT	Sunburst Honeylocust <i>Gleditsia triacanthos inermis</i> 'Sunburst'	3' cal.
	QB	Swamp White Oak <i>Quercus bicolor</i>	2.5" cal.
	GB	Maidenhair Tree <i>Ginkgo biloba</i> 'Fastigiata'	2.5" cal.
●	ORNAMENTAL TREE		
	CC	Eastern Redbud <i>Cercis canadensis</i>	3' cal.
	MJ	Magnolia <i>Magnolia x 'Jane'</i>	3' cal.
	MA	Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3' cal.
	AG	Autumn Brilliance Serviceberry <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	3' cal.
●	DECIDUOUS SHRUB		
	RA	Grow-low Sumac <i>Rhus aromatica</i> 'Gra-low'	3 gal.
	HPJ	Little Lime® Hydrangea <i>Hydrangea paniculata</i> 'Jane'	5 gal.
ORNAMENTAL GRASS			
△	BC	Side Oats Grama Grass <i>Bouteloua curtipendula</i>	3 gal.
⊕	PV	Shennadoah Switchgrass <i>Panicum virgatum</i> 'Shennadoah'	1 gal.
⊕	PAH	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hameln'	1 gal.
⊕	SSC	Standing Ovation Little Bluestem <i>Schizachyrium scoparium</i> 'Standing Ovation'	1 gal.
⊕	SS	Little Bluestem <i>Schizachyrium scoparium</i>	1 gal.
⊕	SH	Prairie Dropseed <i>Sporobolus heterolepis</i>	1 gal.
PERENNIAL/GROUND COVER			
△	SRF	Rough Goldenrod <i>Solidago rugosa</i> 'Fireworks'	1 gal.
⊕	CVM	Moonbeam Coreopsis <i>Coreopsis verticillata</i> 'Moonbeam'	1 gal.
⊕	EPM	Purple Coneflower <i>Echinacea purpurea</i> 'Magnus'	1 gal.
⊕	PA	Russian Sage <i>Perovskia atriplicifolia</i>	3 gal.
⊕	EDL	Joe-pye Weed <i>Eupatorium dubium</i> 'Little-Joe'	1 gal.
TURF/SEED MIXES			
P1	Native Prairie Seed Mix Butterfly Milkweed- <i>Asclepias tuberosa</i> (5%) Blue Wild Indigo- <i>Baptisia australis</i> (5%) New Jersey Tea- <i>Ceanothus americanus</i> (5%) Amethyst Vernal Witchhazel (10%) Switchgrass- <i>Panicum virgatum</i> (13%) Little Bluestem- <i>Schizachyrium scoparium</i> (30%) Indiangrass- <i>Sorghastrum nutans</i> (20%) Fall Aster - <i>Symphytrichum oblongifolium</i> (10%)		

## PLANTING NOTES

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- LOCATIONS OF ALL PLANT MATERIALS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SEED ALL DISTURBED AREAS BACK TO ORIGINAL FINISHED GRADE ELEVATIONS, INCLUDING, EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.
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  - CLUSTER THE SAME TYPE OF PLANT IN GROUPS OF 2-5. ADJUSTING BASED ON OVERALL PLANT COUNTS IN THE PLANTING BED (FEWER TOTAL PLANTS WILL HAVE SMALLER GROUPINGS, MORE TOTAL PLANTS WILL HAVE LARGER GROUPINGS)
  - PLACE SHORTER (AT MATURITY) PLANTS AT THE EDGES OF PLANTERS OR WHERE CAR DOORS OR BUMPERS MAY OVERHANG.
  - PLACE TALLER (AT MATURITY) PLANTS IN THE CENTER OF PLANTERS OR THE TRANSITION EDGE TO NATIVE SEEDED AREAS.

## KEY PLAN



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913.492.0400  
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PROJECT:

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3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

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DRAWING TITLE:

PLANTING  
PLAN

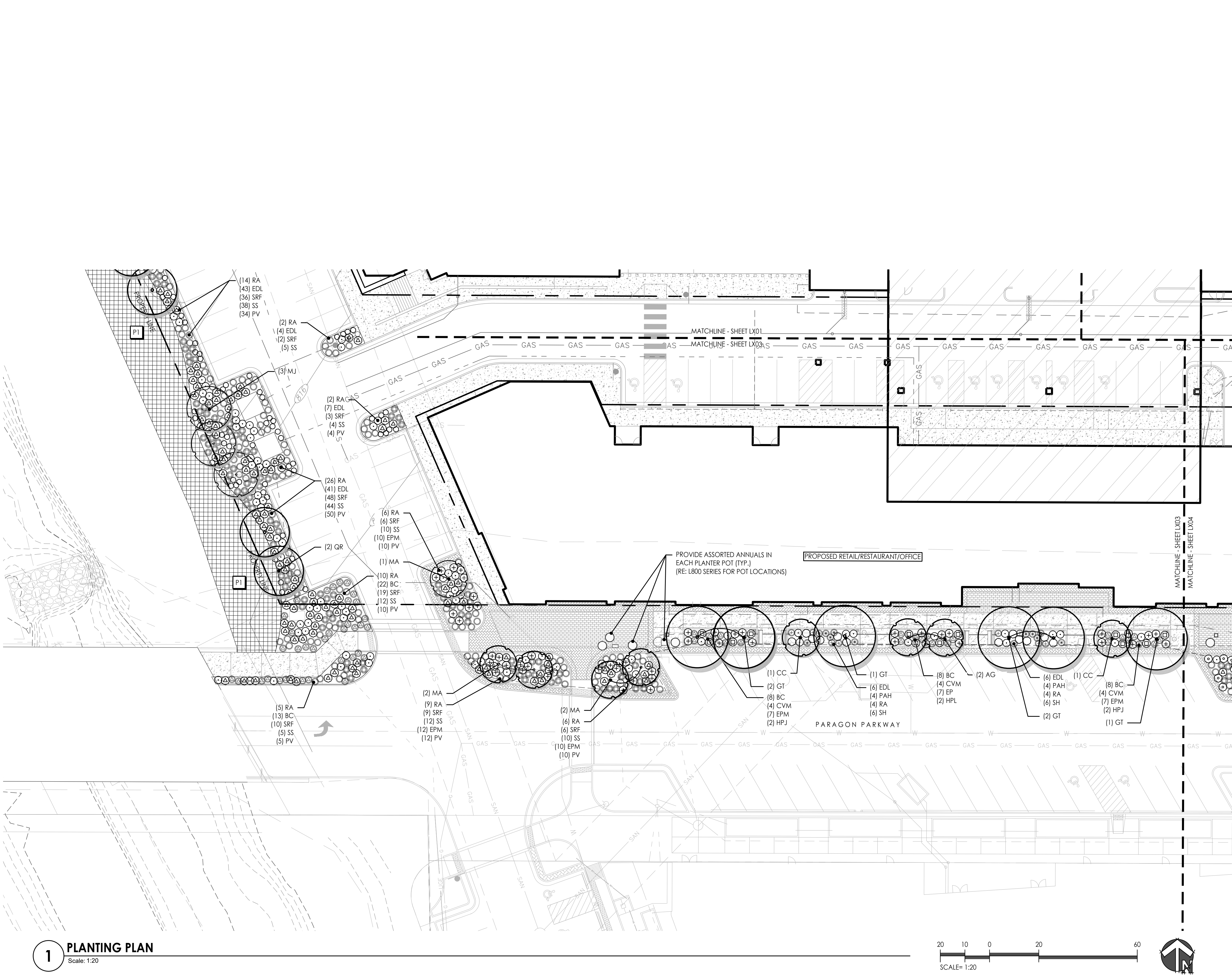
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DATE: 01.28.2022 DRAWN BY: MRK

SHEET NO:

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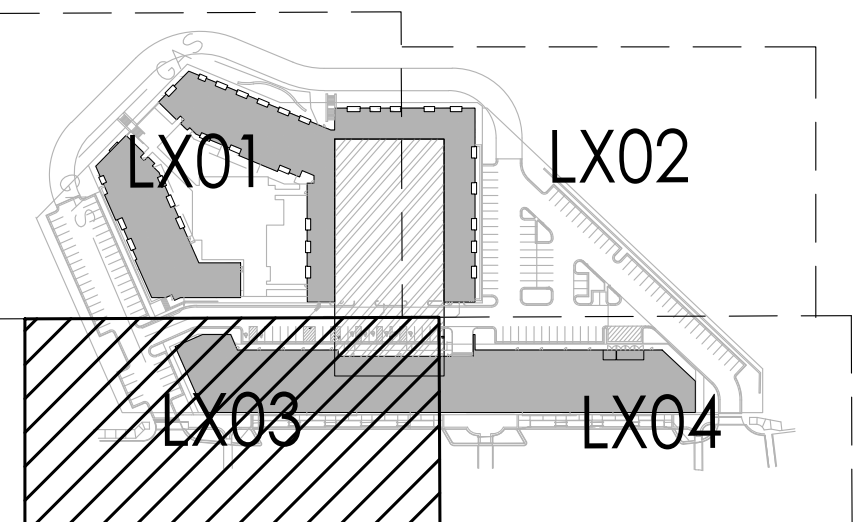
## PLANTING SCHEDULE

SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
●	SHADE/STREET TREES		
	AF	Autumn Blaze Maple <i>Acer freemanii</i> 'Autumn Blaze'	3" cal.
	QR	Northern Red Oak <i>Quercus rubra</i>	2.5" cal.
	GT	Sunburst Honeylocust <i>Gleditsia triacanthos inermis</i> 'Sunburst'	3" cal.
	QB	Swamp White Oak <i>Quercus bicolor</i>	2.5" cal.
	GB	Maidenhair Tree <i>Ginkgo biloba</i> 'Fastigiata'	2.5" cal.
●	ORNAMENTAL TREE		
	CC	Eastern Redbud <i>Cercis canadensis</i>	3" cal.
	MJ	Magnolia <i>Magnolia x 'Jane'</i>	3" cal.
	MA	Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3" cal.
	AG	Autumn Brilliance Serviceberry <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	3" cal.
●	DECIDUOUS SHRUB		
	RA	Grow-low Sumac <i>Rhus aromatica</i> 'Gro-low'	3 gal.
	HPJ	Little Lime® Hydrangea <i>Hydrangea paniculata</i> 'Jane'	5 gal.
ORNAMENTAL GRASS			
⊙	BC	Side Oats Grama Grass <i>Bouteloua curtipendula</i>	3 gal.
⊙	PV	Shennadoah Switchgrass <i>Panicum virgatum</i> 'Shennadoah'	1 gal.
⊕	PAH	Dwarf Fountain Grass <i>Fernisetum alopecuroides</i> 'Hamel'	1 gal.
⊕	SSC	Standing Ovation Little Bluestem <i>Schizachyrium scoparium</i> 'Standing Ovation'	1 gal.
⊕	SS	Little Bluestem <i>Schizachyrium scoparium</i>	1 gal.
⊕	SH	Prairie Dropseed <i>Sporobolus heterolepis</i>	1 gal.
PERENNIAL/GROUND COVER			
⊕	SRF	Rough Goldenrod <i>Solidago rugosa</i> 'Fireworks'	1 gal.
⊕	CVM	Moonbeam Coreopsis <i>Coreopsis verticillata</i> 'Moonbeam'	1 gal.
⊕	EPM	Purple Coneflower <i>Echinacea purpurea</i> 'Magnus'	1 gal.
⊕	PA	Russian Sage <i>Perovskia atriplicifolia</i>	3 gal.
⊕	EDL	Joe-pye Weed <i>Eupatorium dubium</i> 'Little-Joe'	1 gal.
TURF/SEED MIXES			
P1	Native Prairie Seed Mix Butterfly Milkweed- <i>Asclepias tuberosa</i> (5%) Blue Wild Indigo- <i>Baptisia australis</i> (5%) New Jersey Tea- <i>Ceanothus americanus</i> (5%) Amethyst Vernal Witchhazel (10%) Switchgrass- <i>Panicum virgatum</i> (13%) Little Bluestem- <i>Schizachyrium scoparium</i> (30%) Indiangrass- <i>Sorghastrum nutans</i> (20%) Fall Aster - <i>Symphoricarpos oblongifolium</i> (10%)		

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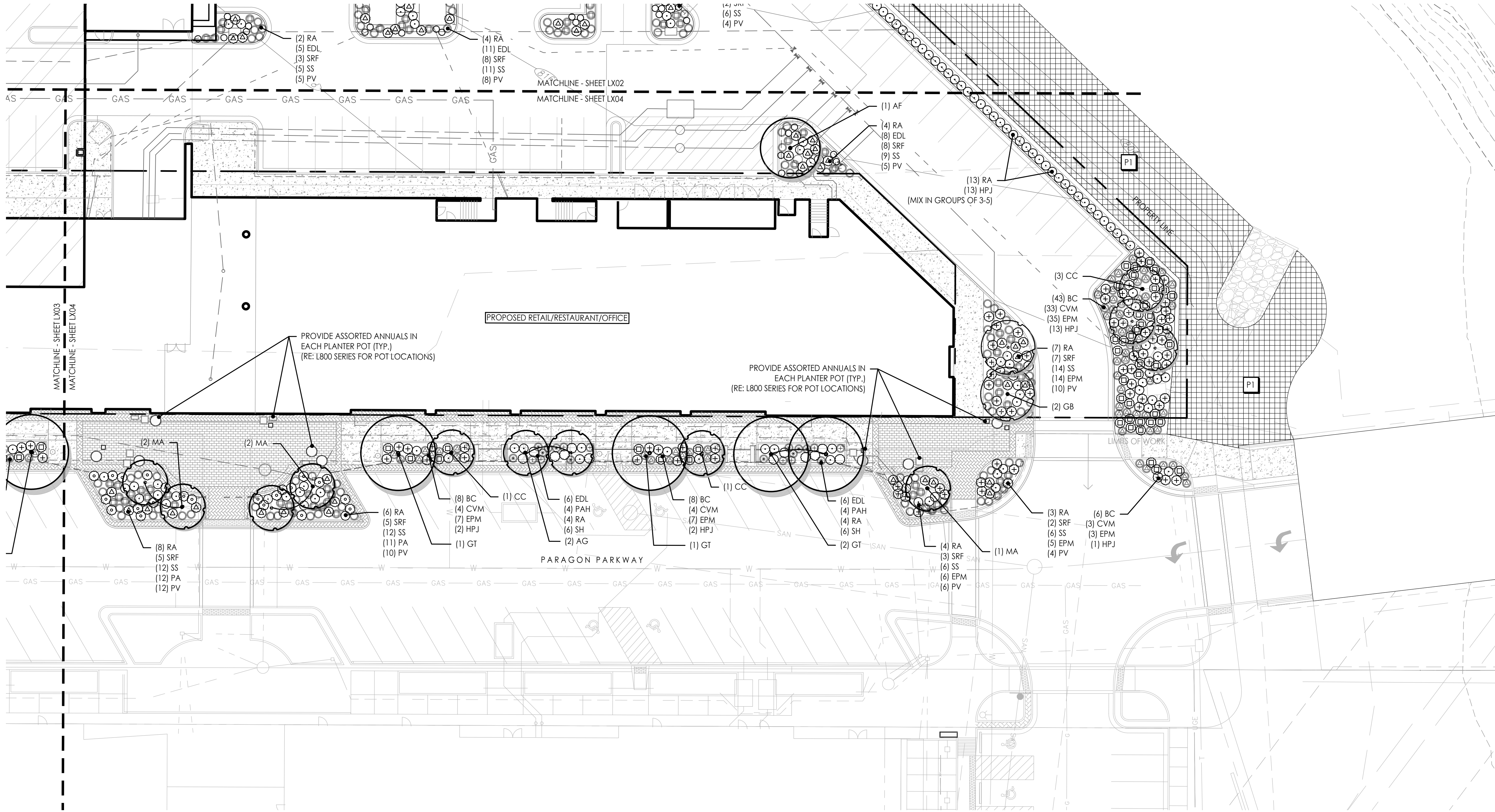
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MICHAEL KILLEN



1 PLANTING PLAN  
Scale: 1:20

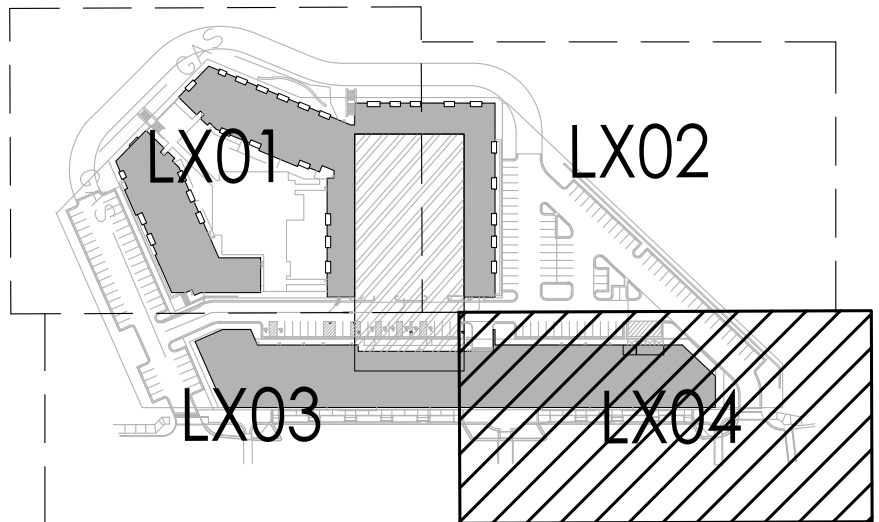
## PLANTING SCHEDULE

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	MA	Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3" cal.
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## KEY PLAN



## CIVIL ENGINEERING

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Final Development Plan

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PLANTING  
PLAN

JOB NO: 1249

SCALE:

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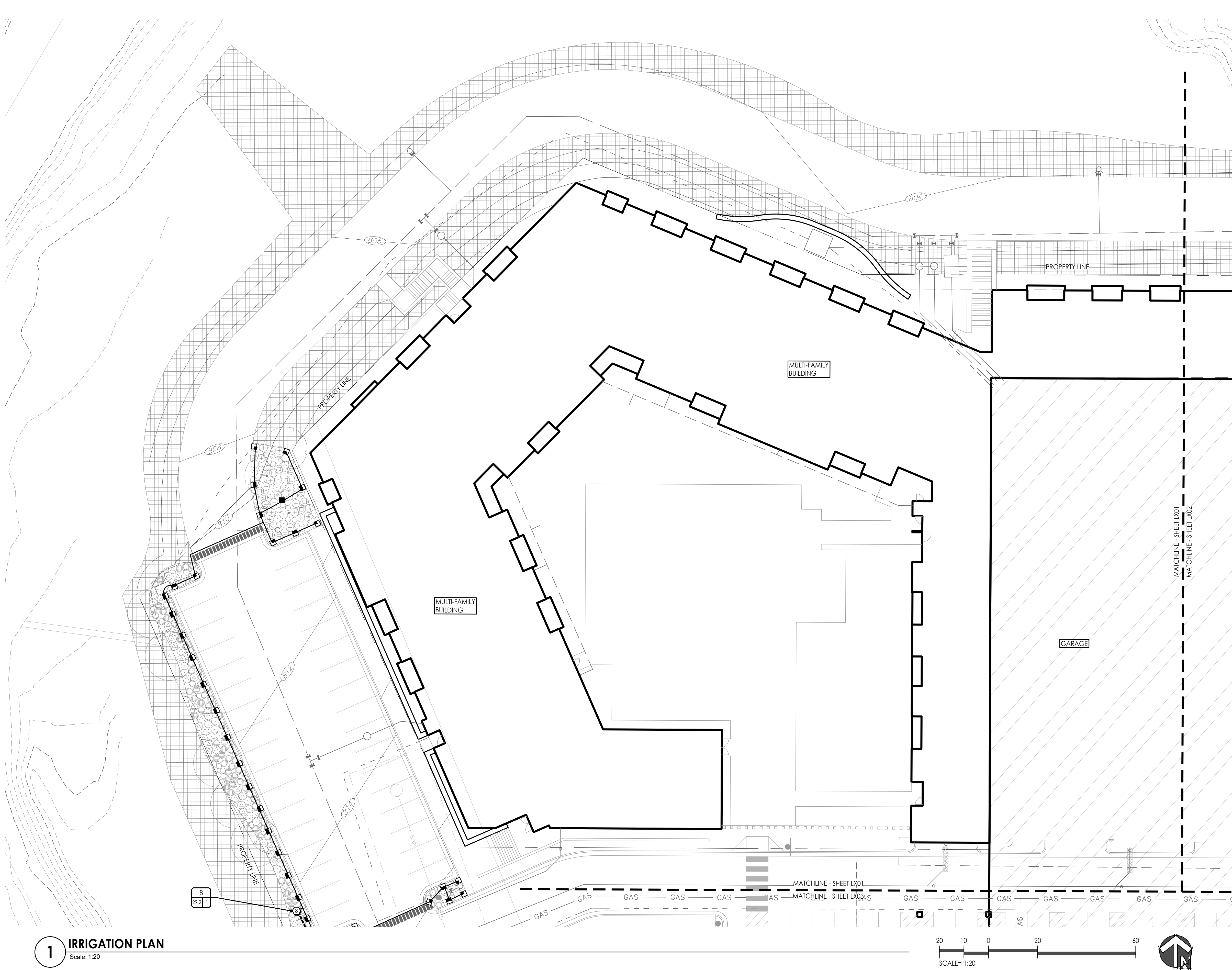
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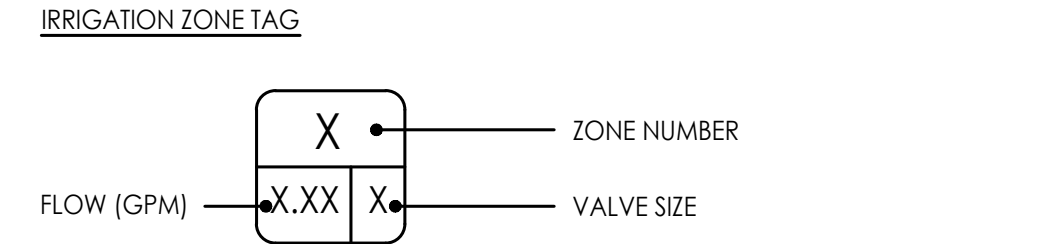
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**1 IRRIGATION PLAN**  
Scale: 1:20

IRRIGATION LEGEND		
SYMBOL	DESCRIPTION	DETAIL
	MAINLINE (SEE PLAN FOR SIZE)	RE: SPEC 328400 / RE: DETAIL 1/L720
	LATERAL LINE (1" UNLESS OTHERWISE NOTED)	RE: SPEC 328400 / RE: DETAIL 1/L720
	PVC PIPE SLEEVE (6" UNLESS OTHERWISE NOTED)	RE: DETAIL 2/L720
	REMOTE CONTROL VALVE	RE: DETAIL 6/L720
	ROOT WATERING SYSTEM	RE: DETAIL 8/L720
	ISOLATION VALVE	RE: DETAIL 3/L720
	QUICK COUPLER	RE: DETAIL 5/L720
	FULL ARC	WATER DELIVERY EQUIPMENT. REFER TO ZONE CHART FOR MODEL NUMBERS, BODY TYPE, AND NOZZLE.
	180 ARC	
	90 ARC	
	270 ARC	
	FULL STRIP	WATER DELIVERY EQUIPMENT. REFER TO ZONE CHART FOR MODEL NUMBERS, BODY TYPE, AND NOZZLE.
	HALF STRIP	

REFER TO SHEET L721 FOR COMPLETE IRRIGATION ZONE SCHEDULE

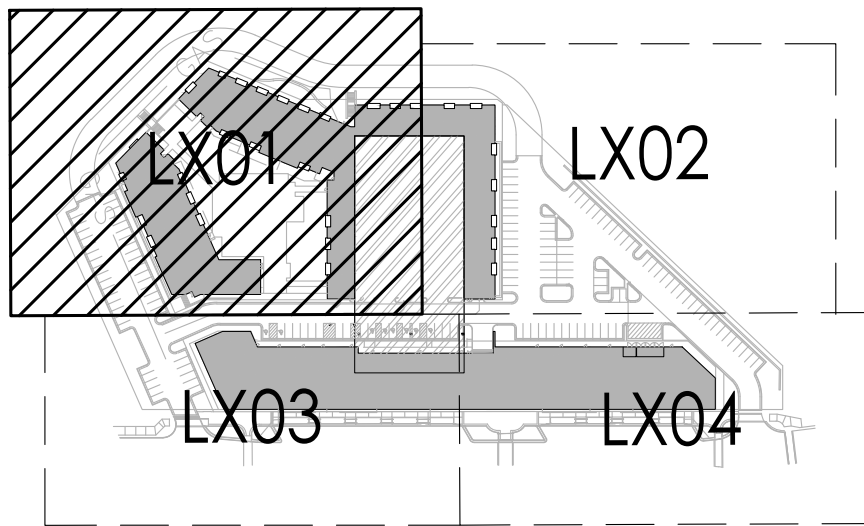


**IRRIGATION NOTES**

- THIS PLAN ILLUSTRATES THE COMPLETE AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED & INSTALLED BY THE CONTRACTOR. REFER TO **SECTION 328400 - PLANTING IRRIGATION** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK.
- THE UTILITIES SHOWN ON THE IRRIGATION DRAWINGS ARE EXISTING AND PROPOSED AT THE TIME THE DESIGN WAS COMPLETED. CIVIL DRAWINGS PROVIDE ADDITIONAL INFORMATION. VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING ANY EXCAVATION OR TRENCHING VIA MISSOURI ONE-CALL SYSTEM (811) AND BY EXCAVATING TEST PITS IF NECESSARY.
- VERIFY ALL SITE CONDITIONS AND DIMENSIONS SHOWN ON THE PLAN PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS ENCOUNTERED DURING CONSTRUCTION.
- POINT OF CONNECTION PROVIDED IN BID PACKAGE 11 - 'PUBLIC IMPROVEMENTS'. CONTRACTOR TO VERIFY STATIC AND RESIDUAL PRESSURE AND FLOW (IN GPM) AT THE CAPPED MAINLINES CONNECTION POINTS FOR THE NORTH VILLAGE WORK. SYSTEM REQUIREMENTS ARE A MINIMUM 70 GPM AT 75 PSI AT THE POINT OF CONNECTION.
- IRRIGATION DESIGNS ARE DIAGRAMMATIC; ALL PIPING, VALVES, EQUIPMENT, ETC. SHOWN IS FOR DESIGN INTENT OR GUIDELINE ONLY AND SHALL BE INSTALLED IN THE FIELD AREAS IN A MANNER TO CONFORM TO THE VARIOUS DETAILS AND APPROVED SHOP DRAWINGS AS DIRECTED.
- THE CONTROLLER AND RAIN SENSOR WILL BE LOCATED IN THE HUB BUILDING (PROVIDED IN BID PACKAGE 11).
- IRRIGATION SCOPE OF WORK INCLUDES COORDINATING EXTENSION OF CONTROL WIRE (2-WIRE) TO NORTH VILLAGE ZONES AND PROGRAMMING NORTH VILLAGE ZONES AND DECODERS TO CONTROLLER.
- 120-VOLT ELECTRICAL POWER SERVICE PROVIDED BY OTHERS; REFER TO ELECTRICAL.
- INSTALL TRACER WIRE (#14 WITH PVC JACKET) ALONG ALL MAINLINE WHERE CONTROL WIRES OR TWO-WIRE PATH IS NOT PRESENT.

**IMPORTANT:**  
WINTERIZATION WATER BLOW-OUT PROCESS WARNING — THE IRRIGATION SYSTEM IS DESIGNED TO BE COMPLETELY DRAINED BY THE USE OF AN AIR COMPRESSOR TO PROTECT PIPES FROM BURSTING PRIOR TO FREEZING TEMPERATURES.

**KEY PLAN**



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Issued for GMP

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**NOT FOR  
CONSTRUCTION**

DRAWING TITLE:

**IRRIGATION  
PLAN**

JOB NO: 1249

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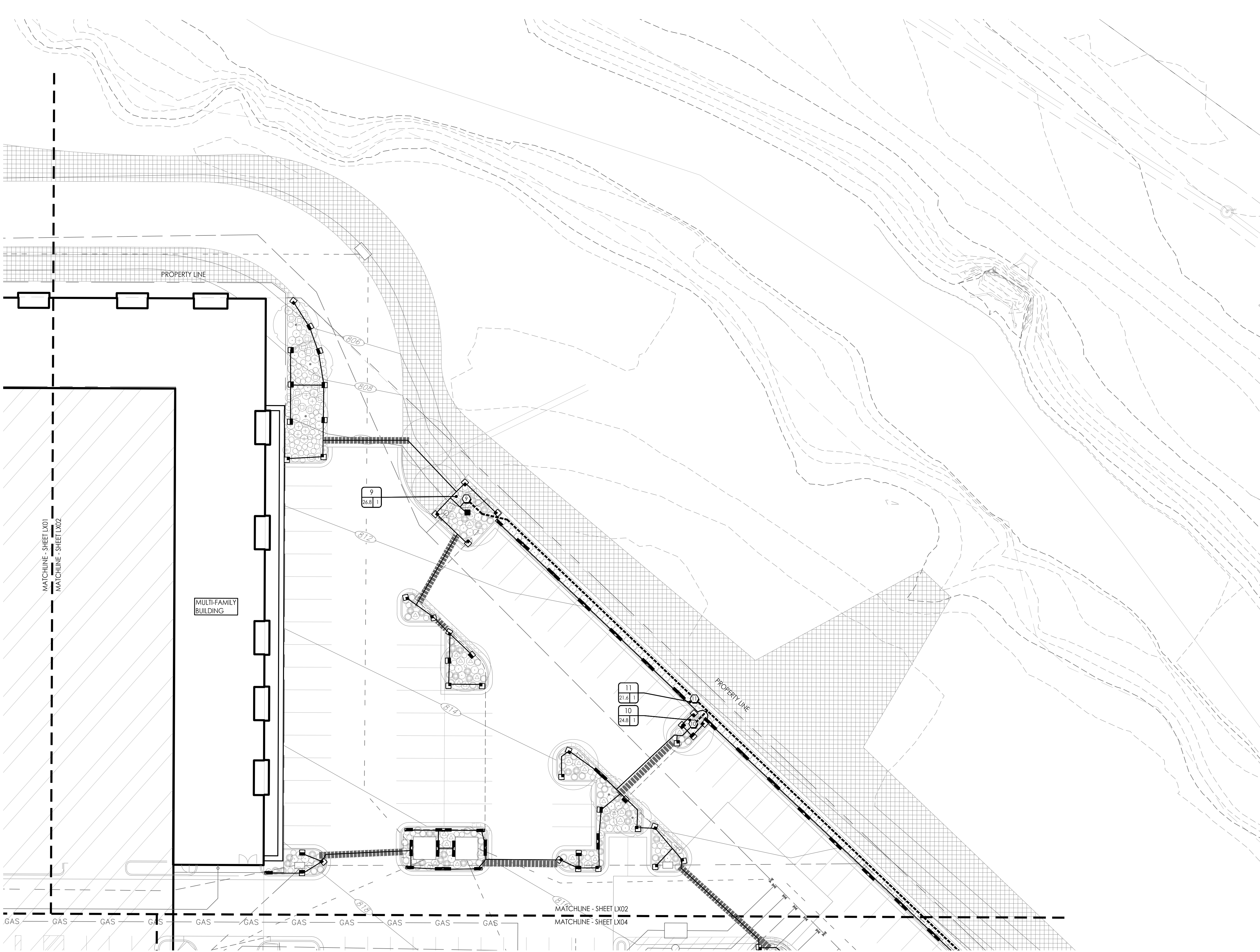
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SHEET NO:

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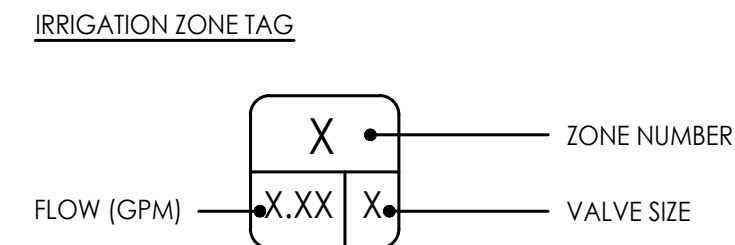
1 IRRIGATION PLAN  
Scale: 1:20



IRRIGATION LEGEND

SYMBOL	DESCRIPTION	DETAIL
	MAINLINE (SEE PLAN FOR SIZE)	RE: SPEC 328400 / RE: DETAIL 1/L720
	LATERAL LINE (1" UNLESS OTHERWISE NOTED)	RE: SPEC 328400 / RE: DETAIL 1/L720
	PVC PIPE SLEEVE (6" UNLESS OTHERWISE NOTED)	RE: DETAIL 2/L720
	REMOTE CONTROL VALVE	RE: DETAIL 6/L720
	ROOT WATERING SYSTEM	RE: DETAIL 8/L720
	ISOLATION VALVE	RE: DETAIL 3/L720
	QUICK COUPLER	RE: DETAIL 5/L720
   	FULL ARC 180 ARC 90 ARC 270 ARC	WATER DELIVERY EQUIPMENT. REFER TO ZONE CHART FOR MODEL NUMBERS, BODY TYPE, AND NOZZLE.
 	FULL STRIP HALF STRIP	WATER DELIVERY EQUIPMENT. REFER TO ZONE CHART FOR MODEL NUMBERS, BODY TYPE, AND NOZZLE.

REFER TO SHEET L721 FOR COMPLETE IRRIGATION ZONE SCHEDULE

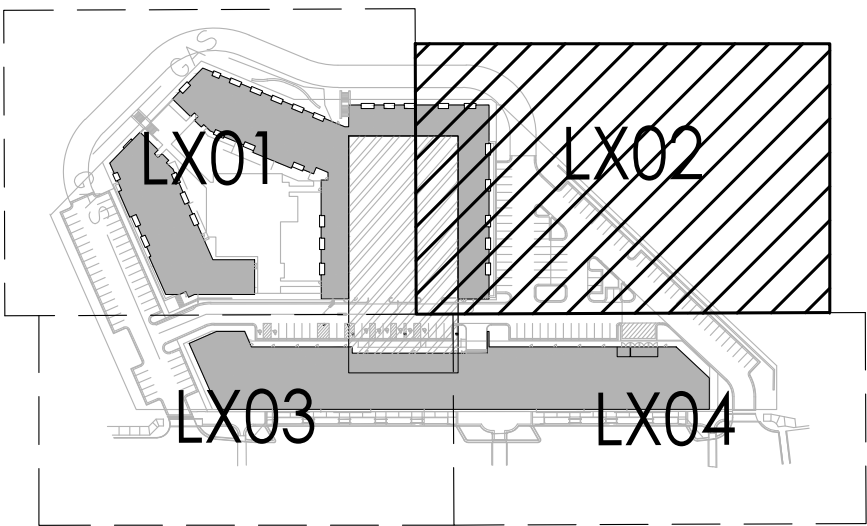


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KEY PLAN



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PROJECT:

Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Issued for GMP

ISSUE:

PROFESSIONAL SEAL:

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CONSTRUCTION

DRAWING TITLE:

IRRIGATION  
PLAN

JOB NO: 1249

SCALE:

DATE: 07.11.2022

DRAWN BY: MRK

SHEET NO:

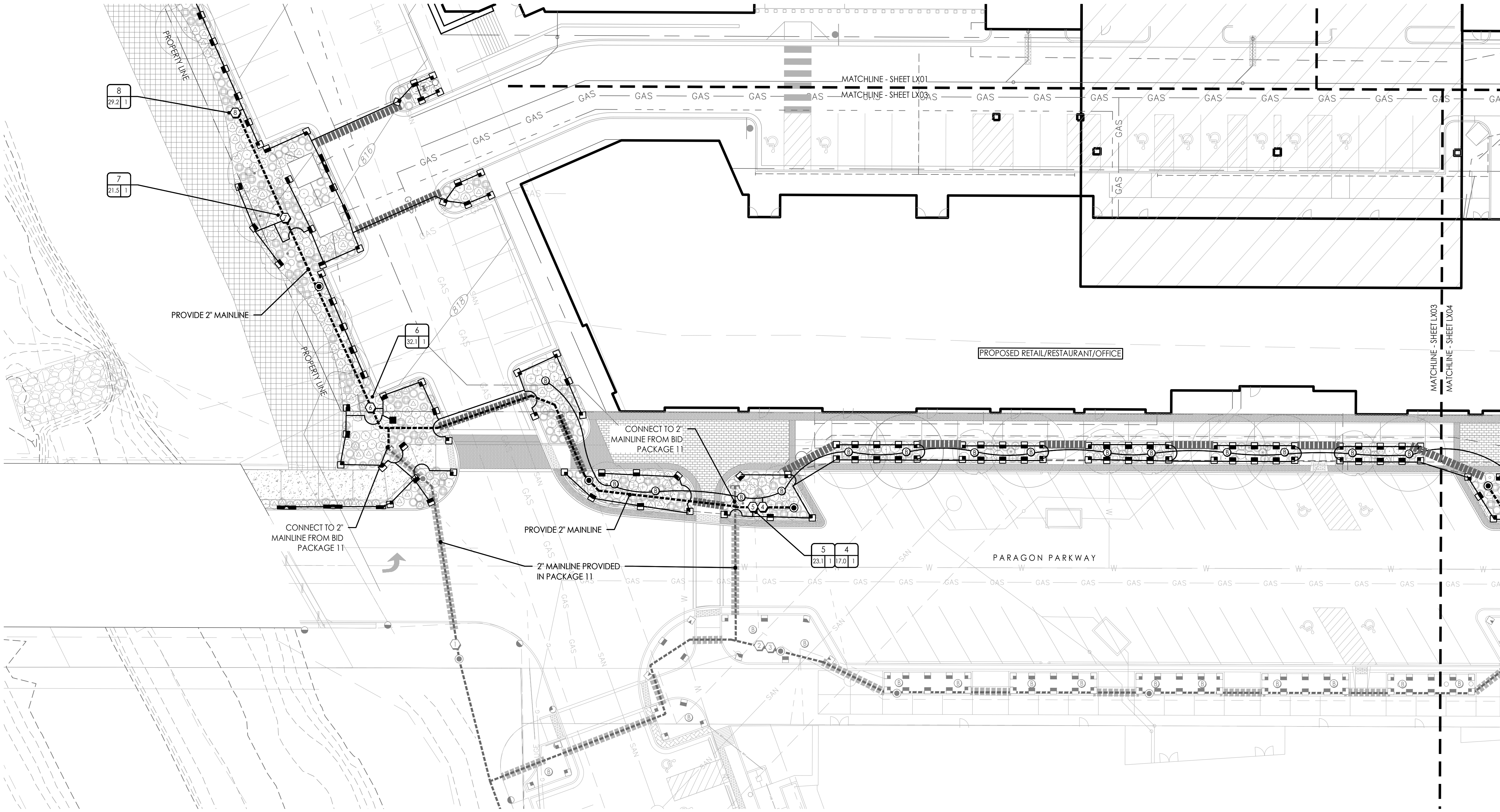
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











MICHAEL KILLEEN



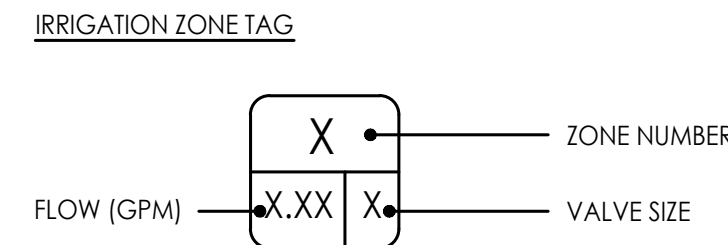
**1 IRRIGATION PLAN**  
Scale: 1:20



### IRRIGATION LEGEND

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	MAINLINE (SEE PLAN FOR SIZE)	RE: SPEC 328400 / RE: DETAIL 1/L720
	LATERAL LINE (1" UNLESS OTHERWISE NOTED)	RE: SPEC 328400 / RE: DETAIL 1/L720
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	ROOT WATERING SYSTEM	RE: DETAIL 8/L720
	ISOLATION VALVE	RE: DETAIL 3/L720
	QUICK COUPLER	RE: DETAIL 5/L720
	FULL ARC	WATER DELIVERY EQUIPMENT. REFER TO ZONE CHART FOR MODEL NUMBERS, BODY TYPE, AND NOZZLE.
	180 ARC	
	90 ARC	
	270 ARC	WATER DELIVERY EQUIPMENT. REFER TO ZONE CHART FOR MODEL NUMBERS, BODY TYPE, AND NOZZLE.
	HALF STRIP	

### REFER TO SHEET L721 FOR COMPLETE IRRIGATION ZONE SCHEDULE

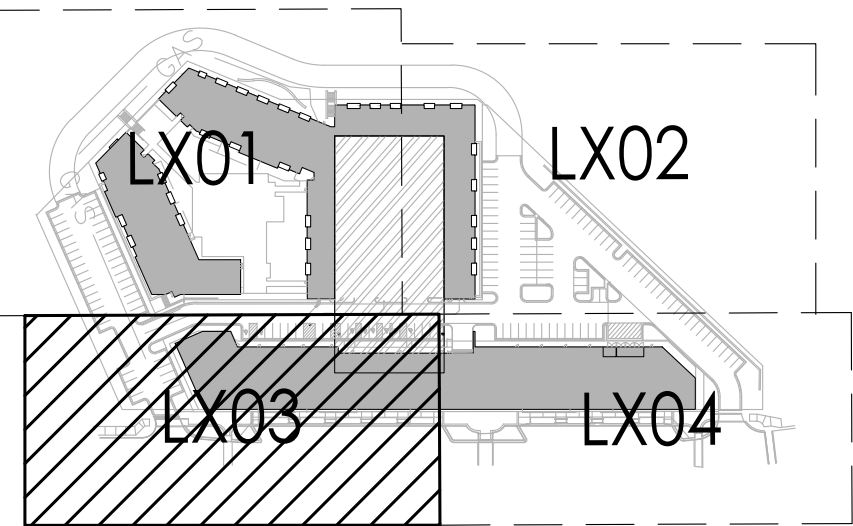


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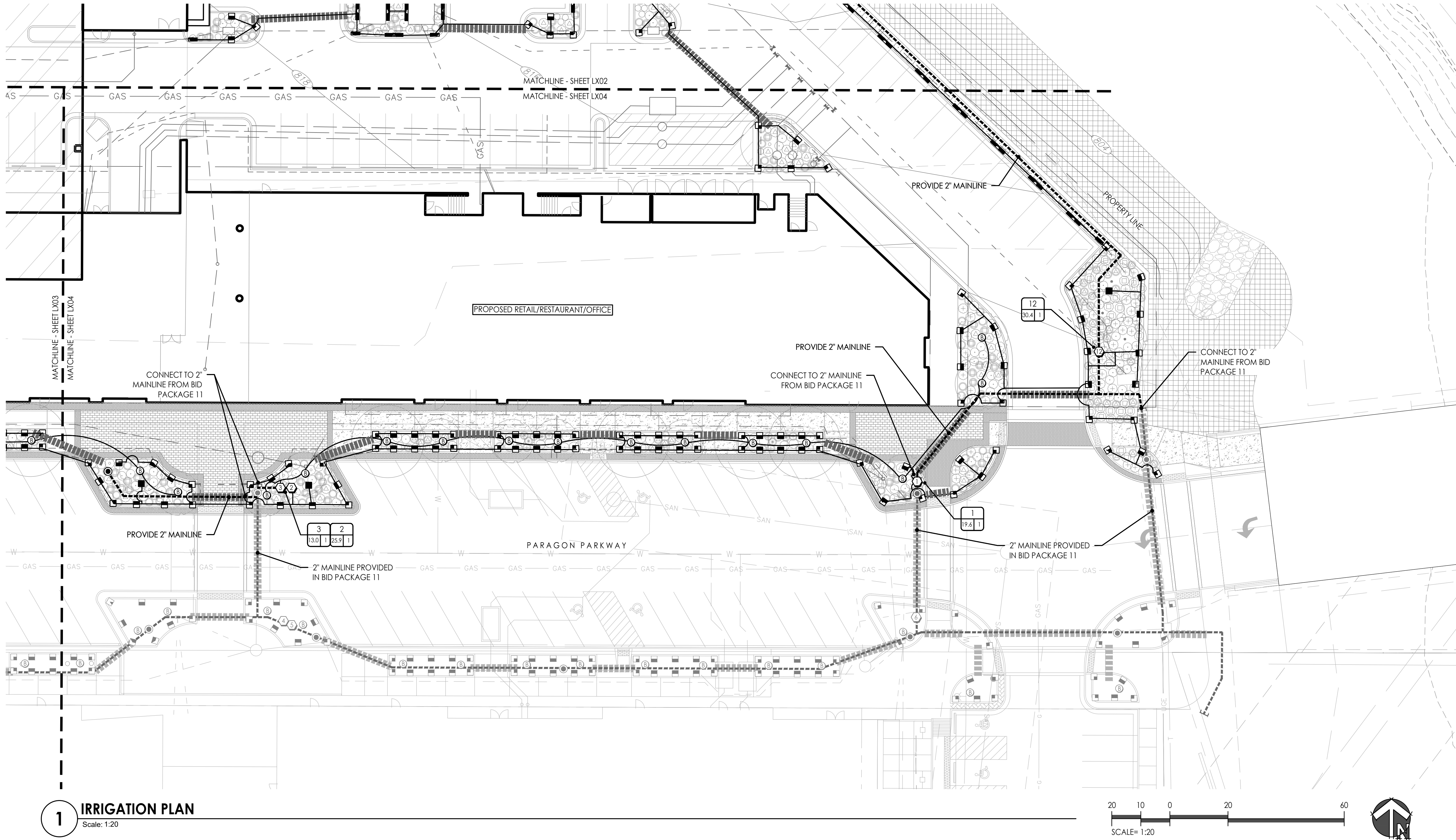
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DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

**L703**







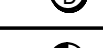








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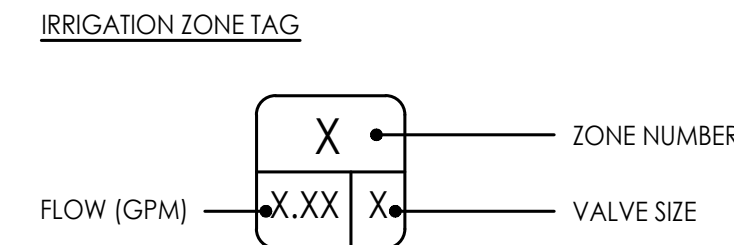
**1 IRRIGATION PLAN**  
Scale: 1:20



### IRRIGATION LEGEND

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 270 ARC		
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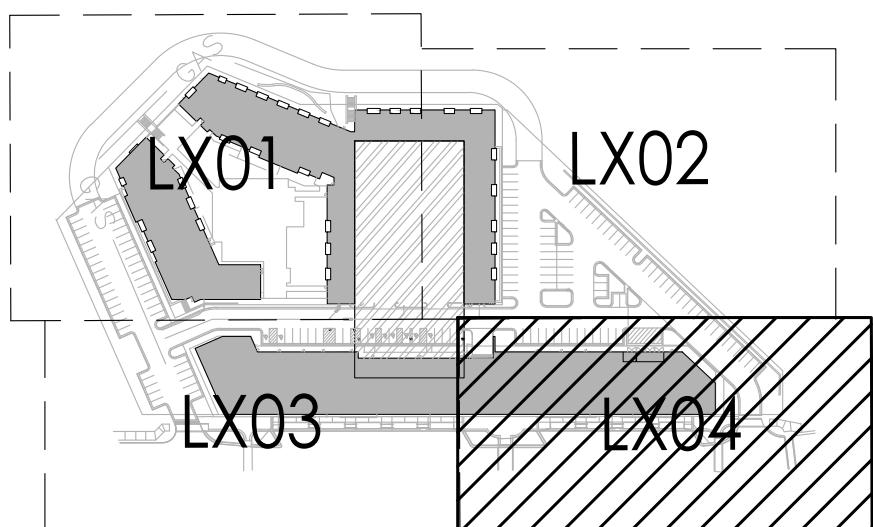


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DRAWING TITLE:

**IRRIGATION  
PLAN**

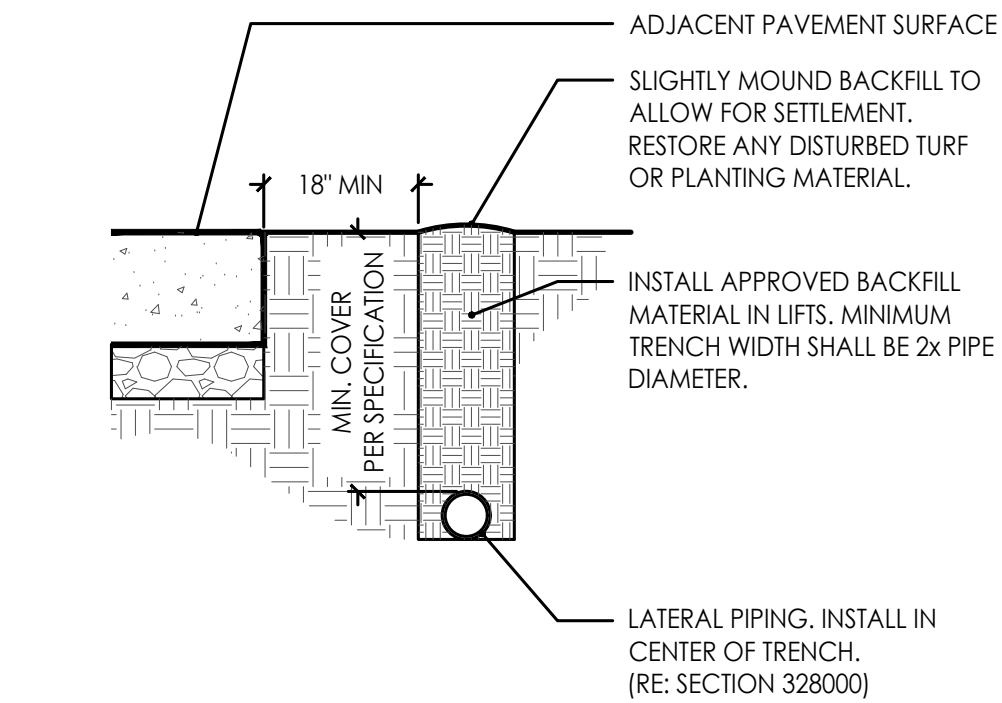
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DATE: 07.11.2022 DRAWN BY: MRK

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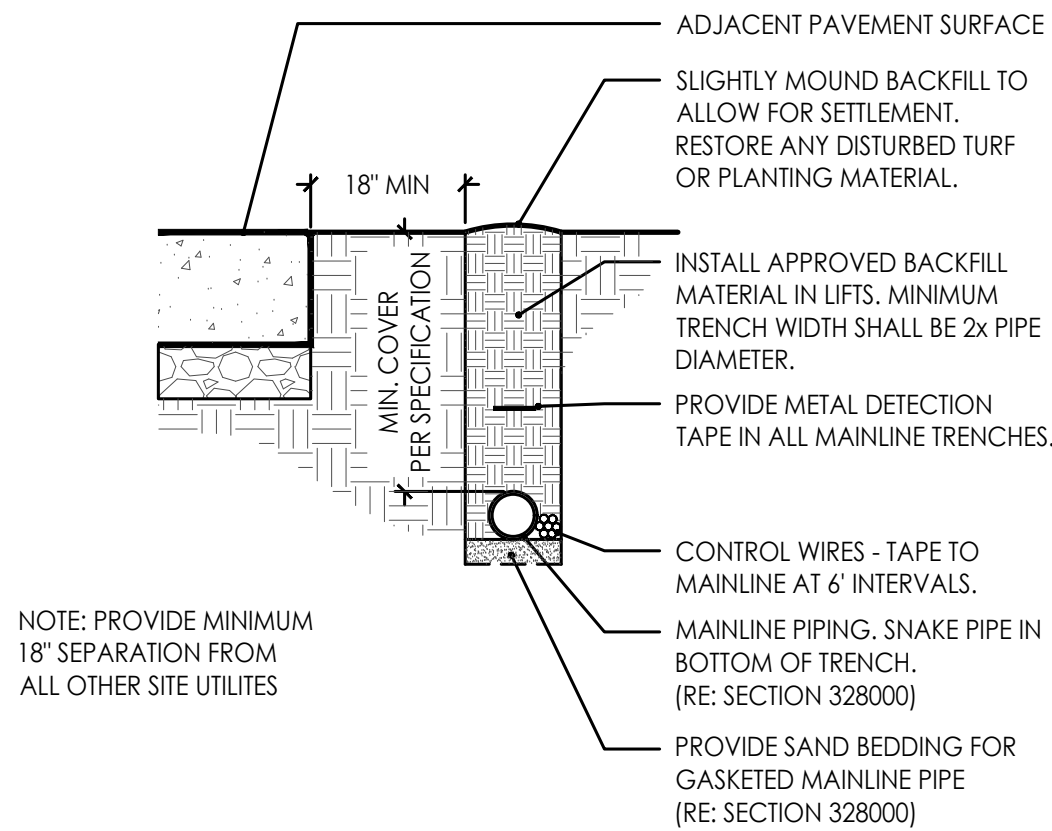
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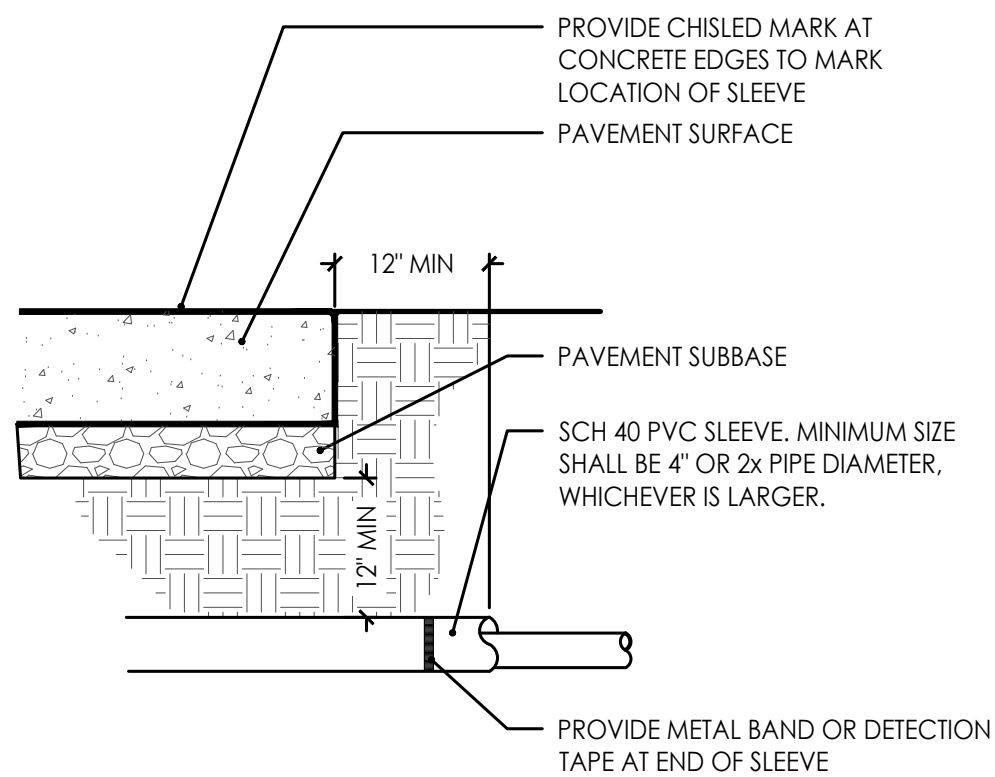
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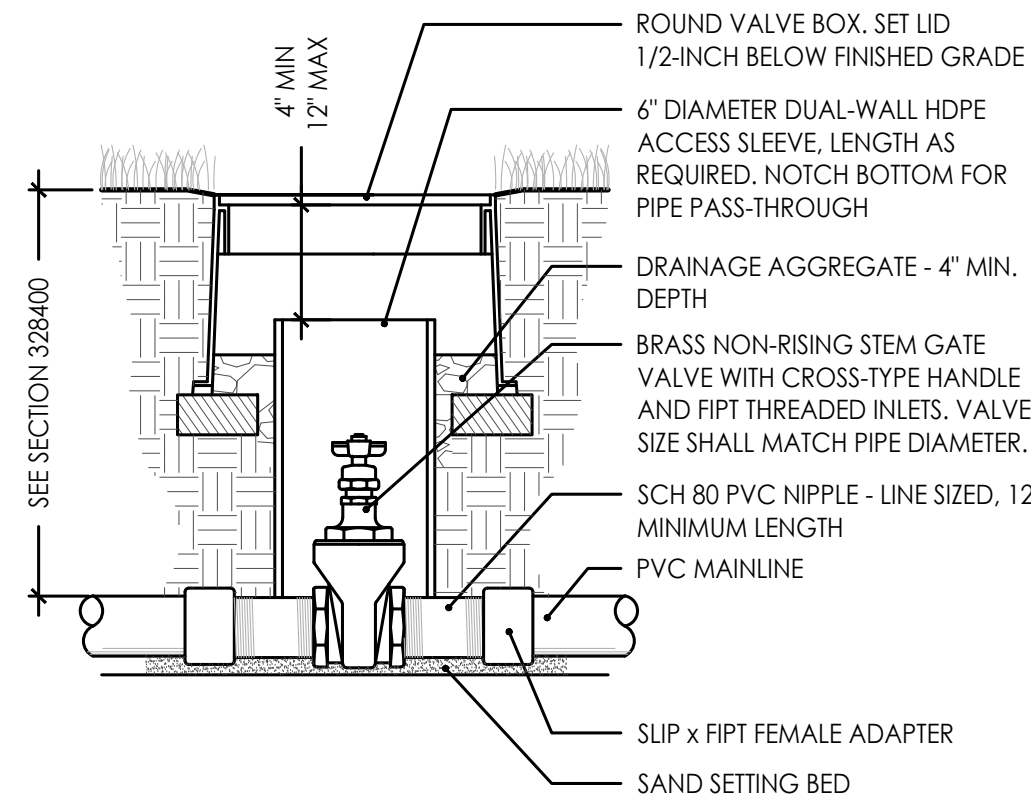
**1 PIPE TRENCHING**  
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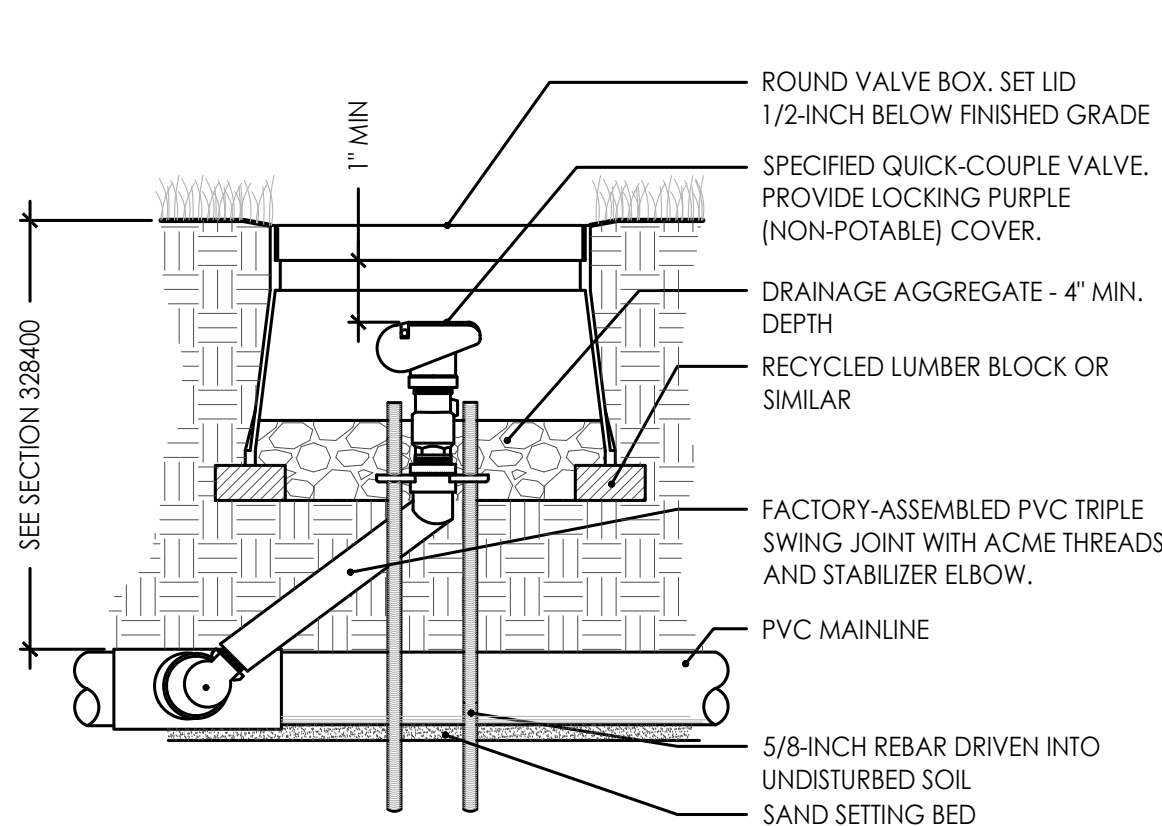
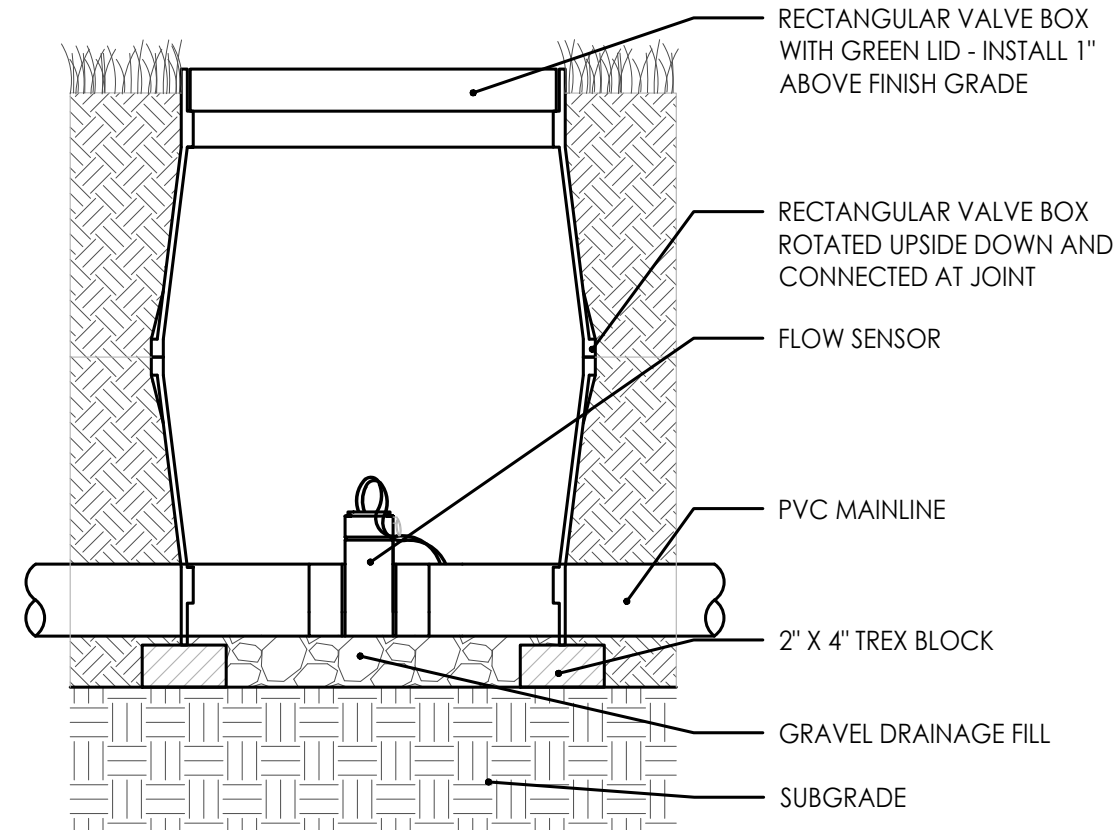
**2 PIPE SLEEVE**  
Scale: N.T.S.



**3 ISOLATION VALVE**  
Scale: N.T.S.

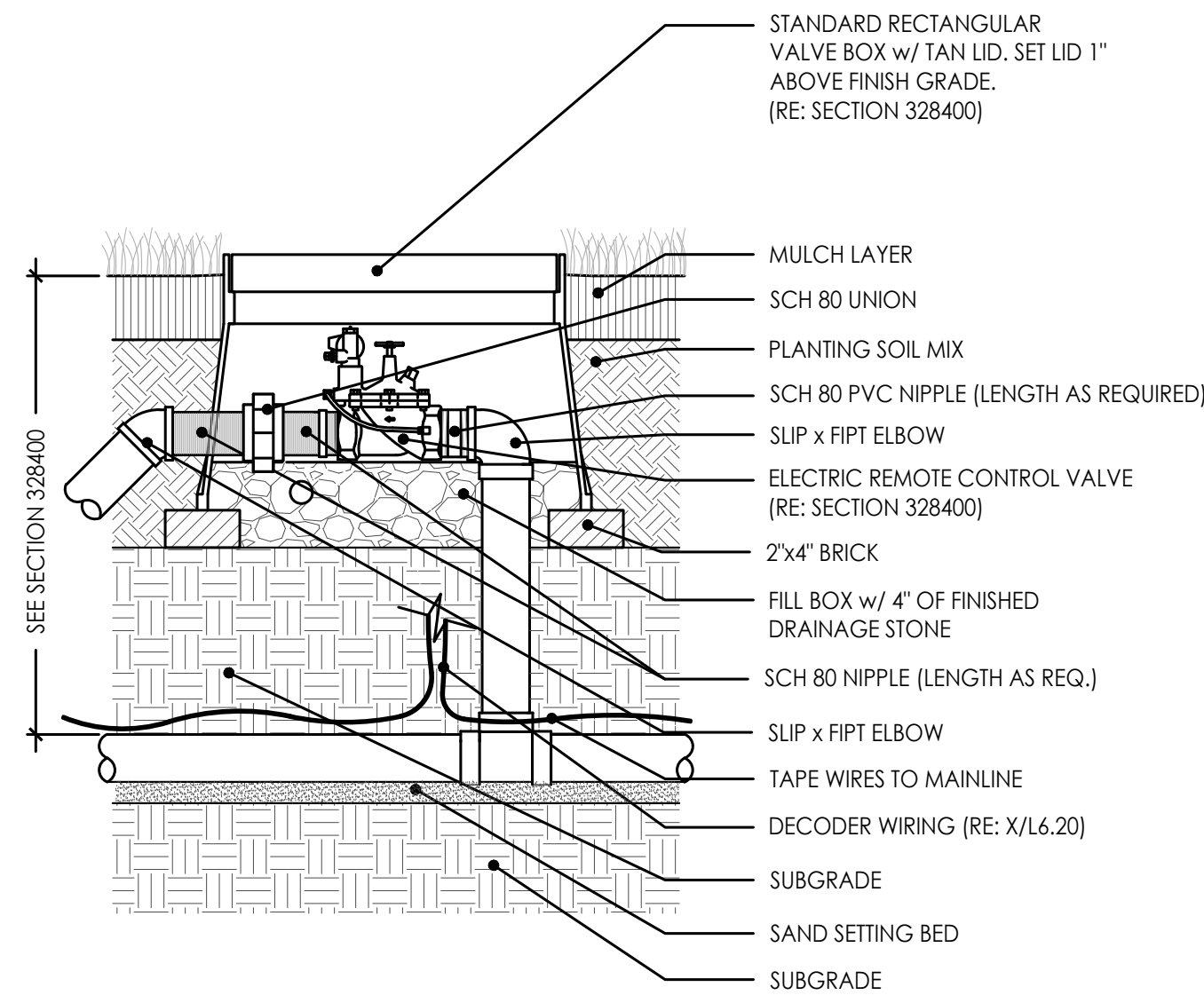


**4 FLOW SENSOR**  
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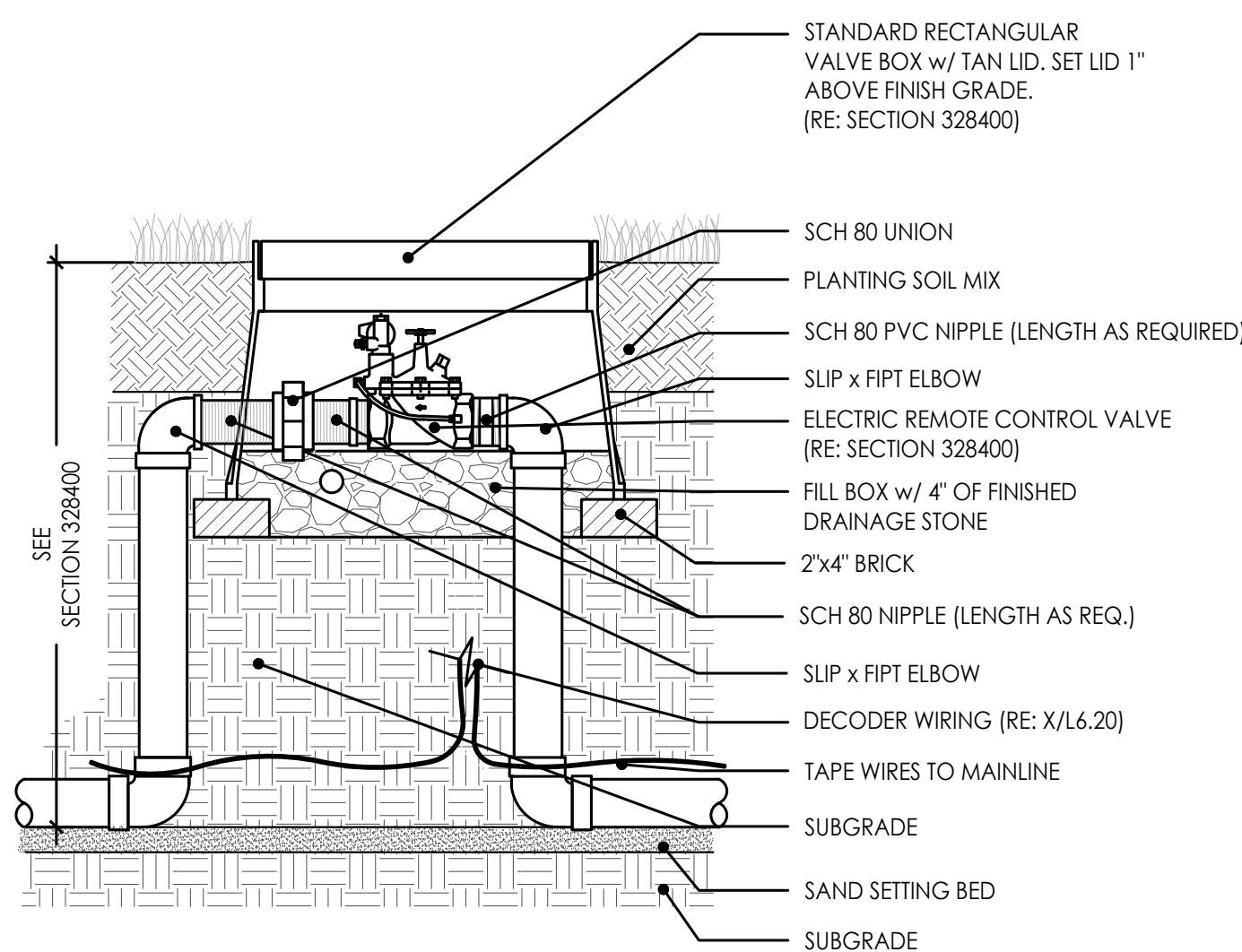


- NOTES
1. ACME O-RING SEALED THREADS ARE TO BE FINGER TIGHTENED AND BACKED OFF ONE FULL ROTATION BEFORE INSTALLATION.
  2. THE SWING JOINT ARM IS TO BE INSTALLED AT AN ANGLE BETWEEN 30° AND 45° TO THE MAINLINE
  3. TEFLON TAPE ALL METAL THREADS.

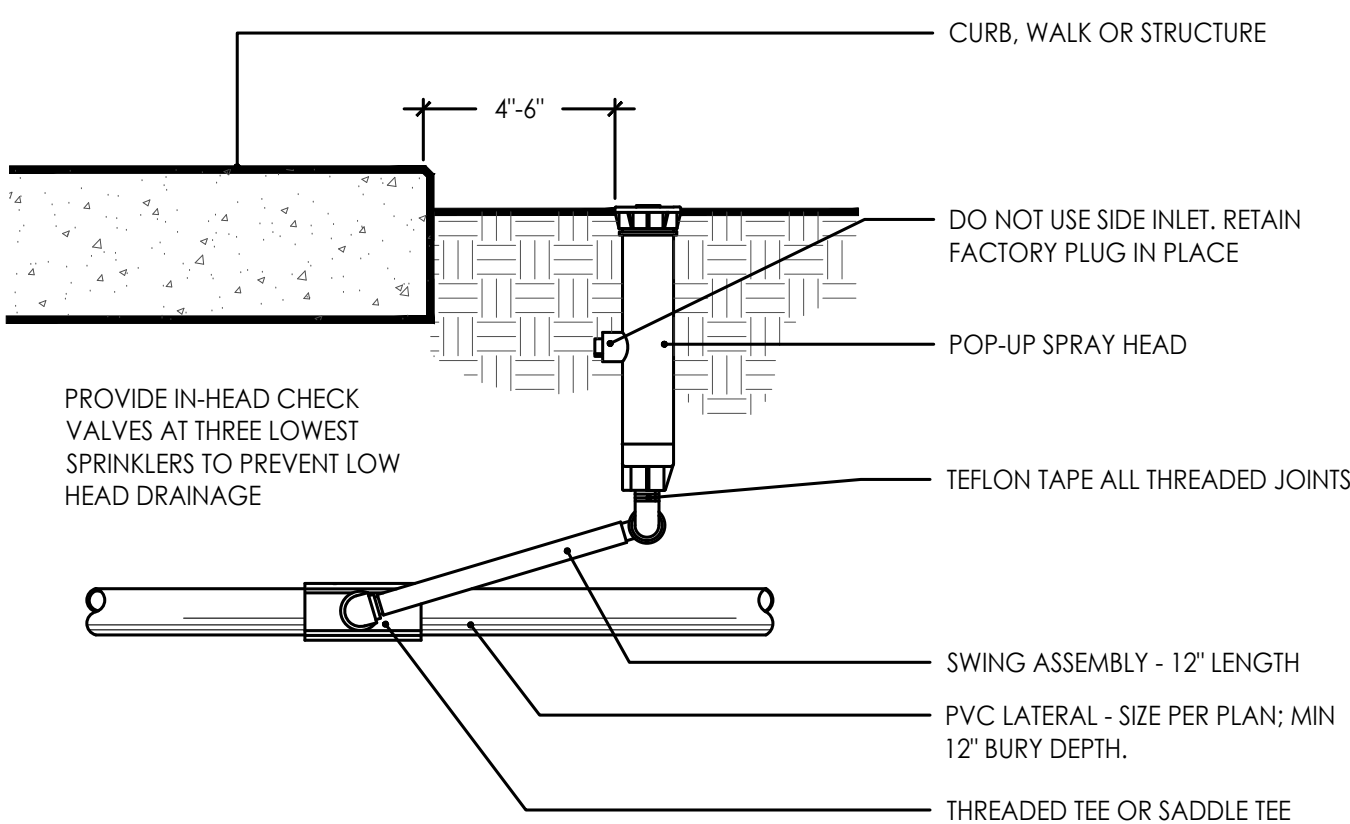
**5 QUICK COUPLE VALVE**  
Scale: N.T.S.



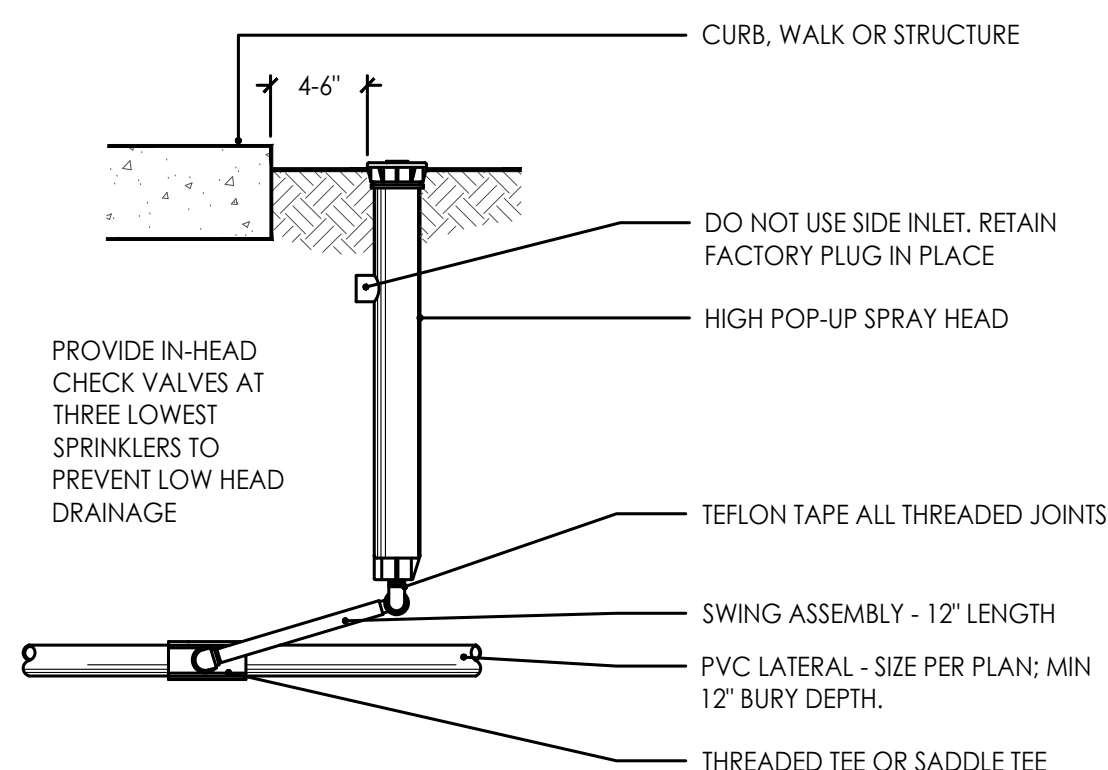
**7 MASTER VALVE**  
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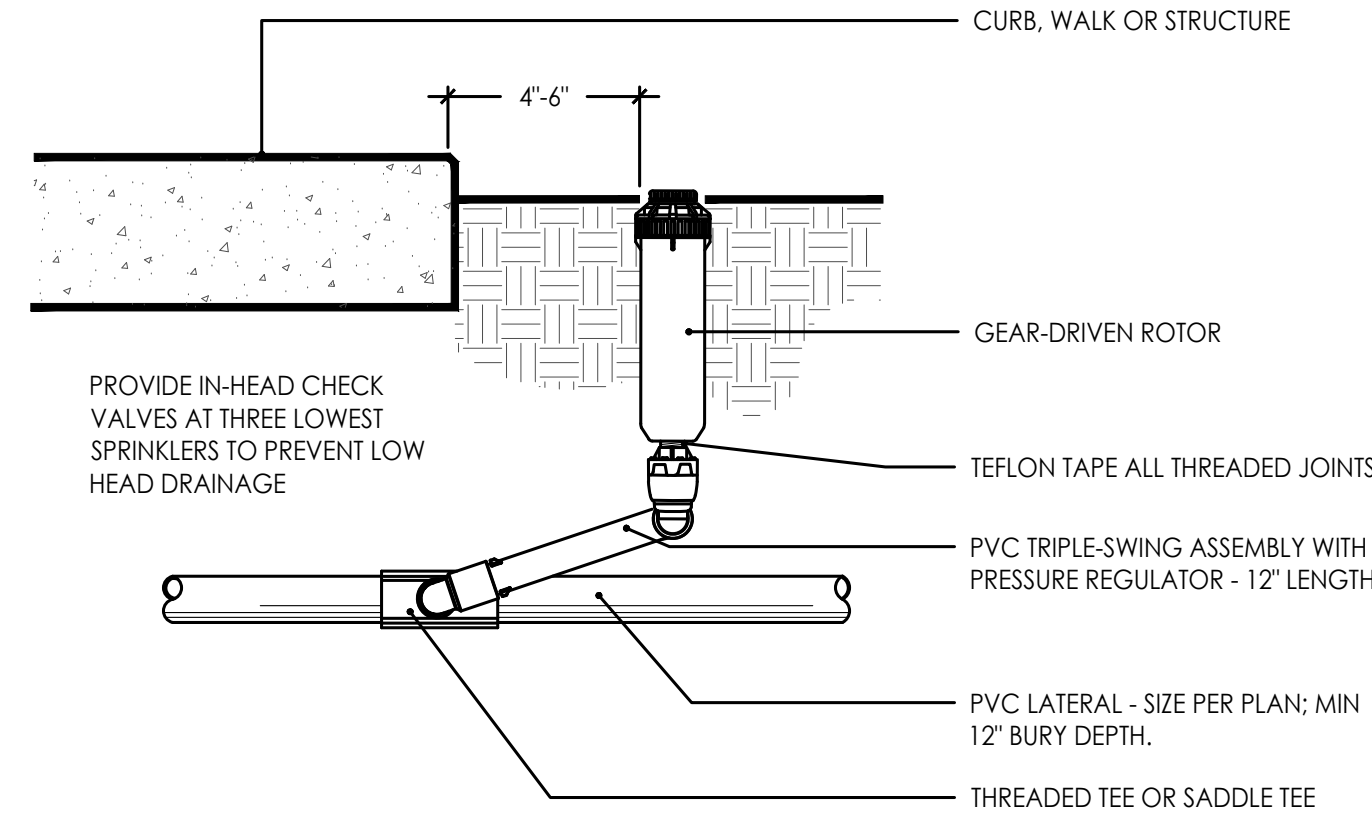
**8 ROOT WATERING SYSTEM**  
Scale: N.T.S.



**9 POP-UP SPRAY HEAD**  
Scale: N.T.S.



**10 HIGH POP-UP SPRAY**  
Scale: N.T.S.



**11 GEAR-DRIVEN ROTOR HEAD**  
Scale: N.T.S.

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**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Issued for GMP

ISSUE:

PROFESSIONAL SEAL:

**NOT FOR  
CONSTRUCTION**

DRAWING TITLE:

**IRRIGATION  
DETAILS**

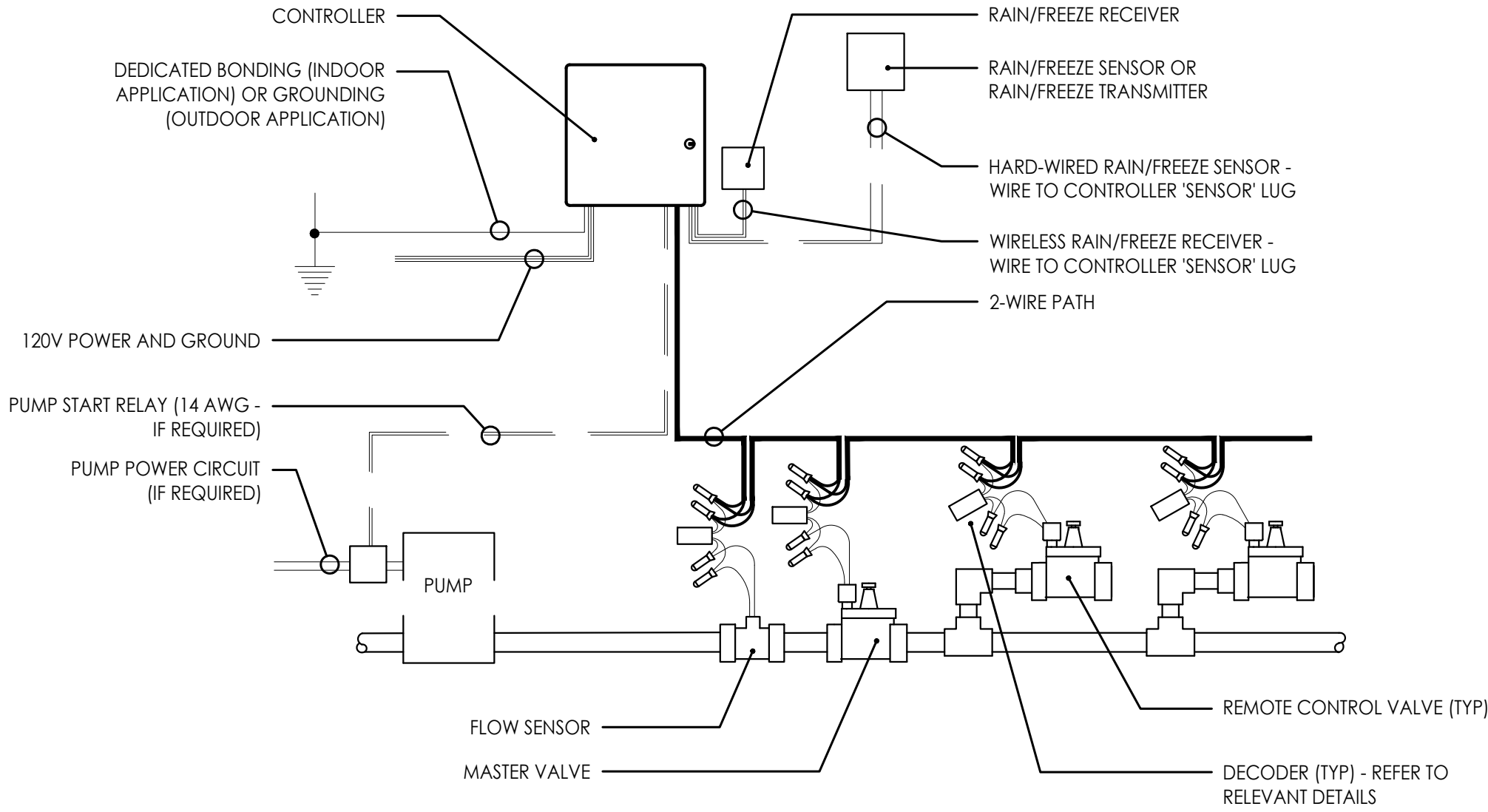
JOB NO: 1249 SCALE:  
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

**L720**

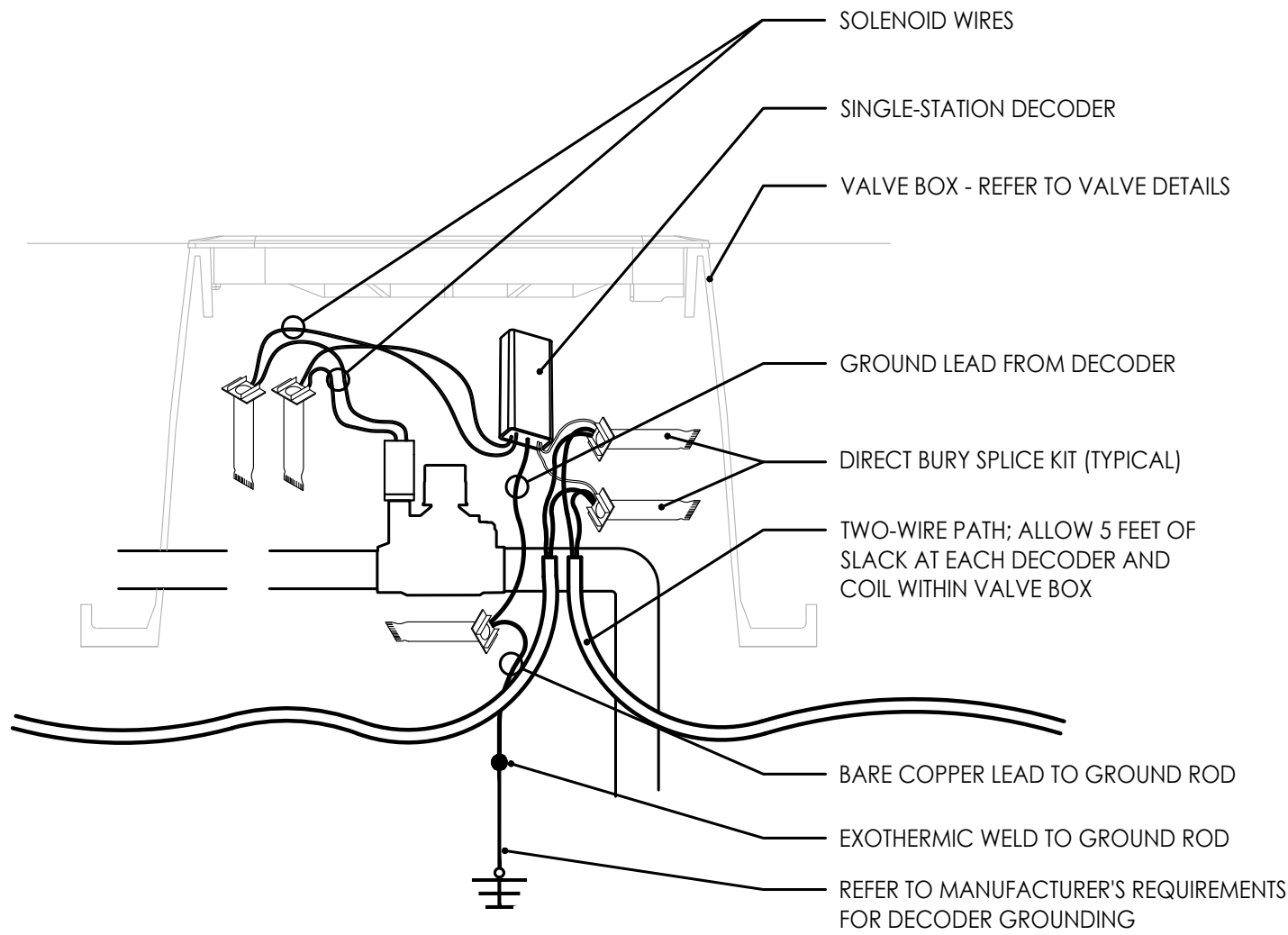


C:\Active\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHEETS\MULTI-FAMILY\L720 IRRIGATION DETAILS\MULTIFAM.dwg 7/11/2022 11:18:46 AM 0.3849'1 MICHAEL KILLEEN  
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## 1 WIRING SCHEMATIC

Scale: N.T.S.



## 2 DECODER WIRING

Scale: N.T.S.

## IRRIGATION SCHEDULE

ZONE	ZONE TYPE	HEAD / LINE INFORMATION							FLOW (GPM)	OPERATING PRESSURE (PSI)	VALVE SIZE
		360°	270°	180°	90°	SST	RCS/LCS	CST			
1	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							20.36	30	1"
		0	0	17	14	0	0	0			
2	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							25.85	30	1"
		2	0	29	20	0	0	0			
3	TREE DRIP	TREE DRIP: (13) RWS-B-1404; ROOT ZONE WATERING @ 1.0 gpm							13.0	30	1"
4	TREE DRIP	TREE DRIP: (13) RWS-B-1404; ROOT ZONE WATERING @ 1.0 gpm							17.0	30	1"
5	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							23.10	30	1"
		0	0	26	19	0	0	0			
6	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							32.01	30	1"
		1	0	13	11	2	1	0			
7	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							21.51	30	1"
		0	0	17	8	1	0	0			
8	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							29.24	30	1"
		1	0	21	5	0	0	0			
9	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							26.84	30	1"
		1	0	9	12	0	0	0			
10	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							24.82	30	1"
		0	0	8	12	7	5	0			
11	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							21.55	30	1"
		0	0	0	0	17	2	0			
12	BED SPRAY	HEAD: RAINBIRD 1812/ NOZZLE: RAINBIRD MPR							29.57	30	1"
		1	0	11	6	0	0	0			

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PROJECT:

Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

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IRRIGATION  
DETAILS

JOB NO: 1249

SCALE:

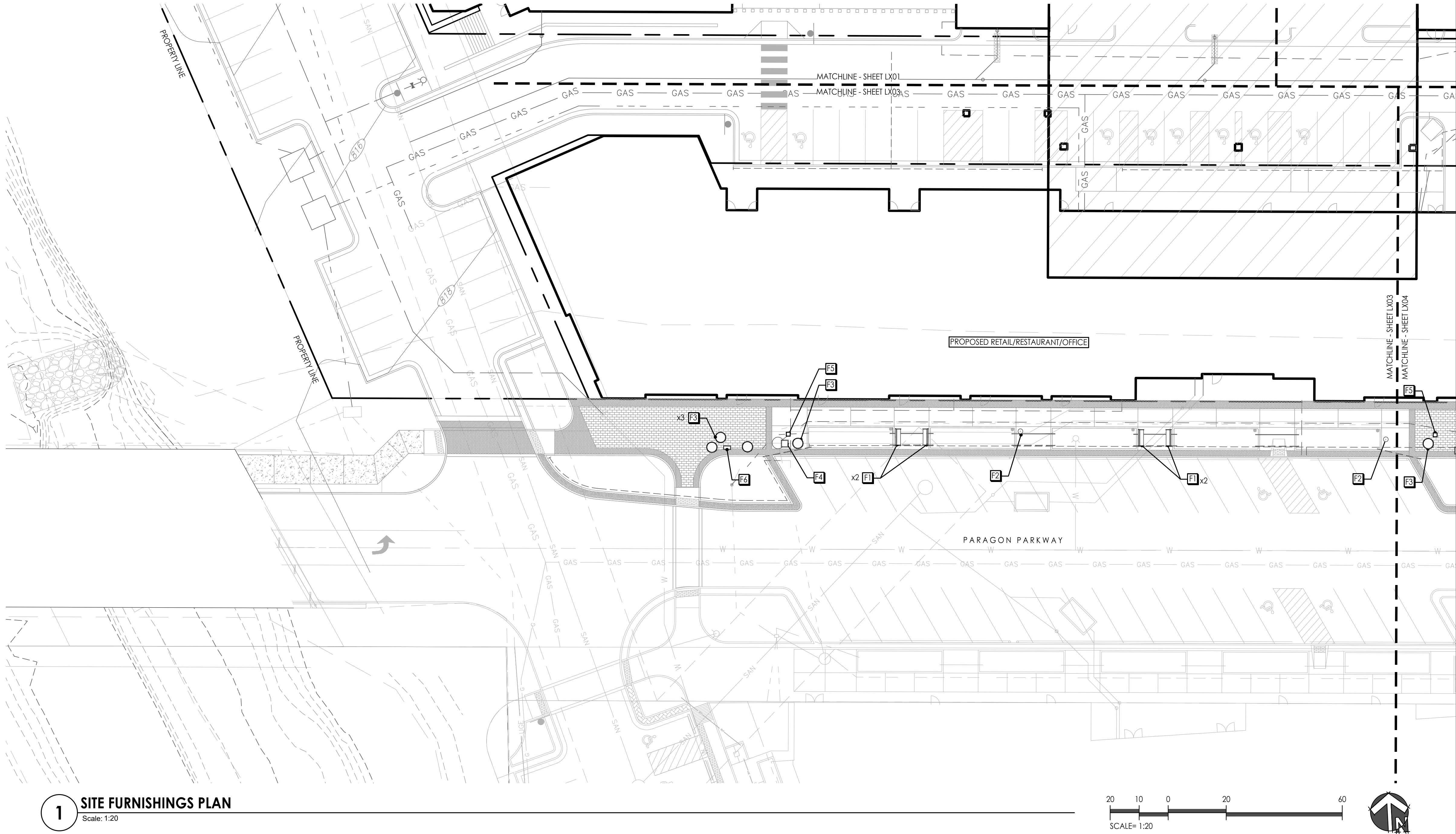
DATE: 07.11.2022

DRAWN BY: MRK

SHEET NO:

L721





**1 SITE FURNISHINGS PLAN**  
Scale: 1:20

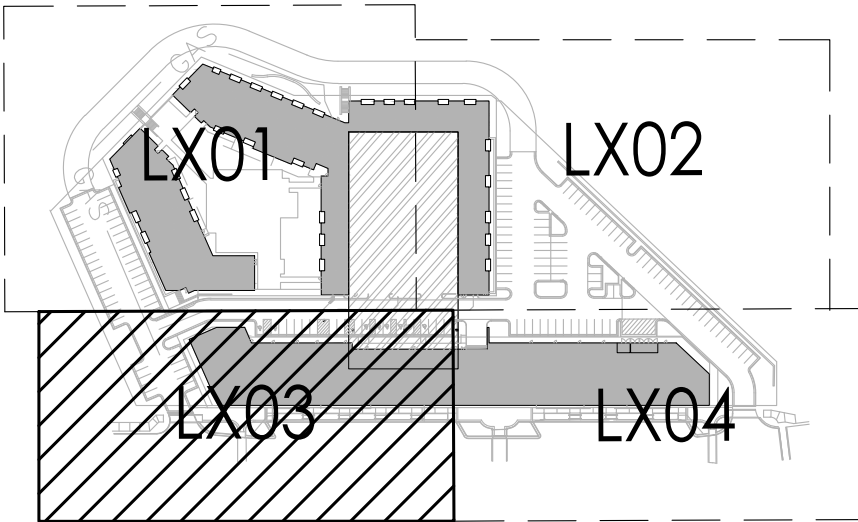
**SITE FURNISHINGS SCHEDULE**

SYM.	DESCRIPTION	SPECIFICATION
F1	BENCH	SECTION 323300
F2	WASTE RECEPTACLE	SECTION 323300
F3	42" DIA. ROUND PLANTER POT	SECTION 323300
F4	30" DIA. SQUARE PLANTER POT	SECTION 323300
F5	24" DIA. SQUARE PLANTER POT	SECTION 323300
F6	36" x 24" RECTANGLE PLANTER POT	SECTION 323300

**SITE FURNISHINGS NOTES**

1. THIS PLAN PROVIDES LAYOUT & QUANTITY OF ALL SITE FURNISHINGS TO BE PROVIDED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 323300 - SITE FURNISHINGS** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
3. LANDSCAPE ARCHITECT TO SELECT FINAL LOCATIONS OF ALL SITE FURNISHINGS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT AND OWNERS REP PRIOR TO FINAL PLACEMENT OF ALL FURNISHINGS.

**KEY PLAN**



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**SITE  
FURNISHINGS  
PLAN**

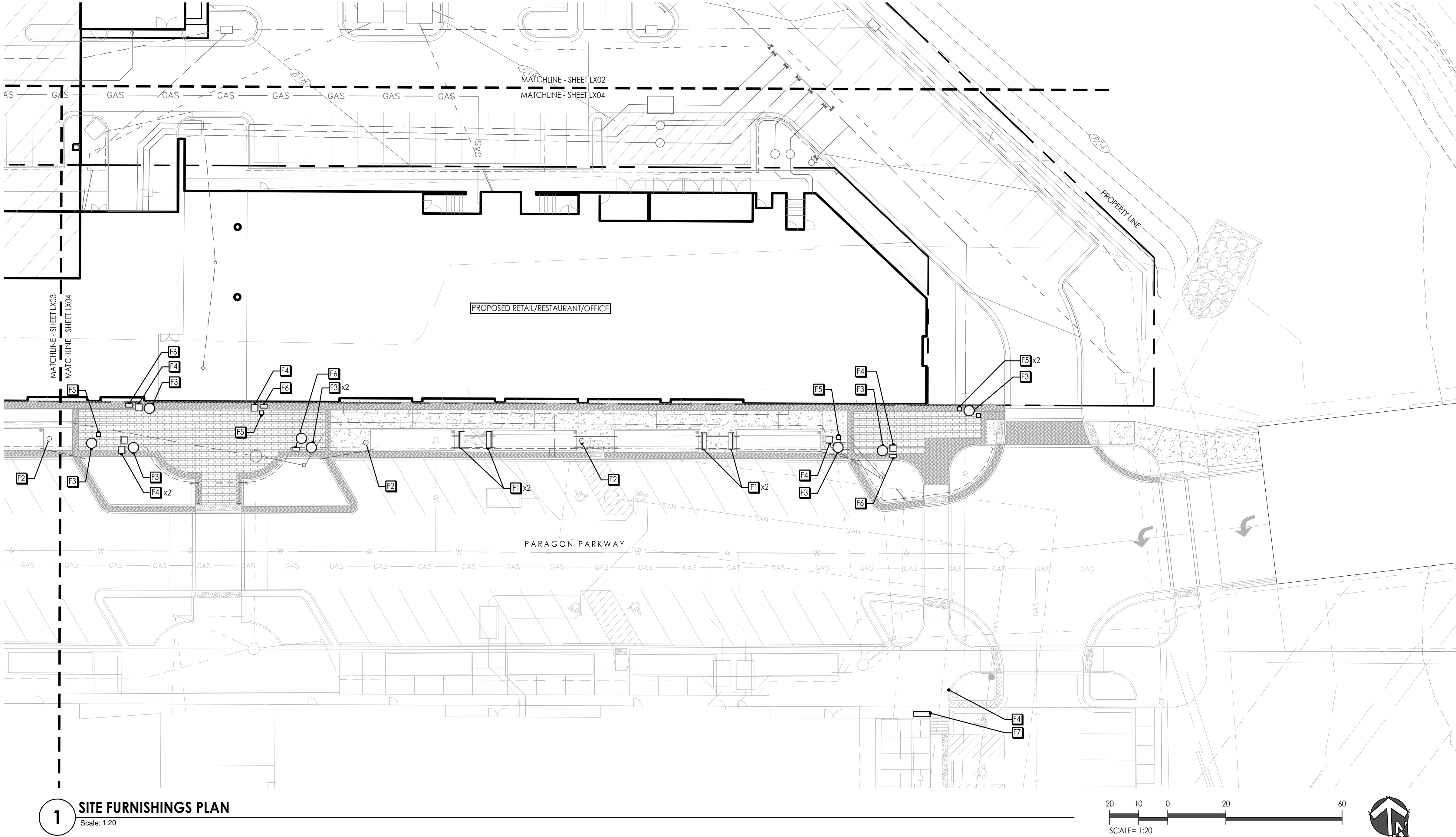
JOB NO: 1249      SCALE:  
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SHEET NO:

**L803**



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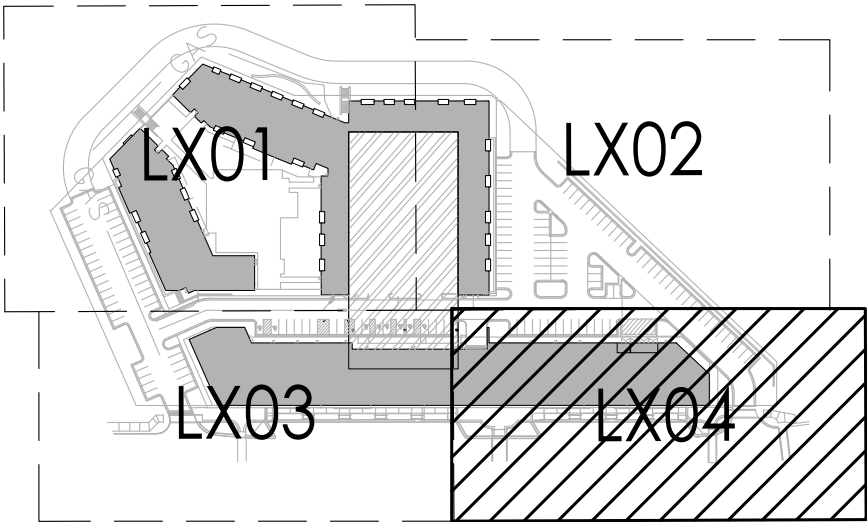
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KEY PLAN



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SITE  
FURNISHINGS  
PLAN

JOB NO: 1249 SCALE:  
DATE: 07.11.2022 DRAWN BY: MRK

SHEET NO:

L804



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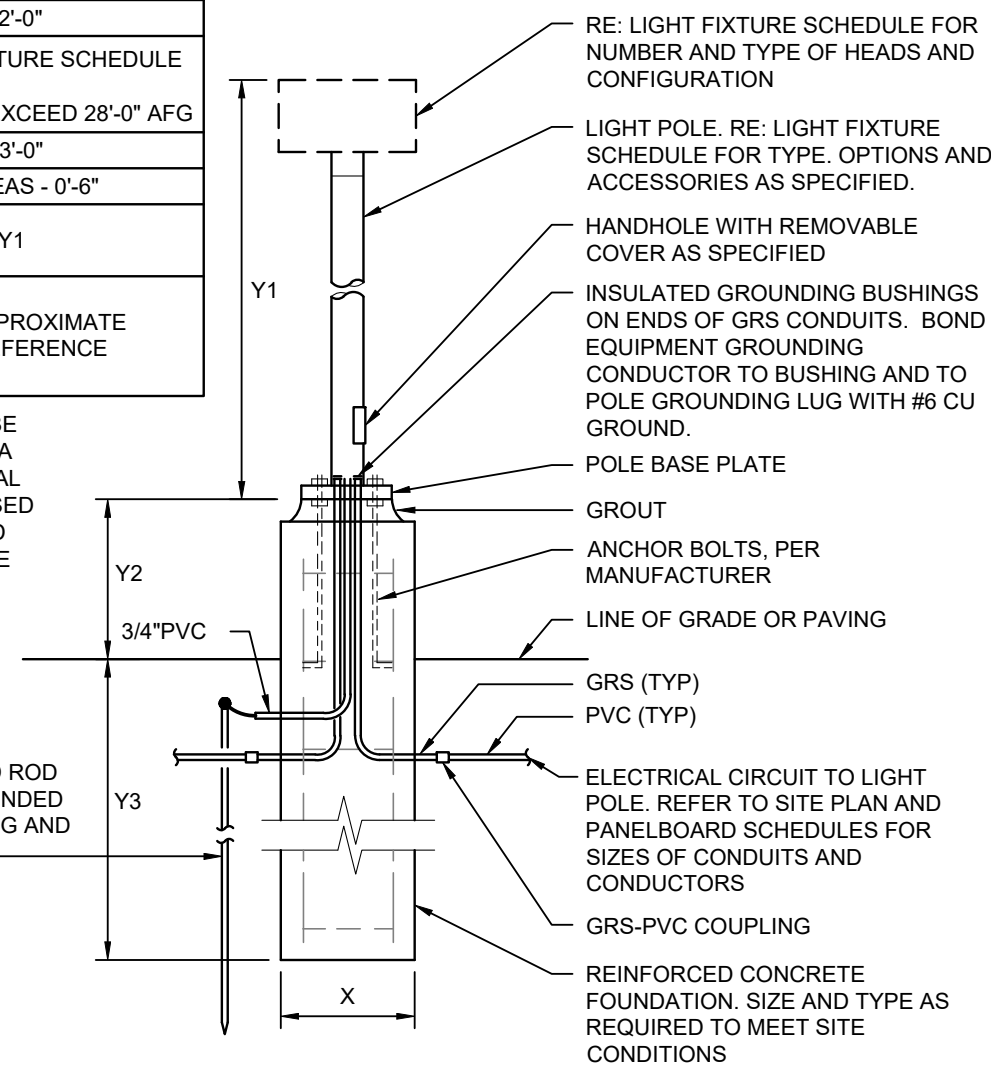
J:\Kansas City\2018\1850004412 Paragon Star Development - Lee's Summit - MO 002 - Paragon Site Development\Elec\1850004412 NV E100 - North Village Lighting Plan.dwg 8/11/2022 11:40:43 AM 0.182:1  
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ANDREA C. MULVANY  
MARCIUS PERRY

TABLE OF DIMENSIONS*	
X	POLE HEIGHT < 16' = 1'-6"
	POLE HEIGHT > 16' = 2'-0"
Y1	REFER TO LIGHT FIXTURE SCHEDULE FOR POLE HEIGHT. Y1 + Y2 SHALL NOT EXCEED 28'-0" AFG
Y2	VEHICULAR AREAS - 3'-0"
	NON-VEHICULAR AREAS - 0'-8"
Y3	1/4 OF POLE HEIGHT Y1

\* NOTE:  
ALL DIMENSIONS ARE APPROXIMATE  
AND ARE SHOWN FOR REFERENCE  
ONLY.

POLE FOUNDATION SHALL BE  
DESIGNED AND SEALED BY A  
PROFESSIONAL STRUCTURAL  
OR CIVIL ENGINEER LICENSED  
IN THE PROJECT STATE AND  
SUBMITTED AS PART OF THE  
SUBMITTAL PROCESS.

5/8" X 8" DRIVEN GROUND ROD  
WITH #6 CU. GROUND BONDED  
TO POLE GROUNDING LUG AND  
TO GROUND ROD



2 POLE BASE DETAIL  
NO SCALE

LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER/MODEL #	NO.	LAMPS	VOLT	INPUT WATTS	INPUT VA
			TYPE			
S1	MCGRRAW-EDISON GLNA-AF-03-LED-T4W-BK WIKW INDUSTRIES RAP-25-6-0-X-BLK-DM10	-	LED BY MANUFACTURER 4000K, 70 CRI 17,984 LUMENS 400,000 HRS B2-UO-G2	480	166	166
S1A	MCGRRAW-EDISON GLNA-AF-03-LED-T4FT-BK  GLNA-AF-01-LED-T2-BK W VALMONT IDYLINE CURVES c5-03-DCG-DCG-DCG-DCG	-	LED BY MANUFACTURER 4000K, 70 CRI 18,220 400,000 HRS B2-UO-G2  4,015 LUMENS B1-UO-G1	480	166	166
S2	MCGRRAW-EDISON (2) GLNA-AF-03-LED-480-T4W-BK WIKW INDUSTRIES RAP-25-6-0-X-BLK-DM2180	-	LED BY MANUFACTURER 4000K, 70 CRI 35,968 LUMENS 40,000 HRS B2-UO-G2	480	332	332

#### GENERAL NOTES:

- REFER TO SHEET E000 FOR GENERAL NOTES.

#### KEYNOTES:

- REFER TO DETAIL 2, SHEET E100 FOR POLE BASE DETAIL.
- PARKING LOT LIGHTING CIRCUIT. ROUTE CONDUIT AND CIRCUIT TO BUILDING #1 ELECTRICAL ROOM. CIRCUIT SHALL BE CONTROLLED VIA LIGHTING CONTROL PANEL WITH PHOTOCELL ON/OFF CONTROL IN SEPARATE BUILDING PACKAGE. PROVIDE (2) #10 AWG WITH (1) #10 GROUND IN 1" CONDUIT FOR WIRING FROM POLE TO POLE AND POLE. WIRE SIZE FOR HOME RUN TO FUTURE PANELBOARD WILL BE DETERMINED TO ACCOUNT FOR VOLTAGE DROP.

**HENDERSON  
ENGINEERS**  
1801 MAIN STREET, SUITE 300  
LENEXA, KS 66219  
TEL 816.863.8700 FAX 816.863.8701  
WWW.HENDERSONENGINEERS.COM  
1850004412  
MO. CORPORATE NUMBER: E-556D  
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PROJECT:

**Paragon Star North Village**  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

1 FDP RESUBMITTAL 08.12.2022

PROFESSIONAL SEAL:



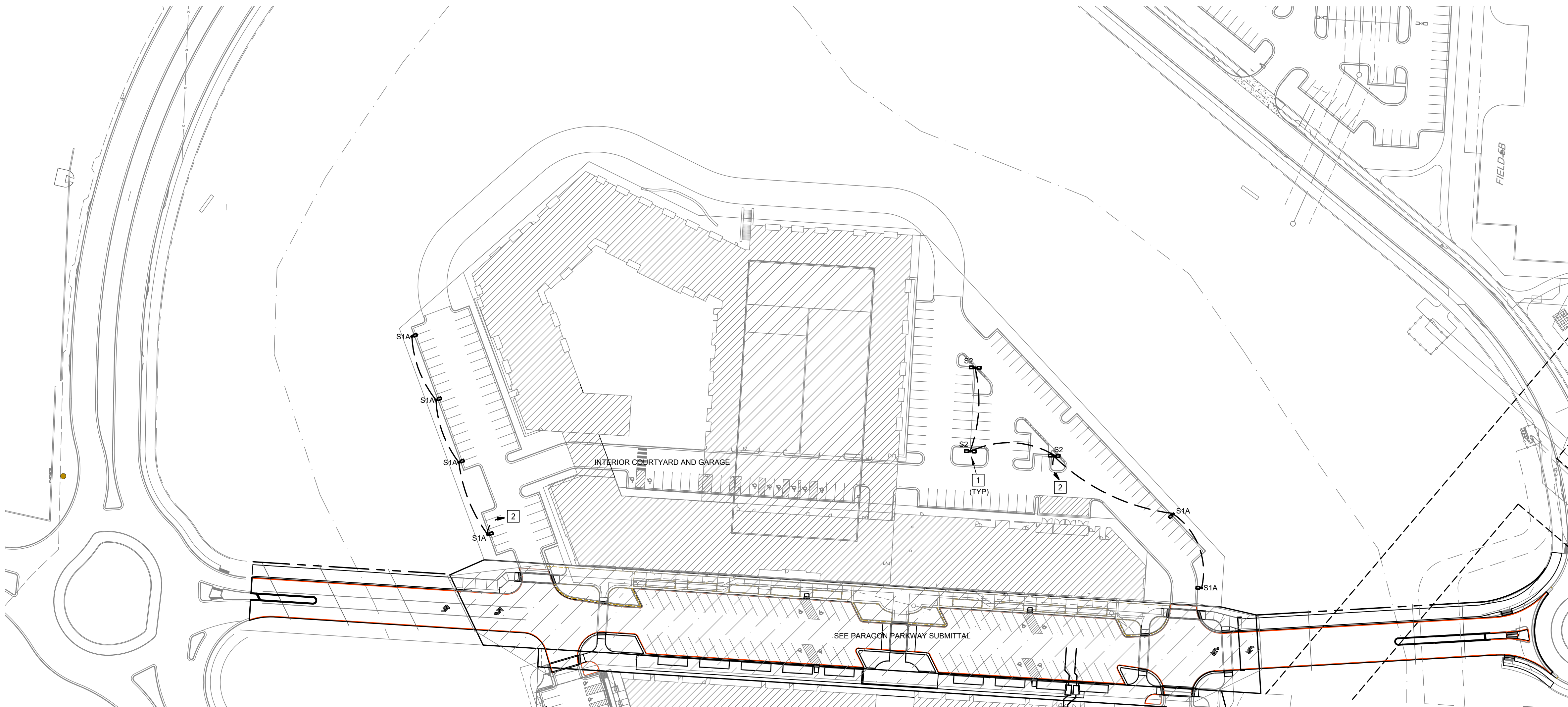
ANDREA C. MULVANY  
LICENSE # PE-2013039892 08/11/2022  
DRAWING TITLE:

**NORTH VILLAGE  
SITE LIGHTING  
PLAN**

JOB NO: 1249 SCALE:  
DATE: 08.12.2022 DRAWN BY: MAP

SHEET NO:

**E100**

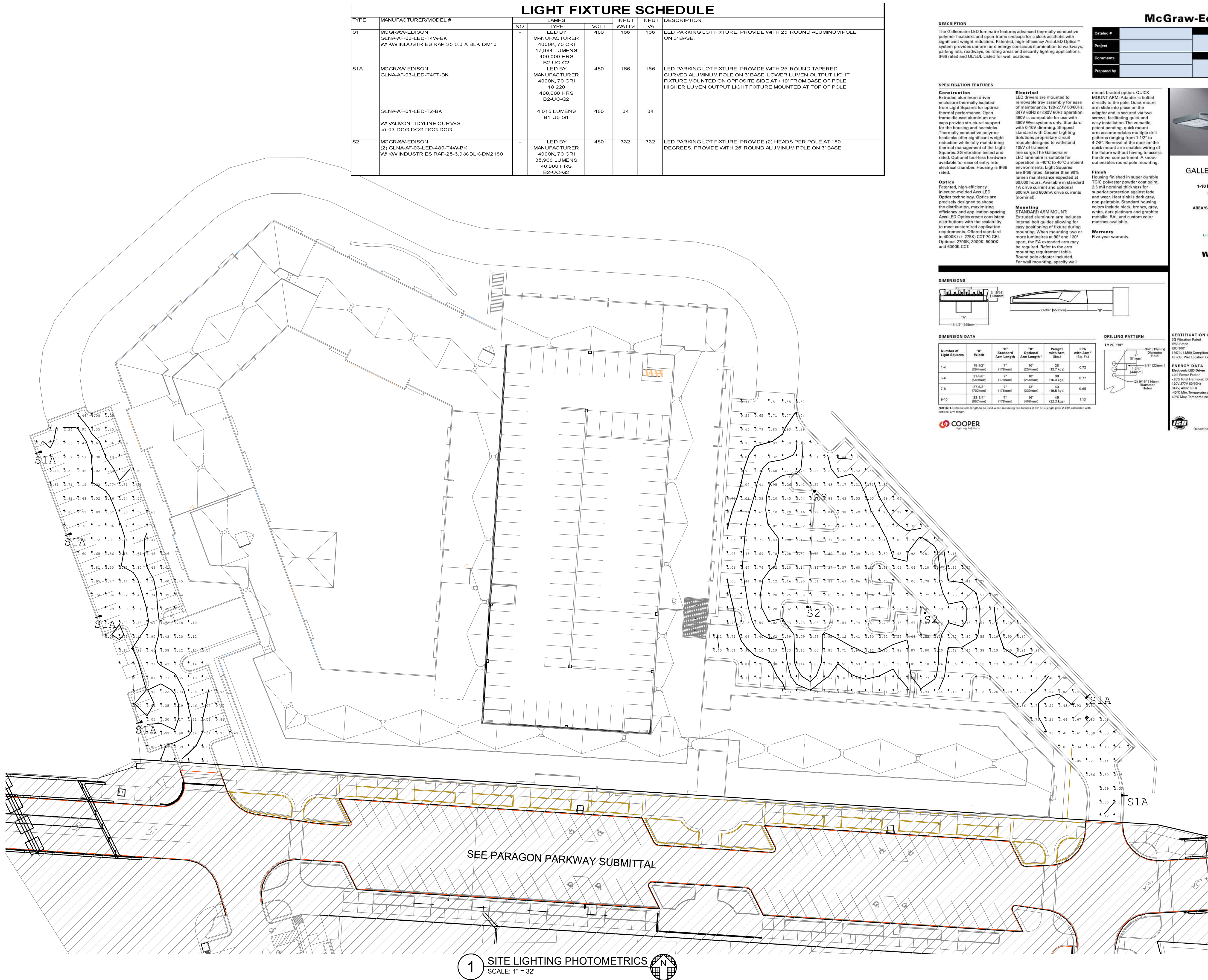


1 NORTH VILLAGE SITE LIGHTING PLAN  
SCALE: 1" = 64'









TYPE	MANUFACTURER/MODEL #	LUMPS			INPUT WATTS	INPUT VA	DESCRIPTION
		No.	TYPE	VOLT			
S1	MCGRAW-EDISON GLNA-AF-03-LED-T4W-BK W/KW INDUSTRIES RAP-25-6.0-X-BLK-DM10	-	LED BY MANUFACTURER 4000K, 70 CRI 17,984 LUMENS 400,000 HRS B2-UO-G2	480	166	166	LED PARKING LOT FIXTURE, PROVIDE WITH 25" ROUND ALUMINUM POLE ON 3' BASE.
STA	MCGRAW-EDISON GLNA-AF-03-LED-T4FT-BK       GLNA-AF-01-LED-T2-BK  W VALMONT IDYLINE CURVES c5-03-DCG-DCG-DCG-DCG	-	LED BY MANUFACTURER 4000K, 70 CRI 18,220 400,000 HRS B2-UO-G2  4,015 LUMENS B1-UO-G1	480	166	166	LED PARKING LOT FIXTURE, PROVIDE WITH 25" ROUND TAPERED CURVED ALUMINUM POLE ON 3' BASE. LOWER LUMEN OUTPUT LIGHT FIXTURE MOUNTED ON OPPOSITE SIDE AT +10" FROM BASE OF POLE. HIGHER LUMEN OUTPUT LIGHT FIXTURE MOUNTED AT TOP OF POLE.
S2	MCGRAW-EDISON (2) GLNA-AF-03-LED-480-T4W-BK W/KW INDUSTRIES RAP-25-6.0-X-BLK-DM2180	-	LED BY MANUFACTURER 4000K, 70 CRI 35,968 LUMENS 40,000 HRS B2-UO-G2	480	332	332	LED PARKING LOT FIXTURE, PROVIDE (2) HEADS PER POLE AT 180 DEGREES. PROVIDE WITH 25" ROUND ALUMINUM POLE ON 3' BASE.

## LIGHT FIXTURE SCHEDULE

**DESCRIPTION**

The Galleonaire LED luminaire features advanced thermally conductive polymer heatsinks and open frame endcaps for a sleek aesthetic with significant weight reduction. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

### SPECIFICATION FEATURES

**Construction**  
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Open frame die-cast aluminum end caps provide structural support for the housing and heatsinks. Thermally conductive polymer heatsinks offer significant weight reduction while fully maintaining thermal management of the Light Squares. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP68 rated.

**Optics**  
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 2700K, 3000K, 5000K and 6000K CCT.

**Electrical**  
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge. The Galleonaire LED luminaire is suitable for operation in -40°C to 40°C ambient environments. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 50,000 hours. Available in standard 1A drive current and optional 600mA and 800mA drive currents (nominal).

**Mounting**  
**STANDARD ARM MOUNT:**  
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall

mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

**Finish**  
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is dark gray, non-paintable. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

**Warranty**  
Five-year warranty.

**Warranty**  
Five-year warranty

**McGraw-Hill**

Catalog #		Type
Project		
Comments		Date
Prepared by		




WaveLinux

**CERTIFICATION DATA**

3G Vibration Rated  
 IP66 Rated  
 ISO 9501  
 M79 / LM80 Compliant  
 UL/cUL Wet Location Listed

**ENERGY DATA**  
**Electronic LED Driver**  
 >0.9 Power Factor  
 <20% Total Harmonic Distortion  
 120V-277V 50/60Hz  
 347V, 480V 60Hz  
 -60°C Min. Temperature  
 40°C Max. Temperature


 T  
 December 17, 20

December 17, 2019 8:41 AM

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Missouri Certificate of Authority #: F0040333

PROJECT:

Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

# Final Development Plan

**ISSUE:**

[illegible]

PROFESSIONAL SEAL:



ANDREA C. MULVANY  
LICENSE # PE-2013039892 08/11/2022  
DRAWING TITLE:

DRAWING TITLE:

## SITE LIGHTING PHOTOMETRICS

IOR NO: 1249

SCALE:

DATE: 08.12.2022

DRAWN BY: MAP

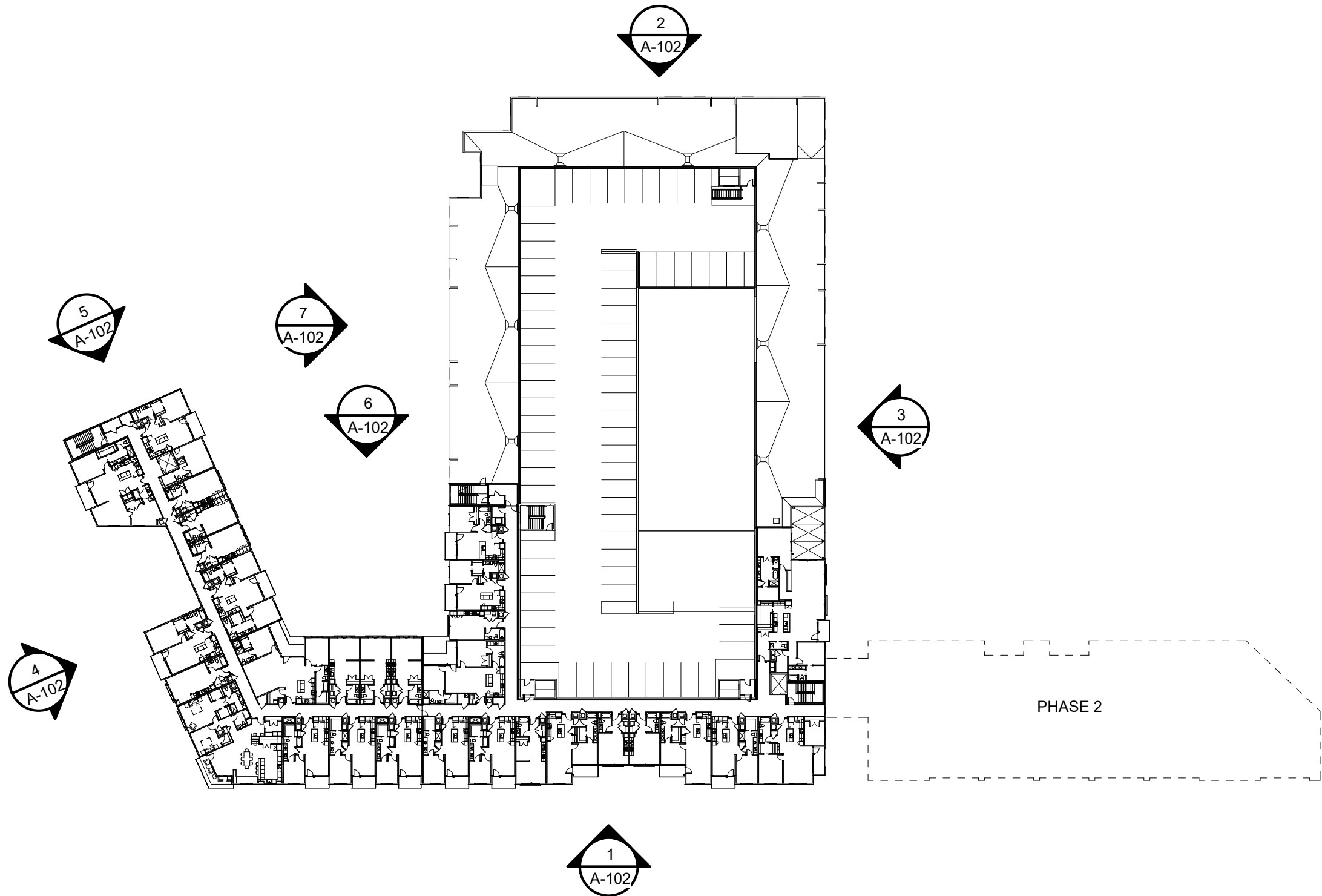
**SHEET NO:**

# E300



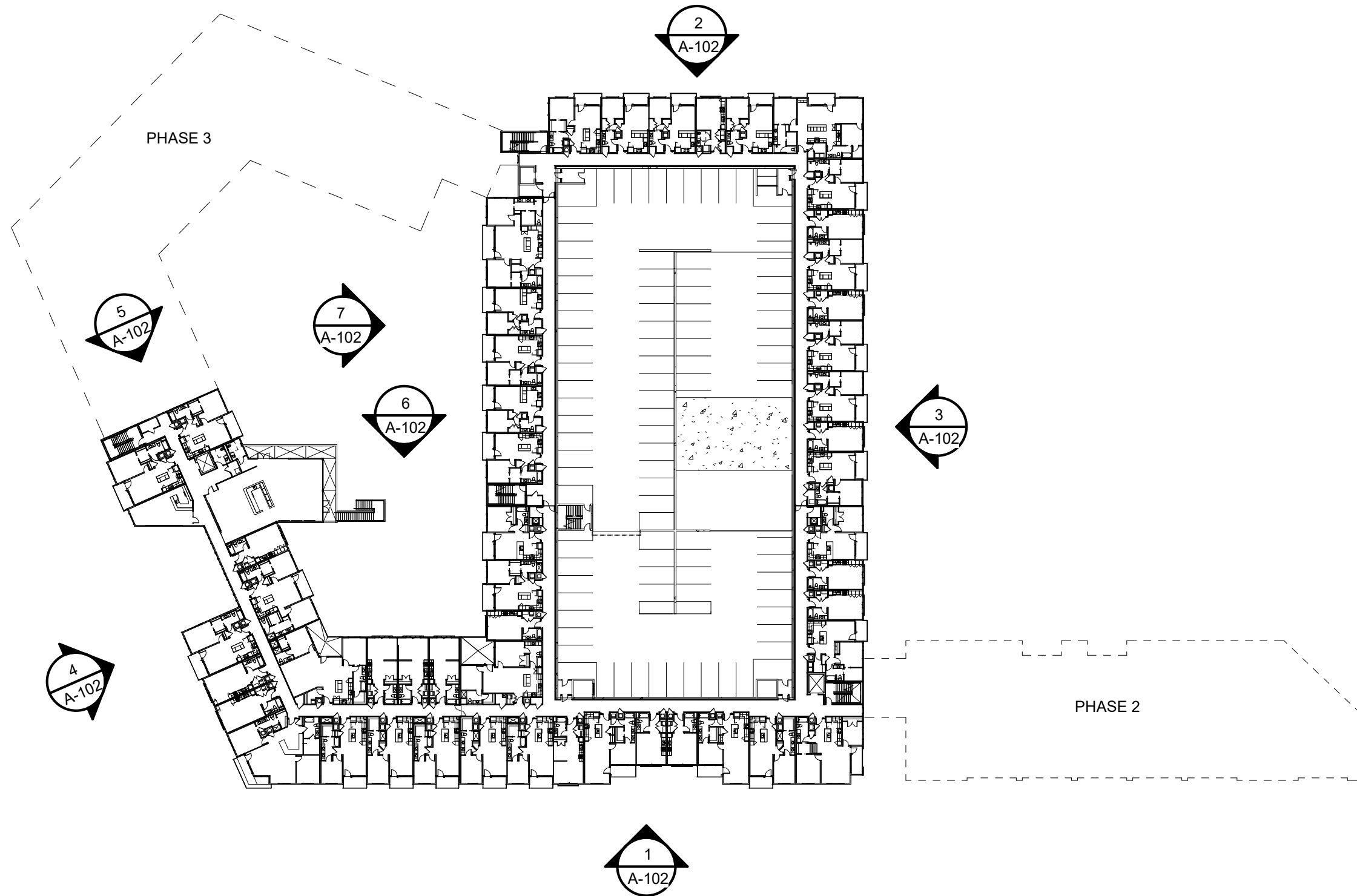
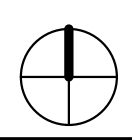
HA:Paragon Star V7\_Multifamily\_Rev14 Families v18LCK 24436\_FDP-N-Village.dwg 11/25/2015 9:09:24 AM EFOSTER 0386921

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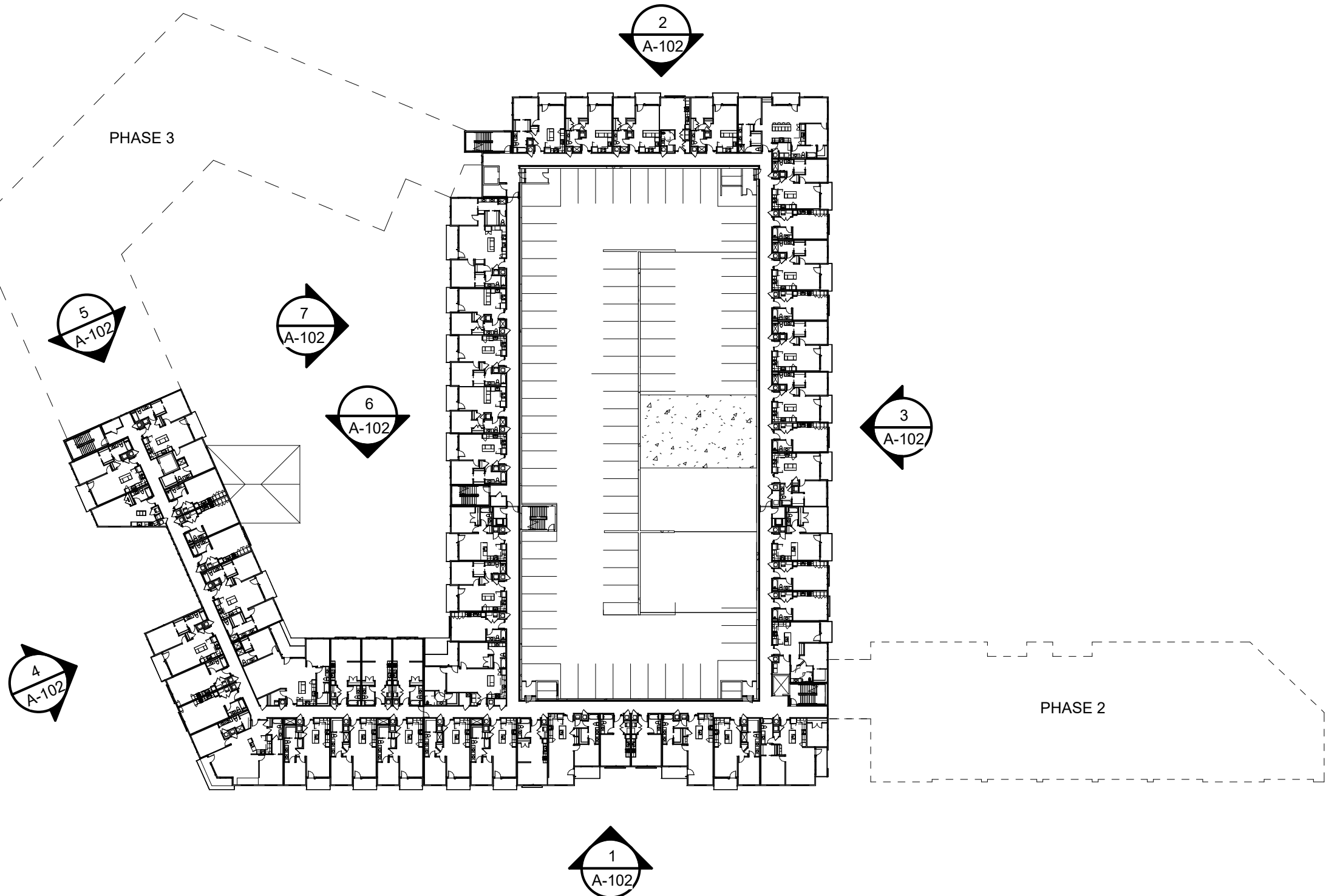
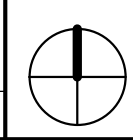
5 FLOOR PLAN - 5TH FLOOR

A-101 SCALE : 1" = 60'-0"



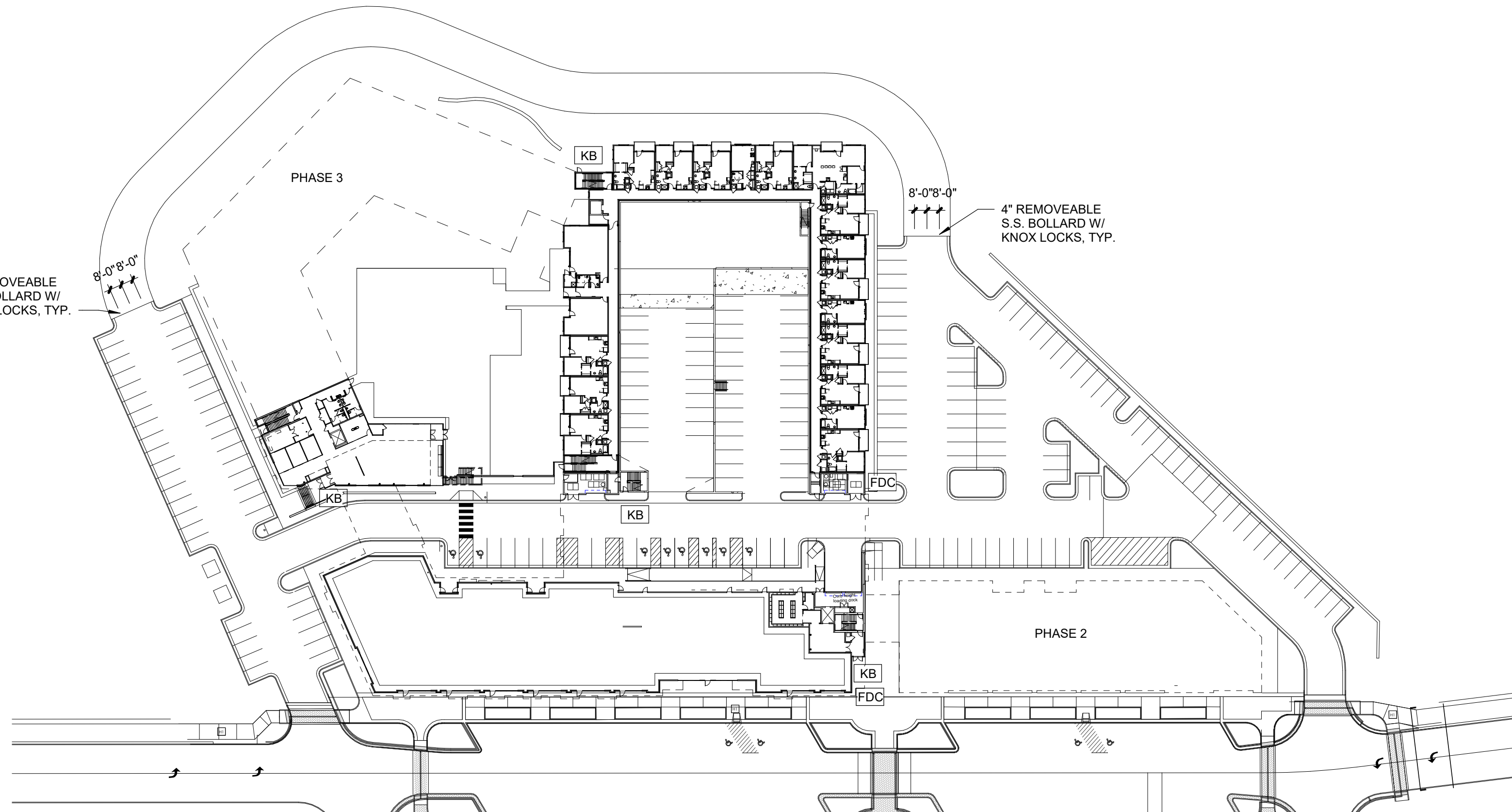
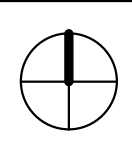
2 FLOOR PLAN - 2ND FLOOR

A-101 SCALE : 1" = 60'-0"



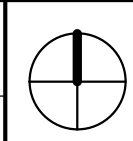
3 FLOOR PLAN - 3RD & 4TH FLOORS

A-101 SCALE : 1" = 60'-0"



1 FLOOR PLAN - 1ST FLOOR

A-101 SCALE : 1" = 60'-0"



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PROJECT:

Paragon Star North Village  
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

PROFESSIONAL SEAL:

DRAWING TITLE:

FLOOR PLANS

JOB NO: 1249

SCALE:

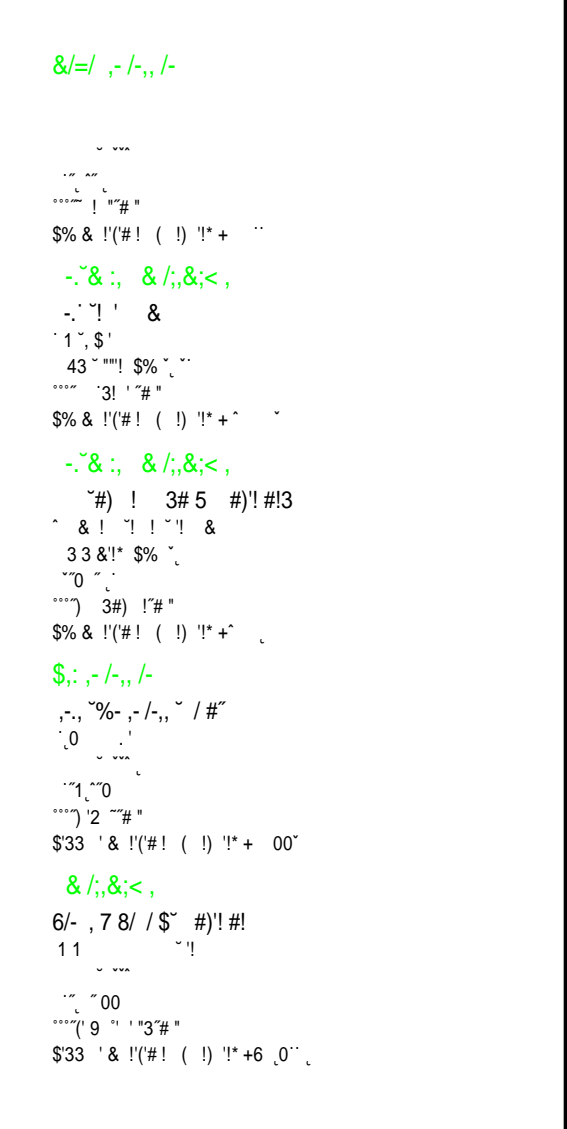
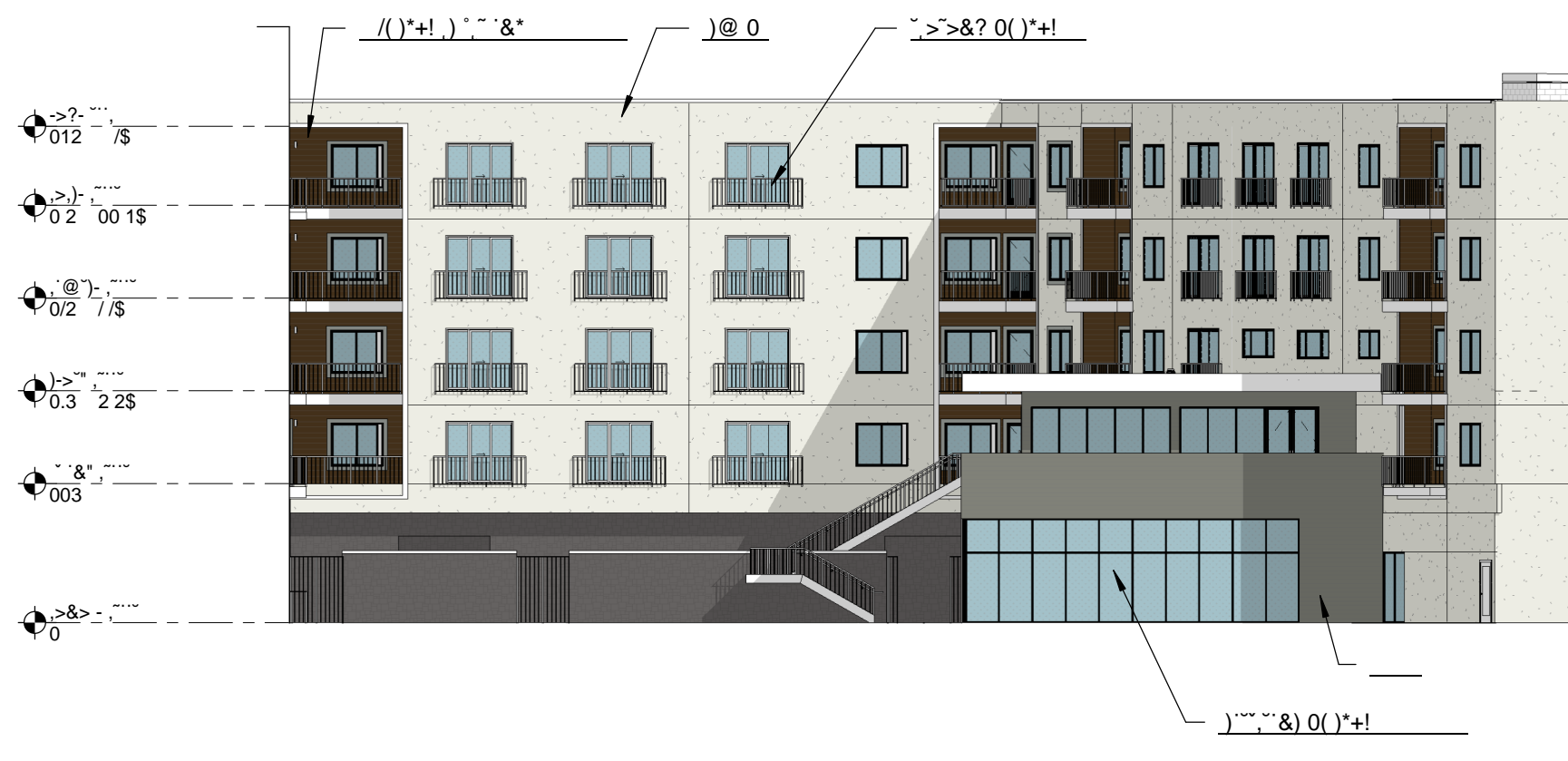
DATE: 11/05/24

DRAWN BY:

SHEET NO:

A-101





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