



Building Elevation Summary Status
August 13, 2024

Application Number: PL2023188
 Application Type: Commercial Preliminary Development Plan
 Application Name: Oldham Village Phase 1
 Location: 1025 SW JEFFERSON ST, LEES SUMMIT, MO 64081
 1031 SW JEFFERSON ST, LEES SUMMIT, MO 64081
 101 SW OLDHAM PKWY, LEES SUMMIT, MO 64081

Application Number: PL2024015
 Application Type: Commercial Preliminary Development Plan
 Application Name: Oldham Village Phase 2
 Location: 1206 SW MARKET ST, LEES SUMMIT, MO 64081
 1210 SW MARKET ST, LEES SUMMIT, MO 64081
 1310 SW MARKET ST, LEES SUMMIT, MO 64081
 1306 SW MARKET ST, Unit:A, LEES SUMMIT, MO 64081
 101 SW OLDHAM PKWY, LEES SUMMIT, MO 64081
 1051 SW JEFFERSON ST, LEES SUMMIT, MO 64081

The proposed development plans, referenced above, are

Lot #	Use	Elevation Provided	Concept Only	Use Approval
1	Parking Lot	N/A		Yes
2	Fitness Tenant	No		Yes
3	Drive Thru	Typical		Yes
4	Restaurant	No Yes	Yes	
5	Restaurant	Yes		Yes
6	Drive Thru	Typical		Yes
7	Drive Thru	Rendering	Yes	
8	Drive Thru	Yes		Yes
9	Car Wash	Yes		Yes
10	Coffee/Retail	Yes		Yes
11	Apartment	Yes		Yes
12	Drive Thru	No Typical	Yes	Yes
13	Grocery	No	Yes	
14	Drive Thru	No	Yes	
15	Drive Thru	No	Yes	
16	Drive Thru	No Yes	Yes	Yes
17	Drive Thru	No	Yes	
18	Gas Station	No Yes	Yes	Yes

Feel free to contact me should you have any additional questions regarding this project.

Thank You,

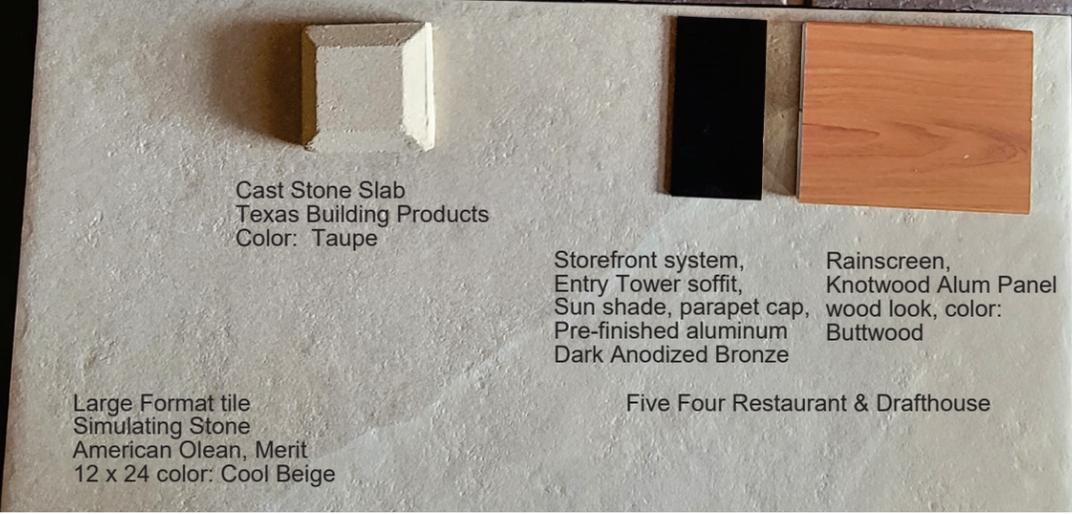
Matt Schlicht



Cultured Stone
Coroando Stone
pro lLedge Huron



Modular standard face brick
Cloud Cermaics
Ebony Iron/Spot, Smooth
Mortar: Americamix, Dark Black



Cast Stone Slab
Texas Building Products
Color: Taupe

Storefront system, Rainscreen,
Entry Tower soffit, Knotwood Alum Panel
Sun shade, parapet cap, wood look, color:
Pre-finished aluminum Buttwood
Dark Anodized Bronze

Large Format tile
Simulating Stone
American Olean, Merit
12 x 24 color: Cool Beige

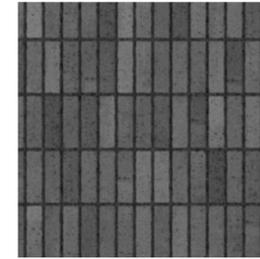
Five Four Restaurant & Drafthouse



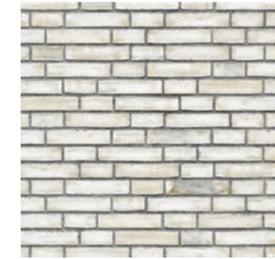
Main Entry Perspective



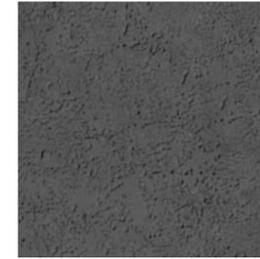
Materials



Brick - Charcoal



Brick - Beige



Stucco - Charcoal



Wood - Light Stain

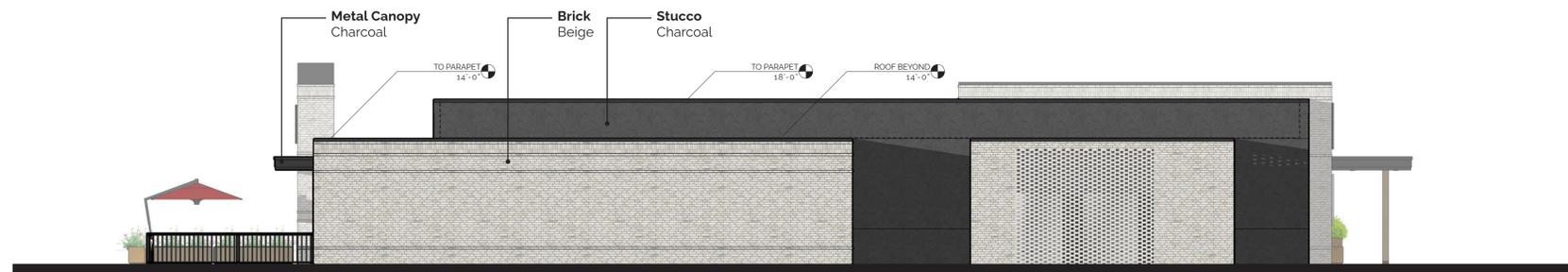
Elevations



South Elevation not to scale



West Elevation not to scale

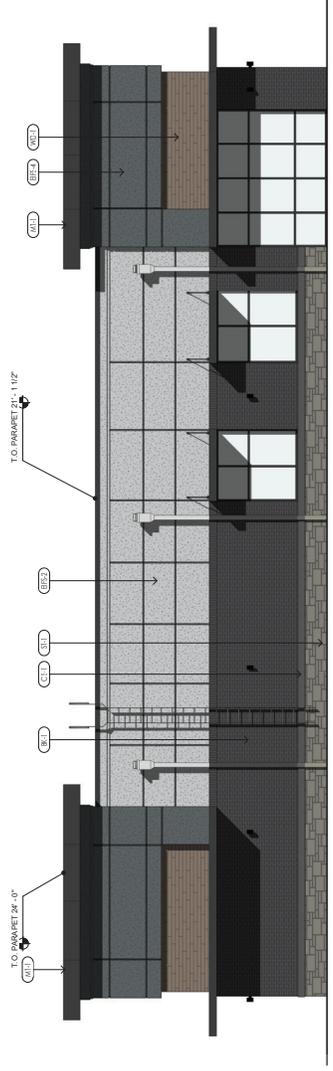


North Elevation not to scale

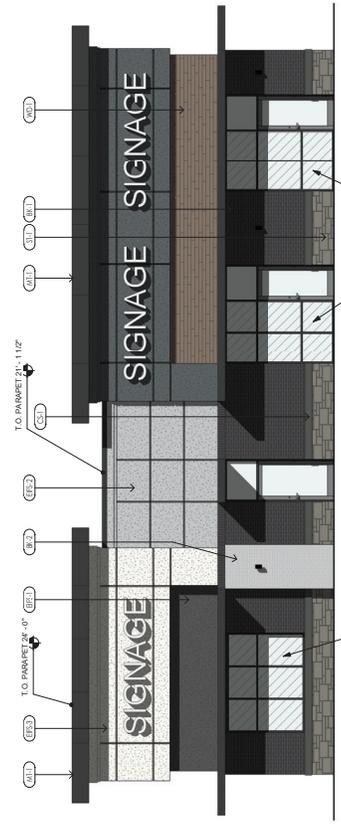


East Elevation not to scale

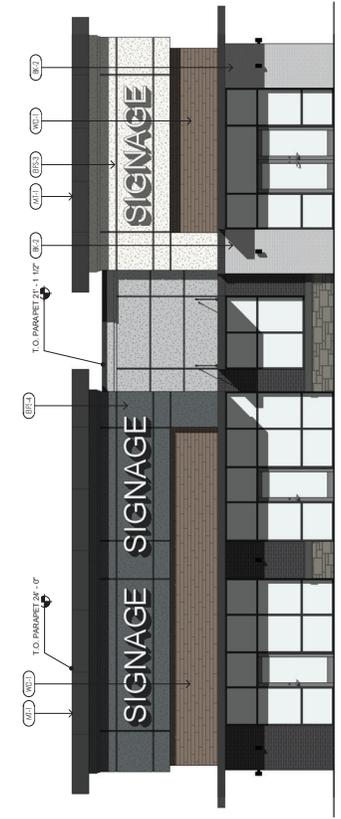
EXTERIOR FINISH LEGEND		
MARK	DESCRIPTION	COMMENTS
W-1	WALL FACE BRICK	CONCRETE
W-2	WALL FACE BRICK	CONCRETE
W-3	WALL FACE BRICK	CONCRETE
W-4	WALL FACE BRICK	CONCRETE
W-5	WALL FACE BRICK	CONCRETE
W-6	WALL FACE BRICK	CONCRETE
W-7	WALL FACE BRICK	CONCRETE
W-8	WALL FACE BRICK	CONCRETE
W-9	WALL FACE BRICK	CONCRETE
W-10	WALL FACE BRICK	CONCRETE
W-11	WALL FACE BRICK	CONCRETE
W-12	WALL FACE BRICK	CONCRETE
W-13	WALL FACE BRICK	CONCRETE
W-14	WALL FACE BRICK	CONCRETE
W-15	WALL FACE BRICK	CONCRETE
W-16	WALL FACE BRICK	CONCRETE
W-17	WALL FACE BRICK	CONCRETE
W-18	WALL FACE BRICK	CONCRETE
W-19	WALL FACE BRICK	CONCRETE
W-20	WALL FACE BRICK	CONCRETE
W-21	WALL FACE BRICK	CONCRETE
W-22	WALL FACE BRICK	CONCRETE
W-23	WALL FACE BRICK	CONCRETE
W-24	WALL FACE BRICK	CONCRETE
W-25	WALL FACE BRICK	CONCRETE
W-26	WALL FACE BRICK	CONCRETE
W-27	WALL FACE BRICK	CONCRETE
W-28	WALL FACE BRICK	CONCRETE
W-29	WALL FACE BRICK	CONCRETE
W-30	WALL FACE BRICK	CONCRETE
W-31	WALL FACE BRICK	CONCRETE
W-32	WALL FACE BRICK	CONCRETE
W-33	WALL FACE BRICK	CONCRETE
W-34	WALL FACE BRICK	CONCRETE
W-35	WALL FACE BRICK	CONCRETE
W-36	WALL FACE BRICK	CONCRETE
W-37	WALL FACE BRICK	CONCRETE
W-38	WALL FACE BRICK	CONCRETE
W-39	WALL FACE BRICK	CONCRETE
W-40	WALL FACE BRICK	CONCRETE
W-41	WALL FACE BRICK	CONCRETE
W-42	WALL FACE BRICK	CONCRETE
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W-71	WALL FACE BRICK	CONCRETE
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W-73	WALL FACE BRICK	CONCRETE
W-74	WALL FACE BRICK	CONCRETE
W-75	WALL FACE BRICK	CONCRETE
W-76	WALL FACE BRICK	CONCRETE
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W-78	WALL FACE BRICK	CONCRETE
W-79	WALL FACE BRICK	CONCRETE
W-80	WALL FACE BRICK	CONCRETE
W-81	WALL FACE BRICK	CONCRETE
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W-90	WALL FACE BRICK	CONCRETE
W-91	WALL FACE BRICK	CONCRETE
W-92	WALL FACE BRICK	CONCRETE
W-93	WALL FACE BRICK	CONCRETE
W-94	WALL FACE BRICK	CONCRETE
W-95	WALL FACE BRICK	CONCRETE
W-96	WALL FACE BRICK	CONCRETE
W-97	WALL FACE BRICK	CONCRETE
W-98	WALL FACE BRICK	CONCRETE
W-99	WALL FACE BRICK	CONCRETE
W-100	WALL FACE BRICK	CONCRETE



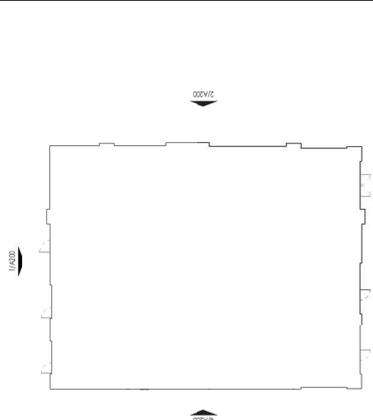
WEST ELEVATION 4
SCALE: 3/8" = 1'-0"



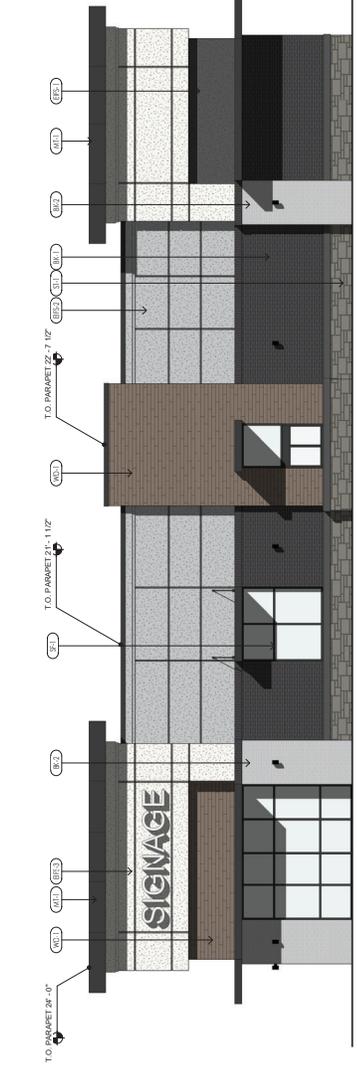
NORTH ELEVATION 1
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION 3
SCALE: 3/8" = 1'-0"



KEY PLAN 5
SCALE: 1/8" = 1'-0"



EAST ELEVATION 2
SCALE: 3/8" = 1'-0"

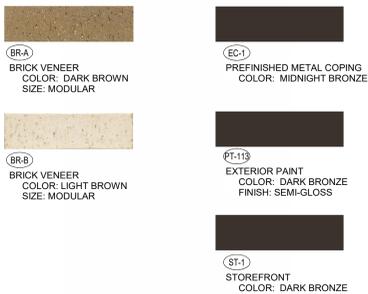


PAINTED CORTEN STEEL
COLOR: SMALLS ORANGE

PAINTED CANOPY STEEL
COLOR: SMALLS ORANGE

METAL PANEL
COLOR: MIDNIGHT BRONZE

EXTERIOR FINISHES



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW

ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	9	6'-4"	1'-0"	0"	No
C3-A	Exterior Canopy	1	9'-0"	5'-0"	2'-0"	Yes
C4-B	Exterior Canopy	1	9'-4"	4'-0"	2'-4"	Yes
C4-G	Exterior Canopy	2	7'-0"	4'-0"	2'-4"	Yes
C4-L	Exterior Canopy	1	28'-0"	4'-0"	2'-4"	Yes
Grand total		14				



PERSPECTIVE VIEW



EXTERIOR ELEVATION



EXTERIOR ELEVATION



PERSPECTIVE VIEW



EXTERIOR ELEVATION



EXTERIOR ELEVATION

Oldham Village - Lot 8



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



CHIPMAN DESIGN
ARCHITECTURE INC
1350 E TOUHY AVE
FIRST FLOOR EAST
DES PLAINES, IL 60018
TEL: 847.298.6900

HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF Lee's Summit, MO RELATING TO STRUCTURES AND BUILDINGS.



CHICK-FIL-A
Lee's Summit FSU
SW Corner of US Hwy 50 and MO State
Route 291
Lee's Summit, MO 64081

FSR#05248
BUILDING TYPE / SIZE: P14 LSR LRG
RELEASE: 22.08

REVISION SCHEDULE

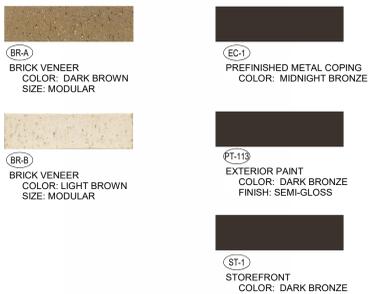
NO.	DATE	DESCRIPTION

DESIGN DEVELOPMENT

CONSULTANT PROJECT # 23-3906.00
PRINTED FOR DESIGN DEVELOPMENT
DATE 07/12/23
DRAWN BY ZJ
CHECKED BY CG
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SHEET DESIGN OVERVIEW

SHEET NUMBER
X-900

EXTERIOR FINISHES



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW

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PERSPECTIVE VIEW



EXTERIOR ELEVATION



EXTERIOR ELEVATION



PERSPECTIVE VIEW



EXTERIOR ELEVATION



EXTERIOR ELEVATION



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



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Lee's Summit FSU
SW Corner of US Hwy 50 and MO State Route 291
Lee's Summit, MO 64081

FSR#05248
BUILDING TYPE / SIZE: P14 LSR LRG
RELEASE: 22.08

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SHEET DESIGN OVERVIEW

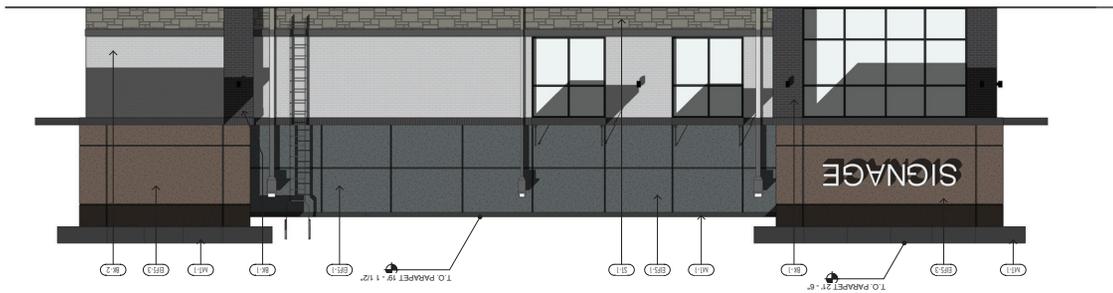
SHEET NUMBER **X-900**

Oldham Village - Lot 10

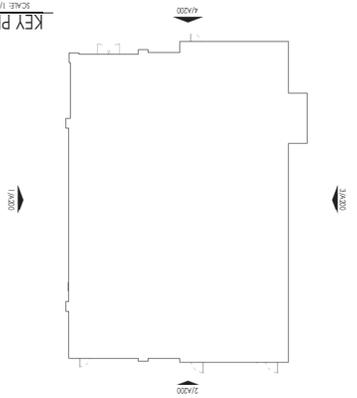
EXTERIOR ELEVATIONS

LOT 10 - NORTH SIDE OVERLAY

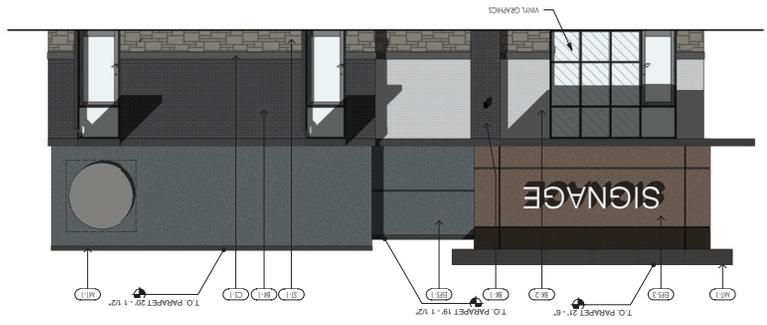
1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



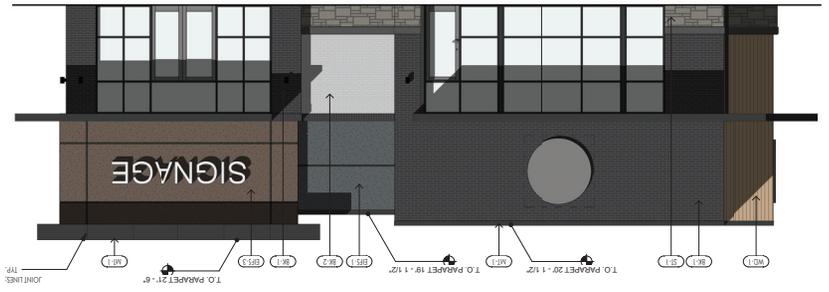
5 KEY PLAN
 SCALE: 1/8" = 1'-0"



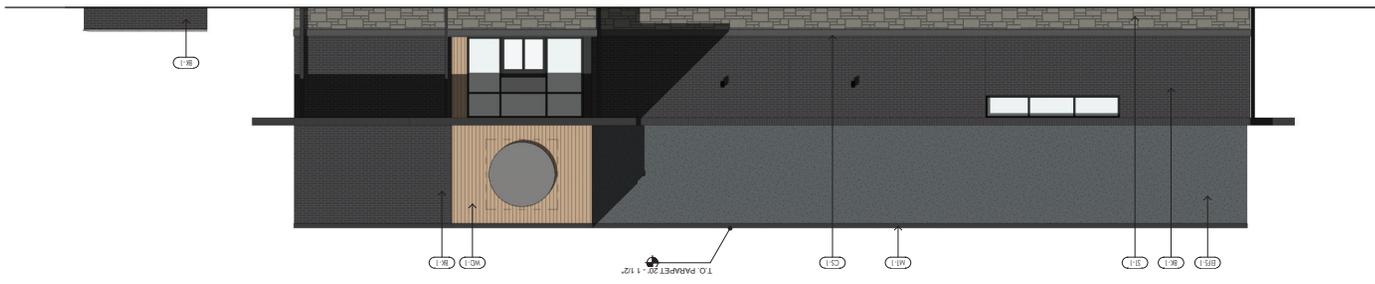
2 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



EXTERIOR FINISH LEGEND	
MARK	DESCRIPTION
MAK1	MAINTENANCE
MAK2	MAINTENANCE
MAK3	MAINTENANCE
MAK4	MAINTENANCE
MAK5	MAINTENANCE
MAK6	MAINTENANCE
MAK7	MAINTENANCE
MAK8	MAINTENANCE
MAK9	MAINTENANCE
MAK10	MAINTENANCE
MAK11	MAINTENANCE
MAK12	MAINTENANCE
MAK13	MAINTENANCE
MAK14	MAINTENANCE
MAK15	MAINTENANCE
MAK16	MAINTENANCE
MAK17	MAINTENANCE
MAK18	MAINTENANCE
MAK19	MAINTENANCE
MAK20	MAINTENANCE
MAK21	MAINTENANCE
MAK22	MAINTENANCE
MAK23	MAINTENANCE
MAK24	MAINTENANCE
MAK25	MAINTENANCE
MAK26	MAINTENANCE
MAK27	MAINTENANCE
MAK28	MAINTENANCE
MAK29	MAINTENANCE
MAK30	MAINTENANCE
MAK31	MAINTENANCE
MAK32	MAINTENANCE
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MAK35	MAINTENANCE
MAK36	MAINTENANCE
MAK37	MAINTENANCE
MAK38	MAINTENANCE
MAK39	MAINTENANCE
MAK40	MAINTENANCE
MAK41	MAINTENANCE
MAK42	MAINTENANCE
MAK43	MAINTENANCE
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MAK91	MAINTENANCE
MAK92	MAINTENANCE
MAK93	MAINTENANCE
MAK94	MAINTENANCE
MAK95	MAINTENANCE
MAK96	MAINTENANCE
MAK97	MAINTENANCE
MAK98	MAINTENANCE
MAK99	MAINTENANCE
MAK100	MAINTENANCE



AERIAL VIEW OF PHASE I & II LOOKING SOUTH



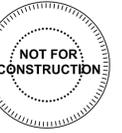
PHASE I CLUBHOUSE



PHASE II SOUTH COURTYARD AND CLUBHOUSE



PHASE II POOL COURTYARD





1 NORTH ELEVATION
Scale: 1" = 20'-0"

CLUBHOUSE ENTRY



2 SOUTH ELEVATION
Scale: 1" = 20'-0"



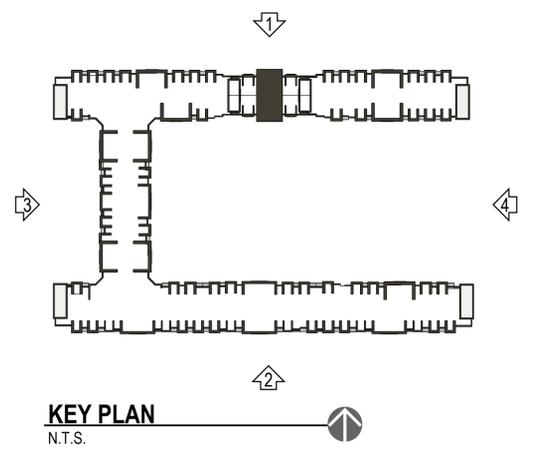
3 WEST ELEVATION
Scale: 1" = 20'-0"



4 EAST ELEVATION
Scale: 1" = 20'-0"

MATERIAL LEGEND

-  LAP SIDING
SW SNOWBOUND 7004
-  LAP SIDING
SW JOGGING PATH 7638
-  LAP SIDING
SW URBANE BRONZE 7048
-  LAP SIDING
WOOD-LOOK
-  STONE VENEER
-  BRICK VENEER
ENDICOTT - SIENNA IRONSPOT
-  TRIM
SW URBANE BRONZE 7048
-  FIBER CEMENT PANELS



ARCHITECTURE
LANDSCAPE
ARCHITECTURE
ENERGY SERVICES

NSPJ

ARCHITECTS™
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208

P. 913.831.1415
F. 913.831.1563
NSPJARCH.COM
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OLDHAM VILLAGE

50 & 291 MIXED USE
LEE'S SUMMIT, MISSOURI

DRAWING RELEASE LOG
03.24.23 PDP SUBMITTAL

REVISIONS

JOB NO. 708421
DRAWN BY RK/LG
PRELIM. DEVELOP. PLAN

DATE 03.17.23

SHEET NAME
EXTERIOR ELEVATIONS
SHEET NO.

A3.10



1 SOUTH ELEVATION
Scale: 1" = 20'-0"

CLUBHOUSE ENTRY



2 NORTH ELEVATION
Scale: 1" = 20'-0"

CLUBHOUSE



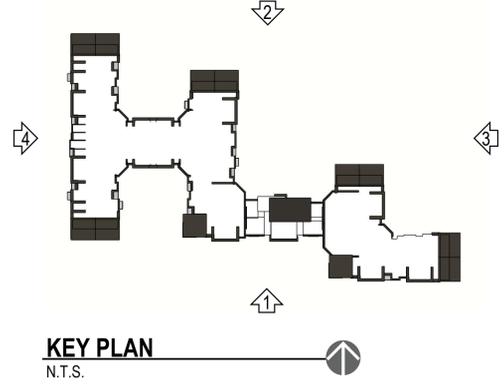
3 EAST ELEVATION
Scale: 1" = 20'-0"



4 WEST ELEVATION
Scale: 1" = 20'-0"

MATERIAL LEGEND

	LAP SIDING SW SNOWBOUND 7004
	LAP SIDING SW JOGGING PATH 7638
	LAP SIDING SW URBANE BRONZE 7048
	BRICK VENEER ENDICOTT - SIENNA IRONSPOT
	TRIM SW URBANE BRONZE 7048



ARCHITECTURE
LANDSCAPE
ARCHITECTURE
ENERGY SERVICES

NSPJ

ARCHITECTS™
3515 W. 75TH ST., SUITE 201
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OLDHAM VILLAGE

50 & 291 MIXED USE
LEE'S SUMMIT, MISSOURI

DRAWING RELEASE LOG
03.24.23 PDP SUBMITTAL

REVISIONS

JOB NO. 708421
DRAWN BY RKL/G
PRELIM. DEVELOP. PLAN

DATE 03.17.23

SHEET NAME
EXTERIOR ELEVATIONS
SHEET NO.

A3.20

EXTERIOR FINISH SCHEDULE

TAG	MATERIAL	APPLICATION	MANUFACTURER	PRODUCT	COLOR/FINISH	DIMENSION
FINISH MATERIALS						
EF-1	EXTERIOR WOOD SIDING	FRONT FACADE EXTERIOR WALLS	NICHIHA FIBER CEMENT	VINTAGE WOOD AWP 3030	CEDAR	17-7/8" H x 119 5/16" L
EB-1	BRICK (CLIP-SYSTEM)	FRONT OF BUILDING	NICHIHA FIBER CEMENT	VINTAGE BRICK	WHITE WASH (PAINT EP-1)	7 3/8" x 2 1/2" x 3/4"
EB-2	BRICK (CLIP-SYSTEM)	ACCENT TOWER BRICK	NICHIHA FIBER CEMENT	VINTAGE BRICK	ALEXANDRIA BLUFF	7 3/8" x 2 1/2" x 3/4"
EXTERIOR PAINTS						
EP-1	EXTERIOR PAINT	MAIN WALL SURFACE	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (N455)	OC-125 MOONLIGHT WHITE	
EP-2	EXTERIOR PAINT	BRICK TOWER PARAPET	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (N455)	2105-20 ROOT BEER CANDY	
EP-3	EXTERIOR PAINT	DUMPSTER WALLS, REAR DOOR	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (N455)	HC-170 STONINGTON GREY	
EP-4	METAL PAINT	BOLLARDS	BENJAMIN MOORE	COROTECH HIGH SOLIDS RAPID DRY ENAMEL	SAFETY YELLOW	
EP-5	METAL PAINT	DUMPSTER GATES AND PYLON POLE	BENJAMIN MOORE	COROTECH HIGH SOLIDS RAPID DRY ENAMEL	FACTORY FINISH BLACK	
EP-6	ANTI-GRAFFITI COAT	EXTERIOR WALLS	BENJAMIN MOORE	ALIPHATIC ACRYLIC URETHANE - GLOSS	V500-00 CLEAR	
EP-7	EXTERIOR PAINT	EXTERIOR WALLS	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (N455)	"TEAL" COLOR CODE TBD	
EXTERIOR MISC.						
B-1	DT BAND - METAL	DRIVE-THRU BAND	BY MANUFACTURER	BY MANUFACTURER	ORANGE, PANTONE #3564 C	
B-2	BAND - METAL	OVER STOREFRONT	BY MANUFACTURER	BY MANUFACTURER	TEAL, PANTONE #326 C	
C-1	CANOPY - METAL	DRIVE-THRU CANOPY	BY MANUFACTURER	BY MANUFACTURER	ORANGE, PANTONE #3564 C	
C-2	CANOPY - METAL	BUILDING CANOPIES	BY MANUFACTURER	BY MANUFACTURER	TEAL, PANTONE #326 C	
S-1	SHUTTERS	EXTERIOR WALLS REAR OF BUILDING	BY MANUFACTURER	BY MANUFACTURER	PROVIDED BY MANUFACTURER	
DP-1	DOOR	MAIN ENTRANCE DOORS	BY MANUFACTURER	BY MANUFACTURER	ORANGE, PANTONE #3564 C	

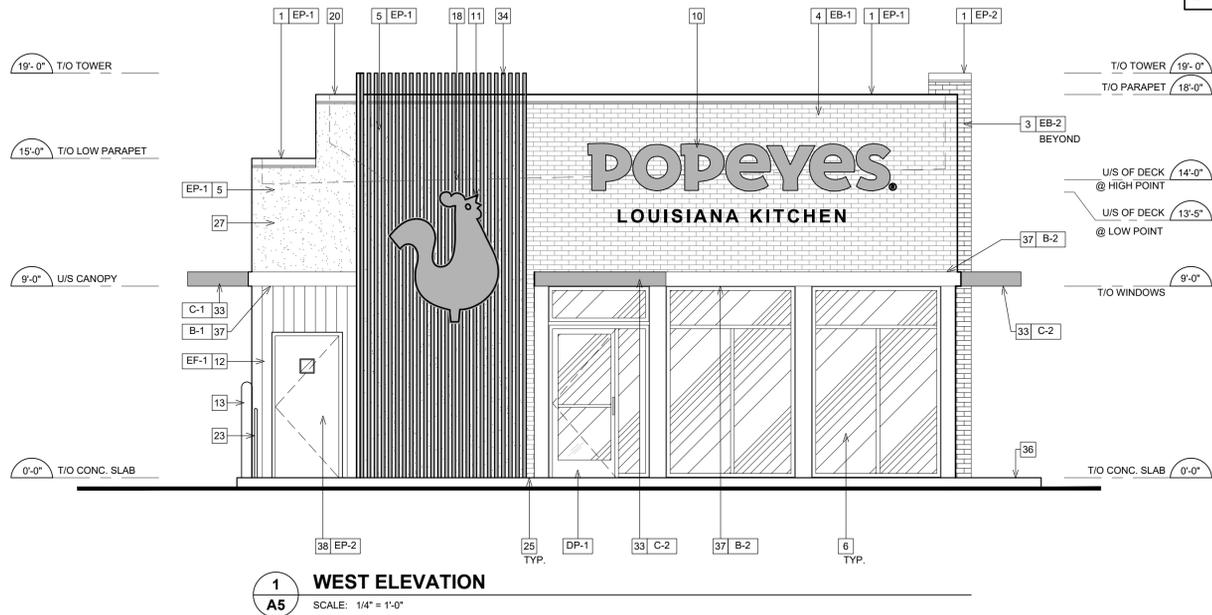
EXTERIOR ELEVATION NOTES

- PRE-FINISHED METAL CAP FLASHING CW DRIP.
- G.C. TO PROVIDE AND INSTALL DOUBLE LAYER OF REINFORCING MESH TO MIN. 2" ABOVE GRADE AT ALL EIFS LOCATIONS (TYP.) IN ORDER TO ATTAIN ABUSE RESISTANCE STUCCO SYSTEM.
- NICHIHA VINTAGEBRICK, COLOR: ALEXANDRIA BUFF. REFER TO POPEYES MASTER SCHEDULE.
- NICHIHA VINTAGEBRICK, COLOR: WHITE WASH. REFER TO POPEYES MASTER SCHEDULE.
- EIFS. REFER TO POPEYES MASTER SCHEDULE.
- PRE-FINISHED 'BLACK ANODIZED' ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING.
- EXPOSED FOUNDATION TO BE PARGED AND FREE OF IMPERFECTIONS.
- GAS UTILITY METER.
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING DETAILS.
- INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C. TO PROVIDE AND INSTALL 3/4" EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING AND ALL FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C. TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION.
- NON-ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C. TO PROVIDE AND INSTALL 3/4" EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C. TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION.
- NICHIHA VINTAGE WOOD, COLOR: CEDAR. REFER TO POPEYES MASTER SCHEDULE.
- PROVIDE & INSTALL 6" DIAMETER STEEL PIPE BOLLARD TOP AT 4'-6" A.F.F. G.C. TO PAINT "SAFETY YELLOW". REFER TO POPEYES MASTER SCHEDULE.
- DRIVE-THRU WINDOW. REFER TO DRIVE-THRU WINDOW SCHEDULE ON SHEET A11.
- N/A.
- N/A.
- N/A.
- DASHED LINE INDICATES T/O OF ROOF BEHIND PARAPET.
- C/T CABINET AND METER.
- LINE OF PARAPET WALLS BEYOND.
- GENERAL PURPOSE EXTERIOR LIGHTING FIXTURES.
- WALK-IN COOLER/FREEZER FINISH TO BE COMPLETED BY MANUFACTURER.
- METAL RAILING SUPPLIED AND INSTALLED BY G.C. (ONLY IF REQUIRED) ARCHITECT TO COORDINATE WITH CIVIL ENGINEER ON THE SITE PLAN. REFER TO DETAIL 2/A8.
- PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. G.C. TO COORDINATE CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE SPLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
- ALL BASE FLASHING TO MATCH ADJACENT MATERIAL COLORS.
- HOSE BIB. G.C. TO PAINT. COLOUR TO MATCH ADJACENT STUCCO COORDINATE EXACT LOCATION WITH G.C. REFER TO MECHANICAL DRAWINGS.
- N/A.
- TEAL (PANTONE #326 C) ALUMINUM SHUTTERS, SUPPLY & INSTALL BY SIGN COMPANY.
- G.C. TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 8" FROM FACE OF PANELS AND LENGTH OF CURB IS EXTENT OF FEATURE WALL.
- N/A.
- REAR EXIT DOOR. REFER TO POPEYES MASTER SCHEDULE.
- WALL SCONCE SUPPLY AND INSTALL BY SIGN COMPANY.
- OPEN BOTTOM ALUMINUM CANOPY WITH DOWNLIGHT LED LIGHT FIXTURE. SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. ALL CANOPIES IN WALL SUPPORT BY G.C. REFER TO STRUCTURAL DRAWINGS.
- VERTICAL SIMULATED ALUMINUM SLATS. REFER TO POPEYES MASTER SCHEDULE.
- N/A.
- CONCRETE SIDEWALK (BY G.C.) REFER TO SITE PLAN.
- NON ILLUMINATED 8" ALUMINUM FASCIA BAND. SUPPLY BY SIGN COMPANY AND INSTALLED BY G.C.
- NEW EXTERIOR DOOR. COLOR: ROOT BEER. REFER TO POPEYES MASTER SCHEDULE.
- EXTERIOR ROOF LADDER.

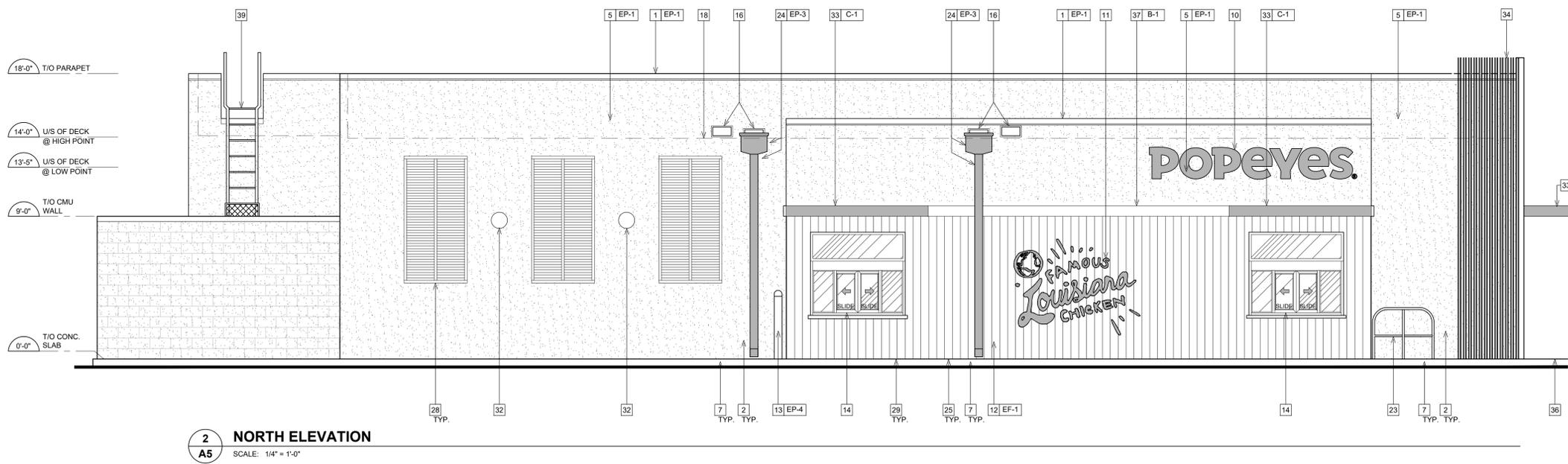
ISSUE TABLE		
No.	Date (mm/dd/yy)	Description
01	10-27-21	2124 PROTOTYPE DOCUMENTS
02	01-26-24	2124 PROTOTYPE DOCUMENTS

REVISIONS		
No.	Date	Description
01	01-26-24	CLIENT REVISIONS

DRAWINGS REVISED AS PER DESIGN BULLETIN		
No.	Date	Description



NOTE
ALL SIGNAGE UNDER SEPARATE PERMIT



GENERAL NOTES

- SEALANT / CAULKING AROUND DOOR / WINDOW FRAMES. COLOUR: TO MATCH WINDOW / DOOR FRAMES.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DRAWINGS AND SPECIFICATIONS.

SYMBOL LEGEND

- 1 NOTE REFERENCE. REFER TO ELEVATION NOTES
- FNE FINISH TYPE

THIS DRAWING IS OWNED BY OR LICENSED FOR USE BY POPEYES LOUISIANA KITCHEN (OR ITS AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, COPIED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF POPEYES LOUISIANA KITCHEN. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMINAL AND CIVIL PENALTIES.

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Company Logo

WARMAN ARCHITECTURE-DESIGN
1735 SWIFT AVE.
NORTH KANSAS CITY, MISSOURI 64116
V. 816.474.2233 F. 816.474.1051

Project

POPEYES

Store Type
US 2124 PROTOTYPE
2124-21

Location
SWC MO Route 291 & Oldham Parkway
Lee's Summit, MO

EXTERIOR ELEVATIONS

Drawn cdt	Checked KAW
Scale 1/4"=1'-0"	Date MAY 15, 2024
Project No. 6094-24	Drawing No. A5.0

POPEYES LOUISIANA KITCHEN MODEL 2124, ADDRESS: CITY, STATE: 2124 PROTOTYPE DOCUMENTS (OCT 27, 2021) STORE NO. XXXXX

FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALL	CEILING
100 DINING ROOM	T200 24" X 24" TILE T402 INLAY	T111 TILE SIZE: REF. SCHEDULE T200 TILE SIZE: REF. SCHEDULE T125 FULL TILE	625S, 2850S PAINT T111, T125 TILE G-1 WALL COVERING	C4 2' X 7' ARMSTRONG, ULTIMA C3 GYP BOARD W/ PAINT 625S
101 SERVING AREA	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS) S2 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	T111 HAND SINK WALL TILE WP1 FRP PANEL	C3 GYP BOARD W/ SMOOTH WASHABLE PAINT
102 DRIVE-THRU STATION	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS) S2 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
103 KITCHEN	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS) S2 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP3 S.S. BEHIND COOK LINE WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
104 KITCHEN PREP	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS) S2 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
105 WALK-IN COOLER	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S.S. / ALUMINUM WITH 3/8" RADIUS	EXT S.S.	ALUMINUM GALVANIZED STAINLESS STEEL
105A WALK-IN FREEZER	GALVANIZED STAINLESS STEEL S1 SILKAL UNDER WIF SUBFLOOR	S.S. / ALUMINUM WITH 3/8" RADIUS	INT ALUMINUM GALVANIZED S.S. EXT S.S.	ALUMINUM GALVANIZED STAINLESS STEEL
106 MEN'S ROOM	T200 24" X 24" TILE	T108 FULL TILE SCHLUTER	T108 TILE	C3 GYP BOARD W/ 625S SMOOTH WASHABLE PAINT
107 WOMEN'S ROOM	T200 24" X 24" TILE	T108 FULL TILE SCHLUTER	T108 TILE	C3 GYP BOARD W/ 625S SMOOTH WASHABLE PAINT
108 VESTIBULE	T200 24" X 24" TILE	T125 FULL TILE	7069S T125	C3 GYP BOARD W/ 625S SMOOTH WASHABLE PAINT
109 NOT USED	-	-	-	-
110 EXTERIOR STORAGE	SEALED CONCRETE, SMOOTH FINISH	-	WP1 FRP PANEL	C3 GYP BOARD W/ 625S SMOOTH WASHABLE PAINT
111 ENTRY VESTIBULE	T200 24" X 24" TILE	T125 FULL TILE	2850S T125, W106	C3 GYP BOARD W/ 625S SMOOTH WASHABLE PAINT

DOOR & HARDWARE SCHEDULE

CONTRACTOR TO PURCHASE DOOR HARDWARE & FRAME DIRECTLY FROM PANDA'S NATIONAL ACCOUNT SUPPLIER. SUPPLIER TO PROVIDE ALL STOREFRONT DOOR HARDWARE, P-LAM DOORS & FRAMES AND HM DOORS & FRAMES

NO.	DR MATERIAL	SIZE	FRAME	FACE/EDGE	THK.	CORE	LITE	RTG	PASSAGE	LOCKSET	ELECT. STRIKE W/ ENTRY KEYPAD	PRIVACY	S.F. PULL	S.F. PUSH	PANIC	BUTT	CONT. P/AND	FLOOR	WALL	REMOVABLE CENTER POST	LATCH GUARD	DET. ALARM	SCRENS	KICKPLATE	CLOSER	CHAIN RESTRAINT W/ SPRINGS (EA. DOOR)	REMARKS
D1	ALUMINUM STOREFRONT	3'-6" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	KAWNEER CURTAIN 1620 SYSTEM. PULL ON EXTERIOR SIDE BY LOCKNET
D2	ALUMINUM STOREFRONT	3'-6" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	KAWNEER CURTAIN 1620 SYSTEM. PULL ON EXTERIOR SIDE BY LOCKNET
D3	S.C. WOOD	3'-0" X 7'-0"	H. MTL.	PLASTIC LAM. PRE-FINISHED	1 3/4"	SOLID	-	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	KICKPLATE ON EA. SIDE OF DOOR
D4	NOT USED	-	-	-	-	-	-	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	KICKPLATE ON INT. SIDE OF DOOR
D5	HOLLOW METAL	3'-6" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	W/ LOUVERED VENT & BUG SCREEN
D6	HOLLOW METAL	(2) 3'-0" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	W/ LOUVERED VENT & BUG SCREEN
D7	HOLLOW METAL	3'-0" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	W/ LOUVERED VENT & BUG SCREEN
D8	ALUMINUM STOREFRONT	3'-6" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	100% BLACK-OUT SPRANDREL FILM WITHIN LAMINATED GLASS. DO NOT APPLY FILM TO OUTER SURFACES OF GLASS
D19	ALUM. STORE VESTIBULE	3'-0" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	100% BLACK-OUT SPRANDREL FILM WITHIN LAMINATED GLASS. DO NOT APPLY FILM TO OUTER SURFACES OF GLASS

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

WALL SCHEDULE

NO.	DESCRIPTION
W1	3-5/8" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W2	3-5/8" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD ON ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W3	(2) 3-5/8" 20GA. METAL STUD WALLS W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W4	3-5/8" 20GA. METAL STUD LOW WALL W/ 5/8" TYPE "X" GYP. BD BOTH SIDES. PROVIDE 3 1/2" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C.
W5	6" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W6	6" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W7	3-5/8" 20GA. METAL STUD LOW WALL W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES. PROVIDE 3 1/2" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C.
W8	3-5/8" 20GA. METAL STUD LOW WALL W/ 5/8" TYPE "X" GYP. BOARD ONE SIDE. T.O.W. @ 30" A.F.F.
W9	2 1/2" 20GA. METAL STUD FURRING W/ 5/8" TYPE "X" GYP. BOARD ON ONE SIDE
W10	1 1/2" 20GA. METAL STUD FURRING W/ 5/8" TYPE "X" GYP. BOARD ON ONE SIDE

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

WALL PANEL SCHEDULE

NO.	MANUFACTURER	DESCRIPTION	MFG #	FINISH	REMARK
C7C	FAMILY BOOTH CANOPY	RICHFIELD, 209 W X 660 X 48.75H	-	-	SUPPLIED BY RICHFIELD/PANDA. INSTALLED BY GC
WP1	CRANE COMPOSITES INC.	F.R.P. THICKNESS: .075	LBCS.14	#636 (GRAY), SMISM	CONTACT: SALES@CRANECOMPOSITES.COM; 800-435-0080
WP2	KEC	S.S. PANEL (22 GA)	WP2	BRUSHED FINISH	FURNISHED BY PX. INSTALLED BY G.C.
WP3	KEC	S.S. PANEL (22 GA)	WP3	4" DIAMOND PATTERN FINISH	FURNISHED BY PX. INSTALLED BY G.C.

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

SPECIAL SURFACE SCHEDULE

NO.	MANUFACTURER	DESCRIPTION	MFG #	STAIN/COLOR	FINISH	REMARK
QZ-8	DALTILE	ARTIFICIAL QUARTZ	OQ03	BROADWAY BLACK	POLISHED	SERVICE COUNTER & DRINK STATION PROVIDED BY PX. INSTALLED BY G.C.

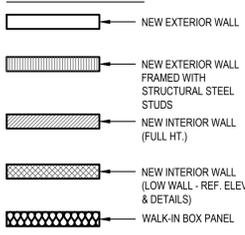
INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

PAINT SCHEDULE

NO.	MANUFACTURER	MFG #	COLOR	FINISH	REMARK
70653G	SHERWIN-WILLIAMS	SW 7065	ARGOS	PRO INDUSTRIAL WATERBASED ACRYLIC URETHANE SEMI-GLOSS	REAR SERVICE DOOR, INTERIOR SIDE
6252S	SHERWIN-WILLIAMS	SW 6252	ICE CUBE	SUPERPAINT INTERIOR SATIN	RESTROOM & RESTROOM VESTIBULE CEILING, DINING ROOM SOFFIT
2850S	SHERWIN-WILLIAMS	SW 2850	CHELSEA GRAY	SUPERPAINT INTERIOR SATIN	DINING RM. WALLS, RESTROOM VESTIBULE WALLS
7069S	SHERWIN-WILLIAMS	SW 7069	IRON ORE	PRO INDUSTRIAL WATERBASED ACRYLIC URETHANE GLOSS	RESTROOM DOOR FRAMES
7069S	SHERWIN-WILLIAMS	SW 7069	IRON ORE	SUPERPAINT INTERIOR SATIN	FRONT & UNDERSIDE OF SERVICE LINE & BACK OF SERVICE LINE SOFFIT
7069S	SHERWIN-WILLIAMS	SW 7069	IRON ORE	PRO INDUSTRIAL WATERBASED ACRYLIC URETHANE SEMI-GLOSS	SERVICE DOORS, EXTERIOR SIDE

SUPPLIED BY GC USE SHERWIN WILLIAMS NATIONAL ACCOUNT #PARENT1096. CONTACT DENISE MATHERY 651.236.8418. denise.k.mathery@sherwin.com

WALL LEGEND



NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY PX-INSTALLED BY G.C.
 1. PANEL DIVIDERS AT WP3
 2. INSIDE CORNER AT WP3 TO WP2
 3. FLASHING AT TOP OF BASE WP3
 4. WP2 PIECE AT LENGTH OF WALL

NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY G.C-INSTALLED BY G.C.
 5. INSTALL 18 GA STAINLESS STEEL CORNER GUARD & WALL CAP INSIDE KITCHEN



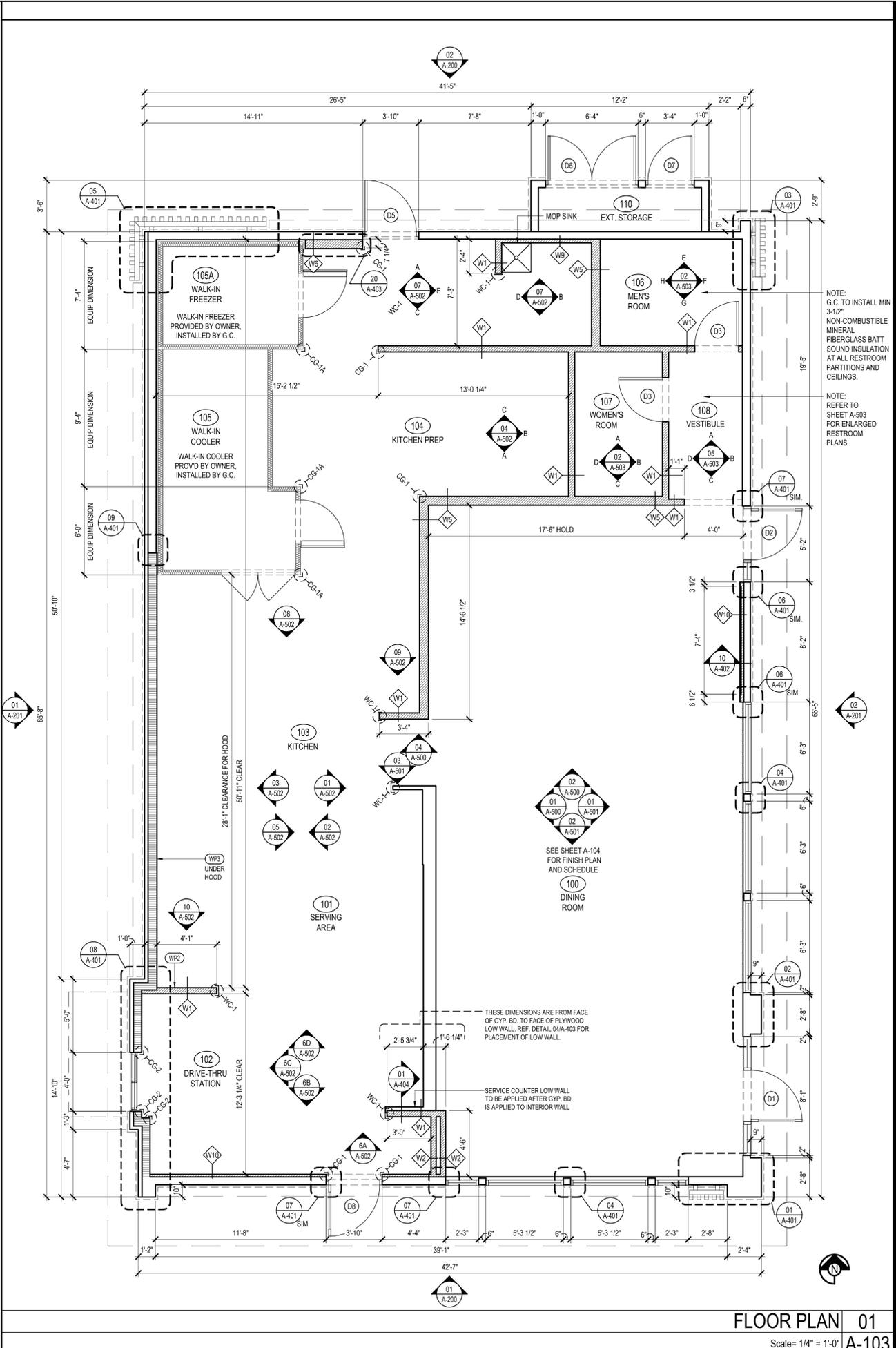
ALL OTHER STAINLESS STEEL BY G.C.

NOTE!!!!!!!!!!!!!!:

***ALL INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD**

NOTE:

CONTRACTOR TO NOTIFY 3rd PARTY VENDOR, PER THE VENDOR LIST, FOR WALL PRE-TREAT BEFORE CLOSING WALLS



FLOOR PLAN 01

Scale= 1/4" = 1'-0" A-103



PANDA EXPRESS, INC.
 1683 Walnut Grove Ave.
 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

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REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

NO.	DATE	DESCRIPTION

DRAWN BY:

PANDA PROJECT #: -
 PANDA STORE #: -
 ARCH PROJECT #: -

hckloverarchitect
 8813 PENROSE LANE, SUITE 400
 LENEXA, KS 66219
 ph: 913.649.8181 | fx: 913.649.1275

PANDA EXPRESS
 PANDA HOME
 RT 291 & SW PERSELS RD
 LEE'S SUMMIT, MO 64081

A-105

REFLECTED CEILING PLAN

PANDA HOME R3

EXTERIOR FINISH SCHEDULE

NO.	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
EIFS-1	STO	STOTHERM ESSENCE SYSTEM	SW 7646 FIRST STAR	FINE	BUILDING BODY NOTE: EIFS TO RECEIVE FINAL COAT OF STO-CORP STO-LASTIC ELASTOMERIC COATING TINTED TO DESIRED COLOR AS SCHEDULED
EIFS-2	STO	STOTHERM ESSENCE SYSTEM	SW 7069 IRON ORE	FINE	EIFS ACCENT BAND
EIFS-3	STO	STOTHERM ESSENCE SYSTEM	PANTONE COLOR P200C - RED	FINE	EIFS BEHIND TRELLIS
ST-1S	CORONADO STONE PRODUCTS	CHESELED STONE SILL	CHARCOAL	-	STONE CAP (3/8" VERTICAL JOINT - MORTAR TO MATCH STONE CAP)
ST-1	CORONADO STONE PRODUCTS	STRIP STONE	BLACK FOREST	-	WAINSCOT CONTACT: 864-962-1221 PROVIDE 3/8" MORTAR JOINTS. MFG.: ARGOS, COLOR: CHARCOAL
CD-1	FIBERON	WILDWOOD	BAMBOO	-	COMPOSITE CLADDING - CONTACT: MARIA SCHOLLER 419-704-5924 EMAIL: MARIA.SCHOLLER@FIBERONCLADDING.COM
MTL-2	PANDA VENDOR	ALLEN INDUSTRIES	PMS BLACK-7C	SATIN FINISH	CANOPY W/ LED W/ DOWN LIGHT AROUND BUILDING
CD-1	EXCEPTIONAL METALS	-	"PANDA EXPRESS SW7069 - IRON ORE"	-	CAP FLASHING

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE.

WINDOW SCHEDULE

SYM	WIDTH	HEIGHT	GLASS	FRAME	REMARKS	NOTES
A	12'-7" LIN. FEET	6'-10"	1" INSULATED GLASS	BLACK ANOD. ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5' X 2" IN ANODIZED ALUMINUM FRAME REFER WINDOW TYPES FOR INDIVIDUAL SIZES	1. INSULATING GLASS SOLARBAN 60 LOW E- WINTER U=0.29 SHGC: 0.25 VIS TRANS: 35% 2. DOORS: FULL GLAZED DOORS W/10" KICK BASE, ANODIZED ALUM FINISH. REFER HARDWARE SCHEDULE.
B	16'-9" LIN. FEET	6'-10"	1" INSULATED GLASS	BLACK ANOD. ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5' X 2" IN ANODIZED ALUMINUM FRAME REFER WINDOW TYPES FOR INDIVIDUAL SIZES	3. WINDOW DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. G.C. TO VERIFY ACTUAL WINDOW DIMENSIONS PRIOR TO FABRICATION INSTALLATION.
C	10'-10"	10'-0"	1" INSULATED GLASS	BLACK ANOD. ALUMINUM STOREFRONT	KAWNEER CURTAIN WALL 1620 SYSTEM WITH 1" INSULATED GLAZING, IN 6' X 2" IN ANODIZED ALUMINUM FRAME MOON GATE TO CONNECT WITH KAWNEER ATTACHMENT BRACKET 834-745.	4. GLASS FACADE AND ENTRY DOORS TO BE DESIGNED, DETAILED, FACTORY FABRICATED AND SITE ASSEMBLED AND ERECTED.
D	5'-2"	10'-0"	1" INSULATED GLASS	BLACK ANOD. ALUMINUM STOREFRONT	KAWNEER CURTAIN WALL 1620 SYSTEM WITH 1" INSULATED GLAZING, IN 6' X 2" IN ANODIZED ALUMINUM FRAME MOON GATE TO CONNECT WITH KAWNEER ATTACHMENT BRACKET 834-745.	5. MANUFACTURER: QUIK-SERV. MODEL IFT-4866E WITH THRU-BEAM PHOTO-ELECTRIC BAR. REGIONAL APPLICATION WITH QSK1025AA-BK NON HEATED AIR CURTAIN OR QSV1025EJ-040-BK HEATED AIR CURTAIN. TYPE OF AIR CURTAIN LISTED ON WINDOW SCHEDULE.
E	4'-0"	59 1/2"	1" INSULATED GLASS	DARK BRONZE ANODIZED ALUMINUM	QUIK-SERV (NON-HEATED AIR CURTAIN OR HEATED AIR CURTAIN), ROUGH OPENING 48" X 60" SEE ADDITIONAL NOTE # 5. CONTACT: WADE ARNOLD, 800-388-8307	6. WINDOW SYSTEM SHALL COMPLY WITH APPLICABLE SECTION AND CHAPTER OF BUILDING CODE.
F	7'-3"	10'-0"	SINGLE PANE GLASS	DARK ANODIZED ALUMINUM	SINGLE PANE VESTIBULE GLAZING	① TEMPERED GLASS
G	7'-10"	10'-0"	SINGLE PANE GLASS	DARK BRONZE ANODIZED ALUMINUM	SINGLE PANE VESTIBULE GLAZING	

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE.

- PEAK 23'-3" +/- A.F.F.
- T.O. PARAPET 21'-8" A.F.F.
- T.O. EAVE 19'-5" +/- A.F.F.

- B.O. BAND 10'-0" A.F.F.
- T.O. PLATE (STORAGE) 6'-6" A.F.F.
- T.O. WAINSCOT 7'-2" A.F.F.

- FINISH FLOOR 0'-0" A.F.F.



ELEVATION 2
Scale= 1/4" = 1'-0" **A-200**

- PEAK 23'-3" +/- A.F.F.
- T.O. SIDE PARAPET 21'-8" A.F.F.
- T.O. EAVE 20'-0" +/- A.F.F.
- T.O. PARAPET 19'-8" +/- A.F.F.

- B.O. BAND 10'-0" A.F.F.
- T.O. WAINSCOT 7'-2" A.F.F.

- FINISH FLOOR 0'-0" A.F.F.



ELEVATION 1
Scale= 1/4" = 1'-0" **A-200**

WINDOW AND DOOR ELEVATIONS 03
Scale= NTS **A-200**



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
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91770
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Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

DRAWN BY: JS

PANDA PROJECT #: -
PANDA STORE #: -
ARCH PROJECT #: -

PANDA EXPRESS
PANDA HOME
1210 SOUTHWEST MARKET ST.
LEE'S SUMMIT, MO 64081

A-200

EXTERIOR ELEVATIONS

PANDA HOME R2



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REVISIONS:

ISSUE DATE:

DRAWN BY: JS

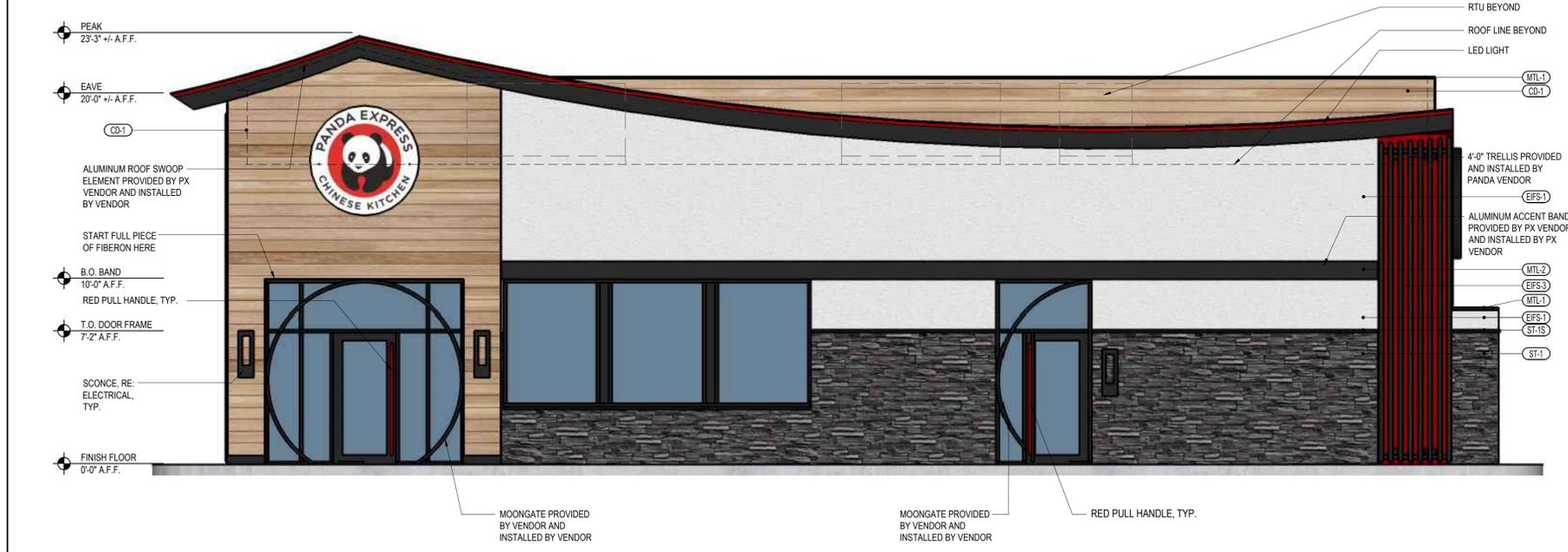
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 PANDA STORE #: -
 ARCH PROJECT #: -

PANDA EXPRESS
 PANDA HOME
 1210 SOUTHWEST MARKET ST.
 LEE'S SUMMIT, MO 64081

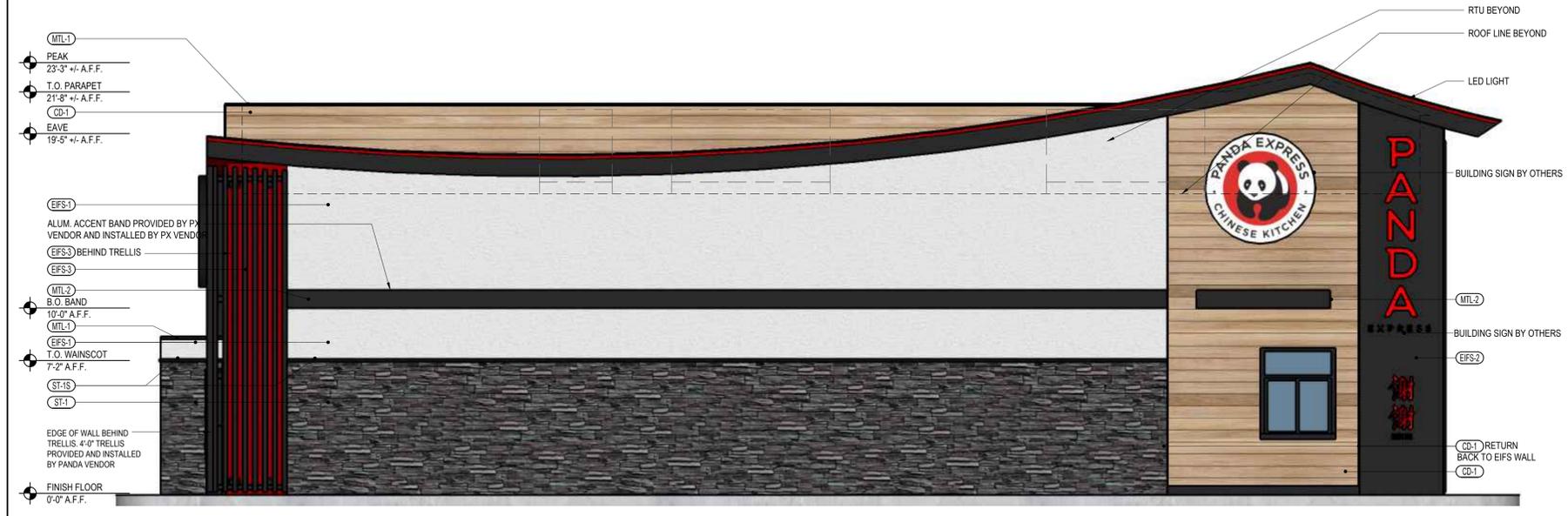
A-201

EXTERIOR ELEVATIONS

PANDA HOME R2



ELEVATION 2
 Scale= 1/4" = 1'-0" A-200

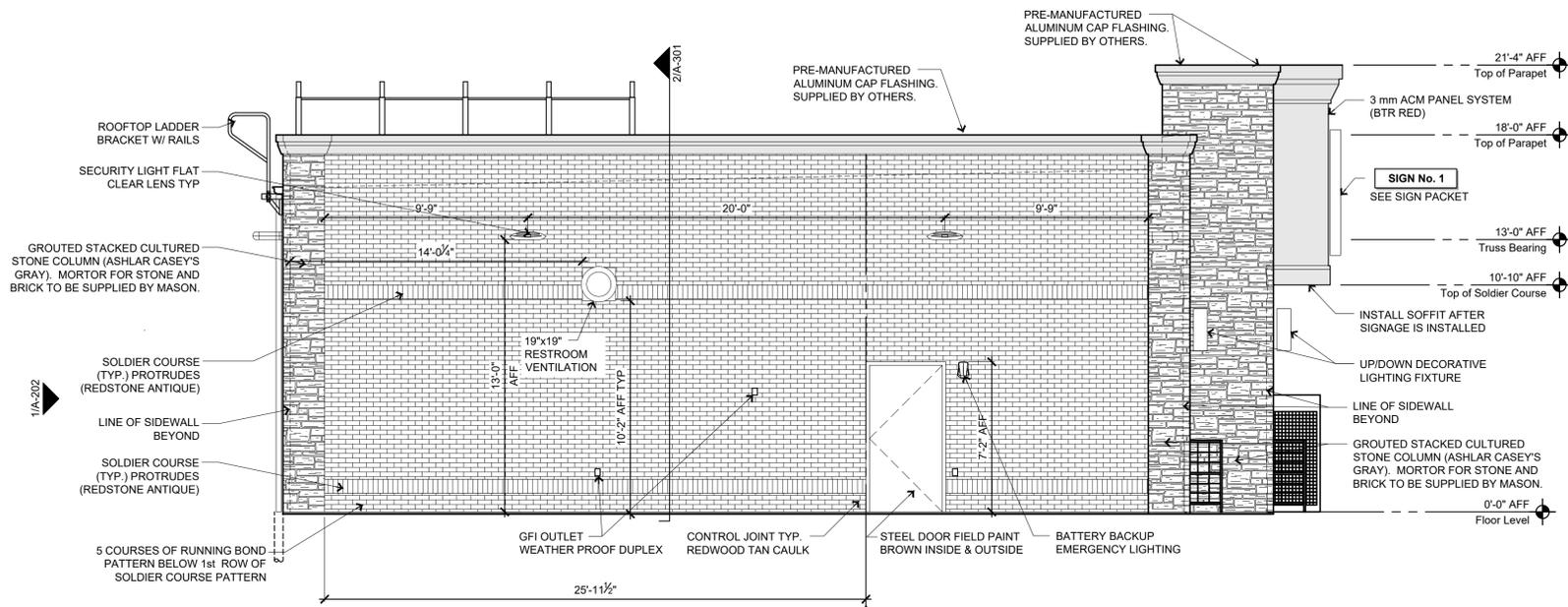


*SEE SHEET A-200 FOR EXTERIOR FINISH SCHEDULE

ELEVATION 1
 Scale= 1/4" = 1'-0" A-200

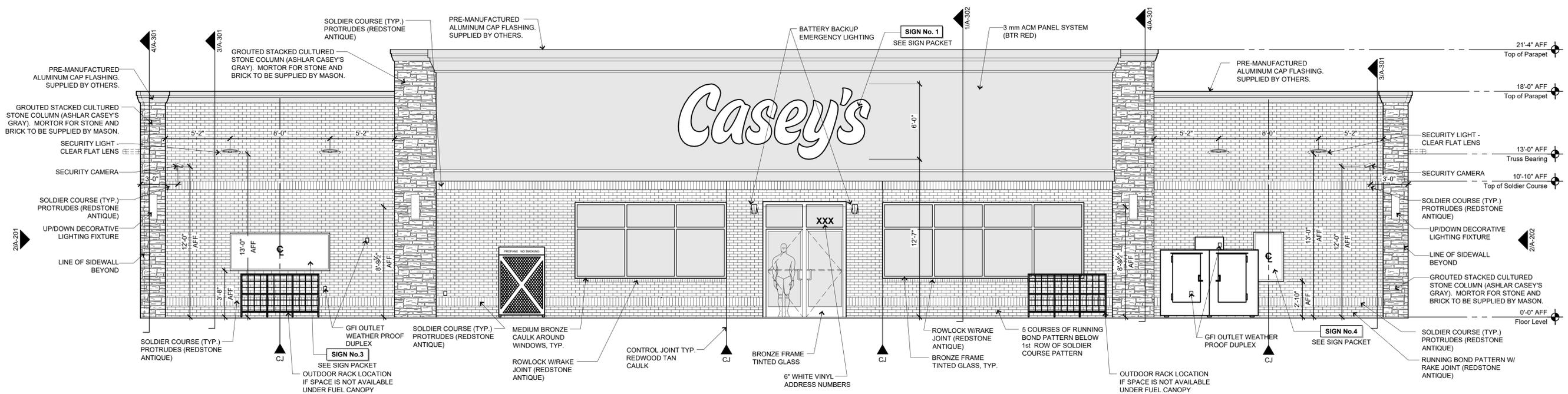
General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
- RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:
 AL-101: FOR BUILDING LOCATION ON SITE
 AL-601: FOR INFORMATION RELATING TO SIGNAGE
 A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT
 A-121: ROOF PLAN/ROOF TOP EQUIPMENT
 A-601: DOOR & WINDOW SCHEDULES AND NOTES
 S-101: FOOTINGS AND FOUNDATIONS
 S-102: ROOF TRUSSES
- WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
- ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.



2 Exterior Elevation - Left Side of Building (Plan West)

1/4"=1'-0"



1 Exterior Elevation - Front of Building (Plan South)

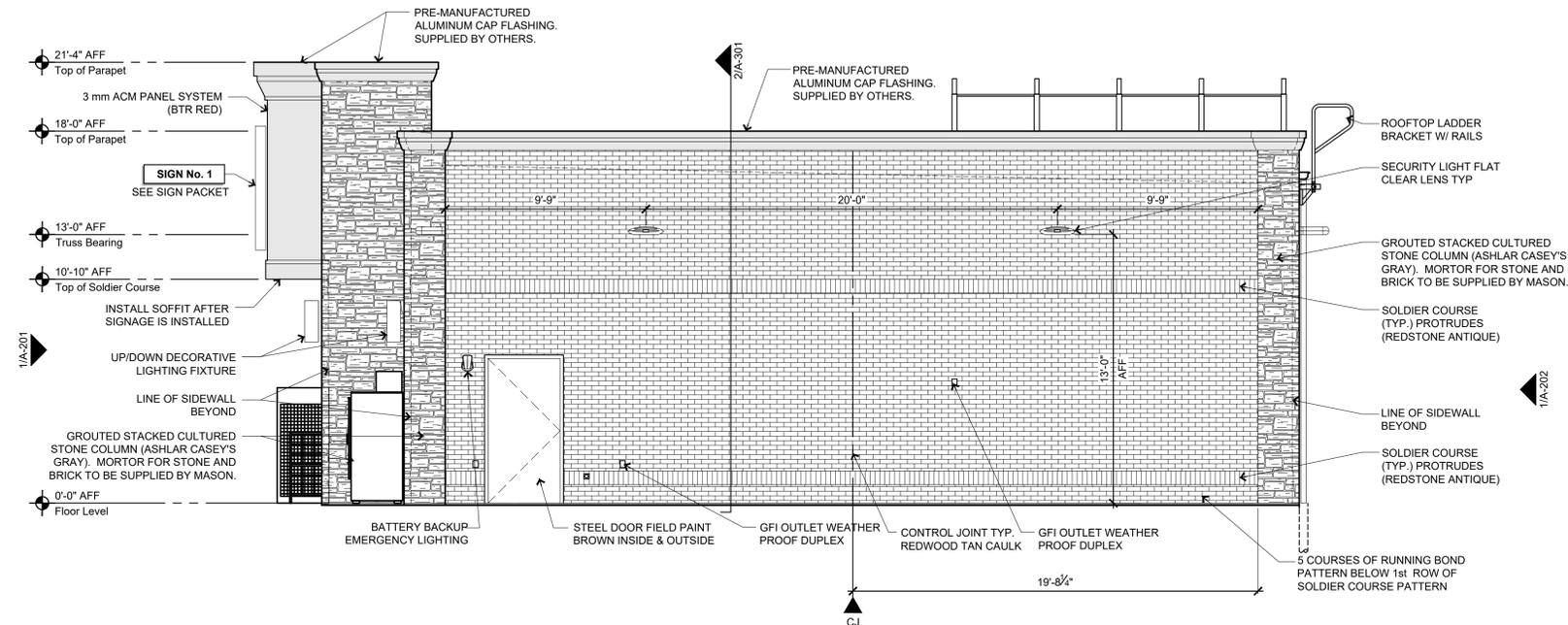
1/4"=1'-0"

Oldham Village Lot 18

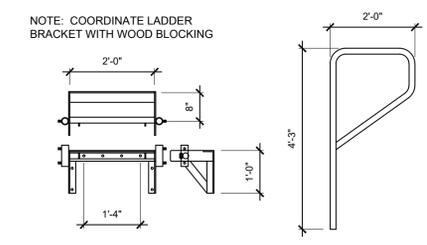
Casey's		Casey's	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100			
PROJECT:	2022 "U4" STYLE STORE V.03	DATE:	05/13/22
	FLAT ROOF	REVISION:	07/13/22
PROTOTYPE AND VERSION:	2022 - U4 - V.03		
DRAWN BY:	Arion Goforth III	CHECKED BY:	
			EXTERIOR ELEVATIONS
			A-201

General Notes

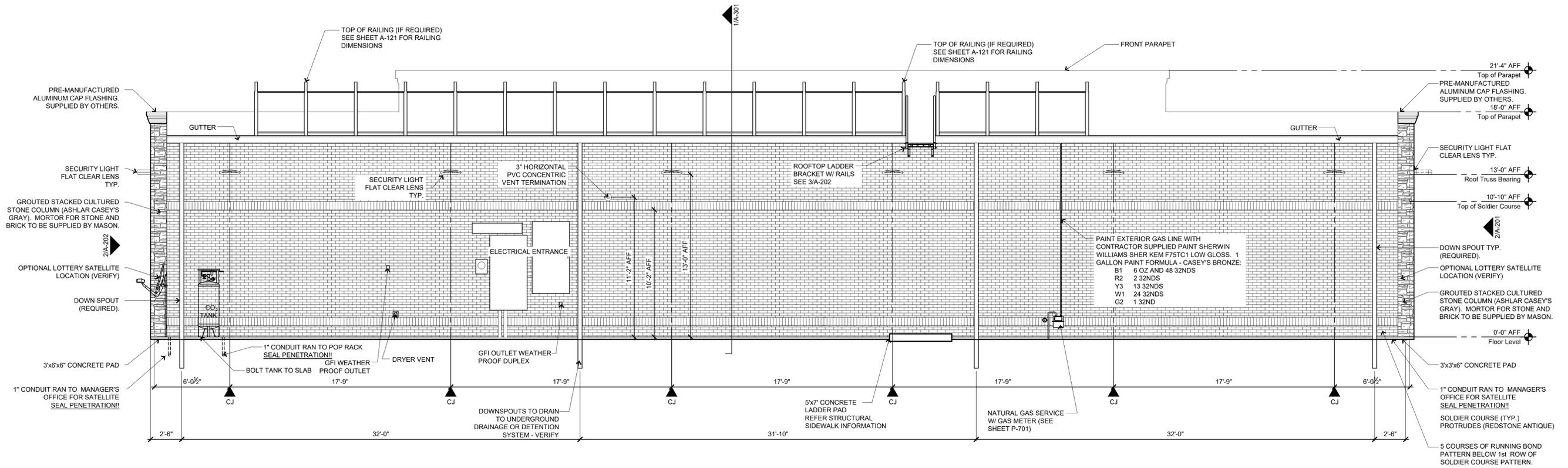
1. REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. **RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:
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 S-101: FOOTINGS AND FOUNDATIONS
 S-102: ROOF TRUSSES
3. **WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.



2 Exterior Elevation - Right Side of Building (Plan East)
1/4"=1'-0"



3 Ladder Bracket
1/2"=1'-0"

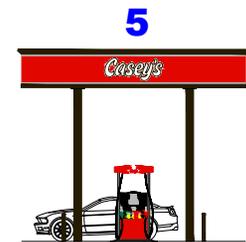
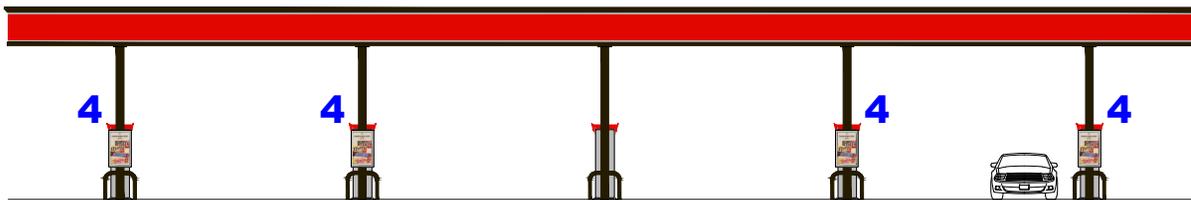
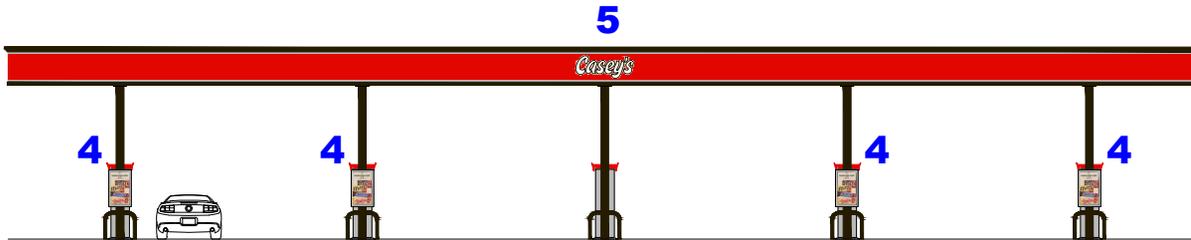


1 Exterior Elevation - Back of Building (Plan North)
1/4"=1'-0"

Oldham Village - Lot 18

Casey's		Casey's	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100			
PROJECT:	2022 - U4 - V.03	DATE:	05/13/22
		REVISION:	07/13/22
PROTOTYPE AND VERSION:	2022 - U4 - V.03	CHECKED BY:	
DRAWN BY:	Arion Goforth III		
			EXTERIOR ELEVATIONS
			A-202

SIGNS 4, 5



Oldham Village - Lot 18



GAS CANOPY
5 IN A ROW HEAD-IN

DRAWN BY:
J. CLARK

DATE:
02-08-21



Oldham Village - Lot 18

FRONT



BACK



FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION