

MCC AUTOMOTIVE INSTITUTE

METROPOLITAN COMMUNITY COLLEGE - LONGVIEW

500 SW LONGVIEW RD.
LEE'S SUMMIT, MO, 64081

FINAL DEVELOPMENT PLAN

INDEX OF DRAWINGS

June 6th, 2024



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(816) 531-2121
CONTACT: BRAD LEWIS

PROPERTY LEGAL DESCRIPTION

SEC 9 TWP 47 R1NG 32 -- PT NE 1/4 DAF; BEG NE COR SD 1/4 TH W ALG N L1 SEC 9 2094.87 TH S 03 DEG 15 MIN 09 SEC W 515.17 TO TRU POB. TH CONT S 03 DEG E 201.26 TH S 88 DEG 13 MIN 46 SEC E 1486.28 TH N 3 DEG 23 MIN 20 SEC E 322' S 87 DEG 50 MIN 38 SEC E 269.77 TH N 3 DEG 14 MIN 53 SEC E 2118.34 TH N 87 DEG 38 MIN 41 SEC W 1215.78 TH S 23 DEG 59 MIN 27 SEC E 310.25 TH N 87 DEG 41 MIN 21 SEC E 409.48 TH S 2 DEG 19 MIN 21 SEC W 47.69 N 87 DEG 41 MIN 21 SEC E 583.30 TO TRU POB.

DESIGN RENDERING (FOR REFERENCE ONLY)



VICINITY MAP



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500 SW LONGVIEW RD.
LEE'S SUMMIT, MO 64081

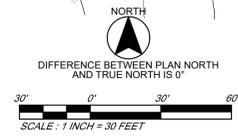
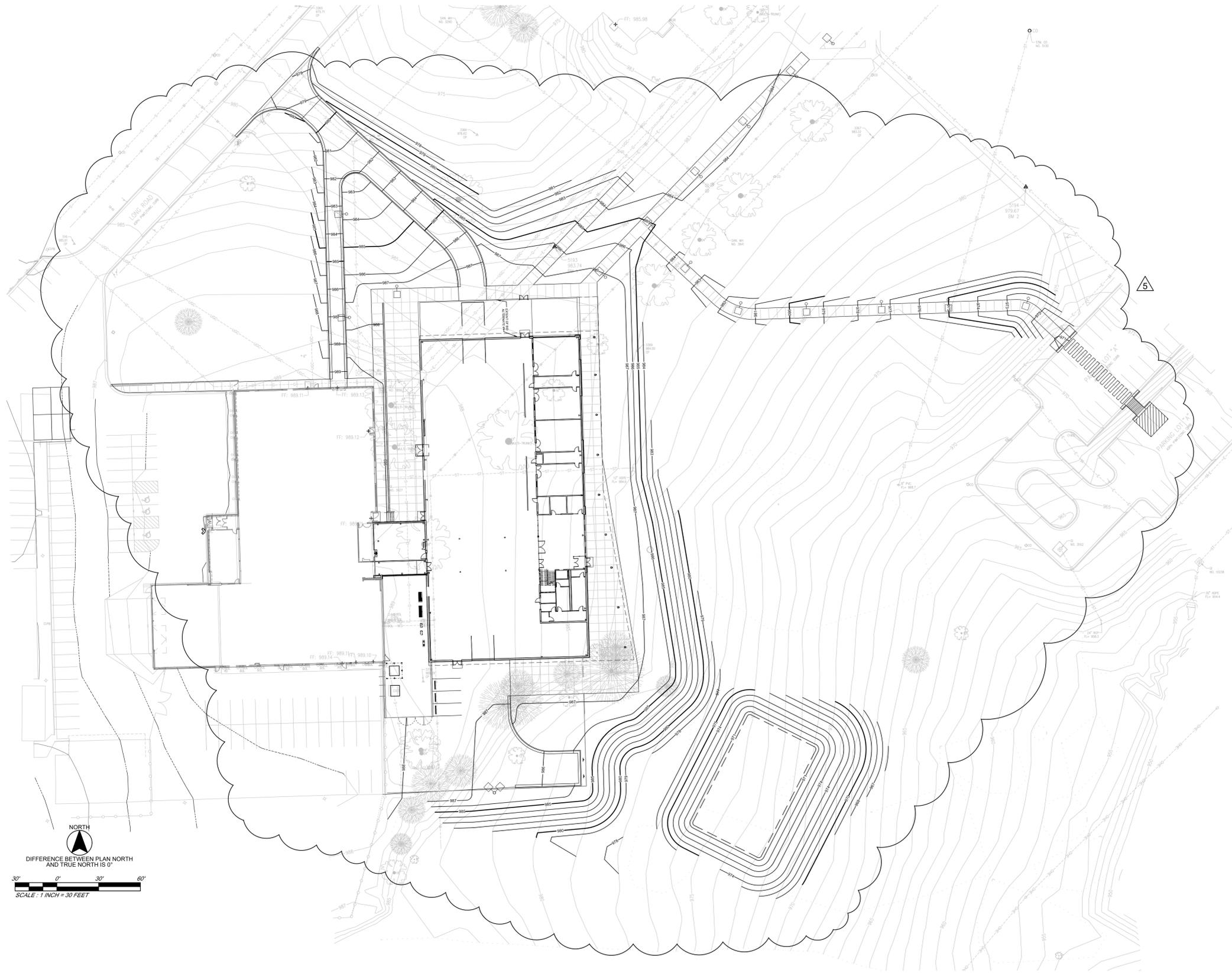
FINAL DEVELOPMENT PLAN
June 4th, 2024
REVISIONS

13-23128-00
COVER SHEET

G0-1

A B C D E F

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2
3
4
5



PROJECT LOCATION

VICINITY MAP
NOT TO SCALE



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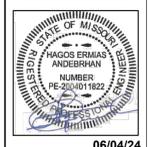
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CONTACT: BOB GREGOR

LEGAL DESCRIPTION
SEC-9 TWP-47 RNG-32 --- PT NE 1/4 DAF: BEG NE COR SD 1/4 TH W ALG N LI SEC 9 2094.87' TH S 03 DEG 15 MIN 09 SEC W 515.17' TO TRU POB. TH CONT S 03 DEG 15 MIN 09 SEC W 2353.78' TH N 57 DEG 19 MIN 13 SEC E 391.38' TH S 88 DEG 13 MIN 40 SEC E 1486.29' TH N 3 DEG 23 MIN 20 SEC E 322' S 87 DEG 50 MIN 38 SEC E 269.77' TH N 3 DEG 14 MIN 53 SEC E 2118.34' TH N 87 DEG 38 MIN 41 SEC W 1215.76' TH S 23 DEG 09 MIN 27 SEC E 310.25' TH N 87 DEG 41 MIN 21 SEC E 409.45' TH S 2 DEG 19 MIN 21 SEC W 47.69' N 87 DEG 41 MIN 21 SEC E 583.30' TO TRU POB.

TOTAL LAND AREA = 108.91 AC (APPROX. 4,744,120 SF)
THE SUBJECT PROPERTY IS NOT IN A FLOODPLAIN
NO NEW LOTS WILL BE CREATED AS A PART OF THIS DEVELOPMENT

PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES GIS DATA, THERE ARE NO OIL OR GAS WELLS LOCATED ON THE PROPOSED SITE.

DLR GROUP
© DLR Group



06/04/24

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FINAL DEVELOPMENT PLAN
June, 4th, 2024

REVISIONS
CITY COMMENTS 03.29.24 4
FINAL DEV. PLAN 06.04.24 5

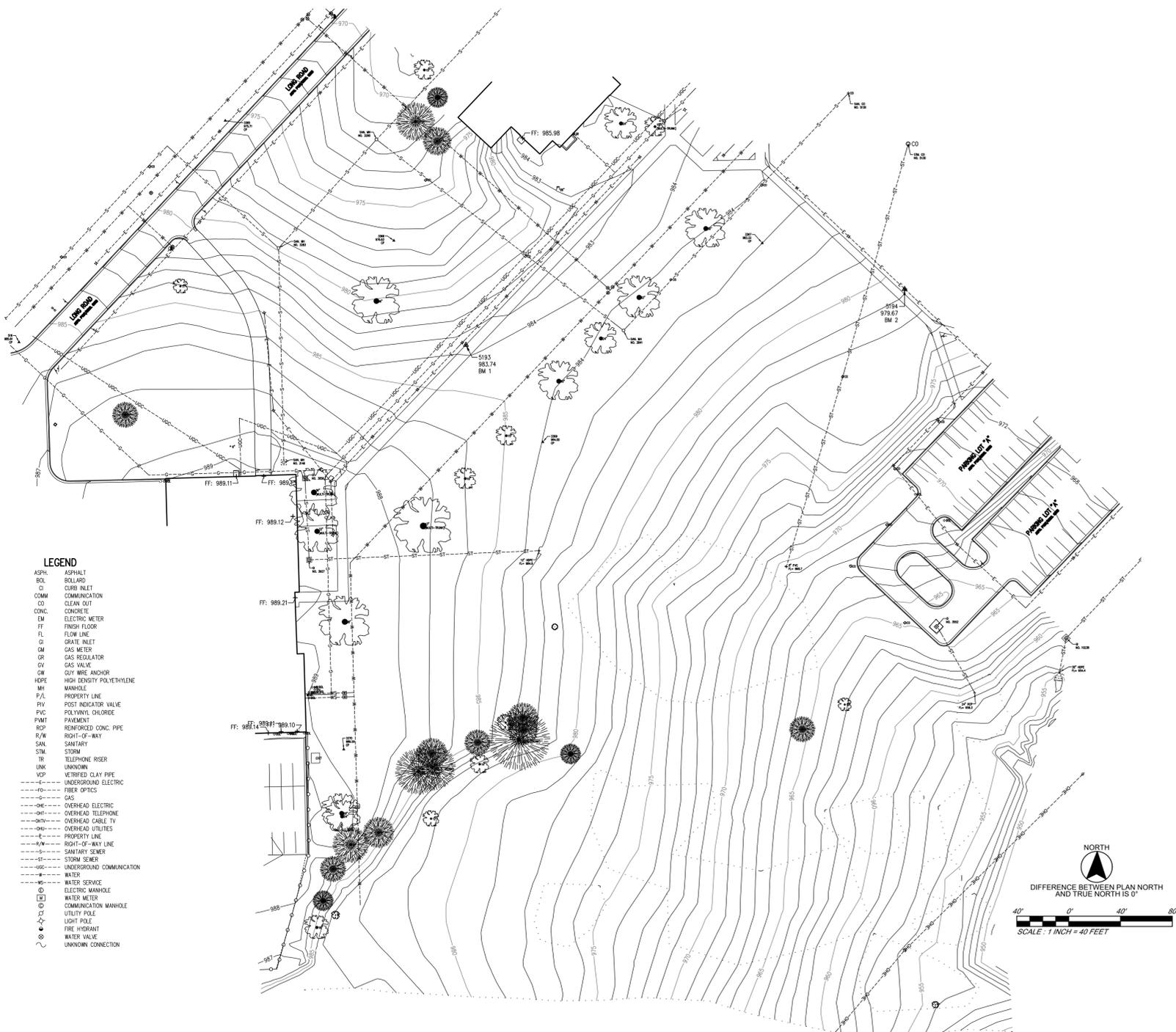
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OVERALL SITE PLAN

C0.10

PLAN PREPARATION DATE: 22 MARCH 2024
REVISION: 04 JUNE 2024

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- LEGEND**
- ASPH ASPHALT
 - BOL BOLLARD
 - CI CURB INLET
 - COMM COMMUNICATION
 - CO CLEAN OUT
 - CONC CONCRETE
 - EM ELECTRIC METER
 - FF FINISH FLOOR
 - FL FLOW LINE
 - GI GRATE INLET
 - GM GAS METER
 - GR GAS REGULATOR
 - GV GAS VALVE
 - GUY GUY WIRE ANCHOR
 - HDPE HIGH DENSITY POLYETHYLENE
 - MH MANHOLE
 - P/L PROPERTY LINE
 - P/IV POST INDICATOR VALVE
 - PVC POLYVINYL CHLORIDE
 - PMNT PAVEMENT
 - RSP REINFORCED CONC. PIPE
 - R/W RIGHT-OF-WAY
 - SAN SANITARY
 - STM STORM
 - TR TELEPHONE RISER
 - UNK UNKNOWN
 - VCP VENTRIED CLAY PIPE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND GAS
 - OVERHEAD ELECTRIC
 - OVERHEAD TELEPHONE
 - OVERHEAD CABLE TV
 - OVERHEAD UTILITIES
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - SANITARY SEWER
 - STORM SEWER
 - UNDERGROUND COMMUNICATION
 - WATER
 - WATER SERVICE
 - ELECTRIC MANHOLE
 - WATER METER
 - COMMUNICATION MANHOLE
 - UTILITY POLE
 - LIGHT POLE
 - FIRE HYDRANT
 - WATER VALVE
 - UNKNOWN CONNECTION

SANITARY AND STORM SEWER STRUCTURE TABLE

KCMO NO.	T&B NO.	TOP ELEV.	FLOWLINE - IN		FLOWLINE - OUT		PIPE SIZE	PIPE MAT.	NOTES
			DIR.	DEPTH ELEV.	DIR.	DEPTH ELEV.			
MH NO. 3146	989.14		NW	5.85 973.70	NW	12.43 976.71	16"	PVC	4" DIA. CONC. BOX HOODING LIQUID, HAS E-W WEIR WALL
MH NO. 3283	979.55		S	5.80 973.75	NE	8.10 977.45	6"	PVC	4" DIA. CONC. LID ECCENTRIC TO WEST
MH NO. 3290	971.67		SW	5.40 966.92	NE	5.50 966.06	6"	PVC	4" DIA. CONC. LID ECCENTRIC TO WEST
GI NO. 3552	983.72		SE	4.85 966.77	NE	5.50 966.06	6"	PVC	4" DIA. CONC. LID ECCENTRIC TO WEST
MH NO. 3841	983.77		NE	6.05 977.74	NW	6.08 977.71	6"	PVC	4" DIA. CONC. LID ECCENTRIC TO SOUTHEAST
GI NO. 3856	988.18		N	3.00 985.38	S	2.30 985.86	12"	PVC	4" DIA. CONC. LID ECCENTRIC TO SOUTHEAST
GI NO. 3927	988.38		N	3.00 985.38	E	3.10 985.28	12"	PVC	4" DIA. CONC. LID ECCENTRIC TO SOUTHEAST
MH NO. 5057	964.07		SW	5.10 958.97	N	5.10 958.97	6"	PVC	4" DIA. CONC.
CO NO. 5130	986.72		NE	5.00 987.72	SW	5.00 987.72	6"	PVC	4" VERTICAL PVC SANITARY
CO NO. 5137	987.22		NE	5.00 987.72	SW	5.00 987.72	6"	PVC	4" VERTICAL PVC STORM
GI NO. 10238	958.31		NE	1.80 954.50	SW	4.60 957.67	24"	PVC	4" DIA. CONC.
GI NO. 10247	973.33		NW	1.75 969.58	SW	3.85 954.47	24"	PVC	4" DIA. CONC.
GI NO. 10247	973.33		NE	2.75 970.58	SW	4.00 969.33	24"	PVC	4" DIA. CONC.

HORIZONTAL CONTROL

PROJECT COORDINATES SHOWN HEREON ARE BASED ON THE MISSOURI COORDINATE SYSTEM OF 1983, WEST ZONE, NAD83 2011 ADJUSTMENT, AS DETERMINED FROM GPS OBSERVATIONS USING THE MISSOURI DEPARTMENT OF TRANSPORTATION COMMISSION GLOBAL NAVIGATION SATELLITE REAL-TIME NETWORK AND TIED TO CONTROL MONUMENT JA-96 OF THE JACKSON COUNTY GEOGRAPHIC REFERENCE SYSTEM. PROJECT CONTROL IS BASED ON MISSOURI COORDINATE SYSTEM COORDINATE VALUES FOR CONTROL PT. NO. 201 AND USED AS THE BASE POINT FOR SCALING. A GRID FACTOR OF 0.9998997 WAS USED.

PROJECT CONTROL

NAME	GRID COORDINATES		PROJECT COORDINATES	
	NORTHING (usFT)	EASTING (usFT)	NORTHING (usFT)	EASTING (usFT)
CP #201 (BASE PT. FOR SCALING)	1,000,097.09	2,801,039.31	1,000,097.09	2,801,039.31
JA-96	1,000,821.54	2,794,091.51	1,000,821.62	2,794,090.81

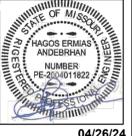
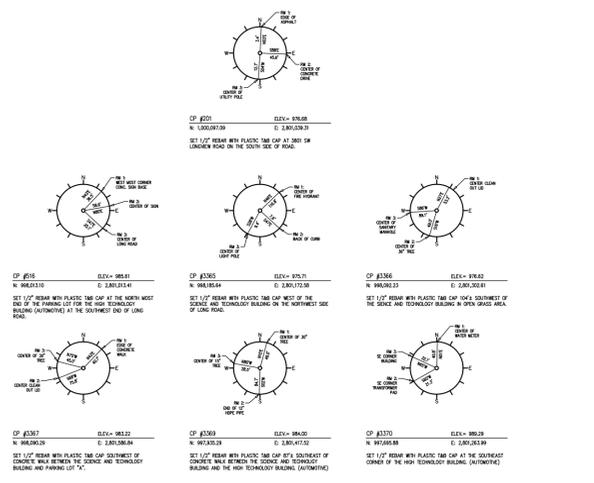
PROJECT BENCHMARK

KCMO INDEX RECORD 4374: JACKSON COUNTY GEOGRAPHIC REFERENCE MONUMENT JA-96 LOCATED 172.5± EAST OF THE CENTERLINE OF RAYTOWN ROAD AND 204± SOUTH OF THE CENTERLINE OF LONGVIEW ROAD. ELEV. = 963.52

VERTICAL CONTROL

BM #1 (CONTROL POINT #000)
SET A CUT SQUARE 258± SOUTHWEST OF SCIENCE AND TECHNOLOGY BUILDING ENTRANCE ON THE NORTHWEST EDGE OF A CONCRETE WALK SOUTHEAST OF A LIGHT POLE. ELEV. = 983.74

BM #2
SET A CUT SQUARE ON THE TOP WEST SIDE OF A LIGHT POLE BASE ON THE NORTHEAST SIDE OF A CONCRETE WALK RUNNING BETWEEN A PARKING LOT "A" AND THE SCIENCE AND TECHNOLOGY BUILDING ENTRANCE, 97± NORTHWEST OF NORTHWEST PARKING LOT CURB ALSO THE SECOND POLE NORTHWEST OF LOT. ELEV. = 979.67



04/26/24

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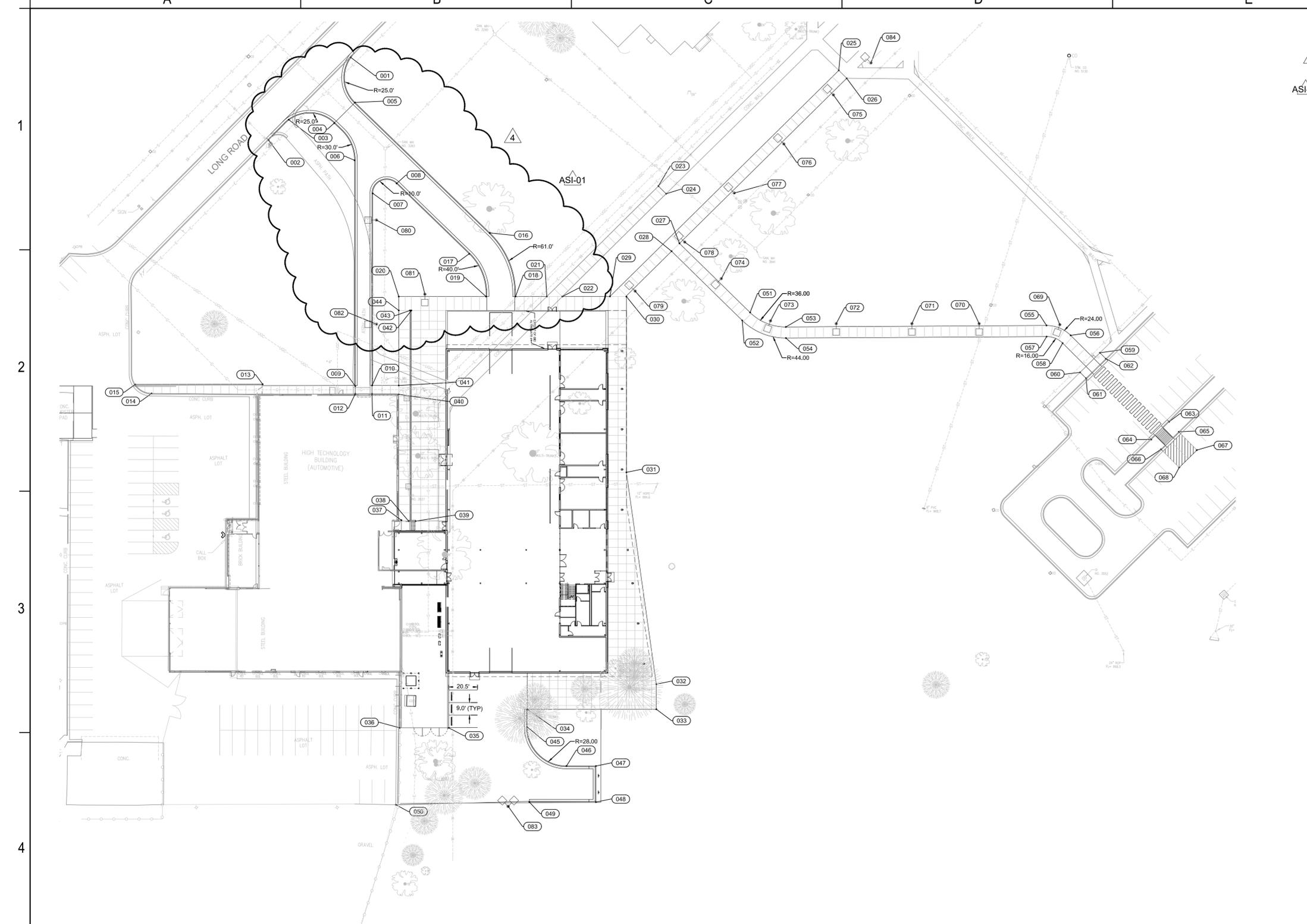
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FINAL DEVELOPMENT PLAN
June, 4th, 2024
REVISIONS

13-23128-00
SITE SURVEY

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4
ASI-01

Point Table		
Point #	Northing	Easting
001	998151.45	2801187.03
002	998090.21	2801130.22
003	998105.26	2801144.18
004	998103.70	2801176.74
005	998119.00	2801191.12
006	998077.35	2801192.00
007	998053.89	2801205.68
008	998061.53	2801222.46
009	997914.77	2801197.23
010	997915.48	2801209.22
011	997909.50	2801209.39
012	997909.15	2801197.40
013	997914.09	2801131.17
014	997905.17	2801052.11
015	997911.31	2801040.20
016	998027.81	2801289.99
017	998012.37	2801275.75
018	997982.54	2801309.67
019	997981.92	2801288.68
020	997980.11	2801226.41
021	997983.19	2801331.95
022	997983.51	2801343.06
023	998065.08	2801409.24
024	998059.72	2801414.93
025	998152.17	2801535.51
026	998146.67	2801541.32
027	998024.24	2801425.53
028	998018.43	2801420.03
029	997984.60	2801377.03
030	997984.84	2801388.76
031	997858.16	2801392.45
032	997706.21	2801418.23
033	997688.16	2801418.76
034	997685.48	2801326.75
035	997670.41	2801271.09
036	997669.42	2801236.20
037	997819.02	2801232.98
038	997818.52	2801238.15
039	997818.67	2801243.15
040	997909.85	2801228.41
041	997916.06	2801228.27
042	997970.38	2801235.69
043	997970.35	2801234.70
044	997970.11	2801228.70
045	997672.60	2801327.11
046	997645.41	2801355.89
047	997646.00	2801376.88
048	997620.01	2801377.62
049	997618.66	2801330.14
050	997613.96	2801234.95
051	997975.92	2801477.33
052	997970.07	2801471.87
053	997966.26	2801503.13
054	997958.27	2801503.41
055	997972.71	2801689.05
056	997966.12	2801706.42
057	997964.72	2801689.33
058	997960.32	2801700.91
059	997954.17	2801727.70
060	997939.66	2801713.93
061	997935.50	2801718.30
062	997950.00	2801732.08
063	997905.93	2801778.50
064	997892.79	2801766.16
065	997898.86	2801785.60
066	997885.92	2801773.30
067	997886.11	2801798.95
068	997873.17	2801786.66
069	997973.58	2801698.51
070	997972.62	2801640.95
071	997971.22	2801592.97
072	997969.64	2801538.99
073	997970.30	2801492.04
074	997999.70	2801456.10
075	998134.44	2801532.12
076	998098.07	2801497.81
077	998061.63	2801463.57
078	998025.33	2801429.19
079	997988.96	2801394.88
080	998034.73	2801208.86
081	997982.32	2801244.96
082	997959.76	2801211.04
083	997615.10	2801315.15
084	998158.25	2801558.28



04/26/24

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REVISIONS
CITY COMMENTS 03.29.24 4
ASI-01 04.26.24



04/26/24

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FINAL DEVELOPMENT PLAN
June 4th, 2024

REVISIONS

CITY COMMENTS	03.29.24	4
POP RESPONSE	04.09.24	5
AS101	04.29.24	

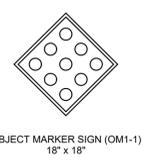
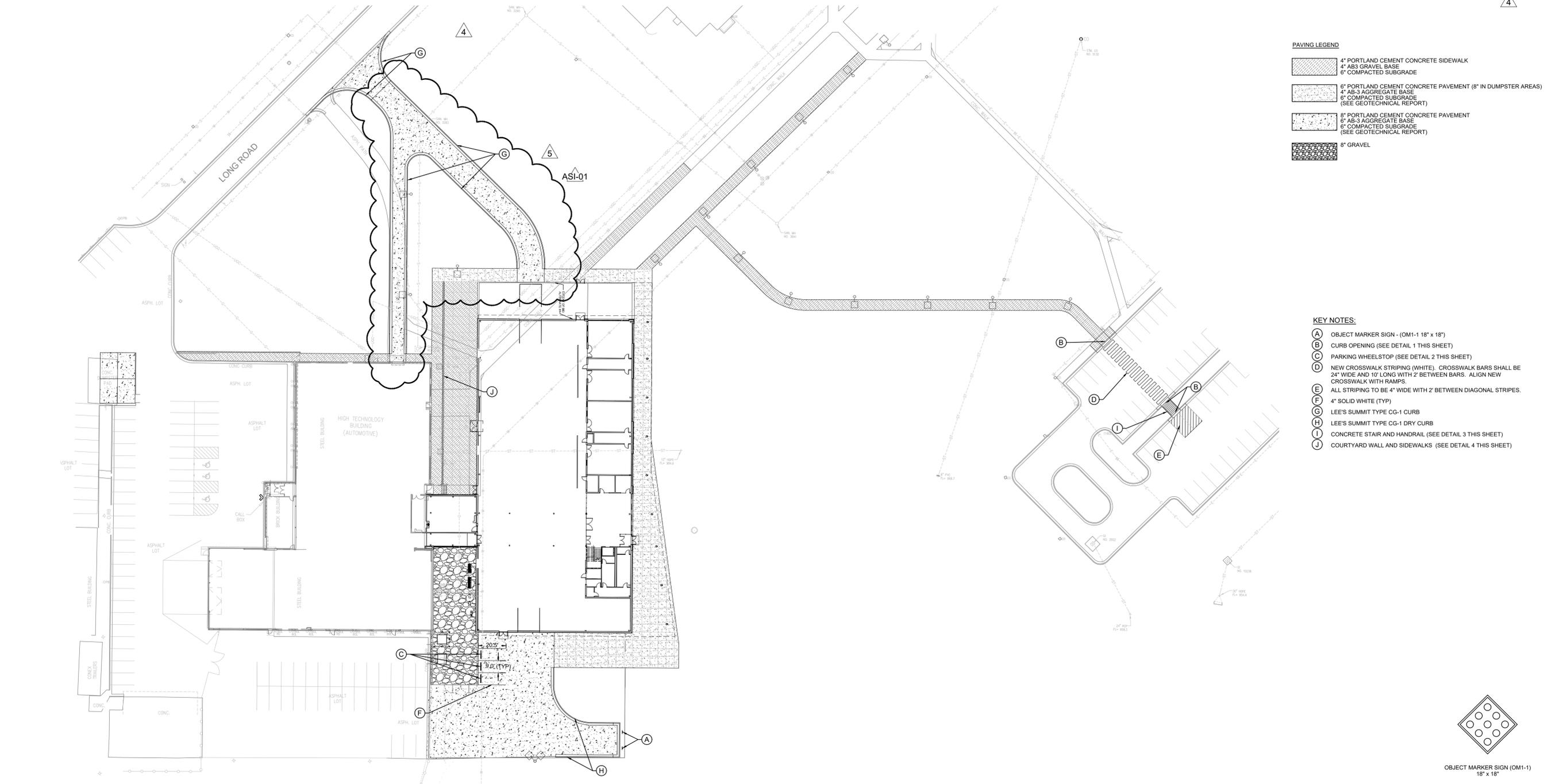
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SITE PAVING, STRIPING, AND SIGNAGE PLAN

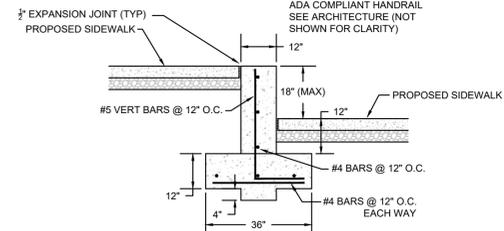
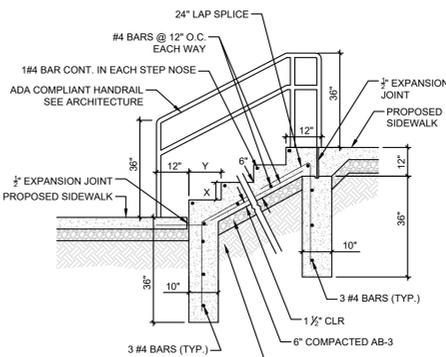
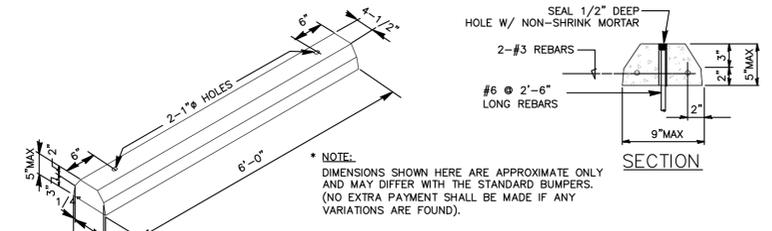
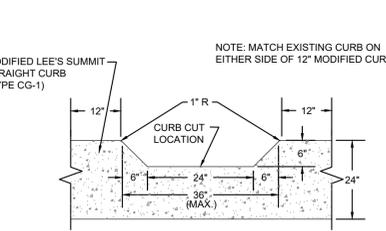
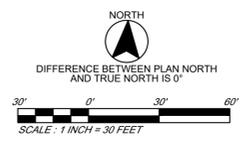
PAVING LEGEND

	4" PORTLAND CEMENT CONCRETE SIDEWALK 4" AB-3 GRAVEL BASE 6" COMPACTED SUBGRADE
	6" PORTLAND CEMENT CONCRETE PAVEMENT (8" IN DUMPSTER AREAS) 4" AB-3 AGGREGATE BASE 6" COMPACTED SUBGRADE (SEE GEOTECHNICAL REPORT)
	8" PORTLAND CEMENT CONCRETE PAVEMENT 4" AB-3 AGGREGATE BASE 6" COMPACTED SUBGRADE (SEE GEOTECHNICAL REPORT)
	8" GRAVEL

- KEY NOTES:**
- (A) OBJECT MARKER SIGN - (OM1-1 18" x 18")
 - (B) CURB OPENING (SEE DETAIL 1 THIS SHEET)
 - (C) PARKING WHEELSTOP (SEE DETAIL 2 THIS SHEET)
 - (D) NEW CROSSWALK STRIPING (WHITE). CROSSWALK BARS SHALL BE 24" WIDE AND 10' LONG WITH 2' BETWEEN BARS. ALIGN NEW CROSSWALK WITH RAMPS.
 - (E) ALL STRIPING TO BE 4" WIDE WITH 2' BETWEEN DIAGONAL STRIPES.
 - (F) 4" SOLID WHITE (TYP)
 - (G) LEE'S SUMMIT TYPE CG-1 CURB
 - (H) LEE'S SUMMIT TYPE CG-1 DRY CURB
 - (I) CONCRETE STAIR AND HANDRAIL (SEE DETAIL 3 THIS SHEET)
 - (J) COURTYARD WALL AND SIDEWALKS (SEE DETAIL 4 THIS SHEET)



- GENERAL SIGNAGE NOTES:**
- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALL SIGNS AND PAVEMENT MARKINGS SHALL BE LOCATED AS SHOWN ON THE PLANS. FINAL LOCATIONS WILL BE DETERMINED BY THE ENGINEER OR CITY INSPECTOR AS NECESSARY.
 - ALL SIGNS SHALL BE MOUNTED WITH THE BOTTOM SEVEN (7) FEET ABOVE THE ADJACENT TOP OF CURB.
 - SIGNS PLACED ON THE SIDE OF THE ROAD SHALL TYPICALLY BE PLACED TWO (2) FEET FROM THE BACK OF CURB.
 - ALL POSTS SHALL BE HOT DIP GALVANIZED AFTER FABRICATION TO COMPLY WITH THE REQUIREMENTS OF ASTM A-123 AND POWDER COATED WITH GREEN COLOR.
 - ALL STANDARD SIGN STEEL POSTS SHALL HAVE A UNIFORM CROSS SECTION AND THE FLANGES AT THE OPEN END OF THE "U" SHALL BE FLAT AND IN THE SAME PLANE. THE BACK OF THE POST SHALL BE FLAT AND PARALLEL TO THE PLANE OF THE FLANGES. ROUND HOLES 3/8 INCH DIAMETER SHALL BE PUNCHED OR DRILLED ON CENTERLINE AT ONE (1) INCH SPACING STARTING ONE (1) INCH FROM THE TOP OF THE POST.
 - WHERE SIGNS ARE TO BE INSTALLED IN SIDEWALK, THE CONTRACTOR SHALL INSTALL A 6 INCH LONG SECTION OF 4 INCH DIAMETER SCHEDULE 40 PVC CONDUIT PRIOR TO PAVING. THE CONDUIT SHALL BE BACKFILLED WITH A GRANULAR MATERIAL AND THE TOP OF CONDUIT SHALL BE FLUSH WITH THE PAVED SURFACE. REFER TO PLANS FOR LOCATION OF SIGN IN THE SURFACE.
 - SIGNS REMOVED SHALL BE SALVAGED AND RETURNED TO OWNER.
 - THE EXACT LOCATIONS OF SIGNS CAN BE DETERMINED DURING CONSTRUCTION PER THE ENGINEER'S DIRECTION.



1 CURB OPENING IN LEE'S SUMMIT TYPE CG-1 CURB
NOT TO SCALE

2 PRECAST PARKING BUMPER (WHEELSTOP)
NOT TO SCALE

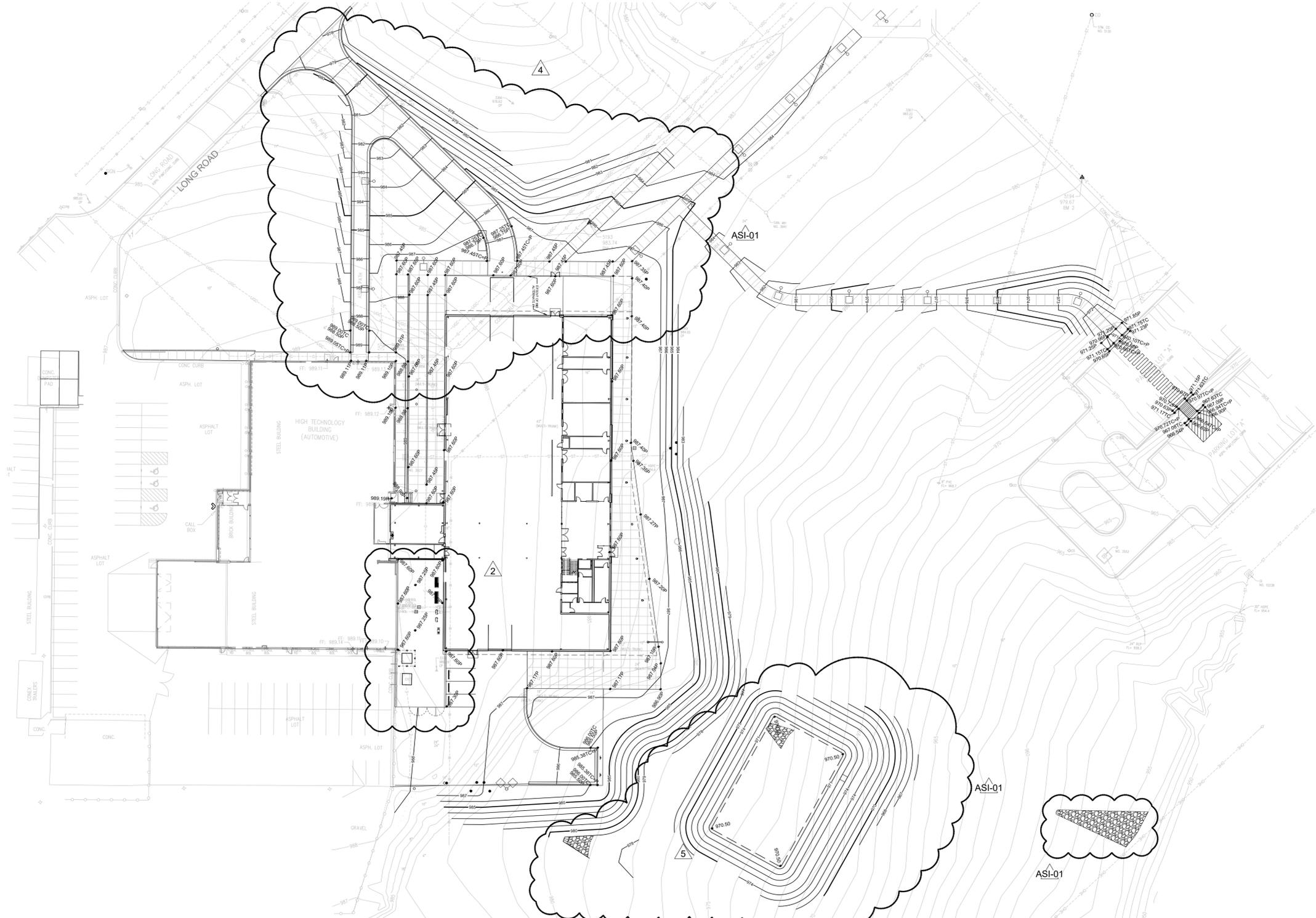
3 CONCRETE STAIR AND HANDRAIL
NOT TO SCALE

4 COURTYARD WALL AND SIDEWALKS
NOT TO SCALE

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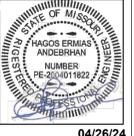


GRADING NOTES:

1. THE SIZE, LOCATION AND NATURE OF EXISTING UTILITIES AS SHOWN ON THESE DRAWINGS HAS BEEN OBTAINED FROM INFORMATION PROVIDED BY THE UTILITY COMPANIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ACTIVITIES WITH THE APPLICABLE UTILITIES, AND FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES, INCLUDING UNFORESEEN AND UNKNOWN UTILITIES, PRIOR TO CONSTRUCTION. UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. UNLESS OTHERWISE INDICATED IN PLANS OR TECHNICAL SPECIFICATIONS, ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND GEOTECHNICAL REPORTS TO BE PROVIDED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR SHALL RESTRICT CONSTRUCTION ACCESS TO THE SITE TO ONE LOCATION, UNLESS OTHERWISE APPROVED IN WRITING BY THE ENGINEER.
5. THE CONTRACTOR SHALL PROMPTLY CLEAN PUBLIC ROADWAYS OF ALL MUD AND CONSTRUCTION DEBRIS RESULTING OF CONSTRUCTION ACTIVITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD STAKING.
7. BOLD CONTOUR LINES AND BOLD SPOT ELEVATIONS REPRESENT FINISHED GRADE AT PROJECT COMPLETION, (I.E. THE TOP OF FINISHED GRADE, TOP OF PAVEMENT OR TOP OF CURB).
8. ALL SPOT ELEVATIONS ARE PVMT. ELEVATIONS UNLESS NOTED OTHERWISE. SPOT ELEVATIONS FOLLOWED BY HP INDICATE HIGH POINTS. SPOT ELEVATIONS FOLLOWED BY TC INDICATES TOP OF CURB ELEVATION. SPOT ELEVATIONS NOTED TC = P INDICATE THAT TOP OF CURB ELEVATION EQUALS PAVEMENT ELEVATION.
9. SPOT ELEVATION CALL OUTS MAY BE TRUNCATED (I.E. 55.50 MEANS 955.50).
10. ALL ELEVATIONS ARE ON NAVD 88 VERTICAL DATUM.
11. FOR BORING INFORMATION, SEE THE GEOTECHNICAL REPORT FOR THIS PROJECT.

LEGEND

- TC DENOTES TOP OF CURB ELEVATION
- P DENOTES TOP OF PAVEMENT ELEVATION
- TC=P DENOTES TOP OF CURB ELEVATION AND TOP OF PAVEMENT ELEVATION ARE EQUAL



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FINAL DEVELOPMENT PLAN
June, 4th, 2024

ADD 02	02.23.24	2
CITY COMMENTS	03.29.24	4
PDP RESPONSE	04.09.24	5
ASI-01	04.26.24	

13-23128-00
OVERALL GRADING PLAN

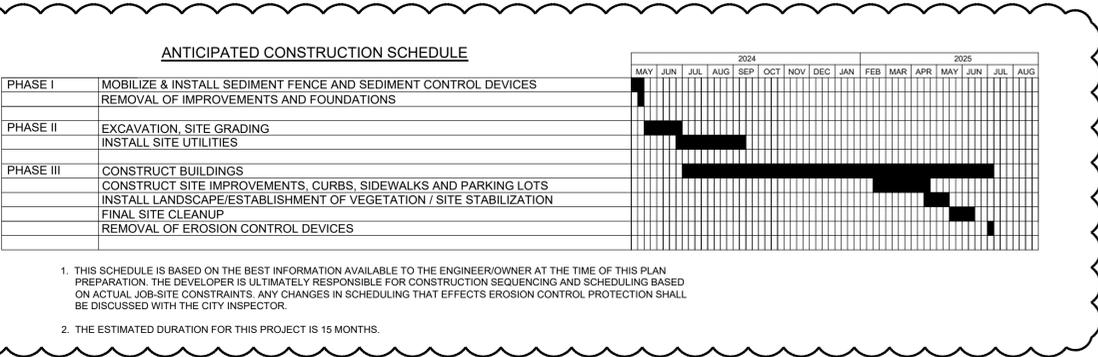
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PROPERTY DESCRIPTION (PER JACKSON COUNTY PARCEL VIEWER)

SEC-9 TWP-47 RNG-32 --- PT NE 1/4 DAF: BEG NE COR SD 1/4 TH W ALG N LI SEC 9 2094.87 TH S 03 DEG 15 MIN 09 SEC W 515.17 TO TRU POB. TH CONT S 03 DEG 15 MIN 09 SEC W 2353.78 TH N 57 DEG 19 MIN 13. SEC E 391.38 TH S 88 DEG 13 MIN 46 SEC E 1486.29 TH N 3 DEG 23 MIN 20 SEC E 322.57 DEG 50 MIN 36 SEC E 269.77 TH N 3 DEG 14 MIN 53 SEC E 2116.34 TH N 87 DEG 38 MIN 41 SEC W 1215.78 TH S 23 DEG 09 MIN 27 SEC E 310.25 TH N 87 DEG 41 MIN 21 SEC E 408.48 TH S 2 DEG 19 MIN 21 SEC W 47.69 N 87 DEG 41 MIN 21 SEC E 583.30 TO TRU POB.

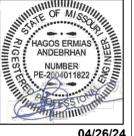
THE PROJECT IS LOCATED IN THE MOUSE CREEK WATERSHED

EROSION CONTROL QUANTITIES			
ITEM NO.	PHASE	DESCRIPTION	QUANTITIES
1	I	ESC-01 TEMPORARY CONSTRUCTION ENTRANCE	1 EA.
2	I	ESC-03 SILT FENCE	2,200 L.F.
3	I	ESC-07 AREA INLET PROTECTION	2 EA.
4	I	CONCRETE WASHOUT AREA	100 S.F.
5	II	ESC-01 TEMPORARY CONSTRUCTION ENTRANCE	1 EA.
6	II	ESC-03 SILT FENCE	2,200 L.F.
7	II	ESC-07 AREA INLET PROTECTION	2 EA.
8	II	ESC-14 OUTLET PROTECTION	2 EA.
9	II	CONCRETE WASHOUT AREA	100 S.F.
10	III	ESC-01 TEMPORARY CONSTRUCTION ENTRANCE	1 EA.
11	III	ESC-03 SILT FENCE	2,200 L.F.
12	III	ESC-07 AREA INLET PROTECTION	2 EA.
13	III	ESC-14 OUTLET PROTECTION	2 EA.
14	III	CONCRETE WASHOUT AREA	100 S.F.



GENERAL NOTES - EROSION CONTROL:

- EROSION CONTROL MEASURES SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE STANDARD DETAILS PRESENTED IN THE LATEST EDITION OF AMERICAN PUBLIC WORKS ASSOCIATION (APWA), KANSAS CITY METROPOLITAN CHAPTER, SECTION 5100 AS REFERENCED ON THE PLAN DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL EROSION CONTROL MEASURES AS NEEDED IN THE EVENT THAT UNFORESEEN EROSION PROBLEMS ARISE OR IF CONSTRUCTION DEVIATES FROM THESE PLANS.
- CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE LEE'S SUMMIT, MISSOURI "EROSION AND SEDIMENTATION CONTROL SPECIFICATIONS" AS CURRENTLY ADOPTED BY THE CITY.
- THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES AND REMOVING SEDIMENT UNTIL TEMPORARY VEGETATION HAS BECOME ESTABLISHED.
- AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH SECTION 2400 OF THE "STANDARD SPECIFICATIONS AND DESIGN CRITERIA" AS PREPARED BY THE AMERICAN PUBLIC WORKS ASSOCIATION AND AS ADOPTED BY THE CITY OF LEE'S SUMMIT, MISSOURI. TEMPORARY SEEDING AND FERTILIZING SHALL BE AT THE FOLLOWING RATES:
SEEDING ANNUAL RYE GRASS @ 120 LBS./ACRE.
FERTILIZING 10-10-10 FERTILIZER @ 850 LBS./ACRE.
- EXPOSED SLOPES 3:1 AND STEEPER SHALL BE MULCHED WITH WHEAT OR OAT STRAW.
- TEMPORARY SEEDING AND MULCHING SHALL CLOSELY FOLLOW GRADING OPERATIONS AND UNDER NO CIRCUMSTANCE SHALL MORE THAN THIRTY (30) CALENDAR DAYS ELAPSE BETWEEN GRADING AND SEEDING ACTIVITIES. WINTER WHEAT SEEDING MAY BE USED DURING COLD WEATHER.
- THE CONTRACTOR SHALL MAINTAIN SEEDED AND MULCHED AREAS UNTIL THE TEMPORARY VEGETATION BECOMES ESTABLISHED.
- EROSION CONTROL DEVICES WHICH ARE REMOVED TO PERMIT CONTRACTOR ACCESS SHALL BE REPLACED AT THE END OF THE DAY.
- TOTAL DISTURBED AREA IS APPROXIMATELY 3.21 ACRES.
- SOILS IN THE PROJECT AREA ARE CLASSIFIED AS SOIL GROUP 30080 - GREENTON SILTY CLAY LOAM, 5 TO 9 PERCENT SLOPES AND URBAN LAND - HARVESTER COMPLEX, 2 TO 9 PERCENT SLOPES



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FINAL DEVELOPMENT PLAN
June, 4th, 2024

REVISIONS
CITY COMMENTS 03.29.24 4
ASI-01 04.26.24

13-23128-00

SITE DISTURBANCE NOTES, QUANTITIES, AND SCHEDULE

C3.21

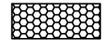
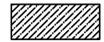
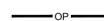


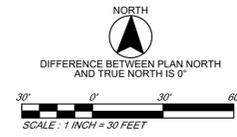
EROSION CONTROL NOTES:
 1. FOR GENERAL NOTES AND SCHEDULE, SEE SHEET C3.21/.

PHASE I DESCRIPTION OF WORK

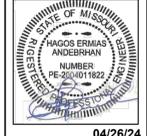
- MOBILIZE & INSTALL SEDIMENT FENCE AND SEDIMENT CONTROL DEVICES
- REMOVAL OF IMPROVEMENTS AND FOUNDATIONS

LEGEND:

	20'X50' TEMPORARY CONSTRUCTION ENTRANCE	ESC-01
	SILT FENCE	ESC-03
	10'X10' CONSTRUCTION WASHOUT AREA	
	OUTLET PROTECTION	ESC-14
	AREA INLET PROTECTION	ESC-07



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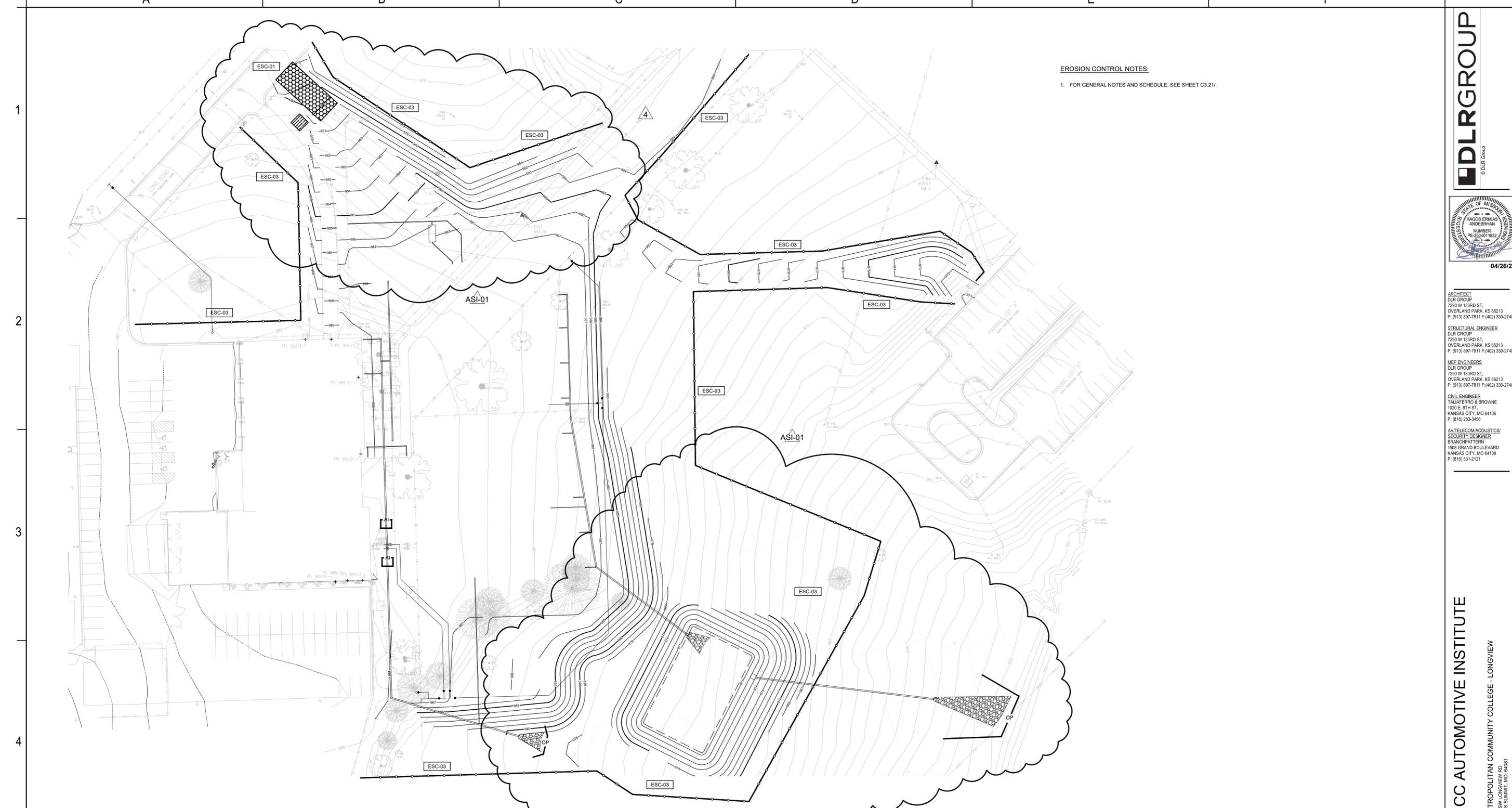
FINAL DEVELOPMENT PLAN
 June, 4th, 2024

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EROSION CONTROL PLAN
 PHASE I

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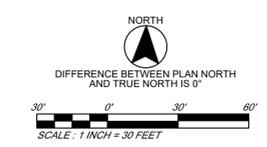
EROSION CONTROL NOTES:
 1. FOR GENERAL NOTES AND SCHEDULE, SEE SHEET C3.21/.

PHASE II DESCRIPTION OF WORK

- EXCAVATION, SITE GRADING
- INSTALL SITE UTILITIES

LEGEND:

	20'X50' TEMPORARY CONSTRUCTION ENTRANCE	ESC-01
	SILT FENCE	ESC-03
	10'X10' CONSTRUCTION WASHOUT AREA	
	OUTLET PROTECTION	ESC-14
	AREA INLET PROTECTION	ESC-07



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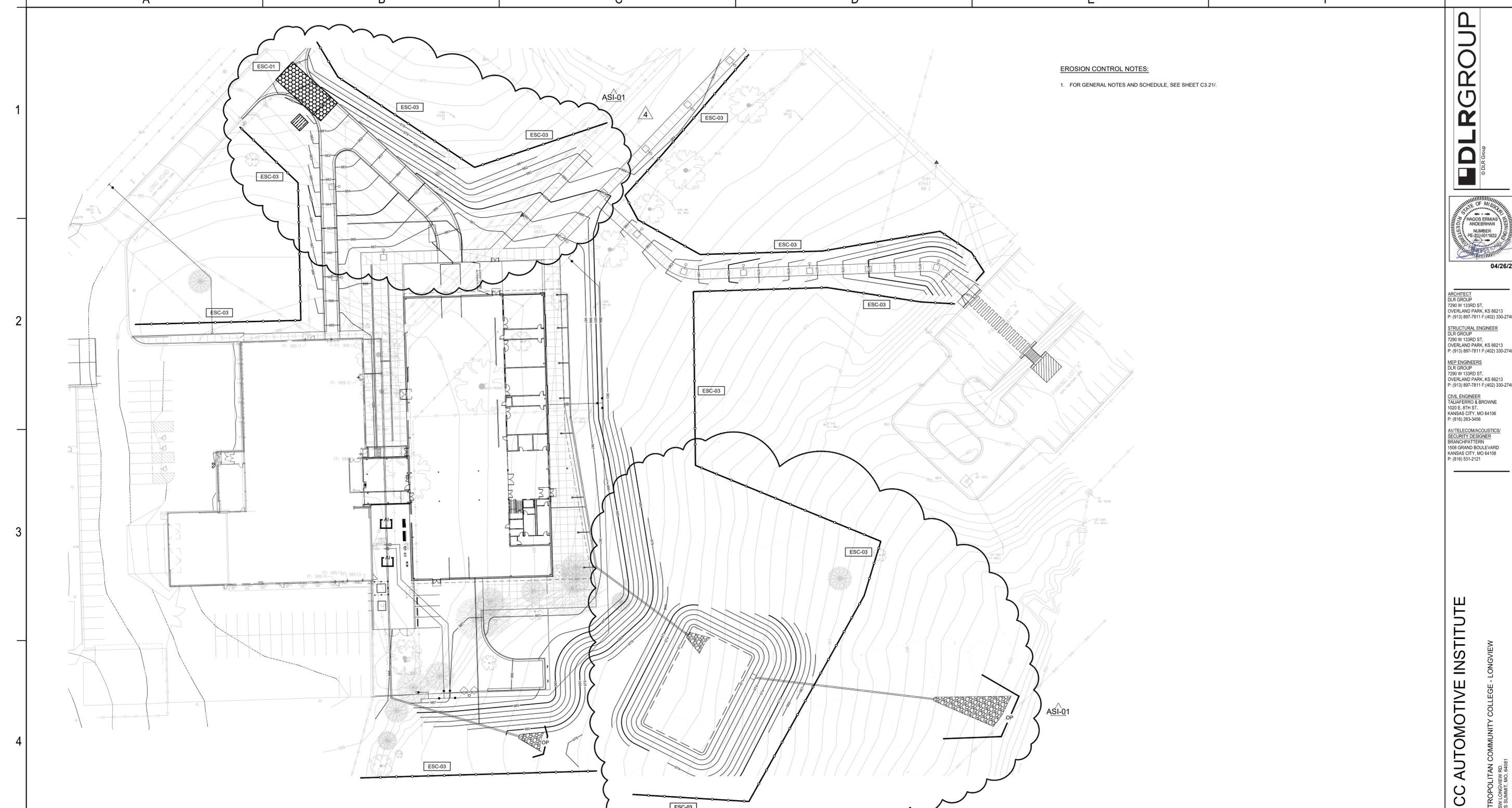
FINAL DEVELOPMENT PLAN
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EROSION CONTROL PLAN
 PHASE II

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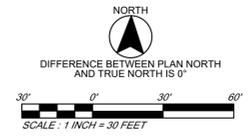


EROSION CONTROL NOTES:
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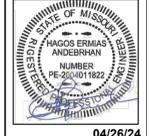
- PHASE III DESCRIPTION OF WORK**
- CONSTRUCT BUILDINGS
 - CONSTRUCT SITE IMPROVEMENTS, CURBS, SIDEWALKS AND PARKING LOTS
 - INSTALL LANDSCAPE/ESTABLISHMENT OF VEGETATION / SITE STABILIZATION
 - FINAL SITE CLEANUP
 - REMOVAL OF EROSION CONTROL DEVICES

- LEGEND:**
- 20'x50' TEMPORARY CONSTRUCTION ENTRANCE (ESC-01)
 - SILT FENCE (ESC-03)
 - 10'x10' CONSTRUCTION WASHOUT AREA
 - OP OUTLET PROTECTION (ESC-14)
 - AI AREA INLET PROTECTION (ESC-07)

ALL DISTURBED AREAS SHALL BE PREPARED FOR SEEDING/SODDING PER LEE'S SUMMIT/APWA 2400. APPLICATION OF SEED/SOD SHALL BE DONE IN ACCORDANCE WITH LEE'S SUMMIT/APWA 2400. THE SITE DISTURBANCE PERMIT SHALL BE MAINTAINED IN AN "OPEN" STATUS UNTIL FINAL ACCEPTANCE.



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FINAL DEVELOPMENT PLAN
 June, 4th, 2024

REVISIONS

CITY COMMENTS	03.29.24	4
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EROSION CONTROL PLAN
 PHASE III

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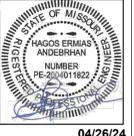
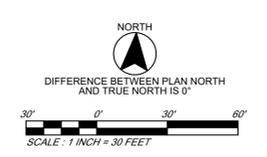
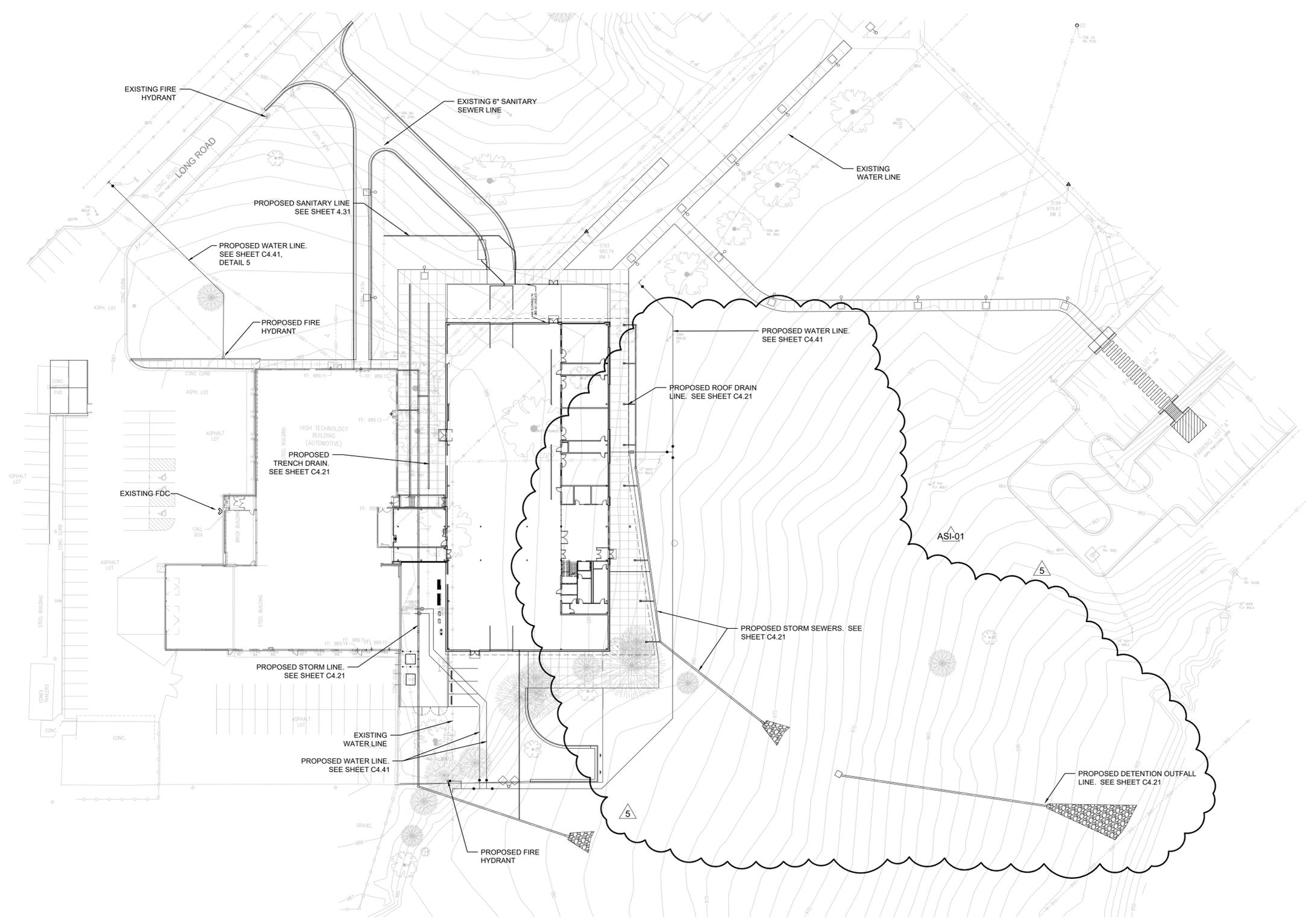
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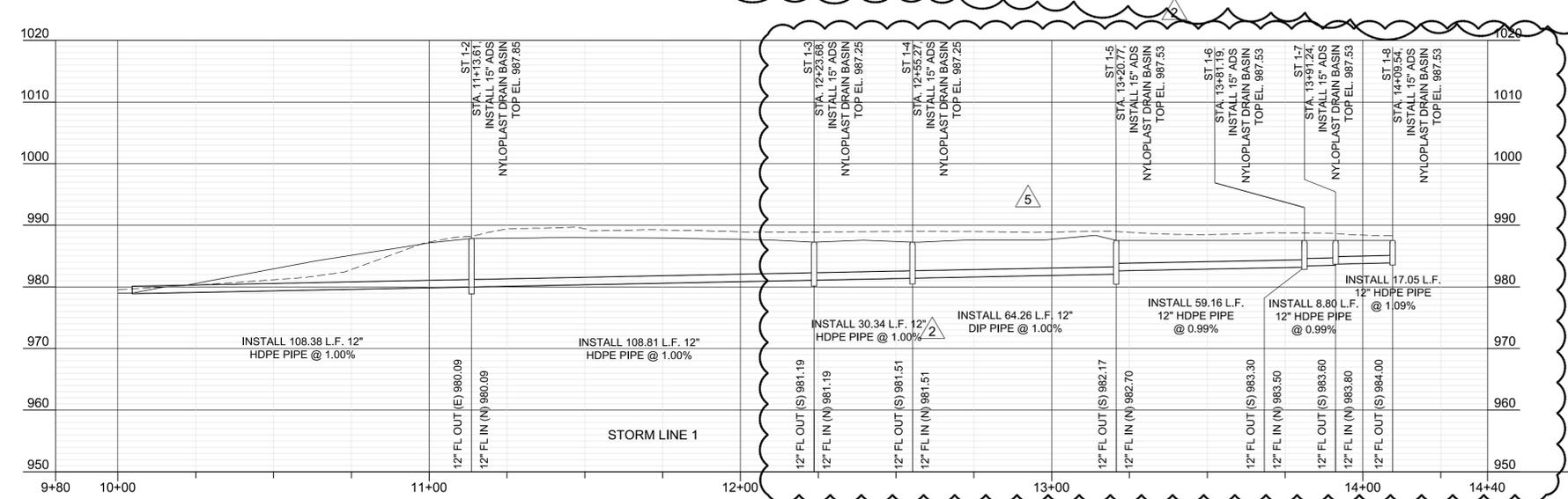
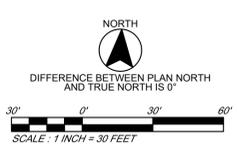
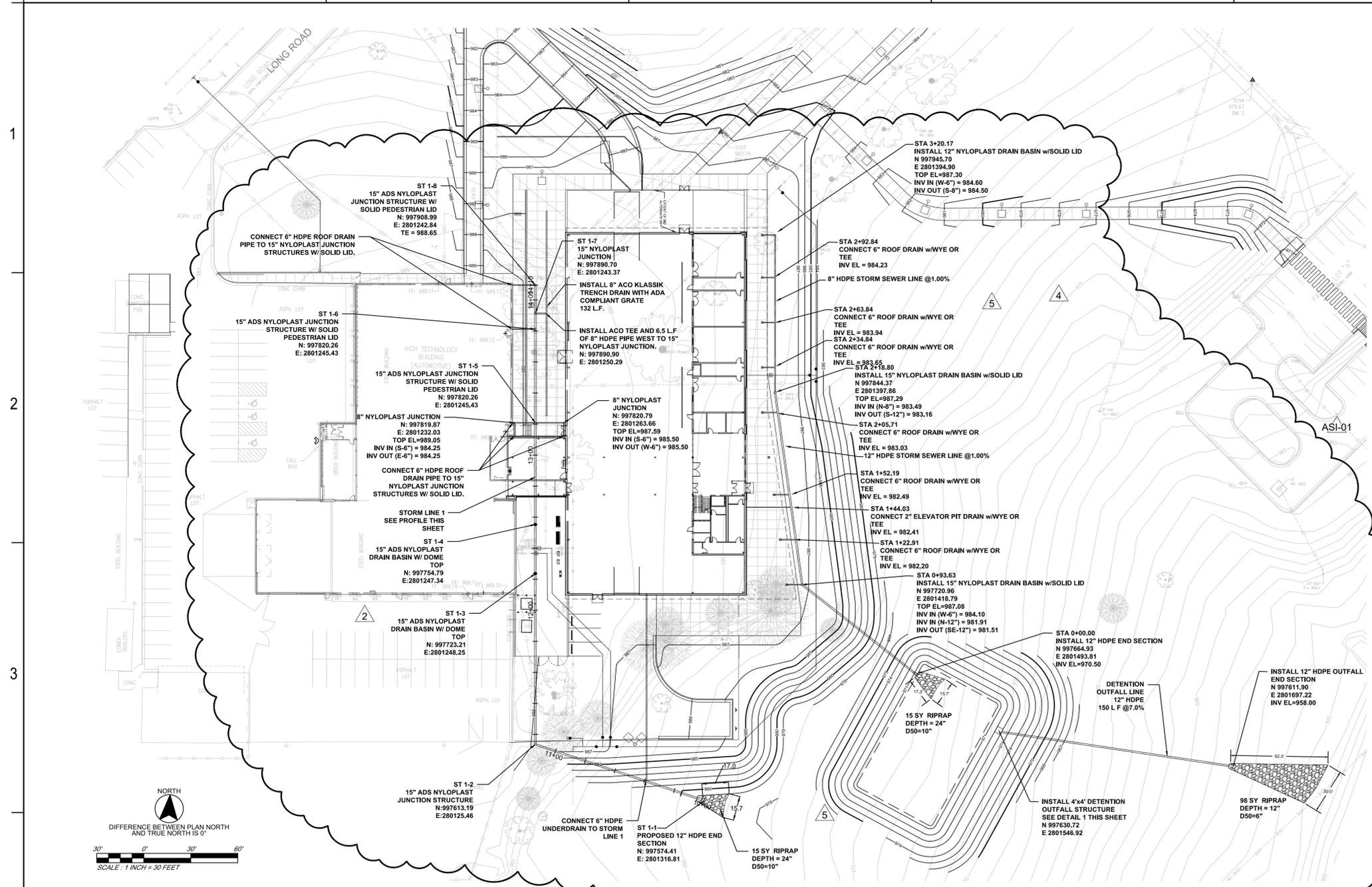
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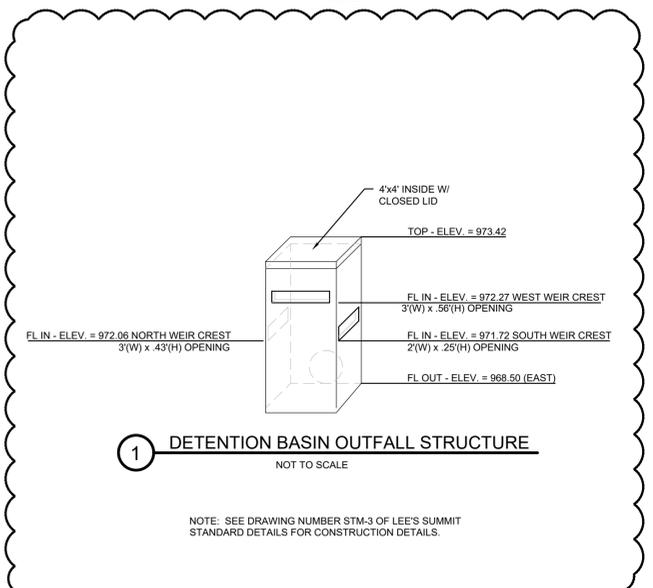
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CITY COMMENTS	03.29.24	4
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Project Number
OVERALL UTILITY PLAN



- STORM SEWER SERVICE GENERAL NOTES**
1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT, MO SPECIFICATIONS AND THE PROJECT SPECIFIC SPECIFICATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR CONSTRUCTION ACTIVITIES.
 3. THE SIZE, LOCATION AND NATURE OF EXISTING UTILITIES AS SHOWN ON THESE DRAWINGS HAS BEEN OBTAINED FROM INFORMATION PROVIDED BY THE UTILITY OWNER/OPERATORS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ACTIVITIES WITH THE APPLICABLE UTILITIES, AND FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 4. CONTRACTOR SHALL ESTABLISH ALL HORIZONTAL AND VERTICAL CONTROL IN CONFORMANCE WITH THE PLANS. VARIATIONS WILL REQUIRE ADVANCE APPROVAL IN WRITING FROM THE ARCHITECT OR ENGINEER.
 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND INSTALL ALL FITTINGS SPECIFIED OR UNSPECIFIED, TO OBTAIN PROPER HORIZONTAL OR VERTICAL ALIGNMENT AND CONNECTION TO EXISTING SEWER SYSTEMS.
 6. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
 7. DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
 8. THE CONTRACTOR SHALL NOT DAMAGE ANY PRIVATE PROPERTY. ANY DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING TO FINISHED GRADE, ANY MANHOLE TOPS, VALVE COVERS, METER COVERS AND ANY OTHER SURFACE PROJECTIONS TO REMAIN.
 10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE VISUAL INSPECTION OF THE PROJECT AREA SO AS TO FAMILIARIZE HIMSELF WITH THE SCOPE OF THE WORK AND THE REQUIREMENTS FOR COMPLETING THE WORK.
 11. ALL CONCRETE FLATWORK OR ASPHALTIC CONCRETE PAVEMENT TO BE REMOVED WHICH IS ADJACENT TO CONCRETE OR ASPHALTIC CONCRETE PAVEMENT TO REMAIN, SHALL BE FIRST CUT FULL DEPTH WITH A CONCRETE SAW SO AS TO FORM A NEAT EDGE AGAINST EXISTING PAVEMENT. THE JOINT BETWEEN EXISTING AND NEW CONCRETE SURFACES SHALL BE AN EXPANSION JOINT FILLED WITH 1/2 INCH THICK CELLULOSE FIBER. THE TOP 1/2 INCH OF THE JOINT SHALL BE CAULKED.
 12. DEWATERING SYSTEMS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. GROUNDWATER SURFACES MUST BE MAINTAINED TWO FEET BELOW THE BOTTOM OF ANY OPEN EXCAVATION AT ALL TIMES. SLUMP PUMPING WILL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES. A DEWATERING PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
 13. THE CONTRACTOR SHALL MAINTAIN AT THE PROJECT SITE SUFFICIENT SOIL MATERIALS AND EQUIPMENT TO BACKFILL ANY OPEN EXCAVATION WITHIN A 24 HOUR TIME PERIOD.



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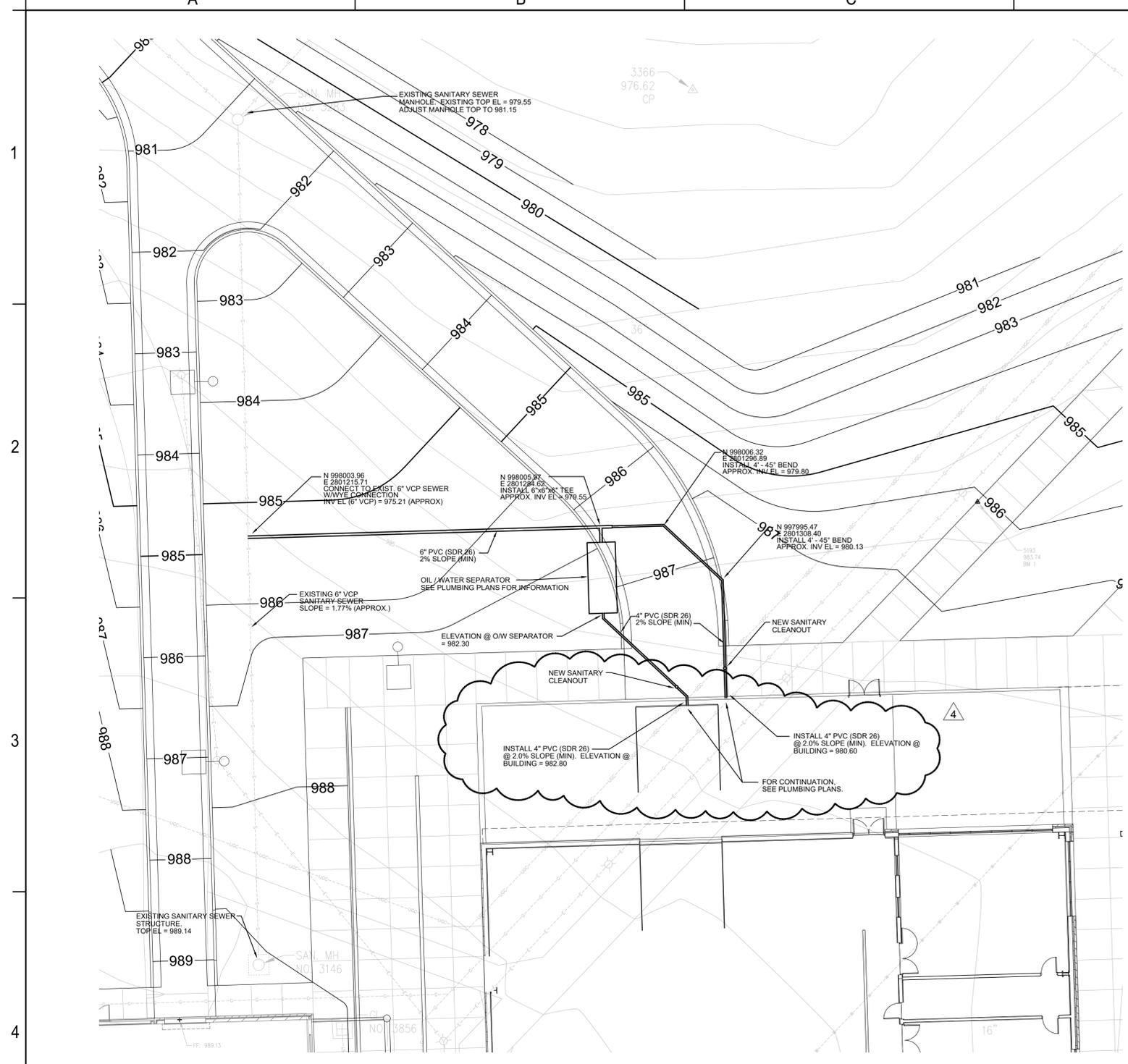
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METROPOLITAN COMMUNITY COLLEGE - LONGVIEW
500 SW LONGVIEW RD.
LEE'S SUMMIT, MO 64081

FINAL DEVELOPMENT PLAN
June, 4th, 2024

REVISIONS
ADD 02 02.23.24 2
CITY COMMENTS 03.29.24 4
ASI-01 04.26.24

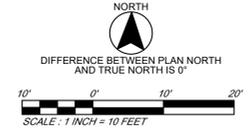
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STORM SEWER PLAN
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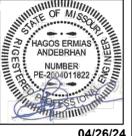


SANITARY SEWER SERVICE GENERAL NOTES

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- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
- DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
- THE CONTRACTOR SHALL NOT DAMAGE ANY PRIVATE PROPERTY. ANY DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
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- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE VISUAL INSPECTION OF THE PROJECT AREA SO AS TO FAMILIARIZE HIMSELF WITH THE SCOPE OF THE WORK AND THE REQUIREMENTS FOR COMPLETING THE WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL AS-BUILT FIELD NOTES AND PLANS (REPRODUCIBLE) IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT, MISSOURI REQUIREMENTS.
- ALL SANITARY SEWER WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE WATER POLLUTION CONTROL DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI, FOR ALL WORK ASSOCIATED WITH CONNECTING TO THE EXISTING PUBLIC SEWER MAIN.
- ALL CONCRETE FLATWORK OR ASPHALTIC CONCRETE PAVEMENT TO BE REMOVED WHICH IS ADJACENT TO CONCRETE OR ASPHALTIC CONCRETE PAVEMENT TO REMAIN, SHALL BE FIRST CUT FULL DEPTH WITH A CONCRETE SAW SO AS TO FORM A NEAT EDGE AGAINST EXISTING PAVEMENT. THE JOINT BETWEEN EXISTING AND NEW CONCRETE SURFACES SHALL BE AN EXPANSION JOINT FILLED WITH 1/2 INCH THICK CELLULOSE FIBER. THE TOP 1/2 INCH OF THE JOINT SHALL BE CAULKED.
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- THE CONTRACTOR SHALL MAINTAIN AT THE PROJECT SITE SUFFICIENT SOIL MATERIALS AND EQUIPMENT TO BACKFILL ANY OPEN EXCAVATION WITHIN A 24 HOUR TIME PERIOD.
- THE CONTRACTOR SHALL PERFORM ALL TRENCHING AND BACKFILLING OPERATIONS IN A MANNER WHICH SEGREGATES THE EXCAVATED MATERIALS BY SOIL TYPE. EXCAVATED MATERIALS SHALL BE PLACED AS BACKFILL AT THE SAME LOCATIONS WHERE THEY WERE ORIGINALLY EXCAVATED AND COMPACTED TO MATCH THE SURROUNDING SOILS.



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04/26/24

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STRUCTURAL ENGINEER
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AVIATELECOM/ACOUSTICS/
SECURITY DESIGNER
BRANCHPATTERN
1508 GRAND BOULEVARD
KANSAS CITY, MO 64108
P: (816) 531-2121

FINAL DEVELOPMENT PLAN
June, 4th, 2024

REVISIONS
CITY COMMENTS 03.29.24 4
AS/01 04.26.24

Project Number
SANITARY SEWER PLAN

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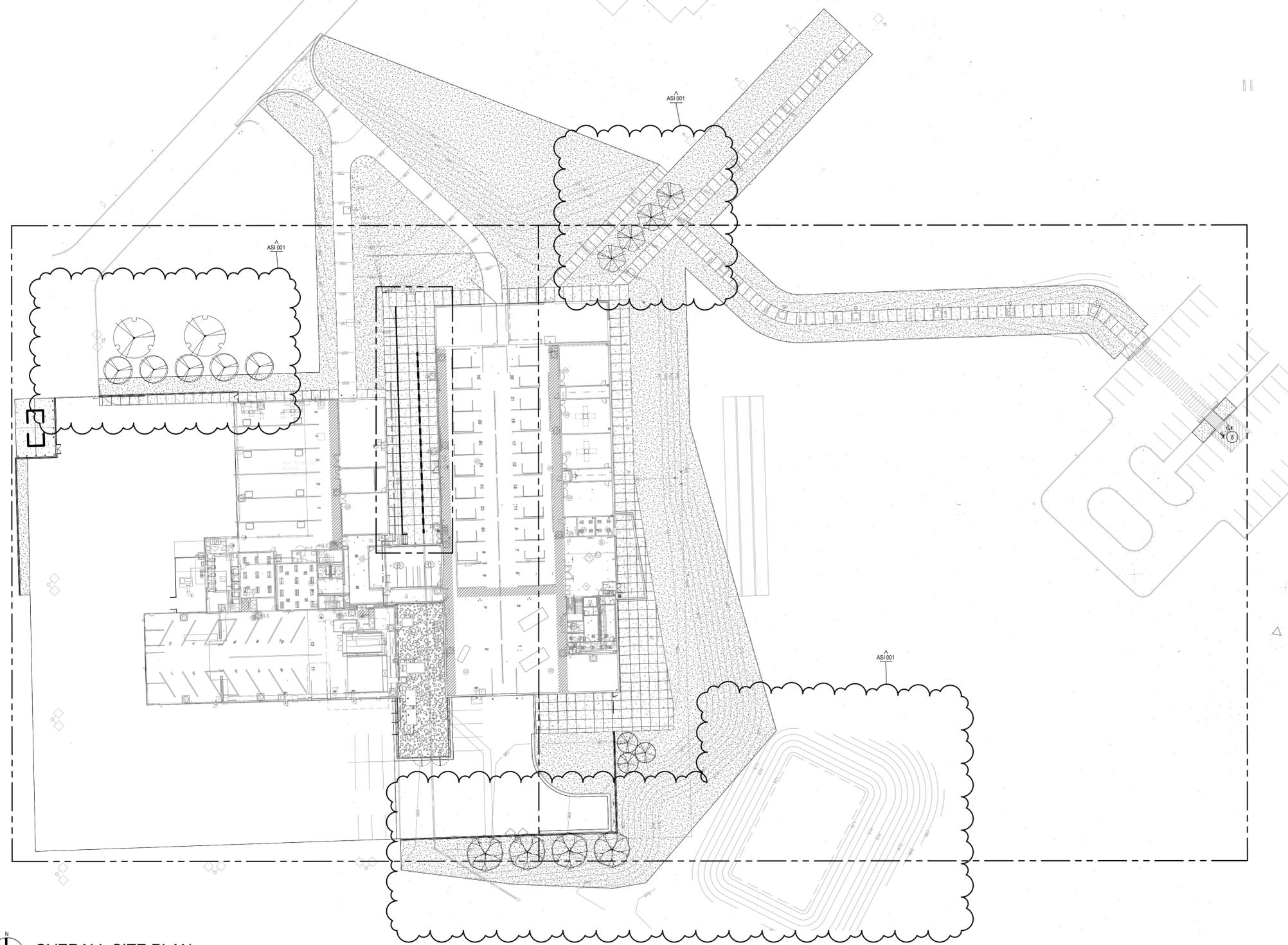
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LAYOUT NOTES:

1. THE CONTRACTOR WILL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES BEFORE COMMENCING WORK. THE CONTRACTOR WILL CONDUCT HIS WORK SO AS TO PREVENT INTERRUPTION OF SERVICE OR DAMAGE TO THEM. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES AND STRUCTURES.
2. ALL CURBS/RAMPS TO BE BUILT IN COMPLIANCE WITH FEDERAL ACCESSIBILITY STANDARDS.
3. PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
4. ALL WORK WILL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
5. VERIFY LAYOUT COORDINATES PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO SUPPLY AND INSTALL ALL REQUIRED SLEEVES UNDER PAVING AND WALKS.
7. PLACE DOWELLED EXPANSION JOINTS AT VERTICAL ELEMENTS (BUILDING, COLUMNS, WALLS, BACK OF CURBS, ETC.) AND STAIRS AND RAMPS AND APPROXIMATELY EVERY 50 LINEAR FEET. E. CIVIL DRAWINGS.
8. WHERE NEW PAVEMENTS ARE CALLED FOR, PROVIDE AN EXPANSION JOINT AROUND ALL EXISTING UTILITIES, MANHOLES, POLES, LIGHTS, ETC.
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13. ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT, UTILITY METER BANKS, AND COOLERS, SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
14. ALL ON-SITE WIRING AND CABLES SHALL BE PLACED UNDERGROUND. RE: CIVIL.

SHEET NOTES *

1. 8' HT. CHAINLINK FENCE WITH MOWSTRIP. RE: 11B/L4.0
2. 8' HT. CHAINLINK SWING GATE. SIM TO: 11L/L4.0
3. 8' HT. CHAINLINK MANUAL SLIDE GATE W/ KNOX PADLOCK. RE: 12L/L4.0
4. SURFACE MOUNTED HANDRAIL. RE: 8L/L4.0
5. PIPE BOLLARD. RE: 9L/L4.0
6. NOT USED
7. NOT USED
8. STAIRS WITH HANDRAILS. RE: 13L/L4.0
9. 8' HT. PVC COATED CHAINLINK FENCE WITH MOWSTRIP. SIM TO: 11L/L4.0
10. 8' HT. PVC COATED CHAINLINK GATE. RE: 11B/L4.0

OVERALL SITE PLAN
SCALE: 1" = 30'-0"

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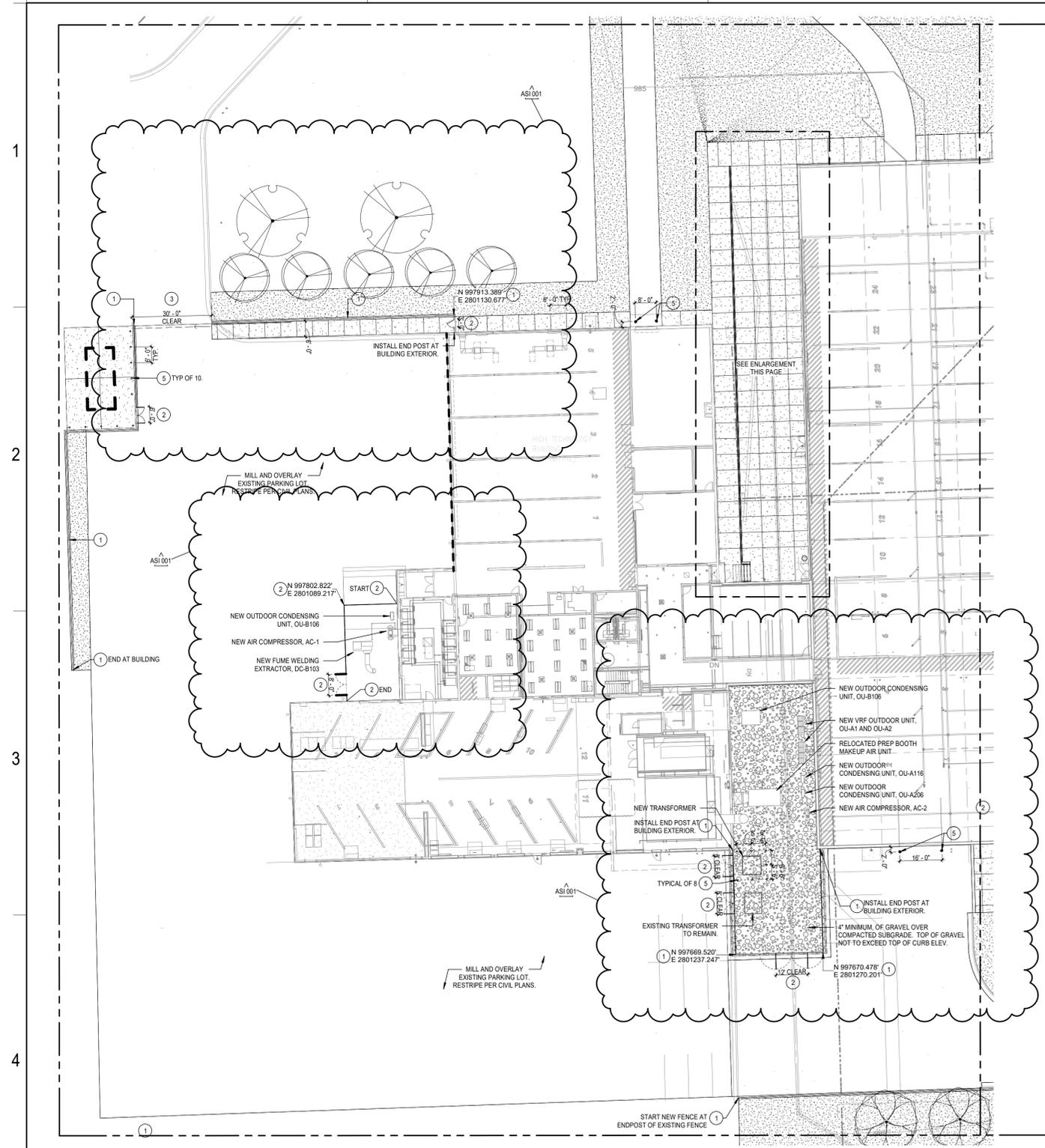


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 METROPOLITAN COMMUNITY COLLEGE - LONGVIEW
 600 SW LONGVIEW RE:
 LEE'S SUBMITT. NO. 04601

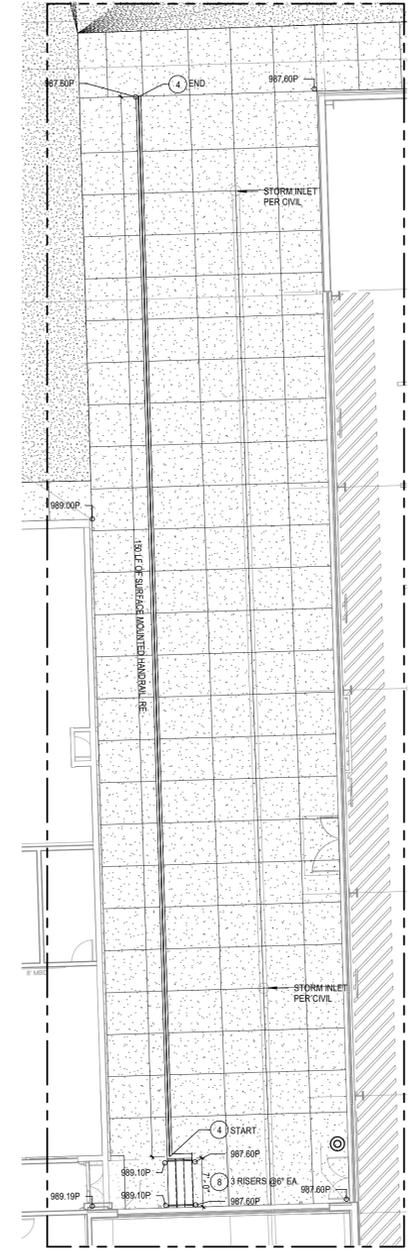
FINAL DEVELOPMENT PLAN
 June, 4th, 2024
 REVISIONS
 CITY 03.29.24
 COMME
 NTS
 ASI 001 04.26.24

15-23128-00
 OVERALL LAYOUT PLAN

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OVERALL SITE PLAN
SCALE: 1" = 20'-0"



OVERALL SITE PLAN
SCALE: 1" = 10'-0"

LAYOUT NOTES:

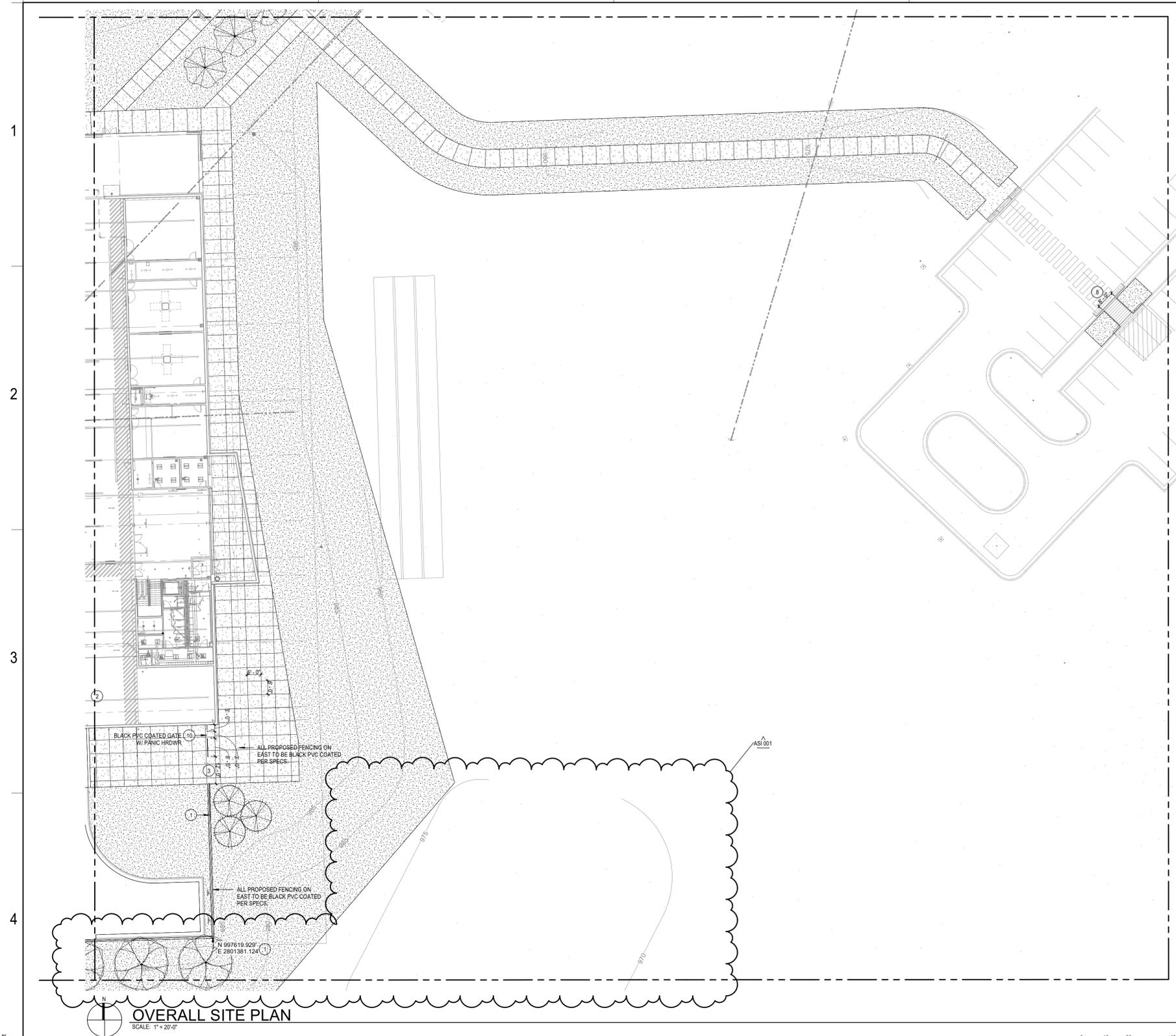
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- 2 8' HT. CHAINLINK SWING GATE. SIM TO: 11L4.0
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- 4 SURFACE MOUNTED HANDRAIL. RE: 11L4.0
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- 6 NOT USED
- 7 NOT USED
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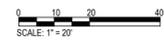
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OVERALL SITE PLAN
SCALE: 1" = 20'-0"



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LEE'S SUBMITT, IFO, C6601

FINAL DEVELOPMENT PLAN
June, 4th, 2024
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CITY 03.29.24
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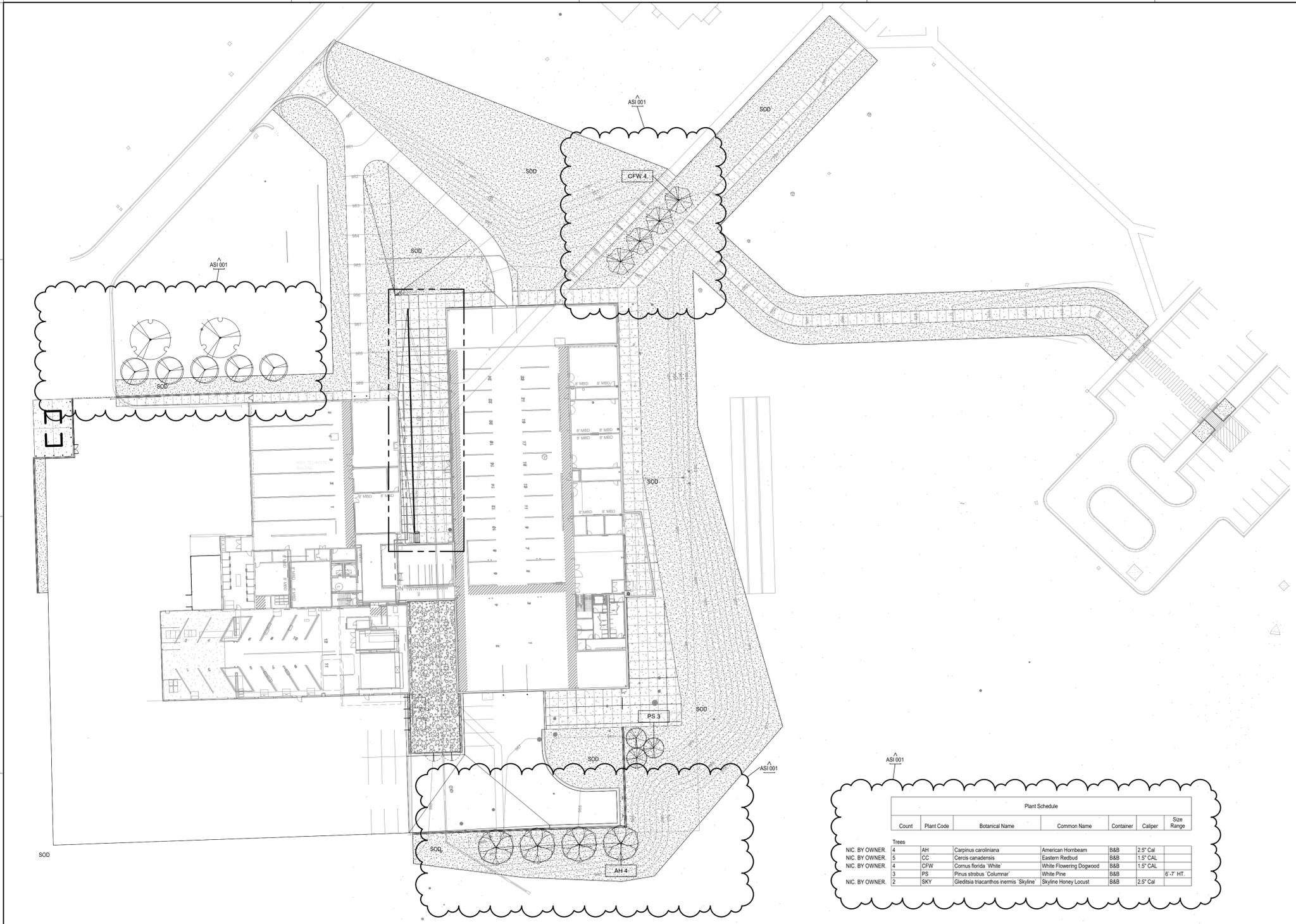
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Plant Schedule

Count	Plant Code	Botanical Name	Common Name	Container	Caliper	Size Range
Trees						
NIC. BY OWNER	4	AH	<i>Carpinus caroliniana</i>	American Hornbeam	B&B	2.5" Cal
NIC. BY OWNER	5	CC	<i>Cercis canadensis</i>	Eastern Redbud	B&B	1.5" CAL
NIC. BY OWNER	4	CFW	<i>Cornus florida</i> 'White'	White Flowering Dogwood	B&B	1.5" CAL
	3	PS	<i>Pinus strobus</i> 'Columnar'	White Pine	B&B	6-7 HT.
NIC. BY OWNER	2	SKY	<i>Gleditsia triacanthos</i> 'Skyline'	Skyline Honey Locust	B&B	2.5" Cal

OVERALL SITE PLAN
SCALE: 1" = 30'-0"

LANDSCAPE NOTES:

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- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING ANY WORK.
- EXISTING UNDERGROUND (UG) UTILITIES AND DRAINAGE STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL CONTRACTORS TO NOTIFY THE UTILITY COMPANIES TO LOCATE UTILITIES BEFORE ACTUAL CONSTRUCTION.
- THE CONTRACTOR WILL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND ANNUALS.
- SUBSTITUTIONS WILL BE ALLOWED ONCE THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION IN THE SUBSTITUTION REQUEST FORM TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS WILL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
- SIZE AND QUALITY OF PLANT MATERIAL WILL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, ANSI 280-1992, OR MOST RECENT EDITION.
- ALL PLANT MATERIAL WILL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES WILL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR WILL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING POSITIVE SURFACE DRAINAGE IS PROVIDED IN ALL PLANTING AND TURF AREAS. ALL GRADE SURFACES WILL BE FINISHED TO UNIFORM GRADES AND SLOPED IN SUCH A MANNER TO BE FREE OF DEPRESSIONS THAT CAUSE AREAS OF STANDING WATER. THE CONTRACTOR WILL REPORT ANY CONFLICTS WITH THIS REQUIREMENT TO THE LANDSCAPE ARCHITECT/OWNER FOR RESOLUTION PRIOR TO FINAL OPERATIONS.
- THE CONTRACTOR WILL REPORT SUB-SURFACE SOIL OR DRAINAGE ISSUES TO THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL STAKE PLANT LOCATIONS IN THE FIELD AND HAVE APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE PLANT PITS ARE EXCAVATED AND BEFORE PROCEEDING WITH INSTALLATION.
- TREES, SHRUBS & GROUND COVERS SHALL BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN.
- CONTRACTOR TO PLACE MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS UNLESS OTHERWISE NOTED, TO A DEPTH OF 3" OR AS DESCRIBED IN THE SPECIFICATIONS. ALL PLANTING BEDS TO BE SEPARATED FROM LAWN AREAS WITH SPECIFIED EDGING OR CONCRETE CURB EDGE PER DRAWINGS.
- ELEVATION OF TOP OF MULCH SHALL BE 1/2" MIN. BELOW ANY ADJACENT PAVEMENT OR 2" MIN. BELOW FINISHED FLOOR ELEVATION.
- ALL SHRUB BEDS SHALL BE MULCHED WITH SPECIFIED ORGANIC OR DECORATIVE AGGREGATE MULCH AND SEPARATED FROM LAWN AREAS WITH SPECIFIED EDGING OR CONCRETE CURB EDGE PER DRAWINGS.
- CONTRACTOR SHALL FINE GRADE AND SEED ALL AREAS DISTURBED DURING CONSTRUCTION AND ESTABLISH NEW LAWN AREA, NOT DESIGNATED FOR SOD, NATIVE MEADOW, OR PLANTING BEDS. CONTRACTOR TO SEED ALL AREAS WITHIN CONTRACT LIMITS NOT COVERED BY PAVING, BUILDINGS, OR PLANTING BEDS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING ACTUAL AREAS OF SEED AND QUANTITIES REQUIRED FOR COVERAGE.
- ALL PLANT MATERIALS DELIVERED TO THE SITE FOR APPROVAL AND INSTALLATION SHALL BE IDENTIFIED AND TAGGED, TO ENSURE THE PLANTS PROVIDED ARE AS SPECIFIED. PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR CONVENIENCE ONLY. PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLANS.
- SPACING OF ALL PLANTINGS TO BE AS SHOWN ON PLANS.
- ALL LANDSCAPE AREAS AND PLAYING FIELD AREAS TO HAVE A MINIMUM OF 6" TOPSOIL.

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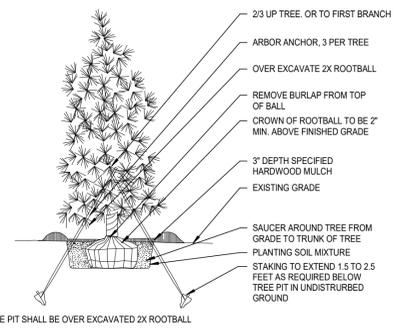


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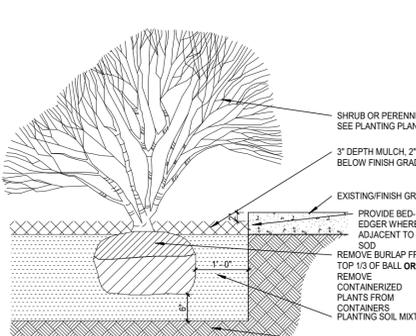
FINAL DEVELOPMENT PLAN
 June, 4th, 2024
 REVISIONS
 CITY 03.29.24
 COME
 NTS
 ASI 001 04.26.24

13-23128-00
OVERALL LANDSCAPE PLAN

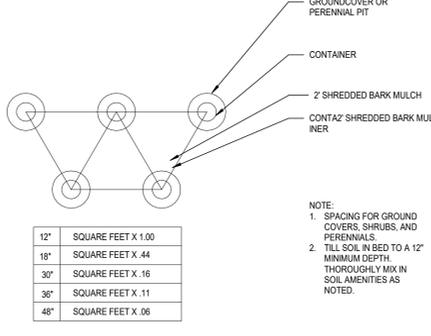
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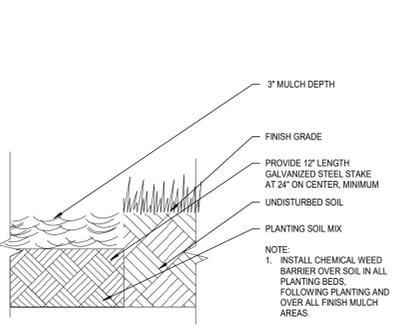
1 EVERGREEN TREE PLANTING DETAIL
L4.0 SCALE: 1/8" = 1'-0"



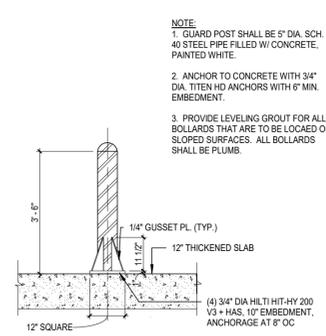
2 SHRUB PLANTING DETAIL
L4.0 NO SCALE



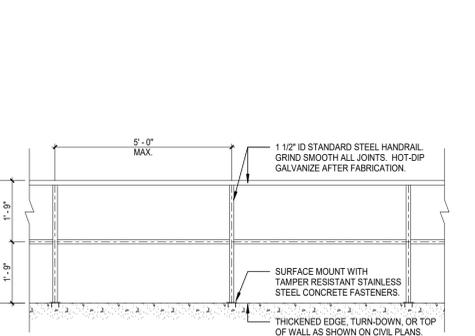
3 PERENNIAL LAYOUT PLAN
L4.0 NO SCALE



4 PLANTING BED DETAIL
L4.0 NO SCALE



5 SURFACE MOUNTED BOLLARD
L4.0 SCALE: 1/2" = 1'-0"



6 SURFACE MOUNTED HANDRAIL
L4.0 SCALE: 1/2" = 1'-0"

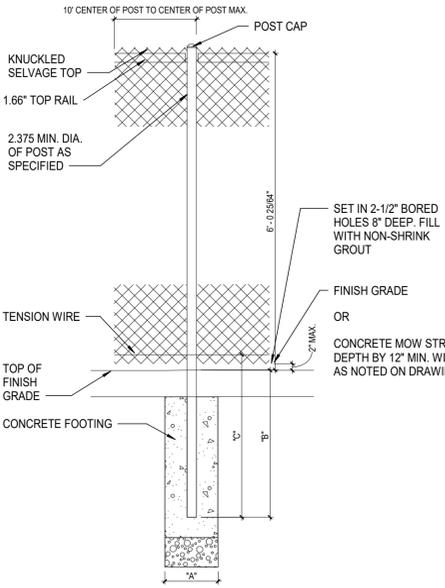
GATE POST

GATE LEAF WIDTH	GATE POST (OD)	FABRIC HEIGHT	"A" DIAM.	"B" DEPTH	"C" POST EMBED.
3' TO 6'	2.875"	3' TO 5'	12"	42"	40"
		6' TO 9'	14"	42"	44"
		10' TO 12'	16"	46"	48"
7' TO 12'	4.000"	3' TO 5'	14"	42"	40"
		6' TO 9'	16"	42"	44"
		10' TO 12'	18"	46"	48"

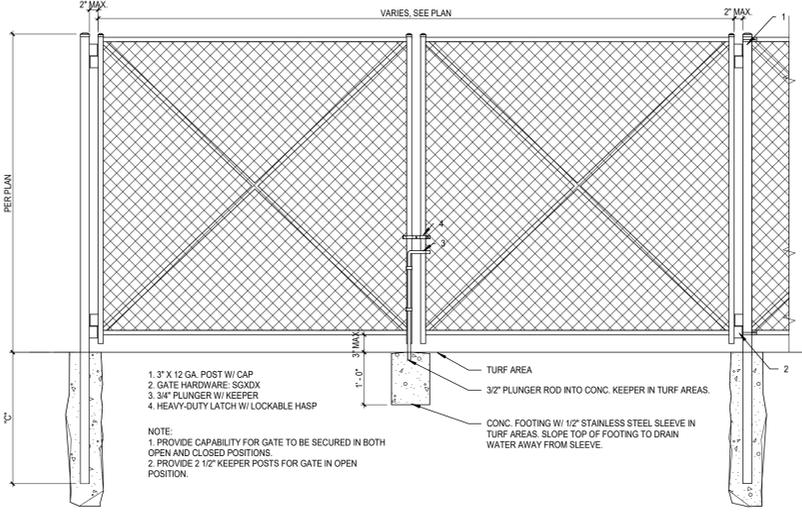
LINE AND TERMINAL POSTS

FABRIC HEIGHT	TYPE POST	"A" DIAM.	"B" POST DEPTH	"C" MIN. FOOTING DEPTH
3'-0" TO 4'-0"	LINE	12"	36"	38"
	TERMINAL	12"	36"	38"
5'-0"	LINE	12"	36"	38"
	TERMINAL	12"	36"	38"
6'-0" TO 9'-0"	LINE	12"	36"	38"
	TERMINAL	12"	36"	38"
10'-0" TO 12'-0"	LINE	18"	36"	38"
	TERMINAL	18"	48"	52"

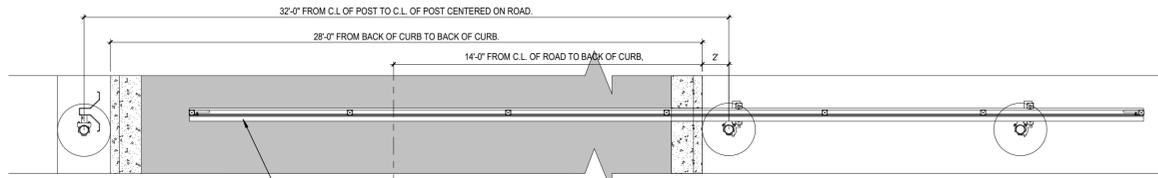
NOTE: TERMINAL POSTS INCLUDE END, CORNER AND PULL POSTS



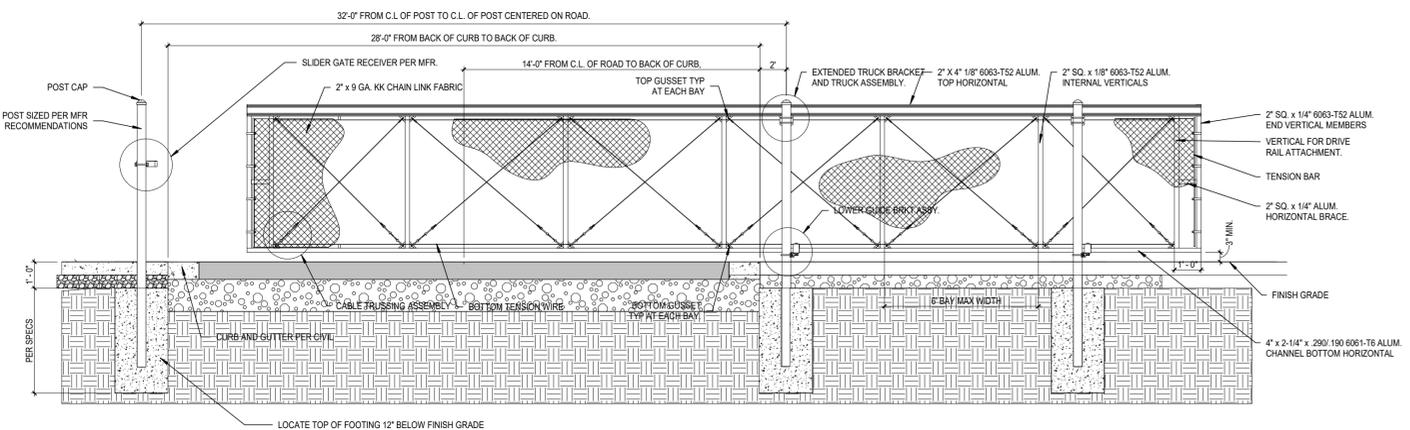
11 CHAIN LINK FENCE AND GATE DETAIL
L4.0 SCALE: 3/4" = 1'-0"



11B CHAIN LINK PEDESTRIAN GATE DETAIL
L4.0 SCALE: 3/4" = 1'-0"

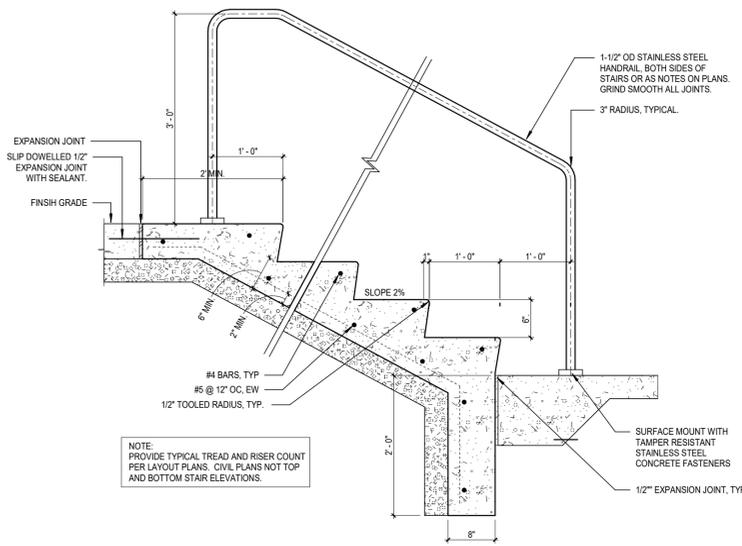


GATE PLAN



GATE ELEVATION

12 CHAIN LINK AUTOMATIC SLIDE GATE
L4.0 SCALE: 3/8" = 1'-0"

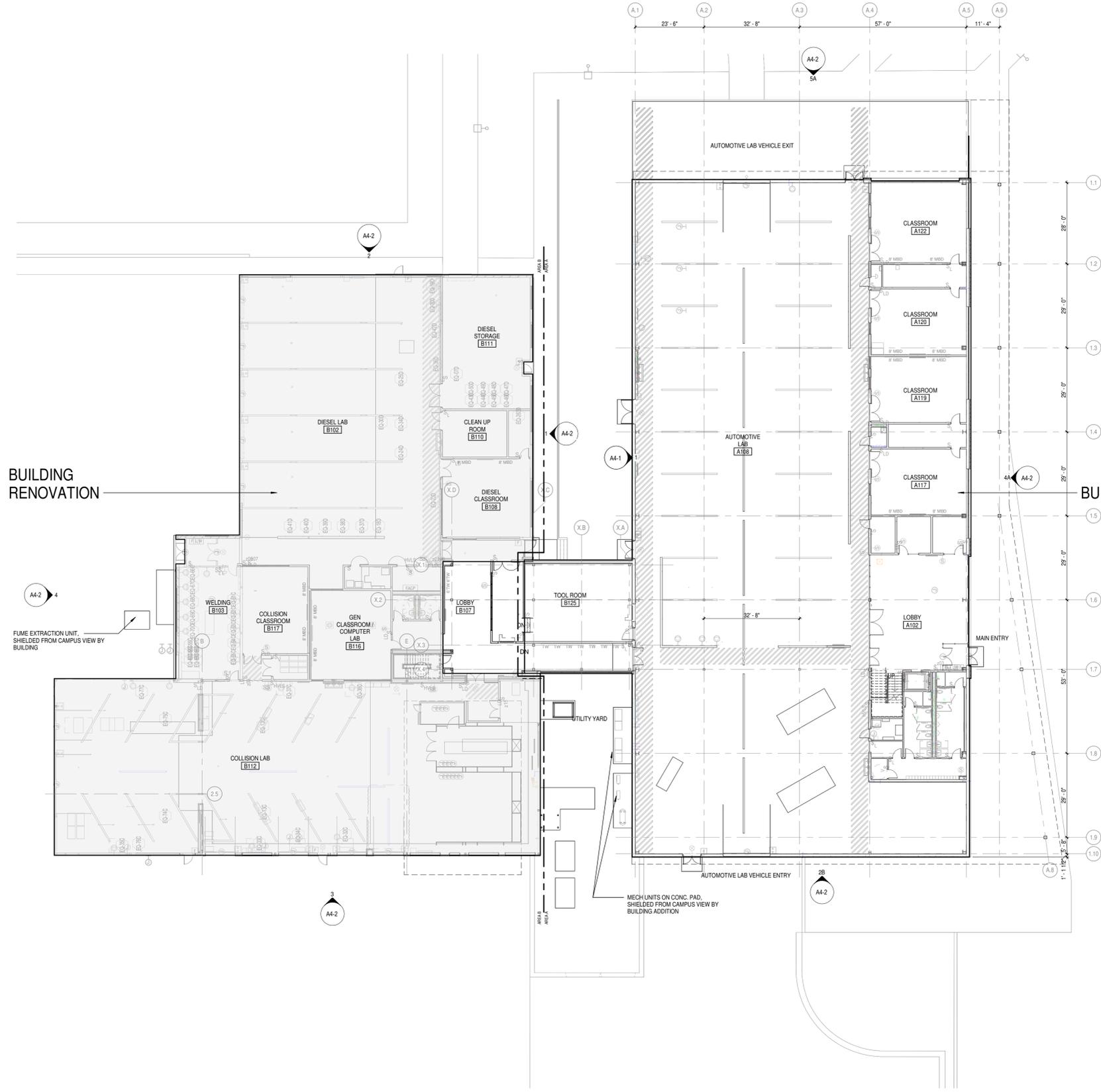


13 STAIR WITH HANDRAILS
L4.0 SCALE: 1" = 1'-0"



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OVERALL FLOOR PLAN, LEVEL 1
SCALE: 1/16" = 1'-0"
SCALE: 1/16" = 1'-0"



ARCHITECT
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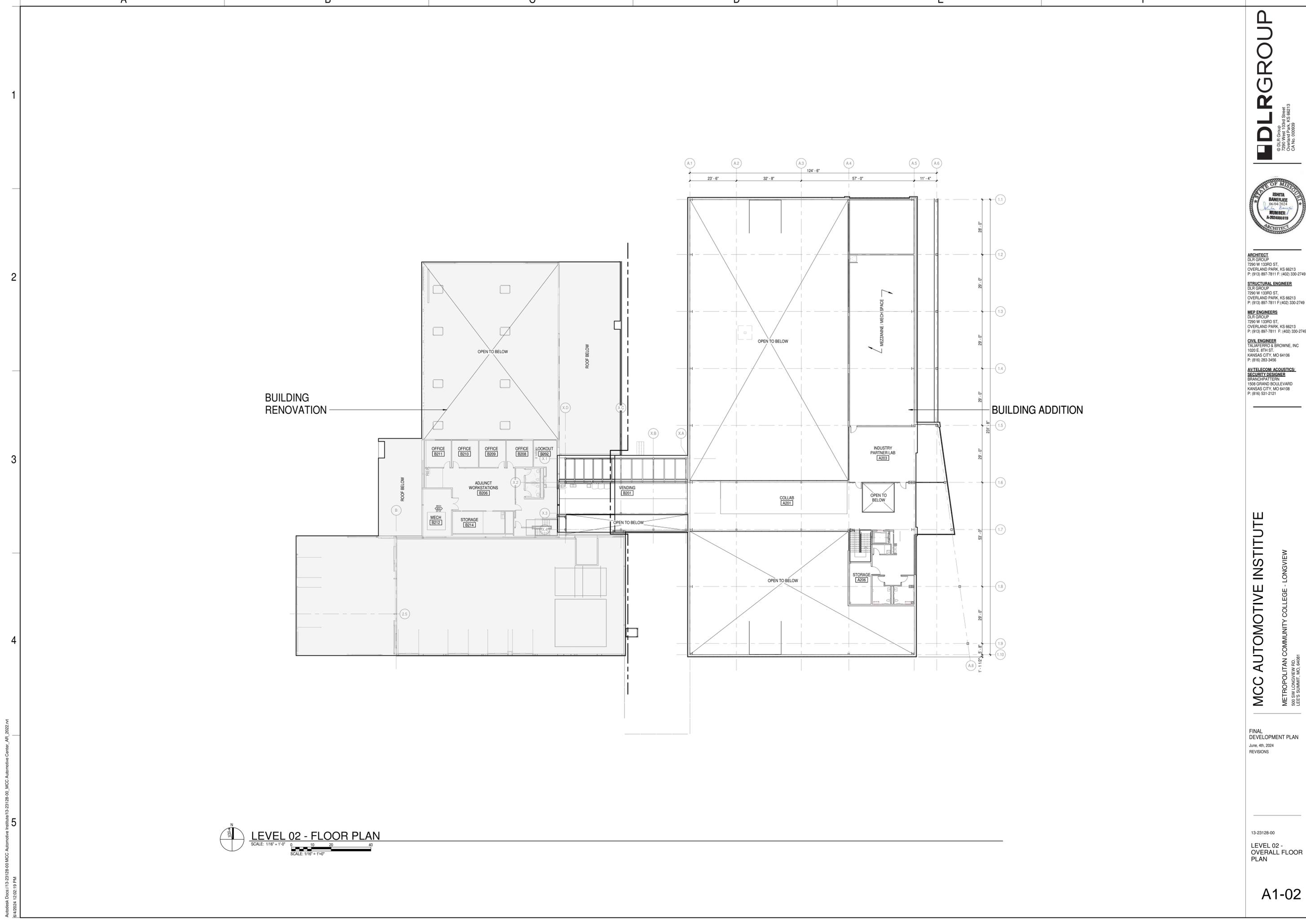
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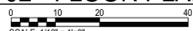
FINAL DEVELOPMENT PLAN
June 4th, 2024
REVISIONS

13-23128-00
LEVEL 01 - OVERALL FLOOR PLAN



BUILDING RENOVATION

BUILDING ADDITION


LEVEL 02 - FLOOR PLAN
 SCALE: 1/16" = 1'-0"

 SCALE: 1/16" = 1'-0"



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FINAL DEVELOPMENT PLAN
 June 4th, 2024
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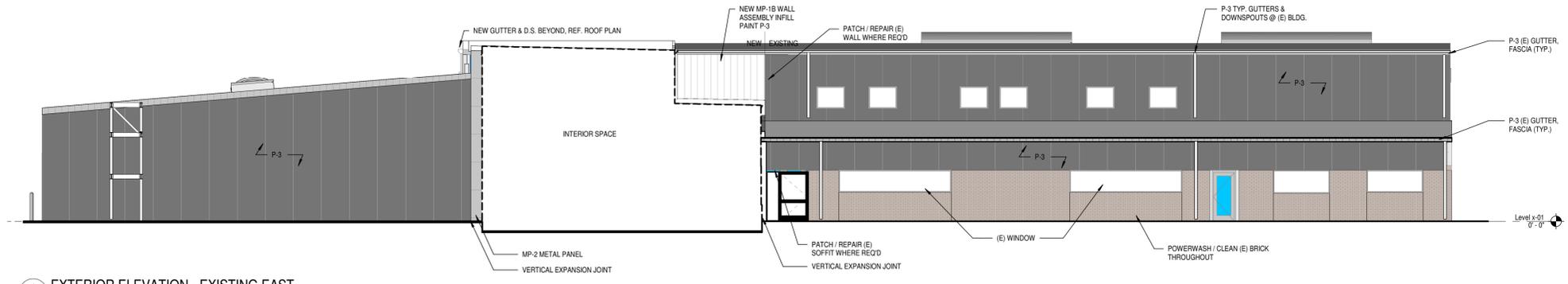
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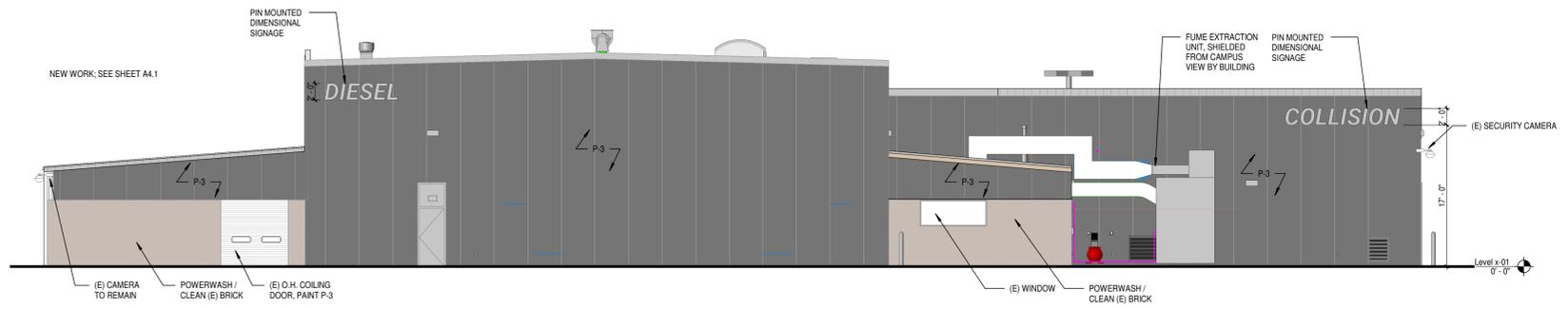
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FINAL DEVELOPMENT PLAN
 June 4th, 2024
 REVISIONS
 ASI 01 04.30.24

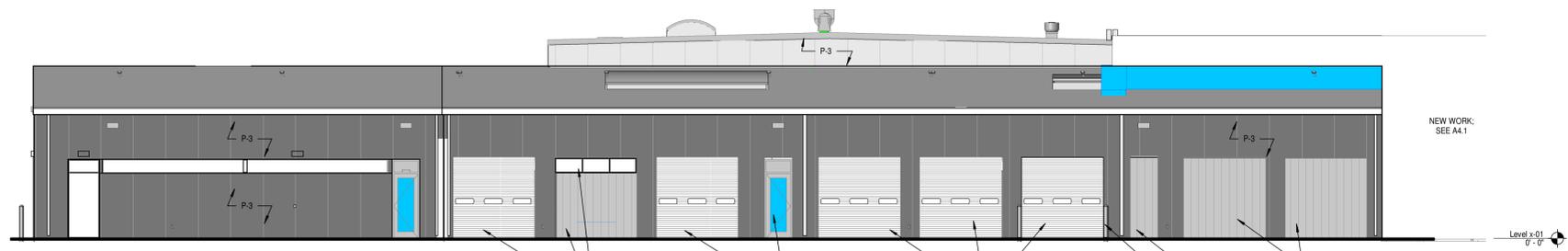
13-23128-00
EXTERIOR ELEVATIONS



1 EXTERIOR ELEVATION - EXISTING EAST
 A4-2 SCALE: 1/8" = 1'-0"
 SCALE: 1/8" = 1'-0"



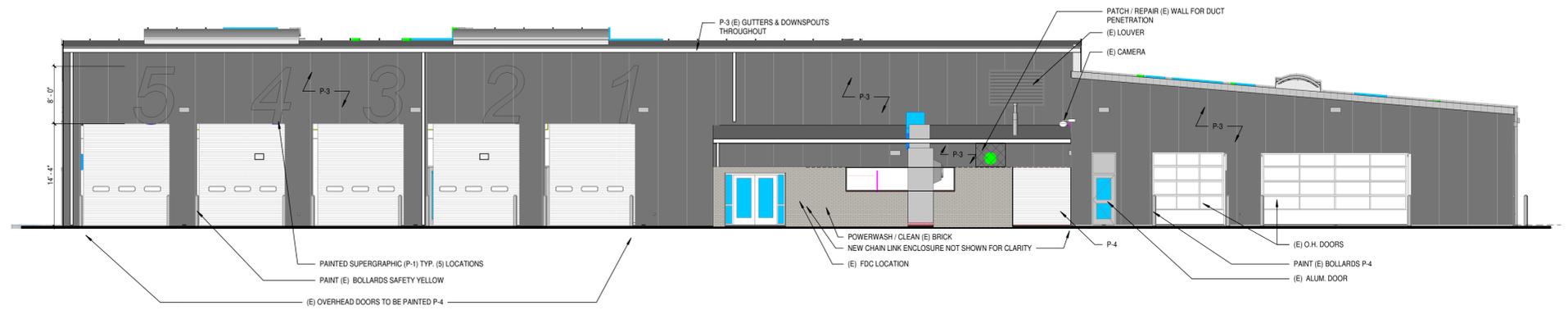
2 EXTERIOR ELEVATION - EXISTING NORTH
 A4-2 SCALE: 1/8" = 1'-0"
 SCALE: 1/8" = 1'-0"



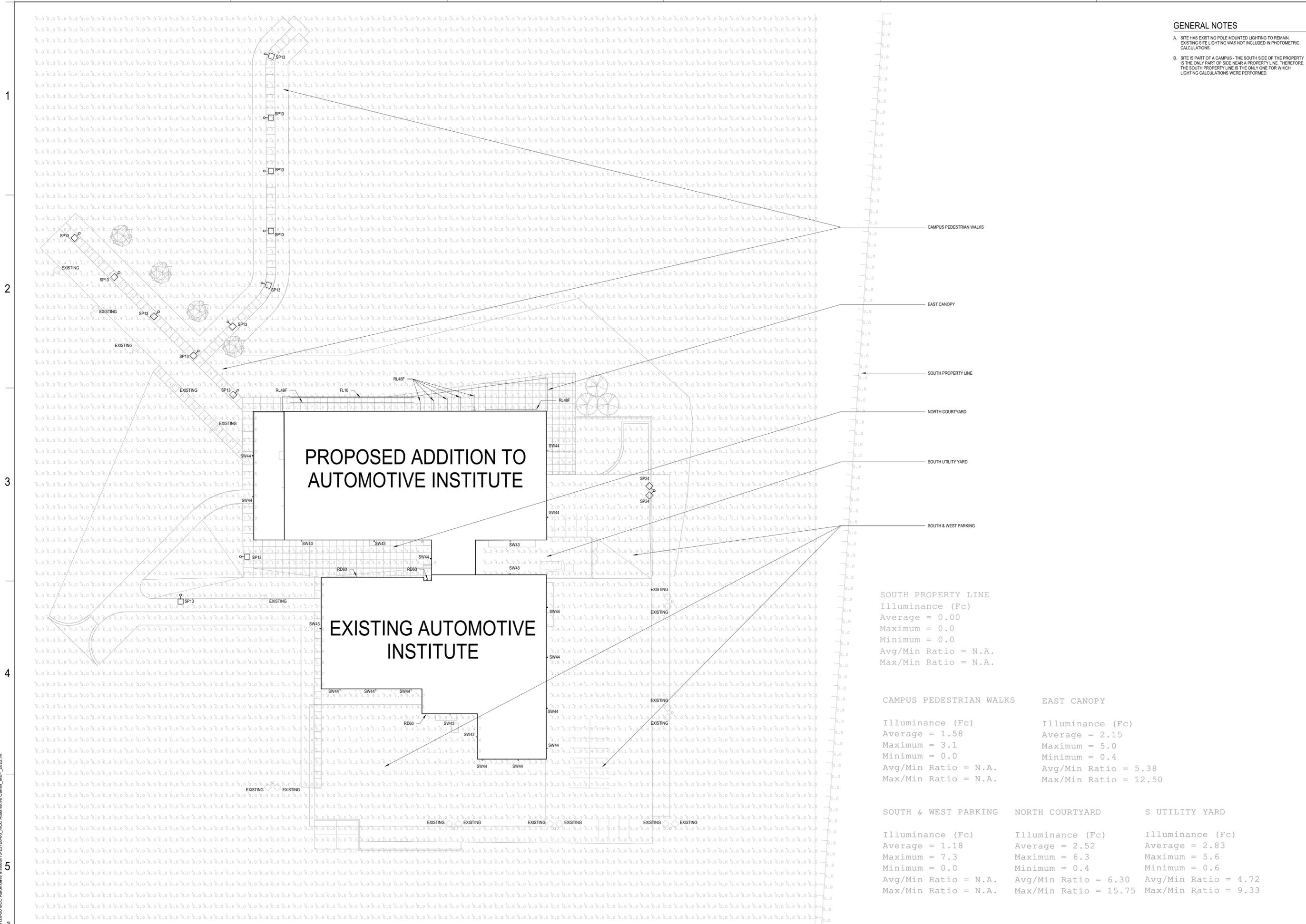
3 EXTERIOR ELEVATION - EXISTING SOUTH
 A4-2 SCALE: 1/8" = 1'-0"
 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND

- FACE BRICK FB-1 - TO BE SELECTED ON SITE TO MATCH EXISTING
- MP-1B INSULATED METAL PANEL METL. SPAN OF TUFF-CAST, OR EQ. FIELD PAINTED P-1 SHERWIN WILLIAMS BLUEBLOOD SW 6966
- MP-1A INSULATED METAL PANEL METL. SPAN OF MESA. COLOR: PEARL GRAY
- MP-2 COMPOSITE METAL WALL PANEL RAINSCREEN ASSEMBLY ALUCOBOND ROUTE & RETURN RAINSCREEN SYSTEM W/CONTINUOUS INSULATION, OR EQ. COLOR: CADET GRAY (PER COLOR PALLETTE INFO)
- MP-3 CORRUGATED ALUMINUM PANEL, PERFORATED METL. SPAN ECOSCREEN BR5-36, OR EQ. ALTERNATING COLORS PER DETAIL (P-1 SW 6966 BLUEBLOOD / P-2 SW 7073 NETWORK GRAY)
- P-3 PAINT EXISTING BUILDING - WALLS SW 7019 GAUNTLET GRAY
- P-4 PAINT EXISTING BUILDING - SOLID OVERHEAD DOORS SW 7015 REPOSE GRAY



4 EXTERIOR ELEVATION - EXISTING WEST
 A4-2 SCALE: 1/8" = 1'-0"
 SCALE: 1/8" = 1'-0"



GENERAL NOTES

A. SITE HAS EXISTING POLE MOUNTED LIGHTING TO REMAIN. EXISTING SITE LIGHTING WAS NOT INCLUDED IN PHOTOMETRIC CALCULATIONS.

B. SITE IS PART OF A CAMPUS - THE SOUTH SIDE OF THE PROPERTY IS THE ONLY PART OF SIDE NEAR A PROPERTY LINE. THEREFORE, THE SOUTH PROPERTY LINE IS THE ONLY ONE FOR WHICH LIGHTING CALCULATIONS WERE PERFORMED.

CAMPUS PEDESTRIAN WALKS	ILLUMINANCE (Fc)	Average = 1.58	Maximum = 3.1	Minimum = 0.0	Avg/Min Ratio = N.A.	Max/Min Ratio = N.A.
EAST CANOPY	ILLUMINANCE (Fc)	Average = 2.15	Maximum = 5.0	Minimum = 0.4	Avg/Min Ratio = 5.38	Max/Min Ratio = 12.50
SOUTH PROPERTY LINE	ILLUMINANCE (Fc)	Average = 0.00	Maximum = 0.0	Minimum = 0.0	Avg/Min Ratio = N.A.	Max/Min Ratio = N.A.
NORTH COURTYARD	ILLUMINANCE (Fc)	Average = 2.52	Maximum = 6.3	Minimum = 0.4	Avg/Min Ratio = 6.30	Max/Min Ratio = 15.75
SOUTH UTILITY YARD	ILLUMINANCE (Fc)	Average = 2.83	Maximum = 5.6	Minimum = 0.6	Avg/Min Ratio = 4.72	Max/Min Ratio = 9.33
SOUTH & WEST PARKING	ILLUMINANCE (Fc)	Average = 1.18	Maximum = 7.3	Minimum = 0.0	Avg/Min Ratio = N.A.	Max/Min Ratio = N.A.

**PROPOSED ADDITION TO
AUTOMOTIVE INSTITUTE**

**EXISTING AUTOMOTIVE
INSTITUTE**

DLR GROUP
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1500 South Broadway, Suite 100
Overland Park, KS 66213
CA No. 000589

STATE OF MISSOURI
JOSHUA WETZIG
REGISTERED PROFESSIONAL ENGINEER
PE #221015040
3/22/24

DATE: 3/22/2024
ELECTRICAL: JOSHUA WETZIG
PE #2021012060

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METROPOLITAN COMMUNITY COLLEGE - LONGVIEW
500 SW LONGVIEW RD.
LEES SUMMIT, MO 64081

FINAL DEVELOPMENT PLAN
June, 4th, 2024

13-23128-00
**SITE
PHOTOMETRIC
PLAN**

E1

gotham | E V O

Multiple Layers of Light

General Illumination Round Downlight

6"

Feature Set

- Blending Ring™ optical design
- Limited optics mechanically affect the light engine to the base reflector to provide extra alignment
- 45° cutoff to source and source image
- Fully recessed and adjustable round LED light engine
- 100% linear maintenance at 60,000 hours
- 2.5 MacAdam Ellipse, 85 CRI typical, 90+ CRI optional
- Reflector and lens coating available

Available with 10% dimming, 1% dimming, or dim to dark

• Blending Ring™ optical design

• Limited optics mechanically affect the light engine to the base reflector to provide extra alignment

• 45° cutoff to source and source image

• Fully recessed and adjustable round LED light engine

• 100% linear maintenance at 60,000 hours

• 2.5 MacAdam Ellipse, 85 CRI typical, 90+ CRI optional

• Reflector and lens coating available

Superior Performance

Beam Spread	10°	15°	20°	25°	30°	35°	40°	45°	50°	55°	60°	65°	70°	75°	80°	85°	90°
Beam Diameter	1.0	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0	8.5	9.0
Beam Area	0.785	1.767	3.142	4.712	7.069	9.817	12.871	16.226	20.097	24.484	29.321	34.621	40.396	46.657	53.416	60.685	68.475
Beam Volume	0.087	0.212	0.393	0.617	0.984	1.493	2.146	2.943	3.894	5.000	6.271	7.718	9.341	11.141	13.118	15.271	17.610

Coordinate Apertures - Multiple Layers of Light

Core, Healthcare, Special Applications

gotham | E V O

6" General Illumination Round Downlight

Series

Series	Color Temperature	Beam Spread	Beam Diameter	Beam Area	Beam Volume	Reflector & Finish Color	Finish Type	Finish
EV0	3000K	10°	1.0	0.785	0.087	FR	FR	FR
EV1	3000K	15°	1.5	1.767	0.212	FR	FR	FR
EV2	3000K	20°	2.0	3.142	0.393	FR	FR	FR
EV3	3000K	25°	2.5	4.712	0.617	FR	FR	FR
EV4	3000K	30°	3.0	7.069	0.984	FR	FR	FR
EV5	3000K	35°	3.5	9.817	1.493	FR	FR	FR
EV6	3000K	40°	4.0	12.871	2.146	FR	FR	FR
EV7	3000K	45°	4.5	16.226	2.943	FR	FR	FR
EV8	3000K	50°	5.0	20.097	3.894	FR	FR	FR
EV9	3000K	55°	5.5	24.484	5.000	FR	FR	FR
EV10	3000K	60°	6.0	29.321	6.271	FR	FR	FR
EV11	3000K	65°	6.5	34.621	7.718	FR	FR	FR
EV12	3000K	70°	7.0	40.396	9.341	FR	FR	FR
EV13	3000K	75°	7.5	46.657	11.141	FR	FR	FR
EV14	3000K	80°	8.0	53.416	13.118	FR	FR	FR
EV15	3000K	85°	8.5	60.685	15.271	FR	FR	FR
EV16	3000K	90°	9.0	68.475	17.610	FR	FR	FR

Accessories

- 10-27VAC, ELY Type 070-1000, Reverse Phase, Thermal Break
- 10-27VAC, ELY Type 070-1000, Reverse Phase, Thermal Break
- 10-27VAC, ELY Type 070-1000, Reverse Phase, Thermal Break

gotham | E V O

6" General Illumination Round Downlight

Market Spacing in Inches 20° Ambient

Market Package	Foot Center to Center (ft)	Future Center to Building (ft)	Splice Above (ft)	Splice Below (ft)
EV0	24	12	5	11
EV1	36	18	7	16
EV2	48	24	9	21

Market Spacing in Inches 25° Ambient

Market Package	Foot Center to Center (ft)	Future Center to Building (ft)	Splice Above (ft)	Splice Below (ft)
EV0	24	12	5	11
EV1	36	18	7	16
EV2	48	24	9	21

Market Spacing Change Phase Enclosure in Inches 25° Ambient

Market Package	Foot Center to Center (ft)	Future Center to Building (ft)	Splice Above (ft)	Splice Below (ft)
EV0	24	12	5	11
EV1	36	18	7	16
EV2	48	24	9	21

Market Spacing Change Phase Enclosure in Inches 20° Ambient

Market Package	Foot Center to Center (ft)	Future Center to Building (ft)	Splice Above (ft)	Splice Below (ft)
EV0	24	12	5	11
EV1	36	18	7	16
EV2	48	24	9	21

Delivered Lumens in 3.25' x 4' LPM

Delivered Lumens	Beam Spread	Beam Diameter	Beam Area	Beam Volume
276 F	10°	1.0	0.785	0.087
405 F	15°	1.5	1.767	0.212
534 F	20°	2.0	3.142	0.393
663 F	25°	2.5	4.712	0.617
792 F	30°	3.0	7.069	0.984
921 F	35°	3.5	9.817	1.493
1050 F	40°	4.0	12.871	2.146
1179 F	45°	4.5	16.226	2.943
1308 F	50°	5.0	20.097	3.894
1437 F	55°	5.5	24.484	5.000
1566 F	60°	6.0	29.321	6.271
1695 F	65°	6.5	34.621	7.718
1824 F	70°	7.0	40.396	9.341
1953 F	75°	7.5	46.657	11.141
2082 F	80°	8.0	53.416	13.118
2211 F	85°	8.5	60.685	15.271
2340 F	90°	9.0	68.475	17.610

PHOTOMETRIC SUMMARY - TYPE RD60

NO SCALE

DOWNLIGHT CUTSHEET - TYPE RD60

NO SCALE

ECOSENSE

310-496-4255

837 NORTH SPRING STREET
SUITE 103
LOS ANGELES, CA 90002

3/3

DOWNLIGHT CUTSHEET - TYPE RD60

NO SCALE

ECOSENSE

310-496-4255

837 NORTH SPRING STREET
SUITE 103
LOS ANGELES, CA 90002

3/3

DOWNLIGHT CUTSHEET - TYPE RD60

NO SCALE

ECOSENSE

310-496-4255

837 NORTH SPRING STREET
SUITE 103
LOS ANGELES, CA 90002

3/3

DOWNLIGHT CUTSHEET - TYPE RD60

NO SCALE

ECOSENSE

310-496-4255

837 NORTH SPRING STREET
SUITE 103
LOS ANGELES, CA 90002

3/3

DOWNLIGHT CUTSHEET - TYPE RD60

NO SCALE

ECOSENSE

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837 NORTH SPRING STREET
SUITE 103
LOS ANGELES, CA 90002

3/3

CANOPY WALLWASH LINEAR CUTSHEET - TYPE FL10

NO SCALE

ECOSENSE

310-496-4255

837 NORTH SPRING STREET
SUITE 103
LOS ANGELES, CA 90002

3/3

CANOPY WALLWASH LINEAR CUTSHEET - TYPE FL10

NO SCALE

ECOSENSE

310-496-4255

837 NORTH SPRING STREET
SUITE 103
LOS ANGELES, CA 90002

3/3

CANOPY WALLWASH LINEAR CUTSHEET - TYPE FL10

NO SCALE

ECOSENSE

310-496-4255

837 NORTH SPRING STREET
SUITE 103
LOS ANGELES, CA 90002

3/3

CANOPY WALLWASH LINEAR CUTSHEET - TYPE FL10

NO SCALE

ECOSENSE

310-496-4255

837 NORTH SPRING STREET
SUITE 103
LOS ANGELES, CA 90002

3/3

CANOPY WALLWASH LINEAR CUTSHEET - TYPE FL10

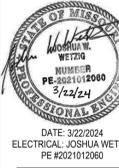
NO SCALE

ECOSENSE

310-496-4255

837 NORTH SPRING STREET
SUITE 103
LOS ANGELES, CA 90002

3/3



DATE: 3/22/24
ELECTRICAL: JOSHUA WETZIG
PE #202101206

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AVTELECOM/Acoustics/
SOUND DESIGNER
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1550 GRAND BOULEVARD
KANSAS CITY, MO 64108
P: (816) 283-3466

FINAL DEVELOPMENT PLAN
June, 4th, 2024

13-2128-00

PHOTOMETRIC
DETAILS &
SCHEDULES