

A tract of land in the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ Section 35 and the Northwest $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ Section 36, Township 48 North of the Base line, Range 32 West of the 5th Principal Meridian, Lee's Summit, Jackson County, Missouri and being more particularly described as follows: Beginning at the Northwest corner of Section 36-48-32; thence with the North line of Section 36-48-32 S65°22'43"E, 450.36'; thence leaving said North line S03°31'32"W, 1026.41'; thence S65°53'57"W, 157.84'; thence N66°06'53"W, 300.00' to a point on the East line of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ Section 36-48-32; thence with said East line S02°54'05"W, 210.00' to the Southeast corner of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ Section 35-48-32; thence with the South line of said $\frac{1}{4}$ section N68°03'21.7"W, 134.44' S2; to the Southwest corner of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ Section 35-48-32; thence with the West line of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ Section 35-48-32 N02°41'22"E, 1319.19' to the Northwest corner of aforesaid $\frac{1}{4}$ section; thence with the North line of the Northeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ Section 35-48-32 S66°24'29"E, 1351.35' back to the Point of Beginning and containing 52.6 (Gross) Acres.

Except that part within existing Right-of-way

EASEMENTS: An easement of license is hereby granted to the City of Lee's Summit, Missouri, to locate, construct, maintain and to authorize the location, construction and maintenance of poles, wires, anchors, conduits and/or structures for water, gas, sanitary sewer, storm sewer, surface drainage channel, electricity, telephone, cable television, or any other necessary public utility or services, any or all of them, upon, over, or under those areas outlined or designated upon this plat as "UTILITY EASEMENT" (U.E.) of within any street or thoroughfare dedicated to public use on this plat.

BUILDING LINES: Building lines or setback lines are hereby established as shown on the accompanying plat and NO building or portion thereof shall be constructed between said building lines and the street Right-of-Way lines.

The Grantor, on behalf of himself, his heirs, his assigns, and successors in interest, hereby waives to the fullest extent allowed by law, including without limitation, Section 52.7.188 RSMo (2006) any right to require restoration of rights previously transferred and vacation of the easements herein granted.

DATE: _____
Trisha Fowler Arcuri- City Clerk

DATE: _____
Jackson County Assessor

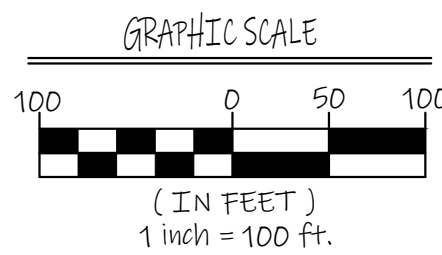
This Plat was prepared by
Eagle Pointe Surveying, LLC
1216 NE Applewood St.
Lee's Summit, MO 64086

IN TESTIMONY WHEREOF:
JOEL WORCESTER, MANAGER, WI PRIOR CROSSING, LLC HAS CAUSED THESE PRESENTS TO BE EXECUTED THIS ____ DAY OF ____, 2024.

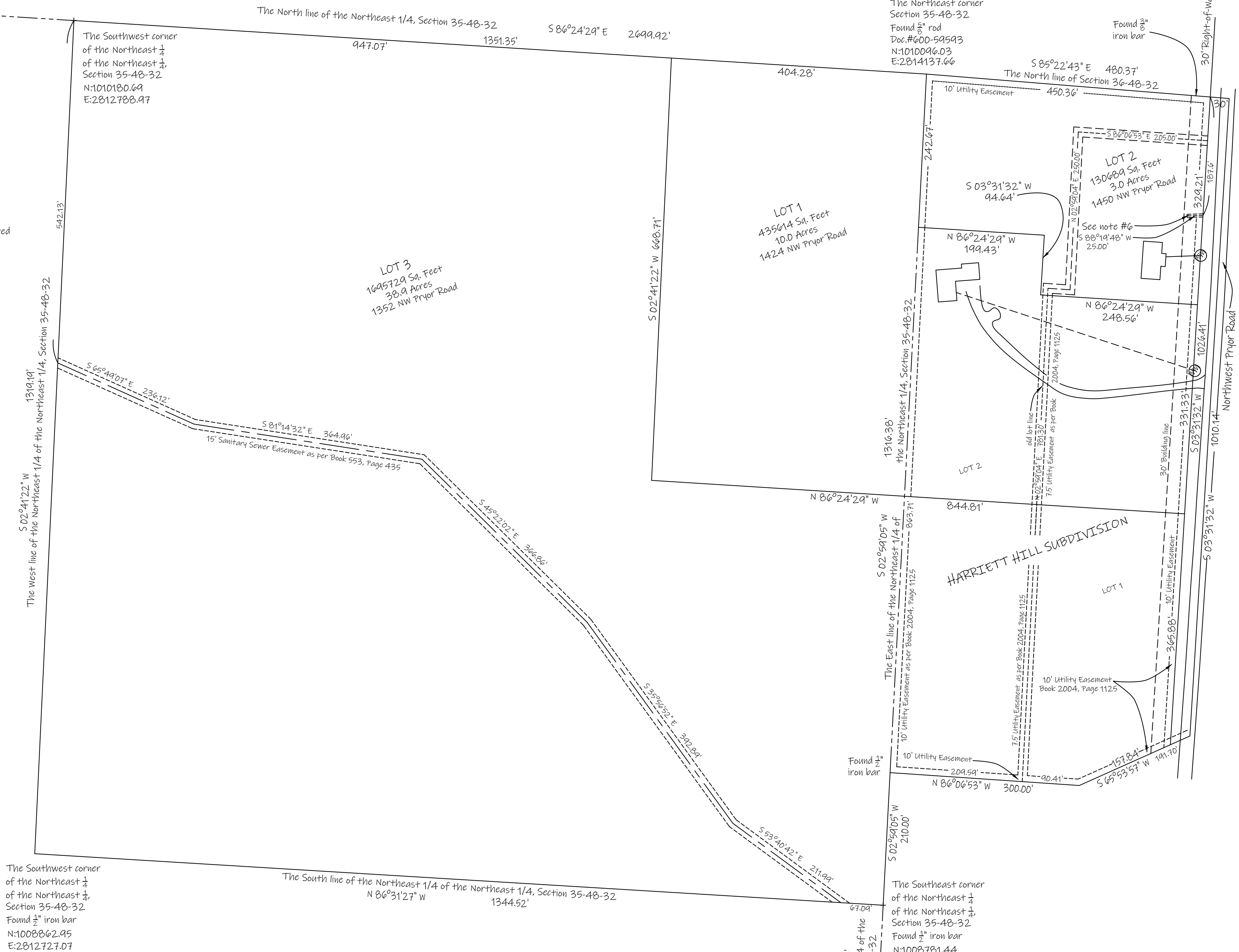
IN WITNESS WHEREOF:
I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE ON THE DATE HEREIN LAST ABOVE WRITTEN.

NOTARY PUBLIC

Lee's Summit, Jackson County, Missouri



1. This Survey is based on record documents, legal descriptions, and other information furnished by the client, and other information known to this surveyor. This surveyor has no knowledge of any other record documents which affects this property.
2. NO Title Report was provided by the CLIENT at the time of this survey.
3. This survey meets or exceeds the accuracy standards of a (SUBURBAN) Property Boundary Survey as defined by the Missouri Standards for Property Boundary Surveys.
4. The State Plane Coordinates shown hereon are based on Metro-Control Monument JA-49 of the Missouri State Plane Coordinate System of 1983
Northing 1013340.7664
Easting 2803461.6372
Grid Factor 0.999902061
5. Based on available information obtained from the Missouri Department of Natural Resources there does not appear to be any existing gas or oil wells on the surveyed property.
6. Gwy Wire Grant as per Doc.#1207488 as shown in Book 586 at Page 1107



NTS

I HEREBY CERTIFY, that this Plat of Survey is based on an actual Survey made by me or under my direct supervision and that said survey meets or exceeds the current Minimum Standards for Property Boundary Surveys as established by the Department of Agriculture, Land Survey Division of the State of Missouri, and Missouri Standards for Property Boundary Surveys, established by the Missouri Board for Architects, Professional Engineers, and Land Surveyors.

Date: 5/29/2024
Mark B. Hoyt- PLS. No. 2001015251
Eagle Point Surveying, LLC. No. 2009006804

This Survey was prepared for:
 WI PRYOR CROSSING, LLC
 c/o Joel Worcester

[illegible]

HARRIETT HILL, 2nd PLAT

Lee's Summit
Jackson County, Missouri

DATE OF SURVEY: May, 2024
CLASS OF PROPERTY: SUBURBAN
SURVEY CREW: MBH
DRAWING NAME: 202403-1870

EAGLE POINTE SURVEYING, LLC
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Lee's Summit, Missouri 64086
(816) 456-0156
markhottp@qmail.com