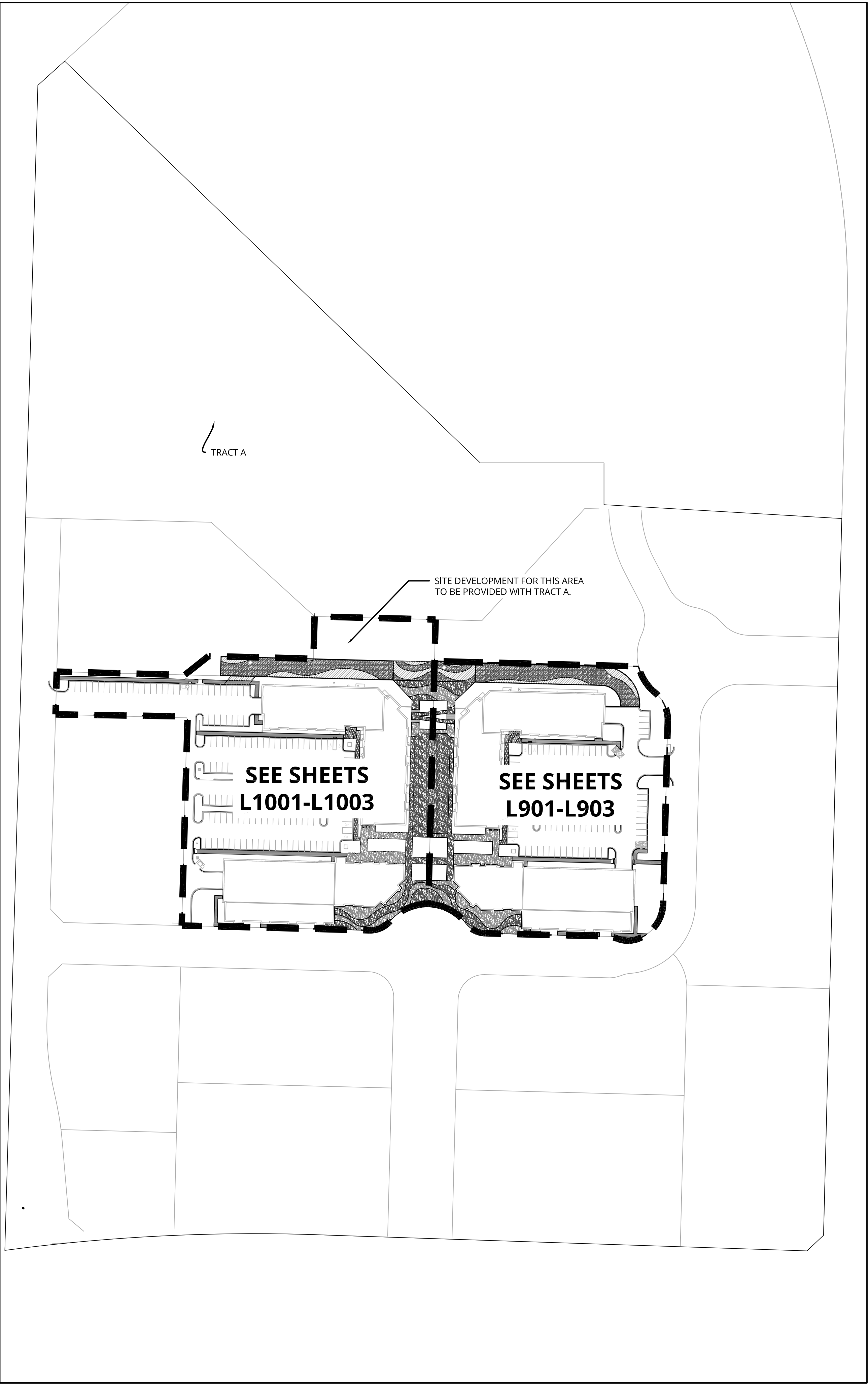
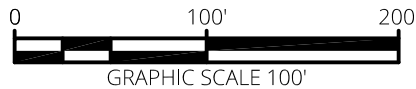


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 PLOTTED ON: Wednesday, April 17, 2024 3:39:04 PM
 PLOTTED BY: MIKE MCGREW



1
 L001 OVERALL SUBMITTAL PLAN
 1" = 100'-0"



IF THIS DRAWING IS PRINTED LESS THAN 24" X 36" IN SIZE, IT IS A REDUCED SIZE DRAWING. ADJUST SCALES ACCORDINGLY.

LANDSCAPING AND SCREENING REQUIREMENT - THE VILLAGES AT DISCOVERY PARK - LOT 9			
CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION			
SITE ZONED: CP-2, PROPOSED: PMIX			
TOTAL PROPERTY: 329,794 SF (LOT 10 = 181,882 SF + LOT 9 = 147,912 SF)			
		REQUIRED PLANTS	SHOWN PLANTS
STREET FRONTAGE TREES:			
SEC. 8.790	ONE TREE PER 30 FEET OF STREET FRONTAGE, PUBLIC OR PRIVATE.		
	TREES MAY BE CLUSTERED OR ARRANGED WITHIN THE SETBACK. A MIN. 20 FEET LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF THE STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.		
	LOT 9		
	TOTAL STREET FRONTAGE = 795 LF		
	(795 / 30 = 26.5)	27 TREES	27 TREES
		REQUIRED PLANTS	SHOWN PLANTS
STREET FRONTAGE SHRUBS:			
SEC. 8.790	ONE SHRUB PER 20 FEET OF STREET FRONTAGE		
	A MINIMUM 20 FEET WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.		
	LOT 9		
	TOTAL STREET FRONTAGE = 795 LF		
	(795 / 20 = 39.75)	40 SHRUBS	40 SHRUBS
		REQUIRED	SHOWN
PARKING LOT LANDSCAPING:			
SEC. 8.810	LANDSCAPE ISLANDS, STRIPS, OR OTHER PLANTING AREA SHALL BE AT LEAST FIVE PERCENT OF THE ENTIRE PARKING AREA.		
	LOT 9		
	TOTAL PARKING LOT AREA: 34,888 SF		
	TOTAL LANDSCAPE ISLAND AREA: 4,370 SF		
	(4,370 / 34,888 = 0.1253)	5.00%	12.53%
OPEN AREAS NOT COVERED WITH OTHER MATERIALS SHALL BE COVERED WITH SOD. GROUND COVER SHALL BE UTILIZED ON ALL SLOPES IN EXCESS OF 3:1 SLOPE.			

LANDSCAPING AND SCREENING REQUIREMENT - THE VILLAGES AT DISCOVERY PARK - LOT 10			
CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION			
SITE ZONED: CP-2, PROPOSED: PMIX			
TOTAL PROPERTY: 329,794 SF (LOT 10 = 181,882 SF + LOT 9 = 147,912 SF)			
		REQUIRED PLANTS	SHOWN PLANTS
STREET FRONTAGE TREES:			
SEC. 8.790	ONE TREE PER 30 FEET OF STREET FRONTAGE, PUBLIC OR PRIVATE.		
	TREES MAY BE CLUSTERED OR ARRANGED WITHIN THE SETBACK. A MIN. 20 FEET LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF THE STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.		
	LOT 10		
	TOTAL STREET FRONTAGE = 393 LF		
	(393 / 30 = 13.1)	14 TREES	14 TREES
		REQUIRED PLANTS	SHOWN PLANTS
STREET FRONTAGE SHRUBS:			
SEC. 8.790	ONE SHRUB PER 20 FEET OF STREET FRONTAGE		
	A MINIMUM 20 FEET WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.		
	LOT 10		
	TOTAL STREET FRONTAGE = 393 LF		
	(393 / 20 = 19.65)	20 SHRUBS	20 SHRUBS
		REQUIRED	SHOWN
PARKING LOT LANDSCAPING:			
SEC. 8.810	LANDSCAPE ISLANDS, STRIPS, OR OTHER PLANTING AREA SHALL BE AT LEAST FIVE PERCENT OF THE ENTIRE PARKING AREA.		
	LOT 10		
	TOTAL PARKING LOT AREA: 56,886 SF		
	TOTAL LANDSCAPE ISLAND AREA: 8,345 SF		
	(8,345 / 56,886 = 0.1467)	5.00%	14.67%
OPEN AREAS NOT COVERED WITH OTHER MATERIALS SHALL BE COVERED WITH SOD. GROUND COVER SHALL BE UTILIZED ON ALL SLOPES IN EXCESS OF 3:1 SLOPE.			

MATERIAL SCHEDULE					
KEY	MATERIAL NAME	MANUFACTURER/SUPPLIER	COLLECTIO N	COMMENTS	CONTACT
LOT 10					
	PAVING				
P-100	GRAY CONCRETE	N/A			
P-101	LIGHT DUTY GRAY CONCRETE	N/A			
P-110	INTEGRAL COLOR CONCRETE TYPE A	DECORATIVE CONCRETE SUPPLY	N/A	COLORATION SYSTEM TBD	913-422-4443
P-111	INTEGRAL COLOR CONCRETE TYPE B	DECORATIVE CONCRETE SUPPLY	N/A	COLORATION SYSTEM TBD	913-422-4443
P-120	INTEGRAL COLOR STAMPED CONCRETE TYPE C	DECORATIVE CONCRETE SUPPLY	N/A	COLORATION SYSTEM TBD	913-422-4443
P-121	INTEGRAL COLOR STAMPED CONCRETE TYPE D	DECORATIVE CONCRETE SUPPLY	N/A	COLORATION SYSTEM TBD	913-422-4443
P-130	LIGHT DUTY INTEGRAL COLOR STAMPED CONCRETE TYPE E				
	SITE FURNISHINGS				
SF-100	BENCH-STREETSCAPE	ANOVA	AIRI STIX	6' CONTOUR BENCH, TEXTURED BLACK COLOR, SURFACE MOUNTED	314-495-8357
SF-110	TRASH RECEPTACLE - STREETSCAPE	ANOVA	AIRI STIX	45-GALLON WITH SIDE DOOR, TEXTURED BLACK COLOR	314-495-8357
LOT 10					
	PAVING				
P-100	GRAY CONCRETE	N/A			
P-110	INTEGRAL COLOR CONCRETE TYPE A	DECORATIVE CONCRETE SUPPLY	N/A	COLORATION SYSTEM TBD	913-422-4443
P-111	INTEGRAL COLOR CONCRETE TYPE B	DECORATIVE CONCRETE SUPPLY	N/A	COLORATION SYSTEM TBD	913-422-4443
P-120	INTEGRAL COLOR STAMPED CONCRETE TYPE C	DECORATIVE CONCRETE SUPPLY	N/A	COLORATION SYSTEM TBD	913-422-4443
P-121	INTEGRAL COLOR STAMPED CONCRETE TYPE D	DECORATIVE CONCRETE SUPPLY	N/A	COLORATION SYSTEM TBD	913-422-4443
	SITE FURNISHINGS				
SF-100	BENCH	ANOVA	AIRI STIX	6' CONTOUR BENCH, TEXTURED BLACK COLOR, SURFACE MOUNTED	314-495-8357
SF-110	TRASH/RECYCLER RECEPTACLE	ANOVA	AIRI STIX	45-GALLON WITH SIDE DOOR, TEXTURED BLACK COLOR	314-495-8357

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PROJECT # 24-016
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current submittal
**FINAL SITE DEVELOPMENT
 PLAN**

issued: 04/17/2024

revisions

Date	No.

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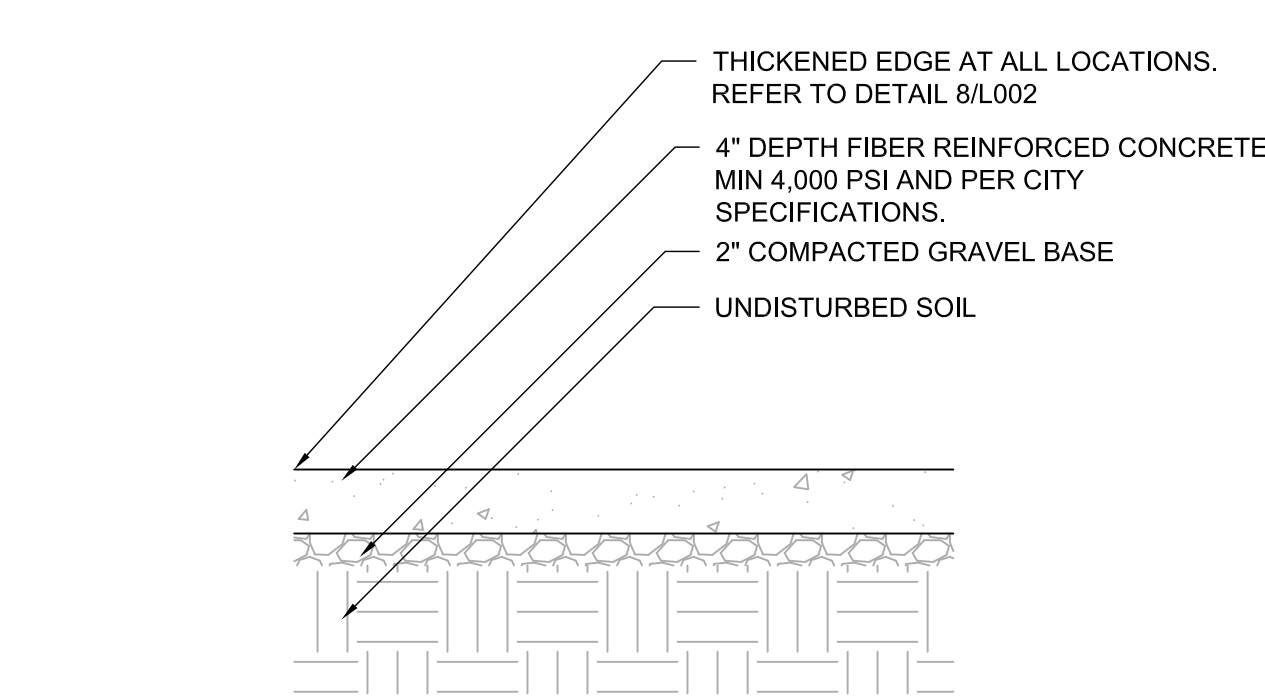
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SITE PLAN

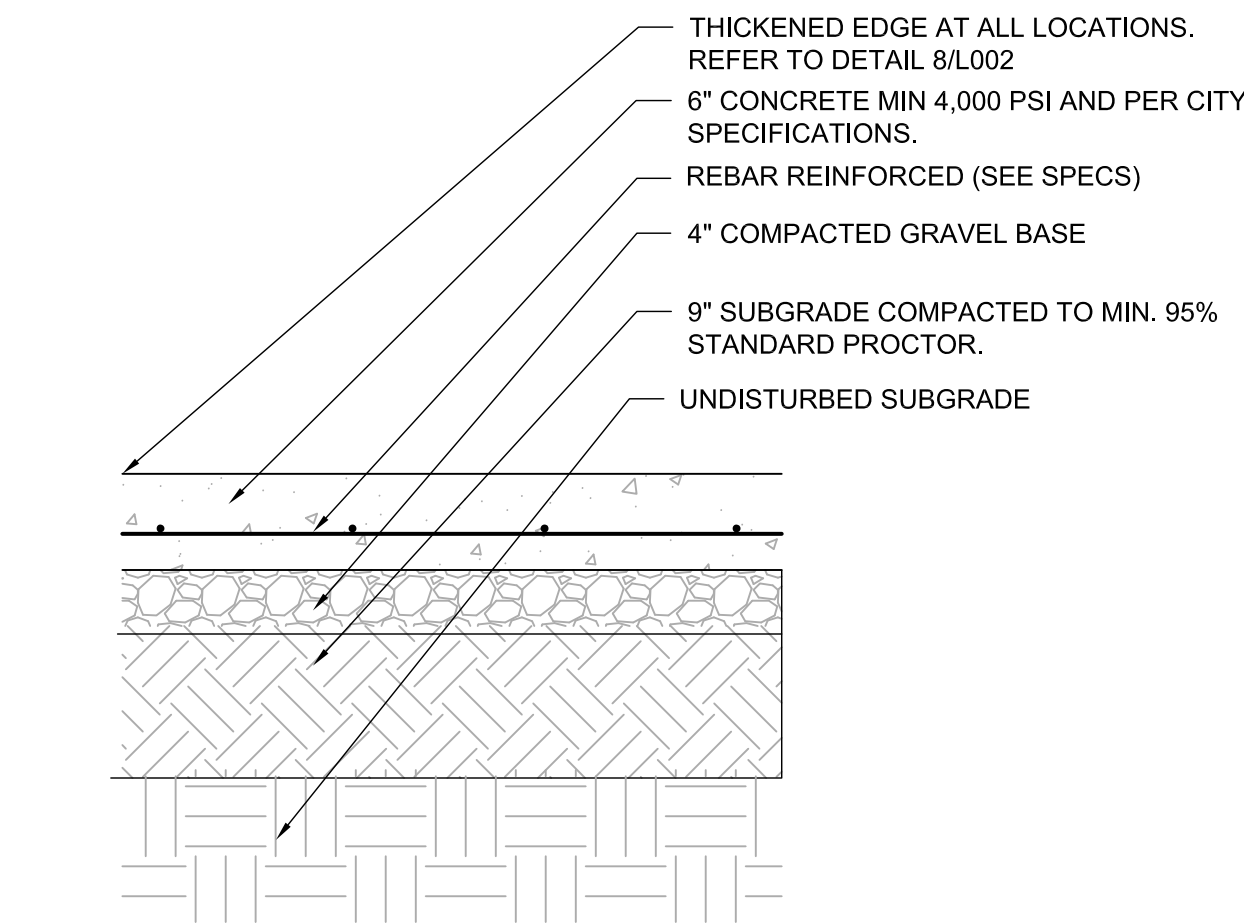
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 LEE'S SUMMIT, MO 64064

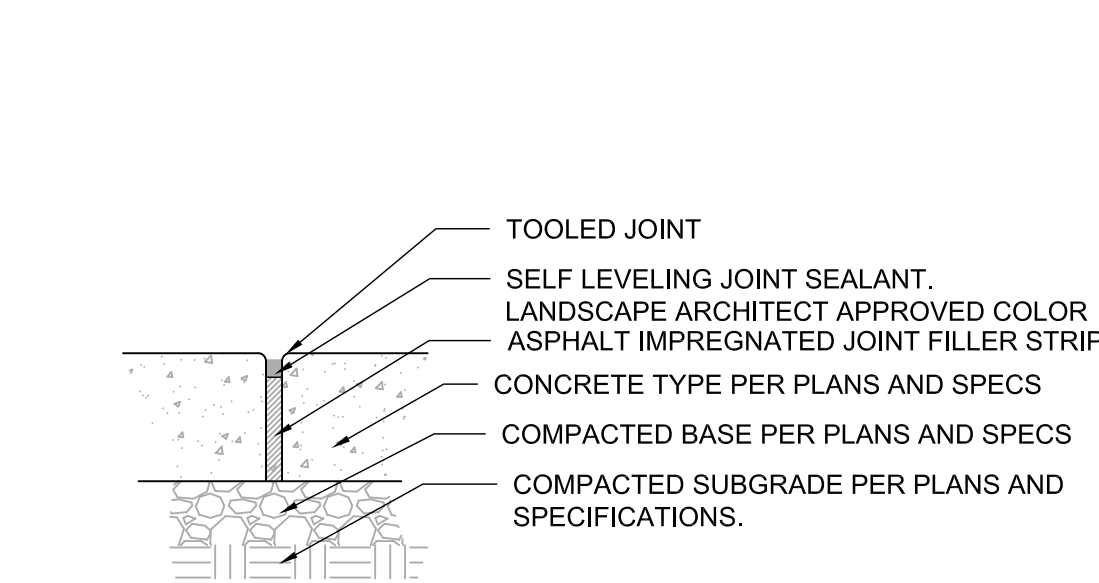
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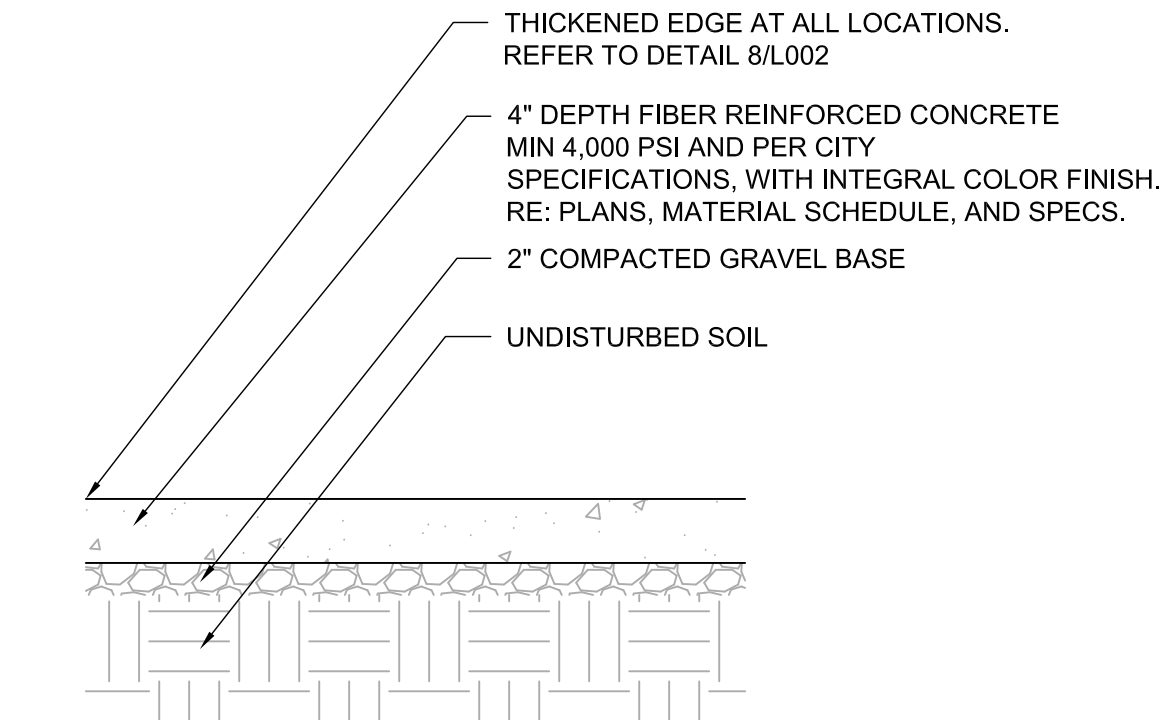
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TYPICAL GRAY CONCRETE
1" = 1'-0"



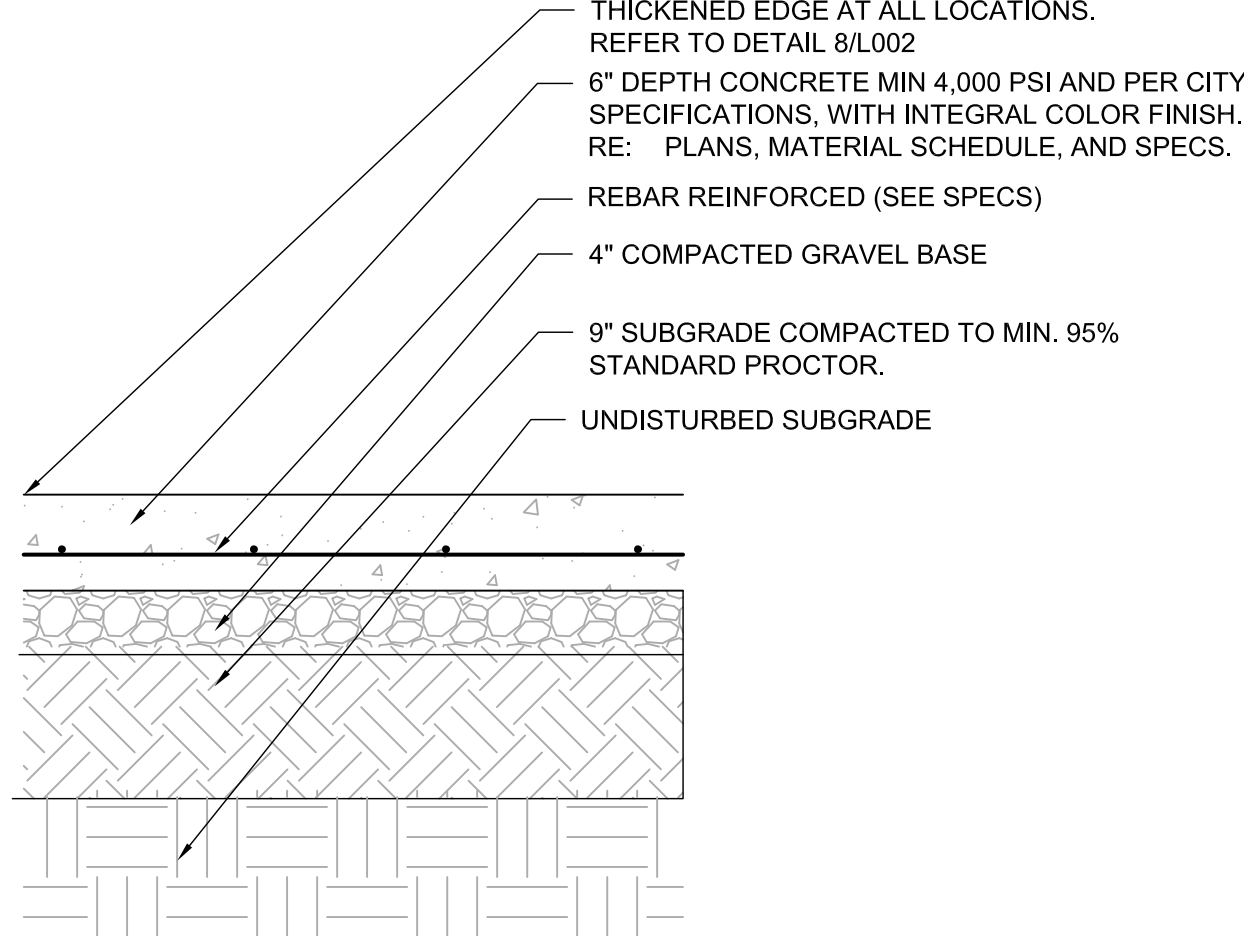
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L002
TYPICAL LIGHT DUTY CONCRETE
1" = 1'-0"



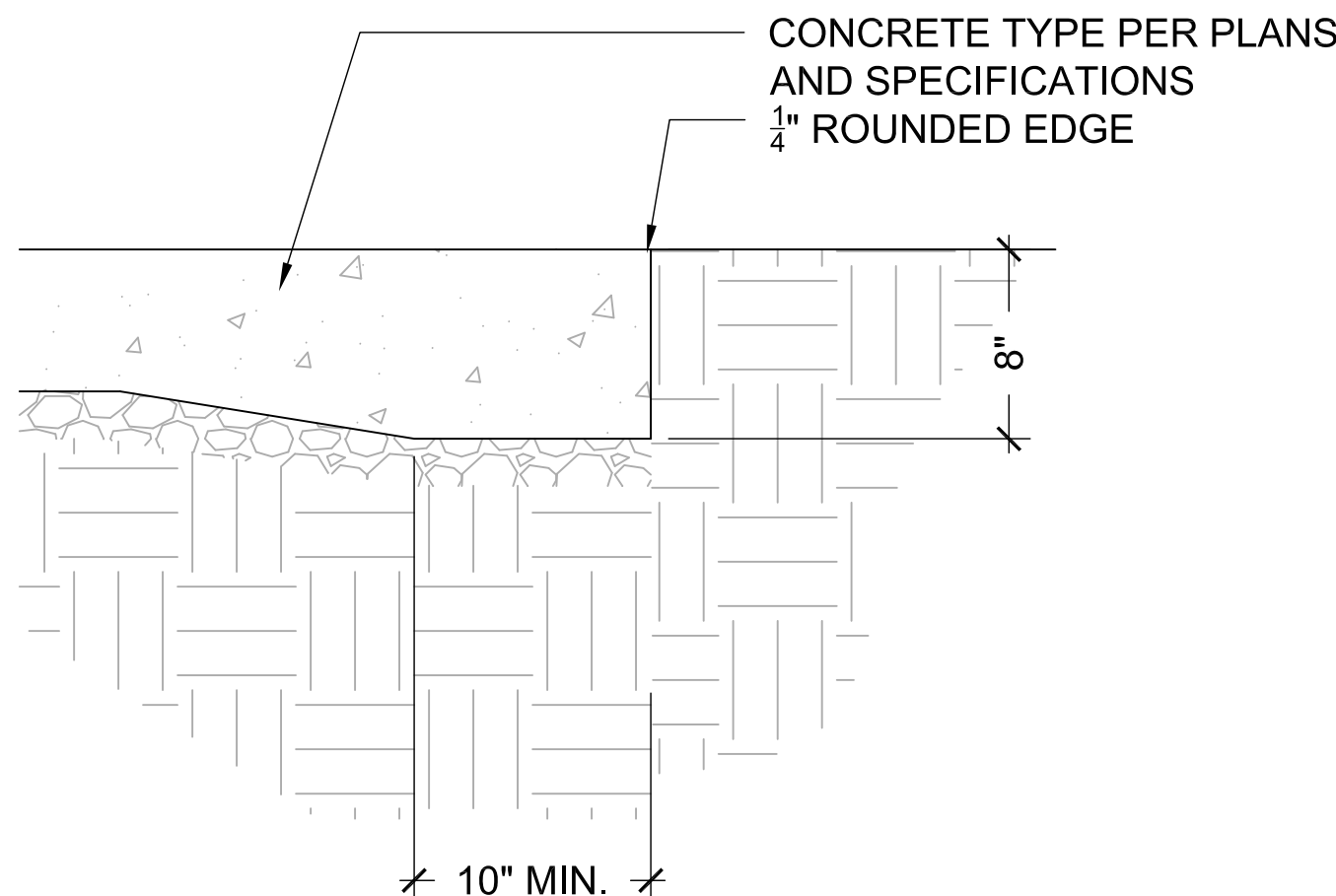
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L002
EXPANSION JOINT
1" = 1'-0"



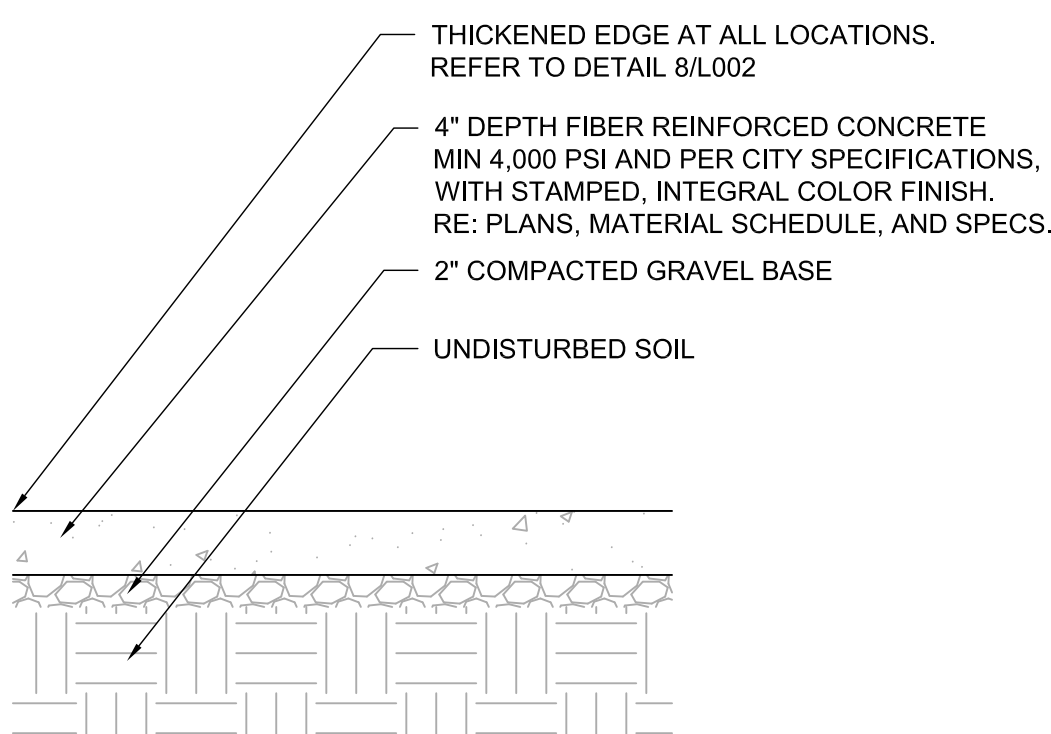
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L002
TYPICAL INTEGRAL COLOR CONCRETE
1" = 1'-0"



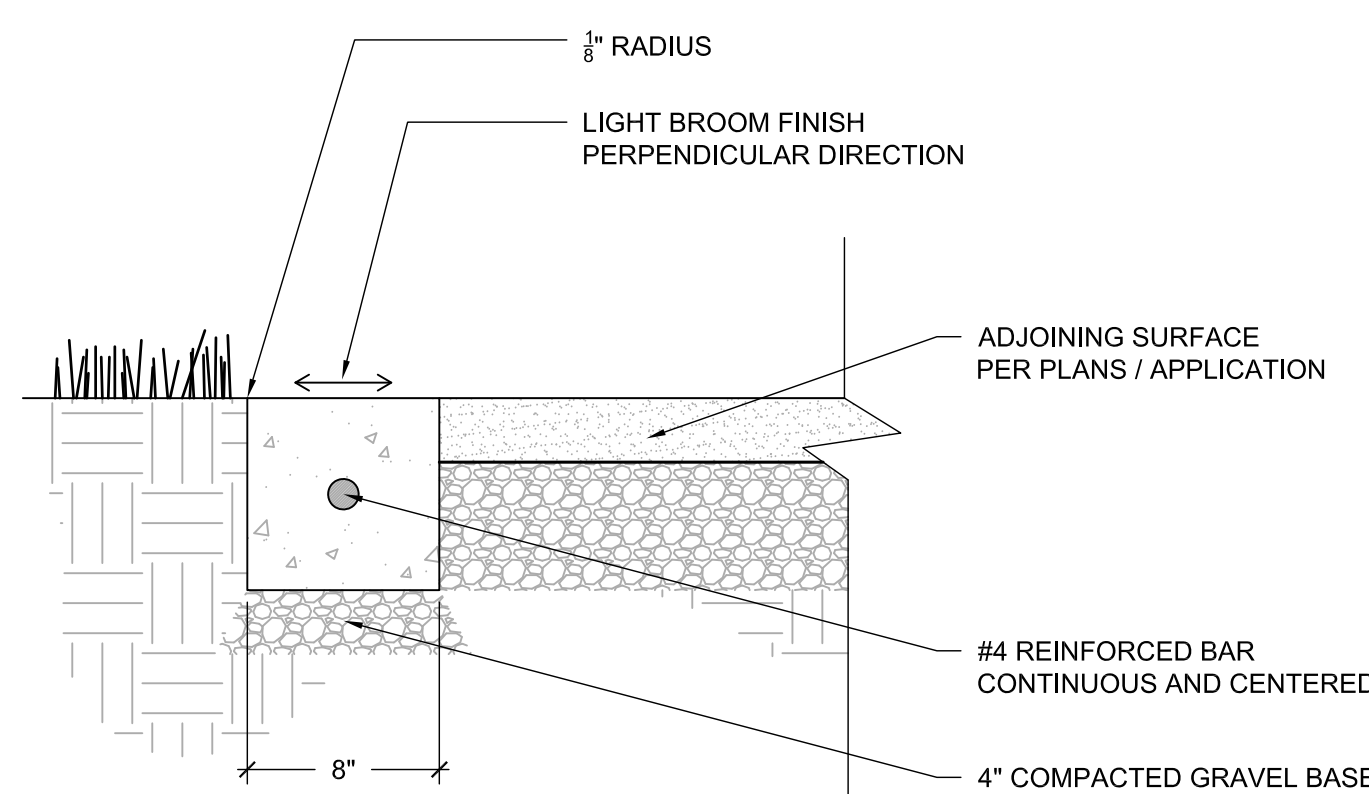
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L002
TYPICAL LIGHT DUTY INTEGRAL COLOR CONCRETE
1" = 1'-0"



8
L002
THICKENED EDGE
1" = 1'-0"



3
L002
TYPICAL STAMPED INTEGRAL COLOR CONCRETE
1" = 1'-0"



NOTE: WIDTH AND DEPTH PER APPLICATION
RATIO OF WIDTH TO DEPTH 1:1

6
L002
CONCRETE CURB
1" = 1'-0"

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THE VILLAGE AT
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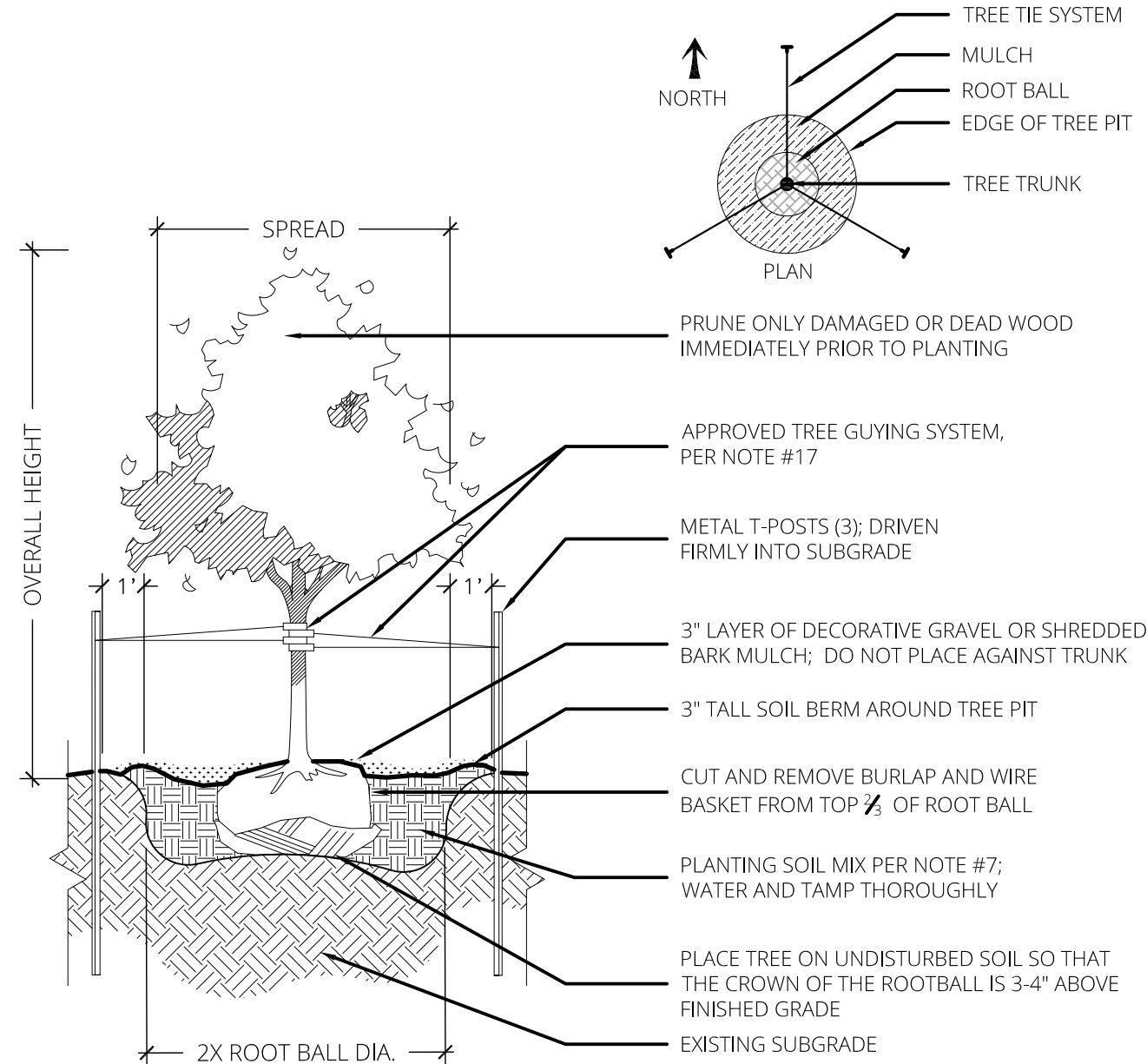
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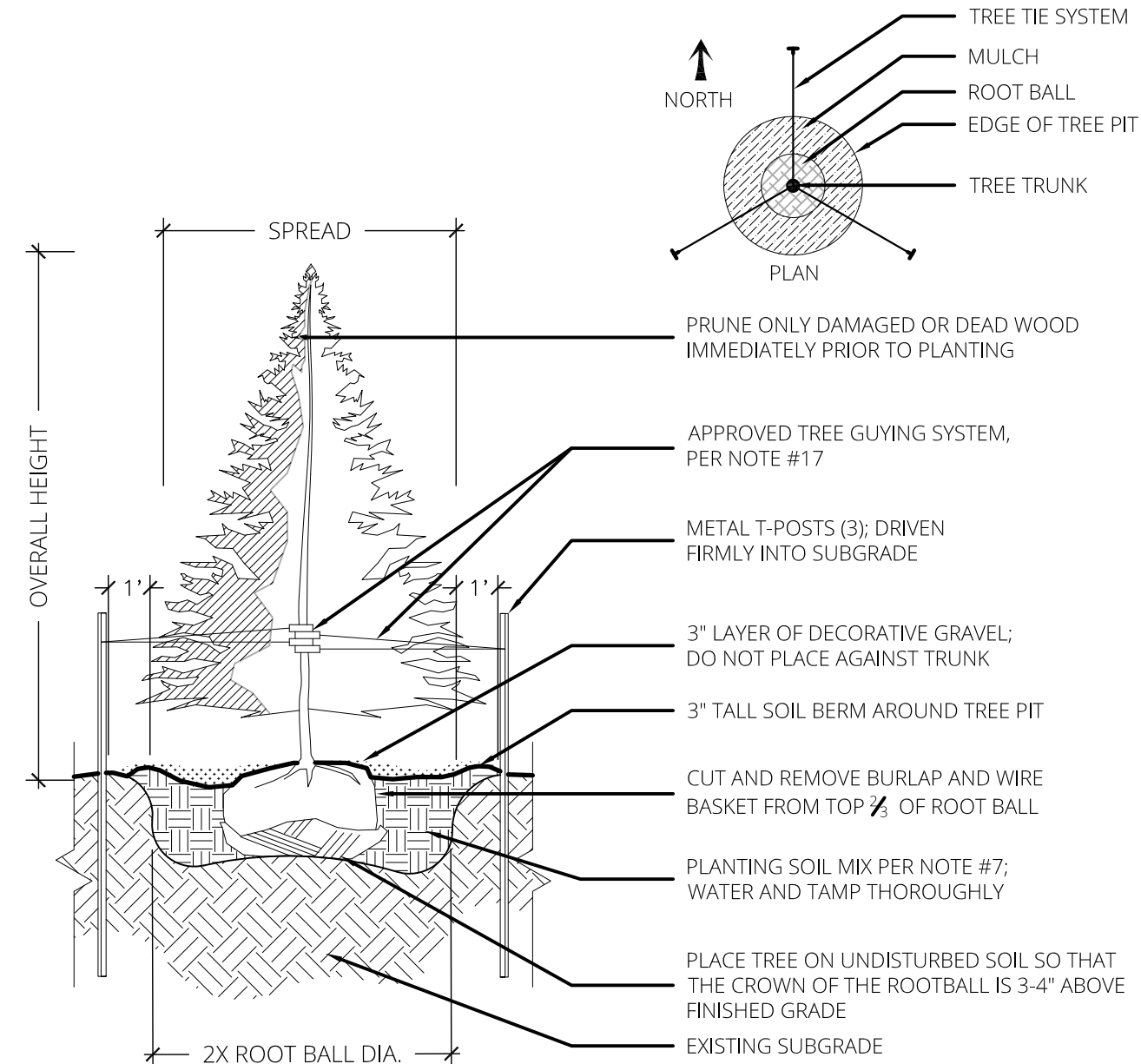
HARDSCAPE DETAILS

L002

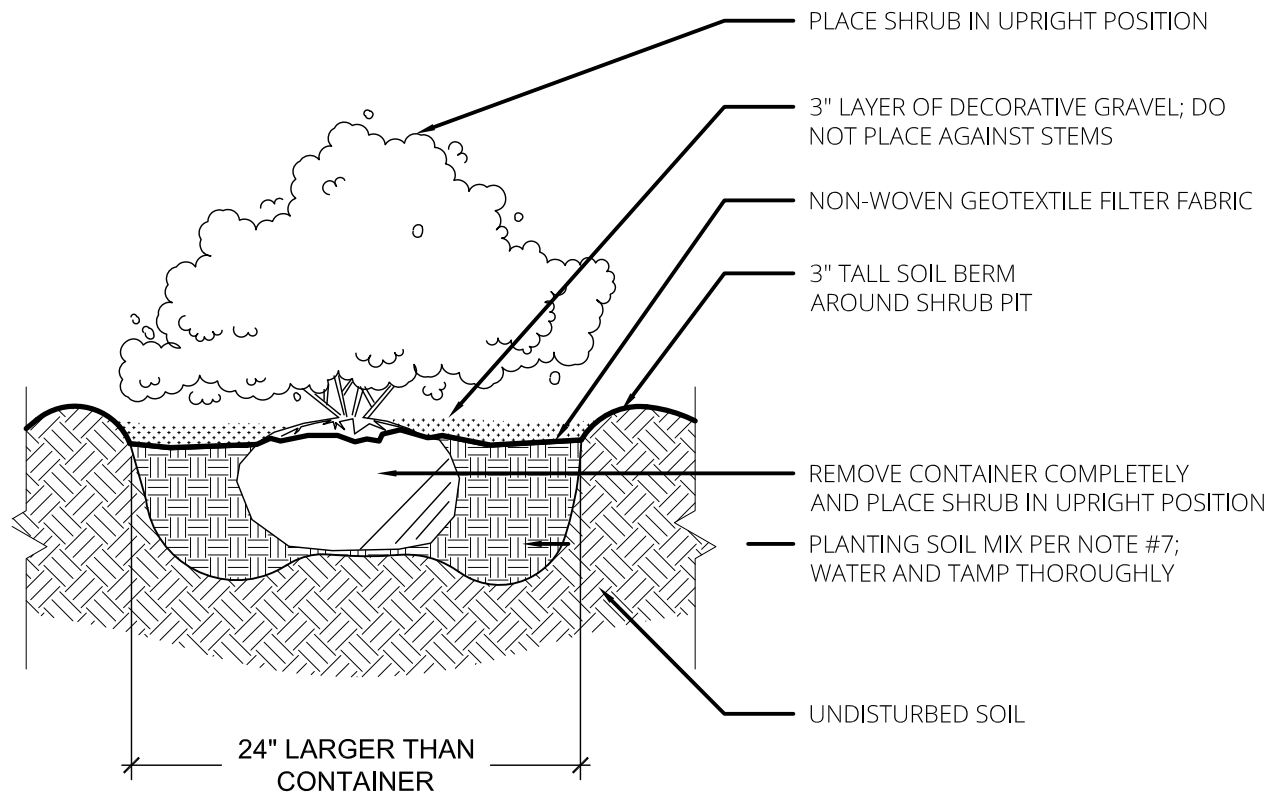
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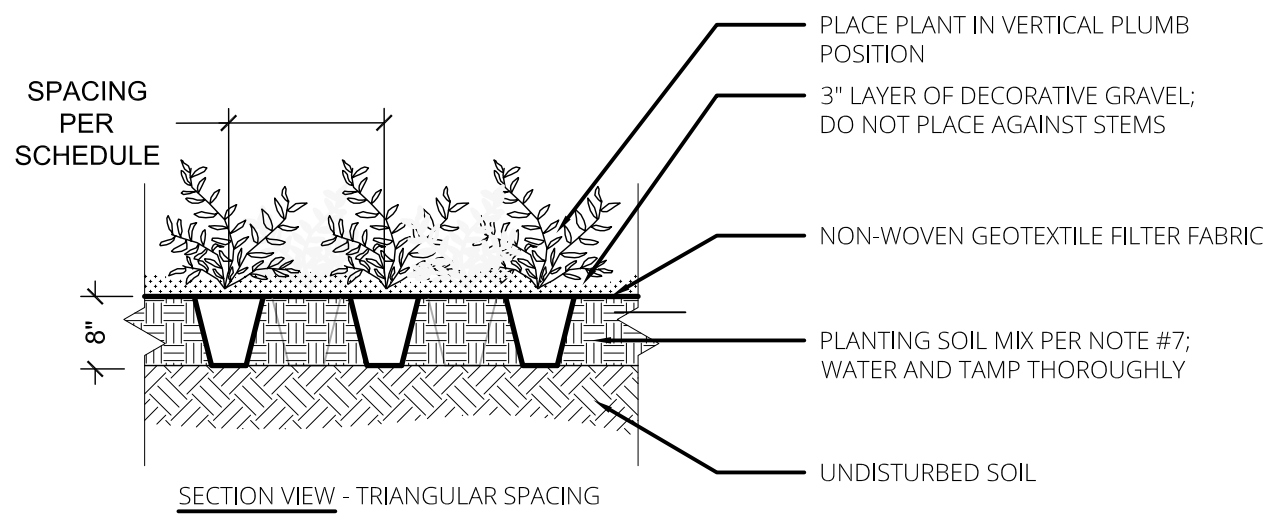
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 L003
 DECIDUOUS TREE PLANTING
 1/4" = 1'-0"



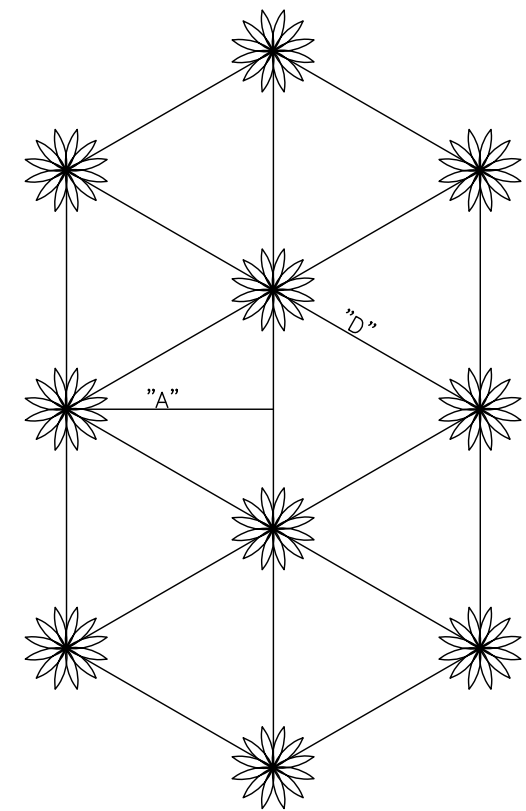
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 L003
 EVERGREEN TREE PLANTING
 1/4" = 1'-0"



3
 L003
 SHRUB PLANTING
 1/2" = 1'-0"



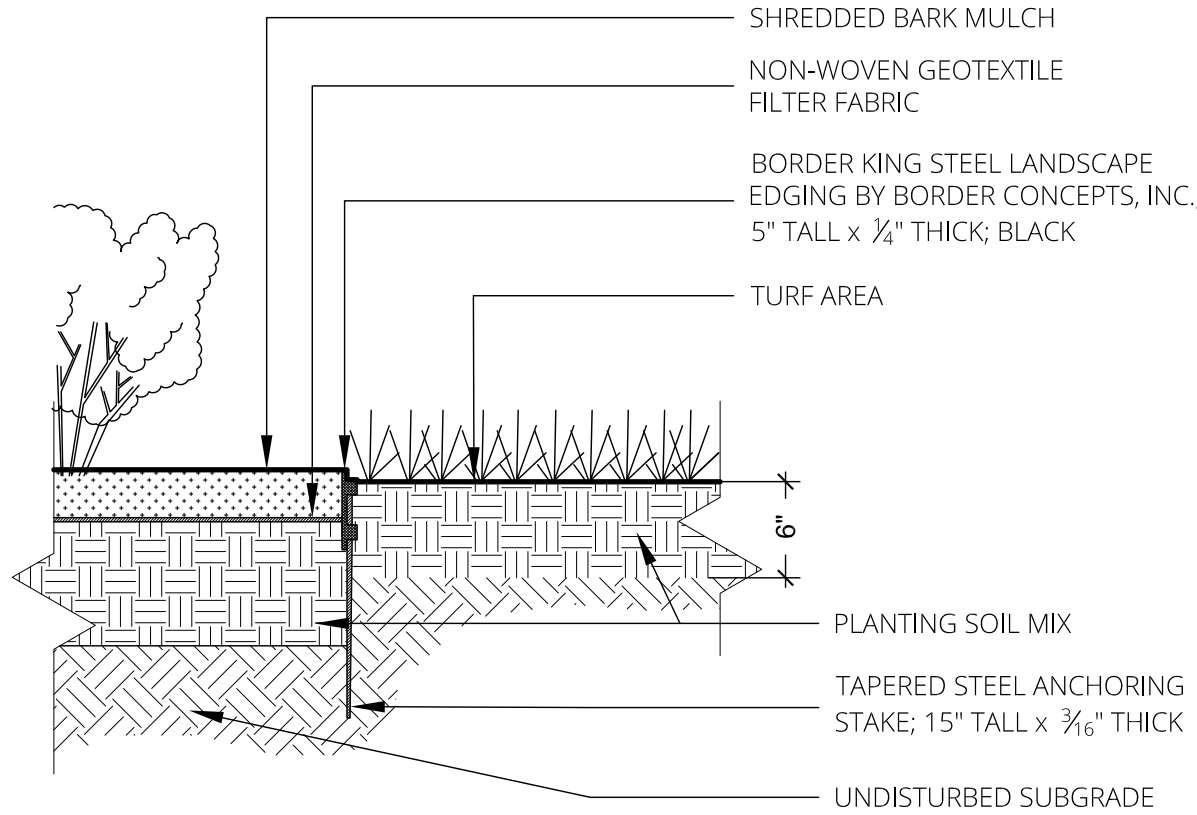
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 L003
 PERENNIAL PLANTING
 1/2" = 1'-0"



PERENNIAL PLANTINGS, GROUNDCOVERS & BULBS TO BE PLANTED ON TRIANGULAR GRID.

* SEE PLANT LIST FOR REQUIRED SPACING *

SPACING "D"	ROW WIDTH "A"	NO. OF PLANTS/1 S.F.
6" O.C.	5.2"	4.61
8" O.C.	6.93"	2.60
10" O.C.	8.66"	1.66
12" O.C.	10.4"	1.15
15" O.C.	13.0"	.738
18" O.C.	15.6"	.512
24" O.C.	20.8"	.330



6
 L003
 STEEL BED EDGING
 1" = 1'-0"

LANDSCAPE NOTES:

- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCING WORK. CONTACT MISSOURI ONE CALL AT 8-1-1 TO FILE A LOCATE REQUEST PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES RESULTING FROM LANDSCAPE OPERATIONS. ANY UTILITIES SHOWN ON PLAN ARE FOR REFERENCE ONLY AND MAY OR MAY NOT DEPICT THE ACTUAL LOCATION OF SERVICES.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN PRIOR TO BIDDING.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL BY THE OWNER'S REPRESENTATIVE. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE OWNER'S REPRESENTATIVE PRIOR TO PURCHASING MATERIALS OR STARTING CONSTRUCTION.
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE AMERICAN HORT "AMERICAN STANDARD OF NURSERY STOCK."
- PROVIDE AND INSTALL A 3" LAYER OF SHREDDED HARDWOOD BARK MULCH IN PLANTING BEDS AND AROUND ALL TREES NOT OTHERWISE LOCATED WITHIN A SHRUB PLANTING BED. MULCH SHALL CONSIST OF PURE WOOD, BROWN IN COLOR, AND BE FREE OF ALL FOREIGN SUBSTANCES. PROVIDE AND INSTALL PRE-EMERGENT HERBICIDE PRIOR TO MULCH INSTALLATION PER MANUFACTURERS INSTRUCTIONS.
- ALL SHRUB PLANTING BEDS AND TURF AREAS MUST BE SEPARATED WITH STEEL EDGING. PROVIDE AND INSTALL BORDER KING STEEL LANDSCAPE EDGING BY BORDER CONCEPTS, INC., OR APPROVED EQUAL. EDGES SHALL BE IN STRAIGHT LINES OR GENTLE FLOWING CURVES AS SHOWN PER PLAN. SUDDEN CURVES OR SHARP ANGLES SHOULD BE AVOIDED.
- CONTRACTOR SHALL USE AN APPROVED TREE GUYING SYSTEM THAT IS EASILY ADJUSTABLE, STRONG IN ALL WEATHER, AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT ACCEPTABLE FOR STAKED TREES. PRODUCT TO BE ARBOR TIE MANUFACTURED BY DEEP ROOT PARTNERS, OR APPROVED EQUAL.
- TURF SEED SHALL COMPLY WITH U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT AND BE EQUAL IN QUALITY TO STANDARDS FOR CERTIFIED SEED. SEED SHALL BE A TURF-TYPE FESCUE BLEND CONSISTING OF 90% TURF-TYPE TALL FESCUE, AND 10% KENTUCKY BLUEGRASS. ALL SEEDED AREAS SHALL BE MULCHED WITH STRAW OR HYDROMULCH AT TIME OF INSTALLATION UNTIL SEED HAS ESTABLISHED.
- TURF SOD SHALL BE CERTIFIED TURF GRASS SOD COMPLYING WITH TURFGRASS PRODUCERS INTERNATIONAL'S "GUIDELINE SPECIFICATIONS FOR TURF GRASS SODDING." SOD SHALL BE TURF-TYPE TALL FESCUE HARVESTED FROM A SOD FARM LOCATED WITHIN 100 MILES OF THE PROJECT SITE. SODS SHALL BE WELL ROOTED, 2-YEAR OLD STOCK HARVESTED IN ROLLS AND FERTILIZED 2-3 WEEKS PRIOR TO CUTTING. ALL SOD SHALL BE MACHINE CUT AND VIGOROUSLY GROWING (NOT DORMANT). MAXIMUM TIME FROM STRIPPING TO PLANTING SHALL BE 24 HOURS.
- REMOVE ALL RUBBISH, EQUIPMENT, AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES. REMOVE SOIL OR DIRT THAT ACCUMULATES DUE TO PLANTING OPERATIONS EACH DAY.
- AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION AFTER ONE FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE SHALL BE REPLACED FREE OF CHARGE TO THE OWNER.
- OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THESE SPECIFICATION REQUIREMENTS.
- CONTRACTOR SHALL GUARANTEE TREES, SHRUBS, AND TURF FOR ONE CALENDAR YEAR FOLLOWING PROVISIONAL ACCEPTANCE OF THE OVERALL PROJECT. DURING THE GUARANTEE PERIOD, PLANTS THAT DIE DUE TO NATURAL CAUSES OR THAT ARE UNHEALTHY OR UNSIGHTLY IN CONDITION, SHALL BE REPLACED BY THE CONTRACTOR. PLANTS USED FOR THE REPLACEMENT SHALL BE OF THE SAME VARIETY AND SIZE AS ORIGINALLY SPECIFIED IN THE PLANT SCHEDULE. REPLACEMENTS SHALL BE MADE WITHIN ONE WEEK OF REQUEST PENDING FAVORABLE SEASONAL PLANTING CONDITIONS. GUARANTEE WILL NOT BE ENFORCED SHOULD THE PLANT MATERIAL DIE DUE TO VANDALISM, OVER OR UNDER WATERING BY THE OWNER, IMPROPER MAINTENANCE PROCEDURES CARRIED OUT BY THE OWNER, OVER FERTILIZATION, ACTS NOT RELATED TO CONTRACTUAL RESPONSIBILITIES OF CONTRACTOR, OR SIMILAR CIRCUMSTANCES BEYOND THE CONTROL OF THE CONTRACTOR.
- CONTRACTOR SHALL EXCAVATE 24" MINIMUM BELOW THE PROPOSED SUBGRADE UNDER ALL SHRUB PLANTING BEDS AND INSTALL THE SPECIFIED PLANTING SOIL MIX. CONTRACTOR SHALL EXCAVATE 6" MINIMUM BELOW THE PROPOSED SUBGRADE UNDER ALL TURF AREAS AND INSTALL THE SPECIFIED PLANTING SOIL MIX. REFER TO SPECIFICATIONS.

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NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MO 64064

current submittal
FINAL SITE DEVELOPMENT PLAN

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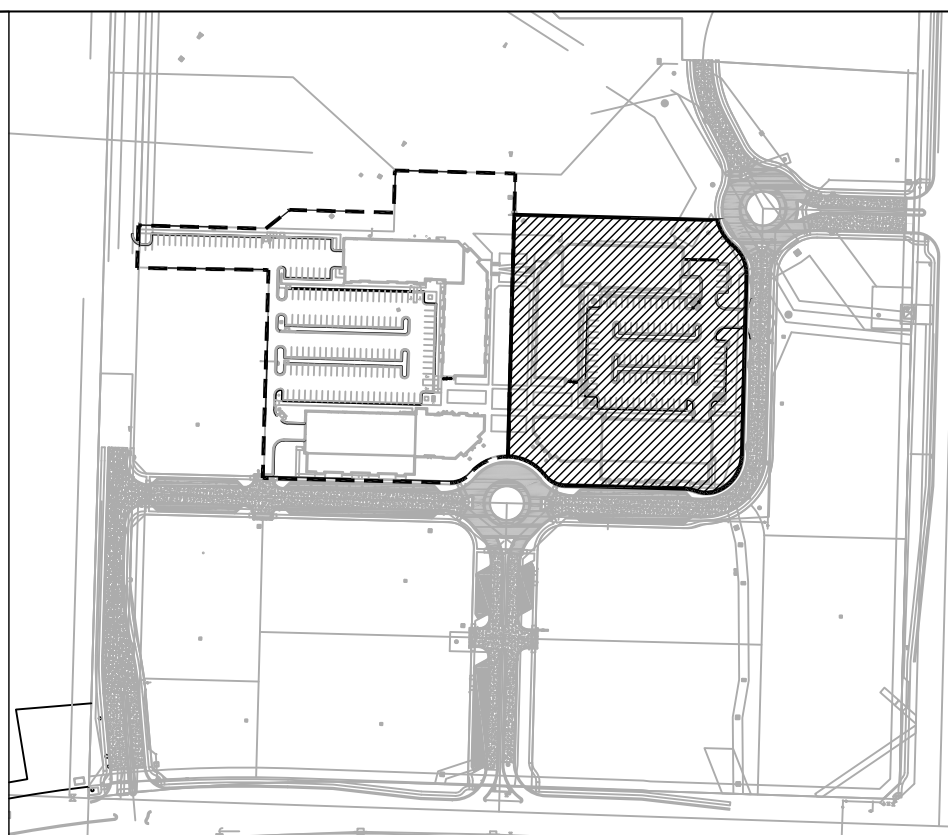
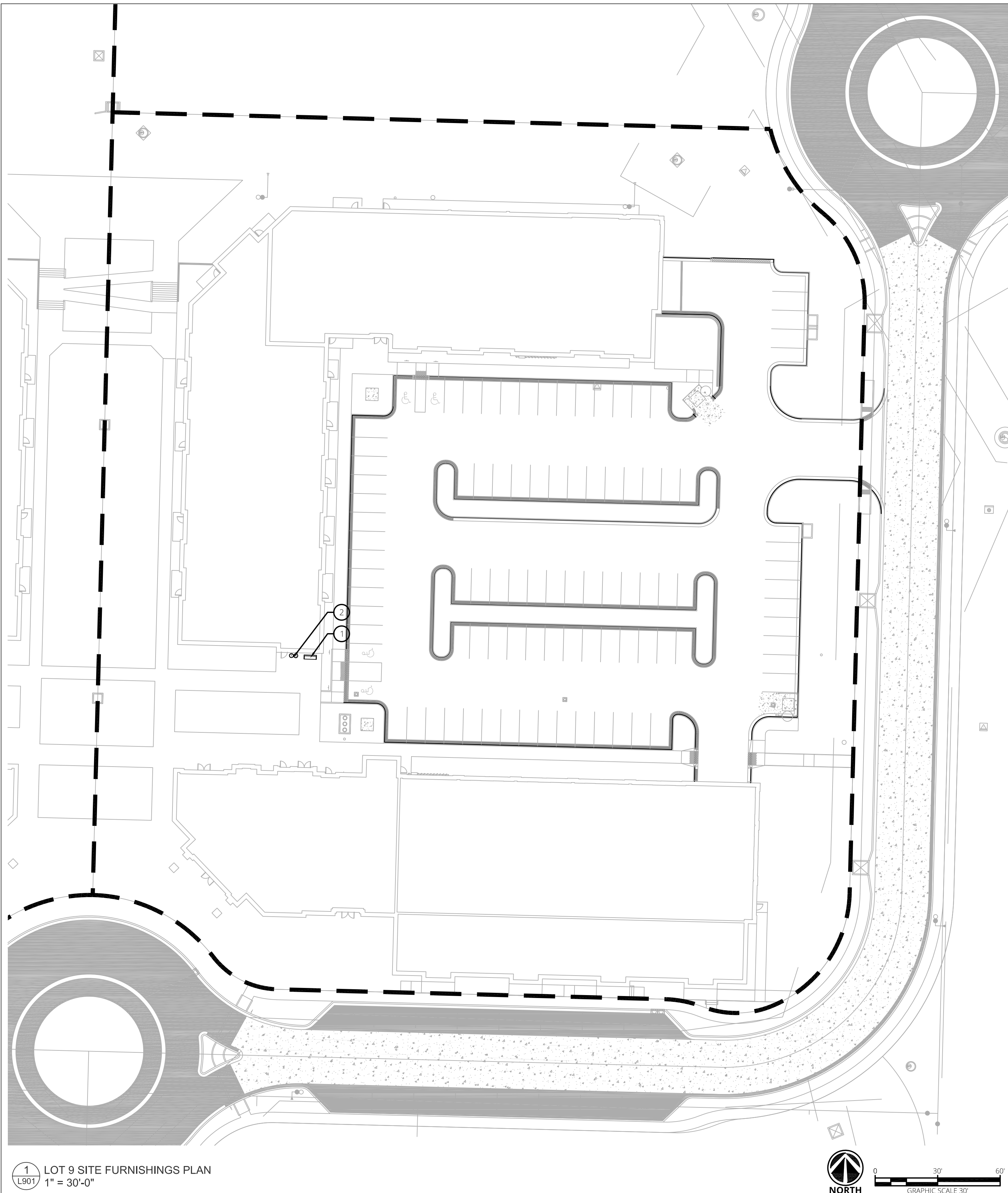
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LANDSCAPE DETAILS

L003



KEYMAP

SITE FURNISHING NOTES

1. PROVIDE AND INSTALL BENCH (SF-100). REFER TO SPECIFICATIONS
2. PROVIDE AND INSTALL TRASH/RECYCLER RECEPTACLE (SF-110). REFER TO SPECIFICATIONS

Landscape Architect

 **landworks**
STUDIO

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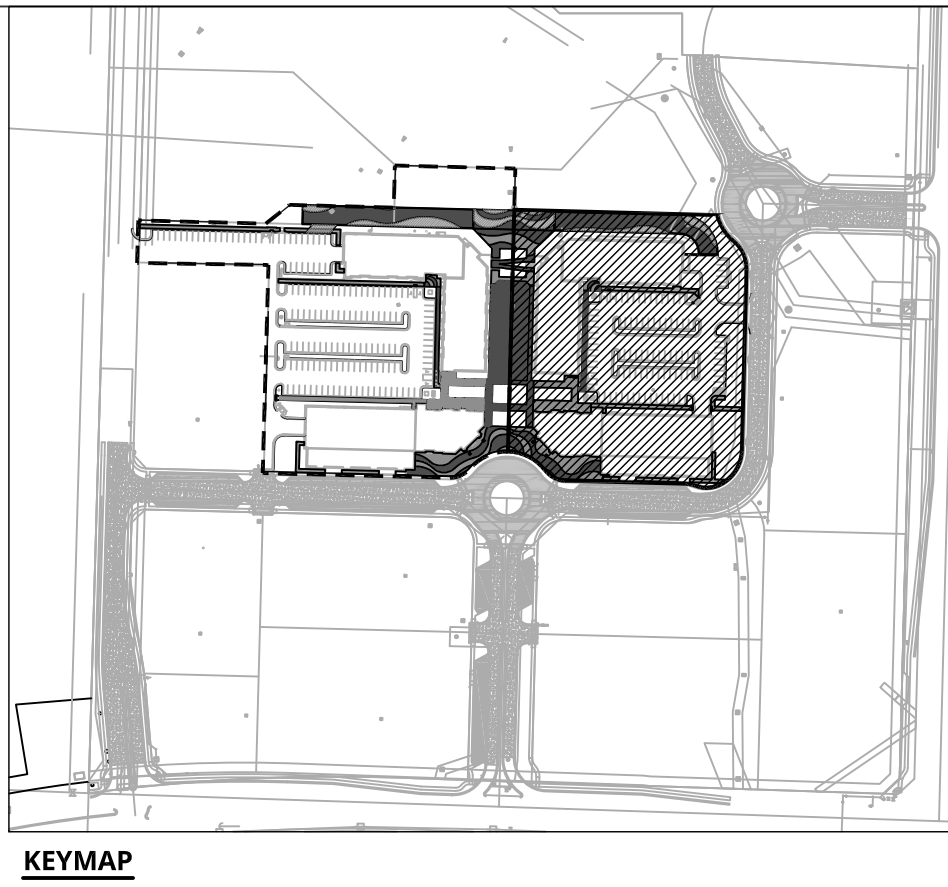
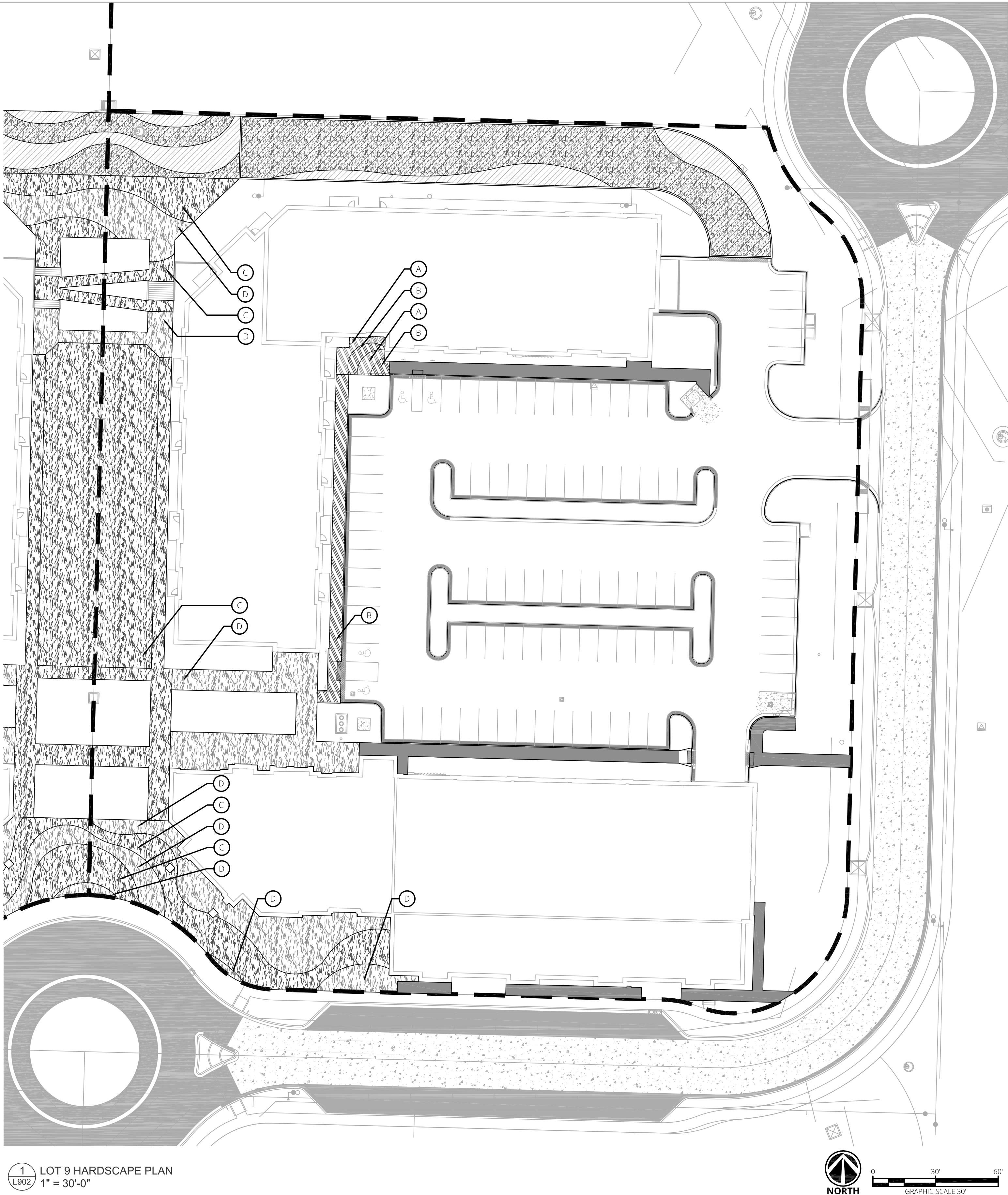
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CONSTRUCTION

LOT 9 SITE FURNISHINGS PLAN

L901

PLOTTED BY: MIKE MCGREW
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HARDSCAPE LEGEND

- GRAY CONCRETE
- INTEGRAL COLOR CONCRETE
- STAMPED INTEGRAL COLOR CONCRETE
- LIGHT DUTY CONCRETE
- LIGHT DUTY INTEGRAL COLOR CONCRETE

HARDSCAPE PLAN NOTES

(10)	PAVEMENTS / SURFACING	DETAIL
1.1	GRAY CONCRETE	1/L002
1.2	INTEGRAL COLOR CONCRETE	2/L002
1.3	STAMPED INTEGRAL COLOR CONCRETE	3/L002
1.4	LIGHT DUTY CONCRETE	4/L002
1.5	LIGHT DUTY INTEGRAL COLOR CONCRETE	5/L002

CONCRETE FINISH NOTES

- (A) CONSTRUCT INTEGRAL COLOR CONCRETE. CONCRETE COLOR TYPE "A"
- (B) CONSTRUCT INTEGRAL COLOR CONCRETE. CONCRETE COLOR TYPE "B"
- (C) CONSTRUCT STAMPED INTEGRAL COLOR CONCRETE. CONCRETE FINISH TYPE "C"
- (D) CONSTRUCT STAMPED INTEGRAL COLOR CONCRETE. CONCRETE FINISH TYPE "D"

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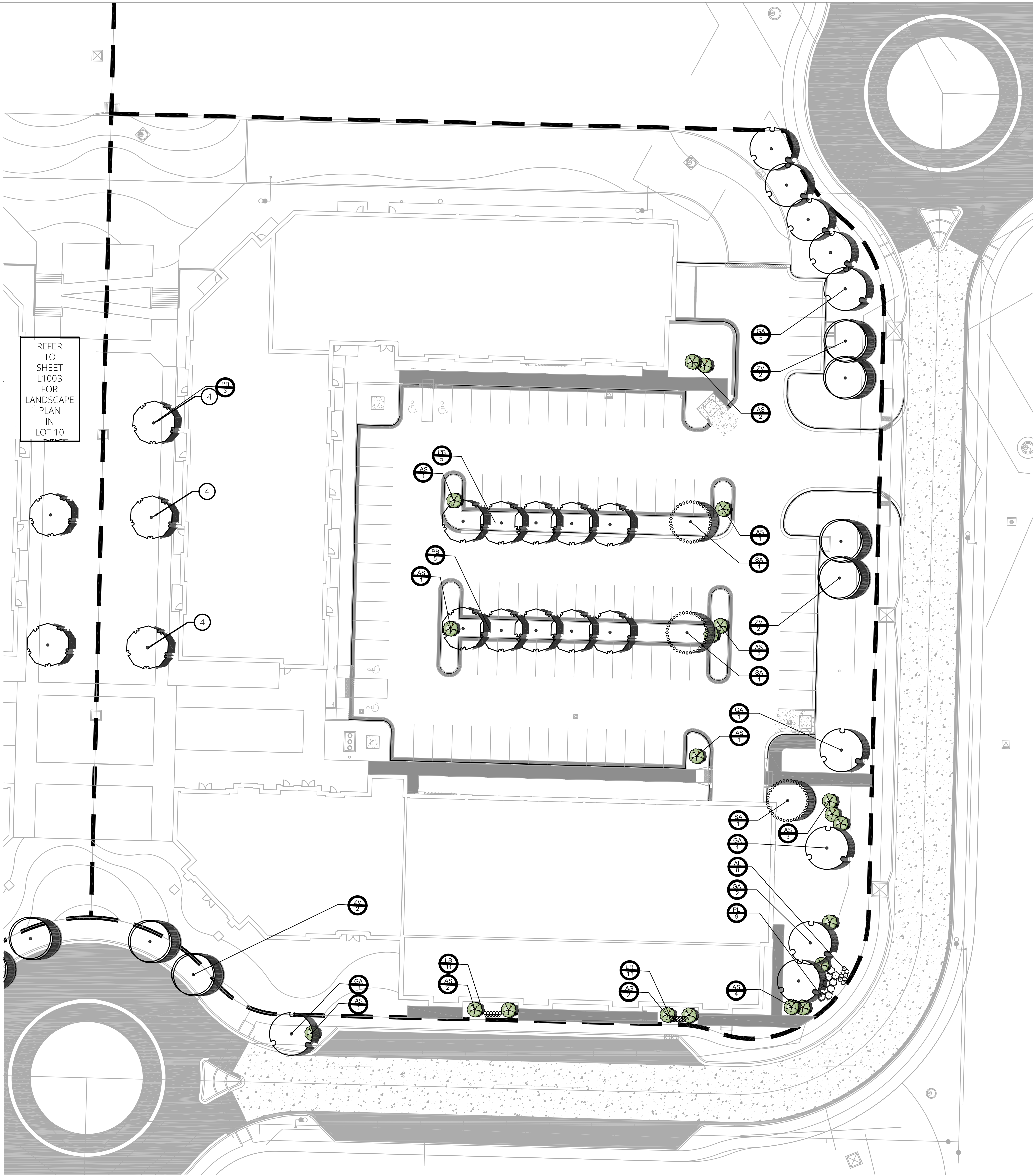
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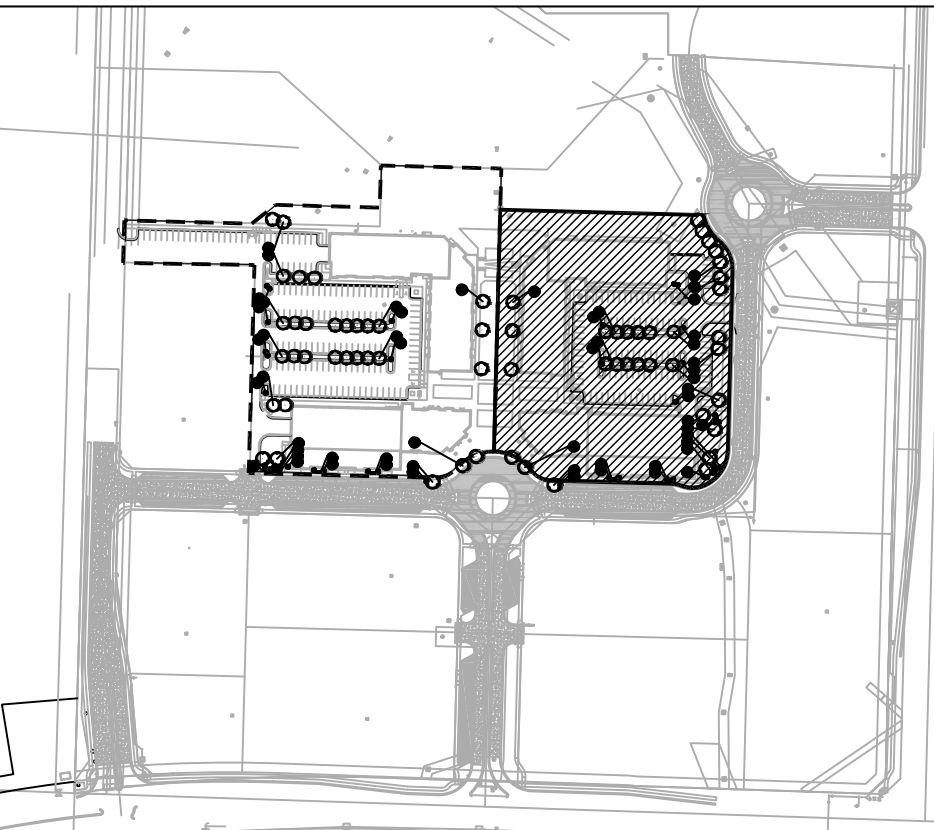
LOT 9 HARDSCAPE PLAN

L902

FILE NAME: 24-016 LANDSCAPE PLAN_CURRENT.DWG
PLOTTED ON: Wednesday, April 17, 2024 4:28:11 PM
FILE PATH: p:\24-016 discovery park the village\pln\1-central plaza l903 9 10 - less summit mo\24-016 - less summit mo\24-016 landscape plan_current.dwg



1 LOT 9 LANDSCAPE PLAN
L903
1" = 30'-0"



KEYMAP

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL
TREES					
	GA	13	GOLDEN HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'AUREA'	15 GAL	
	PB	28	BLOODGOOD LONDON PLANE TREE / PLATANUS X ACERIFOLIA 'BLOODGOOD'	15 GAL	
	SA	14	WHITE COMMON LILAC / SYRINGA VULGARIS 'ALBA'	15 GAL	
	ZV	8	VILLAGE GREEN JAPANESE ZELKOVA / ZELKOVA SERRATA 'VILLAGE GREEN'	15 GAL	
DECIDUOUS TREES					
	AS	37	SUGAR CONE SUGAR MAPLE / ACER SACCHARUM 'SUGAR CONE'	B & B	1.75" CAL
SHRUBS & PERENNIALS					
	AL	16	LOW SCAPE MOUND® BLACK CHOKEBERRY / ARONIA MELANOCARPA 'U'CONNAM165'	5 GAL	
	LB	65	BIG BLUE LILYTURF / LIRIOPE MUSCARI 'BIG BLUE'	1 GAL	
	PL	18	LITTLE DEVIL™ DWARF NINEBARK / PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL'	5 GAL	

PLANT SCHEDULE FOR BOTH LOTS 9 AND 10 SHOWN, SHALL BE REVISED DURING DESIGN DEVELOPMENT

LANDSCAPE PLAN NOTES

- 1 PROVIDE AND INSTALL PLANTING BED. REFER TO LANDSCAPE PLANS AND SPECIFICATIONS.
- 2 PROVIDE AND INSTALL STEEL BED EDGE. REFER TO DTL 6/L003.
- 3 AREA TO BE SODDED WITH TURF-TYPE TALL FESCUE. REFER TO SPECIFICATIONS.
- 4 TREES TO BE INSTALLED IN TREE WELL. REFER TO SPECIFICATIONS

NOTES:

- ALL WORK DESCRIBED IN THE LANDSCAPE PLAN SHALL COMPLY WITH ASSOCIATED CODES, ORDINANCES, AND PLAN REPORT REQUIREMENTS BY THE CITY OF LEE'S SUMMIT, MISSOURI AND THE PROPERTY MASTER PLAN UNLESS SPECIFICALLY MODIFIED BY AGREEMENT BETWEEN THE OWNER AND CITY OF LEE'S SUMMIT, MO., IN WHICH CASE THE MODIFIED AGREEMENT REQUIREMENTS SHALL TAKE PRECEDENCE.
- IRRIGATION SYSTEM TO BE INSTALLED.
- REFER TO SHEET L003 FOR ADDITIONAL LANDSCAPE NOTES AND DETAILS.

Landscape Architect

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THE VILLAGE AT
DISCOVERY PARK

PROJECT # 24-016

current submittal

FINAL SITE DEVELOPMENT
PLAN

issued: 04/17/2024

revisions

Date	No.

professional seal

NOT FOR
CONSTRUCTION

LOT 9 PLANTING PLAN

L903

NW COLBERN RD & NE DOUGLAS ST
LEE'S SUMMIT, MO 64064