

Plotted By: McDev, Blaise Sheet Set: DUNKIN-LEES SUMMIT Layout: C-000 COVER SHEET June 25, 2024 03:04:44pm K:\KNC\_LDEV\28543003\_dunkin-lees summit\Design\CAD\plan sheets\C-000 COVER SHEET.dwg  
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## UTILITY AND GOVERNING AGENCY CONTACTS

### WATER SERVICE

WATER UTILITIES  
 CITY OF LEE'S SUMMIT  
 1200 SE HAMBLEM RD  
 LEE'S SUMMIT, MO 64081  
 (816) 969 1900

### ELECTRIC SERVICE

EVERGY  
 1200 MAIN STREET  
 KANSAS CITY, MO 64141  
 (816) 741-5275

### STORMWATER

PUBLIC WORKS  
 CITY OF LEE'S SUMMIT  
 220 SE GREEN  
 LEE'S SUMMIT, MO 64063  
 (816) 969 1800

### SANITARY SEWER SERVICE

WATER UTILITIES  
 CITY OF LEE'S SUMMIT  
 1200 SE HAMBLEM RD  
 LEE'S SUMMIT, MO 64081  
 (816) 969 1900

### GAS COMPANY

SPIRE  
 7500 E 35TH TERR  
 LEE'S SUMMIT, MO 64129  
 (800) 582 64129

### HEALTH DEPARTMENT

JACKSON COUNTY PUBLIC HEALTH  
 3651 NE RALPH POWELL RD  
 LEE'S SUMMIT, MO 64064  
 (816) 404 6427

### PLANNING DEPARTMENT

DEVELOPMENT SERVICES  
 CITY OF LEE'S SUMMIT  
 220 SE GREEN  
 LEE'S SUMMIT, MO 64063  
 (816) 969 1200

### TELEPHONE

AT&T  
 (913) 905-2898

### FIRE PREVENTION

CITY OF LEE'S SUMMIT  
 207 SE DOUGLAS  
 LEE'S SUMMIT, MO 64063  
 (816) 969-1300

### BUILDING DEPARTMENT

DEVELOPMENT SERVICES  
 CITY OF LEE'S SUMMIT  
 220 SE GREEN  
 LEE'S SUMMIT, MO 64063  
 (816) 969 1200

## PROJECT TEAM

### DEVELOPER

JONATHAN SISCO  
 BLUEMONT GROUP, LLC  
 408 N CEDAR BLUFF RD  
 KNOXVILLE, TN 37923  
 (423) 888 2634  
 JONATHANS@BLUEMONTGROUP.NET

### CIVIL ENGINEER

ANDREW GRIBBLE  
 KIMLEY-HORN & ASSOCIATES, INC.  
 805 PENNSYLVANIA AVE, SUITE 150  
 KANSAS CITY, MO 64105  
 (816) 652 2333  
 ANDREW.GRIBBLE@KIMLEY-HORN.COM

### OWNER

ORTHO KING PROPERTIES LLC  
 721 NE LAKEWOOD BLVD  
 LEE'S SUMMIT, MO 64064

### LANDSCAPE ARCHITECT

SEAN RAY  
 KIMLEY-HORN & ASSOCIATES, INC.  
 805 PENNSYLVANIA AVE, SUITE 150  
 KANSAS CITY, MO 64105  
 (913) 318 8488  
 SEAN.RAY@KIMLEY-HORN.COM

### ARCHITECT

SARAH HOLLAND CHRISMAN  
 QSR&R  
 584 BELLERIVE RD, SUITE 3D  
 ANNAPOLIS, MD 21409  
 (301) 364 9880  
 SCHRISMAN@QSRANDR.COM

### SURVEYOR

BRYAN HILL  
 ATLAS LAND CONSULTING  
 14500 PARALLEL RD, UNIT R  
 BASEHOR, KS 66007  
 (913) 702 5073  
 ANDREA@ALCONSULT-LLC.COM

# PRELIMINARY DEVELOPMENT PLAN FOR DUNKIN LEE'S SUMMIT

LOCATED AT

1399 NE DOUGLAS ST  
 LEE'S SUMMIT, MO 64086

### PROJECT LOCATION



VICINITY MAP  
 N.T.S. 

Sheet List Table	
Sheet Number	Sheet Title
C-000	COVER SHEET
1 OF 1	ALTA SURVEY
C-001	GENERAL NOTES
C-002	EXISTING CONDITIONS
C-100	SITE PLAN
C-300	GRADING PLAN
C-400	UTILITY PLAN
P-100	PHOTOMETRIC PLAN
L-100	LANDSCAPE PLAN
EER 1	BUILDING ELEVATIONS
EER 2	BUILDING ELEVATIONS

### LEGAL DESCRIPTION

LOT 5, BLOCK 2, DOUGLAS SQUARE CENTER, LOTS 1-6, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.



No.	REVISIONS	DATE	BY

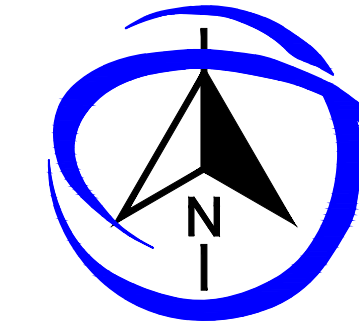
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 PHONE: 816-652-0350  
 WWW.KIMLEY-HORN.COM

KHA PROJECT	288543003
DATE	06/25/24
SCALE	AS SHOWN
DESIGNED BY	JGH
DRAWN BY	BPM
CHECKED BY	AWG

COVER SHEET

DUNKIN LEE'S  
 SUMMIT  
 PREPARED FOR  
 BLUEMONT GROUP LLC  
 LEE'S SUMMIT MO

SHEET NUMBER  
**C-000**



# ALTA/NSPS LAND TITLE SURVEY

LOT 5, BLOCK 2, DOUGLAS SQUARE CENTER, LOTS 1-6, A SUBDIVISION IN LEE'S SUMMIT,  
JACKSON COUNTY, MISSOURI.

KS ENG COA. #3115  
KS SUR COA. #363  
MO ENG COA. #202016684  
MO SUR COA. #202014231

## ALC

ATLAS LAND CONSULTING  
SURVEYING | ENGINEERING | DRONE | CAD  
14500 Parallel Road, Unit R, Bascher, KS 66007  
913.702.5073  
ANDREA@ALCONSULT-LLC.COM

ALTA/NSPS LAND TITLE SURVEY

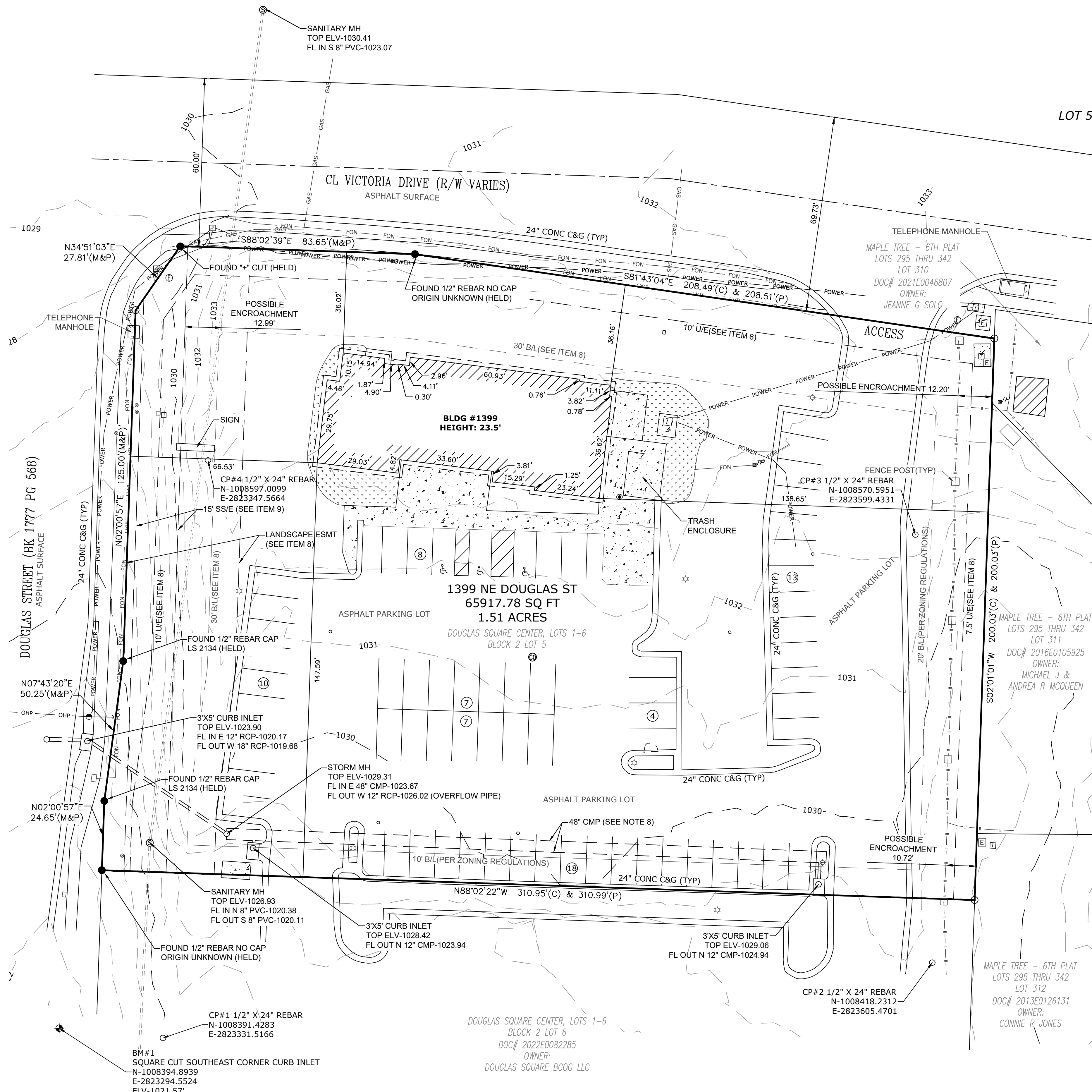
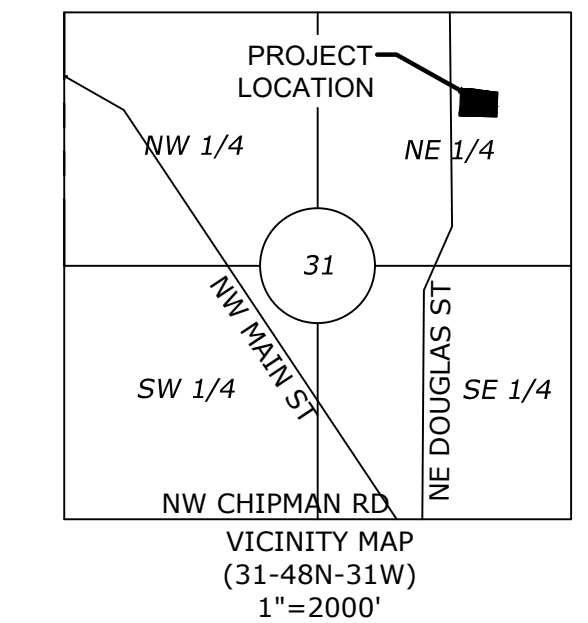
### LEGEND

- DENOTES SET 1/2" REBAR ALC KS CLS 363 MO CLS 2022014231
  - DENOTES FOUND 1/2" REBAR NO CAP UNLESS NOTED OTHERWISE
  - △ DENOTES FOUND SECTION CORNER
- |  |                        |  |                  |
|--|------------------------|--|------------------|
|  | TELEPHONE PEDESTAL     |  | CONCRETE SURFACE |
|  | TRANSFORMER            |  | LANDSCAPE        |
|  | LIGHT POLE             |  |                  |
|  | FIRE HYDRANT           |  |                  |
|  | POWER POLE             |  |                  |
|  | SANITARY MANHOLE       |  |                  |
|  | TRAFFIC SIGNAL         |  |                  |
|  | ELECTRIC MANHOLE       |  |                  |
|  | STREET SIGN            |  |                  |
|  | UNDERGROUND WATER LINE |  |                  |
|  | UNDERGROUND GAS LINE   |  |                  |
|  | OVERHEAD POWER LINE    |  |                  |
|  | BOLLARD                |  |                  |

### GENERAL NOTES

- THE BASIS OF BEARING SYSTEM FOR THIS SURVEY IS MISSOURI WEST ZONE.
- ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES IN FEET.
- WE DID NOT OBSERVE ANY CONSTRUCTION ON THIS PROPERTY.
- THE SUBJECT PROPERTY IS LOCATED WITHIN AREA OF MINIMAL FLOOD HAZARD AVAILABLE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. 2905050417G, WITH A DATE OF IDENTIFICATION OF JANUARY 20, 2017 IN JACKSON COUNTY, STATE OF MISSOURI, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
- ON SITE PARKING WAS OBSERVED. 64 PARKING STALLS OBSERVED AND 3 ADA PARKING STALLS OBSERVED.
- CURRENT ZONING - CP-2
- MISSOURI ONE CALL WAS CALLED. TICKET # 240593410
- 48" CMP DETERMINED BASED UPON CURB INLET OUT PIPES. NO ACTUAL LOCATION DETERMINED IN THE FIELD.
- POSSIBLE ENCROACHMENTS\*
  - 10.72' WOOD PLANK FENCE WEST OF PROPERTY LINE
  - 12.20' WOOD PLANK FENCE WEST OF PROPERTY LINE
  - 12.99' SANITARY LINE EAST OF SANITARY EASEMENT

### VICINITY MAP



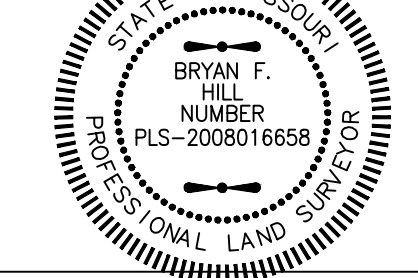
**DESCRIPTION:**  
PROPERTY DESCRIPTION PER TITLE COMMITMENT FILE NO: L24-29680  
VIA MCCAFFREE-SHORT TITLE COMPANY, INC ON FEBRUARY 20, 2024 AT 8:00 AM

**LOT 5, BLOCK 2, DOUGLAS SQUARE CENTER, LOTS 1-6, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.**

- EASEMENTS, RESERVATIONS, RESTRICTIONS, BUILDING SET-BACK LINES, AS SHOWN ON THE RECORDED PLAT, PLAT BOOK 64, PAGE 1. (AS SHOWN)
- SANITARY SEWER EASEMENT GRANTED TO THE CITY OF LEE'S SUMMIT, RECORDED AUGUST 11, 1997 AS DOCUMENT NO.97-148948, IN BOOK I-3046, PAGE 1812. (AS SHOWN)
- TERMS AND PROVISIONS OF PERFORMANCE BASED IMPROVEMENT, REIMBURSEMENT AND DEVELOPMENT AGREEMENT FOR DOUGLAS SQUARE, RECORDED FEBRUARY 20, 1998 AS DOCUMENT NO. 98-10657, IN BOOK I-3144, PAGE 236. AMENDMENT NO. 1 RECORDED JULY 23, 1998 AS DOCUMENT NO. 98-157235, IN BOOK I-3241, PAGE 72. (NON SURVEY DOCUMENT)
- EASEMENT FOR ELECTRIC AND COMMUNICATIONS LINES GRANTED TO MISSOURI PUBLIC SERVICE, A DIVISION OF UTILICORP UNITED INC., RECORDED FEBRUARY 11, 2000 AS DOCUMENT NO. 20000008445.
- TERMS AND PROVISIONS OF MEMORANDUM OF LEASE, BY AND BETWEEN TBS PROPERTIES, L.L.C., LESSOR AND STRATEGIC RESTAURANTS ACQUISITION COMPANY, LESSEE, RECORDED JUNE 26, 2006 AS DOCUMENT NO. 20060048397; ASSIGNMENTS AND ASSUMPTIONS OF THIRD PARTY LEASES BETWEEN STRATEGIC RESTAURANTS ACQUISITION COMPANY, LLC, SRAC HOLDINGS I, INC, AND STRATEGIC RESTAURANTS ACQUISITION COMPANY II, LLC, RECORDED JULY 18, 2007 AS DOCUMENT NO. 20070094031; ASSIGNMENT AND ASSUMPTION OF LEASE BETWEEN TBS PROPERTIES, L.L.C. AND LSK 7 PROPERTIES, LLC, RECORDED SEPTEMBER 18, 2017 AS DOCUMENT NO. 20170086613; UNRECORDED ASSIGNMENT AND ASSUMPTION OF LEASE DATED MARCH 26, 2015, BETWEEN STRATEGIC RESTAURANTS ACQUISITION COMPANY II, LLC AND EYM KING OF MISSOURI, LLC, DISCLOSED BY ASSIGNMENT AND ASSUMPTION OF LEASE RECORDED SEPTEMBER 4, 2018 AS DOCUMENT NO. 2018E0077050, BETWEEN EYM KING OF MISSOURI, LLC AND TASTY KING OF MISSOURI, LLC. (NON SURVEY DOCUMENT)
- FUTURE ADVANCE DEED OF TRUST DATED JUNE 24, 2021, EXECUTED BY ORTHO KING PROPERTIES, LLC, A MISSOURI LIMITED LIABILITY COMPANY, TO UMB BANK, N.A., RECORDED JUNE 28, 2021, AS DOCUMENT NO. 2021E0069808, SECURING A PRINCIPAL LOAN AMOUNT OF \$1,700,000.00.
- ASSIGNMENT OF LEASES AND RENTS, RECORDED JUNE 28, 2021, AS DOCUMENT NO. 2021E0069809. (NON SURVEY DOCUMENT)
- TENANCY RIGHTS, EITHER AS MONTH TO MONTH, OR BY VIRTUE OF WRITTEN LEASES OF PERSONS IN POSSESSION OF ANY PART OF THE SUBJECT PROPERTY. (NON SURVEY DOCUMENT)

TO: ORTHO KING PROPERTIES, LLC, A MISSOURI LIMITED LIABILITY COMPANY, MCCAFFREE-SHORT TITLE COMPANY INC.

THIS SURVEY WAS PREPARED IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS" 2021 AND INCLUDE ITEMS 1,2,3,4,5, 6 (B),7,(B-1),8,9,11 AND 13 TABLE "A" THEREOF AND MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS/ACCURACY STANDARDS FOR A CATEGORY I URBAN LAND SURVEY. THE FIELD WORK WAS COMPLETED ON MARCH 15TH, 2024.



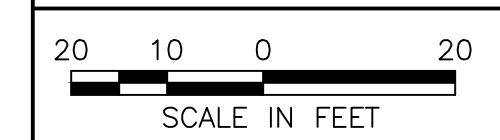
BRYAN F HILL, PLS 2008016658

DATE

JOB NO:24-055

SCALE

PREPARED FOR



SCALE IN FEET

SEC-TWN-RNG  
31-48N-31W

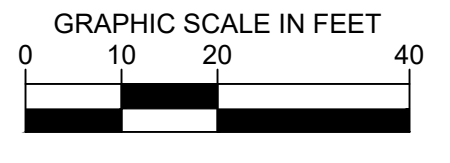
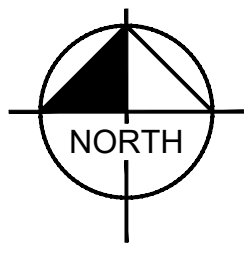
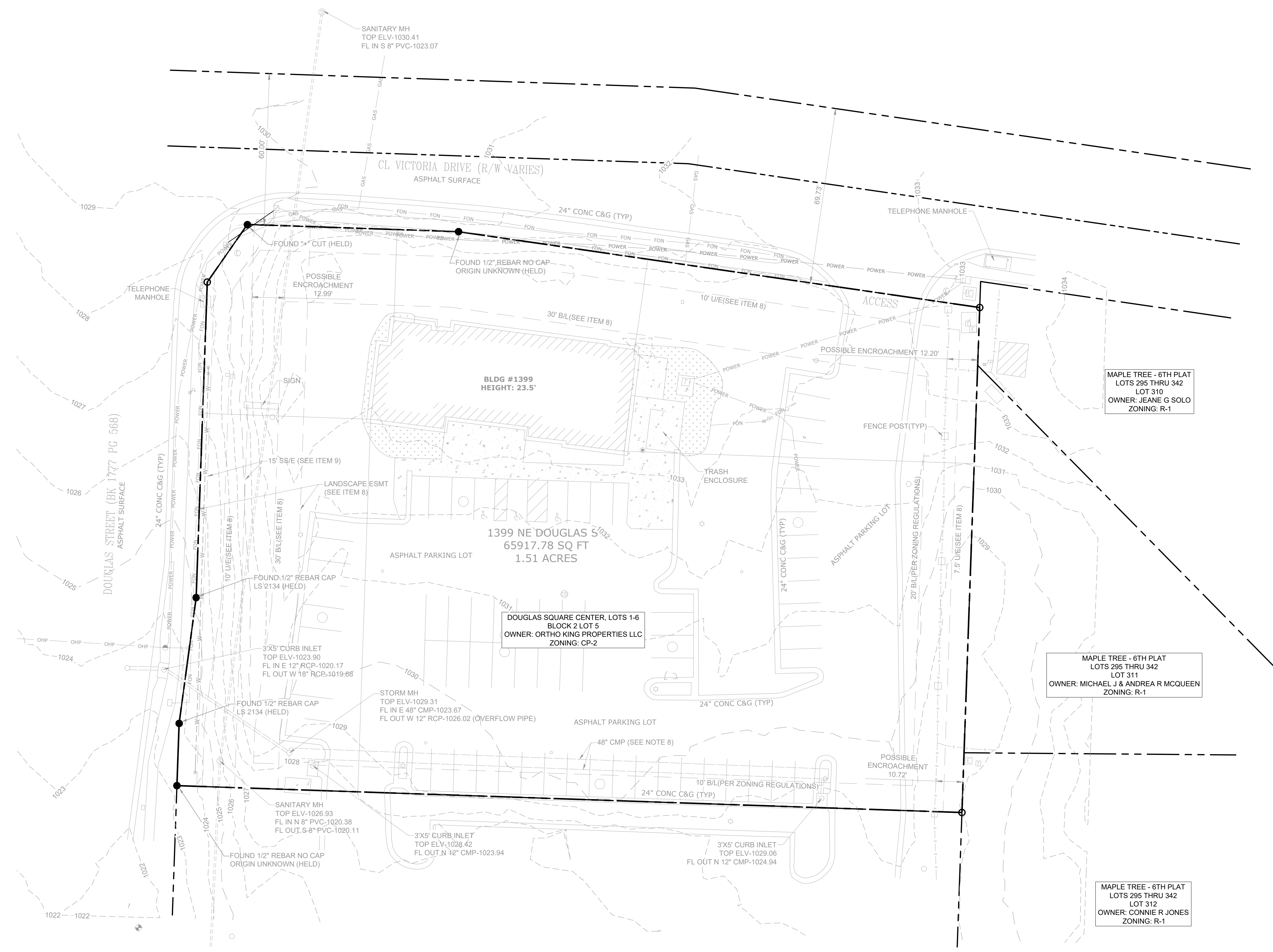
ORTHO KING PROPERTIES LLC  
ADDRESS: 1399 NE DOUGLAS ST  
LEES SUMMIT, MO 64086

DATE

MARCH 18, 2024



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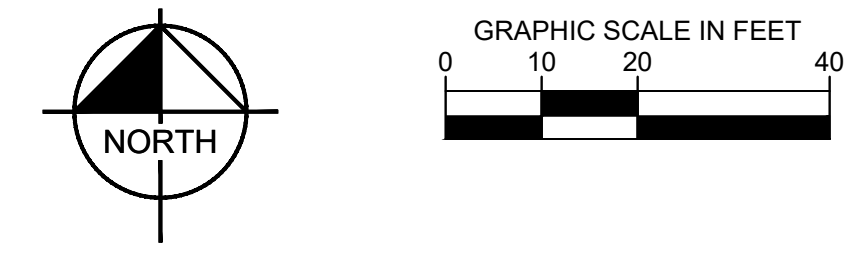
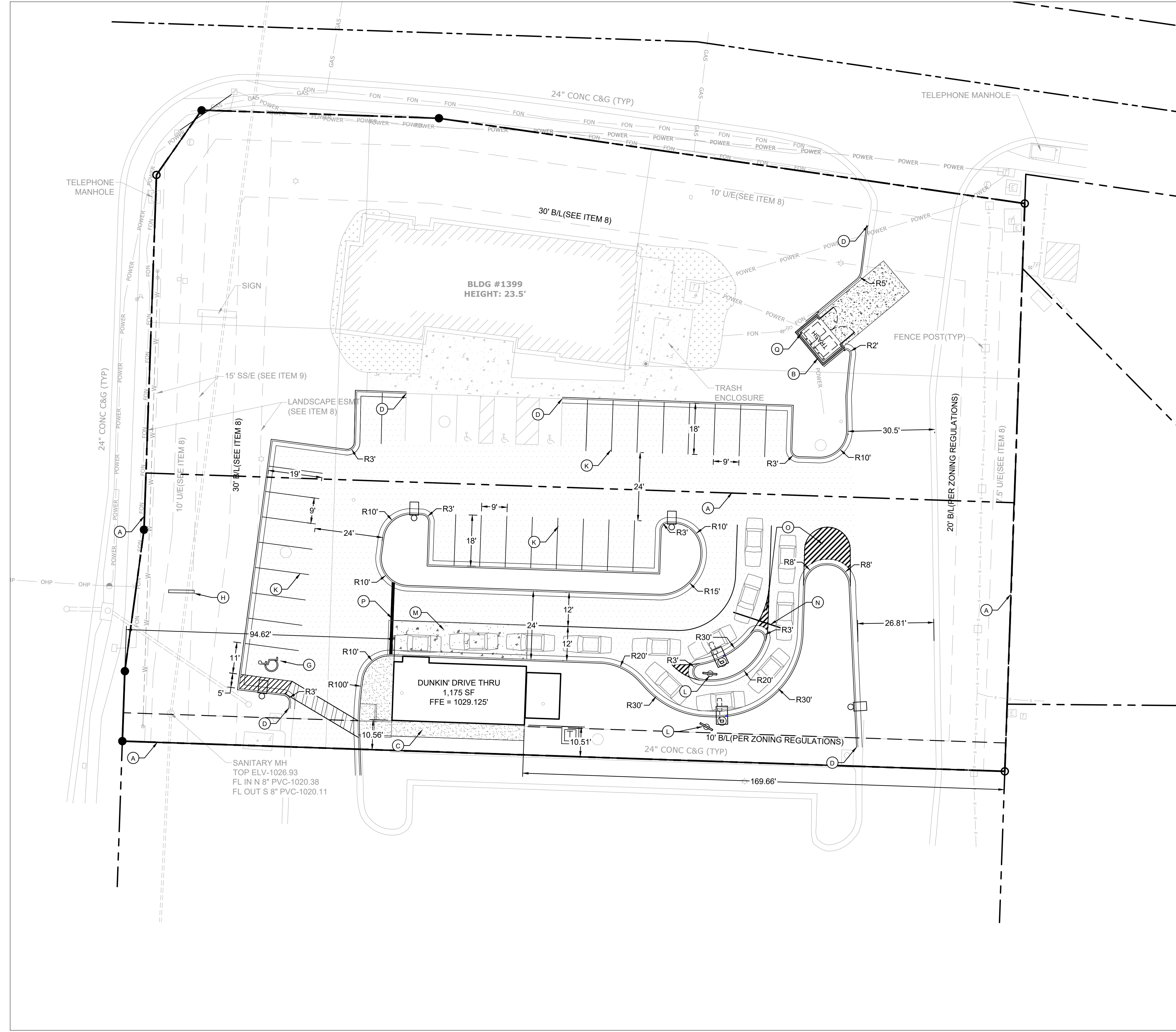
KHA PROJECT 268543003	DATE 06/25/2024
SCALE AS SHOWN	DESIGNED BY JGH
DRAWN BY BPM	CHECKED BY AWG

**EXISTING  
CONDITIONS**

**DUNKIN LEE'S  
SUMMIT**  
 PREPARED FOR  
**BLUEMONT GROUP LLC**  
 LEE'S SUMMIT MO

SHEET NUMBER  
**C-002**

Plotted By: McDev, Blaise Sheet Set: DUNKIN-LEES SUMMIT Layout: C-100 SITE PLAN June 25, 2024 03:05:38pm K:\KNC\_LDEV\288543003\_dunkin-lees summit\2\_Design\CAD\plan\sheet\C-100 SITE PLAN.dwg  
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**SITE DATA:**

LOT AREA:	1.51 AC
LEASE AREA:	0.67 AC
ZONING:	CP-2
PROPOSED ZONING:	CP-2
DISTURBED AREA:	0.78 AC
PROPOSED USE:	COMMERCIAL
PROPOSED BUILDING HEIGHT:	1 STORY / 19 FEET
BUILDING TYPE:	SMALL COMMERCIAL- PAD SITE

**BUILDING COVERAGE:**

PROPOSED FLOOR AREA	1,175 SF
F.A.R. (1,175 SF/29,195 SF)	4.02%

**PARKING SUMMARY**

	REQUIRED	PROVIDED
STANDARD	8	15
ACCESSIBLE	1	1
TOTAL	9	16

**PARKING CALCULATION:**  
 2 PLUS ONE FOR EACH BUSINESS EMPLOYEE ON MAXIMUM SHIFT  
 7 EMPLOYEES ON MAXIMUM SHIFT  
 PARKING SPACES REQUIRED = 9 SPACES

REQUIRED STACKING: 4 TO THE MENU BOARD PLUS 4 TO FIRST WINDOW  
 PROVIDED STACKING: 7 TOTAL BEFORE MENU BOARDS, 6 TOTAL TO FIRST WINDOW AFTER MENU BOARDS

**LOT COVERAGE:**

BUILDING AREA:	0.03 AC	1,175 SF	4.02%
IMPERVIOUS AREA:	0.42 AC	18,567 SF	63.60%
LANDSCAPE AREA:	0.22 AC	9,453 SF	32.38%
TOTAL LOT AREA:	0.67 AC	29,195 SF	100%

- SYMBOL LEGEND**
- ACCESSIBLE PARKING SPACE
  - TRANSFORMER PAD
  - PROPERTY LINE
  - LIGHT POLE

- KEYNOTE LEGEND**
- (A) PROPERTY LINE
  - (B) DUMPSTER ENCLOSURE
  - (C) CONCRETE SIDEWALK
  - (D) MATCH EXISTING LINE AND GRADE OF EXISTING PAVEMENT AND CURB
  - (E) PROPOSED LIGHT POLE
  - (F) ACCESSIBLE PARKING SPACE AND SIGN
  - (G) ACCESSIBLE PARKING SYMBOL
  - (H) MONUMENT SIGN
  - (I) DIRECTIONAL ARROW (TYP.)
  - (J) PROPOSED TRANSFORMER
  - (K) PROPOSED 6" WHITE STRIPING
  - (L) PROPOSED MENU BOARD
  - (M) PROPOSED HEAVY DUTY CONCRETE
  - (N) PROPOSED DRIVE-THRU HEIGHT RESTRICTION BAR
  - (O) PROPOSED 6" STRIP 45° O.C. 12" SPACING
  - (P) PROPOSED 12" STOP BAR STRIPING
  - (Q) PROPOSED 6" BOLLARDS

- HATCH LEGEND**
- STANDARD DUTY CONCRETE SIDEWALK
  - HEAVY DUTY CONCRETE PAVEMENT
  - STANDARD DUTY ASPHALT

NO.	REVISIONS	DATE	BY

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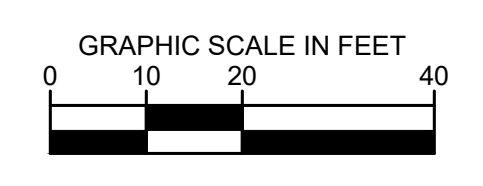
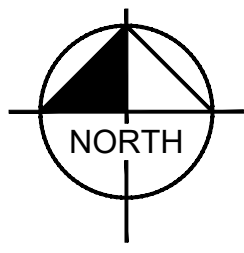
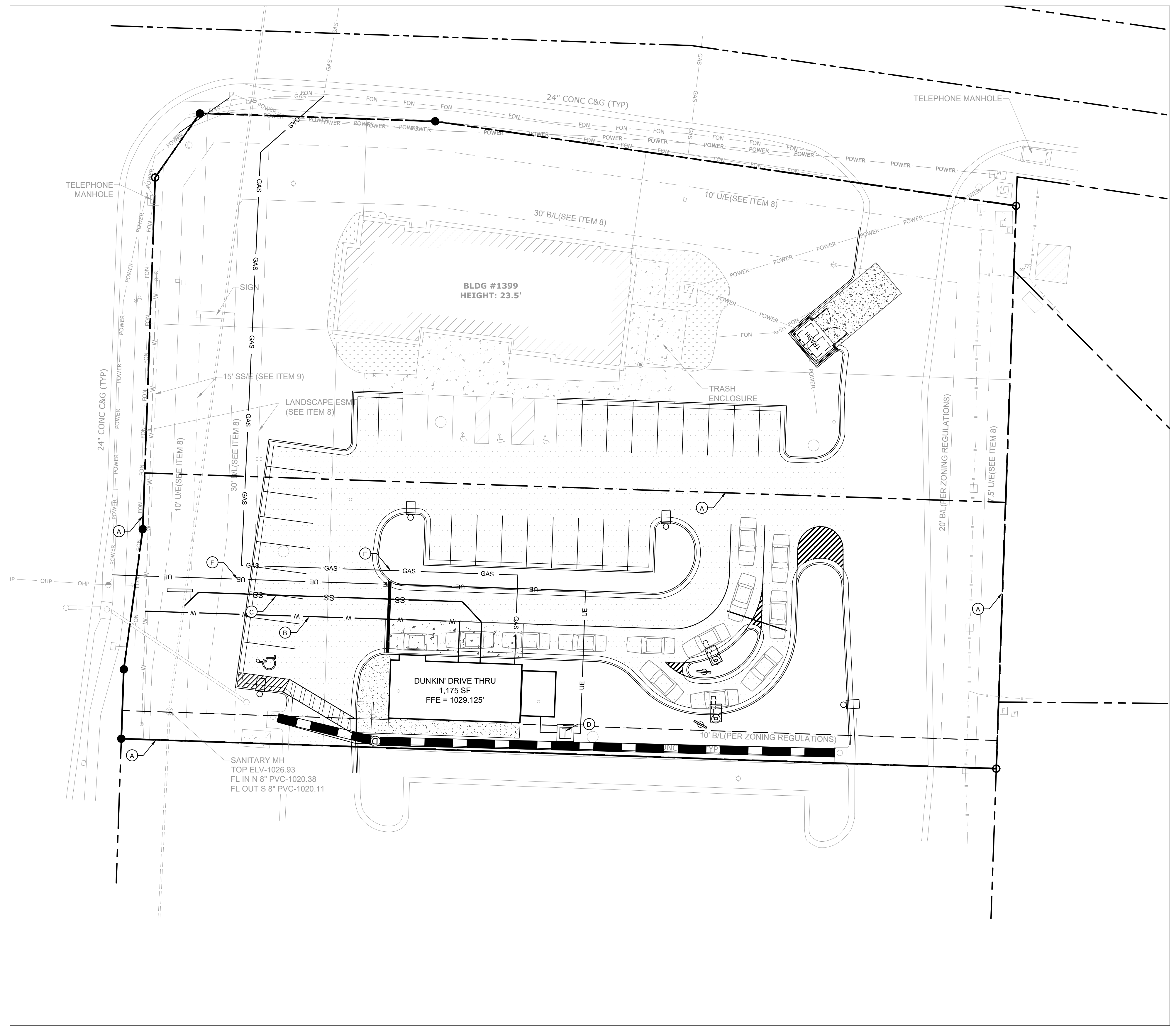
KHA PROJECT	288543003
DATE	06/25/24
SCALE	AS SHOWN
DESIGNED BY	JGH
DRAWN BY	BPM
CHECKED BY	AWG

**SITE PLAN**

**DUNKIN LEE'S SUMMIT**  
 PREPARED FOR  
**BLUEMONT GROUP LLC**  
 LEE'S SUMMIT MO



Plotted By: McCoy, Blaise Sheet Set: DUNKIN-LEES SUMMIT Layout: C-400 UTILITY PLAN June 25, 2024 03:08:15pm K:\KNC\_LDEV\288543003\_Dunkin-lee summit\2 Design\CAD\plansheets\C-400 UTILITY PLAN.dwg  
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**UTILITY LEGEND**

- PROPERTY LINE
- PROPOSED WATER SERVICE LINE
- PROPOSED ELECTRICAL SERVICE
- PROPOSED GAS LINE
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED TRANSFORMER

**LEGEND**

- (A) PROPERTY LINE
- (B) PROPOSED DOMESTIC WATER SERVICE LINE
- (C) 4" PVC SANITARY SERVICE
- (D) PROPOSED TRANSFORMER
- (E) PROPOSED GAS LINE
- (F) PROPOSED ELECTRIC LINE

**DUNKIN LEE'S  
 SUMMIT**  
 PREPARED FOR  
**BLUEMONT GROUP LLC**  
 LEE'S SUMMIT MO

**UTILITY PLAN**

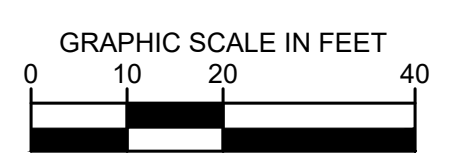
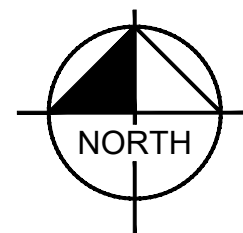
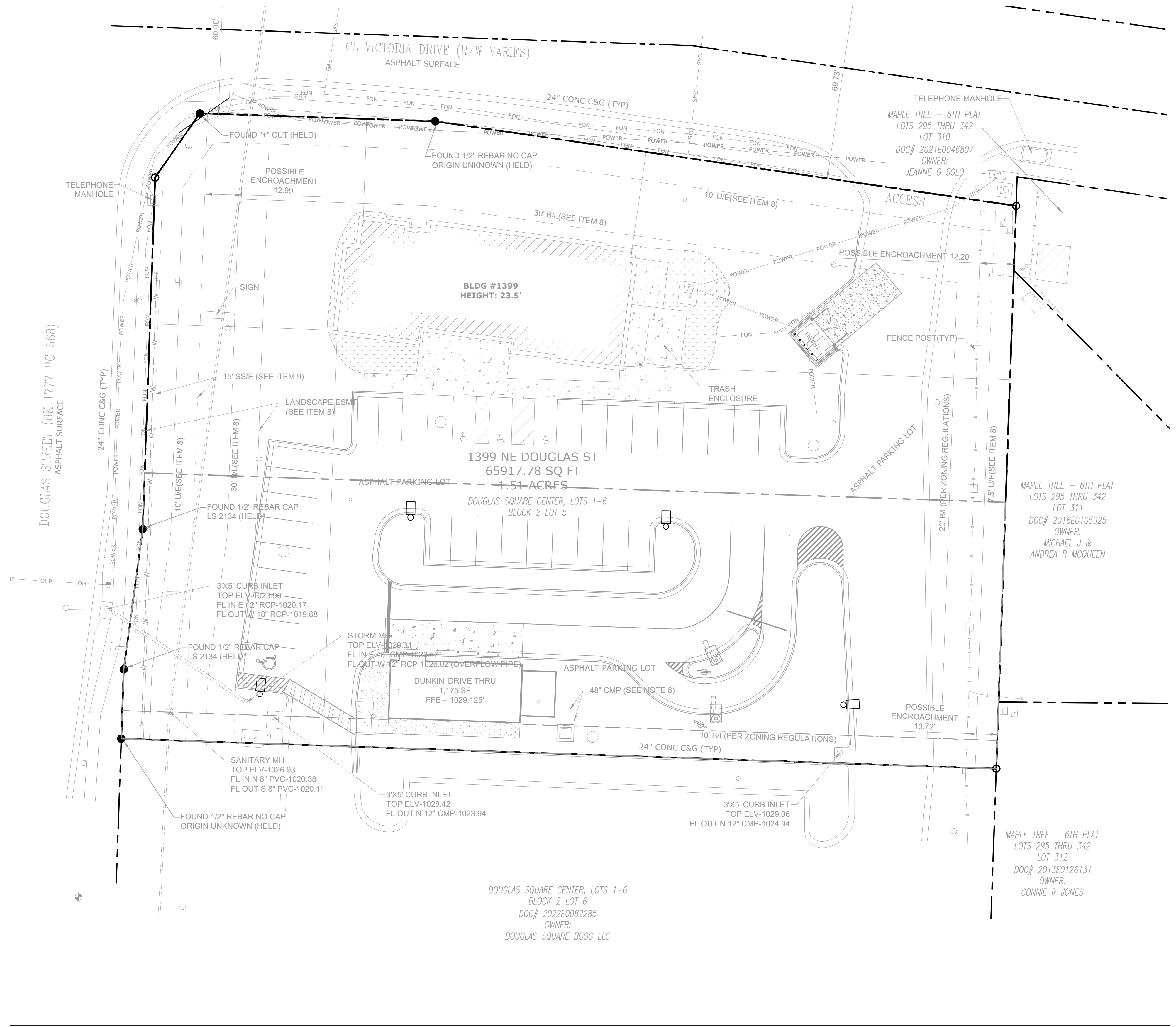
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 PHONE: 816-652-0350  
 WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY

SHEET NUMBER  
**C-400**

PLOTTED BY: ACCOV, BLISS SHEET DUNKIN-LEES SUMMIT LAYOUT P-100 PHOTOMETRIC PLAN June 26, 2024 09:06:40pm K:\KNC-LDEV26854-0003-dunkin-lees summit2 DesignCAD\plan sheets\E-100 PHOTOMETRIC PLAN.dwg  
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### D-Series Size 1 LED Area Luminaire

**Specifications**

- EPA: 1.01 ft<sup>2</sup> beam
- Length: 35" beam
- Width: 15" beam
- Height H1: 7'-1/2" beam
- Height H2: 3'-1/2" beam
- Weight (max): 27 lbs beam

**Introduction**

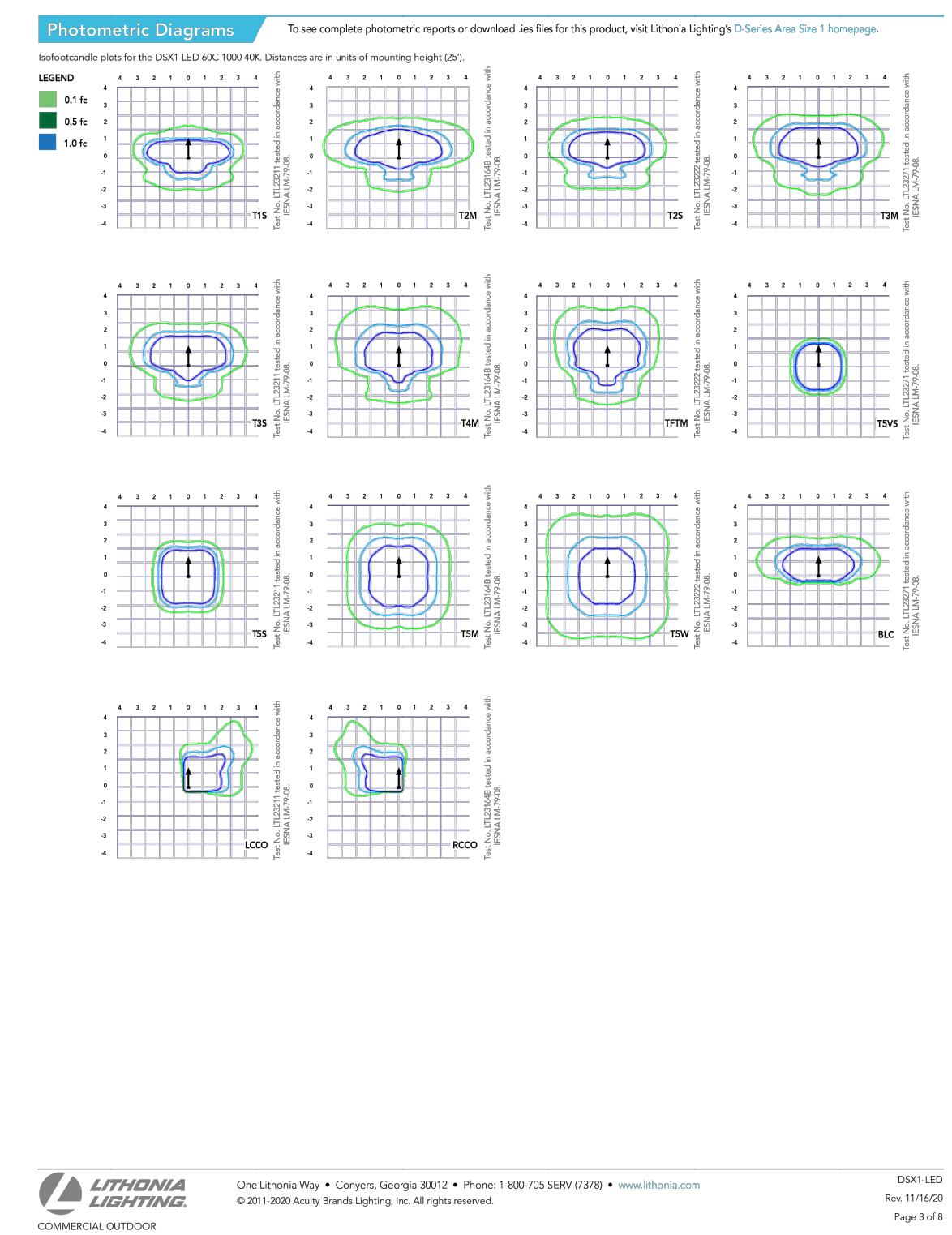
The modern styling of the D-Series is striking yet understated - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

**Ordering Information** EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LED	Color Temperature	Beam Spread	Beam Angle	Mounting	Shipping
DSX1 LED	Forward optics	35K	3000K	T5	Type I very short	DSX1
	P1	P1	40K	4000K	T5	DSX1
	P2	P1	50K	5000K	T5	DSX1
	P3	P1	50K	5000K	T5	DSX1
	P4	P1	50K	5000K	T5	DSX1
	P5	P1	50K	5000K	T5	DSX1
	P6	P1	50K	5000K	T5	DSX1
	P7	P1	50K	5000K	T5	DSX1
	P8	P1	50K	5000K	T5	DSX1
	P9	P1	50K	5000K	T5	DSX1
	P10	P1	50K	5000K	T5	DSX1

Control System	Photometric Diagrams	Other options	Finish
<b>Shipped included</b> ALM42 4' x 4' x 4' (see item 8) PIRN 10' x 10' x 10' (see item 8) PIRN 15' x 15' x 15' (see item 8) PIRN 20' x 20' x 20' (see item 8) PIRN 25' x 25' x 25' (see item 8) PIRN 30' x 30' x 30' (see item 8) PIRN 35' x 35' x 35' (see item 8) PIRN 40' x 40' x 40' (see item 8) PIRN 45' x 45' x 45' (see item 8) PIRN 50' x 50' x 50' (see item 8) PIRN 55' x 55' x 55' (see item 8) PIRN 60' x 60' x 60' (see item 8) PIRN 65' x 65' x 65' (see item 8) PIRN 70' x 70' x 70' (see item 8) PIRN 75' x 75' x 75' (see item 8) PIRN 80' x 80' x 80' (see item 8) PIRN 85' x 85' x 85' (see item 8) PIRN 90' x 90' x 90' (see item 8) PIRN 95' x 95' x 95' (see item 8) PIRN 100' x 100' x 100' (see item 8)	PIRN 10' x 10' x 10' (see item 8) PIRN 15' x 15' x 15' (see item 8) PIRN 20' x 20' x 20' (see item 8) PIRN 25' x 25' x 25' (see item 8) PIRN 30' x 30' x 30' (see item 8) PIRN 35' x 35' x 35' (see item 8) PIRN 40' x 40' x 40' (see item 8) PIRN 45' x 45' x 45' (see item 8) PIRN 50' x 50' x 50' (see item 8) PIRN 55' x 55' x 55' (see item 8) PIRN 60' x 60' x 60' (see item 8) PIRN 65' x 65' x 65' (see item 8) PIRN 70' x 70' x 70' (see item 8) PIRN 75' x 75' x 75' (see item 8) PIRN 80' x 80' x 80' (see item 8) PIRN 85' x 85' x 85' (see item 8) PIRN 90' x 90' x 90' (see item 8) PIRN 95' x 95' x 95' (see item 8) PIRN 100' x 100' x 100' (see item 8)	PIRN 10' x 10' x 10' (see item 8) PIRN 15' x 15' x 15' (see item 8) PIRN 20' x 20' x 20' (see item 8) PIRN 25' x 25' x 25' (see item 8) PIRN 30' x 30' x 30' (see item 8) PIRN 35' x 35' x 35' (see item 8) PIRN 40' x 40' x 40' (see item 8) PIRN 45' x 45' x 45' (see item 8) PIRN 50' x 50' x 50' (see item 8) PIRN 55' x 55' x 55' (see item 8) PIRN 60' x 60' x 60' (see item 8) PIRN 65' x 65' x 65' (see item 8) PIRN 70' x 70' x 70' (see item 8) PIRN 75' x 75' x 75' (see item 8) PIRN 80' x 80' x 80' (see item 8) PIRN 85' x 85' x 85' (see item 8) PIRN 90' x 90' x 90' (see item 8) PIRN 95' x 95' x 95' (see item 8) PIRN 100' x 100' x 100' (see item 8)	DSX1 Dark bronze DSX2 Black DSX3 Natural aluminum DSX4 White DSX5 Industrial silver DSX6 Industrial black DSX7 Industrial white DSX8 Industrial silver DSX9 Industrial black DSX10 Industrial white

One Lithonia Way • Corona, Georgia 30122 • Phone: 1-800-705-SERV (7378) • www.lithonia.com  
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### L1-L3 LUMINAIRE

**LITHONIA LIGHTING**

**FEATURES & SPECIFICATIONS**

**INTENDED USE** - These specifications are for USA standards only. Square Straight Steel is a general purpose light pole for up to 30' mounting height. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

**CONSTRUCTION** - Pole shaft: The pole shaft is of uniform diameter and wall thickness and is made of a weather grade, hot rolled, commercial quality steel tubing with a minimum yield of 35,000 (11 gauge, 1 1/2" or 35,000) or 50,000 (12 gauge, 1 1/4") wall thickness. The pole shaft is galvanized to provide long life. The pole shaft is galvanized to provide long life. The pole shaft is galvanized to provide long life.

**Anchor Base Poles**

**SSS SQUARE STRAIGHT STEEL**

**WARRANTY** - 1 year limited warranty. Complete warranty terms located at: www.lithonia.com

**Kimley»Horn**

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 WWW.KIMLEY-HORN.COM

PHOTOMETRIC PLAN

DUNKIN LEE'S SUMMIT PREPARED FOR BLUEMONT GROUP LLC LEE'S SUMMIT MO

KHA PROJECT	288543003	DATE	6/25/2024	SCALE	AS SHOWN	DESIGNED BY	JGH	DRAWN BY	BPM	CHECKED BY	AWG
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REVISIONS

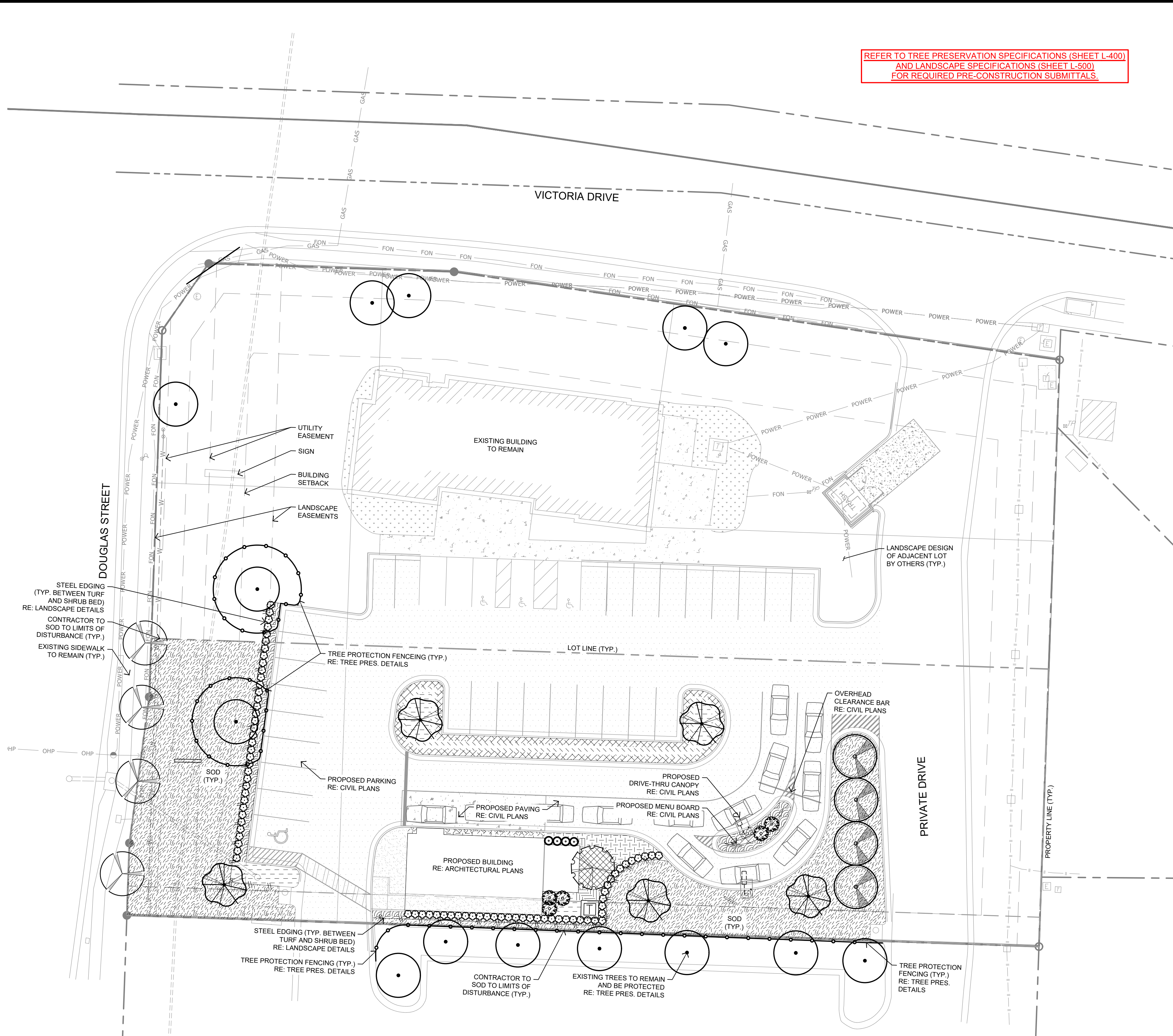
NO.

DATE

SHEET NUMBER

P-100

REFER TO TREE PRESERVATION SPECIFICATIONS (SHEET L-400) AND LANDSCAPE SPECIFICATIONS (SHEET L-500) FOR REQUIRED PRE-CONSTRUCTION SUBMITTALS.



- PLANTING NOTES:**
- CONTRACTOR TO SOD TO LIMITS OF DISTURBANCE.
  - ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEMEN.
  - NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN DRAWING AND PLANT LIST, THE DRAWING SHALL PREVAIL.
  - LOCATE ALL UTILITIES PRIOR TO ANY AND ALL PLANTING OR DIGGING OPERATIONS. HAND DIG TREES AND SHRUBS IN AREAS WITHIN 5' OF UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
  - TREE STAKING: REFER TO TYPICAL TREE PLANTING DETAIL FOR TREE STAKING. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO OWNER.
  - PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
  - PROVIDE A LANDSCAPE EDGE BETWEEN ALL PLANTING BEDS AND LAWN AREAS—REFERENCE LANDSCAPE PLAN.
  - ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH—REFERENCE LANDSCAPE PLAN.
  - LAY BUFFALOGRASS SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS SPECIFIED IN LANDSCAPE PLAN. ALL DISTURBED AREAS WITHIN CITY R.O.W. SHALL RECEIVE BUFFALOGRASS SOD.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
  - CONTRACTOR SHALL WARRANT PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF OWNER.
  - ALL LANDSCAPE BED AREAS TO BE PREPARED USING "ORGANICALLY ENRICHED TOP SOIL" BY MISSOURI ORGANIC (OR APPROVED EQUAL). INSTALL TO DEPTHS PER PLANTING DETAILS (12" DEPTH MIN.). FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN. CONTRACTOR TO SUBMIT 1 GALLON SAMPLE (MIN.) TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.
  - ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN.) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, AND FERTILE; POSSES A pH RANGE OF 7.0-7.5, AND BE FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. CONTRACTOR TO SUBMIT 1 GALLON SAMPLE (MIN.) TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.
  - FERTILIZER: FERTILIZE SODDED AREAS WITH AN APPROVED COMMERCIAL TYPE, SLOW RELEASE, AT A RATE OF 200 LBS/ACRE. REFER TO LANDSCAPE SPECIFICATIONS SECTION 6 FOR REQUIRED SUBMITTALS. USE PHOSPHOROUS-FREE FERTILIZER IF REQUIRED BY LOCAL CODE.
  - ALL LANDSCAPE PLANTING BEDS TO BE IRRIGATED WITH DRIPLINE IRRIGATION. ALL TREES TO RECEIVE ONE IRRIGATION TREE BUBBLER MINIMUM (1 GPM).
  - REFER TO LANDSCAPE DETAILS FOR PLANT MATERIAL INSTALLATION.

**PLANT SCHEDULE**

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	CALIPER	HEIGHT	REMARKS
<b>EXISTING TREES</b>							
EX		14	EXISTING TREE / TO REMAIN	B & B	2" CAL. MIN.	12' - 14' HT.	EXISTING TREE TO REMAIN TO BE PROTECTED WITH TREE PROTECTION FENCING REFER TO TREE PRES. DETAILS
<b>SHADE TREES</b>							
CI		4	CARYA ILLINOENSIS / PECAN HICKORY	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
MA		5	MAGNOLIA ACUMINATA / CUCUMBERTREE	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
MG		1	MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY' / BRACKEN'S MAGNOLIA	B & B	1.5" CAL. MIN.	10' - 12' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
QP		4	QUERCUS PAGODA / CHERRYBARK OAK	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING

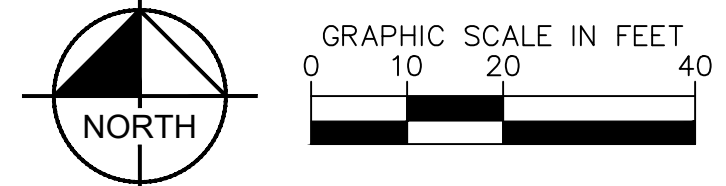
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS
<b>SHRUBS</b>							
IG		78	ILEX GLABRA 'DENSE' / DENSE INKBERRY HOLLY	CONT.	3" HT. MIN.	30" O.C.	FULL AND MATCHING
JS		4	JUNIPERUS SCOPULORUM 'GRAY GLEAM' / GRAY GLEAM JUNIPER	CONT.	4" HT. MIN.	48" O.C.	FULL AND MATCHING
MV		5	MAGNOLIA 'VULCAN' / VULCAN MAGNOLIA	CONT.	5" HT. MIN.	60" O.C.	FULL AND MATCHING

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS
<b>GROUNDCOVERS</b>							
HH		51	HELLEBORUS * HYBRIDUS 'AMETHYST GEM' / WINTER JEWELS AMETHYST GEM HELLEBORE	CONT.	6" HT. X 9" W.	14" O.C.	FULL AND MATCHING
LF		195	LEUCOTHOE FONTANESIANA 'LITTLE FLAMES' / LEAFSCAPE™ LITTLE FLAMES LEUCOTHOE	CONT.	6" HT. X 10" W.	12" O.C.	FULL AND MATCHING
LN		104	LAVANDULA * INTERMEDIA 'NIKO PP #24,193' / PHENOMENAL® LAVENDER	CONT.	12" HT. X 16" W.	24" O.C.	FULL AND MATCHING
LS		657	LIRIOPE SPICATA / CREEPING LILYTURF	CONT.	8" HT. X 10" W.	12" O.C.	FULL AND MATCHING
MD		482	MICROBIOTA DECUSSATA 'CONDREW' / DREWS BLUE SIBERIAN CARPET CYPRESS	CONT.	4" HT. X 10" W.	12" O.C.	FULL AND MATCHING
NP		37	NARCISSUS 'PETIT FOUR' / PETIT FOUR NARCISSUS	CONT.	4" HT. X 8" W.	10" O.C.	FULL AND MATCHING
PS		36	PAEONIA * 'SMITH OPUS 1' / MISAKA™ ITOH PEONY	CONT.	4" HT. X 8" W.	14" O.C.	FULL AND MATCHING
PT		155	PARTHENOCISSUS TRICUSPIDATA / JAPANESE CREEPER	CONT.	4" HT. X 8" W.	12" O.C.	FULL AND MATCHING
SK		398	SEDUM KAMTSCHATCUM / ORANGE STONECROP	CONT.	4" HT. X 10" W.	12" O.C.	FULL AND MATCHING

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS
<b>SOD</b>							
SOD		6,565 SF	BOULEOUA DACTYLOIDES / BUFFALOGRASS	SOD	N/A	N/A	SOD TO HAVE TIGHT, SAND-FILLED JOINTS, ROLLED. SOD TO BE FREE OF WEEDS, PESTS, AND DISEASE.

Lee's Summit, Missouri - Landscape Data Table		REQUIRED	PROVIDED
<b>Section 8.790 - Landscape Minimum Requirements</b>			
<b>A. Street Frontage</b>			
One tree shall be planted for each 30 feet of street frontage (public or private) within the landscape setback			
Private Drive: 95 lft / 30' = 4 Trees Douglas Street: 96 lft / 30' = 4 Trees	Private Drive - 4 Trees Douglas Street - 4 Trees	Private Drive - 4 Trees Douglas Street - 4 Trees	
A minimum of 20 feet wide landscape strip shall be provided along the full length of any street frontage, except where the building setback is less than 20 feet.	Yes	Yes	
One shrub shall be provided for every 20 feet of street frontage within the landscape setback abutting street frontage. Douglas Street: 96 LF / 20' = 5 Shrubs	Douglas Street - 5 Shrubs	Douglas Street - 5 Shrubs	
<b>B. Open Yard Areas</b>			
The minimum open yard area landscaping requirements shall be two shrubs per 5,000 SF of total lot area (excluding building footprint area) 29,195 sqft Lot Area - 1,436 sqft Building Footprint = 27,759 sqft 27,759 / 5,000 = 6 6 * 12 = 12 Shrubs	12 Shrubs	12 Shrubs	
In addition to the trees required based on street frontage, additional trees shall be required at a ratio of one tree for every 5,000 SF of lot area not covered by buildings/structures. 29,195 sqft Lot Area - 1,436 sqft Building Footprint = 27,759 sqft 27,759 sqft / 5,000 sqft = 6 Trees	6 Trees	6 Trees	
<b>Section 8.810 - Parking Lot Landscaping and Trees</b>			
Landscape islands, strips or other planting areas shall be located within the parking lot and constitute at least five percent of the entire area devoted to parking spaces, aisles and driveways. A landscape island shall be located at the end of every parking bay between the last parking space and an adjacent travel aisle or driveway. The island shall be no less than nine feet wide for at least one-half the length of the adjacent parking space.	Yes	Yes	
<b>Section 8.820 - Screening, Parking Lot</b>			
For any parking lot designed or intended to accommodate five cars or more and any area set aside for loading or unloading of trucks or vans, if such parking lot or loading area is visible from a street right of way, a visual screen shall be provided as required below.	Yes	Yes	
Planted only screening a hedge consisting of at least 12 shrubs per 40 linear feet that will spread into a continuous visual screen within two growing seasons. Shrubs must be at least 18 inches tall at the time of planting and be of a species that will normally grow to at least two and one-half feet in height at maturity and be suitable for the parking lot application.	Yes	Yes	

- TREE PROTECTION NOTES:**
- CONTRACTOR SHALL ADHERE TO ALL TREE PRESERVATION REQUIREMENTS LISTED IN THE TREE PRESERVATION SPECIFICATIONS AND/OR THE CITY OR COUNTY ZONING CODE (LATEST EDITION)—WHICHEVER IS MORE STRINGENT SHALL APPLY.
  - CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
  - ANY DEMOLITION OR EXCAVATION WITHIN THE DRIP LINE OF AN EXISTING TREE SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING, AIR KNIFE EXCAVATION, AND/OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS, OR SOIL; CONTRACTOR SHALL COORDINATE SUCH PROCEDURES WITH THE PROJECT ARBORIST.
  - EXISTING TREE LOCATIONS AND SIZES ARE ESTIMATES BASED ON A SURVEY PROVIDED BY THE OWNER SELECTED SURVEYOR.
  - NO SIGNS, BUILDING PERMITS, WIRES, OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE. GUY WIRES DESIGNED TO PROTECT TREES ARE EXCLUDED FROM THIS PROHIBITION.
  - CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION. NO PERSON MAY REMOVE OR CAUSE TO BE REMOVED ANY PROTECTED TREE WITHOUT FIRST HAVING PROCURED A PERMIT AS PROVIDED BY THE APPROPRIATE PERMITTING AGENCY.
  - DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINE, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE UNLESS OTHERWISE NOTED—REFERENCE TREE PRESERVATION DETAILS.
  - CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
  - IF TREE ROOT ZONE IS TO BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.
  - ROOT PRUNING/TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
  - CONTRACTOR TO COORDINATE ALL EARTHWORK OPERATIONS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
  - IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
  - CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS SHALL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT ARBORIST.
  - NO MATERIALS, EQUIPMENT, SOIL, WASTE, OR WASHOUT WATER MAY BE DISPOSED, STORED, OR PARKED WITHIN 20 FEET OF ANY TREE PROTECTION ZONE.
  - CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO REMOVAL OF TREE PROTECTION FENCING.



Drawing name: K:\KAC\_LB\2024\05\03\_Dunkin-Lee's Summit\0100 LANDSCAPE PLAN.dwg Model: Friday, June 21, 2024 10:22:28 AM by: Scheer, Connor  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Review of and/or incorporation of any other project information shall be without liability to Kimley-Horn and Associates, Inc.

REVISIONS	NO.	DATE	DESCRIPTION

SCALE: AS NOTED

DESIGNED BY: CMS

DRAWN BY: CMS

CHECKED BY: SAR

**Kimley»Horn**

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EXPIRES 12/31/23

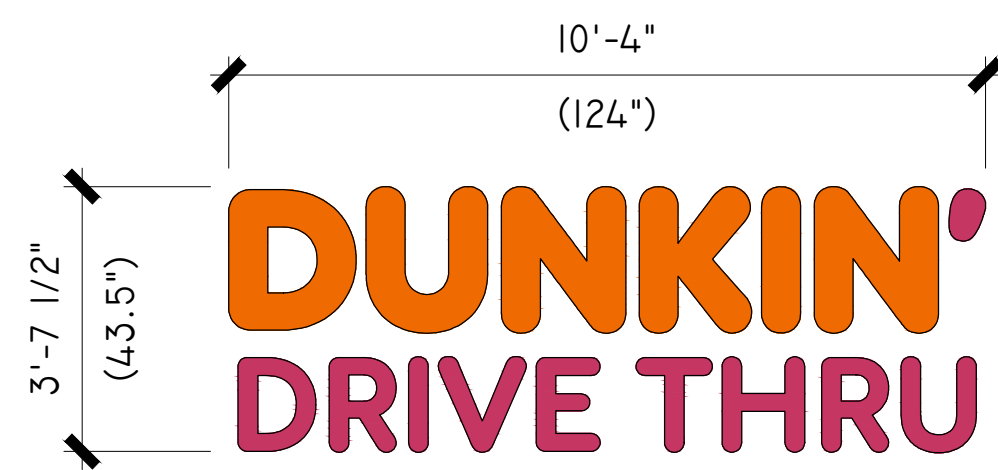
**DUNKIN' LEE'S SUMMIT**

ORIGINAL ISSUE: 05/10/2024

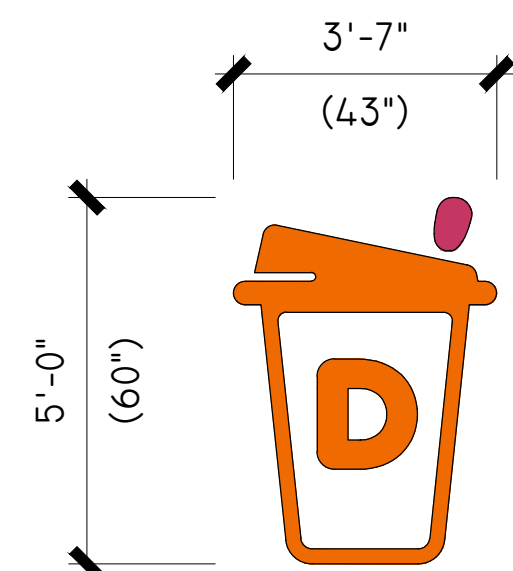
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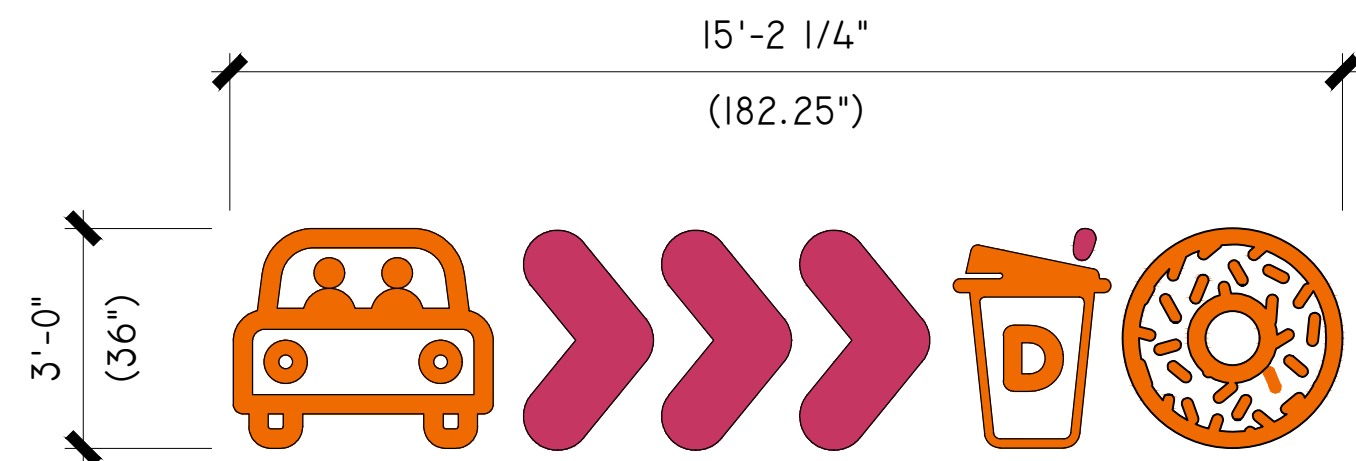
**L-100**



"DUNKIN/DRIVE-THRU" SIGN ELEVATION  
37.35 SF. FT. BOX



LARGE CUP ICON SIGN ELEVATION  
17.91 SF. FT. BOX



"DRIVE-THRU ICONS" SIGN ELEVATION  
45.56 SF. FT. BOX

CITY OF LEE SUMMIT SIGN CODE

- 10% OF FACADE AREA
- 3 SIGNS MAX

NORTH (DRIVE-THRU) ELEVATION  
DUNKIN' - PROPOSED: 63.47 SF ALLOWED: 107.92 SF

WEST (NE DOULGAS ST) ELEVATION  
DUNKIN' - PROPOSED: 37.35 SF ALLOWED: 43.14 SF

SOUTH ELEVATION:  
DUNKIN' - PROPOSED: 17.91 SF ALLOWED: 108.74 SF

EXTERIOR SIGN ELEVATIONS

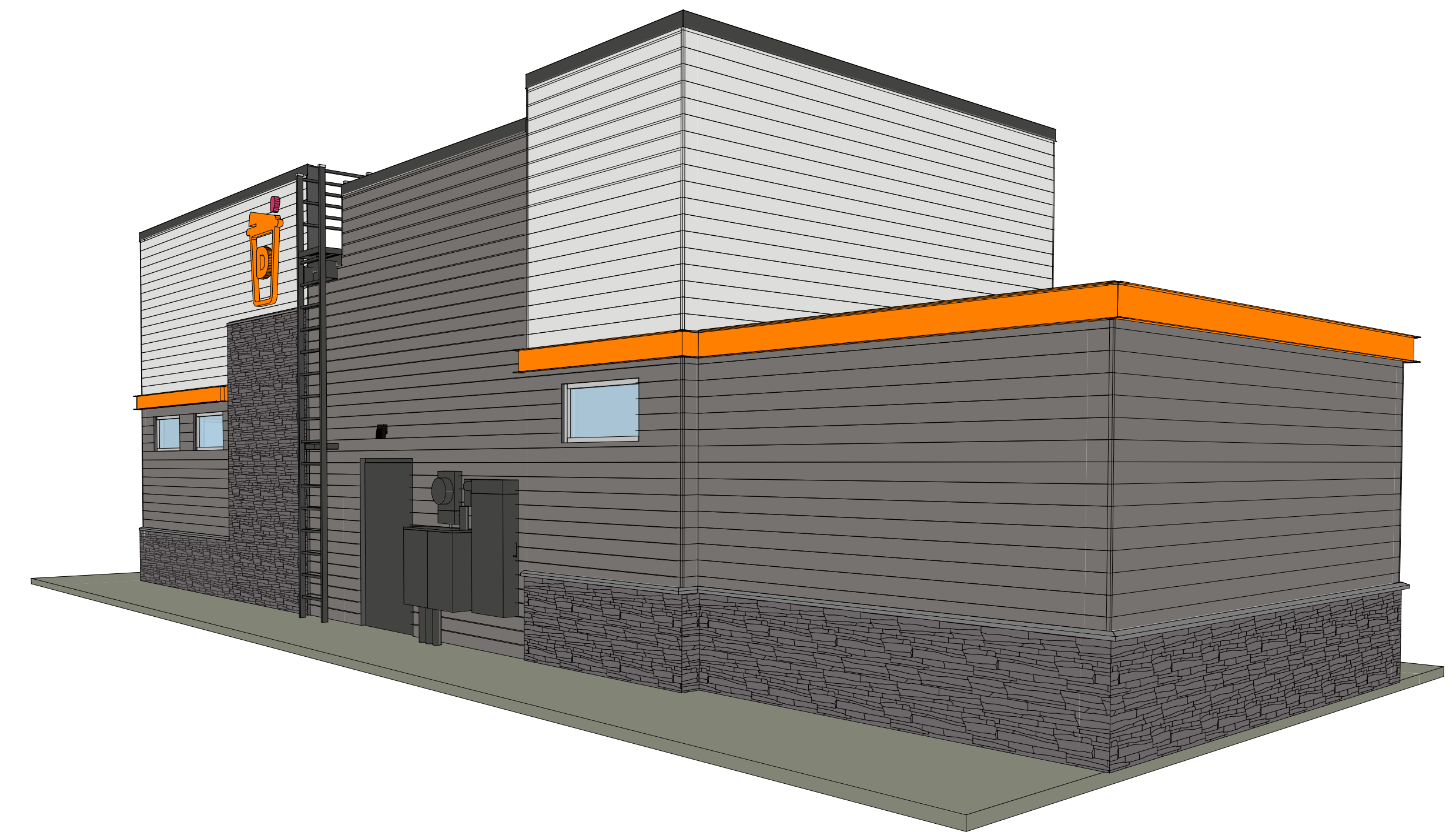
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE

FIN.	TAG	DESCRIPTION	NOTES
	PC-02	PAINTED METAL COATING	COLOR MATCH SW "IRON ORE" METAL COPING
	PC-13	PAINTED METAL COATING	DD ORANGE / PMS 165C CANOPY AND ACCENT BAND
	PS-01	FIBER CEMENT LAP SIDING	JAMES HARDIE "AGED PWETER" FIELD
	PTE-04	FIBER CEMENT LAP SIDING	SW "NEBULOUS WHITE" FIELD
	PTE-01	EXTERIOR PAINT	SW "GAUNTLET GRAY" DOWNSPOUTS
	PTE-02	EXTERIOR PAINT	SW "IRON ORE" SERVICE DOOR, ELEC. GEAR, LADDER
	AMSV-1	AHDERED MASONRY STONE VENEER	CORONADO STONE PRO LEDGE BLACK FOREST WALL BASE / TOWERS
	AMSV-2	AHDERED MASONRY STONE VENEER	CORONADO STONE PRO LEDGE CHISELED STONE SILL IN CHARCOAL CAP ABOVE ALL STONE VENEER



D/T WINDOW PERSPECTIVE



BACK PERSPECTIVE



FLAVOR PALETTE  
NEXT GEN  
STORE NUMBER  
STORE # 365554

REVISION		
No.	Date	Description

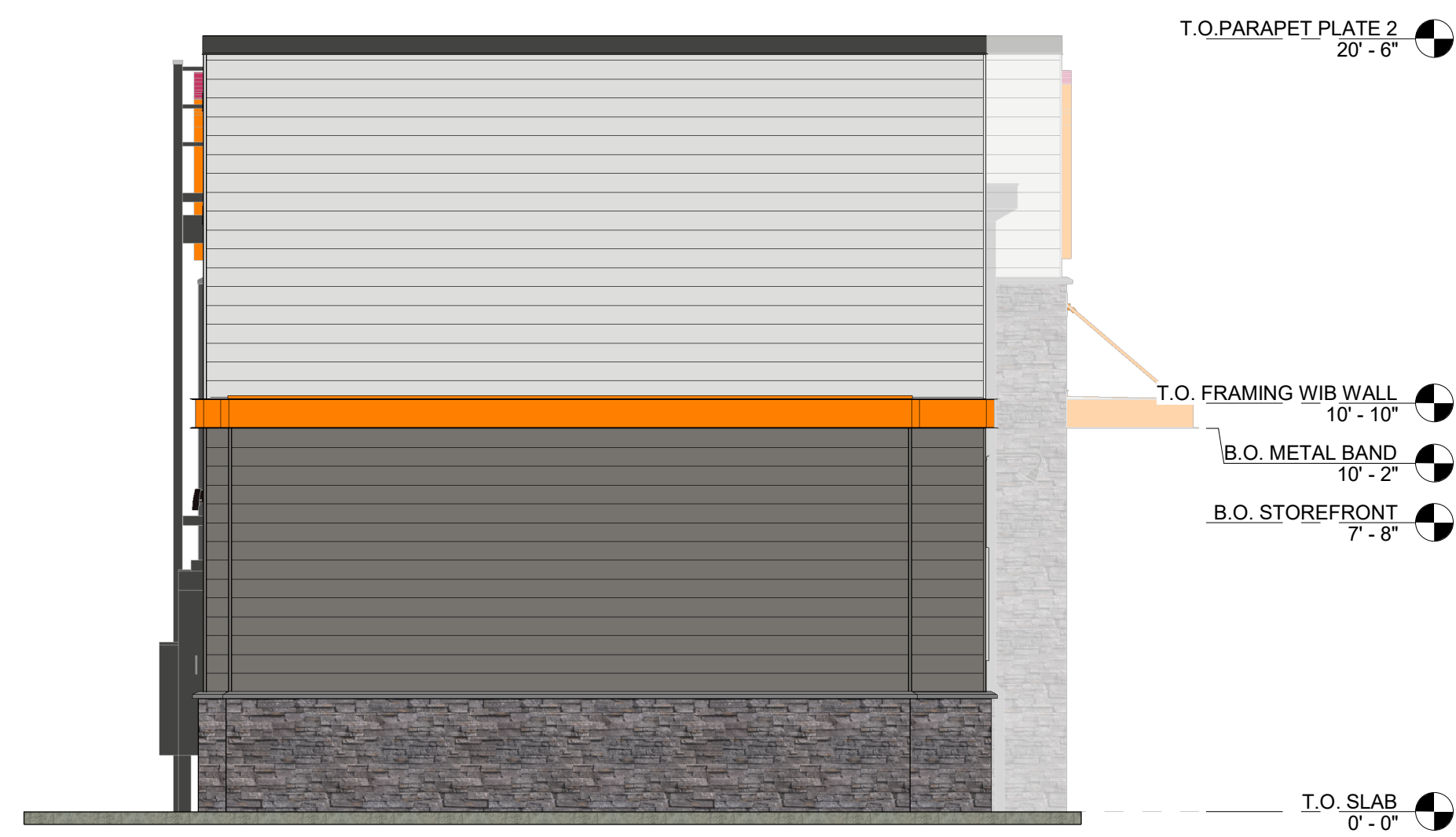
DUNKIN' DRIVE-THRU ONLY

1399 NE DOUGLAS ST.  
LEE SUMIT, MO

PRELIMINARY LAYOUT | SCALE: NOT SCALED

SHEET No:  
**EER 1**

DATE: 06-25-2024



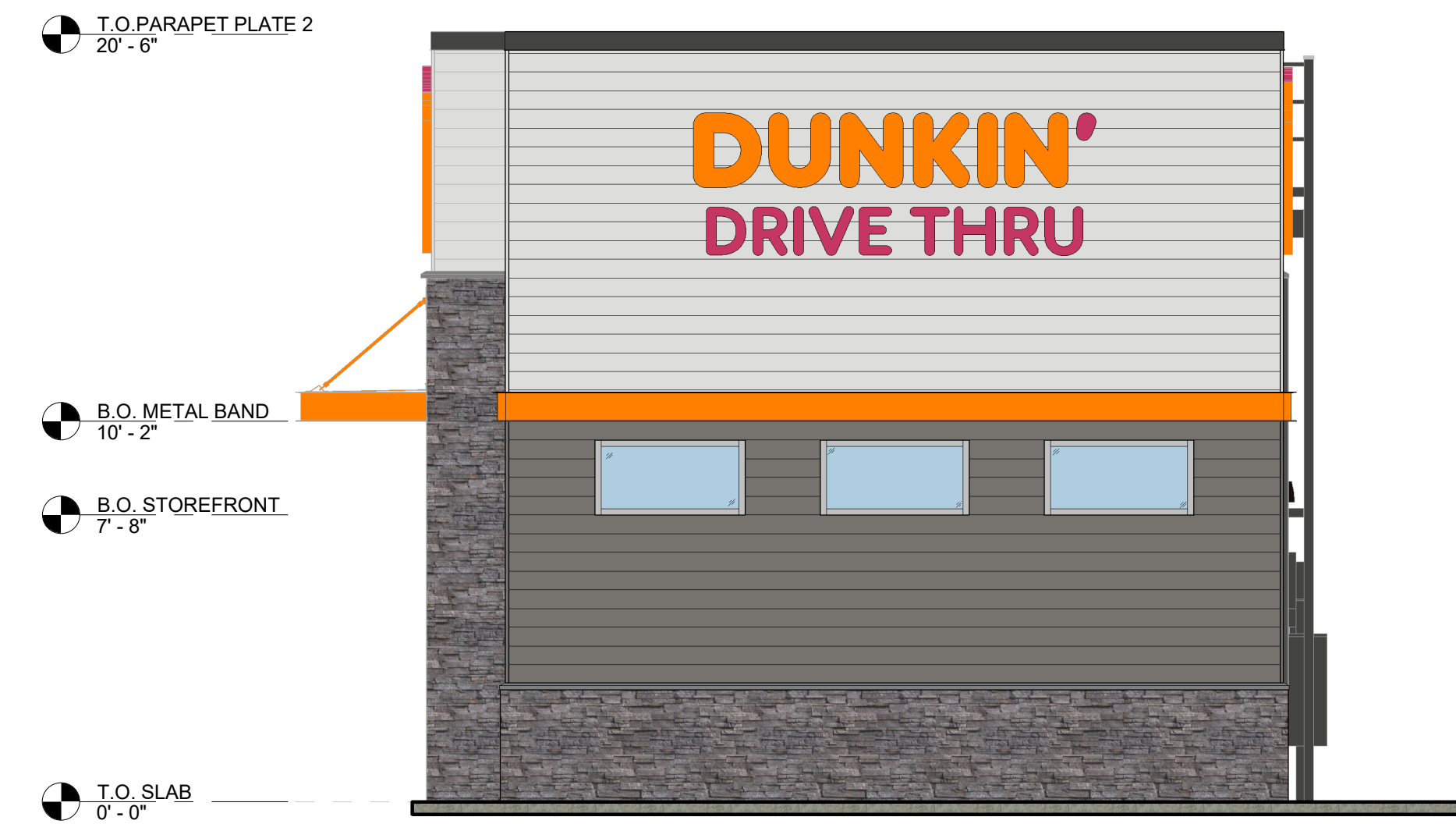
EAST ELEVATION  
1/4" = 1'-0"



NORTH ELEVATION (DRIVE-THRU)  
1/4" = 1'-0"



SOUTH ELEVATION  
1/4" = 1'-0"



WEST ELEVATION (NE DOUGLAS STREET)  
1/4" = 1'-0"



**INSPIRE**  
Brands

FLAVOR PALETTE  
NEXT GEN  
STORE NUMBER  
STORE # 365554

REVISION		
No.	Date	Description

DUNKIN' DRIVE-THRU ONLY

1399 NE DOUGLAS ST.  
LEE SUMIT, MO

PRELIMINARY LAYOUT | SCALE: 1/4" = 1'-0"

SHEET No:  
**EER 2**

DATE: 06-25-2024