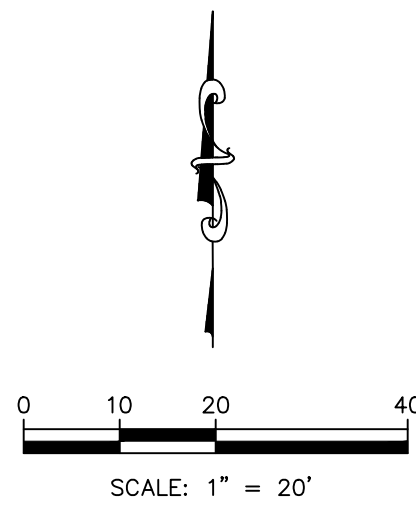


PRELIMINARY
PENDING FINAL DESIGN FOR BLUE PARKWAY

COORDINATE TABLE			
	NORTHING	EASTING	DESCRIPTION
1000	997148.48	2827535.73	BC
1001	997064.29	2827547.44	BC
1002	997107.84	2827860.43	BC
1003	997122.72	2827858.35	BC
1004	997123.41	2827863.31	R5.0
1005	997127.96	2827861.23	BC
1006	997167.05	2827843.32	R43.0
1007	997164.67	2827886.26	BC
1008	997200.86	2827888.26	BC
1009	997200.03	2827903.24	R15.0
1010	997209.31	2827891.45	BC
1011	997211.06	2827889.24	SAWCUT
1012	997195.98	2827877.05	SAWCUT
1013	997144.41	2827564.56	BC
1014	997145.10	2827569.51	R5.0
1015	997145.79	2827574.47	BC
1016	997120.04	2827578.05	BC
1017	997119.35	2827573.10	R5.0

COORDINATE TABLE			
	NORTHING	EASTING	DESCRIPTION
1018	997118.66	2827568.14	BC
1019	997181.90	2827833.96	BC
1020	997182.59	2827838.92	R5.0
1021	997187.55	2827838.23	BC
1022	997188.01	2827841.59	BC
1023	997173.16	2827843.66	R15.0
1024	997172.33	2827858.64	BC
1025	997166.22	2827858.30	BC
1026	997167.05	2827843.32	R15.0
1027	997152.19	2827845.39	BC
1028	997151.89	2827843.19	BC
1029	997156.84	2827842.50	R5.0
1030	997156.15	2827837.55	BC
1032	997068.83	2827601.83	LP
1033	997083.71	2827708.80	LP
1034	997098.60	2827815.77	LP
1035	997165.24	2827808.52	LP



DETAILS - SEE DETAIL SHEET C190 FOR THE FOLLOWING DETAILS
001 STRAIGHT BACK CURB AND GUTTER
040 ASPHALT PAVEMENT

- NOTES:
- 6 DISTURBED AREAS TO BE SEEDED AS NOTED ON PLAN. REFER TO SHEET C190 FOR REQUIREMENTS.
 - 6A 4" OF ROCK MULCH ON NON-WOVEN FILTER FABRIC (1/2" TO 1-1/2", KANSAS RIVER ROCK). TOP OF ROCK MULCH BED TO BE AT OR BELOW TOP OF ADJACENT CURB OR WALK AS APPLICABLE.
 - 12 WHITE PARKING LOT STRIPING (SEE SPECIFICATIONS THIS SHEET)
 - 97 PROPOSED SITE LIGHTING (REFER TO MEP PLANS AND SPECIFICATIONS). CENTER OF POLE BASE SHALL BE PLACED A MINIMUM OF 3'-0" FROM BACK OF CURB. SEE DIMENSION PLAN FOR LOCATIONS.

MARKING MATERIALS: APWA 2306.7G
PARKING STALLS STRIPING AND SYMBOLS
ALL SURFACES - TRAFFIC MARKING PAINT, COLOR AS INDICATED.
CROSSWALKS AND GORE AREAS
ALL SURFACES - TRAFFIC MARKING PAINT, COLOR AS INDICATED.

PAVEMENT MARKING SPECIFICATIONS:
PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF KANSAS CITY, MISSOURI CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION SPECIFICATIONS SECTION 2306 AS ADOPTED AND AMENDED BY THE CITY OF LEE'S SUMMIT.

THERE IS NO PHYSICAL EVIDENCE OF OIL OR GAS WELLS ON THE SUBJECT PROPERTY. THERE IS NO RECORD OF A PERMITTED OIL OR GAS WELL ON THE MDNR MISSOURI GEOLOGICAL SURVEY.

NOTE:
1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
2. REFER TO SHEET L101 FOR PHASE II LANDSCAPE PLAN.

- LEGEND:**
- | | | |
|--|--|--|
| SECTION CORNER | SPLICE BOX | SECTION CORNER |
| CONTROL POINT | UTILITY VAULT | MONUMENT FOUND (ORIGIN UNCERTAIN UNLESS OTHERWISE NOTED) |
| BENCHMARK | SANITARY SEWER MANHOLE | 1/2"x24" REBAR W/214F CAP SET (UNLESS NOTED OTHERWISE) |
| MONUMENT FOUND (ORIGIN UNCERTAIN UNLESS OTHERWISE NOTED) | STORM SEWER MANHOLE | MAGNAIL W/ WASHER SET (UNLESS NOTED OTHERWISE) |
| OVERHEAD UTILITY LINE (# OF LINES) | SANITARY SEWER CLEAN OUT | CHISELED PLUS SET (UNLESS NOTED OTHERWISE) |
| LIGHT POLE | DOWN SPOUT | MEASURED VALUE |
| UTILITY POLE | GRATE INLET | CALCULATED |
| ELECTRIC METER | FLARED END SECTION | DEED VALUE |
| AIR CONDITIONER | STREET/TRAFFIC SIGN | PLAT VALUE |
| GAS METER | TRAFFIC SIGNAL LIGHT POLE | CALCULATED PLAT VALUE |
| WATER METER | HANDICAP SYMBOL | CALCULATED MEASURED VALUE |
| WATER LINE GATE VALVE | PARKING STALL COUNT | RECORD VALUE |
| FIRE HYDRANT | HANDICAP SIGN | SANITARY SEWER EASEMENT |
| WATER SPIGOT | DECIDUOUS TREE | STORM DRAINAGE EASEMENT |
| SPRINKLER VALVE | CONIFEROUS TREE | TYPE 1/TYPE 3 JOINT TYPE |
| BREAKER BOX | TREE LINE | LANDING |
| ELECTRIC OUTLET | TURN LANE DIRECTION | RAMP |
| DOOR ELEVATION (AT THRESHOLD) | ASPHALT SURFACE COURSE | TRANSITION |
| FINISH FLOOR ELEVATION | FULL DEPTH ASPHALT PAVEMENT (040) | |
| BUSH | CONCRETE CURB AND GUTTER | |
| BASKETBALL GOAL | CONCRETE CURB AND GUTTER WITH REVERSE FLOW | |
| LIMITS OF DISTURBANCE | COORDINATE POINT | |
| ASPHALT EDGE TREATMENT. SEE SECTION ON C190 | | |



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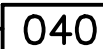
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EXPRES 12/31/25

LEE'S SUMMIT HS - EAST PARKING LOT
400 SE BLUE PARKWAY
LEE'S SUMMIT, MISSOURI 64063

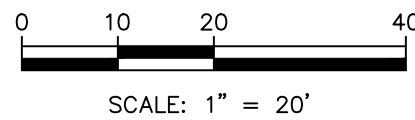
CONSTRUCTION DOCUMENTS PHASE II
SITE AND DIMENSION PLAN

PROJ. NO. C23.1880
DESIGNER DDW
DRAWN BY NJN
CFN 1880SP PHII
SHEET C100
REV 1

DDW DDW DSN
N/JN N/JN N/JN
CITY COMMENTS
5/16/24
3/29/24
DATE
REV
DESCRIPTION
CHK



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LEE'S SUMMIT HS - EAST PARKING LOT 400 SE BLUE PARKWAY LEE'S SUMMIT, MISSOURI 64063		CONSTRUCTION DOCUMENTS PHASE II GRADING & EROSION CONTROL PLAN PH II	
PROJ. NO.		C23-1880	
DESIGNER DDW		DRAWN BY NJN	
CFN 1880GP PHII		REV	
SHEET C300		1	

ELECTRICAL SYMBOLS

THIS IS A MASTER LEGEND AND NOT ALL SYMBOLS OR ABBREVIATIONS ARE USED.

STANDARD MOUNTING HEIGHTS

AUDIBLE APPLIANCE (CENTERLINE)	84"
ALARM (TOP OF DEVICE)	46"
ANNUNCIATOR PANEL (TOP OF DISPLAY)	60"
CONTROLS (TOP OF DEVICE)	46"
DATA WALL OUTLET	SAME AS ADJACENT DEVICE, UNO
EXIT SIGN (WALL MOUNTED)	92"
FIRE ALARM ANNUNCIATOR PANEL (TOP OF DISPLAY)	60"
FIRE ALARM BELL (EXTERIOR) (CENTERLINE)	120"
FIRE ALARM CONTROL PANEL/UNIT (TOP OF DISPLAY)	60"
INTERCOM (TOP OF DEVICE)	46"
PULL STATION (TOP OF DEVICE)	46"
RECEPTACLE	24"
RECEPTACLE (ABOVE COUNTER)	46" ABOVE BACKSLASH/COUNTER, 40" MAX
RECEPTACLE (GLOVEY (CENTERLINE)	84"
RECEPTACLE (EQUIPMENT ROOMS) (TOP OF DEVICE)	46"
RECEPTACLE (EXTERIOR)	46"
RECEPTACLE (GARAGES)	24"
REMOTE INDICATING LIGHT (EQUIPMENT ROOMS) (TOP OF DEVICE)	46"
REMOTE INDICATING LIGHT (FINISHED AREAS)	CEILING
SAFETY SWITCH (TOP OF DEVICE)	46"
STARTER (TOP OF DEVICE)	46"
TELEPHONE WALL OUTLET (TOP OF DEVICE)	46"
TELECOMMUNICATIONS BACKBOARD	6"
TELEVISION OUTLET	REFER TO DRAWINGS
VISIBLE APPLIANCE (CENTERLINE)	84"

INSTALL DEVICES/OUTLET BOXES AT THE MOUNTING HEIGHTS SHOWN ABOVE UNO IN THE CONSTRUCTION DOCUMENTS. MOUNTING HEIGHTS LISTED ABOVE, OR ELSEWHERE IN THE CONSTRUCTION DOCUMENTS, ARE AFF OR AFG TO BOTTOM, UNO. ALL DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH CURRENT ADA AND LOCAL REQUIREMENTS.

ABBREVIATIONS

AF	AMPERE FUSE SIZE	MCB	MAIN CIRCUIT BREAKER
AFC	ABOVE FINISHED CEILING	MCC	MOTOR CONTROL CENTER
AFF	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
AFG	ABOVE FINISHED GRADE	MIN	MINIMUM
AHJ	AUTHORITY HAVING JURISDICTION	MLO	MAIN LUGS ONLY
AHU	AIR HANDLING UNIT	MLV	MAGNETIC LOW-VOLTAGE
AIC	AMPERE INTERRUPTING CAPACITY	MOC	MAXIMUM OVERCURRENT PROTECTION
AT	AMPERE SWITCH SIZE	MTD	MOUNTED
ATS	AMPERE TRIP SETTING	N/A	NOT APPLICABLE
ATV	AUTOMATIC TRANSFER SWITCH	NF	NON-FUSED
AV	AUDIO VISUAL	NL	NIGHT LIGHT (24HR ON)
BA	BUILDING AUTOMATION SYSTEM	NIC	NOT IN CONTRACT
BES	BATTERY ENERGY STORAGE SYSTEM	NIS	NOT IN SCOPE
BKR	BREAKER	NRTL	NATIONALLY RECOGNIZED TESTING LABORATORY (CSA ETL, NSF, UL)
C	CATEGORY	NTS	NOT TO SCALE
CAT	CABLE TELEVISION SYSTEM	OS	OCCUPANCY SENSOR
CCTV	CLOSED CIRCUIT TELEVISION	P	POLE
CD	CANDELA	PAR	PARTIAL CIRCUIT
CKT	CIRCUIT	PH	PHASE
CODE	APPLICABLE CODE ADOPTED BY JURISDICTION	PNL	PANEL
CT	CURRENT TRANSFORMER	PNLBD	PANELBOARD
CTR	CONTROL/CONTROLLED	PROV	PROVIDE, FURNISH AND INSTALL
CVD	CUMULATIVE VOLTAGE DROP	PT	POTENTIAL TRANSFORMER
DDEM	DEMOLITION	PV	PHOTOVOLT-TAC
DPDT	DOUBLE-POLE, DOUBLE-THROW	QTY	QUANTITY
DPST	DOUBLE-POLE, SINGLE-THROW	RREL	RELOCATE
E/ETREX	EXISTING/THROW TO REMAIN	RCP	RECEPTACLE
EC	ELECTRICAL CONTRACTOR	RLA	RUNNING LOAD AMPS
EF	EXHAUST FAN	RTU	ROOFTOP UNIT
EMS	EMERGENCY	SCCR	SHORT-CIRCUIT CURRENT RATING
EN	ENERGY MANAGEMENT SYSTEM	SD	SMOKE DETECT DETECTOR
ELV	ELECTRONIC LOW-VOLTAGE	SF	SQUARE FEET
ELMS	ENERGY-REDUCING MAINTENANCE	SPDT	SINGLE-POLE, DOUBLE-THROW
EV	ELECTRIC VEHICLE	SPST	SINGLE-POLE, SINGLE-THROW
EWIC	ELECTRIC WATER COOLER	SSBJ	SUPPLY-SIDE BONDING JUMPER
FAAP	FIRE ALARM ANNUNCIATOR PANEL	ST	SHUNT TRIP
FAB	FIRE ALARM CONTROL PANEL	SWBD	SWITCHBOARD
FCC	FAULT CURRENT AMPS AVAILABLE	SWGR	SWITCHGEAR
FCL	FAN COIL UNIT	TBB	TELECOMMUNICATIONS BONDING BACKBONE
FJ	FINISHED FLOOR	TBD	TO BE DETERMINED
FLA	FULL LOAD AMPS	TGB	TELECOMMUNICATIONS GROUND BUS BAR
FLR	FLOOR	TL	TWISTLOCK
GC	GENERAL CONTRACTOR	TMGB	TELECOMMUNICATIONS MAIN GROUND BUS BAR
GEC	GROUNDING ELECTRODE CONDUCTOR	TYP	TYPICAL
GES	GROUNDING ELECTRODE SYSTEM	UF	UNDERFLOOR
GFR	GROUND FAULT RELAY	UG	UNDERGROUND
G	GROUND	UIS	UNDERSLAB
IG	ISOLATED GROUND	UH	UNIT HEATER
ISC	SHORT CIRCUIT CURRENT	UNO	UNLESS NOTED OTHERWISE
JB/J-BOX	JUNCTION BOX	UPS	UNINTERRUPTIBLE POWER SUPPLY
LF	LINEAR FEET	VO	VOLTAGE DROP
LRA	LOCKED ROTOR AMPS	VFD	VARIABLE FREQUENCY DRIVE
LTGLTS	LIGHTINGLIGHTS	VS	VACUANCY SENSOR
MAU	MAKEUP AIR UNIT	W	WIRE
MAX	MAXIMUM	WI	WITH
MCA	MINIMUM CIRCUIT AMPACITY	WP	WEATHER PROOF
		WR	WEATHER RESISTANT
		WT	WATERTIGHT
		XP	EXPLOSION-PROOF

LINETYPE LEGEND

THROUGHOUT THE DRAWINGS DIFFERENT LINETYPES ARE USED IN COMBINATION WITH THE SYMBOLS TO INDICATE THE STATUS OF ITEMS AS EXISTING, TO BE DEMOLISHED, TO BE INCLUDED AS PART OF NEW WORK AND/OR ITEMS WHICH ARE ANTICIPATED TO BE PROVIDED IN THE FUTURE. THE STATUS OF ITEMS USING THESE LINETYPES ARE RELATIVE TO THE VIEW IN WHICH THEY APPEAR. PHASING SHOWN IN DRAWINGS IS NOT INTENDED TO FULLY DESCRIBE ALL NECESSARY CONSTRUCTION PHASING, WHICH IS DETERMINED BY THE CONTRACTOR AS PART OF THEIR RESPONSIBILITIES. ANY SUCH PHASING DESCRIBED IN THE CONSTRUCTION DOCUMENTS ARE GENERAL AND ONLY INTENDED TO INDICATE A BROAD ORDER FOR THE SAKE OF DESCRIBING THE PROJECT. THE FOLLOWING LINETYPES MAY BE USED ON ANY DEVICE, EQUIPMENT, NOTE, LINE, SHAPE, ETC.

EXISTING	NEW
DEMOLISH	FUTURE

HATCHING LEGEND

ENLARGED PLAN	
NOT IN SCOPE (NIS)	

ANNOTATION

1	MECHANICAL OR FIRE PROTECTION PLAN NOTE CALLOUT
1	PLUMBING PLAN NOTE CALLOUT
1	ELECTRICAL OR FIRE ALARM PLAN NOTE CALLOUT
1	TECHNOLOGY PLAN NOTE CALLOUT
1	PLUMBING EQUIPMENT DESIGNATION. (CONTRACTOR FURNISHED AND INSTALLED, UNO). REFER TO PLUMBING FIXTURE OR EQUIPMENT SCHEDULES
1	EQUIPMENT DESIGNATION (OWNER FURNISHED, CONTRACTOR INSTALLED, UNO)
CU	MECHANICAL EQUIPMENT DESIGNATION (CONTRACTOR FURNISHED AND INSTALLED, UNO)
	CONNECTION POINT OF NEW WORK TO EXISTING
1	DETAIL REFERENCE UPPER NUMBER INDICATES DETAIL NUMBER LOWER NUMBER INDICATES SHEET NUMBER
EI	SECTION CUT DESIGNATION
	DEDICATED EQUIPMENT ACCESS TILE
	ACCESS PANEL

CIRCUITING & WIRING

	HOMERUN TO PANELBOARD. INFORMATION AT ARROWS ARE CIRCUIT NUMBERS AND PANELBOARD FOR TERMINATION. REFER TO PANELBOARD SCHEDULES FOR BRANCH CIRCUIT CONDUCTOR SIZES.
	INDICATES RELAY NUMBER

CONDUCTOR TICK MARK LEGEND

WHERE TICK MARKS ARE SHOWN, THE FOLLOWING SHALL GOVERN:	
	SWITCHED HOT (PHASE) CONDUCTORS (SHOWN TRAILING NEUTRAL)
	NEUTRAL (GROUNDED) CONDUCTOR
	UNSWITCHED HOT (PHASE) CONDUCTORS (SHOWN LEADING NEUTRAL)
	NOTE: HASH MARKS INDICATE QUANTITY OF CONDUCTORS
	EQUIPMENT GROUNDING CONDUCTOR IN CONDUIT (GREEN INSULATION OR BARE)
	ISOLATED GROUNDING CONDUCTOR IN CONDUIT (GREEN INSULATION WITH YELLOW TRACER)

BRANCH CIRCUIT CONDUCTOR TABLE

WHERE TICK MARKS ARE NOT SHOWN, THE FOLLOWING SHALL GOVERN:			
# OF POLES	HOT (PHASE)*	NEUTRAL (GROUNDED)**	GROUNDING***
1P	(1)	(1) UNO	(1)
2P	(2)	(1) UNO	(1)
3P	(3)	(1) UNO	(1)

* PROVIDE ADDITIONAL CONDUCTORS THROUGH ENTIRE CIRCUIT (SWITCHED, UNSWITCHED/DEM, ETC.) AS INDICATED THROUGHOUT CONSTRUCTION DOCUMENTS AND AS REQUIRED FOR A COMPLETE AND WORKING SYSTEM.

** REFER TO SPECIFICATIONS FOR LIMITATIONS ON SHARING NEUTRAL (GROUNDED) CONDUCTORS. DO NOT CIRCUIT AS A MULTI-WIRE BRANCH CIRCUIT, UNO.

*** PROVIDE ADDITIONAL ISOLATED GROUNDING CONDUCTORS WHERE INDICATED.

REFER TO SPECIFICATIONS, PLANS, NOTES, WIRING AND CONTROL DIAGRAMS FOR ADDITIONAL CIRCUITING REQUIREMENTS.

LIGHTING

A	LIGHT FIXTURE
a	a = LOWER CASE LETTER IS SWITCH IDENTIFIER
A	A = UPPER CASE LETTER INDICATES LIGHT FIXTURE TYPE
[OS]	[OS] = INTEGRAL OCCUPANCY SENSOR
—	— = WALL MOUNT
>	> = ARROW INDICATES AIMING DIRECTION
	LIGHT FIXTURE CIRCUITED AS A NIGHT LIGHT (NL)
	EMERGENCY LIGHT FIXTURE WITH EMERGENCY LIGHTING BATTERY PACK OR CONNECTED TO EMERGENCY SOURCE
	NIGHT LIGHT/EMERGENCY LIGHT FIXTURE WITH EMERGENCY BATTERY PACK OR CONNECTED TO EMERGENCY SOURCE
	LIGHT FIXTURE WITH DUAL BALLASTS CIRCUITED SEPARATELY (SHADING IMPLIES EMERGENCY LIGHT FIXTURE)
	LIGHTING TRACK (# INDICATES RELAY NUMBER)
	MIRROR LIGHTS
	EXTERIOR PARKING LOT LIGHT FIXTURE
	EXTERIOR PEDESTRIAN POST TOP LIGHT FIXTURE
	EXTERIOR LIT BOLLARD LIGHT FIXTURE
	EXIT SIGN - CEILING / WALL MOUNTED, ARROWS AS INDICATED, FACE HATCHED
	EMERGENCY LIGHTING UNIT EQUIPMENT WITH BATTERY PACK - CEILING/WALL MOUNTED
	AFEA (AREA FOR EVALUATION ASSISTANCE) SIGN - CEILING/WALL MOUNTED, ARROWS AS INDICATED

REFER TO LIGHT FIXTURE SCHEDULE FOR MORE INFORMATION.

POWER EQUIPMENT

	ELECTRICAL PANELBOARD (SURFACE OR FLUSH MOUNT)
	ELECTRICAL CABINET (SURFACE OR FLUSH MOUNT), TYPE AS NOTED
	PLYWOOD TERMINAL BOARD FOR TELEPHONE SYSTEM, UNO, SIZE AS NOTED
	ELECTRICAL EQUIPMENT ON HOUSEKEEPING PAD
	TRANSFORMER
	DISCONNECT SWITCH: 200/15/50/3R = AMPERES/POLES/FUSE/NEMA ENCLOSURE RATING CB = CIRCUIT BREAKER (200/3/CB) FM = FACTORY FURNISHED AND MOUNTED NF = NON-FUSED OL = SIZE INDICATED ON ONE-LINE DIAGRAM NO VALUE FOR NEMA ENCLOSURE = NEMA 1
	COMBINATION DISCONNECT (SAFETY) SWITCH AND MOTOR STARTER: 30/3/15/1/3R = AMPERES/POLES/FUSE/NEMA STARTER SIZE/NEMA ENCLOSURE RATING CB = CIRCUIT BREAKER (30/3/CB/1) FM = FACTORY FURNISHED AND MOUNTED NF = NON-FUSED OL = SIZE INDICATED ON ONE-LINE DIAGRAM NO VALUE FOR NEMA ENCLOSURE = NEMA 1
	MAGNETIC MOTOR STARTER, NEMA SIZE AS NOTED, 3-POLE, UNO
	VARIABLE FREQUENCY DRIVE
	INDICATING LIGHT
	EMERGENCY POWER OFF BUTTON
	STOP-START PUSH BUTTON CONTROL STATION
	HAND-OFF-AUTO PUSH BUTTON CONTROL STATION
	MUSHROOM-TYPE PUSH BUTTON
	OVERHEAD PADDLE FAN

BOXES, LIGHTING CONTROL & WIRING DEVICES

SWITCH LETTER DESIGNATIONS AS FOLLOWS: BLANK = SINGLE POLE 2 = TWO POLES 3 = THREE-WAY 4 = THREE-WAY F = FAN SPEED CONTROL FM = FACTORY FURNISHED AND MOUNTED PH = FRACTIONAL HORSEPOWER MANUAL CONTROLLER IH = INTEGRAL HORSEPOWER MANUAL CONTROLLER K = KEYS LW = LOW VOLTAGE / DIGITAL M = MANUAL MOTOR STARTER DISCONNECT OSR = OCCUPANCY SENSOR P = SPST PILOT LIGHT WP = WEATHER PROOF 30/3/3R = AMPERES/POLES/NEMA ENCLOSURE RATING # = REFER TO LIGHTING CONTROL DEVICE SCHEDULE	
	AUTOMATIC LOAD CONTROL RELAY
	BRANCH CIRCUIT TRANSFER SWITCH
	CEILING / WALL MOUNTED OCCUPANCY SENSOR (# INDICATES TYPE PER SCHEDULE)
	CORNER 90 DEGREE SENSING: ONE-DIRECTION SENSING, CEILING/WALL MOUNT CEILING MOUNT, TWO-DIRECTION SENSING CEILING MOUNT, FOUR-DIRECTION SENSING
	CONTACTOR (SIZE, COIL VOLTAGE AND NUMBER OF POLES AS INDICATED)
	TRACK-MOUNTED CURRENT LIMITER (# INDICATES AMPERAGE)
	DAYLIGHT SENSOR (# INDICATES TYPE PER SCHEDULE)
	LIGHTING CONTROLS PROCESSOR AND/OR EQUIPMENT
	POWER PACK (# INDICATES TYPE PER SCHEDULE)
	PHOTOELECTRIC SWITCH
	ROOM CONTROLLER (# INDICATES TYPE PER SCHEDULE)
	TIME SWITCH
	SIMPLEX RECEPTACLE - NEMA 5-20R, UNO
	DUPLEX RECEPTACLE - NEMA 5-20R, UNO
	DUPLEX RECEPTACLE - NEMA 5-20R, UNO
	SPECIAL RECEPTACLE - NEMA TYPE AS NOTED
	TWIST-LOCK TYPE RECEPTACLE
	BLANK FACE GFCI FEED THROUGH DEVICE
	GFCI TYPE RECEPTACLE*
	AUTOMATICALLY CONTROLLED SIMPLEX RECEPTACLE
	SPLIT-WIRED DUPLEX RECEPTACLE*, HALF AUTOMATICALLY CONTROLLED
	AUTOMATICALLY CONTROLLED DUPLEX RECEPTACLE*
	DOUBLE DUPLEX RECEPTACLE WITH ONE DUPLEX AUTOMATICALLY CONTROLLED
	DOUBLE DUPLEX RECEPTACLE WITH BOTH DUPLEXES AUTOMATICALLY CONTROLLED
	EMERGENCY RECEPTACLE*
	RECEPTACLE INSTALLED ABOVE COUNTER OR BACKSLASH*
	RECEPTACLE INSTALLED IN CEILING*
	RECEPTACLE INSTALLED IN FLOOR, A = TYPE, *
	RECEPTACLE INSTALLED VIA DROP CORD*
	RECEPTACLE INSTALLED IN HORIZONTAL ORIENTATION*
ADDITIONAL RECEPTACLE LETTER DESIGNATIONS AS FOLLOWS: CH = CLOCK HANGER TYPE G = RCPT PROTECTED BY GFCI CIRCUIT BREAKER OR UPSTREAM GFCI DEVICE IG = ISOLATED GROUND S = MANUALLY SWITCHED SP = TAMPER RESISTANT TV = SURGE PROTECTION TV = TELEVISION USB = USB/DUPLEX WP = WEATHER PROOF COVER WR = WEATHER RESISTANT	
	MULTI-OUTLET ASSEMBLY
	TELEPHONE OUTLET
	DATA OUTLET
	MULTI-SERVICE OUTLET, TELEPHONE AND DATA
	ABOVE COUNTER, TYP WALL, TYP FLOOR, TYP A = TYPE
	MULTI-SERVICE POWER POLE WITH TELEPHONE, DATA AND POWER OUTLETS A = TYPE, REFER TO PLANS, SCHEDULES AND SPECIFICATIONS
	MULTI-SERVICE FLOOR BOX WITH TELEPHONE, DATA AND POWER OUTLETS A = TYPE, REFER TO PLANS, SCHEDULES AND SPECIFICATIONS
	POKE THROUGH, A = TYPE, REFER TO PLANS, SCHEDULES AND SPECIFICATIONS
	THERMOSTAT
	JUNCTION/OUTLET BOX, MOUNTING AS NOTED OR DETAILED.

* SYMBOL DEMONSTRATED WITH DUPLEX RECEPTACLE, WHEN USED IN COMBINATION WITH OTHER DEVICES MEANING IS SIMILAR FOR THOSE DEVICE TYPES.
REFER TO LIGHTING CONTROL DEVICE SCHEDULE FOR MORE INFORMATION.

ELECTRICAL ONE-LINE & RISER DIAGRAM

	SWITCH (RATING AND POLES AS INDICATED)
	DRAWOUT CIRCUIT BREAKER (RATING, POLES, TRIP SIZE AND BREAKER TYPE AS INDICATED)
	FUSED SWITCH (RATING, POLES, FUSE SIZE AND TYPE AS INDICATED)
	COMBINATION FUSED SWITCH/STARTER (RATING, POLES, FUSE SIZE, FUSE TYPE, NEMA STARTER SIZE, NEMA ENCLOSURE TYPE AS INDICATED)
	CIRCUIT BREAKER (RATING, POLES, TRIP SIZE AND BREAKER TYPE AS INDICATED)
	COMBINATION CIRCUIT BREAKER/STARTER (RATING, POLES, TRIP SIZE, BREAKER TYPE, NEMA STARTER SIZE, NEMA ENCLOSURE TYPE AS INDICATED)
	CIRCUIT BREAKER TRIP FUNCTIONS L = LONG TIME S = SHORT TIME I = INSTANTANEOUS G = GROUND FAULT
	PANELBOARD, SINGLE OR MULTI-SECTION (REFER TO SCHEDULES)
	ISOLATED POWER PANELBOARD W/ INTEGRAL TRANSFORMER (REFER TO SCHEDULES)
	TRANSFORMER (TYPE AND RATINGS AS INDICATED)
	SHIELDED TRANSFORMER (TYPE AND RATINGS AS INDICATED)
	TRANSFER SWITCH (RATINGS AS INDICATED) ATS = AUTOMATIC TRANSFER SWITCH MTS = MANUAL TRANSFER SWITCH NTS = NON-AUTOMATIC TRANSFER SWITCH
	TRANSFER SWITCH WITH BYPASS (RATINGS AS INDICATED)
	GENERATOR (RATINGS AS INDICATED)
	INDICATES CONNECTION TO GROUNDING ELECTRODE SYSTEM IF RADIATOR IS CONNECTED AS A SEPARATELY DERIVED SOURCE
	SWITCHGEAR, SWITCHBOARD AND/OR DISTRIBUTION PANELBOARD (TYPE, RATING, DEVICES AND ACCESSORIES AS INDICATED)
	AMMETER SWITCH
	VOLTMETER SWITCH
	AMMETER (RANGE AS SPECIFIED OR REQUIRED)
	VOLTMETER (RANGE AS SPECIFIED OR REQUIRED)
	COMBINATION DIGITAL VOLTMETER/AMMETER
	UTILITY METER (AS REQUIRED BY UTILITY)
	WATT-HOUR METER, 'D' DENOTES DEMAND REGISTER, '15' DENOTES MINUTES OF DEMAND INTERVAL
	CURRENT TRANSFORMER RATING AS SPECIFIED OR REQUIRED
	POTENTIAL TRANSFORMER RATING AS SPECIFIED OR REQUIRED
	CIRCUIT/EQUIPMENT IDENTIFICATION (REFER TO SCHEDULE)
	ENERGY-REDUCING MAINTENANCE SWITCH
	GROUND FAULT RELAY
	PHASE FAILURE RELAY
	PHASE ROTATION MONITOR
	RELAY
	KIRK-KEY INTERLOCK (# INDICATES KEY PAIR)
	SHUNT TRIP
	SURGE-PROTECTIVE DEVICE
	VARIABLE FREQUENCY DRIVE
	GROUND CONNECTION
	GROUND ROD
	LIGHTNING ARRESTER
	CAPACITOR
	CONTACT (OPEN OR CLOSED)
	HEATER
	MOTOR
	BLOCK LOAD KW OR KVA
	FAULT POINT REFERENCED IN SHORT CIRCUIT CURRENT AND VOLTAGE DROP SPREADSHEET

APPLICABLE ELECTRICAL CODES:

NOTE: PROJECT IS DESIGNED IN COMPLIANCE WITH THE FOLLOWING CODES. THIS IS NOT AN EXHAUSTIVE LIST. PROJECT SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS AND LOCAL REQUIREMENTS. REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE, (NFPA 70)
BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE

SITE ELECTRICAL GENERAL NOTES:

- EXISTING CONDITIONS WERE TAKEN FROM ORIGINAL DRAWINGS AND SITE VISITS AND MAY NOT REFLECT ACTUAL "AS-BUILT" CONDITIONS. VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BID. COORDINATE NEW AND DEMOLITION WORK WITH ALL OTHER TRADES AND EXISTING CONDITIONS.
- NOTIFY ENGINEER AND OWNER, AS APPLICABLE, IF ANY DANGEROUS CONDITIONS EXIST ON JOB SITE BEFORE ANY DEMOLITION OR REMODEL WORK BEGINS.
- COORDINATE ANY NECESSARY POWER OUTAGES WITH THE OWNER AND MAKE EVERY ATTEMPT TO SCHEDULE DURING NON-BUSINESS OR OFF-PEAK BUSINESS HOURS TO MINIMIZE DISRUPTION TO BUSINESS OPERATIONS. REQUESTS FOR ELECTRICAL SHUTDOWNS SHALL BE BROUGHT IN WRITING TO THE ATTENTION OF THE OWNER AT LEAST 7 DAYS IN ADVANCE. SHUTDOWNS SHALL NOT BE PERFORMED WITHOUT WRITTEN APPROVAL FROM THE OWNER.
- FOR AREAS AND EQUIPMENT WITHIN THE SCOPE OF THIS SITE WORK: EXISTING ELECTRICAL EQUIPMENT AND CIRCUITRY MAY BE REUSED IF IN GOOD CONDITION AND NEW DESIGN REQUIREMENTS CAN BE MET; OTHERWISE REPLACE.

ELECTRICAL SUPPLEMENTAL SPECIFICATIONS:

- PRIOR TO SUBMITTING BID, VISIT THE JOB SITE AND BECOME FULLY ACQUAINTED WITH THE EXISTING CONDITIONS. AS APPLICABLE, REVIEW THE OWNER CRITERIA, GENERAL NOTES, OTHER TRADE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS. NOTIFY ARCHITECT AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO SUBMITTING BID.
- ALL WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES AS WELL AS APPLICABLE INDUSTRY STANDARDS. ALL EQUIPMENT SHALL BEAR LABELS FOR THE USE INTENDED BY AN AHJ ACCEPTED NATIONALLY RECOGNIZED TESTING LABORATORY (NRTL), SUCH AS UL OR ETL. THE FINAL ELECTRICAL INSTALLATION OF THE FACILITY OCCUPIED BY OWNER SHALL BE FREE FROM ELECTRICAL DEFECTS TO THE SATISFACTION OF THE AHJ, OWNER, ARCHITECT AND ENGINEER.
- COORDINATE FINAL LOCATION AND INSTALLATION REQUIREMENTS OF ALL LIGHT FIXTURES, ELECTRICAL EQUIPMENT AND ELECTRICAL DEVICES WITH CIVIL DRAWINGS, EXISTING CONDITIONS AND OTHER TRADES PRIOR TO ROUGH-IN. PROVIDE ALL NECESSARY DEVICES, CORDS, PLUGS, DISCONNECTS AND FINAL CONNECTIONS TO ELECTRICAL EQUIPMENT FOR PROPER OPERATION IN ACCORDANCE WITH CODE, OWNER AND MANUFACTURER REQUIREMENTS.
- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC/SCHEMATIC IN NATURE AND REPRESENT THE GENERAL SCOPE OF WORK. IT IS NOT WITHIN THE SCOPE OF THE ELECTRICAL DRAWINGS TO SHOW ALL NECESSARY RACEWAY ROUTING, BENDS, OFFSETS, PULL BOXES AND OBSTRUCTIONS. CONTRACTOR SHALL COORDINATE THE FINAL LOCATION OF EQUIPMENT AND WIRING DEVICES WITH OTHER TRADES PRIOR TO INSTALLATION AND INSTALL ALL WORK TO CONFORM TO THE OWNER REQUIREMENTS.
- ALL CONDUCTOR AND CONDUIT LENGTHS SHOWN IN THESE DESIGN DOCUMENTS ARE INTENDED SOLELY FOR USE IN THE DESIGN CALCULATIONS BY THE DESIGN PROFESSIONAL. UNLESS NOTED OTHERWISE, LENGTHS SHOWN SHALL NOT BE USED TO ASSIST IN THE BIDDING TAKEOFF PROCESS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MATERIAL QUANTITIES REQUIRED TO BID AND CONSTRUCT THE COMPLETE PROJECT.
- PROVIDE PROPER FIRE PROOFING AND SEALANT FOR PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. THE FIRE STOPPING METHOD, MATERIAL AND ITS APPLICATION SHALL BE NRTL LISTED, CODE COMPLIANT AND APPROVED BY AHJ.

**LEE'S SUMMIT SCHOOL DISTRICT
LSHS SE PARKING LOT LIGHTING**

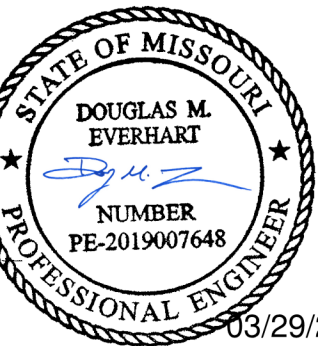
**400 SE BLUE PKWY
LEE'S SUMMIT, MO 64063**

SITE ELECTRICAL GENERAL NOTES:

1. REFER TO E-101 FOR SITE ELECTRICAL GENERAL NOTES.
2. REFER TO E-101 FOR SITE LIGHTING VOLTAGE DROP CALCULATIONS.

PHASE 2 ELECTRICAL PLAN NOTES:

- 1 EXTEND UNDERGROUND CONDUIT FROM EXISTING LIGHT POLE FOR CONNECTION TO NEW LIGHT AS INDICATED.
- 2 REINSTALL BANNERS AND BANNER ARMS REMOVED FROM PREVIOUSLY REMOVED LIGHT POLES TO MATCH EXISTING LIGHT POLE BANNER HEIGHT.
- 3 PROVIDE NEW BANNER ARMS ON LIGHT FIXTURES TO MATCH ADJACENT FIXTURES. COORDINATE EXACT REQUIREMENTS WITH OWNER PRIOR TO ORDERING.



03/29/2024
DOUGLAS M. EVERHART
LICENSE # PE-2019007648

PROFESSIONAL SEAL

REVISIONS

[illegible]

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DATE:	03-08-24
CHECKED BY:	OD
DRAWN BY:	ASM

ELECTRICAL SITE PLAN PHASE 2

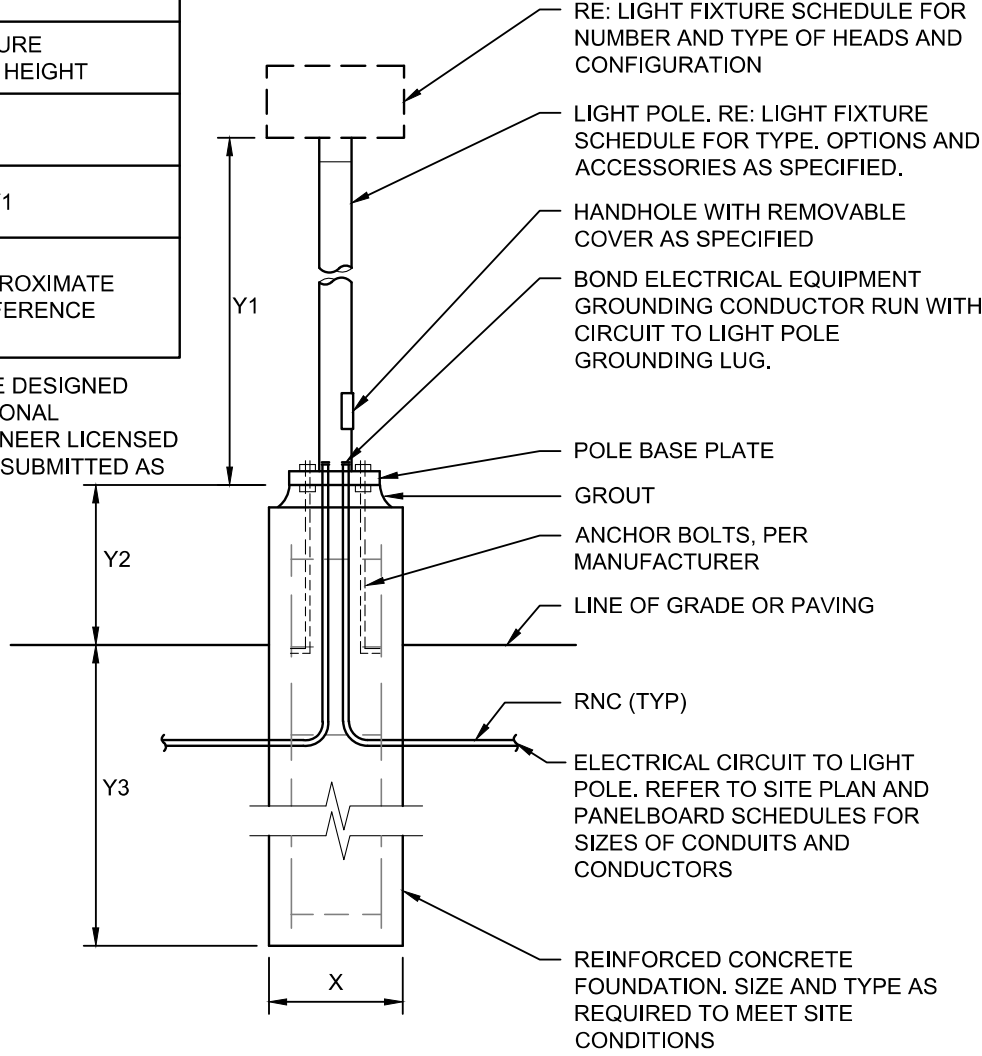
E-102



1 ELECTRICAL SITE PLAN - PHASE 2
SCALE: 1" = 40'

TABLE OF DIMENSIONS*	
X	2'-0"
Y1	REFER TO LIGHT FIXTURE SCHEDULE FOR POLE HEIGHT
Y2	3'-0"
Y3	1/4 OF POLE HEIGHT Y1
* NOTE: ALL DIMENSIONS ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE ONLY.	

POLE FOUNDATION SHALL BE DESIGNED AND SEALED BY A PROFESSIONAL STRUCTURAL OR CIVIL ENGINEER LICENSED IN THE PROJECT STATE AND SUBMITTED AS PART OF THE SUBMITTAL PROCESS.



2 POLE BASE DETAIL
NO SCALE

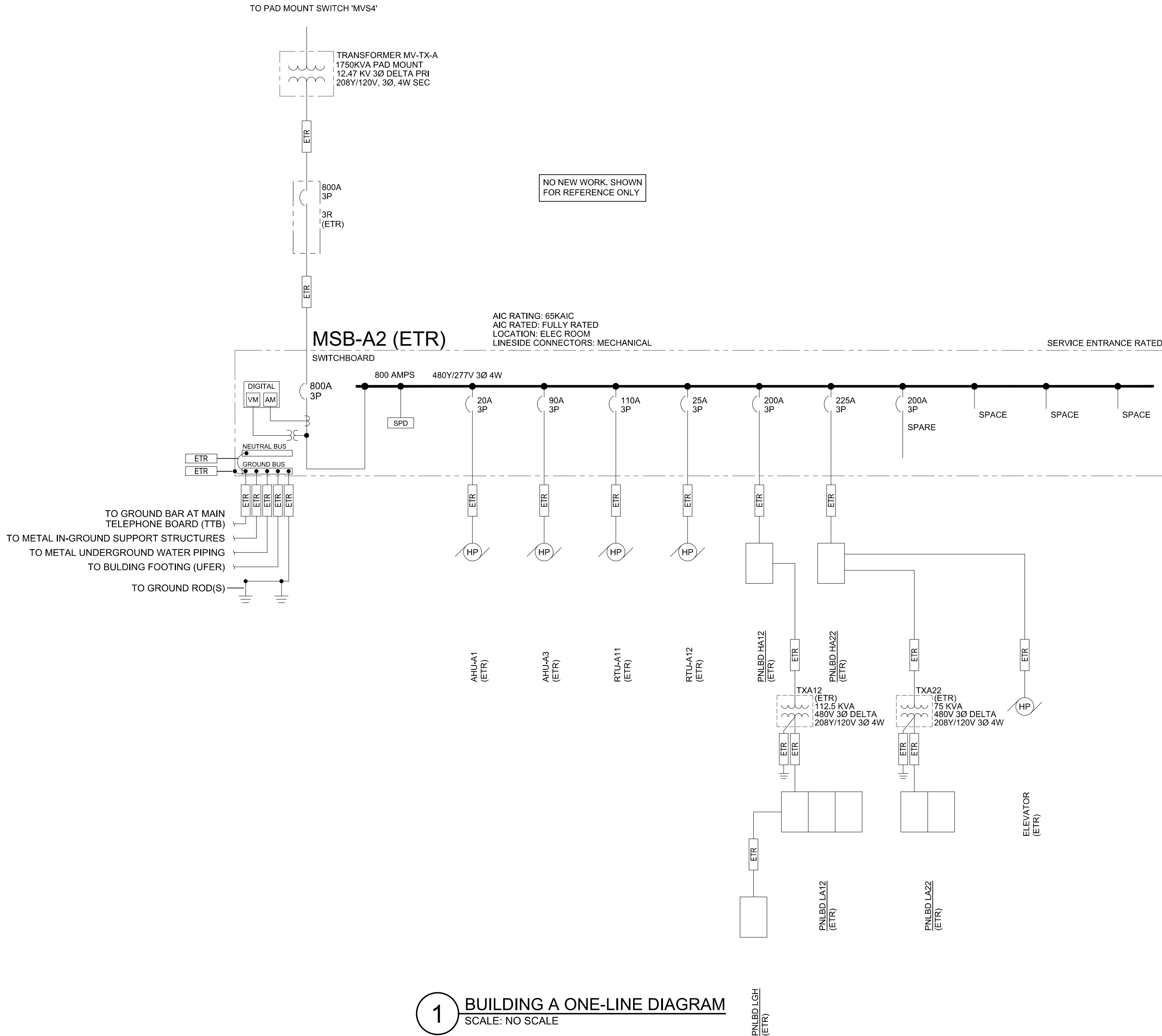
LIGHT FIXTURE SCHEDULE														
TYPE	MANUFACTURER	SERIES / MODEL	APPROVED ALTERNATES	SOURCE					CONTROL TYPE	VOLTAGE	INPUT WATTS	INPUT VA	DESCRIPTION	NOTES
				QTY	TYPE	CRI	CCT	LUMENS						
SR4	LUMARK	PREVAIL PRV-C60-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	1	LED	70	4000K	20,000	WIRELESS	277	153	158	PROVIDE FIXTURE WITH STANDARD FINISH TO MATCH ADJACENT LIGHTS AND WAVELINX SENSOR CONFIGURED TO INTERFACE WITH EXISTING SITE LIGHTING CONTROL SYSTEM. PROVIDE 20' TALL 5" ROUND STRAIGHT POLE WITH STANDARD FINISH TO MATCH ADJACENT FIXTURES.	1.2
SR4E	LUMARK	PREVAIL PRV-C40-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	1	LED	70	4000K	20,000	WIRELESS	277	153	158	EXISTING TYPE 'SR4' TO BE REUSED. SHOWN FOR REFERENCE ONLY.	
SR42	LUMARK	PREVAIL PRV-C40-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	2	LED	70	4000K	20,000	WIRELESS	277	306	316	SIMILAR TO TYPE 'SR4' ONLY WITH (2) FIXTURE HEADS AT 180 DEGREES.	1.2
SR4B	LUMARK	PREVAIL PRV-C40-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	1	LED	70	4000K	20,000	WIRELESS	277	153	158	SIMILAR TO TYPE 'SR4' ONLY WITH BOLT PATTERN COORDINATED WITH OTHERS AND INCLUDING INDIVIDUAL SETUP OF WIRELESS CONTROL AND INTEGRATION TO ACCOMMODATE CONSTRUCTION SCHEDULE	1.2
SR42L	LUMARK	PREVAIL PRV-C40-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	2	LED	70	4000K	20,000	WIRELESS	277	306	316	SIMILAR TO TYPE 'SR42' ONLY WITH 18' TALL POLE.	1.2
SS4	LUMARK	PREVAIL PRV-C40-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	1	LED	70	4000K	20,000	WIRELESS	277	153	158	PROVIDE FIXTURE WITH STANDARD FINISH TO MATCH ADJACENT LIGHTS AND WAVELINX SENSOR CONFIGURED TO INTERFACE WITH EXISTING SITE LIGHTING CONTROL SYSTEM. PROVIDE 22' TALL 4" SQUARE STRAIGHT POLE WITH VIBRATION DAMPENER AND STANDARD FINISH TO MATCH ADJACENT FIXTURES.	1.2
GENERAL NOTES:														
A. REFER TO LIGHT FIXTURE SCHEDULE GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.														
NOTES:														
1. DUE TO AESTHETIC OR PERFORMANCE CRITERIA, SPECIFIED MANUFACTURER SHALL BE THE ONLY MANUFACTURER ALLOWED TO BID UNLESS OTHERWISE BY ENGINEER.														
2. PROVIDE WIRELESS CONTROL INTERFACE COMPATIBLE WITH EXISTING COOPER WAVELINX SITE LIGHTING CONTROL SYSTEM. PROVIDE INTEGRATION AND PROGRAMMING AS NEEDED TO CONTROL NEW LIGHTS WITH EXISTING SYSTEM.														

LIGHT FIXTURE SCHEDULE GENERAL NOTES:

- ALL LIGHT FIXTURES AND RELATED COMPONENTS SHALL BE PROVIDED BY THE CONTRACTOR, UNLESS NOTED OTHERWISE.
- THE PARTY SUPPLYING THE LIGHT FIXTURES IS RESPONSIBLE FOR SUPPLYING THE PROPER QUANTITY OF LIGHT FIXTURES.
- COORDINATE WITH OWNER TO RECEIVE (1) EXISTING 'SR4' HEAD AND (2) 20 FOOT ROUND POLES FROM OWNERS ATTIC STOCK TO BE USED IN PHASE-1 OF THIS PROJECT. INSPECT AND CLEAN EXISTING EQUIPMENT AND NOTIFY OWNER OF ANY DEFECTS FOUND PRIOR TO INSTALLATION. PROVIDE NEW POLE BASE COVERS, MOUNTING ARMS, AND OTHER ACCESSORIES NEEDED TO MATCH NEW INSTALLATIONS.

LIGHT FIXTURE SCHEDULE SUPPLEMENTAL SPECIFICATIONS:

- CATALOG NUMBERS SHALL NOT BE CONSIDERED COMPLETE AND MATERIAL SHALL NOT BE ORDERED BY MANUFACTURER AND CATALOG NUMBERS ONLY. FIRST READ THE COMPLETE DESCRIPTION, NOTES AND SPECIFICATIONS IN CONJUNCTION WITH THE CATALOG NUMBER TO DETERMINE THE MATERIAL AND ACCESSORIES TO BE ORDERED. THE MANUFACTURERS LISTED ARE THE BASIS FOR THE DESIGN.
- FOR SUBSTITUTIONS: PROVIDE PHOTOMETRIC CALCULATIONS AND OTHER NECESSARY INFORMATION FOR ENGINEER REVIEW. REFER TO SPECIFICATIONS FOR MORE INFORMATION.



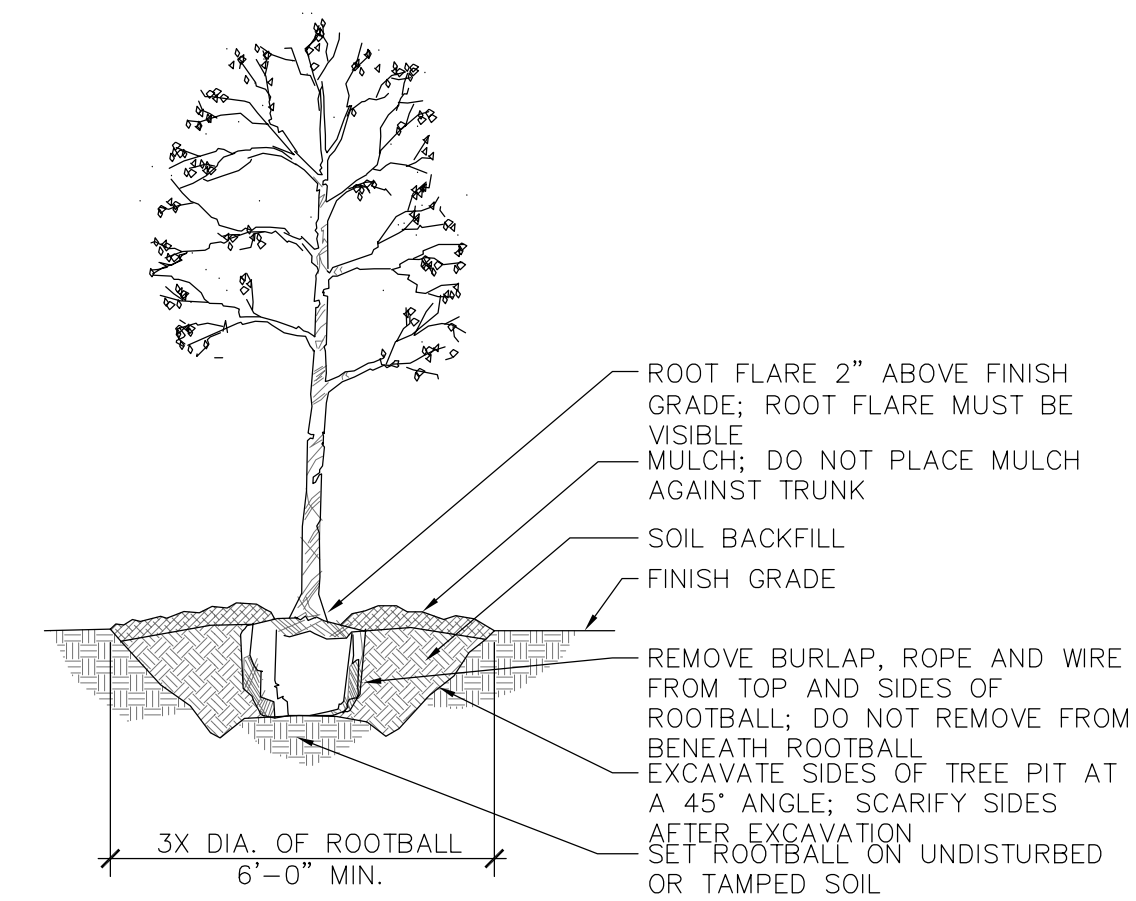
1 BUILDING A ONE-LINE DIAGRAM
SCALE: NO SCALE

PANELBOARD: HA12 (ETR)					FED FROM: MSB-A2					LINE-SIDE LUGS: MECHANICAL				
BUS AMPS: 250A MAIN SIZE/TYPE: MLO VOLTS/PHASE: 208Y/120V, 3PH, 4W SECTION: 1					AIC RATING: 35000, FULLY RATED MOUNTING: SURFACE SERVES: BLDG ALTG LOCATION: ELECTRICAL, ROOM # 2262					EQUIPMENT GROUND BUS				
CKT NO.	DESCRIPTION	VOLTAMPS/PHASE			WIRE NO.	BKR AMP	P	WIRE NO.	VOLTAMPS/PHASE			DESCRIPTION	CKT NO.	
		A	B	C					A	B	C			
1		29,321					1					DEDICATED SPACE	2	
EX 3	TXA12		24,553		EX	175	3					DEDICATED SPACE	4	
5				26,354			1					DEDICATED SPACE	6	
7							1	20	EX	40		EXT. LTG. + BSMNT FITNESS RM	8	
EX 9	SPD				EX	30	3	1	20	EX	2,000	UH-7	10	
11							1	20	EX		2,000	UH-8	12	
EX 13	LTG RM 2283	1,000			EX	20	1	1	20	EX	1,000	EXISTING LOAD	14	
EX 15	EXISTING LOAD		1,000		EX	20	1	1	20	EX	1,000	EXISTING LOAD	16	
EX 17	EXISTING LOAD			1,000	EX	20	1	1	20			SPARE	18	
EX 19	EXISTING LOAD	1,000			EX	20	1	1	20			SPARE	20	
EX 21	EXT LTG		1,000		EX	20	1	1	20	EX	1,000	LTG RM 2276, 2280, 2278	22	
EX 23	EXT LTG SE PARKING LOT			2,946	EX	20	1	1	20	EX	1,000	LTG RM 2275	24	
EX 25	EXISTING LOAD	1,000			EX	20	1	1	20	EX	1,000	LTG RM 2258	26	
EX 27	EXISTING LOAD		500		EX	20	1	1	20	EX	1,000	LTG RM 2262	28	
EX 29	EXISTING LOAD		500		EX	20	1	1	20	EX	1,000	EXISTING LOAD	30	
N 31	EXT LTG SE PARKING LOT	1,421			8	20	1	1	20			SPARE	32	
EX 33	SPARE					20	1	1	EX			EQUIPPED SPACE	34	
35	EQUIPPED SPACE					EX	1	1	EX			EQUIPPED SPACE	36	
37	EQUIPPED SPACE					EX	1	1	EX			EQUIPPED SPACE	38	
39	EQUIPPED SPACE					EX	1	1	EX			EQUIPPED SPACE	40	
41	EQUIPPED SPACE					EX	1	1	EX			EQUIPPED SPACE	42	
SUBTOTAL		33,742	27,053	30,800						2,040	5,000	4,000	SUBTOTAL	
TOTAL PHASE A - VA		35,782			LOAD			DF	LOAD			DF		
AMPS		298			COOLING [C]			6.585	REFRIG [R]			1.00		
TOTAL PHASE B - VA		32,053			HEATING [H]			4.962	SIGNAGE [S]			1.25		
AMPS		267			LIGHTING [L]			18.407	KITCHEN [K]			3,000	1.00	
TOTAL PHASE C - VA		34,800			RECEPTACLES [R]			45.330	EXISTING [E]			5,001	1.00	
AMPS		290			MOTORS [M]			4.803	LRG MOTOR			1.25		
TOTAL PNLBD - VA		102,635			SUPP HEAT [U]			4,000	SHOW WIND [W]			1.25		
AMPS		285			MISC EQUIP [Z]			15,509	LTG TRACK			1.00		
PANELBOARD NOTES														
EX - EXISTING R - REUSE EXSTG CKT BRKR FOR NEW/REVISED LOAD														

ONE-LINE DIAGRAM SUPPLEMENTAL SPECIFICATIONS:

- PROVIDE TYPED UPDATED CIRCUIT DIRECTORY FOR PANELBOARDS TO REFLECT ACTUAL AS-BUILT CONDITIONS. COORDINATE FINAL ROOM NAMES, NUMBERS AND DESCRIPTIONS WITH OWNER PRIOR TO COMPLETION. CIRCUIT DESCRIPTIONS SHALL BE PER CODE AND SHALL BE DISTINGUISHABLE FROM ALL OTHERS.

REVISIONS



The diagram illustrates the correct and incorrect ways to mulch a tree pit. It shows a cross-section of a tree with its root system. The ground surface is labeled 'FINISH GRADE'. The pit is filled with 'BACKFILL WITH AMENDED TOPSOIL'. The mulch is shown in two ways: correctly, as a layer 'AGAINST STEMS' (labeled 'MULCH - DO NOT PLACE MULCH AGAINST STEMS'), and incorrectly, as a layer 'SET TOP OF ROOT MASS AT SAME GRADE AS GROWN NURSERY' (labeled 'SET TOP OF ROOT MASS AT SAME GRADE AS GROWN NURSERY'). The diagram also shows the 'SCARIFY SIDES AND BOTTOM OF PLANTING PIT' and the 'FINISH GRADE'.

Labels in the diagram:

- SET TOP OF ROOT MASS AT SAME GRADE AS GROWN NURSERY
- MULCH - DO NOT PLACE MULCH AGAINST STEMS
- FINISH GRADE
- BACKFILL WITH AMENDED TOPSOIL
- SCARIFY SIDES AND BOTTOM OF PLANTING PIT

Dimensions shown:

- 12"
- 12"

PLANT SCHEDULE

PLANT LIST							
	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	POT&B&B	SPACING	REMARKS
Deciduous Trees							
8	GO	<i>Gymnocladus dioica</i> 'Express'	Seedless Kentucky Coffeetree	2 1/2" Caliper	B&B		Single Straight Leader; Well Branched
9	QS	<i>Quercus bicolor</i>	Swamp White Oak	2 1/2" Caliper	B&B		Single Straight Leader; Well Branched
7	TA	<i>Tilia americana</i>	American Linden	2 1/2" Caliper	B&B		Single Straight Leader; Well Branched
10	UF	<i>Ulmus x 'Frontier'</i>	Frontier Elm	2 1/2" Caliper	B&B		Single Straight Leader; Well Branched
Shrubs							
11	TM	<i>Taxus media</i> 'Densiformis'	Dense Yew	24" HT.	#5 Pot	36" o.c.	MATCHING
10	JCC	<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper	12" HT.	#5 Pot	30" o.c.	FULL
10	CSS	<i>Cephalanthus occidentalis</i> 'SMCOSS'	Sugar Shack Buttonbush	24" HT.	#5 Pot	42" o.c.	MATCHING
16	VN	<i>Viburnum nudum</i> 'Bulk'	Brandywine Viburnum	24" HT.	#5 Pot	42" o.c.	MATCHING
	All distributed turfgrass areas to be seeded turf type fescue.						

1. REFER TO SPECIFICATIONS FOR ADDITIONAL LANDSCAPE REQUIREMENTS.
2. PRIOR TO BID SUBMISSION, AND PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION WORK, THE LANDSCAPE CONTRACTOR SHALL REVIEW IN DETAIL, AND BE VERY FAMILIAR WITH, THE PLANS AND SPECIFICATIONS. DEVIATIONS FROM THE PLANS AND SPECIFICATIONS ARE ABSOLUTELY NOT ALLOWED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. LANDSCAPE INSTALLATION WORK NOT CONFORMING TO PLANS AND SPECIFICATIONS SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR PRIOR TO PAYMENT FOR SUCH WORK.
3. SUBSTITUTIONS SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITING BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL. AFTER THE BID IS AWARDED IT WILL BE REQUIRED THAT ALL SPECIFIED AND/OR APPROVED SUBSTITUTIONS SHALL BE INSTALLED BY CONTRACTOR WITH NO EXCEPTIONS.
4. PRIOR TO BID SUBMISSION AND PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION WORK, THE LANDSCAPE CONTRACTOR SHALL TOUR AND CAREFULLY REVIEW THE PROJECT SITE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS OR CHARACTERISTICS THAT WILL PREVENT LANDSCAPE INSTALLATION PER THE PLANS AND SPECIFICATIONS. NOTIFICATION OF UNSUITABLE CONDITIONS OR CHARACTERISTICS AFTER BIDDING, AFTER COMPLETION OF LANDSCAPE WORK, OR DURING THE WARRANTY PERIOD, SHALL NOT BE RECEIVED OR CONSIDERED BY THE LANDSCAPE ARCHITECT OR OWNER.
5. PRIOR TO COMMENCEMENT OF ANY WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES EXISTING WITHIN THE PROJECT SITE. THE LANDSCAPE CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES RESULTING FROM LANDSCAPE INSTALLATION CONSTRUCTION.
6. LANDSCAPE CONTRACTOR TO VERIFY AND COORDINATE ALL GRADES AND ELEVATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY SITE EARTHWORK CONTRACTOR OF ANY DISCREPANCIES IN ELEVATIONS. LANDSCAPE CONTRACTOR SHALL VERIFY ALL GRADES AND DRAINAGE AS SHOWN ON CIVIL, AND NOTIFY OWNER'S REPRESENTATIVE IF SITE CONDITIONS DIFFER FROM PLANS. ALL AREAS SHALL HAVE POSITIVE DRAINAGE.
7. ALL TREES, SHRUBS, AND GROUND COVER BEDS ARE TO RECEIVE MIN. 3" OF HARDWOOD MULCH, MEASURED AFTER SETTLEMENT HAS OCCURRED.
8. COORDINATE LOCATIONS OF PLANT MATERIAL WITH OTHER SITE ELEMENTS INCLUDING SIGNAGE AND LIGHTING. IF LOCATIONS OF SITE ELEMENTS VARY FROM PLAN, NOTIFY OWNER'S REPRESENTATIVE AND ADJUST LANDSCAPE PLANTINGS ACCORDINGLY TO ACHIEVE THE INTENDED EFFECT.
9. THE LANDSCAPE CONTRACTOR SHALL FOLLOW ALL LOCAL, COUNTY, AND STATE CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE LANDSCAPE ARCHITECT REGARDING ANY DISCREPANCIES BETWEEN THESE CODES AND THE PLANS AND SPECIFICATIONS.



Know what's below.
Call before you dig.