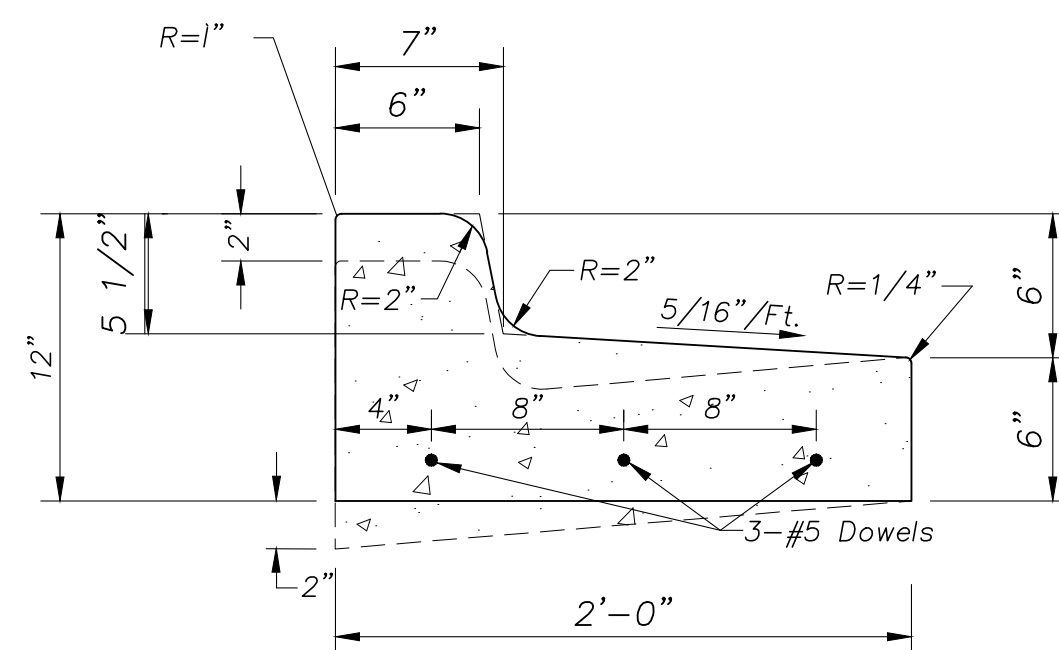


- NOTES:
1. ALL CONCRETE SHALL BE KCMMB 4K(AE)*
 2. ALL JOINTS WITH EXISTING CURB SHALL BE TYPE 2 JOINTS.
 3. A TYPE 2 JOINT SHALL BE PLACED AT ALL CURB RETURNS.



NOTE: All type "B" notes apply to type "B Dry" Curb. In transitions, water shall flow from the gutter of Type "B" curb to the lip of Type "B-Dry" curb at 0.5% min. slope.

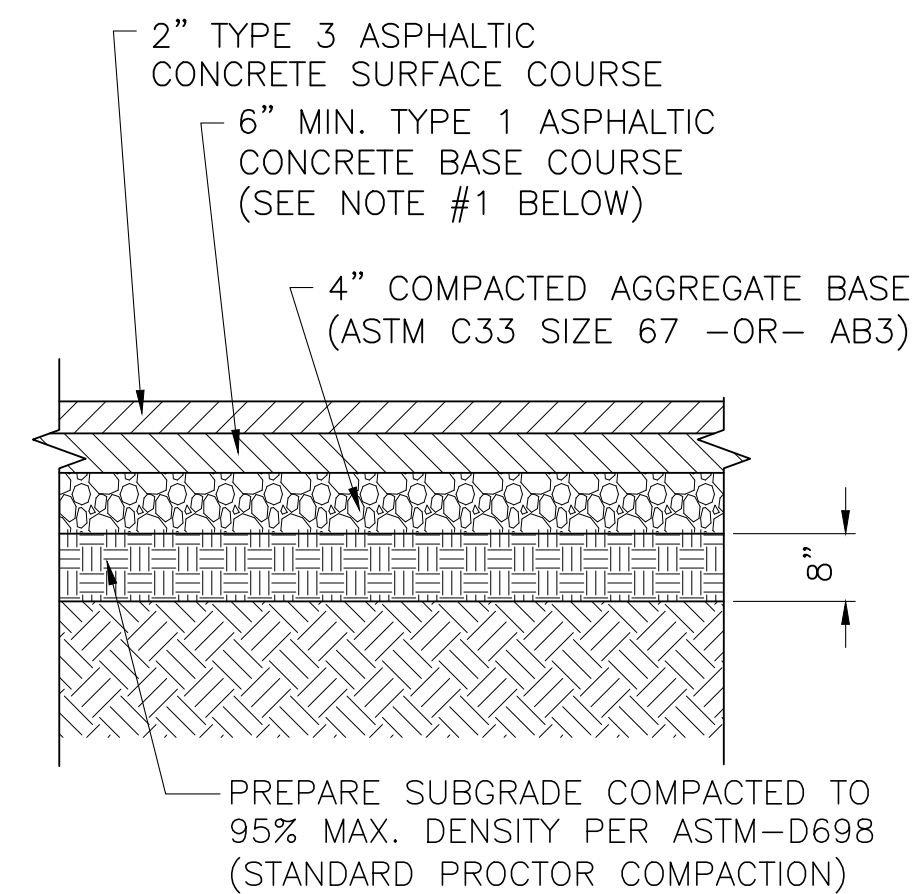
CURB NOTES:

1. CURB DETAILS SHOWN ABOVE ARE FOR APPROXIMATE DIMENSIONS AND CONSTRUCTION ONLY. FIELD CONDITIONS MAY DIFFER SLIGHTLY. MATCH CURB PROFILE/DIMENSIONS AS THEY EXIST IN THE FIELD.

UTILITY NOTE:

Visual indications of utilities are as shown. underground locations shown, as furnished by their lessors, are approximate and should be verified in the field at time of construction. For actual field locations of underground utilities, call 811 or 1-800-344-7483 (Dig Rite)

The contractor shall adhere to the provisions of the senate bill number 583, 78th general assembly of the State of Missouri. The bill requires that any person or firm doing excavation on public right-of-way do so only after giving notice to, & obtaining information from, utility companies. State law requires 48 hours advance notice. call 1-800-dig-right or 811.

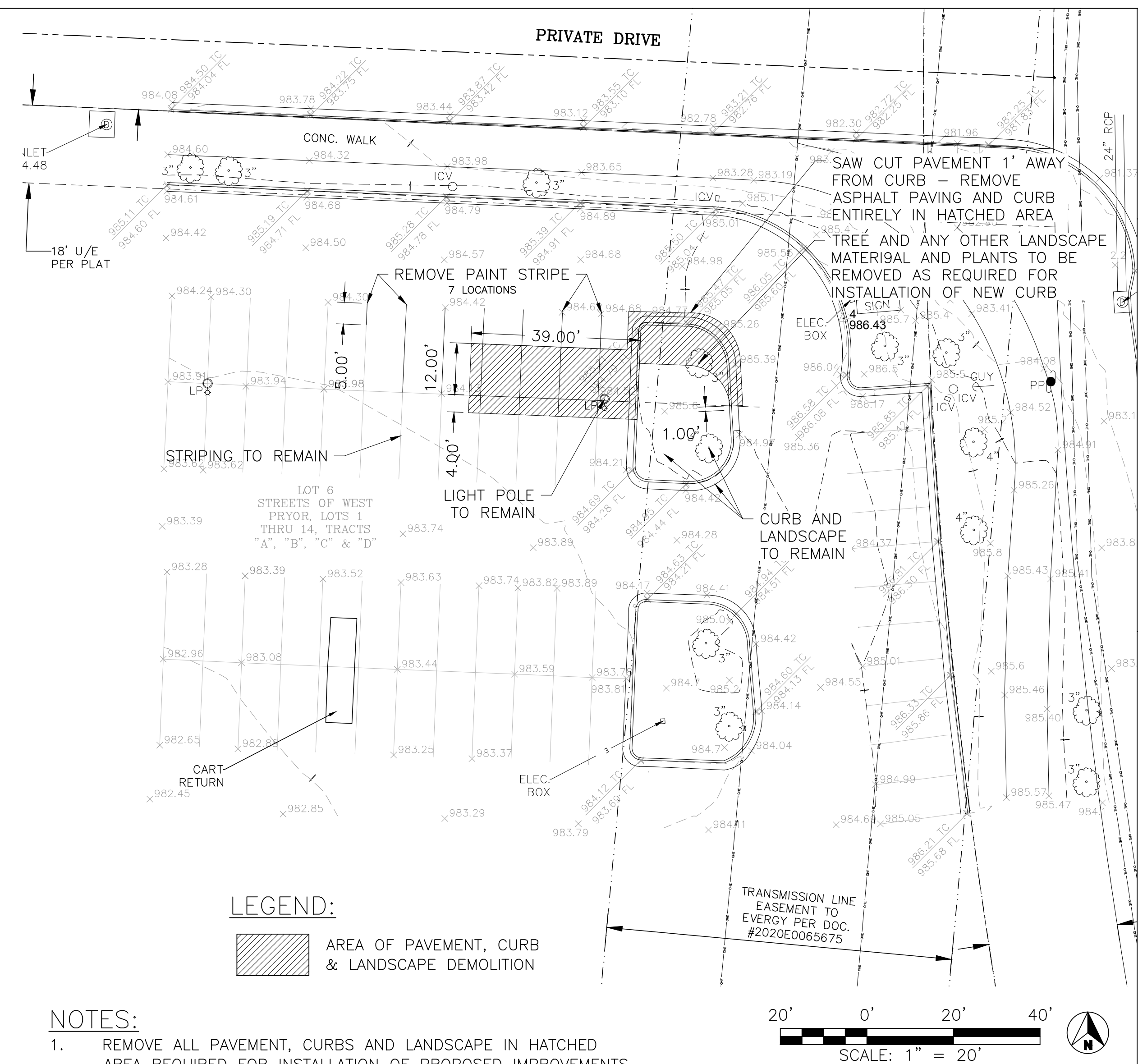


ASPHALT PAVEMENT

NOT TO SCALE

ASPHALT NOTES:

1. ASPHALT THICKNESS INDICATED IS A MINIMUM, IF EXISTING ASPHALT AND BASE MATERIAL IS THICKER THAN DETAIL, MATCH EXISTING THICKNESS.



- NOTES:

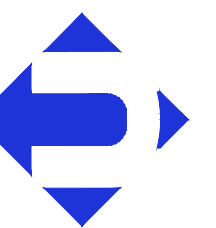
1. REMOVE ALL PAVEMENT, CURBS AND LANDSCAPE IN HATCHED AREA REQUIRED FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
2. REMOVE PAINT STRIPE WHERE SHOWN BY GRINDING, SANDBLASTING OR OTHER APPROVED METHOD.

SITE DEMOLITION PLAN:

NOTE: SEVEN (7) PARKING SPACES ARE REMOVED FROM THE EXISTING PARKING LOT TO INSTALL THE ITM.



UHL ENGINEERING, INC.
7211 W. 98th Terrace, Suite 110
Overland Park, Kansas 66212
(913) 385-2670
www.uhlengineering.com



PROJECT: ACADEMY BANK ITM
STREETS WEST OF PRYOR DEVELOPMENT
LEE'S SUMMIT, MO 64081

NER:
DICKINSON FINANCIAL
CORPORATION
1111 Main Street #1600
Kansas City, MO 64105
816.472.5422

[illegible]

ISSUE DATE: 24 JUN 2024

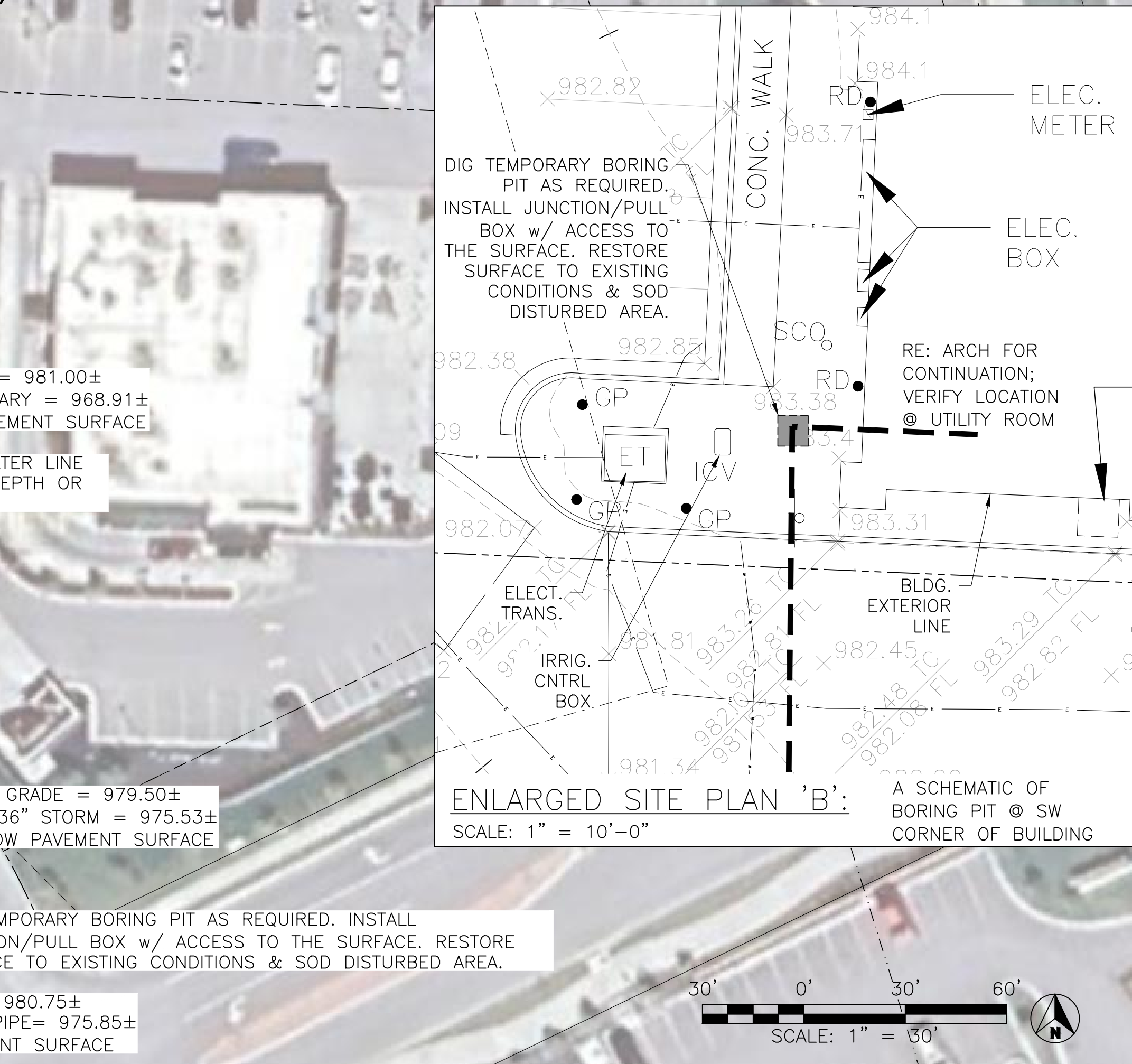
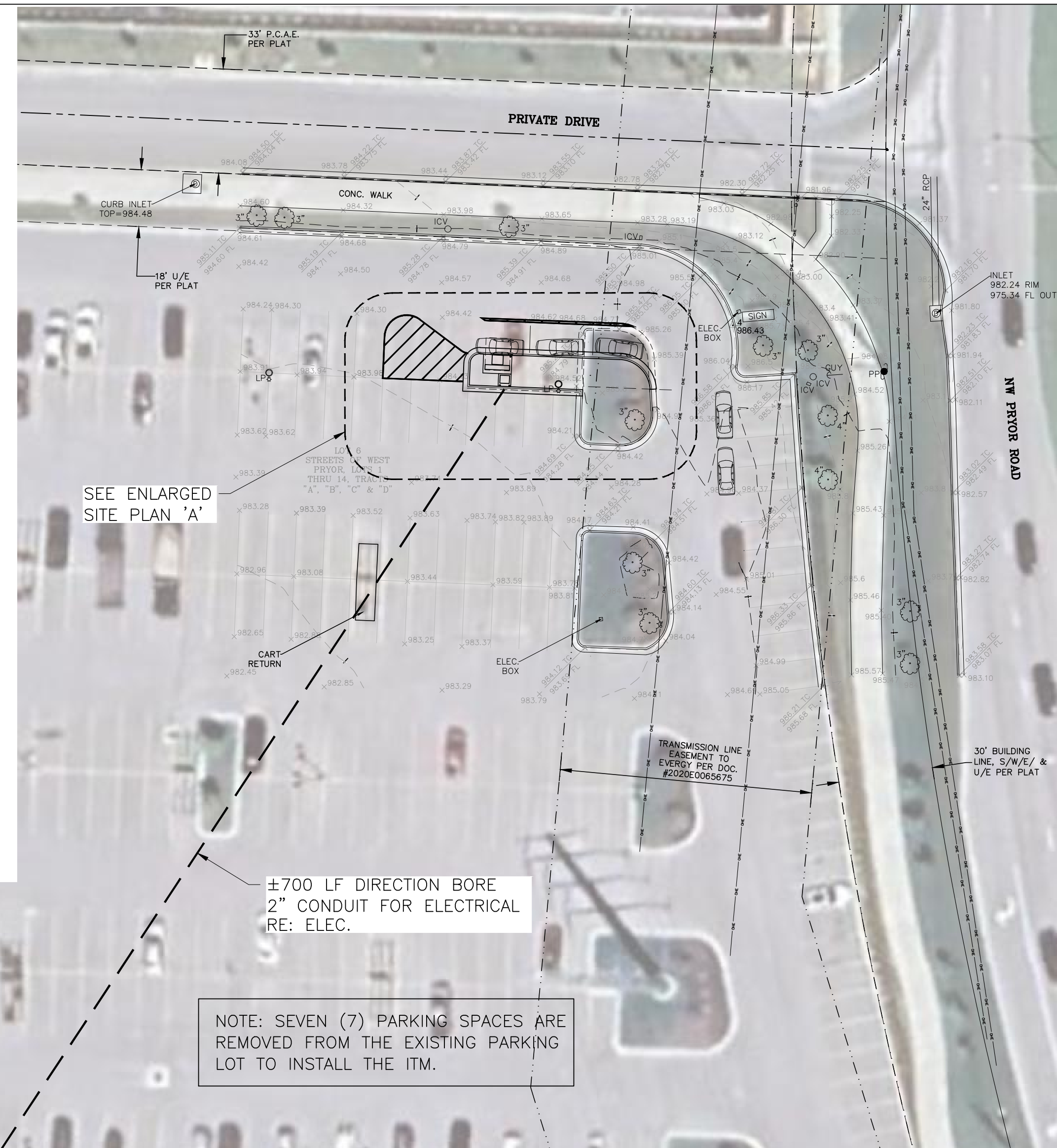
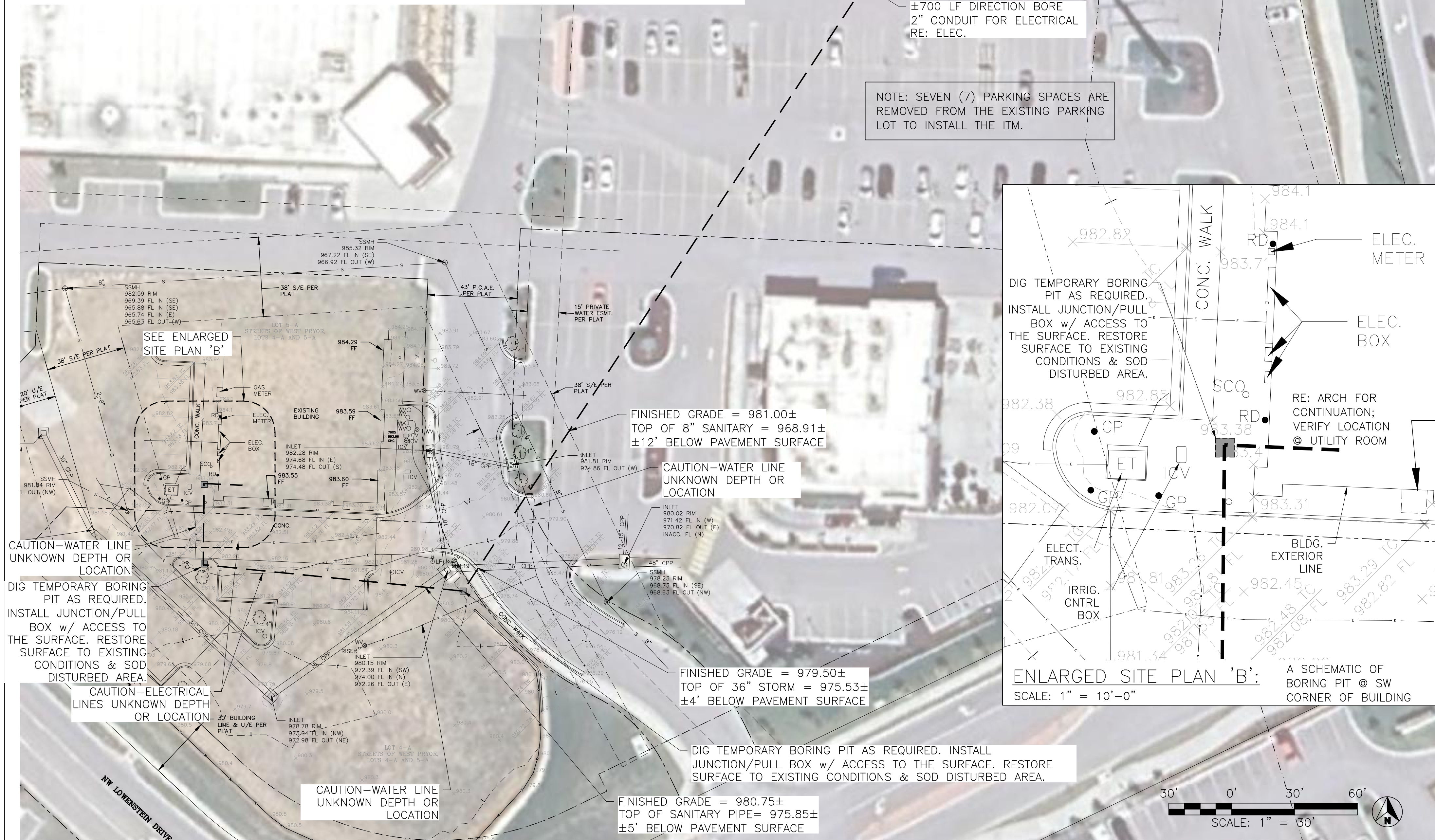
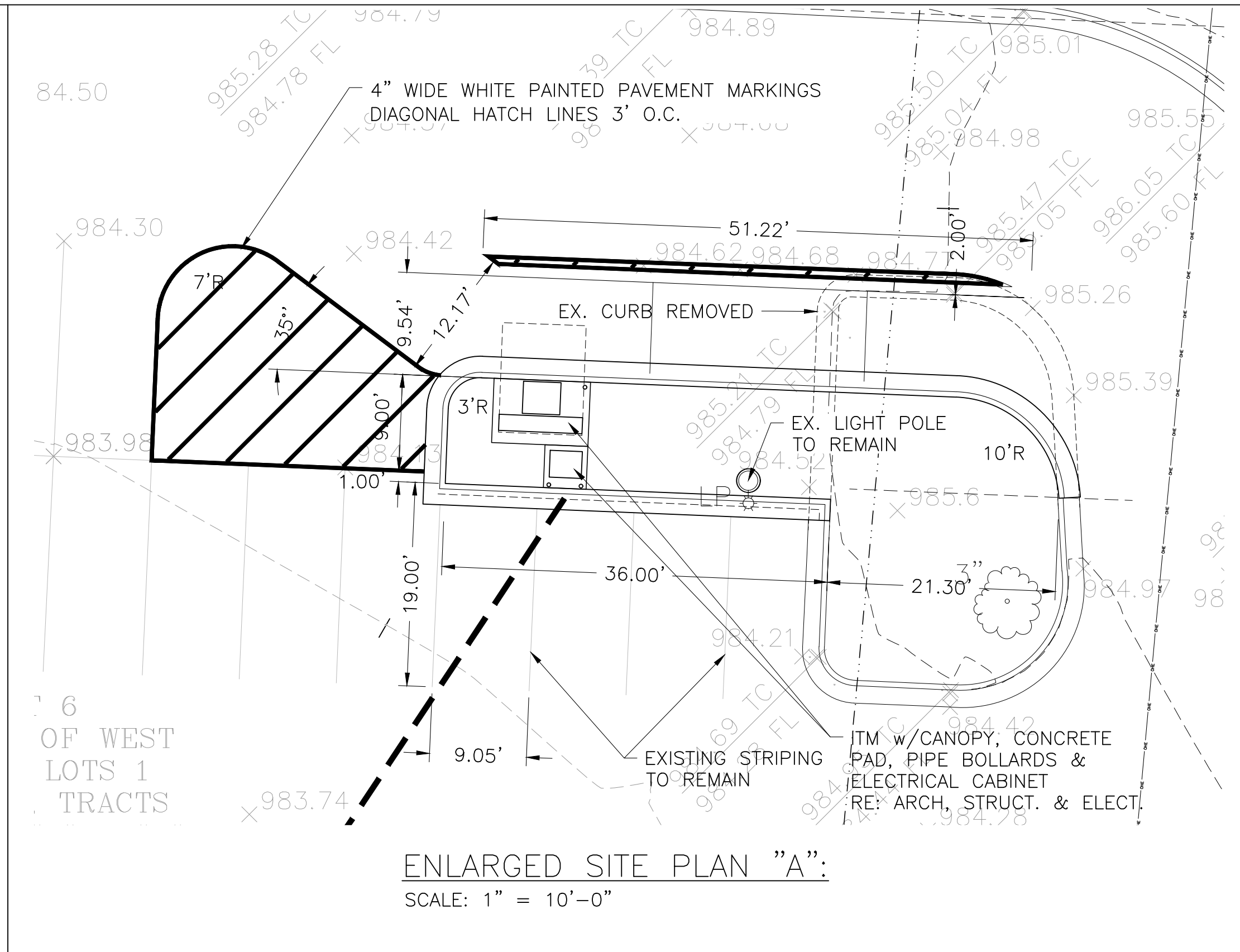
SHEET NAME:

SITE DETAILS & DEMOLITION PLAN

C1.0

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE AHJ'S MUNICIPAL CODE AND THE KC METRO CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION. THE FOLLOWING SECTIONS FROM AMERICAN PUBLIC WORKS ASSOCIATION (KANSAS CITY METRO CHAPTER) "STANDARD SPECIFICATIONS AND DESIGN CRITERIA," SHALL BE INCORPORATED HEREIN:
SECTION 2100 GRADING & SITE PREPARATION
SECTION 2150 EROSION AND SEDIMENT CONTROL
SECTION 2200 PAVING
SECTION 2300 INCIDENTAL CONSTRUCTION
- ALL TRAFFIC CONTROL SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
- COMPACTION TESTS SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER. ALL COMPACTION TESTS ON MATERIAL WHICH MEETS OR EXCEEDS THE REQUIRED DENSITY SHALL BE PAID FOR BY THE OWNER.
- THE LOCATION OF THE UTILITY LINES, AS SHOWN ON THESE PLANS, ARE APPROXIMATE AND HAVE BEEN INDICATED TO THE GREATEST EXTENT AVAILABLE TO THE ENGINEER. THE SERVICE LINES FROM THE MAINS TO EXISTING BUILDINGS ARE NOT SHOWN; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE EXACT LOCATIONS OF THE UTILITIES AND SHALL BE HELD RESPONSIBLE FOR ANY DAMAGES DONE TO THESE LINES DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR:
 - PROTECTION AND /OR RESTORATION OF ALL PROPERTY AND SECTION CORNERS. ANY PROPERTY/SECTION CORNERS THAT GET DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A REGISTERED LAND SURVEYOR IN THE STATE OF MISSOURI, AT THE CONTRACTORS EXPENSE.
 - THE RESTORATION OF THE RIGHT-OF-WAY AND FOR DAMAGED IMPROVEMENTS SUCH AS; CURBS, SIDEWALKS, DRIVEWAYS, STREET/PEDESTRIAN LIGHTS, TRAFFIC SIGNAL JUNCTION BOXES, LOOP LEAD INS, AND POLES, IRRIGATION SYSTEMS, ETC. DAMAGED ITEMS SHALL BE REPAIRED IN CONFORMANCE WITH THE LATEST CITY STANDARDS AND TO THE APPROVAL OF THE CITY.
 - COMPLYING WITH STATE LAW REQUIRING ANY PERSON OR FIRM DOING EXCAVATION ON THE PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO AND OBTAINING INFORMATION FROM UTILITY COMPANIES.
 - PROVIDING EROSION AND SEDIMENT CONTROL BMP'S TO PREVENT SEDIMENT FROM REACHING PAVED AREAS, STORM SEWER SYSTEMS, DRAINAGE WAYS AND ADJACENT PROPERTIES. IN THE EVENT THAT PREVENTION MEASURES ARE NOT EFFECTIVE, THE CONTRACTOR SHALL REMOVE ANY DEBRIS, SILT, MUD OR TRASH AND RESTORE THE RIGHT-OF-WAY, OR ADJACENT PROPERTIES TO BE IN CONFORMANCE WITH THE LATEST CITY STANDARDS AND TO THE APPROVAL OF THE CITY.
 - SODDING ALL DISTURBED LANDSCAPE AREAS NOT SHOWN TO BE LANDSCAPE PLANTS OR MATERIALS.
 - REPAIR ANY PAVEMENTS, CURBS OR OTHER EXISTING IMPROVEMENTS REMOVED FOR THE INSTALLATION OF THIS PROJECT NOT SHOWN ON THE PLANS TO CONDITIONS MATCHING THE PREVIOUSLY REMOVED MATERIAL.
 - PROTECTION AND/OR RESTORATION OF ALL PROPERTY AND ALL WORK SHALL BE CONFINED WITHIN EASEMENTS, CONSTRUCTION LIMITS AND/OR PROPERTY LINES AS SHOWN ON THE PLANS.
 - ALL DAMAGE TO EXISTING UTILITIES, PAVEMENT, FENCES, STRUCTURES AND OTHER FEATURES NOT DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL REPAIR ALL DAMAGES AT HIS EXPENSE.
 - VERIFICATION OF QUANTITIES. ANY/ALL QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY.
 - OBTAINING ALL PERMITS NECESSARY INCLUDING RIGHT-OF-WAY, HAULING, ECT. PRIOR TO CONSTRUCTION.
 - PROVIDING AND MAINTAINING ALL SIGNAGE, BARRICADES, LIGHTING ETC. AS REQUIRED FOR TEMPORARY TRAFFIC CONTROL DURING THE CONSTRUCTION OF THIS PROJECT IN ACCORDANCE WITH THE MUTCD.
 - AGREES THAT THEY SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF THE CONSTRUCTION WORKERS AND THE PUBLIC. THE CONTRACTOR AGREES TO HOLD THE ENGINEER AND OWNER HARMLESS FOR ANY AND ALL INJURIES, CLAIMS, LOSSES OR DAMAGES RELATED TO THE PROJECT.
- EXCAVATION FOR UTILITY WORK IN THE PUBLIC STREET RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY WORK PERMIT FROM THE PUBLIC WORKS DEPARTMENT, IN ADDITION TO OTHER PERMITS.
- ALL PUBLIC STREET SIDEWALK RAMPS TO BE CONSTRUCTED SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND AHJ SIDEWALK DETAILS MOST CURRENT APPROVED VERSION.
- ALL WORK SHALL BE CONFINED WITHIN EASEMENTS, CONSTRUCTION LIMITS AND/OR PROPERTY LINES AS SHOWN ON THE PLANS.
- ALL PAVEMENT BOUNDING EDGES SHALL BE SAW CUT.
- THE DEMOLITION OF EXISTING PAVEMENT, CURBS, STRUCTURES AND ALL OTHER FEATURES NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS SHALL BE PERFORMED BY THE CONTRACTOR. ALL WASTE MATERIAL REMOVED DURING CONSTRUCTION SHALL BE DISPOSED OFF THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS FOR HAULING AND DISPOSING OF WASTE MATERIAL. THE DISPOSAL OF WASTE MATERIAL SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- CLEARING, GRUBBING, AND TREE REMOVAL SHALL BE SUBSIDIARY TO OTHER WORK ITEMS.
- ALL CONCRETE SHOWN SHALL BE KCMMB 4K, A/E MIX DESIGN. INFORMATION REGARDING KCMMB APPROVED MIX DESIGNS CAN BE FOUND AT WWW.KCMMB.ORG. THE CONTRACTOR OR THEIR CONCRETE SUPPLIER SHALL, AT THE CONTRACTORS EXPENSE, SHALL SUBMIT A CONCRETE MIX DESIGN FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE.
- ALL DIMENSIONS ARE IN FEET AND ARE TO BACK OF CURB UNLESS NOTED.
- PATCH ASPHALT AND STRIP AREAS AROUND NEW CURB AS REQUIRED.



PROFESSIONAL SEAL:

UHL ENGINEERING, INC.
7211 W. 98th Terrace, Suite 110
Overland Park, Kansas 66212
(913) 385-2670
www.uhlengineering.com

COMPANY:

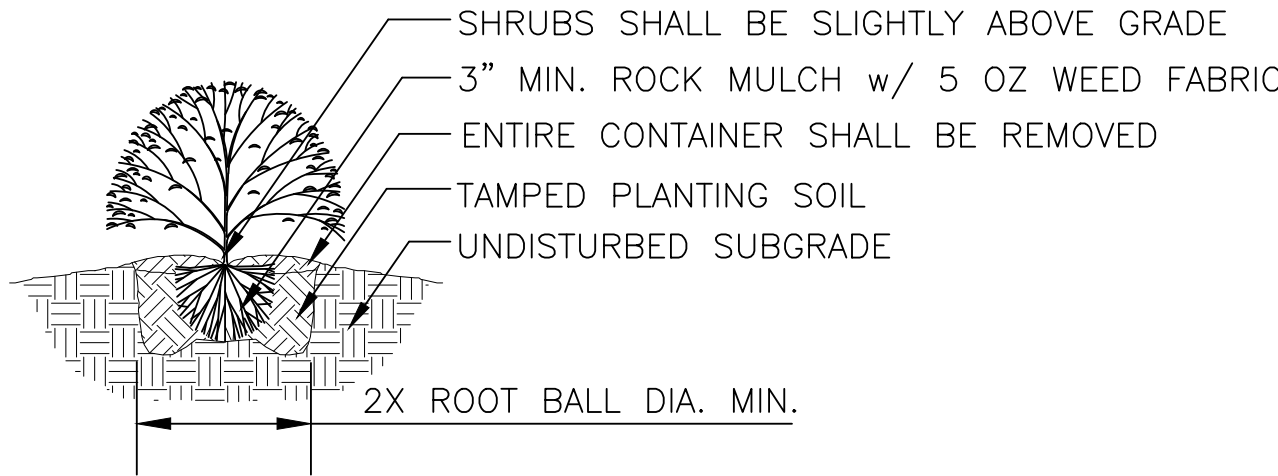
ACADEMY BANK ITM
STREETS WEST OF PRYOR DEVELOPMENT
LEE'S SUMMIT, MO 64081

PROJECT:
DICKINSON FINANCIAL CORPORATION
1111 Main Street #1600
Kansas City, MO 64105
816.472.5422

OWNER:
1 Response to City Comments
REVISION/DESCRIPTION
08 AUG 2024
DATE

ISSUE DATE: 24 JUN 2024
SHEET NAME:
OVERALL SITE PLAN
SHEET NUMBER:
C1.1

S:\Project Files\2024\Academy Lee's Summit (Generation)\Drawings\Sheet\CI-L1.dwg, L1: LA PLAN, 8/8/2024 5:11:48 PM

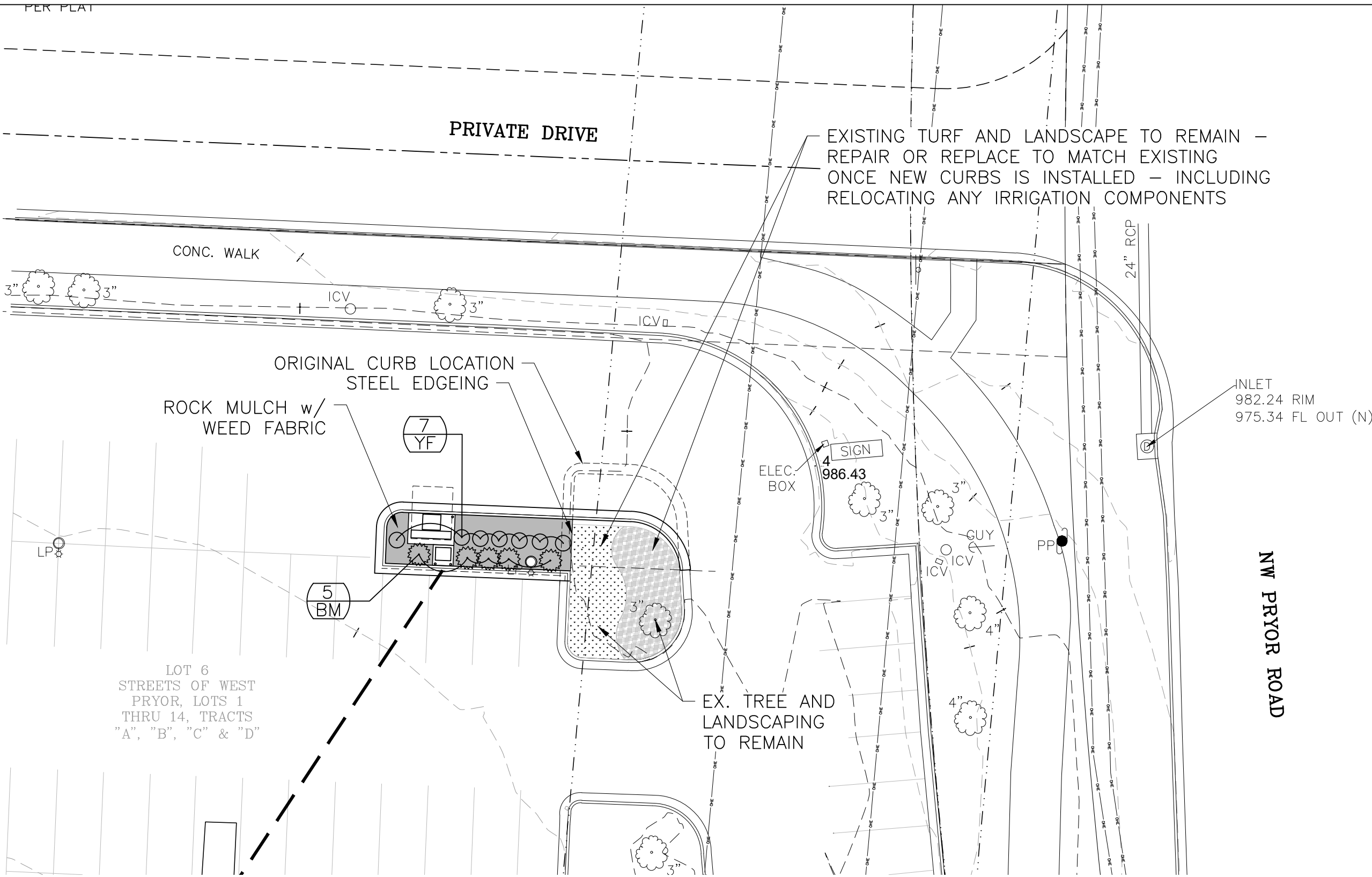


NOTES:

1. MINIMUM ROOT SPREAD TO BE IN ACCORDANCE WITH ANLA STANDARDS
2. PRUNE DAMAGED LIMBS OR ROOTS AFTER INSTALLATION
3. MAKE SURE ROOTS DO NOT DRY OUT DURING INSTALLATION
4. SOAK GENEROUSLY TO COMPACT AND SETTLE

SHRUB PLANTING DETAIL

No Scale



LEGEND:

- EX. TURF GRASS
- EX. LANDSCAPE AREA
- ROCK MULCH

PLANT/LANDSCAPE SCHEDULE

QTY.	KEY	Common/Scientific Name	Size
***NO SUBSTITUTIONS OF REQUIRED TREES WILL BE ALLOWED UNLESS APPROVED BY THE OWNER			
SHRUBS/GROUND COVER			
5	BM	Wintergreen Boxwood/Buxus microphylla var. koreana 'Wintergreen'	5 Gal.
7	YF	Golden sword yucca/Yucca filamentosa 'Golden Sword'	5 Gal.
ROCK MULCH			
±285 SF		Grey/Colorado salt & pepper/Glacier white granite round cobble stone	2-4"
TURF GRASS		Fescue Sod - Sod all disturbed turf areas	

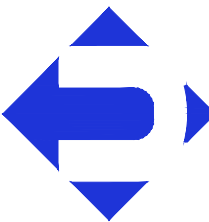
NOTES:

1. ALL LANDSCAPE MATERIALS A SHALL CONFORM TO ANY AHJ STANDARDS.
2. ALL EXISTING VEGETATION SHALL BE MAINTAINED WHERE IT DOES NOT INTERFERE WITH THE PROPOSED IMPROVEMENTS OR NECESSARY EQUIPMENT OPERATIONS OR INDICATED FOR REMOVAL. EVERY EFFORT SHALL BE MADE TO PROTECT EXISTING VEGETATION AND STRUCTURES FROM DAMAGE.
3. CONTRACTOR SHALL AT ALL TIMES PROTECT MATERIALS AND WORK AGAINST INJURY TO WORKERS AND THE PUBLIC.
4. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH OTHER SITE RELATED TRADES.
5. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES SHOWN SHALL BE CONSIDERED APPROXIMATE. THERE MAY BE OTHERS NOT SHOWN OR KNOWN. IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO DETERMINE OR VERIFY THE EXISTENCE AND EXACT LOCATION OF ALL UNDERGROUND ITEMS. CALL 1-800-DIG-RITE.
6. IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO:
 - 6.1. VERIFY ALL EXISTING AND PROPOSED FEATURES SHOWN ON THE DRAWINGS PRIOR TO INSTALLATION.
 - 6.2. REPORT ANY/ALL DISCREPANCIES TO THE OWNER OR LANDSCAPE ARCHITECT IMMEDIATELY FOR REMEDIATION.
 - 6.3. STAKE, FLAG OR ARRANGE CONTAINERS ON THE SURFACE FOR ALL PLANT LOCATIONS AND OBTAIN APPROVAL FROM THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. ALL PLANT MATERIAL SHALL BE INSTALLED WITH THE SAME RELATIONSHIP TO GRADE AS GROWN.
8. LEAVE TAGS ON REQUIRED PLANT MATERIAL FOR INSPECTION.
9. ALL PLANTING BEDS ARE TO BE CULTIVATED TO A DEPTH OF 6" IMMEDIATELY PRIOR TO PLANTING.
10. PLAN QUANTITIES TAKE PRECEDENT OVER PLANT SCHEDULE. IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO INSTALLATION.
11. NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR APPROVAL FROM OWNER OR LANDSCAPE ARCHITECT.
12. ALL DISTURBED AREAS NOT SHOWN AS PLANT MATERIAL AND ASSOCIATED MULCH ARE TO BE PLANTED WITH FESCUE SOD.
13. ALL SHRUB AREAS ABUTTING TURF SHALL HAVE STEEL EDGING.
14. ALL SHRUBS AND SHALL HAVE 3" DEEP MULCH.
15. ALL TURF AREAS SHALL HAVE MIN. 4" OF TOPSOIL.
16. ALL SHRUB AREAS TO HAVE 12" DEEP PLANTING SOIL MIX (PLANTING SOIL MIX = $\frac{1}{3}$ TOPSOIL, $\frac{1}{3}$ COMPOST, $\frac{1}{3}$ SAND MIXTURE).
17. ALL PLANT MATERIAL MUST CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
18. MODIFY EXISTING IRRIGATION ZONE TO PROVIDE WATER TO NEW SHRUB AREA (DRIP OR BUBBLER PREFERRED - NO SPRAY HEADS)

PROFESSIONAL SEAL:



COMPANY:



UHL ENGINEERING, INC.
7211 W. 98th Terrace, Suite 110
Overland Park, Kansas 66212
(913) 385-2670
www.uhlengineering.com

PROJECT:

ACADEMY BANK ITM
STREETS WEST OF PRYOR DEVELOPMENT
LEE'S SUMMIT, MO 64081

OWNER:

DICKINSON FINANCIAL
CORPORATION
1111 Main Street #1600
Kansas City, MO 64105
816.472.5422

ISSUE DATE: 24 JUN 2024

SHEET NAME:

LANDSCAPE PLAN

SHEET NUMBER:

L1.1