

S:\01 PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE 3\PERMIT SET 904 025\PLANS\02 SANITARY SEWER PLANS - ASBUILT\C-0001 COVER SHEET.DWG



LOCATION MAP  
SCALE 1:1700

#### PROJECT TEAM:

OWNER  
TOWNSEND CAPITAL, LLC  
CONTACT: TOWNSEND CAPITAL, LLC  
PHONE: 303.947.2044

DEVELOPER  
NORTHPOINT DEVELOPMENT  
3313 N OAK TRAFFICWAY  
KANSAS CITY, MO 64116  
CONTACT: BRIAN BENJAMIN  
PHONE: 816.888.7380  
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ENGINEER  
SITEPOINT, LLC  
3313 N OAK TRAFFICWAY  
KANSAS CITY, MO 64116  
CONTACT: MELISSA G. DEGONIA, P.E.  
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SURVEYOR  
ANDERSON ENGINEERING, INC  
4240 PHILIPS FARM ROAD, SUITE 101  
COLUMBIA, MO 65201  
CONTACT: JOHN HUSS, P.E.  
PHONE: 573.397.5476

#### UTILITY CONTACT LIST:

PUBLIC WORKS  
CITY OF LEE'S SUMMIT  
PHONE: 816.969.1800

ELECTRIC  
EVERGY  
PHONE: 888.471.52.75

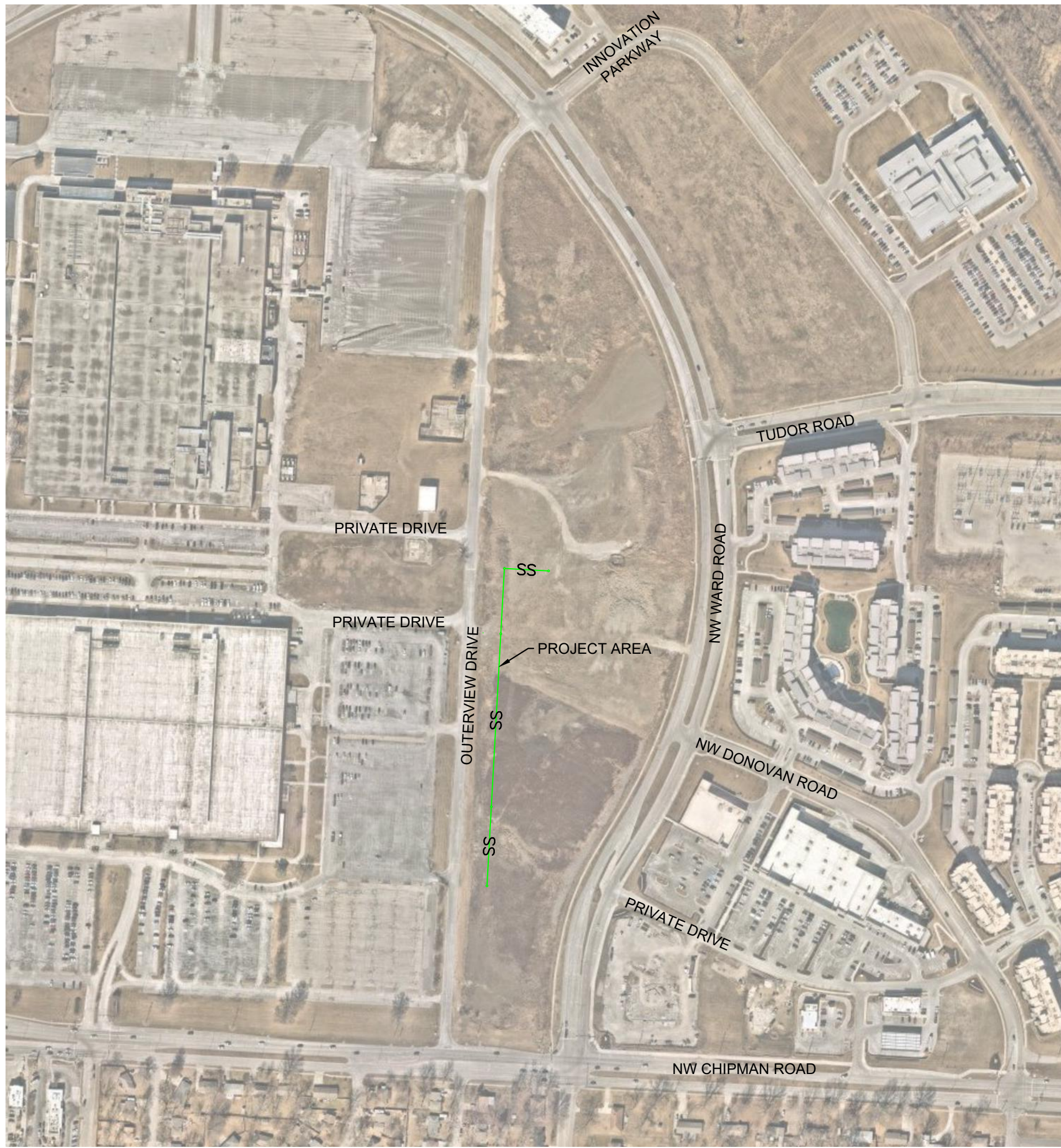
DOMESTIC GAS  
SPIRE  
PHONE: 816.756.5252

WATER SERVICE  
CITY OF LEE'S SUMMIT  
PHONE: 816.969.1900



# SUMMIT ORCHARDS WEST PUBLIC IMPROVEMENT PLANS SANITARY IMPROVEMENT

IN LEE'S SUMMIT, JACKSON COUNTY, MO



SCALE 1:300

#### PROPERTY DESCRIPTION:

LOT 10, SUMMIT FAIR, SECOND PLAT LOTS 8, 10-14 AND TRACT C

#### PROJECT CONTROL

CP 1  
N: 1005856.64  
E: 2818546.66  
ELEV: 1010.39  
1-1/2" REBAR W/ CAP

CP 2  
N: 1005467.89  
E: 2819172.83  
ELEV: 1006.37  
1/2" REBAR W/ CAP

CP 3  
N: 1004895.44  
E: 2818846.42  
ELEV: 1002.66  
CHISELED "X"

CP 4  
N: 1006085.33  
E: 2819227.33  
ELEV: 991.98  
1/2" REBAR W/ SITEPOINT CAP

CP 1000  
N: 1004637.63  
E: 2818559.79  
ELEV: 997.32  
FOUND 1/2" REBAR

CP 1001  
N: 1007156.13  
E: 2818697.32  
ELEV: 976.80  
FOUND CHISELED "+"

#### Sheet List Table

Sheet Number	Sheet Title
C-0001	COVER SHEET
C-0010	GENERAL NOTES
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C-0600	SANITARY SEWER PLAN & PROFILE
C-0610	AREA MAP
C-2000	DETAIL SHEET

Record Drawing

## AS BUILT

DATE: 02.28.2024

I hereby certify that the conditions shown are correct and the sewers are acceptably located within existing easements or right-of-ways.

*Melissa G. Degonia*

MELISSA G, DEGONIA, PE



S:\01 PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE 3\PERMIT SET BOX CDS\PLANS\02 SANITARY SEWER PLANS - ASBUILT\SC-0010 GENERAL NOTES.DWG

GENERAL NOTES:

1. LINEAR FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS (NOT SLOPE MEASUREMENTS) FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
2. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE’S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813. WHERE DISCREPANCIES EXIST BETWEEN THESE PLANS AND THE DESIGN AND CONSTRUCTION MANUAL, THE DESIGN AND CONSTRUCTION MANUAL SHALL PREVAIL.
3. THE DEVELOPER SHALL PERFORM ALIGNMENT AND GRADE, INFILTRATION – EXFILTRATION, DEFLECTION, SOIL DENSITY, AND MANHOLE TESTS AS CALLED OUT IN SECTION 2500 OF THE CURRENT APWA (AMERICAN PUBLIC WORKS ASSOCIATION) STANDARDS AND SPECIFICATIONS. ANY SECTION OF SEWER FAILING ANY OF THE ABOVE MENTIONED TESTS SHALL BE RETESTED BY THE DEVELOPER AFTER REPLACEMENT OR REPAIR.
4. PRIOR TO ORDERING PRE–CAST STRUCTURES, SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. THE DESIGN ENGINEER SHALL INDICATE APPROVAL OF THE SHOP DRAWINGS.
5. DURING CONSTRUCTION OF THE PROJECT, THE DEVELOPER SHALL KEEP ONE RECORD COPY OF ALL SPECIFICATIONS, DRAWINGS, ADDENDA, MODIFICATIONS, AND SHOP DRAWINGS AT THE SITE IN GOOD CONDITION. THESE DOCUMENTS SHALL BE ANNOTATED TO SHOW ALL CHANGES MADE DURING CONSTRUCTION. THE EXACT LOCATION OF ALL SEWER WYES, TEES, AND SERVICE LINES SHALL BE RECORD ON THESE DOCUMENTS. AT THE CONCLUSION OF CONSTRUCTION, THESE DOCUMENTS SHALL BE FORWARDED TO THE DESIGN ENGINEER FOR PREPARATION OF AS–BUILT DRAWINGS.
6. THE PROJECT BENCHMARKS AND ALL ELEVATIONS SHOWN ON THE PROFILES ARE N.G.V.D.
7. THE DEVELOPER IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE DEVELOPER MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT IS THE DEVELOPERS RESPONSIBILITY TO RELOCATE AND/OR ADJUST ALL EXISTING UTILITIES, CONFLICT WITH PROPOSED SITE IMPROVEMENTS.
8. THE DEVELOPER SHALL ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY “MISSOURI ONE CALL SYSTEM, INC.” 1–800–DIG–RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. THE NAMES AND TELEPHONE NUMBERS OF UTILITY COMPANIES, EVEN IF ONLY REMOTELY INVOLVED WITH THIS HIS PROJECT ARE LISTED UNDER “UTILITY CONTACTS” THIS SHEET.
9. THE DEVELOPER SHALL PROVIDE AND MAINTAIN ALL TRAFFIC CONTROL MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD–LATEST EDITION).
10. THE SITE PLAN IS BASED ON SURVEY BY ANDERSON ENGINEERING, INC., COMPLETED 07.21.2022. CONDITIONS ON SITE AT THE TIME OF CONSTRUCTION MAY VARY FROM THE SURVEYED CONDITIONS. DEVELOPER SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
11. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL PERMITS (EXCEPT LAND DISTURBANCE), BONDS, INSURANCE, ETC. AND PAYING ALL FEES. THE COST OF DEVELOPERS BONDS AND INSURANCE AS REQUIRED BY THE CITY OF LEE’S SUMMIT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
12. DEVELOPER SHALL COMPLY WITH ALL APPLICABLE REGULATIONS REQUIRED BY THE CITY AND THE STATE.
13. THE DEVELOPER MUST REMOVE AT HIS COST ANY BAD SUBSURFACE SOIL WHICH WOULD NOT BE ABLE TO SUPPORT ANY PROPOSED PUBLIC IMPROVEMENT. BACKFILL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH SECTIONS 2100 AND 2201 ENTITLED “GRADING AND SITE PREPARATION” AND “SUBGRADE PREPARATION”.
14. VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88). THE DEVELOPER IS ADVISED TO USE BENCHMARK INFORMATION FOR VERTICAL CONTROL. HORIZONTAL CONTROL (CONTROL POINT INFORMATION) IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83). THE DEVELOPER IS ADVISED TO USE CONTROL POINT INFORMATION FOR HORIZONTAL CONTROL.
15. RAIN WATER FROM ROOFS, STREETS, AND OTHER AREAS AND GROUNDWATER FROM FOUNDATION DRAINS SHALL BE EXCLUDED FROM ALL NEW SEWERS.
16. SERVICE CONNECTIONS TO THE SEWER MAIN SHALL BE WATERTIGHT AND CANNOT PROTRUDE INTO THE SEWER.
17. NO SEWER, SERVICE CONNECTION, OR DROP MANHOLE PIPE SHALL DISCHARGE ONTO THE SURFACE OF THE BENCH.

PLUMBING NOTES:

1. ALL LOTS HAVE BEEN SUPPLIED WITH WYES, TEES OR LATERALS. PLUMBER SHALL CONNECT HOUSE SERVICE TO MAIN AT LOCATIONS INDICATED.
2. ALL SERVICE LINES SHALL BE LAID AT 2% MINIMUM SLOPE, UNLESS OTHERWISE NOTED.
3. M.S.E. ELEVATION – INDICATES BASEMENT FLOOR ELEVATION OR LOWEST FLOOR ELEVATION SERVICEABLE BY PROPOSED SANITARY SEWER.

EXCAVATING NOTES:

1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CONTROL DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING ROCK ELEVATIONS AT 25 FOOT (MAXIMUM) INTERVALS WHERE ENCOUNTERED, AND FURNISHING THIS INFORMATION TO THE DESIGN ENGINEER FOR USE ON AS–BUILTS.
3. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. EROSION CONTROL PLANS AND PROCEDURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION.
4. NO SUBSURFACE EXPLORATION FOR THE DETERMINATION OF AND/OR THE LOCATION OF EXISTING ROCK HAS BEEN MADE.
5. WHEN SEWER LINES CROSS A LOW POINT IN A CREEK, THE SEWER LINE MUST BE ENCASED ACCORDING TO LEE’S SUMMIT.
6. DEVELOPER IS RESPONSIBLE FOR KEEPING ALL PUBLIC ROADWAYS ADJACENT TO THE CONSTRUCTION SITE FREE OF DIRT AND DEBRIS RESULTING FROM ACTIVITIES RELATED TO THE CONSTRUCTION OF THIS PROJECT. INSPECTIONS AND CLEANUP TO OCCUR ON A DAILY BASIS.
7. DEVELOPER SHALL KEEP THE ENTIRE PROJECT SITE FREE OF DEBRIS AND TRASH AT ALL TIMES. DEVELOPER SHALL EXECUTE WORK USING METHODS THAT MINIMIZE EXCESSIVE NOISE OR DUST EMISSIONS. DEVELOPER SHALL PROVIDE METHODS, MEANS AND FACILITIES TO PREVENT CONTAMINATION OF SOIL OR WATER FROM DISCHARGE OF REGULATED MATERIALS (I.E. FUEL) USED DURING CONSTRUCTION.
8. THE DEVELOPER SHALL ERECT AND MAINTAIN ORANGE COLORED TEMPORARY CONSTRUCTION FENCE AROUND ALL AREAS INDICATED ON THE PLANS TO BE LEFT UNDISTURBED BOTH TEMPORARY AND PERMANENTLY THE DEVELOPER WILL BE GIVEN NOTICE WHEN HE MAY ENTER THESE AREAS MARKED TEMPORARY BY THE OWNER ONCE PERMITS HAVE BEEN OBTAINED. THE FENCE MATERIAL SHALL BE 48” TALL. HIGH DENSITY POLYETHYLENE (HDPE) WITH NOMINAL MESH OPENING SIZE OF 1.25 INCHES X 1.25 INCHES.

SUMMARY OF QUANTITIES

PLAN	UNIT	ITEM
5	EA.	MANHOLE (4’ DIA.)
1,025	L.F.	10” (SDR–26)

SUMMARY OF QUANTITIES AS INDICATED ABOVE AND ANY QUANTITIES AS SHOWN WITHIN THE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

LEGEND	
GENERAL	
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	FUTURE SIDEWALK
	EXISTING BUILDINGS
	PROPOSED BUILDINGS
	FUTURE BUILDINGS
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	FUTURE EDGE OF PAVEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	FUTURE ROADWAY CENTER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	FUTURE CURB & GUTTER
EASEMENTS & SETBACKS	
	A.E. ACCESS EASEMENT
	B.M.P. BEST MANAGEMENT PRACTICE EASEMENT
	B.L. BUILDING SETBACK
	COMM. E. COMMUNICATION EASEMENT
	C.G.E. CONSTRUCTION GRADING EASEMENT
	F.P.E. FLOOD PLAIN EASEMENT
	L.S. LANDSCAPE EASEMENT
	G.E. NATURAL GAS EASEMENT
	P.L.E. POWER\ELECTRIC LINE EASEMENT
	P.S. PARKING SETBACK
	S.B. STREAM BUFFER
	S.D.E. SURFACE DRAINAGE EASEMENT
	S.E. SANITARY SEWER EASEMENT
	D.E. STORM DRAINAGE EASEMENT
	TEMP. ESMT. TEMPORARY EASEMENT
	U.E. UTILITY EASEMENT
	W.E. WATER EASEMENT
	F.Y.S. FRONT YARD SETBACK
	R.Y.S. REAR YARD SETBACK
	S.Y.S. SIDE YARD SETBACK
CONTOURS	
	–100– EXISTING INDEX CONTOURS
	–100– EXISTING INTERMEDIATE CONTOURS
	–100– PROPOSED INDEX CONTOURS
	–100– PROPOSED INTERMEDIATE CONTOURS
	–100– FUTURE INDEX CONTOURS
	–100– FUTURE INTERMEDIATE CONTOURS
BOUNDARIES	
	----- SECTION LINE
	P----- EXISTING PROPERTY BOUNDARY
	P----- PROPOSED PROPERTY BOUNDARY
	P----- FUTURE PROPERTY BOUNDARY
	L----- EXISTING LOT LINE
	L----- PROPOSED LOT LINE
	L----- FUTURE LOT LINE
	R/W----- EXISTING RIGHT–OF–WAY
	R/W----- PROPOSED RIGHT–OF–WAY
	R/W----- FUTURE RIGHT–OF–WAY
UTILITIES	
	— — — — — EXISTING COMMUNICATIONS LINE
	— — — — — PROPOSED COMMUNICATIONS LINE
	— — — — — FUTURE COMMUNICATIONS LINE
	— — — — — EXISTING NATURAL GAS LINE
	— — — — — PROPOSED NATURAL GAS LINE
	— — — — — FUTURE NATURAL GAS LINE
	— — — — — EXISTING POWER\ELECTRIC LINE
	— — — — — PROPOSED POWER\ELECTRIC LINE
	— — — — — FUTURE POWER\ELECTRIC LINE
	— — — — — EXISTING SANITARY SEWER
	— — — — — PROPOSED SANITARY SEWER
	— — — — — FUTURE SANITARY SEWER
	— — — — — EXISTING STORM SEWER
	— — — — — PROPOSED STORM SEWER
	— — — — — FUTURE STORM SEWER
	— — — — — EXISTING WATER LINE
	— — — — — PROPOSED WATER LINE
	— — — — — FUTURE WATER LINE

Record Drawing

NOT AS BUILT

ALL NOTES REFERENCED ON THIS PLAN SHEET MAY HAVE APPLICATIONS TO EVERY FACET OF THE CONSTRUCTION PLANS. THE NOTE HEADINGS OR TITLES ARE TO BE USED AS A GENERAL GUIDE TO APPLICABLE SITUATIONS.

A Division of NorthPoint Development

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sitepoint@northpointkc.com

3315 N Oak Trafficway

Kansas City, MO 64116

GENERAL NOTES

SUMMIT ORCHARDS WEST  
PUBLIC IMPROVEMENT PLANS  
SANITARY IMPROVEMENT  
LEE’S SUMMIT, JACKSON COUNTY, MO

Certificate of Authority #MO 2020018354

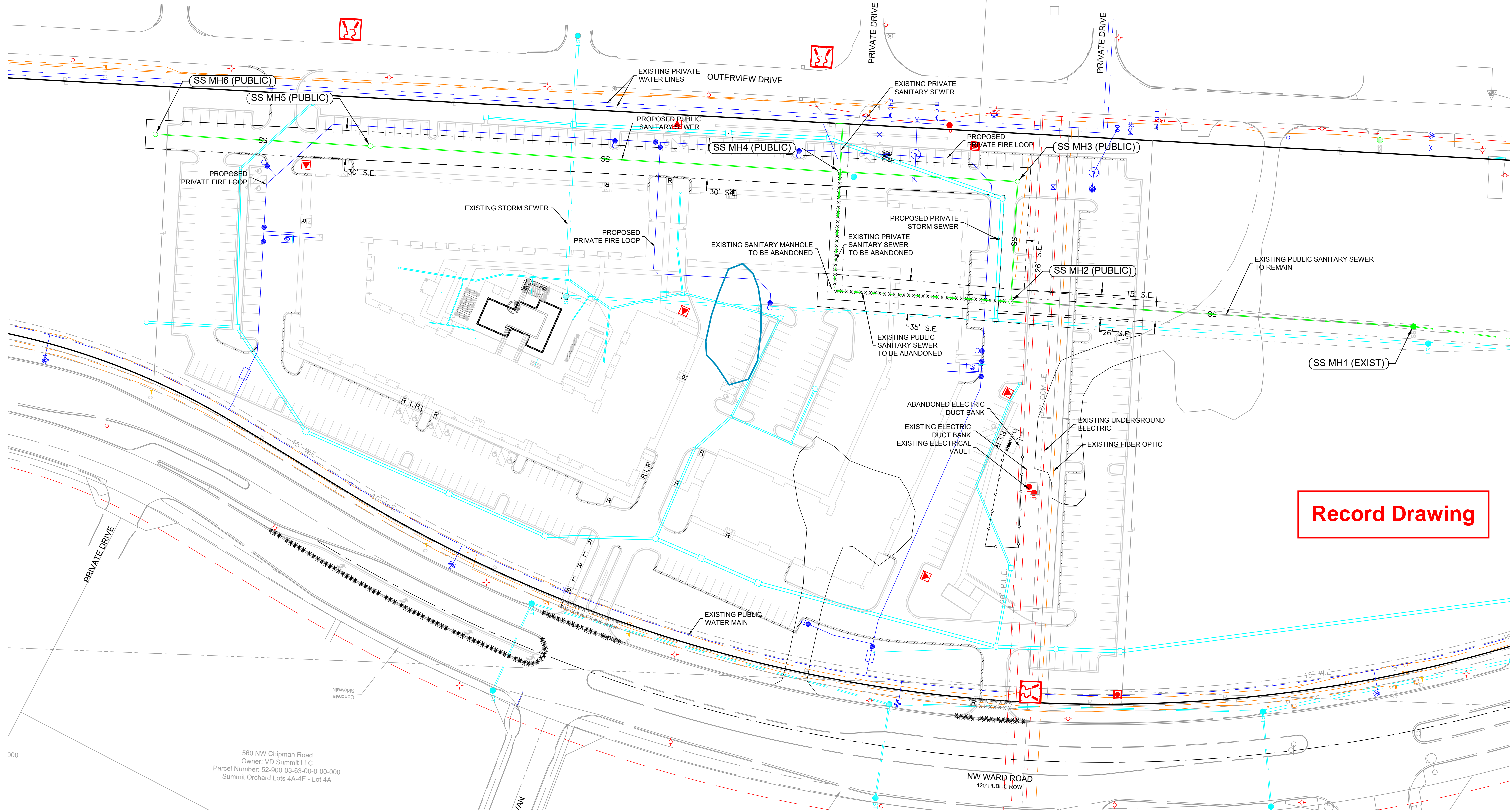
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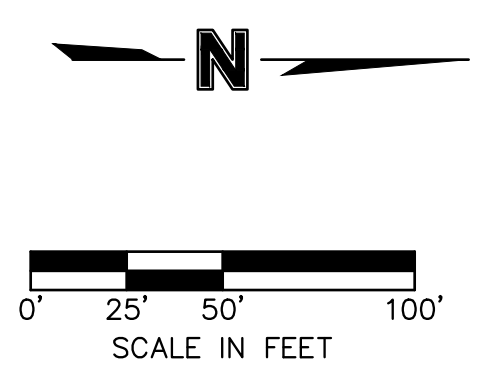


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MINOR SUBDIVISION - SUMMIT FAIR  
LOTS 27A/27B  
(2015E00112075-1)



Record Drawing



NOTE:  
1. FEMA FLOOD BOUNDARY MAP 29095C0417G DOES NOT DESIGNATE ANY FLOODPLAIN ON THE PROPERTY. THE ENTIRE PROPERTY IS UNSHADED ZONE X.  
2. NO EXISTING OIL AND GAS WELLS LOCATED ON SITE ACCORDING TO MISSOURI DEPARTMENT OF NATURAL RESOURCES MISSOURI GEOLOGICAL SURVEY.

NOT AS BUILT

SITEPOINT

A Division of NorthPoint Development

3315 N Oak Trafficway

Kansas City, MO 64116

816.888.7380

sitepoint@northpointkc.com

REVISIONS/APPROVALS:	NO.:	DATE:	REVIEWED BY:	DESIGNED BY:	DRAFTED BY:	SP PROJECT #:	MELISSA G. DEGENA	201100992
INITIAL CITY SUBMITAL		2022.10.10	M.G.D	N.H	D.A.H		P.E	

GENERAL LAYOUT

SUMMIT ORCHARDS WEST  
PUBLIC IMPROVEMENT PLANS  
SANITARY IMPROVEMENT

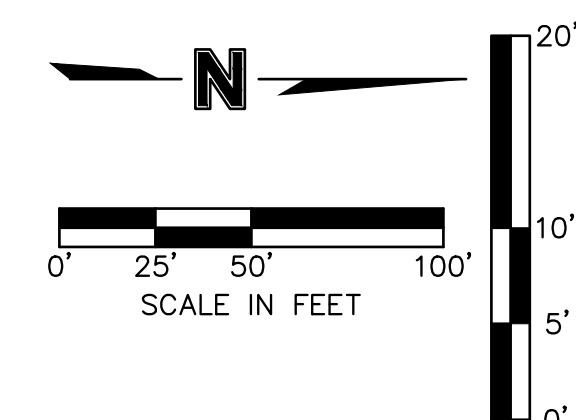
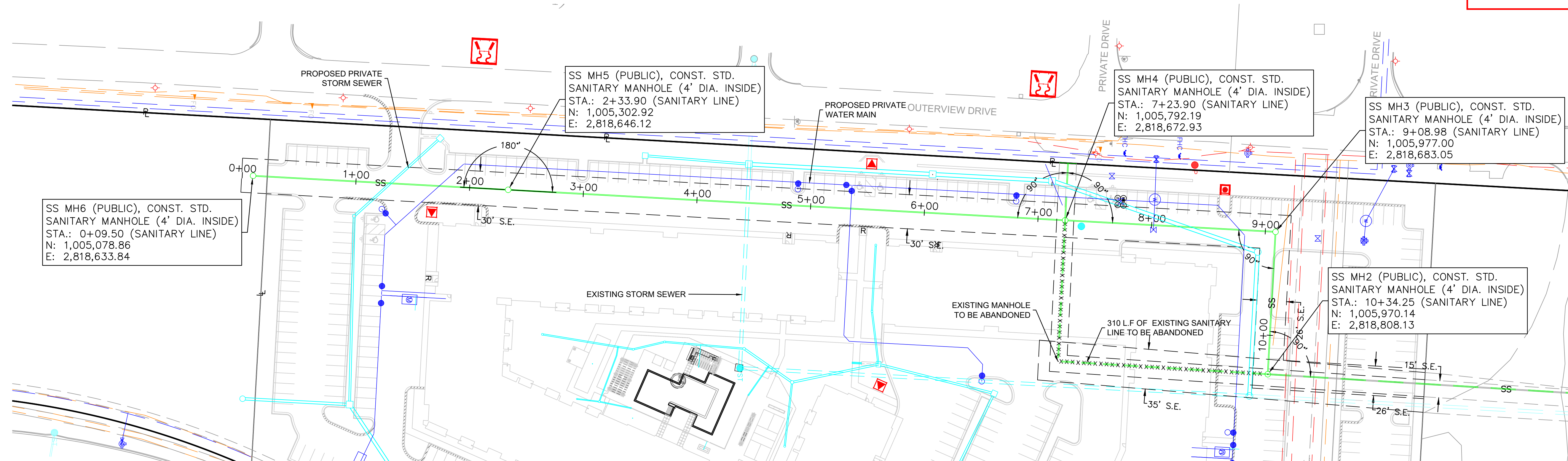
LEE'S SUMMIT, JACKSON COUNTY, MO

Certificate of Authority #MO 2020018354

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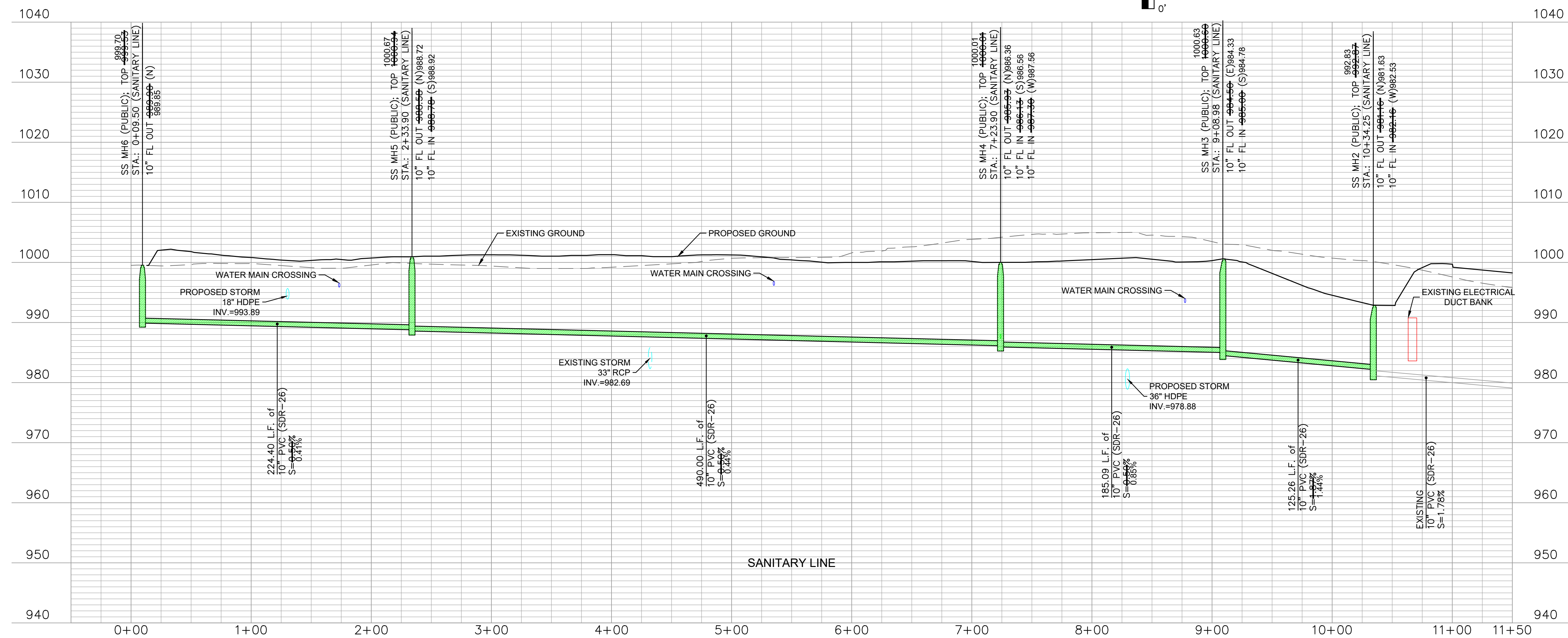
C-0200





AS BUILT

DATE:02.28.2024









S:\01 PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE 3\PERMIT SET BOX CDS\PLANS\02 SANITARY SEWER PLANS - ASBUILT\C-2000 DETAIL SHEETING

NEW MANHOLE

EXISTING MANHOLE

LS

LEE'S SUMMIT  
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

MANHOLE WALL CONNECTION

Date: 02/2013  
Drawn By: MJF  
Checked By: DL

SAN-5

LS

LEE'S SUMMIT  
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD SANITARY PRECAST MANHOLE

Date: 12/2015  
Drawn By: SC  
Checked By: DL

SAN-2

STANDARD INSTALLATION  
NOT TO SCALE

SIDE VIEW

VERTICAL RISER  
NOT TO SCALE

SIDE VIEW

NOTES:

- ALL SEWER STUBS SHALL BE CONSTRUCTED TO PROPERTY LINE OR 10' MINIMUM FROM THE MAIN, WHICHEVER IS GREATER. WHERE SIDEWALKS ARE PRESENT, CONTRACTOR SHALL EXTEND SERVICE LINE UNDER EXISTING SIDEWALK TO TWO FEET BEYOND.
- IMPERVIOUS TRENCH CHECKS SHALL BE PLACED ON BUILDING SEWER STUBS (AT LEAST 5' AWAY FROM THE SANITARY SEWER MAIN).
- TRENCH CHECKS ON THE BUILDING SEWER STUBS SHALL EXTEND 6" BELOW THE BOTTOM OF THE PIPE. LENGTH SHALL BE A MINIMUM OF 12". THE HEIGHT OF THE TRENCH CHECK SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE. THE WIDTH OF THE TRENCH CHECK SHALL BE THE WIDTH OF THE TRENCH.
- SEE SPECIFICATION SECTION 2100 FOR SEWER MAIN BEDDING AND BACKFILL.
- #12 GAUGE GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED. TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER SERVICE OR AS DETERMINED BY THE ENGINEER.
- FOR SERVICES, TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATE IN A FLUSH MOUNTED TRACER BOX WITH A GREEN CAST IRON LOCKABLE TOP. WIRE SHALL BE TAPED OR TIED TO THE PIPE AT 5' INTERVALS.
- TRACER WIRE BOX SHALL BE INSTALLED WITHIN 1.0' OF PROPERTY LINE.
- THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. SPLICES IN THE TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER-PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.

LS

LEE'S SUMMIT  
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

SANITARY SEWER STUB DETAIL

Date: 12/2015  
Drawn By: MJF  
Checked By: DL

SAN-1

Record Drawing

SITEPOINT

A Division of NorthPoint Development

3315 N Oak Trafficway  
Kansas City, MO 64116

816.888.7380  
sitepoint@northpointkc.com

REVISIONS/APPROVALS:	NO.:	DATE:	REVIEWED BY:	DESIGNED BY:	DRAFTED BY:	SP PROJECT #:	DATE
INITIAL CITY SUBMITAL		2022.10.10	M.G.D	N.H	D.A.H	SP PROJECT #:	
						MELISSA GREGG	201100092
						P.E.	

DETAIL SHEET

SUMMIT ORCHARDS WEST  
PUBLIC IMPROVEMENT PLANS  
SANITARY IMPROVEMENT

LEE'S SUMMIT, JACKSON COUNTY, MO

Certificate of Authority #MO 2020018354

SHEET #:

C-2000

NOT AS BUILT