

Plotted By: Haidfield, Joe Sheet Set: DUNKIN-LEES SUMMIT Layout: C-000 COVER SHEET May 23, 2024 03:35:01pm K:\KNC-LDEV\268543003 Dunkin-Lee's Summit\2 Design\CAD\Plan\Sheets\C-000 COVER SHEET.dwg
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UTILITY AND GOVERNING
AGENCY CONTACTS

WATER SERVICE

WATER UTILITIES
CITY OF LEE'S SUMMIT
1200 SE HAMBLIN RD
LEE'S SUMMIT, MO 64081
(816) 969 1900

ELECTRIC SERVICE

EVERGY
1200 MAIN STREET
KANSAS CITY, MO 64141
(816) 741-5275

STORMWATER

PUBLIC WORKS
CITY OF LEE'S SUMMIT
220 SE GREEN
LEE'S SUMMIT, MO 64063
(816) 969 1800

SANITARY SEWER SERVICE

PUBLIC WORKS
CITY OF LEE'S SUMMIT
220 SE GREEN
LEE'S SUMMIT, MO 64063
(816) 969 1800

GAS COMPANY

SPIRE
7500 E 35TH TERR
LEE'S SUMMIT, MO 64129
(800) 582 64129

HEALTH DEPARTMENT

JACKSON COUNTY PUBLIC HEALTH
3651 NE RALPH POWELL RD
LEE'S SUMMIT, MO 64064
(816) 404 6427

PLANNING DEPARTMENT

DEVELOPMENT SERVICES
CITY OF LEE'S SUMMIT
220 SE GREEN
LEE'S SUMMIT, MO 64063
(816) 969 1200

TELEPHONE

AT&T
(913) 905-2898

FIRE PREVENTION

CITY OF LEE'S SUMMIT
207 SE DOUGLAS
LEE'S SUMMIT, MO 64063
(816) 969-1300

BUILDING DEPARTMENT

DEVELOPMENT SERVICES
CITY OF LEE'S SUMMIT
220 SE GREEN
LEE'S SUMMIT, MO 64063
(816) 969 1200

PROJECT TEAM

DEVELOPER

JONATHAN SISCO
BLUEMONT GROUP, LLC
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KNOXVILLE, TN 37923
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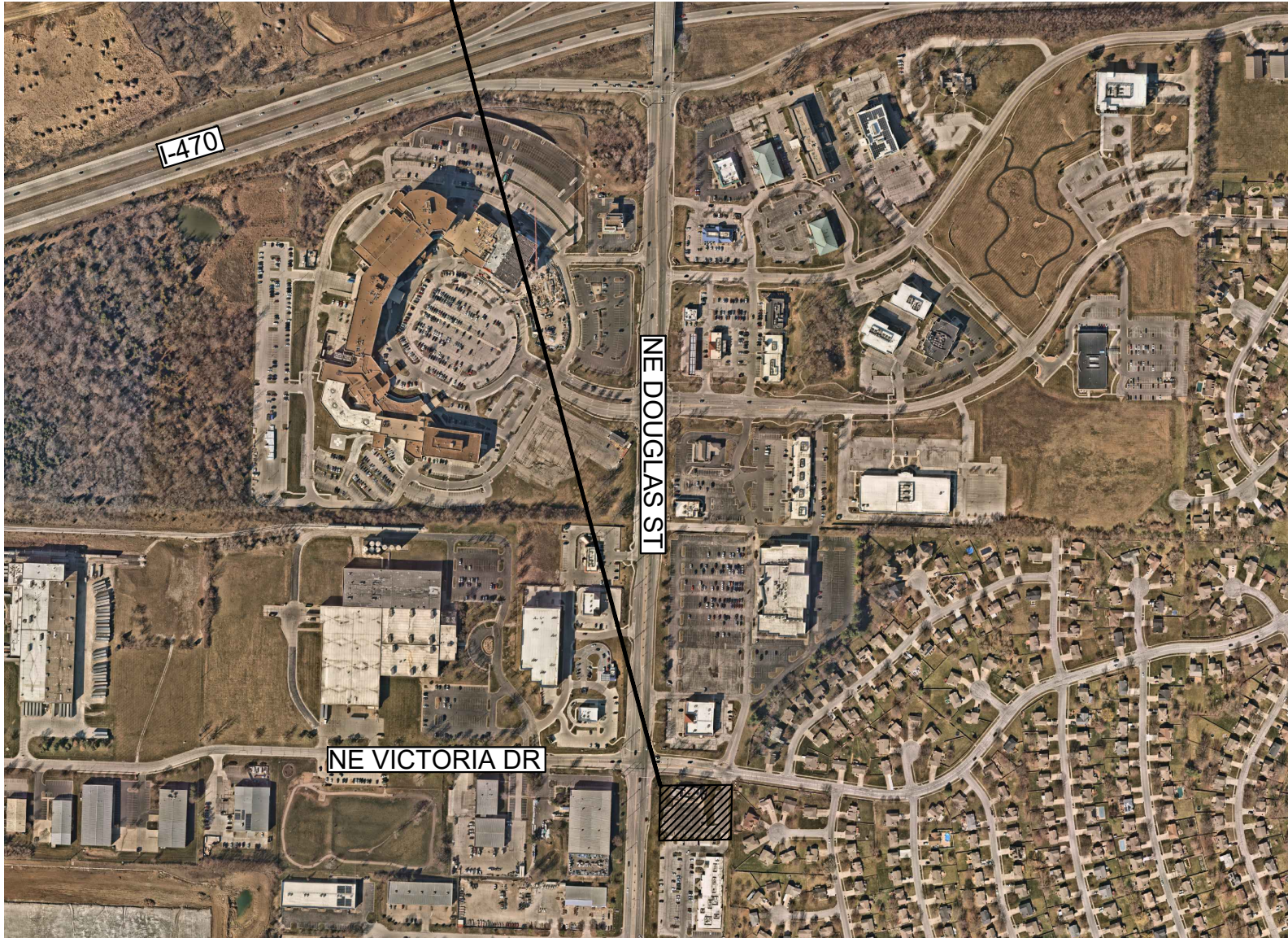
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ATLAS LAND CONSULTING
14500 PARALLEL RD, UNIT R
BASEHOR, KS 66007
(913) 702 5073
ANDREA@ALCONSULT-LLC.COM

PROJECT LOCATION



VICINITY MAP
N.T.S.



LEGAL DESCRIPTION

LOT 5, BLOCK 2, DOUGLAS SQUARE CENTER, LOTS 1-6, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

PRELIMINARY DEVELOPMENT PLAN
FOR
DUNKIN LEE'S SUMMIT

LOCATED AT

1399 NE DOUGLAS ST
LEE'S SUMMIT, MO 64086

Sheet List Table

Sheet Number	Sheet Title
C-000	COVER SHEET
1 OF 1	ALTA SURVEY
C-001	GENERAL NOTES
C-002	EXISTING CONDITIONS
C-100	SITE PLAN
C-300	GRADING PLAN
C-400	UTILITY PLAN
L100	LANDSCAPE PLAN
EER 1	BUILDING ELEVATIONS



DUNKIN LEE'S

SUMMIT

PREPARED FOR
BLUEMONT GROUP LLC

LEE'S SUMMIT

SHEET NUMBER
C-000

COVER SHEET

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
268543003	05/23/24	AS SHOWN	JGH	BPM	AWG

Kimley»Horn

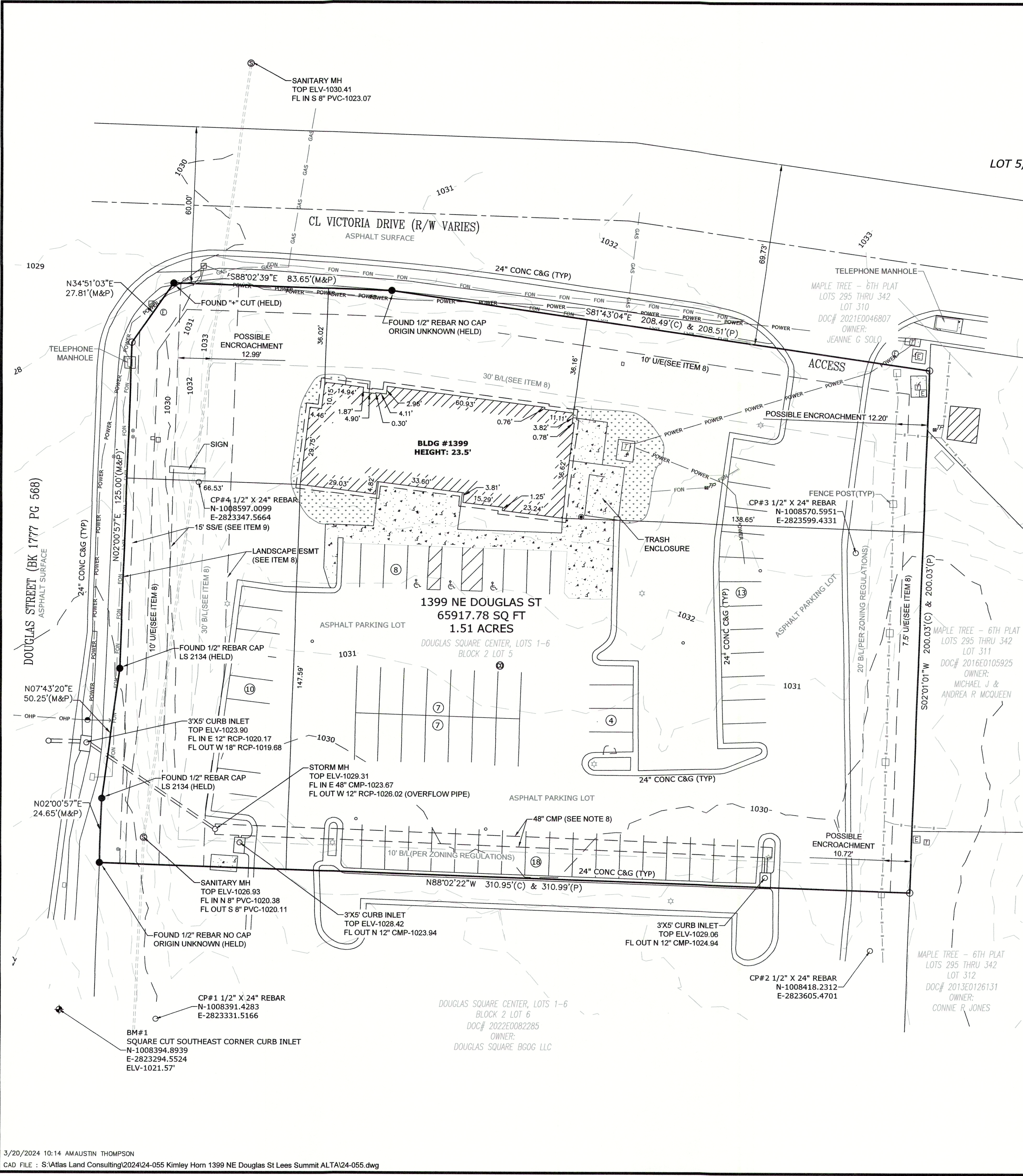
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PHONE: 816-652-0350
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REVISIONS

No.

DATE

BY



ALTA/NSPS
LAND TITLE SURVEY

LOT 5, BLOCK 2, DOUGLAS SQUARE CENTER, LOTS 1-6, A SUBDIVISION IN LEE'S SUMMIT,
JACKSON COUNTY, MISSOURI.

DESCRIPTION:
PROPERTY DESCRIPTION PER TITLE COMMITMENT FILE NO: L24-29680
VIA MCCAFFREE-SHORT TITLE COMPANY, INC ON FEBRUARY 20, 2024 AT 8:00 AM

LOT 5, BLOCK 2, DOUGLAS SQUARE CENTER, LOTS 1-6, A SUBDIVISION IN LEE'S SUMMIT, JACKSON
COUNTY, MISSOURI.

8. EASEMENTS, RESERVATIONS, RESTRICTIONS, BUILDING SET-BACK LINES, AS SHOWN ON THE RECORDED PLAT, PLAT BOOK 64, PAGE 1. (AS SHOWN)
9. SANITARY SEWER EASEMENT GRANTED TO THE CITY OF LEE'S SUMMIT, RECORDED AUGUST 11, 1997 AS DOCUMENT NO.97-148948, IN BOOK I-3046, PAGE 1812. (AS SHOWN)
10. TERMS AND PROVISIONS OF PERFORMANCE BASED IMPROVEMENT, REIMBURSEMENT AND DEVELOPMENT AGREEMENT FOR DOUGLAS SQUARE, RECORDED FEBRUARY 20, 1998 AS DOCUMENT NO. 98I-10657, IN BOOK I-3144, PAGE 236. AMENDMENT NO. 1 RECORDED JULY 23, 1998 AS DOCUMENT NO. 98I-57235, IN BOOK I-3241, PAGE 72. (NON SURVEY DOCUMENT)
11. EASEMENT FOR ELECTRIC AND COMMUNICATIONS LINES GRANTED TO MISSOURI PUBLIC SERVICE, A DIVISION OF UTILICORP UNITED INC., RECORDED FEBRUARY 11, 2000 AS DOCUMENT NO. 2000I0008445.
12. TERMS AND PROVISIONS OF MEMORANDUM OF LEASE, BY AND BETWEEN TBS PROPERTIES, L.L.C., LESSOR AND STRATEGIC RESTAURANTS ACQUISITION CORP., LESSEE, RECORDED JUNE 26, 2006 AS DOCUMENT NO. 2006E0048397; ASSIGNMENTS AND ASSUMPTIONS OF THIRD PARTY LEASES BETWEEN STRATEGIC RESTAURANTS ACQUISITION COMPANY, LLC, SRAC HOLDINGS I, INC, AND STRATEGIC RESTAURANTS ACQUISITION COMPANY II, LLC, RECORDED JULY 18, 2007 AS DOCUMENT NO. 2007E0094031; ASSIGNMENT AND ASSUMPTION OF LEASE BETWEEN TBS PROPERTIES, L.L.C. AND LSK 7 PROPERTIES, LLC, RECORDED SEPTEMBER 18, 2017 AS DOCUMENT NO. 2017E0086013; UNRECORDED ASSIGNMENT AND ASSUMPTION OF LEASE DATED MARCH 26, 2015, BETWEEN STRATEGIC RESTAURANTS ACQUISITION COMPANY II, LLC AND EYM KING OF MISSOURI, LLC, DISCLOSED BY ASSIGNMENT AND ASSUMPTION OF LEASE RECORDED SEPTEMBER 4, 2018 AS DOCUMENT NO. 2018E0077050, BETWEEN EYM KING OF MISSOURI, LLC AND TASTY KING OF MISSOURI, LLC. (NON SURVEY DOCUMENT)
13. FUTURE ADVANCE DEED OF TRUST DATED JUNE 24, 2021, EXECUTED BY ORTHO KING PROPERTIES, LLC, A MISSOURI LIMITED LIABILITY COMPANY, TO UMB BANK, N.A., RECORDED JUNE 28, 2021, AS DOCUMENT NO. 2021E0069808, SECURING A PRINCIPAL LOAN AMOUNT OF \$1,700,000.00.
- ASSIGNMENT OF LEASES AND RENTS, RECORDED JUNE 28, 2021, AS DOCUMENT NO. 2021E0069809. (NON SURVEY DOCUMENT)
14. TENANCY RIGHTS, EITHER AS MONTH TO MONTH, OR BY VIRTUE OF WRITTEN LEASES OF PERSONS IN POSSESSION OF ANY PART OF THE SUBJECT PROPERTY. (NON SURVEY DOCUMENT)

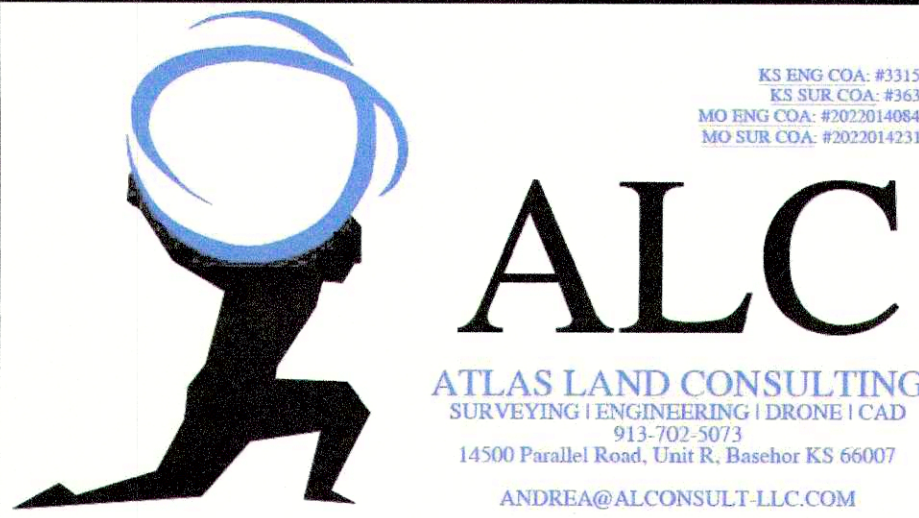
TO: ORTHO KING PROPERTIES, LLC, A MISSOURI LIMITED LIABILITY COMPANY, MCCAFFREE-SHORT TITLE COMPANY INC.

THIS SURVEY WAS PREPARED IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS" 2021 AND INCLUDE ITEMS 1,2,3,4,5, 6 (B),7,(B-1),8,9,11 AND 13 TABLE "A" THEREOF AND MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS/ACCURACY STANDARDS FOR A CATEGORY I URBAN LAND SURVEY. THE FIELD WORK WAS COMPLETED ON MARCH 15TH, 2024.



BRYAN F HILL, PLS 2008016658

DATE



ATLA/NSPS LAND TITLE SURVEY

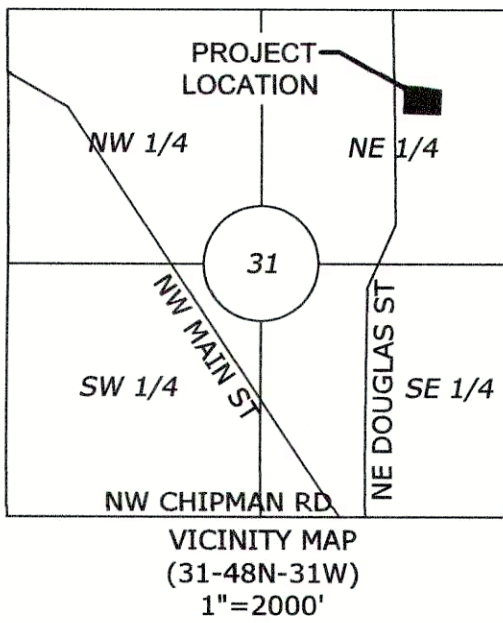
LEGEND

- DENOTES SET 1/2" REBAR ALC KS CLS 363 MO CLS 2022014231
● DENOTES FOUND 1/2" REBAR NO CAP UNLESS NOTED OTHERWISE
△ DENOTES FOUND SECTION CORNER
- TELEPHONE PEDESTAL
TRANSFORMER
LIGHT POLE
FIRE HYDRANT
POWER POLE
SANITARY MANHOLE
TRAFFIC SIGNAL
ELECTRIC MANHOLE
STREET SIGN
UNDERGROUND WATER LINE
UNDERGROUND GAS LINE
OVERHEAD POWER LINE
BOLLARD
- CONCRETE SURFACE
LANDSCAPE

GENERAL NOTES

1. THE BASIS OF BEARING SYSTEM FOR THIS SURVEY IS MISSOURI WEST ZONE.
2. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES IN FEET.
3. WE DID NOT OBSERVE ANY CONSTRUCTION ON THIS PROPERTY.
4. THE SUBJECT PROPERTY IS LOCATED WITHIN AREA OF MINIMAL FLOOD HAZARD AVAILABLE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. 29090500417G, WITH A DATE OF IDENTIFICATION OF JANUARY 20, 2017 IN JACKSON COUNTY, STATE OF MISSOURI, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
5. ON SITE PARKING WAS OBSERVED. 64 PARKING STALLS OBSERVED AND 3 ADA PARKING STALLS OBSERVED.
6. CURRENT ZONING - CP-2
7. MISSOURI ONE CALL WAS CALLED. TICKET #240593410
8. 48" CMP DETERMINED BASED UPON CURB INLET OUT PIPES. NO ACTUAL LOCATION DETERMINED IN THE FIELD.
9. POSSIBLE ENCROACHMENTS"
-12.20' WOOD PLANK FENCE WEST OF PROPERTY LINE
-10.72' WOOD PLANK FENCE WEST OF PROPERTY LINE
-12.99' SANITARY LINE EAST OF SANITARY EASEMENT

VICINITY MAP



JOB NO:24-055

SCALE

20 10 0 20
SCALE IN FEET

SEC-TWN-RNG

31-48N-31W

PREPARED FOR

ORTHO KING PROPERTIES LLC

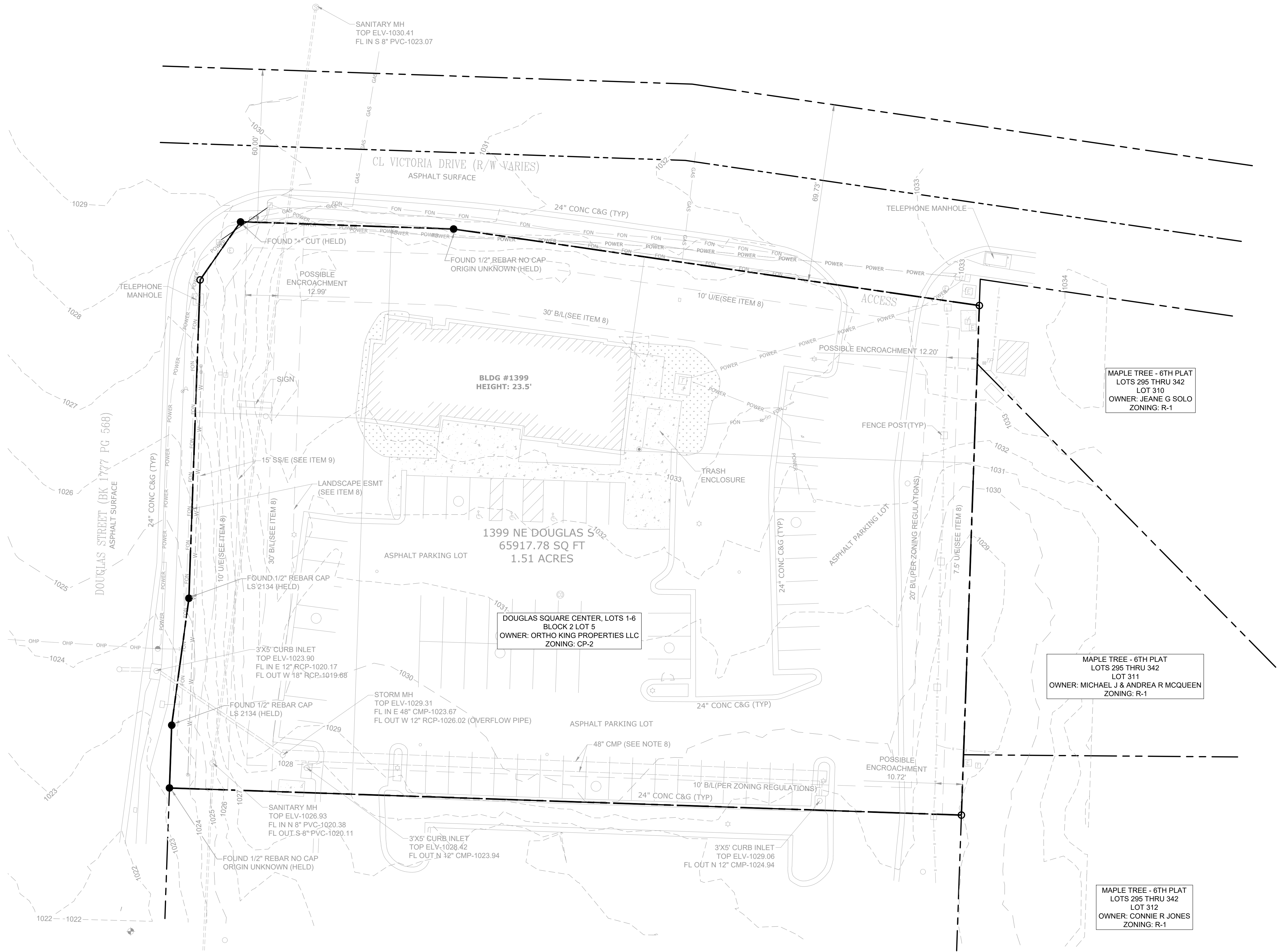
ADDRESS: 1399 NE DOUGLAS ST
LEES SUMMIT, MO 64086

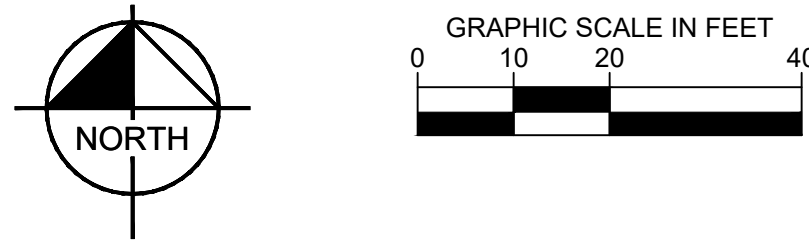
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MARCH 18, 2024

Plotted By: Hildefield, Joe Sheet Set: DUNKIN - LEE'S SUMMIT Layout: C-002 EXISTING CONDITIONS May 23, 2024 03:35:25pm K:\KNC LDEV\268543003 Dunkin-Lee's Summit\2 Design\CAD\Plan\Sheets\C-002 EXISTING CONDITIONS.dwg

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<u>SITE DATA:</u>	
LOT AREA:	1.51 AC
LEASE AREA:	0.67 AC
ZONING:	CP-2
PROPOSED ZONING:	CP-2
DISTURBED AREA:	0.73 AC
PROPOSED USE:	COMMERCIAL
PROPOSED BUILDING HEIGHT:	1 STORY /19 FEET
BUILDING TYPE:	SMALL COMMERCIAL- PAD SITE

BUILDING COVERAGE:	
PROPOSED FLOOR AREA	1,175 SF
F.A.R. (1,175 SF/29,195 SF)	4.02%

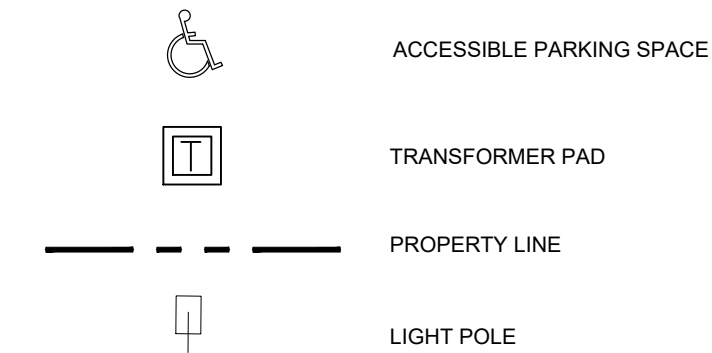
<u>PARKING SUMMARY</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
STANDARD	8	15
ACCESSIBLE	1	1
TOTAL	9	16

PARKING CALCULATION:
 2 PLUS ONE FOR EACH BUSINESS EMPLOYEE ON MAXIMUM SHIFT
 7 EMPLOYEES ON MAXIMUM SHIFT
 PARKING SPACES REQUIRED = 9 SPACES

REQUIRED STACKING: 4 TO THE MENU BOARD PLUS 4 TO FIRST WINDOW
 PROVIDED STACKING: 7 TOTAL BEFORE MENU BOARDS, 6 TOTAL TO FIRST WINDOW AFTER MENU BOARDS

LOT COVERAGE:			
BUILDING AREA:	0.03 AC	1,175 SF	4.02%
IMPERVIOUS AREA:	0.42 AC	18,567 SF	63.60%
LANDSCAPE AREA:	0.22 AC	9,453 SF	32.38%
TOTAL LOT AREA:	0.67 AC	29,195 SF	100%

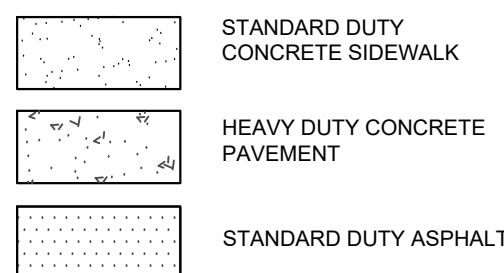
SYMBOL LEGEND



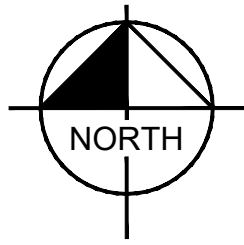
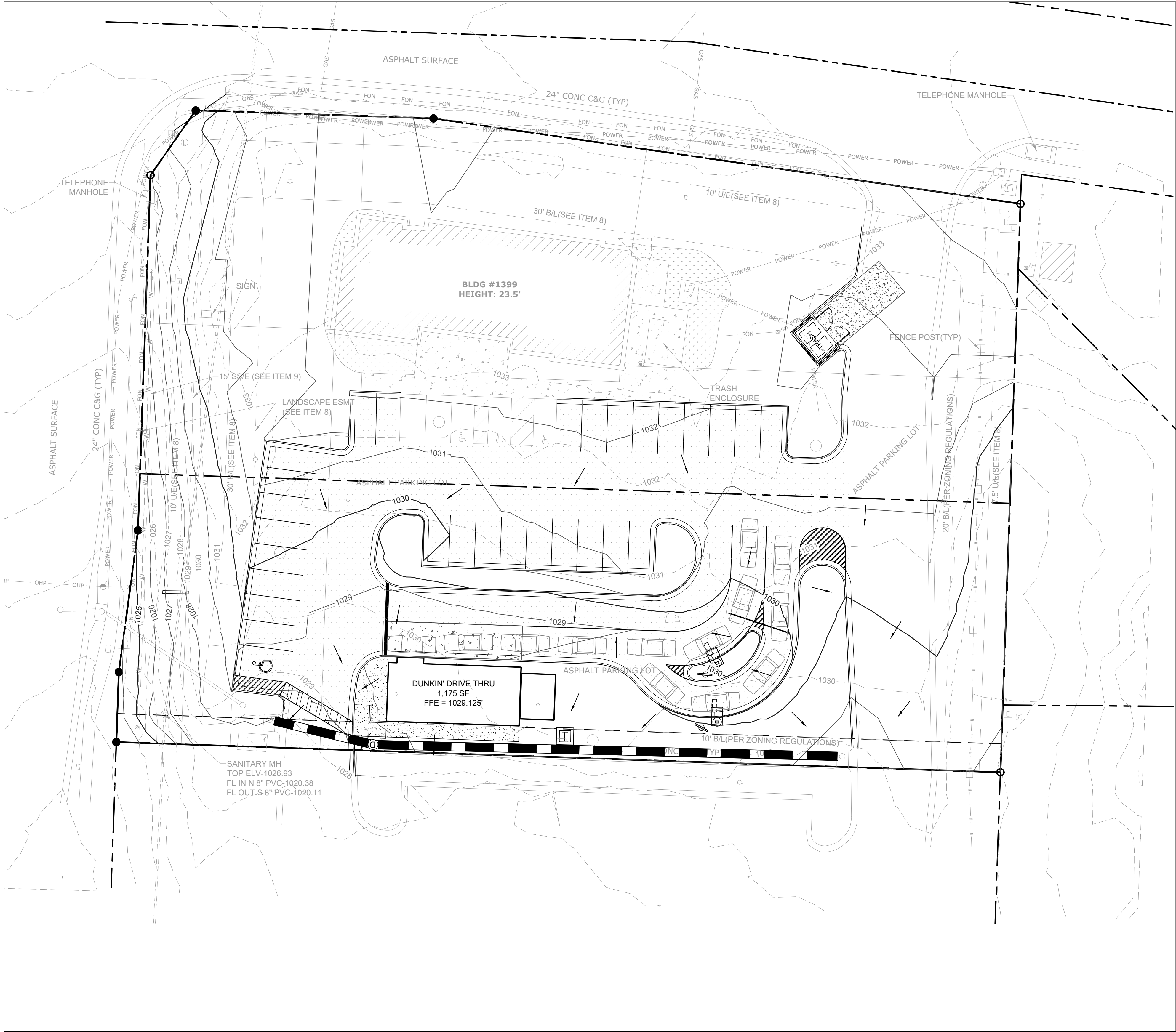
KEYNOTE LEGEND

- | | |
|------------|---|
| (A) | PROPERTY LINE |
| (B) | DUMPSITE ENCLOSURE |
| (C) | CONCRETE SIDEWALK |
| (D) | MATCH EXISTING LINE AND GRADE OF EXISTING PAVEMENT AND CURB |
| (E) | PROPOSED LIGHT POLE |
| (F) | ACCESSIBLE PARKING SPACE AND SIGN |
| (G) | ACCESSIBLE PARKING SYMBOL |
| (H) | MONUMENT SIGN |
| (I) | DIRECTIONAL ARROW (TYP.) |
| (J) | PROPOSED TRANSFORMER |
| (K) | PROPOSED 6" WHITE STRIPING |
| (L) | PROPOSED MENU BOARD |
| (M) | PROPOSED HEAVY DUTY CONCRETE |
| (N) | PROPOSED DRIVE-THRU HEIGHT RESTRICTION BAR |
| (O) | PROPOSED 6" STOP 48" O.C. 12" SPACING |
| (P) | PROPOSED 12" STRIP BAR STRIPING |


HATCH LEGEND



Plotted By: Harzfeld, Joe Sheet Set: DUNKIN - LEES SUMMIT Layout: C-300 GRADING PLAN.dwg
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GRAPHIC SCALE IN FEET



0 10 20 40

GRADING LEGEND

- 
 EXISTING CONTOUR
 PROPOSED CONTOUR
 FLOW ARROW

DUNKIN LEE'S

SUMMIT

PREPARED FOR

BLUEMONT GROUP LLC
LEE'S SUMMIT

MO

GRADING PLAN

KHA PROJECT
268543003

DATE 05/23/24

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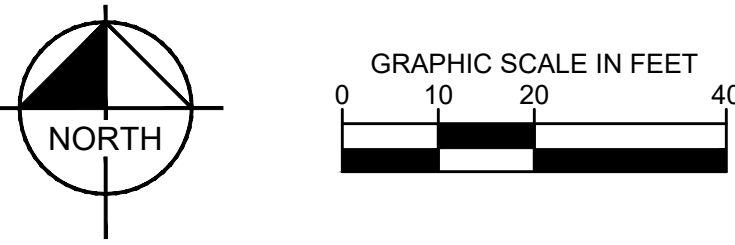
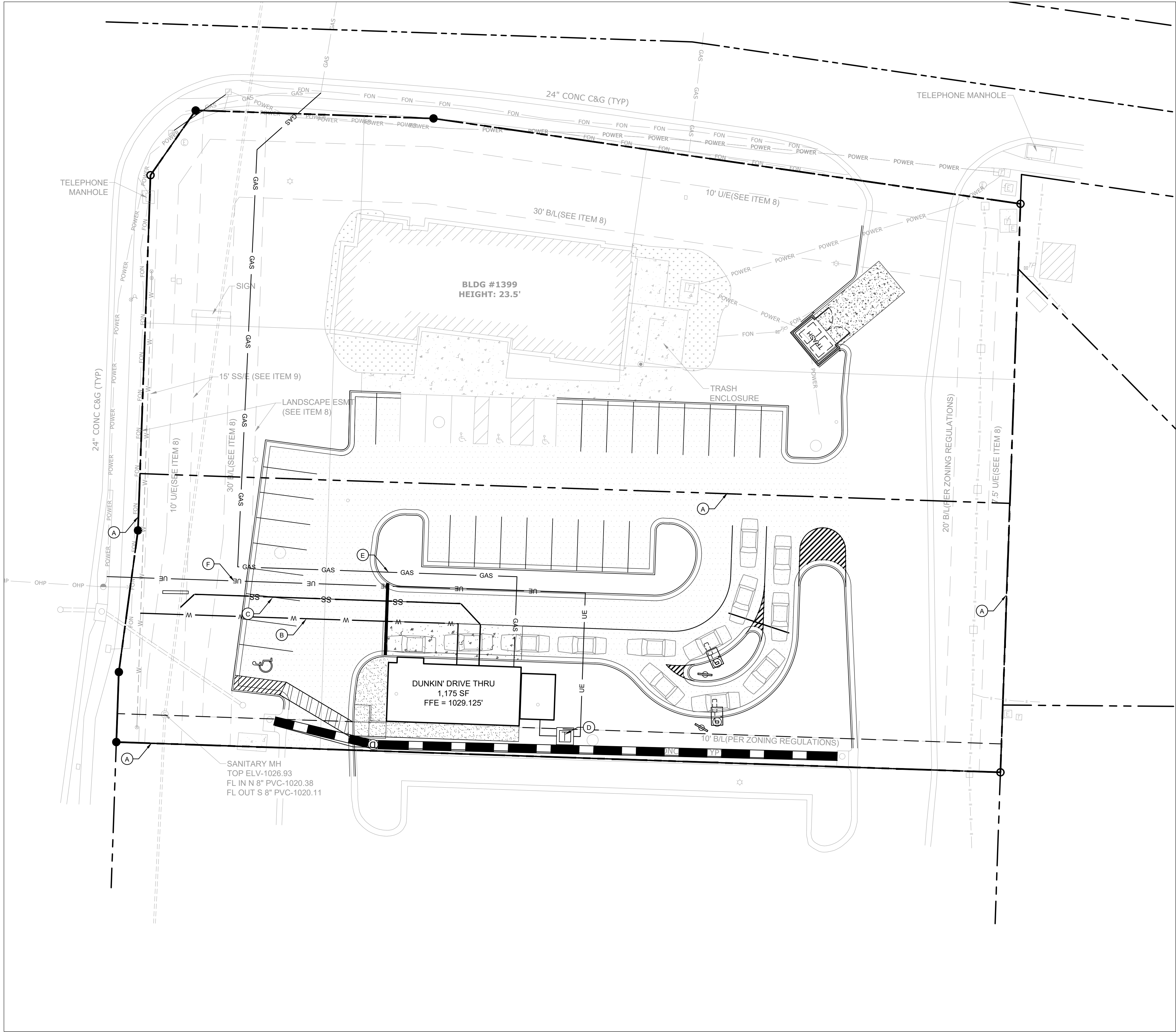
DESIGNED BY JG

RAWN BY	CHECKED BY	DATE

Kimley»»Horn

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PHONE: 816-652-0350
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[illegible]



UTILITY LEGEND

- PROPERTY LINE
- W PROPOSED WATER SERVICE LINE
- UE PROPOSED ELECTRICAL SERVICE
- GAS PROPOSED GAS LINE
- SS PROPOSED SANITARY SEWER SERVICE
- PROPOSED TRANSFORMER

LEGEND

- (A) PROPERTY LINE
- (B) PROPOSED DOMESTIC WATER SERVICE LINE
- (C) 4" PVC SANITARY SERVICE
- (D) PROPOSED TRANSFORMER
- (E) PROPOSED GAS LINE
- (F) PROPOSED ELECTRIC LINE

DUNKIN LEE'S
SUMMIT
PREPARED FOR
BLUEMONT GROUP LLC
LEE'S SUMMIT

SHEET NUMBER
C-400

UTILITY PLAN

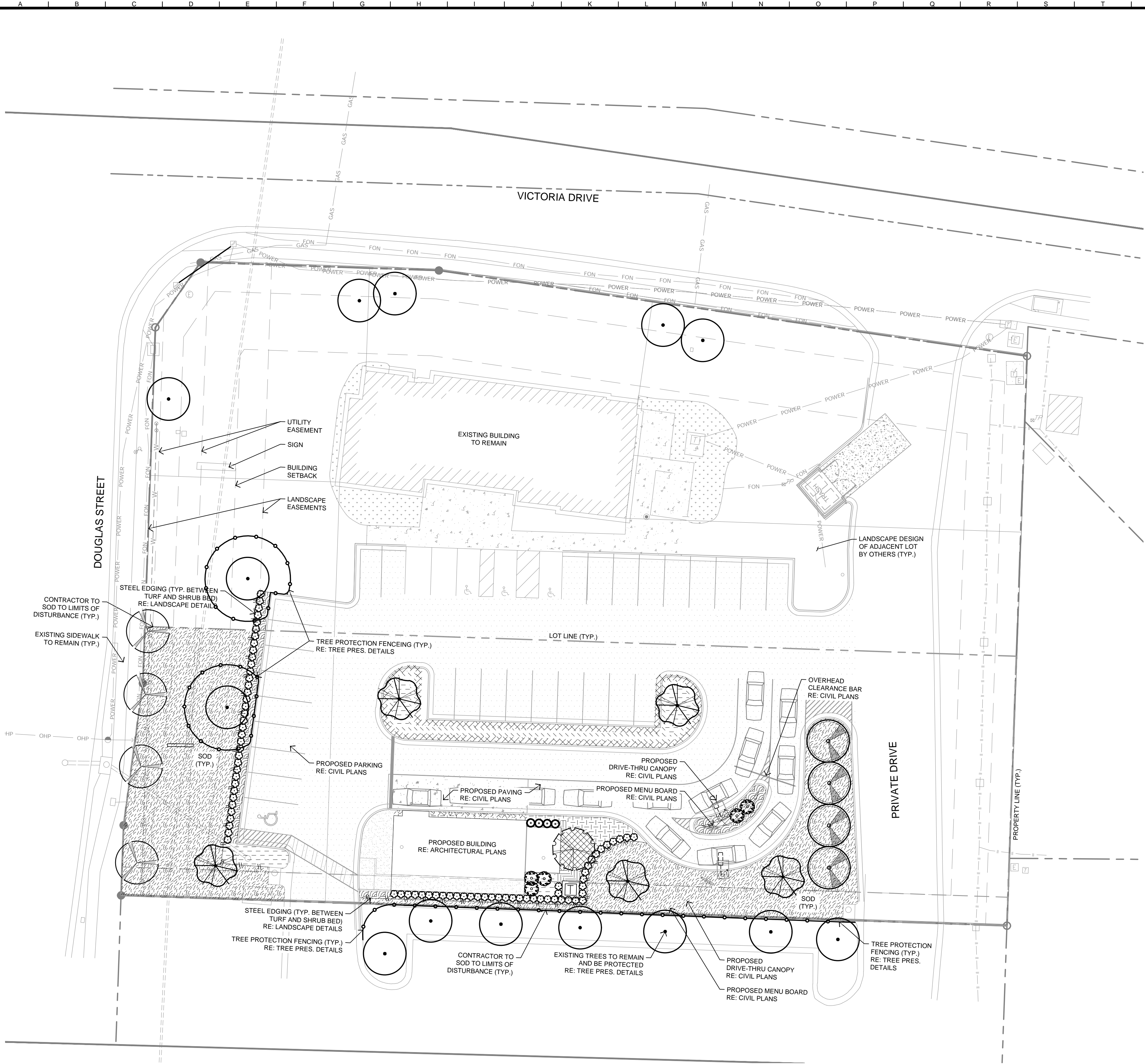
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DATE
05/23/24
SCALE AS SHOWN
DESIGNED BY JGH
DRAWN BY BPM
CHECKED BY AWG

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REVISIONS
No. DATE BY

Drawing name: K:\KAC_L100\268543003_Dunkin-Lee's Summit\Design\CAD\Sheet\L100 LANDSCAPE PLAN.dwg Model Thursday, May 23, 2024 12:28:48 PM by: Sara Ashley
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TREE PROTECTION NOTES:

- CONTRACTOR SHALL ADHERE TO ALL TREE PRESERVATION REQUIREMENTS LISTED IN THE TREE PRESERVATION SPECIFICATIONS AND/OR THE CITY OR COUNTY ZONING CODE (LATEST EDITION) WHICHEVER IS MORE STRINGENT SHALL APPLY.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
- ANY DEMOLITION OR EXCAVATION WITHIN THE DRIP LINE OF AN EXISTING TREE SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING, AIR KNIFE EXCAVATION, AND/OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS, OR SOIL; CONTRACTOR SHALL COORDINATE SUCH PROCEDURES WITH THE PROJECT ARBORIST.
- EXISTING TREE LOCATIONS AND SIZES ARE ESTIMATES BASED ON A SURVEY PROVIDED BY THE OWNER SELECTED SURVEYOR.
- NO SIGNS, BUILDING PERMITS, WIRES, OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE. GUY WIRES DESIGNED TO PROTECT TREES ARE EXCLUDED FROM THIS PROHIBITION.
- CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION. NO PERSON MAY REMOVE OR CAUSE TO BE REMOVED ANY PROTECTED TREE WITHOUT FIRST HAVING PROCURED A PERMIT AS PROVIDED BY THE APPROPRIATE PERMITTING AGENCY.
- DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINE, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE UNLESS OTHERWISE NOTED. REFERENCE TREE PRESERVATION DETAILS.
- CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
- IF TREE ROOT ZONE IS TO BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.
- ROOT PRUNING/TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
- CONTRACTOR TO COORDINATE ALL EARTHWORK OPERATIONS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
- IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
- CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS SHALL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT ARBORIST.
- NO MATERIALS, EQUIPMENT, SPOIL, WASTE, OR WASHOUT WATER MAY BE DISPOSED, STORED, OR PARKED WITHIN 20 FEET OF ANY TREE PROTECTION ZONE.
- CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO REMOVAL OF TREE PROTECTION FENCING.

PLANTING NOTES:

- CONTRACTOR TO SOD TO LIMITS OF DISTURBANCE.
- ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN DRAWING AND PLANT LIST, THE DRAWING SHALL PREVAIL.
- LOCATE ALL UTILITIES PRIOR TO ANY AND ALL PLANTING OR DIGGING OPERATIONS. HAND DIG TREES AND SHRUBS IN AREAS WITHIN 5' OF UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
- TREE STAKING: REFER TO TYPICAL TREE PLANTING DETAIL FOR TREE STAKING. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO OWNER.
- PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
- PROVIDE A LANDSCAPE EDGE BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE LANDSCAPE PLAN.
- ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH. REFERENCE LANDSCAPE PLAN.
- LAY TALL FESCUE SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS SPECIFIED IN LANDSCAPE PLAN. ALL DISTURBED AREAS WITHIN CITY R.O.W. SHALL RECEIVE TALL FESCUE SOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
- CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF OWNER.
- ALL LANDSCAPE BED AREAS TO BE PREPARED USING "ORGANICALLY ENRICHED TOP SOIL" BY MISSOURI ORGANIC (OR APPROVED EQUAL). INSTALL TO DEPTHS PER PLANTING DETAILS (12" DEPTH MIN.). FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN.) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, AND FERTILE; POSSES A pH RANGE OF 7.0-7.5; AND BE FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGGS/BRANCHES.
- FERTILIZER: FERTILIZE SODDED AREAS WITH AN APPROVED COMMERCIAL TYPE, SLOW RELEASE, AT A RATE OF 200 LBS/ACRE. REFER TO LANDSCAPE SPECIFICATIONS SECTION G FOR REQUIRED SUBMITTALS. USE PHOSPHOROUS-FREE FERTILIZER IF REQUIRED BY LOCAL CODE.

PLANT SCHEDULE

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	CALIPER	HEIGHT	REMARKS
EXISTING TREES							
	EX	14	EXISTING TREE / TO REMAIN	B & B	2" CAL. MIN.	12' - 14' HT.	EXISTING TREE TO REMAIN TO BE PROTECTED WITH TREE PROTECTION FENCING. REFER TO TREE PRES. DETAILS.

SHADE TREES

	CI	4	CARYA ILLINOENSIS / PECAN HICKORY	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	MA	5	MAGNOLIA ACUMINATA / CUCUMBERTREE	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	MG	1	MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY' / BRACKEN'S MAGNOLIA	B & B	1.5" CAL. MIN.	10' - 12' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	QP	4	QUERCUS PAGODA / CHERRYBARK OAK	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS
SHRUBS							
	IG	79	ILEX GLABRA 'DENSE' / DENSE INKBERRY HOLLY	CONT.	3" HT. MIN.	30" O.C.	FULL AND MATCHING
	JS	4	JUNIPERUS SCOPULORUM 'GRAY GLEAM' / GRAY GLEAM JUNIPER	CONT.	4" HT. MIN.	48" O.C.	FULL AND MATCHING
	MV	5	MAGNOLIA x 'YULCAN' / YULCAN MAGNOLIA	CONT.	5" HT. MIN.	60" O.C.	FULL AND MATCHING

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS
GROUNDCOVERS							
	LF	195	LEUCOTHOE FONTANESIANA 'LITTLE FLAMES' / LEAFSCAPE™ LITTLE FLAMES LEUCOTHOE	CONT.	6" HT. X 10" W.	12" O.C.	FULL AND MATCHING
	LN	120	LAVANDULA x INTERMEDIA 'NIKO' PP #24193 / PHENOMENAL® LAVENDER	CONT.	12" HT. X 16" W.	24" O.C.	FULL AND MATCHING
	LS	665	LIRIOPE SPICATA / CREEPING LILYTURF	CONT.	8" HT. X 10" W.	12" O.C.	FULL AND MATCHING
	MD	481	MICROBOTA DECUSSATA 'CONDREW' / DREW'S BLUE SIBERIAN CARPET CYPRESS	CONT.	4" HT. X 10" W.	12" O.C.	FULL AND MATCHING
	NP	32	NARCISSUS 'PETIT FOUR' / PETIT FOUR NARCISSUS	CONT.	4" HT. X 6" W.	10" O.C.	FULL AND MATCHING
	PS	36	PAEONIA x 'SMITH OPUS 1' / MSAKA™ ITOH PEONY	CONT.	4" HT. X 8" W.	14" O.C.	FULL AND MATCHING
	PT	162	PARTHENOCISSUS TRICUSPIDATA / JAPANESE CREEPER	CONT.	4" HT. X 8" W.	12" O.C.	FULL AND MATCHING
	SK	398	SEDUM KAMTSHATICUM / ORANGE STONECROP	CONT.	4" HT. X 10" W.	12" O.C.	FULL AND MATCHING

SOD							
	SOD	6,565 SF	FESTUCA ARUNDINACEA / TALL FESCUE	SOD	N/A	N/A	SOD TO HAVE TIGHT, SAND-FILLED JOINTS, ROLLED. SOD TO BE FREE OF WEEDS, PESTS, AND DISEASE.

Lee's Summit, Missouri - Landscape Data Table		
Site Area: 0.67 acres (29,195 sqft) - Zoning (CP-2) Planned Community Commercial		
	REQUIRED	PROVIDED
Section 8.790 - Landscape Minimum Requirements		
A. Street Frontage		
One tree shall be planted for each 30 feet of street frontage (public or private) within the landscape setback		
Private Drive: .95 inft / 30' = 4 Trees Douglas Street: .96 inft / 30' = 4 Trees	Private Drive - 4 Trees Douglas Street - 4 Trees	Private Drive - 4 Trees Douglas Street - 4 Trees
A minimum of 20 feet wide landscape strip shall be provided along the full length of any street frontage, except where the building setback is less than 20 feet.	Yes	Yes
One shrub shall be provided for every 20 feet of street frontage within the landscape setback abutting street frontage. Douglas Street: .96 LF / 20' = 5 Shrubs	Douglas Street - 5 Shrubs	Douglas Street - 5 Shrubs
B. Open Yard Areas		
The minimum open yard area landscaping requirements shall be two shrubs per 5,000 SF of total lot area (excluding building footprint area).		
29,195 sqft Lot Area - 1,436 sqft Building Footprint = 27,759 sqft 27,759 / 5,000 = 6 6 x 12 = 12 Shrubs	12 Shrubs	12 Shrubs
In addition to the trees required based on street frontage, additional trees shall be required at a ratio of one tree for every 5,000 SF of lot area not covered by buildings/structures. 29,195 sqft Lot Area - 1,436 sqft Building Footprint = 27,759 sqft 27,759 sqft / 5,000 sqft = 6 Trees	6 Trees	6 Trees
Section 8.810 - Parking Lot Landscaping and Trees		
Landscape islands, strips or other planting areas shall be located within the parking lot and constitute at least five percent of the entire area devoted to parking spaces, aisles and driveways. A landscape island shall be located at the end of every parking bay between the last parking space and an adjacent travel aisle or driveway. The island shall be no less than nine feet wide for at least one-half the length of the adjacent parking space.	Yes	Yes
Section 8.820 - Screening, Parking Lot		
For any parking lot designed or intended to accommodate five cars or more and any area set aside for loading or unloading of trucks or vans, if such parking lot or loading area is visible from a street right of way, a visual screen shall be provided as required below.	Yes	Yes
Planted only screening: a hedge consisting of at least 12 shrubs per 40 linear feet that will spread into a continuous visual screen within two growing seasons. Shrubs must be at least 18 inches tall at the time of planting and be of a species that will normally grow to at least two and one-half feet in height at maturity and be suitable for the parking lot application.		

REVISIONS

NO.	DESCRIPTION	DATE

Kimley»Horn

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PHONE: (816) 652-2300
WWW.KIMLEY-HORN.COM
PROJECT NO. 268543003
DATE: 05/10/2024
EXP. DATE: 05/10/2025

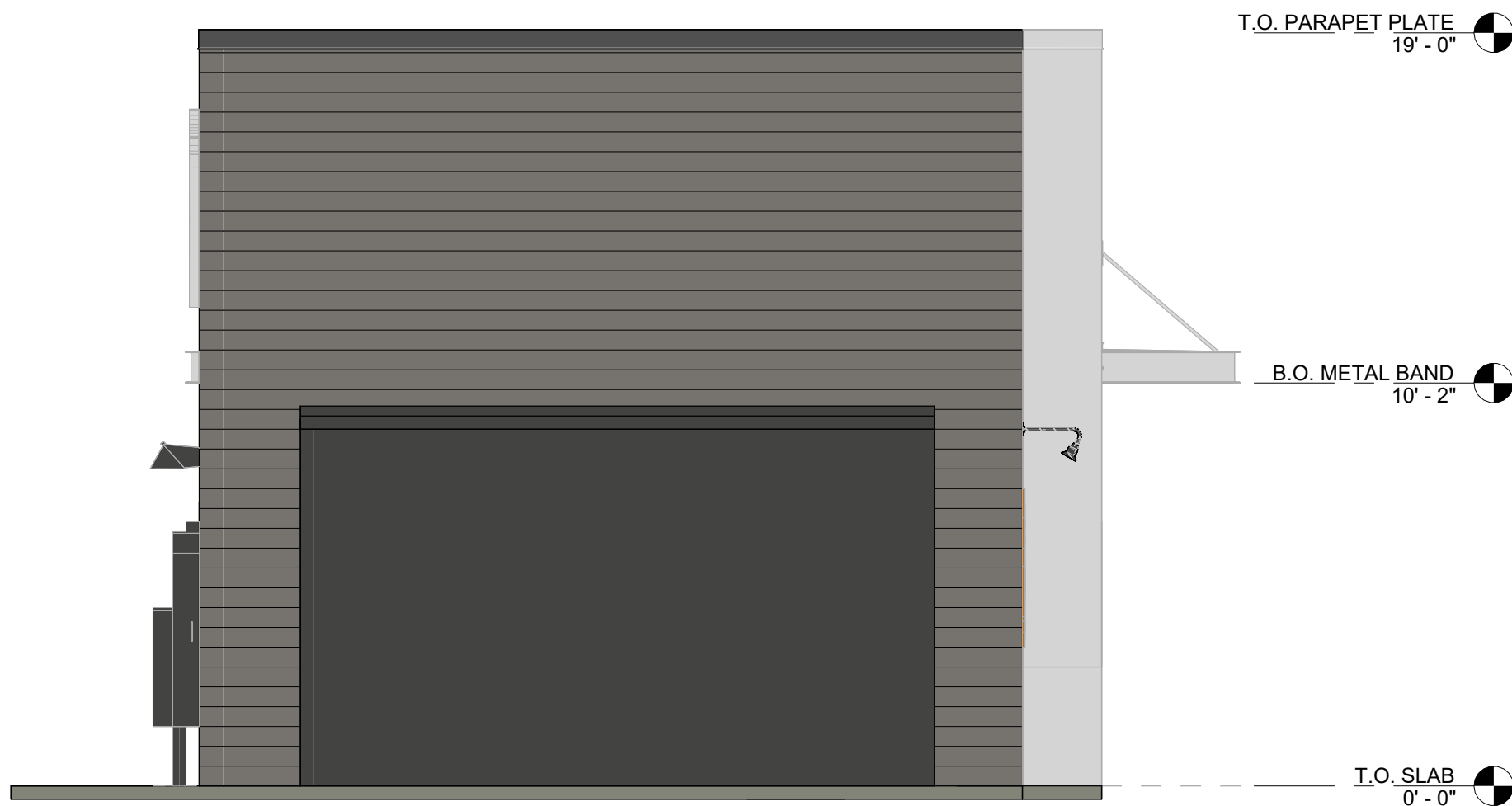
SCALE:

AS NOTED	DESIGNED BY: CMS
	DRAWN BY: CMS
	CHECKED BY: SAR

DUNKIN' LEE'S SUMMIT

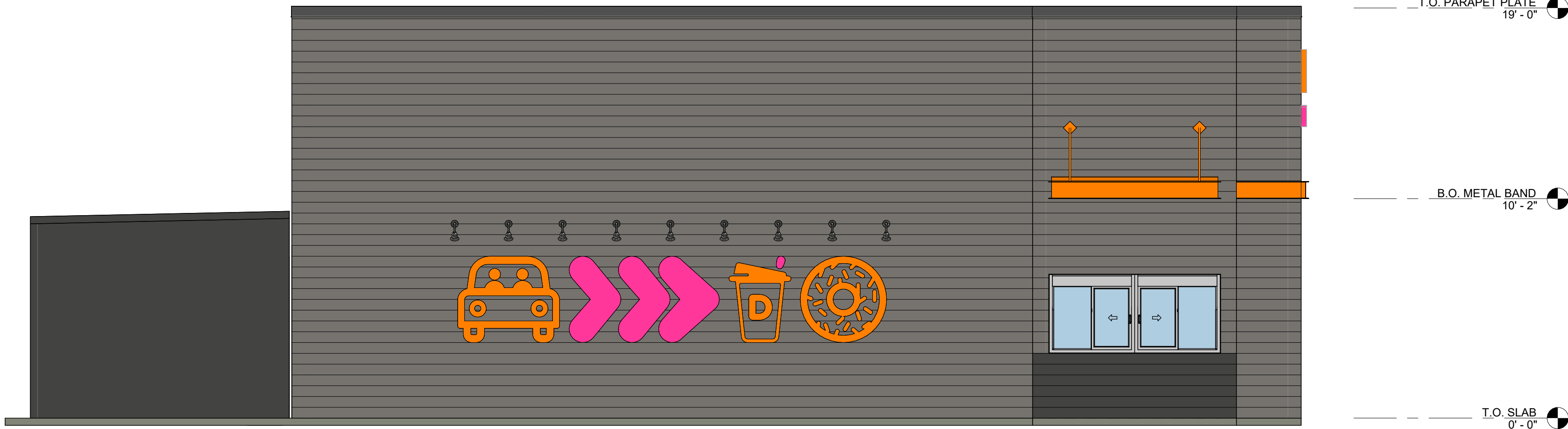
ORIGINAL ISSUE: 05/10/2024
KHA PROJECT NO: 268543003
SHEET NUMBER
L100

APPROVED
By Jonathan Sisco at 1:18 pm, Apr 26, 2024



EAST ELEVATION

1/4" = 1'-0"



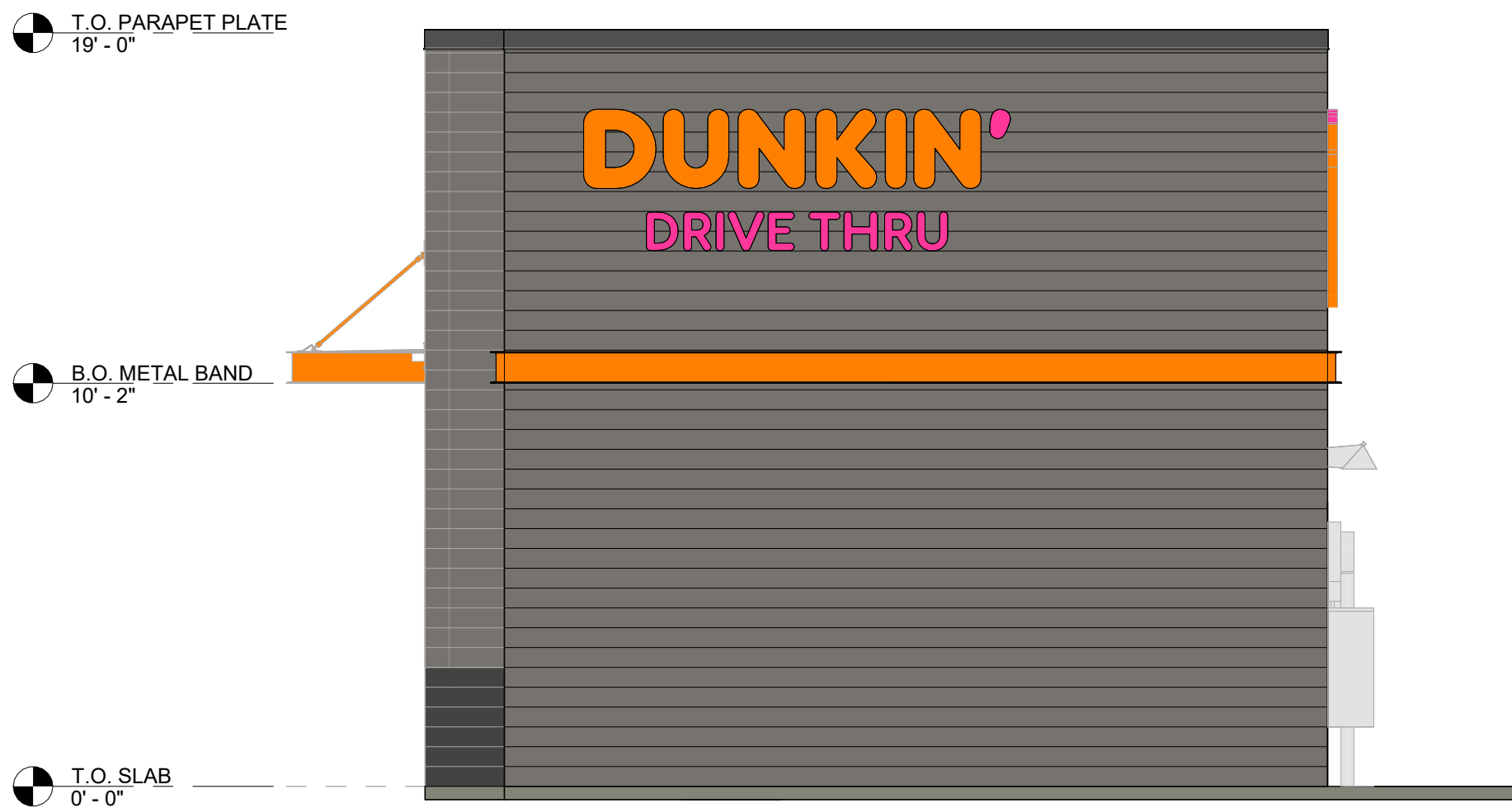
NORTH ELEVATION (DRIVE-THRU)

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION (NE DOUGLAS STREET)

1/4" = 1'-0"



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REVISION		
No.	Date	Description

DUNKIN' DRIVE-THRU ONLY

1399 NE DOUGLAS ST.
LEE SUMIT, MO

PRELIMINARY LAYOUT | SCALE: 1/4" = 1'-0"

SHEET No:

EER 1

DATE: 04-25-2024