

LEE'S SUMMIT JOINT OPERATIONS FACILITY

10 NE TUDOR RD
LEE'S SUMMIT, MISSOURI 64086

HOEFER WELKER

HW PROJECT NO: 138191

OWNER

CITY OF LEE'S SUMMIT
220 SE GREEN
LEE'S SUMMIT, MO 64063
816.969.1000

ARCHITECT

HOEFER WELKER
4622 PENNSYLVANIA AVENUE, SUITE 1400
KANSAS CITY, MO 64112
P: 913.307.3700

CONSTRUCTION MANAGER

TITAN BUILT
8207 MELROSE DRIVE, SUITE 200
LENEXA, KANSAS 66214
P: 913.782.6700

MEPT ENGINEER

HOEFER WELKER
4622 PENNSYLVANIA AVENUE, SUITE 1400
KANSAS CITY, MO 64112
P: 913.307.3700

FIRE PROTECTION ENGINEER

SMITH & BOUCHER
25618 W 103RD STREET
OLATHE, KS 66061
P: 913.345.2127

STRUCTURAL ENGINEER

J&S STRUCTURAL ENGINEERS, PA
6640 WEST 143RD STREET #250
OVERLAND PARK, KS 66223
P: 913.549.4701

CIVIL ENGINEER

BHC
7101 COLLEGE BLVD SUITE 400
OVERALND PARK, KANSAS 66210
P: 913.663.1900

LANDSCAPE ARCHITECT

LANDWORKS STUDIO
102 S. CHERRY STREET, 2ND FLOOR
OLATHE, KS 66061
P: 913.780.6707

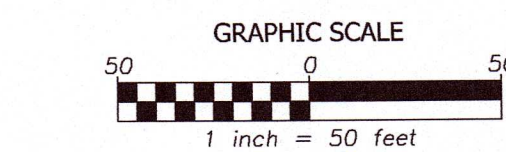


PRELIMINARY DEVELOPMENT PLAN JULY 25, 2024

DRAWING INDEX PDP	
00.00 - COVER SHEET	
X101P	COVER SHEET
05.00 - CIVIL	
V1.0	BOUNDARY AND TOPGRAPHIC SURVEY
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C2.0	OVERALL SITE PLAN
C3.0	OVERALL GRADING PLAN
C4.0	UTILITY PLAN

DRAWING INDEX PDP	
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L1.02	LANDSCAPE SCHEDULE & DETAILS
08.00 - ARCHITECTURE SITE	
AS 101	ARCHITECTURAL SITE PLAN
08.02 - ARCHITECTURE	
A 101	LOWER LEVEL - FLOOR PLAN
A 102	MAIN LEVEL - FLOOR PLAN
A 201	EXTERIOR ELEVATIONS

Apr 02, 2024 - 10:10am Plotted by: greg.wicklow@bhc.com I:\041470.00.01 BHC Dev Mike Melis Lee's Summit Joint Ops Campus DWG\SURVEY\041470-SRNY-BK5.dwg



LEGEND

- Set Survey Monument (1/2" Reinforcing Rod w/cap MO CLS 2006009875-F) unless otherwise noted
- Found Survey Monument
- Center Line
- R/W Right-of-Way
- (M) Monumented
- (P) Platted
- (CR) Calculated from Record Dimensions
- BK. Book
- PG. Page
- INS. Instrument Number
- WD Warranty Deed
- Not To Scale

LEE'S SUMMIT LOGISTICS
LOTS 1-3

OWNERSHIP AND ENCUMBRANCE REPORT

Issuing Office File Number: SKC0078199C
Effective Date: February 9, 2024 at 8:00 AM

Secured Title of Kansas City
1465 NE Douglas Street
Lee's Summit, MO 64086
(816)-471-1560

OWNERSHIP AND ENCUMBRANCE REPORT DESCRIPTION

TRACT 1:
Lot 1-A, NEW LEE'S POLICE AND COURT FACILITY, a subdivision in Lee's Summit, Jackson County, Missouri

TRACT 2:
All that part of the Southeast Quarter of Section 31, Township 48, Range 31, described as follows:
Beginning at a point 1450 feet west of the northeast corner of the southeast quarter of said Section 31;
thence west 75 feet, more or less to the northeast corner of Lot 1, SUMMIT PARK, a subdivision in
Lee's Summit, as recorded in Plat Book 6, at Page 38, at the Recorder's Office of said County; thence
south along the east line of said Lot 1, 230 feet more or less to the intersection with the westerly right
of way line of County Highway 10-E, aka N. Douglas Street; thence northeasterly along said westerly
right of way line to the Point of Beginning.

(Legal description for TRACT 2 is shown for convenience only)

GENERAL NOTES

- Basis of Bearings: South 87° 53' 23" East along the North line of Lot 1A, LEE'S SUMMIT POLICE AND COURT FACILITY as shown on the recorded plat of LEE'S SUMMIT POLICE AND COURT FACILITY.
- This survey is based on field work completed on or before the date shown in the title block or the following survey or plats:
 - An ALTA/NSPS survey performed by PHELPS ENGINEERING, INC. on April 27, 2022 as project number 220231
 - The plat of "SUMMIT PARK" recorded June 23, 1914 and filed as Instrument Number 19140096399 in Book 6, Page 38.
 - The plat of "LEE'S SUMMIT POLICE AND COURT FACILITY" recorded April 10, 1997 and filed as Instrument Number 1997120462 in Book 1-60, Page 53.
 - The plat of "DOUGLAS STATION COMMERCIAL PARK, LOTS 10A, AND 10B" recorded January 21, 2003 and filed as Instrument Number 200310007666 in Book 174, Page 55.
 - The plat of "DOUGLAS CORNER, 2ND PLAT" recorded July 25, 2006 and filed as Instrument Number E0653342 in Book 196, Page 1.
 - The plat of "DOUGLAS STATION COMMERCIAL PARK, LOTS 10A, AND 10B" recorded August 14, 2008 and filed as Instrument Number 2008E0087576 in Book 122, Page 17.
 - The plat of "LEE'S SUMMIT LOGISTICS LOTS 1-3" recorded March 22, 2022, and filed as Instrument Number 2022E0027423 in Book 199, Page 92.
- This Tract contains 504,419 square feet or 11.5799 acres.
- Accuracy standard of this survey: Urban.

SURVEYOR'S NOTES

- This surveyor has made no search at the county Register of Deeds office or searched court documents for easements, vacations, Right-of-Way acquisitions, condemnations, court decrees or encumbrances that may affect this property. The aforementioned items shown hereon are based entirely upon the ownership and encumbrance report cited above, by documents found in this firm's possession, documents obtained from other sources, or other information. If any other easements, vacations, Right-of-Way acquisitions, condemnations, court decrees or encumbrances affect this property their existence is unknown to this surveyor and are therefore not shown.

SURVEYOR'S STATEMENT

This survey was executed in accordance with the Missouri STANDARDS FOR PROPERTY BOUNDARY SURVEYS as set forth in Chapter 16 of the Rules of Department of Insurance, Financial Institutions and Professional Registration, Division 2030 - Missouri Board for Professional Land Surveyors. (See Title Block for date, seal and signature.)

BHC, MO CLS 2006009875-F
Brent E. Thompson, PLS - 2006000161

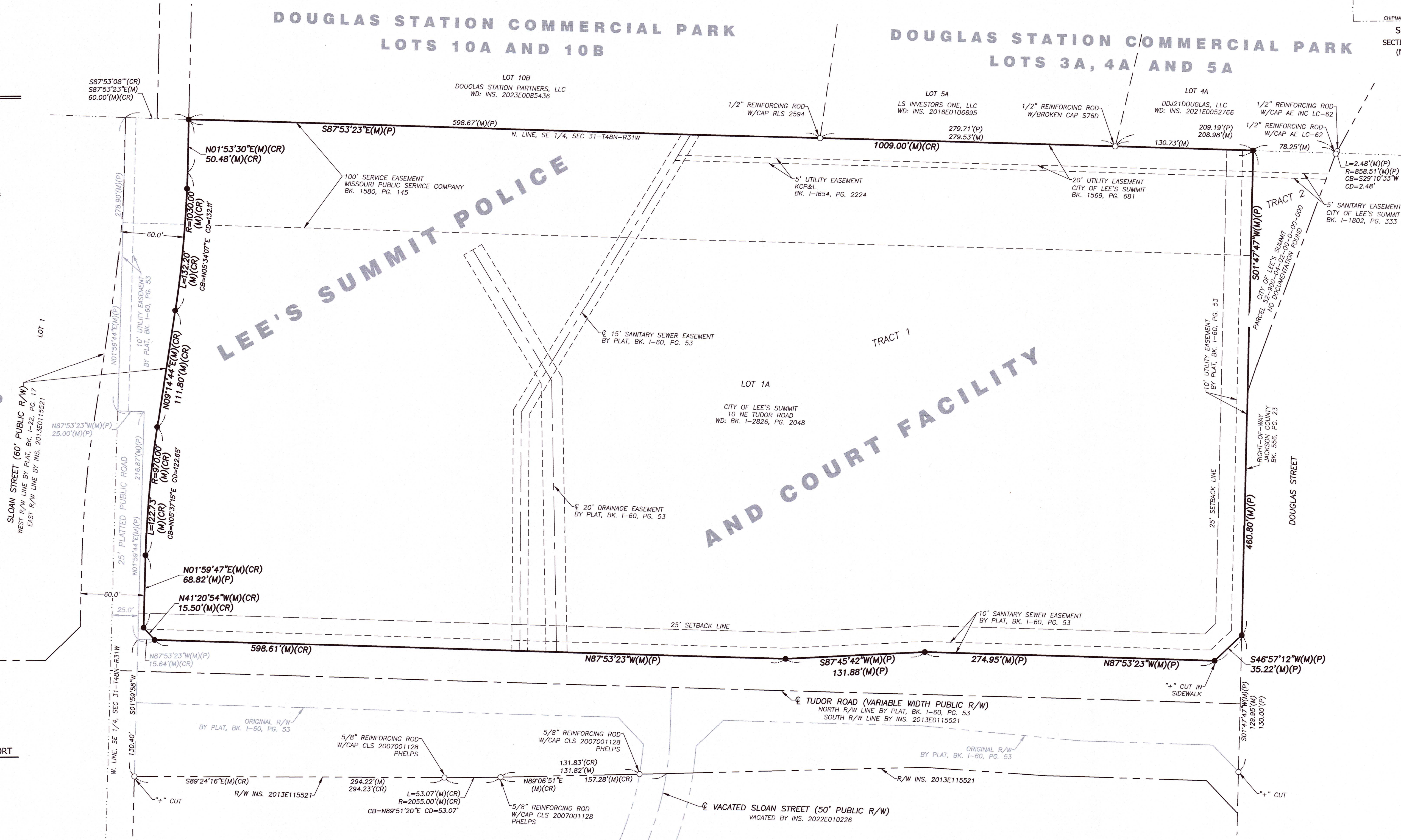
BOUNDARY AND TOPOGRAPHIC SURVEY LOT 1-A, NEW LEE'S POLICE AND COURT FACILITY, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

DOUGLAS STATION COMMERCIAL PARK
LOTS 10A AND 10B

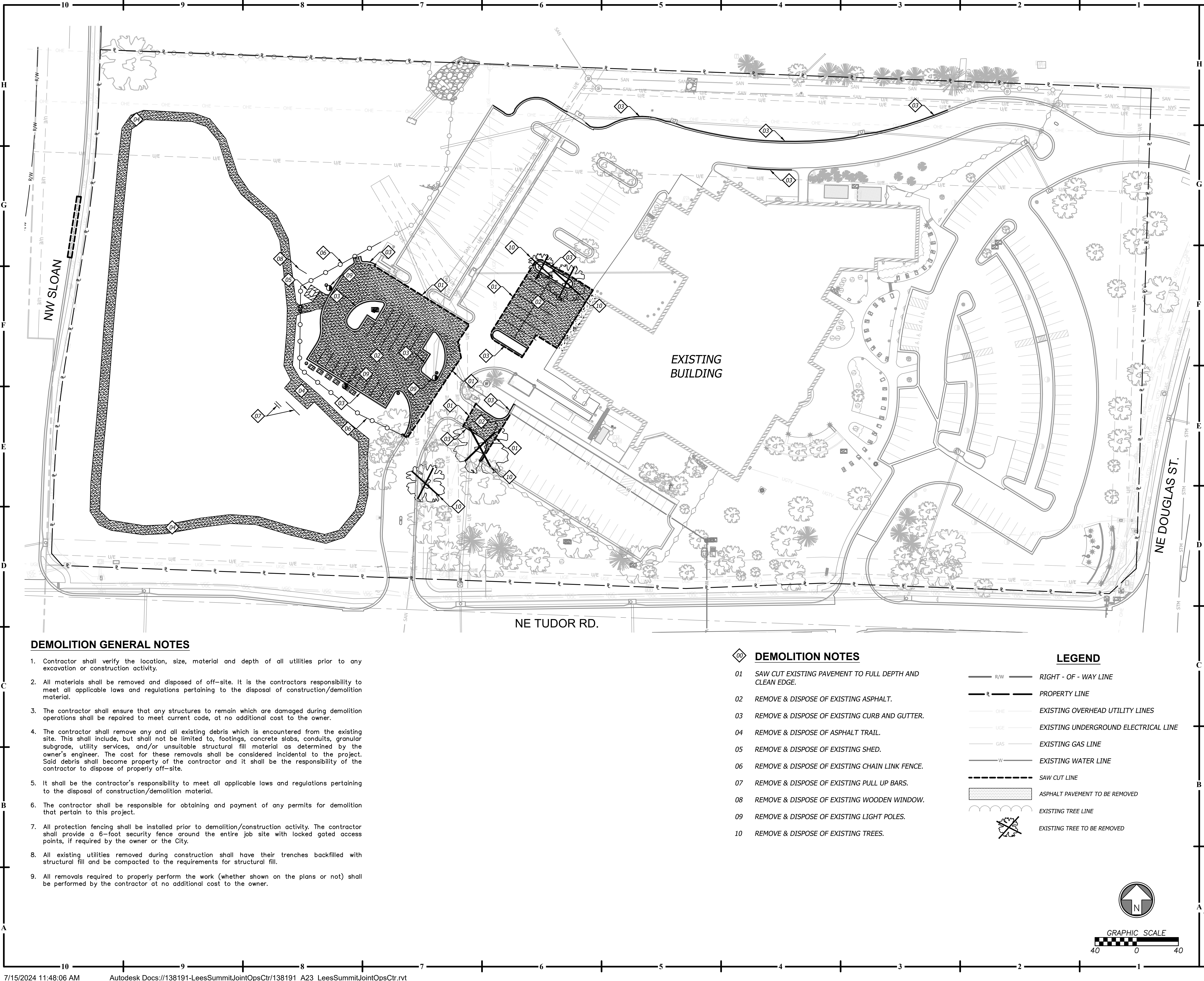
DOUGLAS STATION COMMERCIAL PARK
LOTS 3A, 4A AND 5A



SECTION MAP
SECTION 31-T48N-R31W
(NOT TO SCALE)



Project:	BOUNDARY AND TOPOGRAPHIC SURVEY LOT 1-A, NEW LEE'S POLICE AND COURT FACILITY, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
Client:	CITY OF LEE'S SUMMIT 220 SE GREEN LEE'S SUMMIT, MO 64063
Project No:	041470
Field Crew:	ZL/TH
Field Date:	2024/03/13
Drawn By:	GJW
Issue Date:	2024/04/02
Sheet:	1 OF 7
Rev.	
Date	
Description	
Drawn	
Checked	



DEMOLITION GENERAL NOTES

- Contractor shall verify the location, size, material and depth of all utilities prior to any excavation or construction activity.
- All materials shall be removed and disposed of off-site. It is the contractors responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- The contractor shall ensure that any structures to remain which are damaged during demolition operations shall be repaired to meet current code, at no additional cost to the owner.
- The contractor shall remove any and all existing debris which is encountered from the existing site. This shall include, but shall not be limited to, footings, concrete slabs, conduits, granular subgrade, utility services, and/or unsuitable structural fill material as determined by the owner's engineer. The cost for these removals shall be considered incidental to the project. Said debris shall become property of the contractor and it shall be the responsibility of the contractor to dispose of properly off-site.
- It shall be the contractor's responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- The contractor shall be responsible for obtaining and payment of any permits for demolition that pertain to this project.
- All protection fencing shall be installed prior to demolition/construction activity. The contractor shall provide a 6-foot security fence around the entire job site with locked gated access points, if required by the owner or the City.
- All existing utilities removed during construction shall have their trenches backfilled with structural fill and be compacted to the requirements for structural fill.
- All removals required to properly perform the work (whether shown on the plans or not) shall be performed by the contractor at no additional cost to the owner.

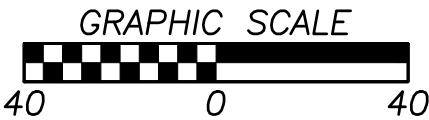
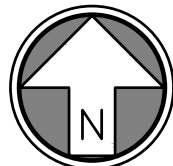


DEMOLITION NOTES

- 01 SAW CUT EXISTING PAVEMENT TO FULL DEPTH AND CLEAN EDGE.
- 02 REMOVE & DISPOSE OF EXISTING ASPHALT.
- 03 REMOVE & DISPOSE OF EXISTING CURB AND GUTTER.
- 04 REMOVE & DISPOSE OF ASPHALT TRAIL.
- 05 REMOVE & DISPOSE OF EXISTING SHED.
- 06 REMOVE & DISPOSE OF EXISTING CHAIN LINK FENCE.
- 07 REMOVE & DISPOSE OF EXISTING PULL UP BARS.
- 08 REMOVE & DISPOSE OF EXISTING WOODEN WINDOW.
- 09 REMOVE & DISPOSE OF EXISTING LIGHT POLES.
- 10 REMOVE & DISPOSE OF EXISTING TREES.

LEGEND

- R/W RIGHT - OF - WAY LINE
- PL PROPERTY LINE
- OHE EXISTING OVERHEAD UTILITY LINES
- UGE EXISTING UNDERGROUND ELECTRICAL LINE
- GAS EXISTING GAS LINE
- W EXISTING WATER LINE
- SAW CUT LINE
- [Pattern] ASPHALT PAVEMENT TO BE REMOVED
- [Symbol] EXISTING TREE LINE
- [Symbol] EXISTING TREE TO BE REMOVED



HOEFER WELKER

4622 PENNSYLVANIA AVENUE
SUITE 1400
KANSAS CITY, MO 64112
P: 913.307.3700
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PRELIMINARY DEVELOPMENT PLAN

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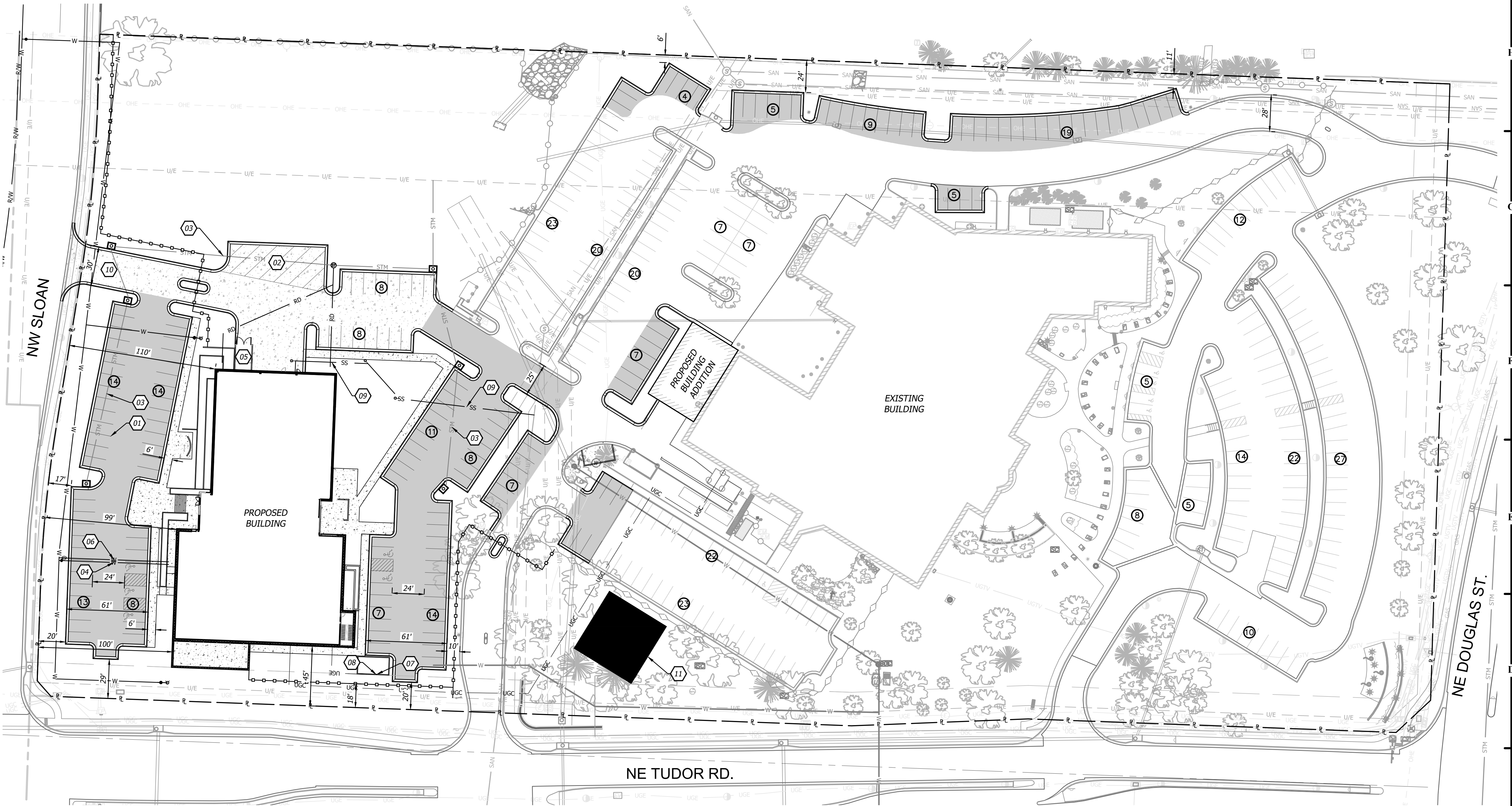
Architect Of Record:
Hoefer Welker

PROFESSIONAL SEAL

C1.0

ISSUE DATE: JULY 25, 2024
HOEFER WELKER #: 138191

DEMOLITION PLAN



SITE DATA	
SITE	
SITE AREA:	11.58 AC 504,417 SF
IMPERVIOUS AREA:	
EXISTING:	228,818 SF (45.4%)
PROPOSED:	296,228 SF (58.7%)
BUILDING	
EXISTING BUILDING AREA:	50,682 SF (10.0%)
PROPOSED BUILDING AREA:	22,176 SF (4.4%)
PROPOSED BUILDING EXPANSION AREA:	2,520 SF (0.5%)
FLOOR AREA RATIO (FAR):	0.15:1
PARKING	
PARKING PROVIDED:	334 STANDARD
ADA PARKING SPACES:	13 HANDICAP (6 VAN)

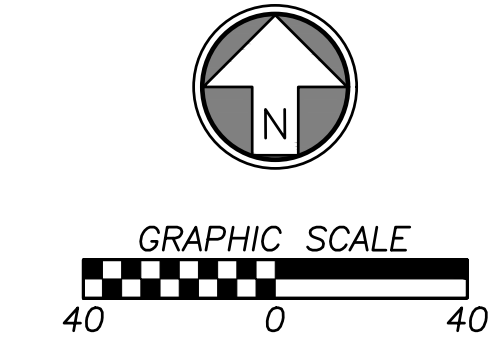
ZONING	
PO (PLANNED OFFICE)	
OWNERSHIP:	
PARCEL NO. 52-900-04-237-00-0-00-000	
CITY OF LEE'S SUMMIT, MO	
LEE'S SUMMIT POLICE AND COURT FACILITY	
INSTRUMENT NO. 199710020462, BOOK 60, PAGE 53	

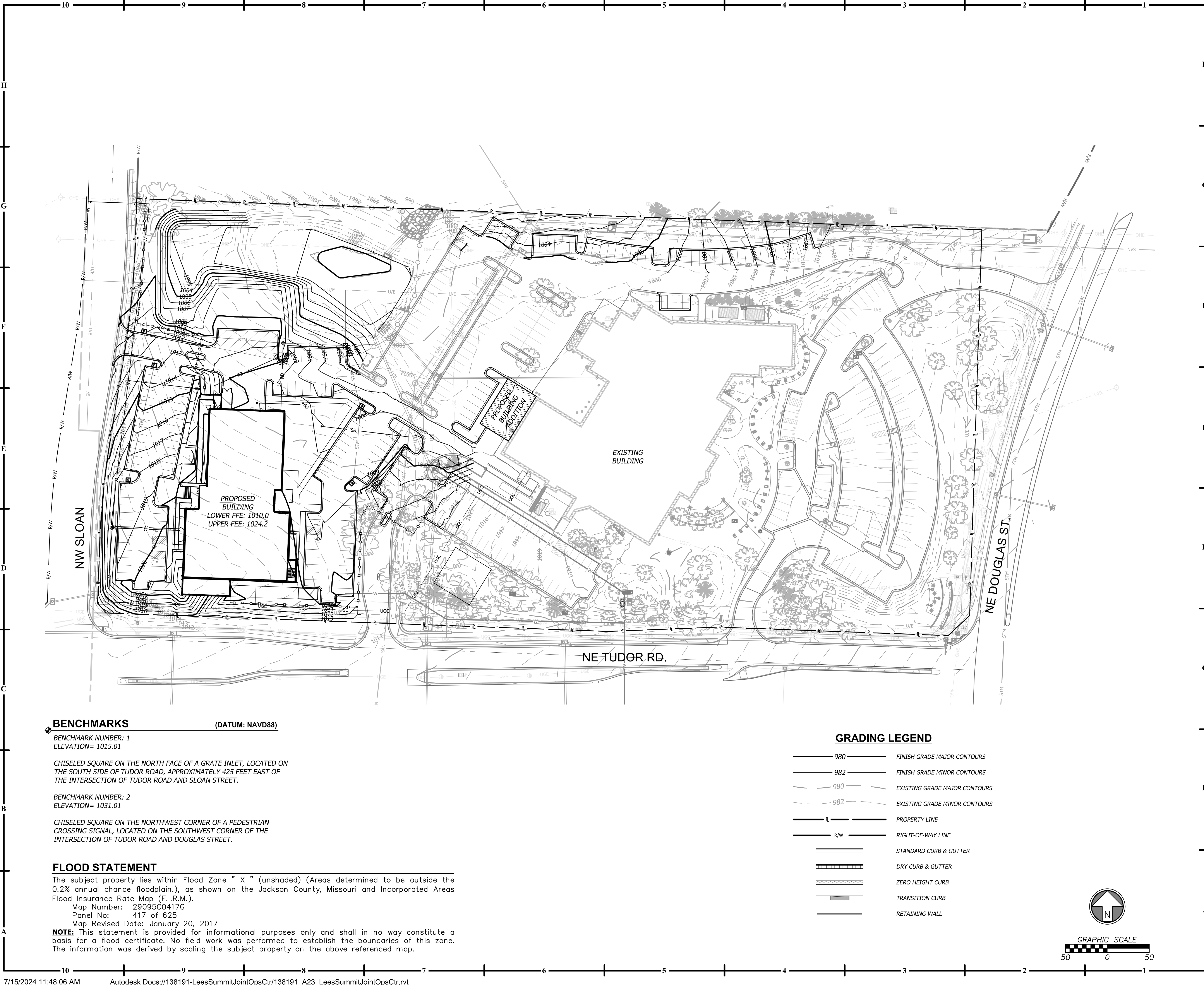
DIMENSIONAL STANDARDS:			
BUILDING SET-BACKS	FRONT YARD	15 FT	
	REAR YARD	20 FT	
PARKING SET-BACKS	RIGHT OF WAY	20 FT	
	RESIDENTIAL DISTRICT SIDE AND REAR P/L	20 FT 6 FT	
DRIVEWAY AISLE MINIMUM		24 FT	
PARKING SPACE DIMENSIONS	LENGTH	19 FT	
	WIDTH	9 FT	

00	CONSTRUCTION NOTES
01	LEAD FREE, WATER-BORNE EMULSION BASED TRAFFIC PAINT FOR PARKING LOT STRIPING (WHITE ON ASPHALT & YELLOW ON CONCRETE).
02	PROPOSED NO PARKING STRIPING
03	PROPOSED STORM SEWER SYSTEM
04	PROPOSED FIRE PROTECTION SYSTEM
05	PROPOSED TRASH ENCLOSURE. (REF. TO ARCHITECTURAL PLANS)
06	PROPOSED WATER SERVICE SYSTEM
07	PROPOSED GENERATOR
08	PROPOSED TRANSFORMER PAD LOCATION
09	PROPOSED SANITARY SEWER SYSTEM
10	CITY OF LEE'S SUMMIT COMMERCIAL DRIVE ENTRANCE (GEN-1)
11	PROPOSED COMMUNICATIONS TOWER LOCATION. PENDING FURTHER DESIGN.

- GENERAL NOTES:**
- MINIMUM CURB RADIUS OF 3 FEET (UNLESS OTHERWISE SPECIFIED).
 - ALL NEW ON-SITE WIRING AND CABLES SHALL BE INSTALLED UNDERGROUND.
 - ALL ABOVE GROUND ELECTRICAL AND/ OR TELEPHONE CABINETS MUST BE PLACED WITHIN THE INTERIOR SIDE OR REAR BUILDING SETBACK YARDS.
 - ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT, UTILITY METER BANKS AND COOLERS, SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
 - ALL EXTERIOR -MOUNTED AND ROOFTOP BUILDING HVAC AND MECHANICAL EQUIPMENT, VENTS, PIPING, ROOF ACCESS LADDERS AND UTILITY METERS MUST BE LOCATED OUT OF VIEW OR OTHERWISE SCREENED FROM PUBLIC VIEW FROM ALL ADJACENT STREETS AND RESIDENTIALLY ZONED OR DEVELOPED PROPERTIES. SCREENING MUST BE ACCOMPLISHED WITH LANDSCAPING, SCREEN WALLS, BUILDING ELEMENTS, OR A COMBINATION OF THESE METHODS.
 - BUILDING FOOTPRINT AS SHOWN REPRESENTS THE MOST EXTERIOR LINE WORK FOR BUILDING AS PROVIDED BY HOEFER WELKER.

SITE LEGEND	
#	PARKING STALL COUNT
[Pattern]	PROPOSED BUILDING
[Pattern]	EXISTING BUILDING
[Pattern]	LIGHT DUTY ASPHALT PAVEMENT
[Pattern]	LIGHT DUTY PCC PAVEMENT
[Pattern]	CONCRETE SIDEWALK
[Pattern]	STANDARD CURB & GUTTER
[Pattern]	RETAINING WALL
[Pattern]	DRY CURB & GUTTER
[Pattern]	ZERO HEIGHT CURB
[Pattern]	TRANSITION CURB





BENCHMARKS

(DATUM: NAVD88)

BENCHMARK NUMBER: 1
ELEVATION= 1015.01

CHISELED SQUARE ON THE NORTH FACE OF A GRATE INLET, LOCATED ON THE SOUTH SIDE OF TUDOR ROAD, APPROXIMATELY 425 FEET EAST OF THE INTERSECTION OF TUDOR ROAD AND SLOAN STREET.

BENCHMARK NUMBER: 2
ELEVATION= 1031.01

CHISELED SQUARE ON THE NORTHWEST CORNER OF A PEDESTRIAN CROSSING SIGNAL, LOCATED ON THE SOUTHWEST CORNER OF THE INTERSECTION OF TUDOR ROAD AND DOUGLAS STREET.

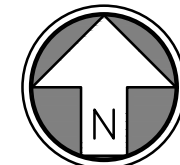
FLOOD STATEMENT

The subject property lies within Flood Zone " X " (unshaded) (Areas determined to be outside the 0.2% annual chance floodplain.), as shown on the Jackson County, Missouri and Incorporated Areas Flood Insurance Rate Map (F.I.R.M.).
Map Number: 29095C0417G
Panel No: 417 of 625
Map Revised Date: January 20, 2017

NOTE: This statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The information was derived by scaling the subject property on the above referenced map.

GRADING LEGEND

- 980 FINISH GRADE MAJOR CONTOURS
- 982 FINISH GRADE MINOR CONTOURS
- 980 EXISTING GRADE MAJOR CONTOURS
- 982 EXISTING GRADE MINOR CONTOURS
- PROPERTY LINE
- R/W RIGHT-OF-WAY LINE
- STANDARD CURB & GUTTER
- DRY CURB & GUTTER
- ZERO HEIGHT CURB
- TRANSITION CURB
- RETAINING WALL



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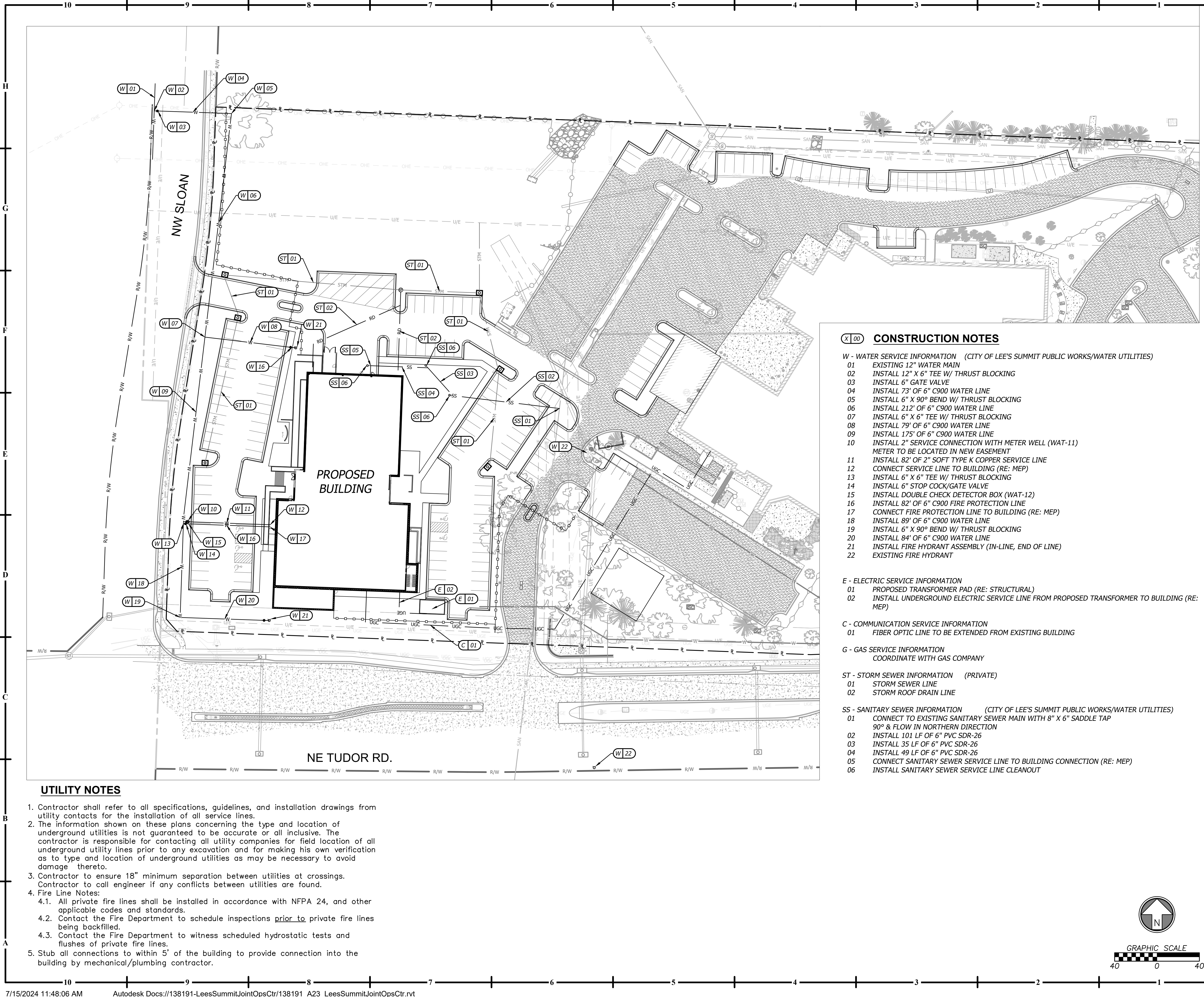
Architect Of Record:
Hoefer Welker

PROFESSIONAL SEAL

C3.0

ISSUE DATE: JULY 25, 2024
HOEFER WELKER #: 138191

OVERALL GRADING PLAN



UTILITY NOTES

- Contractor shall refer to all specifications, guidelines, and installation drawings from utility contacts for the installation of all service lines.
- The information shown on these plans concerning the type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation and for making his own verification as to type and location of underground utilities as may be necessary to avoid damage thereto.
- Contractor to ensure 18" minimum separation between utilities at crossings. Contractor to call engineer if any conflicts between utilities are found.
- Fire Line Notes:
 - All private fire lines shall be installed in accordance with NFPA 24, and other applicable codes and standards.
 - Contact the Fire Department to schedule inspections prior to private fire lines being backfilled.
 - Contact the Fire Department to witness scheduled hydrostatic tests and flushes of private fire lines.
- Stub all connections to within 5' of the building to provide connection into the building by mechanical/plumbing contractor.

X 00 CONSTRUCTION NOTES

W - WATER SERVICE INFORMATION (CITY OF LEE'S SUMMIT PUBLIC WORKS/WATER UTILITIES)

- EXISTING 12" WATER MAIN
- INSTALL 12" X 6" TEE W/ THRUST BLOCKING
- INSTALL 6" GATE VALVE
- INSTALL 73' OF 6" C900 WATER LINE
- INSTALL 6" X 90° BEND W/ THRUST BLOCKING
- INSTALL 212' OF 6" C900 WATER LINE
- INSTALL 6" X 6" TEE W/ THRUST BLOCKING
- INSTALL 79' OF 6" C900 WATER LINE
- INSTALL 175' OF 6" C900 WATER LINE
- INSTALL 2" SERVICE CONNECTION WITH METER WELL (WAT-11)
METER TO BE LOCATED IN NEW EASEMENT
- INSTALL 82' OF 2" SOFT TYPE K COPPER SERVICE LINE
- CONNECT SERVICE LINE TO BUILDING (RE: MEP)
- INSTALL 6" X 6" TEE W/ THRUST BLOCKING
- INSTALL 6" STOP COCK/GATE VALVE
- INSTALL DOUBLE CHECK DETECTOR BOX (WAT-12)
- INSTALL 82' OF 6" C900 FIRE PROTECTION LINE
- CONNECT FIRE PROTECTION LINE TO BUILDING (RE: MEP)
- INSTALL 89' OF 6" C900 WATER LINE
- INSTALL 6" X 90° BEND W/ THRUST BLOCKING
- INSTALL 84' OF 6" C900 WATER LINE
- INSTALL FIRE HYDRANT ASSEMBLY (IN-LINE, END OF LINE)
- EXISTING FIRE HYDRANT

E - ELECTRIC SERVICE INFORMATION

- PROPOSED TRANSFORMER PAD (RE: STRUCTURAL)
- INSTALL UNDERGROUND ELECTRIC SERVICE LINE FROM PROPOSED TRANSFORMER TO BUILDING (RE: MEP)

C - COMMUNICATION SERVICE INFORMATION

- FIBER OPTIC LINE TO BE EXTENDED FROM EXISTING BUILDING

G - GAS SERVICE INFORMATION

COORDINATE WITH GAS COMPANY

ST - STORM SEWER INFORMATION (PRIVATE)

- STORM SEWER LINE
- STORM ROOF DRAIN LINE

SS - SANITARY SEWER INFORMATION (CITY OF LEE'S SUMMIT PUBLIC WORKS/WATER UTILITIES)

- CONNECT TO EXISTING SANITARY SEWER MAIN WITH 8" X 6" SADDLE TAP
90° & FLOW IN NORTHERN DIRECTION
- INSTALL 101 LF OF 6" PVC SDR-26
- INSTALL 35 LF OF 6" PVC SDR-26
- INSTALL 49 LF OF 6" PVC SDR-26
- CONNECT SANITARY SEWER SERVICE LINE TO BUILDING CONNECTION (RE: MEP)
- INSTALL SANITARY SEWER SERVICE LINE CLEANOUT

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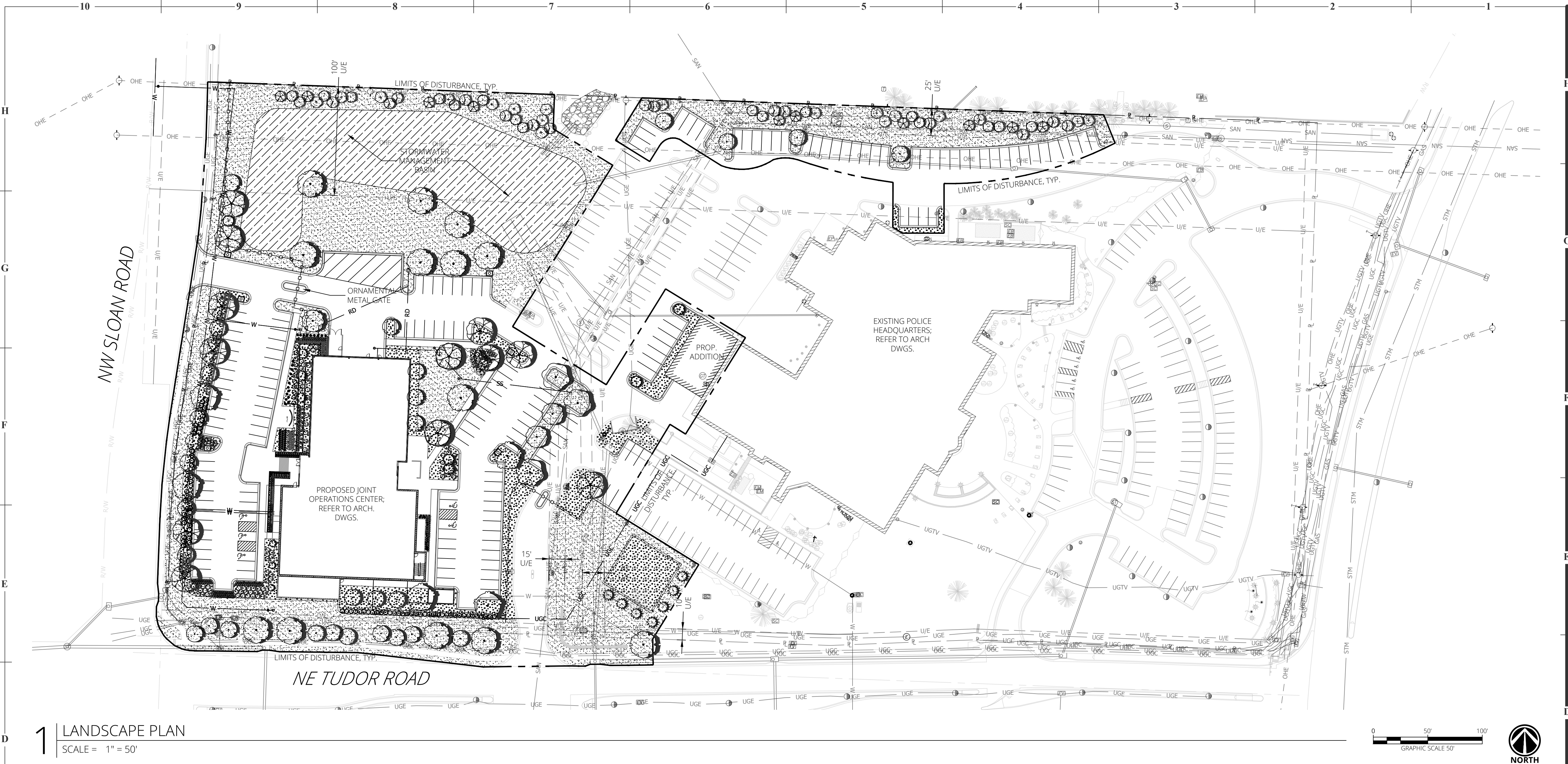
Architect Of Record:
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PROFESSIONAL SEAL

C4.0

ISSUE DATE: JULY 25, 2024
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UTILITY PLAN



1 LANDSCAPE PLAN

SCALE = 1" = 50'

LANDSCAPE CODE SUMMARY

STREET FRONTAGE TREES (8.790.A.1)

REQUIRED: 1 TREE PER 30 FEET OF STREET FRONTAGE
NE TUDOR ROAD = 438 FEET / 30 = 15 TREES
NW SLOAN ROAD = 502 FEET / 30 = 17 TREES
PROVIDED: NE TUDOR ROAD = 15 TREES
NW SLOAN ROAD = 17 TREES

STREET FRONTAGE SHRUBS (8.790.A.2)

REQUIRED: 1 SHRUB PER 20 FEET OF STREET FRONTAGE
NE TUDOR ROAD = 314 FEET / 20 = 16 SHRUBS
NW SLOAN ROAD = 502 FEET / 20 = 26 SHRUBS
PROVIDED: NE TUDOR ROAD = 81 SHRUBS
NW SLOAN ROAD = 119 SHRUBS

OPEN YARD SHRUBS (8.790.B.1)

REQUIRED: 2 SHRUBS PER 5,000 SQUARE FEET OF TOTAL LOT AREA
241,175 SF / 5,000 * 2 = 96 SHRUBS
PROVIDED: 121 SHRUBS

OPEN YARD TREES (8.790.B.3)

REQUIRED: 1 TREE PER 5,000 SQUARE FEET OF TOTAL LOT AREA
241,175 SF / 5,000 = 48 TREES
PROVIDED: 51 TREES

PARKING LOT SCREENING (8.820.C.1)

REQUIRED: HEDGE OF 12 SHRUBS / 40 LINEAR FEET
392 LINEAR FEET / 40 * 12 = 118 SHRUBS
PROVIDED: 173 SHRUBS

MINIMUM BUFFER / SCREEN (8.890)

REQUIRED: NORTHWEST = MEDIUM IMPACT SCREEN - TYPE B
1 SHADE TREE PER 1,000 SQUARE FEET = 6 SHADE TREES
1 ORNAMENTAL TREE PER 500 SQUARE FEET = 12 ORNAMENTAL TREES
1 EVERGREEN TREE PER 300 SQUARE FEET = 20 EVERGREEN TREES
1 SHRUB PER 200 SQUARE FEET = 30 SHRUBS
PROVIDED: 30 SHRUBS

REQUIRED: NORTHEAST = LOW IMPACT SCREEN - TYPE B

1 SHADE TREE PER 1,000 SQUARE FEET = 6 SHADE TREES
1 ORNAMENTAL TREE PER 500 SQUARE FEET = 12 ORNAMENTAL TREES
1 EVERGREEN TREE PER 500 SQUARE FEET = 20 EVERGREEN TREES
1 SHRUB PER 500 SQUARE FEET = 30 SHRUBS
PROVIDED: 30 SHRUBS

LANDSCAPE NOTES

- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCING WORK. CONTACT THE MISSOURI ONE CALL SYSTEM AT 1-800-DIG-RITE OR 811 TO FILE A LOCATE REQUEST PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES RESULTING FROM LANDSCAPE OPERATIONS. ANY UTILITIES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND MAY OR MAY NOT DEPICT THE ACTUAL LOCATION OF SERVICES.
- QUANTITIES OF MATERIALS SHOWN ON THE LANDSCAPE PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE LANDSCAPE PLAN PRIOR TO BIDDING.
- REPORT ANY DISCREPANCIES IN THE LANDSCAPE PLAN TO THE LANDSCAPE ARCHITECT, PRIOR TO PURCHASING MATERIALS OR STARTING CONSTRUCTION.
- ALL DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE BROUGHT TO FINISH GRADE AND SODDED IN TURF-TYPE TALL FESCUE OR OTHER APPROPRIATE GROUND COVERS, AS DEPICTED ON SHEET L1.01.
- CONTRACTOR SHALL PROVIDE OWNER'S REPRESENTATIVE WITH SOIL TEST ANALYSIS REPORTS FOR EACH SAMPLE OF EXISTING SOIL, TOPSOIL, COMPOST, AND PLANTING SOIL MIX PRIOR TO PLANTING PREPARATION. ANALYSES SHALL BE CONDUCTED BY A QUALIFIED SOIL-TESTING LABORATORY AND INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING PARAMETERS: PARTICLE SIZE ANALYSIS (% DRY WEIGHT), USDA SOIL TEXTURE, pH AND BUFFER pH, ORGANIC CONTENT (% DRY WEIGHT), MOISTURE CONTENT (% WET WEIGHT), PHYSICAL CONTAMINANTS (% DRY WEIGHT), AND NUTRIENT LEVELS (NITROGEN, PHOSPHORUS, POTASSIUM).
- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK."
- PLANTS DESIGNATED AS CONTAINER GROWN SHALL HAVE BEEN GROWN IN POTS, CANS OR BOXES FOR A MINIMUM OF SIX MONTHS AND A MAXIMUM OF TWO YEARS. THESE PLANTS SHALL BE REMOVED FROM CONTAINERS BEFORE PLANTING. PLANTS THAT APPEAR ROOT-BOUND SHALL BE REJECTED.
- APPLY A 3" LAYER OF 1-3" DIAMETER DECORATIVE GRAVEL OVER NONWOVEN GEOTEXTILE FABRIC IN ALL PLANTING BEDS ADJACENT TO THE BUILDING AND A 3" LAYER OF SHREDDED BARK MULCH AROUND ANY TREES OTHERWISE PLACED WITHIN TURF AREAS. IN BOTH CASES, MULCH SHOULD NOT COME IN CONTACT WITH PLANT TRUNKS OR STEMS.
- ALL TURF AREAS SHALL BE SEPARATED FROM THE BUILDING FOUNDATION WALL BY AN AGGREGATE MOW STRIP 18 INCHES IN WIDTH, 6 INCHES IN DEPTH, AND CONSISTING OF 1-3" DIAMETER DECORATIVE GRAVEL.
- ALL PLANTING BEDS AND AGGREGATE MOW STRIPS MUST BE SEPARATED FROM TURF AREAS WITH STEEL LANDSCAPE EDGING. PROVIDE "BORDER KING STEEL LANDSCAPE EDGING" MANUFACTURED BY BORDER CONCEPTS, INC., OR APPROVED EQUAL. REFER TO SHEET L1.02, DETAIL #5.
- CONTRACTOR SHALL USE AN APPROVED TREE GUYING SYSTEM. TREE GUYING TO BE FLAT WOVEN POLYPROPYLENE MATERIAL, 3/4-INCH-WIDE, WITH A TENSILE STRENGTH OF 900 LBS. HOSE AND WIRE WILL NOT BE ACCEPTED. SUBJECT TO COMPLIANCE WITH THESE REQUIREMENTS, PROVIDE ONE OF THE FOLLOWING PRODUCTS, OR APPROVED EQUAL:
 - "ARBORTIE GREEN" MANUFACTURED BY DEEP ROOT PARTNERS, LP
 - "LEONARD TREE TIE WEBBING GREEN" MANUFACTURED BY A.M. LEONARD, INC.
- TURF SOD SHALL BE CERTIFIED TURF GRASS SOD COMPLYING WITH TURFGRASS PRODUCERS INTERNATIONAL'S "GUIDELINE SPECIFICATIONS FOR TURFGRASS SODDING". SOD SHALL BE TURF-TYPE TALL FESCUE HARVESTED FROM A SOD FARM LOCATED WITHIN 100 MILES OF THE PROJECT SITE. SOD SHALL BE WELL-ROOTED, 2-YEAR OLD STOCK HARVESTED IN ROLLS AND FERTILIZED 2-3 WEEKS PRIOR TO CUTTING. ALL SOD SHALL BE MACHINE CUT AND VIGOROUSLY GROWING (NOT DORMANT), MAXIMUM TIME FROM STRIPPING TO PLANTING SHALL BE 24 HOURS. THE SOD SHALL CONTAIN A GROWTH OF NOT MORE THAN TEN (10%) PERCENT OF OTHER GRASSES AND CLOVERS, SHALL BE FREE FROM ALL PROHIBITED AND NOXIOUS WEEDS AND SHALL BE THREE-FOURTHS (¾") INCH TO ONE AND ON-FOURTH (1-¼") INCH THICK. SOD SHALL BE CUT IN STRIPS NOT LESS THAN 18 INCHES WIDE AND THREE (3) FEET LONG.
- THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANTS' HEALTHY CONDITION.

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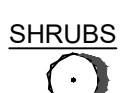
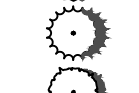
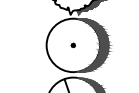
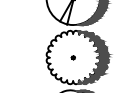
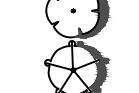
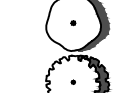
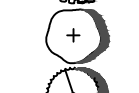



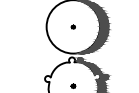


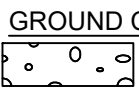
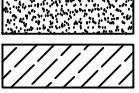








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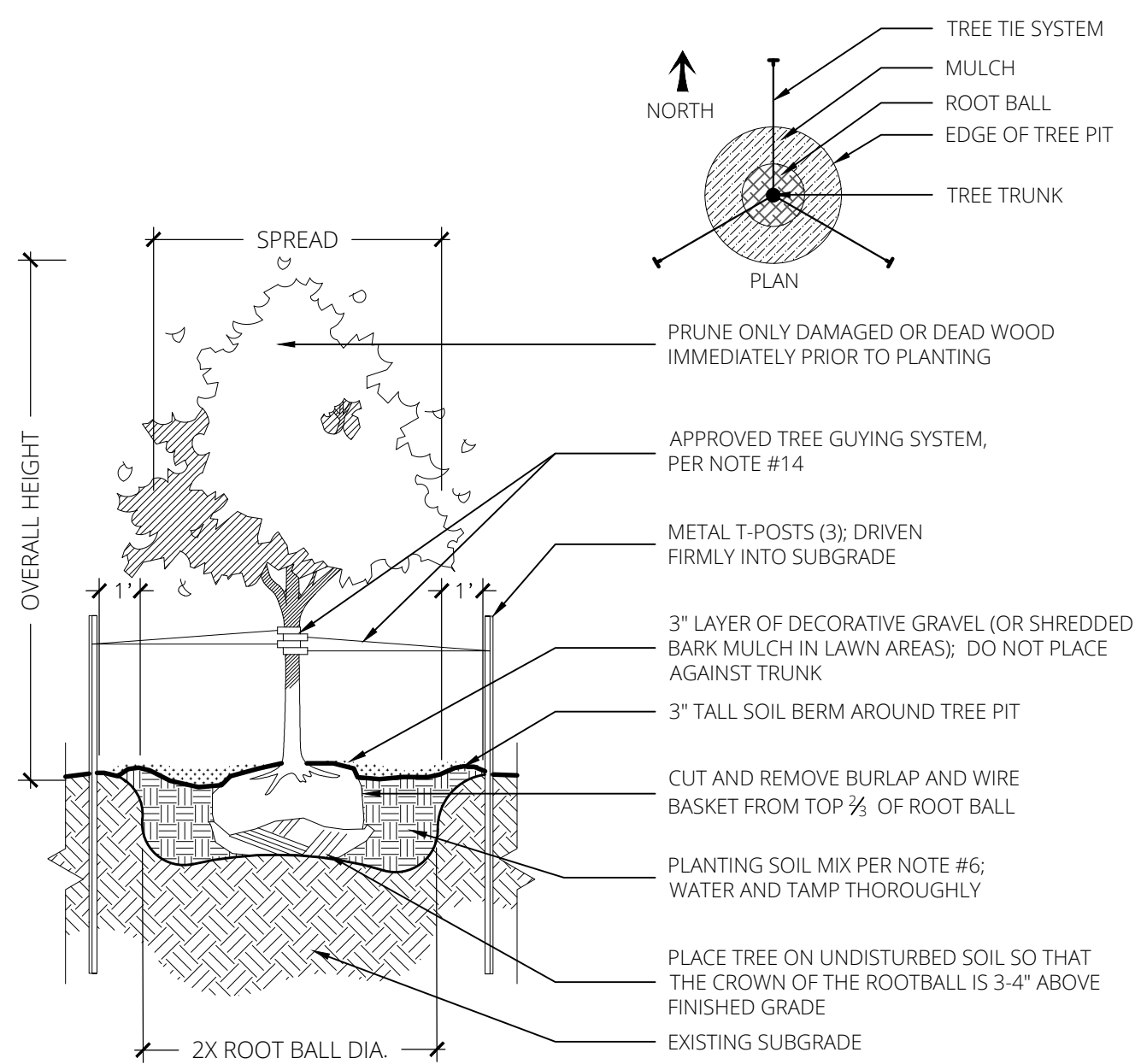
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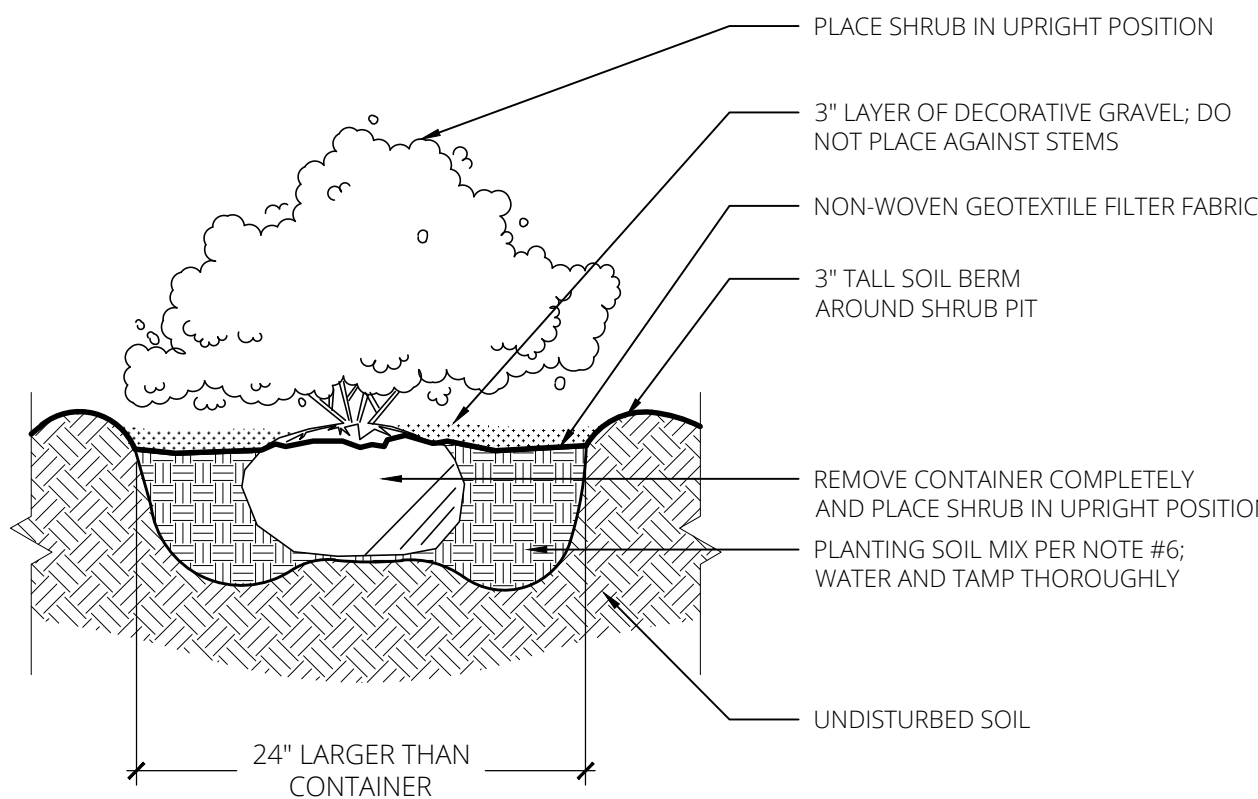
LANDSCAPE PLAN

PLANT SCHEDULE

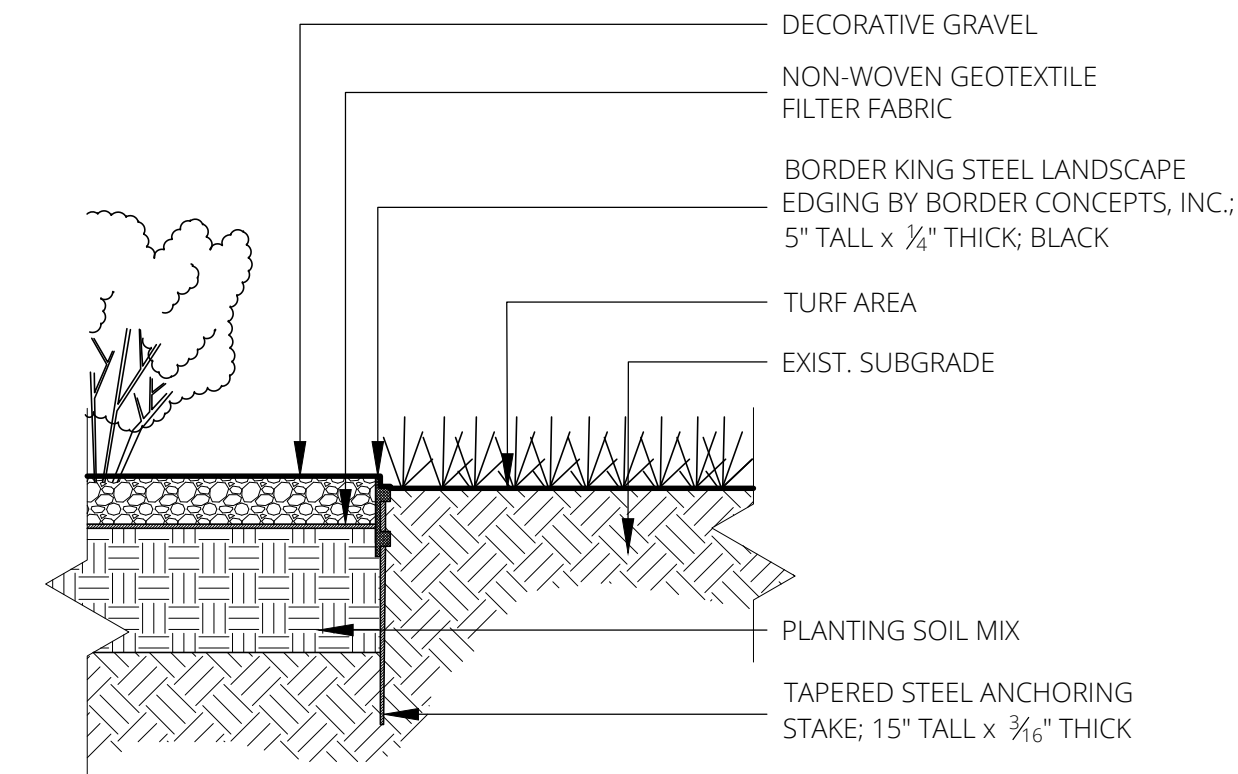
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
DECIDUOUS TREES						
	AC	9	CADDO SUGAR MAPLE / ACER SACCHARUM 'CADDO'	B & B	2"	CAL
	GB	5	MAIDENHAIR TREE / GINKGO BILOBA	B & B	2"	CAL
	PB	5	BLOODGOOD LONDON PLANE TREE / PLATANUS X ACERIFOLIA 'BLOODGOOD'	B & B	2"	CAL
	QB	3	SWAMP WHITE OAK / QUERCUS BICOLOR	B & B	2"	CAL
	QS	8	SHUMARD OAK / QUERCUS SHUMARDII	B & B	2"	CAL
	QN	3	NUTTALL OAK / QUERCUS TEXANA	B & B	2"	CAL
	TA2	3	AMERICAN LINDEN / TILIA AMERICANA	B & B	2"	CAL
EVERGREEN TREES						
	JP	10	PERFECTA JUNIPER / JUNIPERUS CHINENSIS 'PERFECTA'	B & B		5'-6" TALL
	JT	3	TAYLOR EASTERN REDCEDAR / JUNIPERUS VIRGINIANA 'TAYLOR'	B & B		5'-6" TALL
ORNAMENTAL TREES						
	AG	14	AUTUMN BRILLIANCE SERVICEBERRY / AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	B & B	2"	CAL
	CC	15	EASTERN REDBUD / CERCIS CANADENSIS	B & B	2"	CAL
	CP	5	PRINCESS EMILY DOGWOOD / CORNUS FLORIDA 'PRINCESS EMILY'	B & B	2"	CAL
SHRUBS						
	AR	17	CHINESE BUTTONBUSH / ADINA RUBELLA	#5		
	BT	44	SUNJOY TANGELO BARBERRY / BERBERIS THUNBERGII 'SUNJOY TANGELO'	#3		
	IS	68	SHAMROCK INKBERRY HOLLY / ILEX GLABRA 'SHAMROCK'	#5		
	JS	53	SEA GREEN PFITZER JUNIPER / JUNIPERUS X PFITZERIANA 'SEA GREEN'	#5		
	PS2	8	SUMMER WINE® NINEBARK / PHYSOCARPUS OPULIFOLIUS 'SEWARD'	#5		
	PO	29	AMBER JUBILEE NINEBARK / PHYSOCARPUS OPULIFOLIUS 'JEFAM'	#5		
	RG	11	GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'	#3		
	SE	10	BLACK LACE® ELDERBERRY / SAMBUCUS NIGRA 'EVA'	#5		
	SM	20	MAGIC CARPET JAPANESE SPIREA / SPIRAEA JAPONICA 'WALBUMA'	#3		
	TD	36	DENSIFORMIS YEW / TAXUS X MEDIA 'DENSIFORMIS'	#5		
	VC	18	CRIMSON TIDE™ ARROWWOOD VIBURNUM / VIBURNUM DENTATUM 'KLMSIX'	#5		
	VB	7	BLACKHAW VIBURNUM / VIBURNUM PRUNIFOLIUM	#5		
GRASSES & PERENNIALS						
	BG	22	BLUE GRAMA GRASS / BOUTELOUA GRACILIS	#1		
	CK	70	KARL FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#3		
	CP2	104	STIFF TICKSEED / COREOPSIS PALMATA	#1		
	HR	10	RUBY SPIDER DAYLILY / HEMEROCALLIS X 'RUBY SPIDER'	#1		
	PP	44	RUSSIAN SAGE / PEROVSKIA ATRIPLICIFOLIA 'PEEK-A-BLUE'	#3		
	SP	19	PRAIRIE MUNCHKIN LITTLE BLUESTEM / SCHIZACHYRIUM SCOPARIUM 'PRAIRIE MUNCHKIN'	#1		
	ST	40	WILD STONECROP / SEDUM TERNATUM	#1		
	SH	86	PRAIRIE DROPSEED / SPOROBOLUS HETEROLEPIS	#1		
GROUND COVERS						
	DG	22,354 SF	DECORATIVE GRAVEL / 1" - 3" MISSOURI RAINBOW	ROCK		
	TS	76,249 SF	TURF SOD / DROUGHT TOLERANT FESCUE BLEND	SOD		
	VF	26,648 SF	VEGETATED FILTER MIX / STORMWATER BMP PANTS	SEED		



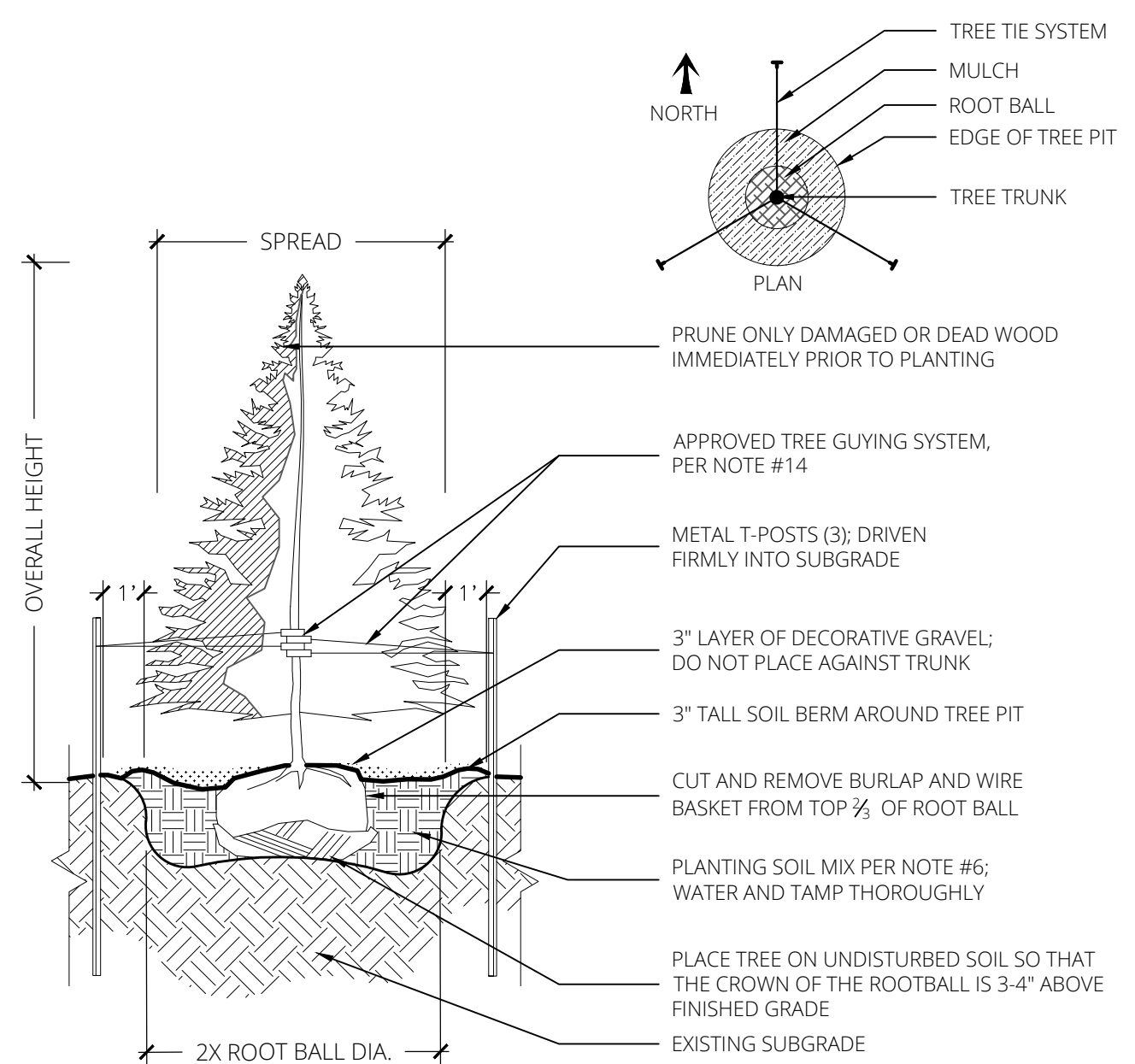
1 | DECIDUOUS TREE PLANTING
SCALE = 1/4" = 1'-0"



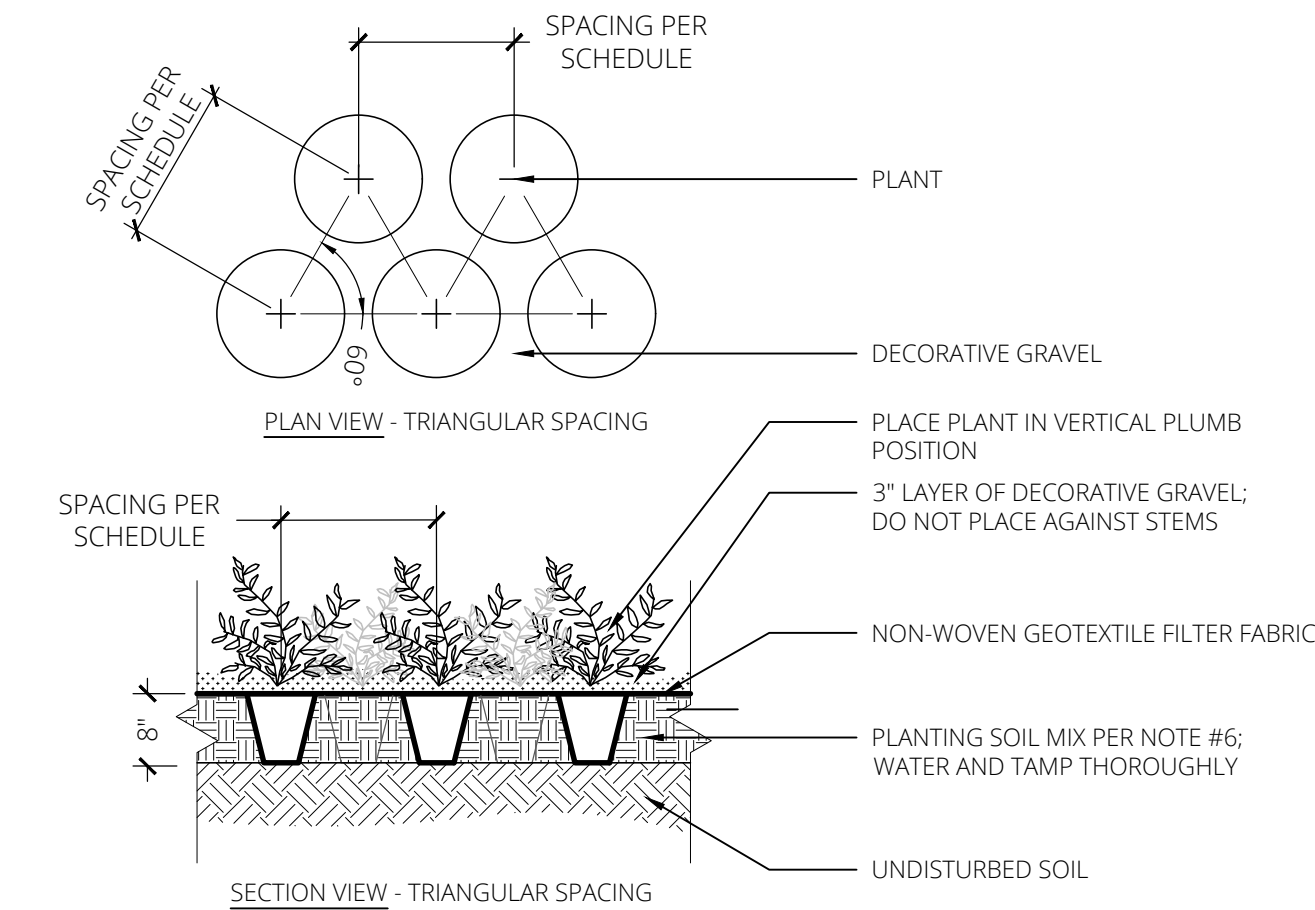
3 | SHRUB PLANTING
SCALE = 1/2" = 1'-0"



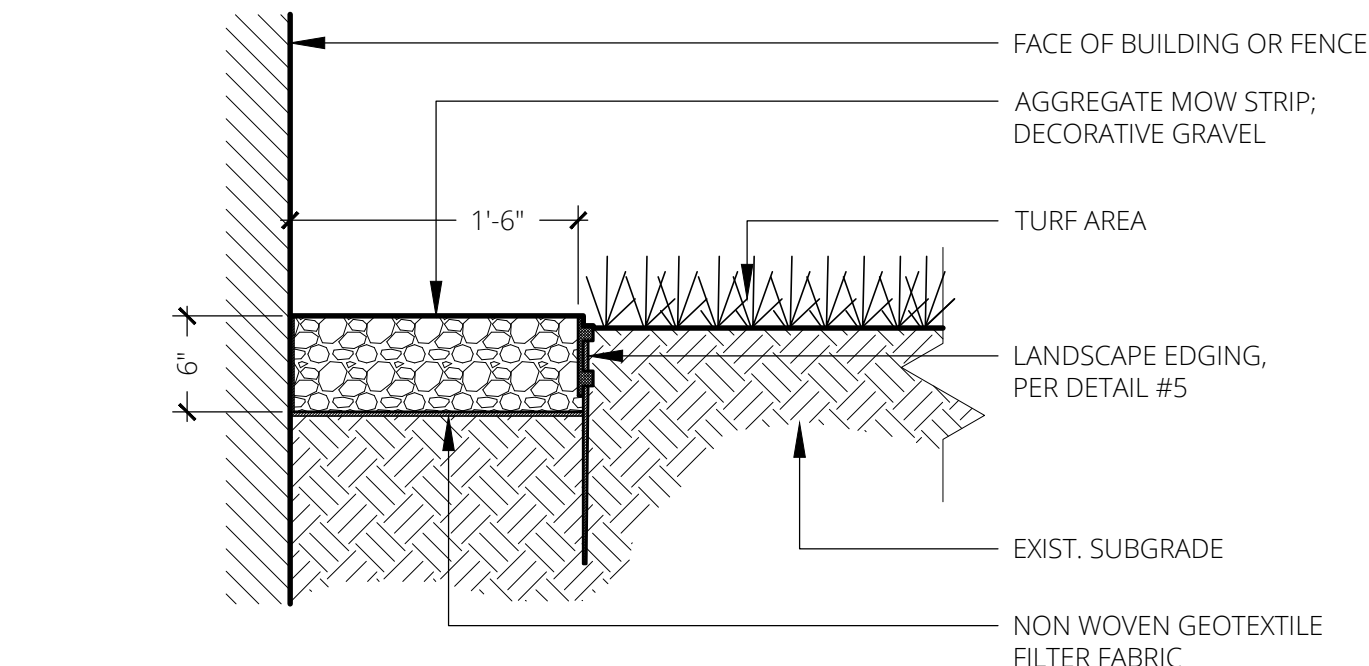
5 | LANDSCAPE EDGING
SCALE = 1" = 1'-0"



2 | EVERGREEN TREE PLANTING
SCALE = 1/4" = 1'-0"



4 | PERENNIAL PLANTING
SCALE = 1/2" = 1'-0"



6 | AGGREGATE MOW STRIP
SCALE = 1" = 1'-0"


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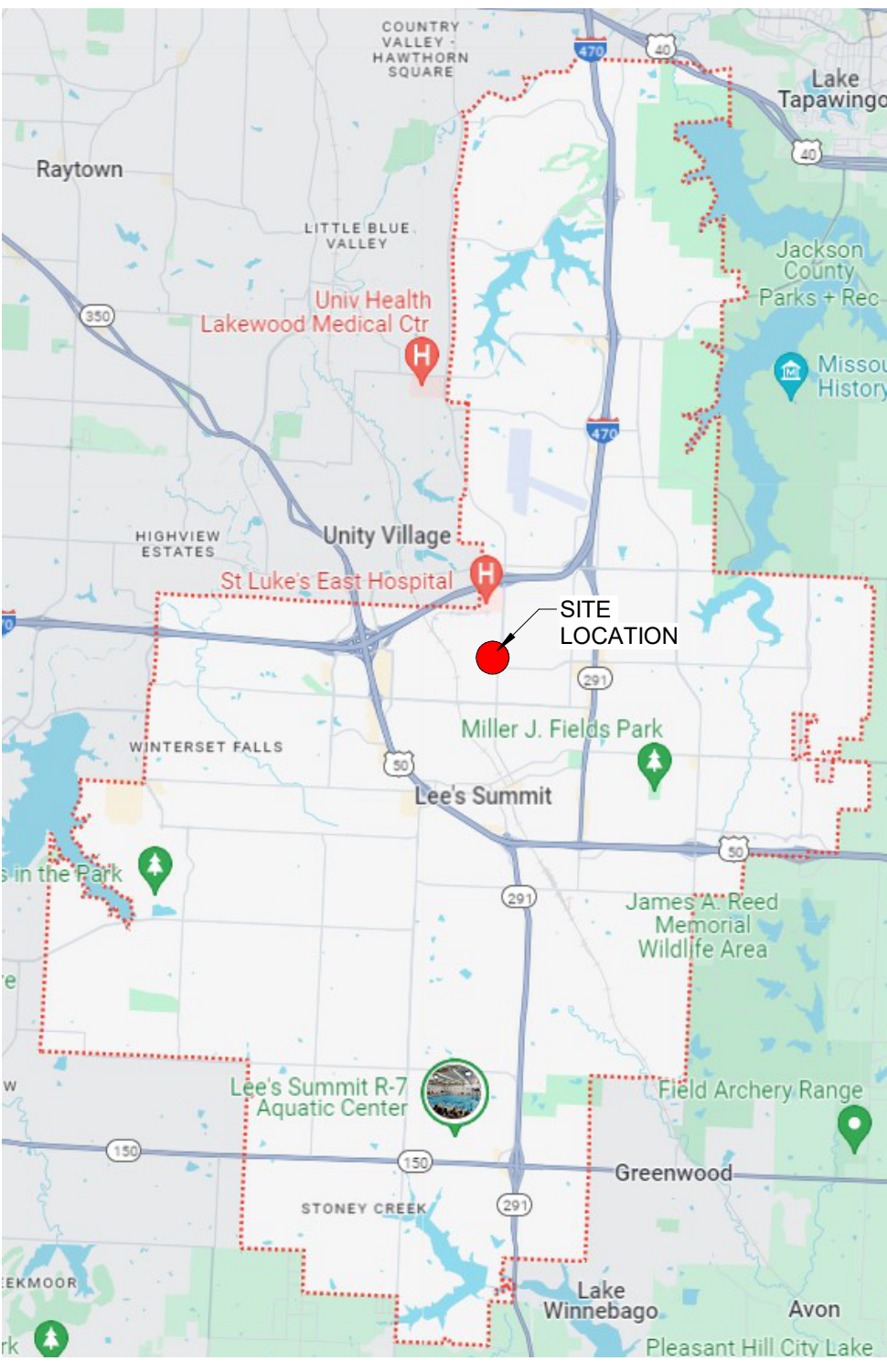
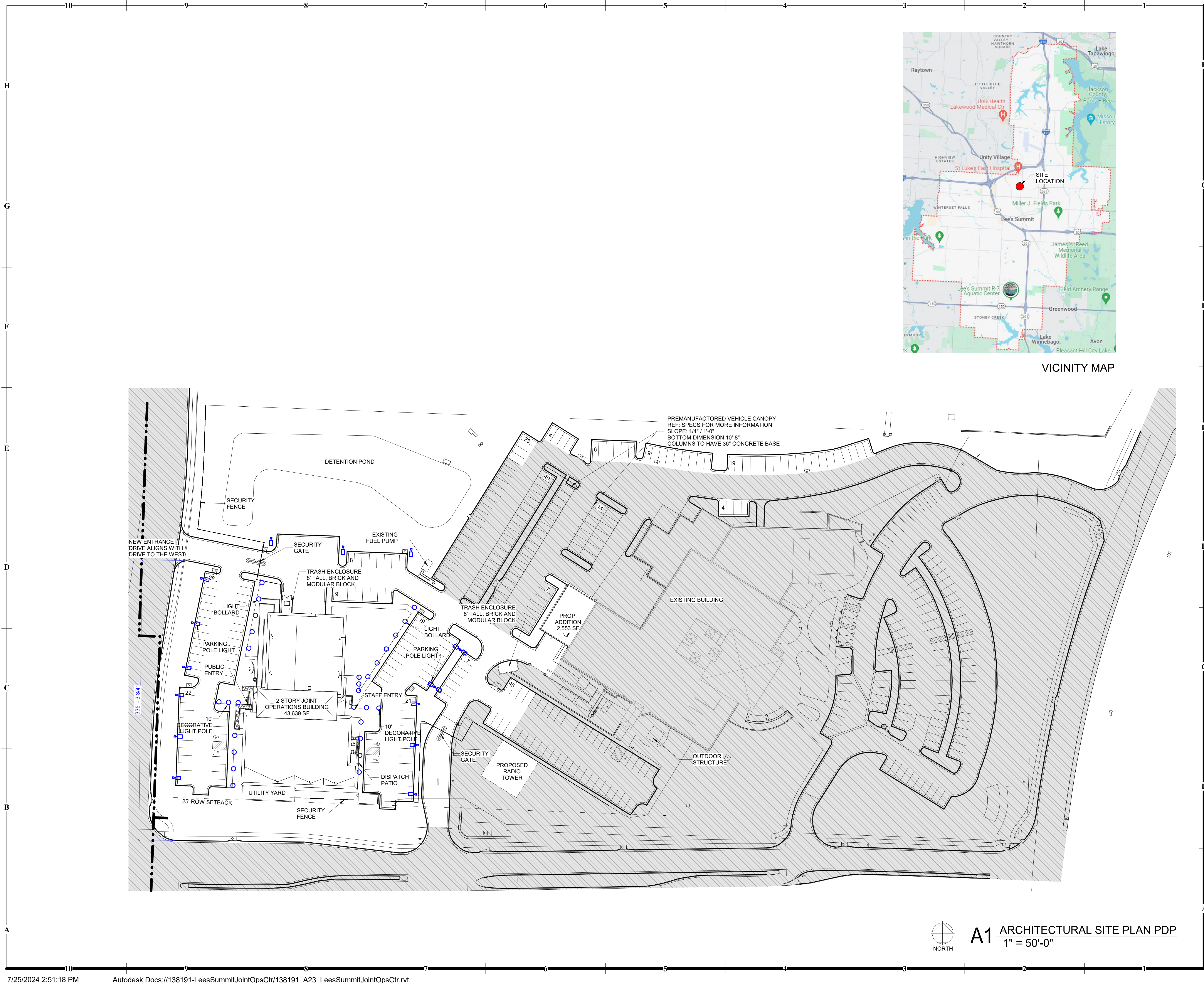
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LANDSCAPE SCHEDULE :
& DETAILS



VICINITY MAP

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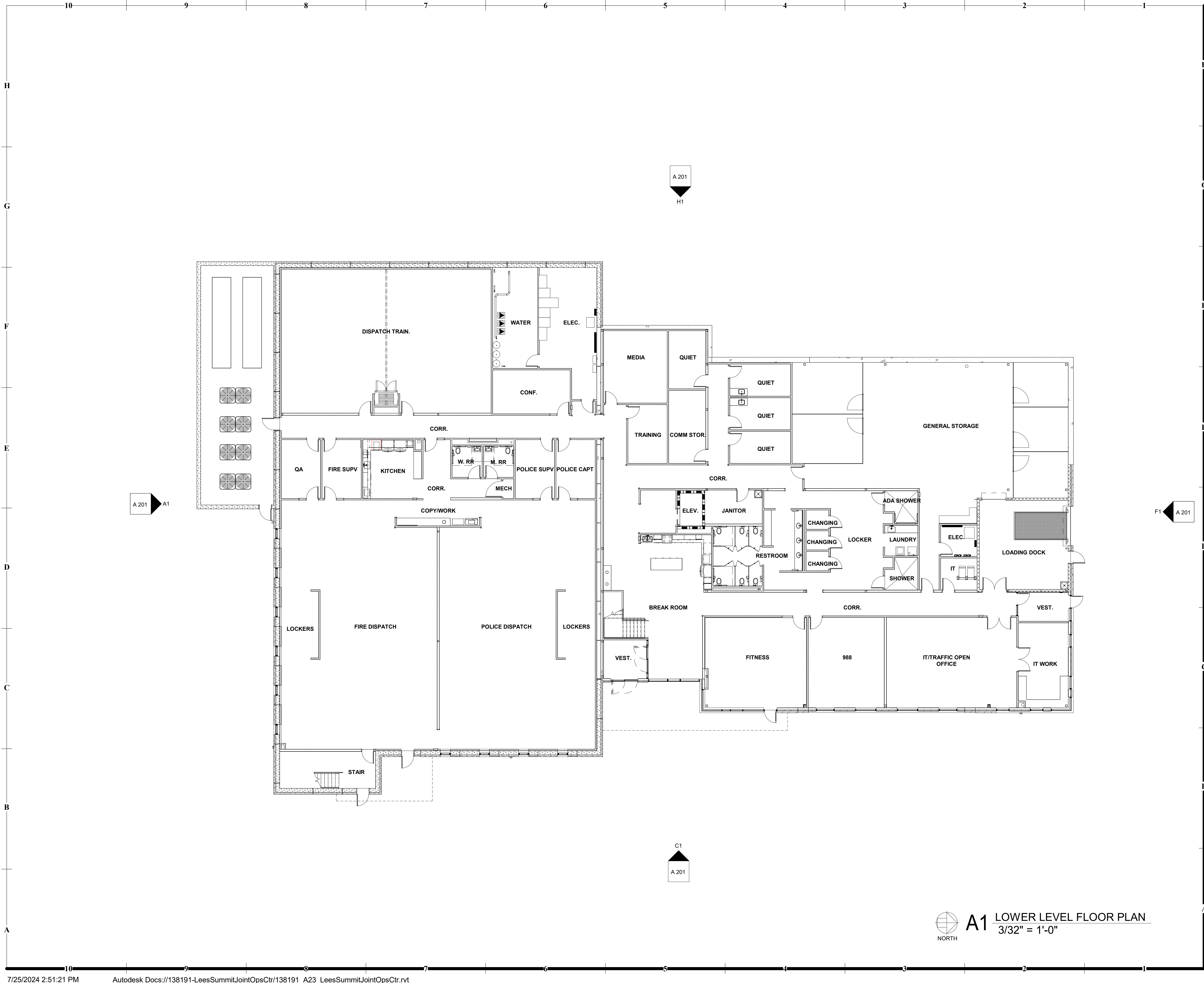
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A1 ARCHITECTURAL SITE PLAN PDP
1" = 50'-0"

ARCHITECTURAL SITE PLAN



- GENERAL NOTES - FLOOR PLANS:**
1. RE: SHEET G-011 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 2. ARCHITECTURAL ELEVATION 100'-0" = CIVIL ELEVATION 1024.67'
 3. DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
 4. FOR METAL STUD CONSTRUCTION DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF GYP. BOARD/ WALL (FG), UNLESS NOTED OR SHOWN OTHERWISE.
 5. NOTE: WALL THICKNESSES ARE ACTUAL DIMENSIONS.
 6. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO OUTSIDE FACE OF DOOR FRAME - HINGE SIDE, ALWAYS ALLOWING A MINIMUM OF 18" FROM THE PULL SIDE (STRIKE SIDE) OF THE DOOR TO THE INTERSECTING WALL, OR OTHER PROTRUDING OBJECTS.
 7. ALL CLOSETS AND ALCOVES WITHOUT A SPACE IDENTIFICATION NUMBER SHALL HAVE THE SAME FINISHES AS THE ADJOINING SPACES.
 8. ALL PUBLIC SPACES: THE WALLS WILL BE FINISHED WITH 5/8" GYP. BD. TO A LEVEL 4 FINISH AND PAINTED, UNLESS NOTED OR SPECIFIED OTHERWISE.
 9. RE: FINISH LEGEND, AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.

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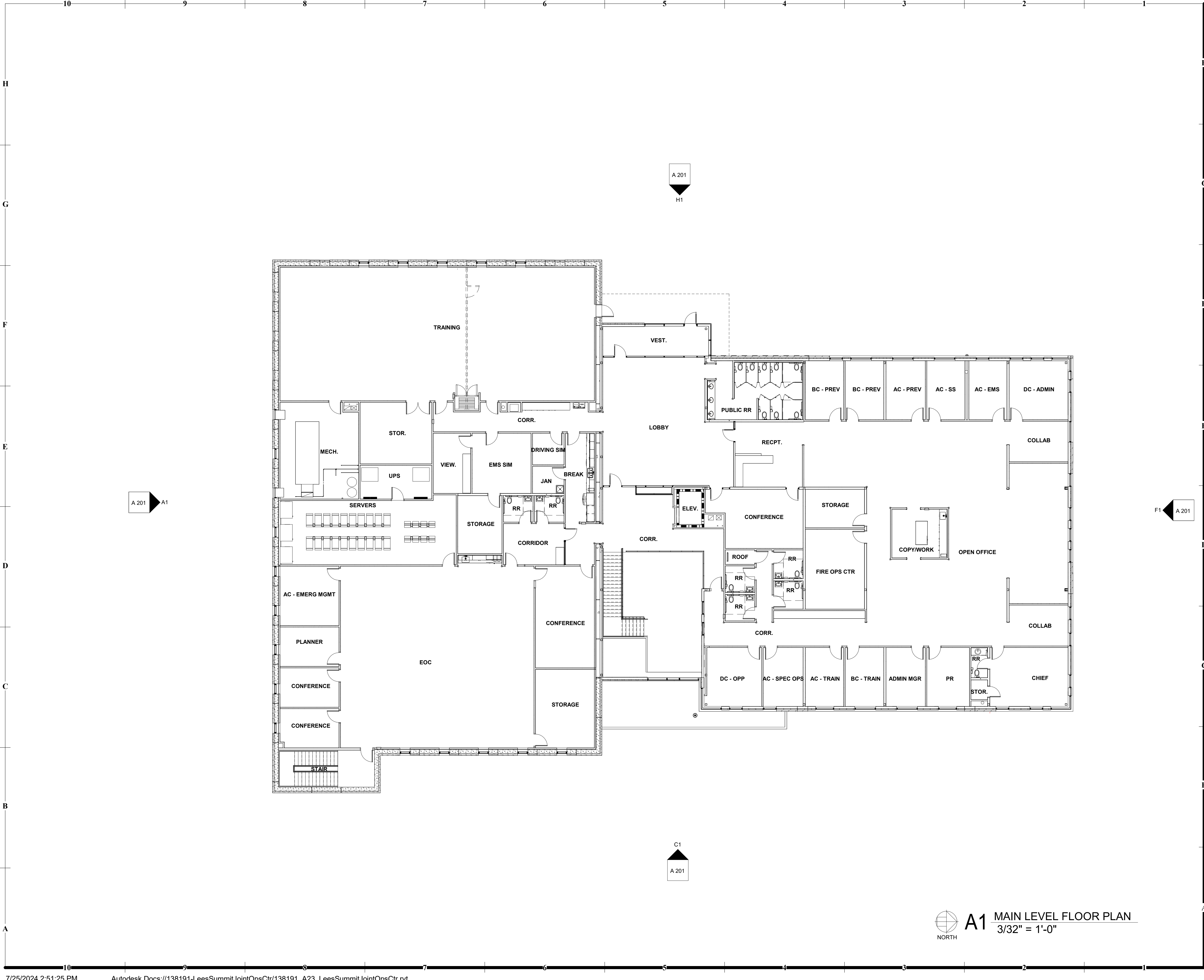
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LOWER LEVEL - FLOOR PLAN



- GENERAL NOTES - FLOOR PLANS:**
- RE: SHEET G-011 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 - ARCHITECTURAL ELEVATION 100'-0" = CIVIL ELEVATION 1024.67'
 - DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
 - FOR METAL STUD CONSTRUCTION DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF GYP. BOARD/ WALL (FG), UNLESS NOTED OR SHOWN OTHERWISE.
 - NOTE: WALL THICKNESSES ARE ACTUAL DIMENSIONS.
 - DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO OUTSIDE FACE OF DOOR FRAME - HINGE SIDE, ALWAYS ALLOWING A MINIMUM OF 18" FROM THE PULL SIDE (STRIKE SIDE) OF THE DOOR TO THE INTERSECTING WALL, OR OTHER PROTRUDING OBJECTS.
 - ALL CLOSETS AND ALCOVES WITHOUT A SPACE IDENTIFICATION NUMBER SHALL HAVE THE SAME FINISHES AS THE ADJOINING SPACES.
 - ALL PUBLIC SPACES: THE WALLS WILL BE FINISHED WITH 5/8" GYP. BD. TO A LEVEL 4 FINISH AND PAINTED, UNLESS NOTED OR SPECIFIED OTHERWISE.
 - RE: FINISH LEGEND, AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.



A1 MAIN LEVEL FLOOR PLAN
3/32" = 1'-0"

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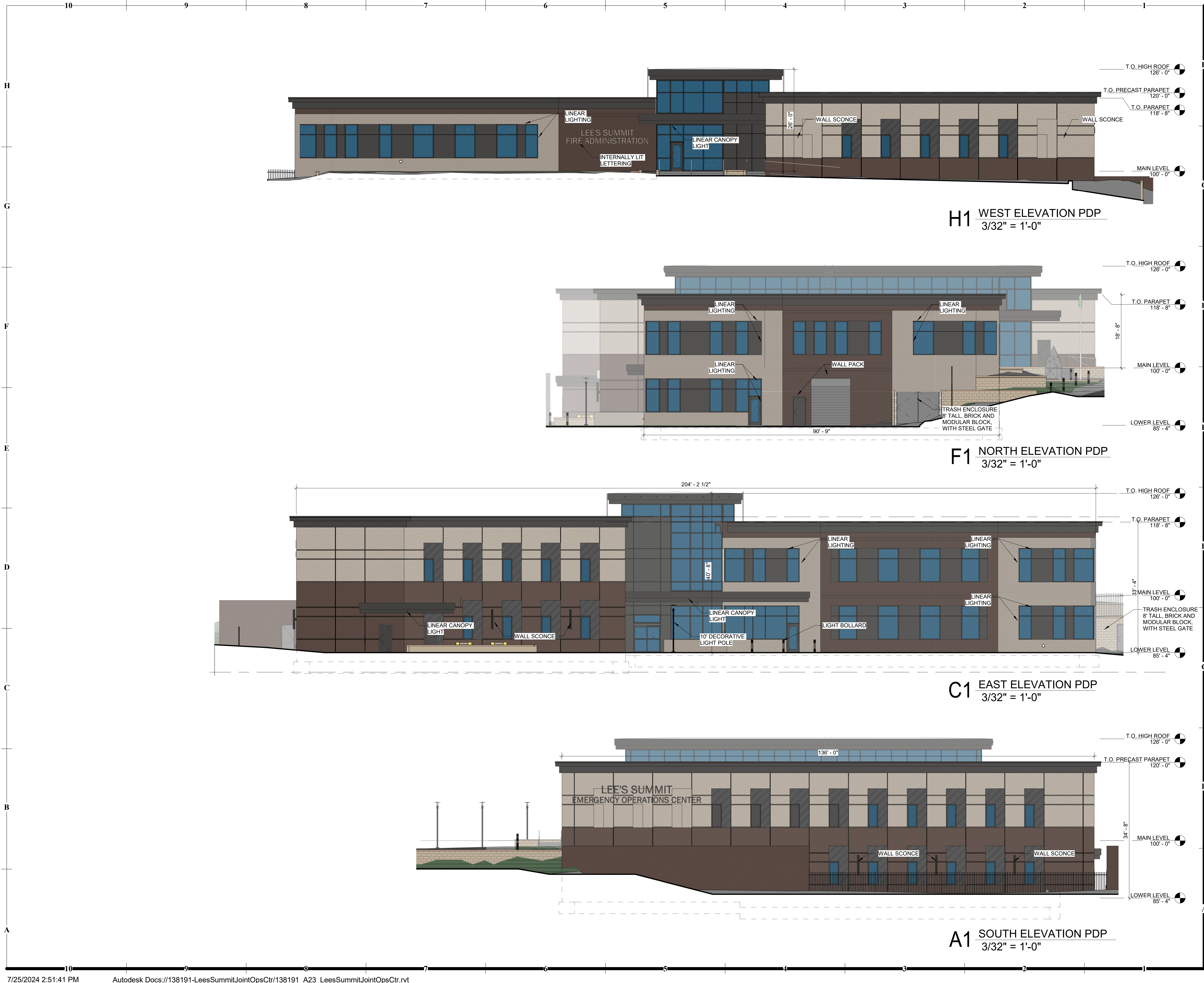
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MAIN LEVEL - FLOOR PLAN



- GENERAL NOTES - EXTERIOR ELEVATIONS:**
- RE: SHEET G-011 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 - DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
 - RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.

EXTERIOR ELEVATION MATERIALS	
	BRICK - BROWN
	BRICK - TAN
	PRECAST PANEL - TAN
	ROUGH AGGREGATE ARCHITECTURAL PRECAST TO MATCH EXISTING BUILDING
	PAINTED PRECAST PANEL
	LOW E INSULATED GLAZING
	COMPOSITE METAL PANEL
	MODULAR BLOCK RETAINING WALLS

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EXTERIOR ELEVATIONS