

OWNER
DIVERURES
11640 ARBOR STREET, SUITE 100
OMAHA, NEBRASKA 68144
531.999.8425

PROJECT TEAM
CIVIL ENGINEER
RYAN JEPSON, PE
550 ST. LOUIS STREET
SPRINGFIELD, MO 65806
417.890.8802
LANDSCAPE ARCHITECT
JANE EARNHART, PLA
550 ST. LOUIS STREET
SPRINGFIELD, MO 65806
417.890.8802

NOTE:
Substantial completion date for site work may vary from that of the building substantial completion date. Coordinate with Architect for completion dates. This site will have a permanent irrigation system. Refer to Planting Irrigation specification including delegated design requirements for irrigation system. Until the permanent irrigation system is fully functional, the Contractor shall use whatever means necessary (including a temporary irrigation system) to achieve the following water application until establishment per the specification. Similarly, the same water application shall be utilized once the permanent irrigation system is fully functional.

Water sod regularly to maintain an adequate supply of moisture penetration through sod into top 6 inches of topsoil. Adequate moisture supply during Fall and Spring planting dates is the equivalent of one inch of absorbed water per week either through natural rainfall or augmented by periodic waterings. Apply water at a moderate rate so as not to displace the mulch or flood the turf areas. Adequate moisture should be divided into two to three waterings per week, as directed by the Owner's Representative. During the summer (June 2 through August 31) watering may be required on a daily basis, as directed by the Owner's Representative. During the winter months confer with the Owner's Representative regarding the frequency of watering.

Sodded areas are properly established such that within any 10' x 10' area of turf there is less than 5% weed coverage; sod is free of bare and dead spots and is without weeds; and no surface soil is visible when grass has been cut to height of 2-1/2 inches.

GENERAL CONTRACTOR IS RESPONSIBLE FOR CARE OF THE INSTALLED SOD FOR A MINIMUM OF 60 DAYS.
Refer to specifications for additional information.

IRRIGATION SYSTEM
PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE CONNECTION TO THE MAIN, METER, AND PIPING TO THE BUILDING MECHANICAL ROOM AS DEPICTED AND NOTED ON THE UTILITY PLAN. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE REMAINDER OF THE IRRIGATION SYSTEM.

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NO.: XX-XXX DRAWN BY: KAS
DATE: 04.26.2024 REVIEWED BY: RVJ

PROFESSIONAL SEAL

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

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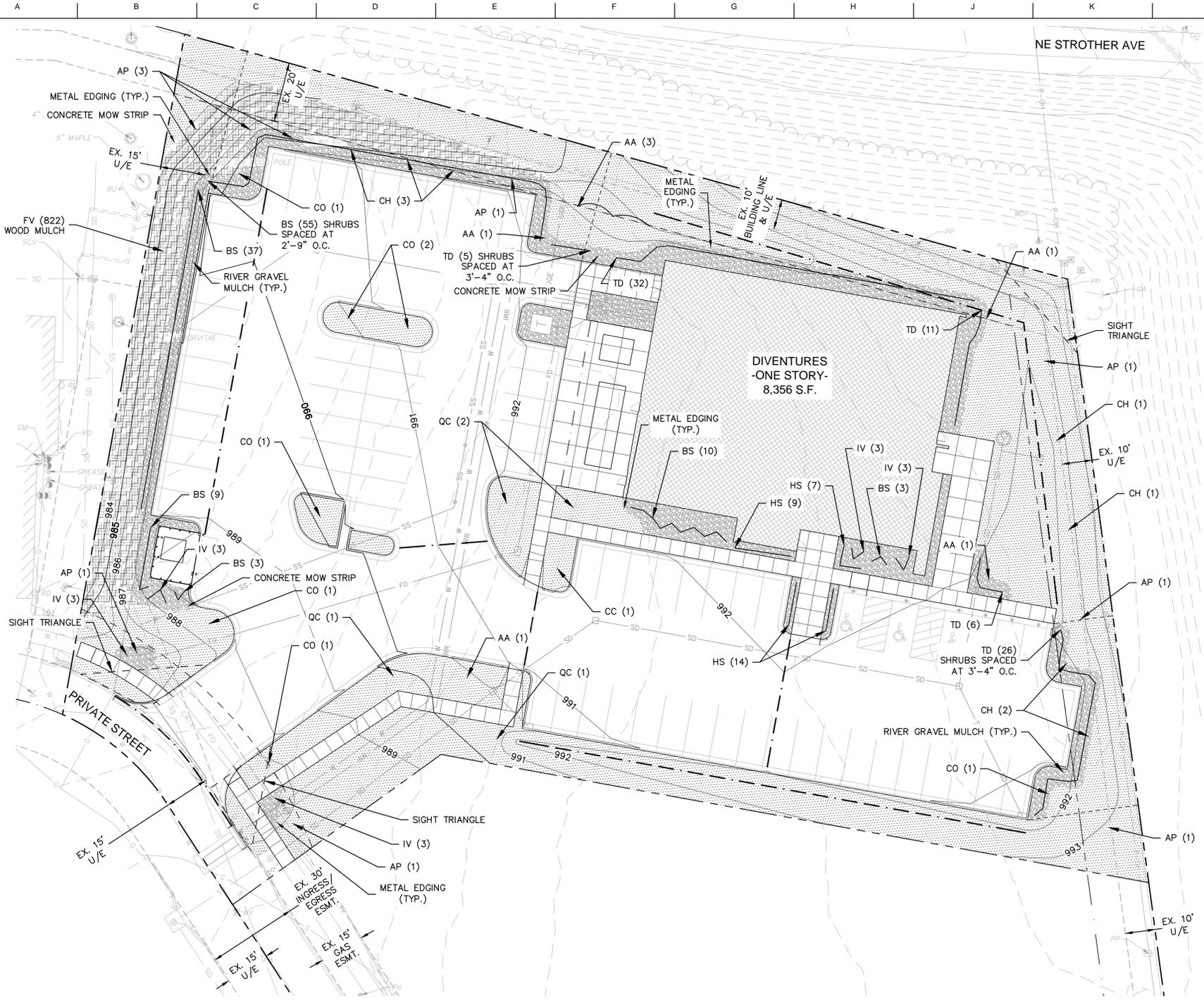
PROJECT TITLE
DIVERURES OF LEE'S SUMMIT

PROJECT ADDRESS:
2951 NE. INDEPENDENCE AVENUE
LEE'S SUMMIT, MO 64002

LANDSCAPE PLAN

olsson
Olsson, INC. Engineering MO State Cert. of Authority #001592
Olsson, INC. Landscape Architecture MO State Cert. of Authority #2005000285
550 St. Louis St.
Springfield, MO 65806
TEL 417.890.8802 www.olsson.com
Olsson # 022-02622

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1-800-DIG-RITE or 811
www.mocall.com



PLANT LIST

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
Trees					
7	AA	Amelanchier arborea	Serviceberry	3" Caliper	B&B
9	AP	Aesculus pavia	Red Buckeye	3" Caliper	B&B
1	CC	Cercis canadensis	Eastern Redbud	3" Caliper	B&B
7	CO	Celtis occidentalis	Hackberry	3" Caliper	B&B
7	CH	Chionanthus virginicus	Fringe Tree	3" Caliper	B&B
4	QC	Quercus coccinea	Scarlet Oak	3" Caliper	B&B
Shrubs					
117	BS	Buxus sempervirens 'Furora' JADE PILLAR	Jade Pillar Boxwood	5 Gallon	18" min. ht. - after installed AND pruned
15	IV	Itea virginica	Virginia Sweetpire	5 Gallon	18" min. ht. - after installed AND pruned
80	TD	Taxus x densiformis	Densiformis Yew	5 Gallon	18" min. ht. - after installed AND pruned
Perennials					
30	HS	Hemerocallis x 'Stella d' Oro'	Stella d' Oro Daylily	1 Gallon	Container
Groundcover					
822	FV	Fragaria virginiana	Wild Strawberry	2.5" Peat Pot	24" O.C.

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- UTILITY EASEMENT
- PROPOSED BUILDING SETBACK

HATCH LEGEND

- SOD (REFER TO DETAIL ON L201)
- GROUND COVER (REFER TO DETAIL ON L201)
- RIVER GRAVEL MULCH (REFER TO DETAIL ON L201)
- WOOD MULCH (REFER TO DETAIL ON L201)

LANDSCAPE LEGEND

- NEW TREE
- NEW SHRUB OR PERENNIAL

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