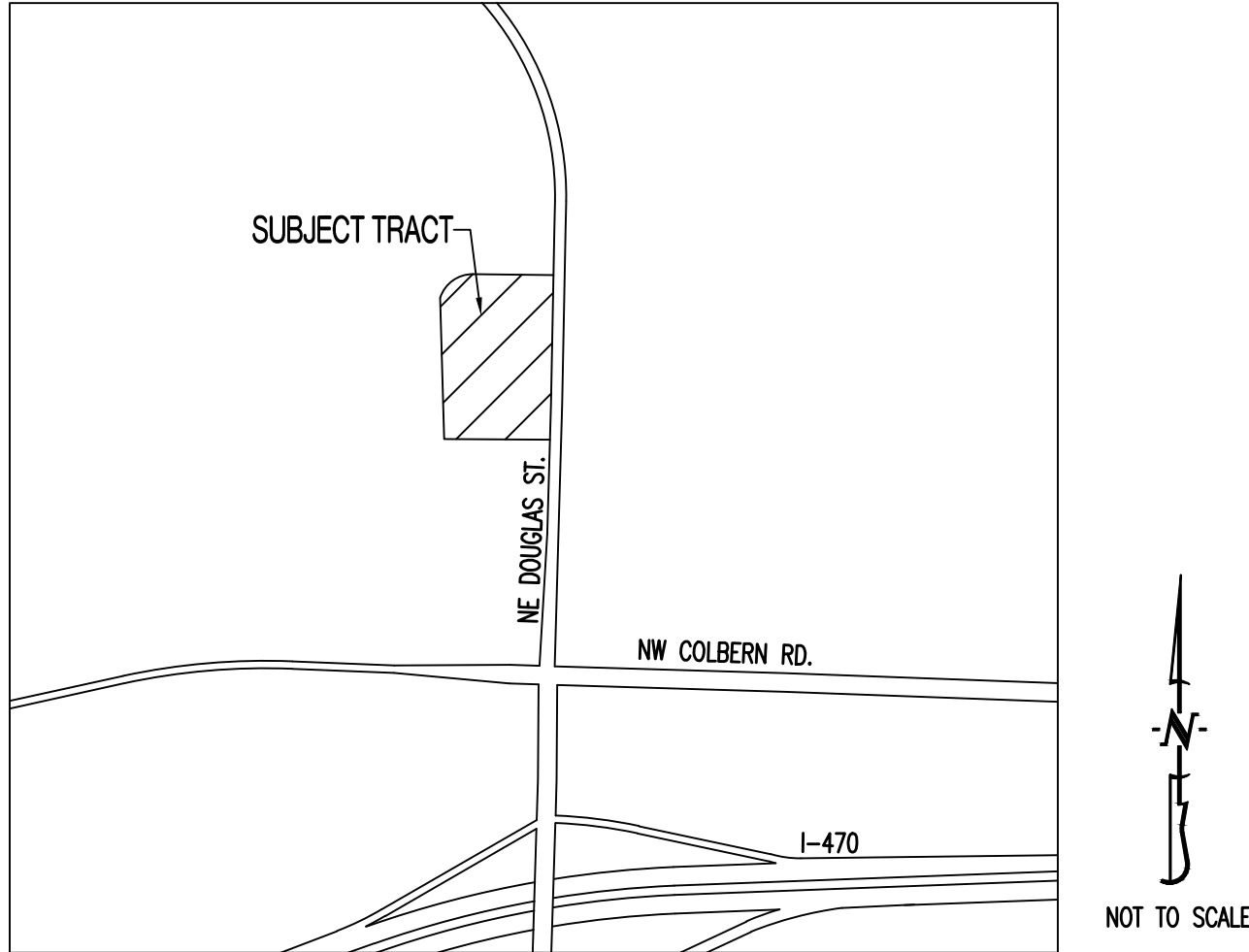


Y:\2023\230286 - Discovery Park Lees Summit\Zone 1 Lot 2\A\A00 Files\Construction Plans\230286 Village at Discovery Park Zone 1 Lot 2 Site Base.dwg

# HOME2 SUITES BY HILTON

## LOCATION MAP



## FLOOD PLAIN STATEMENT:

THIS LOT IS LOCATED IN ZONE X UNSHADED - AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD AS SHOWN ON THE FEMA F.I.R.M. PANEL #29095C0409G, DATED JANUARY 20, 2017.

## LEGAL DESCRIPTION:

VILLAGE AT DISCOVERY PARK, LOT 2. A SUBDIVISION IN JACKSON COUNTY, LEE'S SUMMIT, MISSOURI.

## UTILITY COMPANIES:

### LOCATES:

MISSOURI ONE CALL INC.  
1022 B NORTHEAST DRIVE  
JEFFERSON CITY, MO 65109  
1-800-344-7483



### TELEPHONE:

AT&T  
800-286-8313

### NATURAL GAS:

SPIRE  
314-342-0500

### CABLE TELEVISION:

SPECTRUM  
877-772-2253

### ELECTRIC:

EVERGY  
816-524-3223

### WATER/SANITARY SEWER:

CITY OF LEE'S SUMMIT  
WATER UTILITIES DEPARTMENT  
1200 S HAMLEN RD  
LEE'S SUMMIT, MO 64081  
816-969-1900

### FIBER:

GOOGLE FIBER  
877-454-6959

## GENERAL NOTES:

ALL STREET, STORM DRAIN, AND SANITARY SEWER CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT "DESIGN AND CONSTRUCTION MANUAL" (CURRENT EDITION).

ANY CITY DETAILS SHOWN ON THIS SET OF PLANS ARE FOR REFERENCE ONLY. CONTRACTOR TO HAVE A COPY OF THE CITY'S LATEST EDITION OF SPECIFICATIONS AND STANDARDS FOR ALL STREET, STORM, AND SANITARY CONSTRUCTION ON SITE AT ALL TIMES DURING CONSTRUCTION. REFER TO <https://cityofls.net/development-services/design/design-criteria/design-construction-manual-infrastructure>

CONTRACTOR WILL BE RESPONSIBLE FOR PLACEMENT AND MAINTENANCE OF TRAFFIC CONTROL DEVICES NECESSARY TO COMPLETE THEIR PORTION OF WORK. THE DEVICES AND METHODS EMPLOYED WILL COMPLY WITH THE CURRENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

THIS PLAT CONTAINS APPROXIMATELY 2.28 ACRES.

THIS TRACT IS ZONED PMIX.

THE STORM SEWER NETWORK DESIGN FOR THIS PROJECT IS BASED ON OPEN CHANNEL FLOW; THEREFORE THE HYDRAULIC GRADE LINE IS AT OR LESS THAN THE CROWN OF THE PIPE.

EXISTING UTILITIES SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE LOCATES (HORIZONTAL AND VERTICAL) PRIOR TO ANY EXCAVATION.

ALL EXCAVATION TO BE IN ACCORDANCE WITH SECTIONS 319.010-319.050, REVISED STATUTES OF THE STATE OF MISSOURI. SUCH COMPLIANCE SHALL NOT, HOWEVER, EXCUSE ANY PERSON MAKING ANY EXCAVATION FROM DOING SO IN A CAREFUL AND PRUDENT MANNER, NOR SHALL IT EXCUSE SUCH PERSON FROM LIABILITY FOR ANY DAMAGE OR INJURY TO UNDERGROUND UTILITIES RESULTING FROM THE EXCAVATION.

A GEOTECHNICAL EVALUATION OF THE SUBSURFACE SOIL, GROUNDWATER CONDITIONS, AND A SLOPE STABILITY ANALYSIS HAS NOT BEEN PERFORMED BY THIS ENGINEER. THE OWNER SHALL SATISFY THEMSELVES OF ALL GEOTECHNICAL CONDITIONS PRIOR TO ANY CONSTRUCTION.

ALL LAND DISTURBANCE ACTIVITIES SHALL BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT CODE OF ORDINANCES. REFER TO STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR NARRATIVE REPORT AND BMP DESCRIPTIONS AND DETAILS.

ALL SLOPES ARE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

IT IS THE INTENT OF THESE PLANS TO COMPLY WITH THE REQUIREMENTS OF THE M&DNR CLEAN WATER COMMISSION.

ALL DISTURBED AREAS WITHIN THE "LIMITS OF DISTURBANCE" SHALL BE FINE GRADED, SEEDED, AND MULCHED.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES AND REMOVING THEM ONCE THE SITE IS STABILIZED.

ALL HDPE PIPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DETAIL FOR PIPE BEDDING REQUIREMENTS.

IN ORDER TO TERMINATE A STATE OPERATING PERMIT THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR) REQUIRES THAT THE PERMITTEE SUBMIT A COMPLETED FORM H (INCLUDED WITH THE APPROVAL PERMIT) TO THE MDNR. A PERMIT IS ELIGIBLE FOR TERMINATION WHEN EITHER PERENNIAL VEGETATION, PAVEMENT, BUILDINGS, OR STRUCTURES USING PERMANENT MATERIALS COVER ALL AREAS THAT HAVE BEEN DISTURBED. VEGETATIVE COVER SHALL BE AT LEAST 70% OF FULLY ESTABLISHED PLANT DENSITY OVER 100% OF THE DISTURBED AREA. A COPY OF FORM H SHOULD BE SUBMITTED TO THE CITY AT WHICH TIME THE CITY WILL REMOVE THE PROJECT FROM ITS INSPECTION SCHEDULE.

LAND DISTURBANCE SITES SHOULD BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 48 HOURS AFTER ANY STORM EVENT EQUAL TO OR GREATER THAN A 2-YEAR, 24-HOUR STORM HAS CEASED DURING A NORMAL WORK DAY OR WITHIN 72 HOURS IF THE RAIN EVENT CEASES DURING A NON-WORK DAY SUCH AS A WEEKEND OR HOLIDAY. ANY DEFICIENCIES SHALL BE NOTED IN A WEEKLY REPORT OF THE INSPECTION AND CORRECTED WITHIN SEVEN CALENDAR DAYS OF THE REPORT. CONTRACTORS ARE REQUIRED TO SUBMIT TO CITY INSPECTION STAFF COPIES OF THEIR INSPECTION REPORTS REQUIRED BY THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ON A MONTHLY BASIS IF REQUESTED.

NO OIL AND GAS WELLS EXIST ON THIS TRACT ACCORDING TO THE MISSOURI DEPARTMENT OF NATURAL RESOURCES OIL AND GAS PERMIT DATABASE.

TOTAL DISTURBED AREA ON SITE = 2.61 AC.

MISSOURI DNR LAND DISTURBANCE PERMIT NUMBER TBD.

## DEVELOPER :

DISCOVERY PARK LEE'S SUMMIT, LLC.  
4220 PHILLIPS FARM RD.  
COLUMBIA, MO 65201  
573-615-2252

## SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE	ORIGINAL 04/04/24
CE 1.0	COVER SHEET	X
CE 1.1	PROJECT SPECIFICATIONS	X
CE 2.1	EROSION CONTROL PLAN	X
CE 2.2	EROSION CONTROL DETAILS	X
CE 3.0	OVERALL GRADING PLAN	X
CE 3.1	GRADING PLAN SHEET 1	X
CE 3.2	GRADING PLAN SHEET 2	X
CE 3.3	GRADING PLAN SHEET 3	X
CE 3.4	GRADING PLAN SHEET 4	X
CE 4.1	UTILITY PLAN	X
CE 5.1	STORM PROFILE AND DETAILS	X
CE 5.2	STORM DETAILS CONT.	X
CE 6.1	SITE PLAN	X
CE 7.1	DETAILS SHEET 1	X
CE 7.2	DETAILS SHEET 2	X
CE 8.1	LANDSCAPE PLAN	X

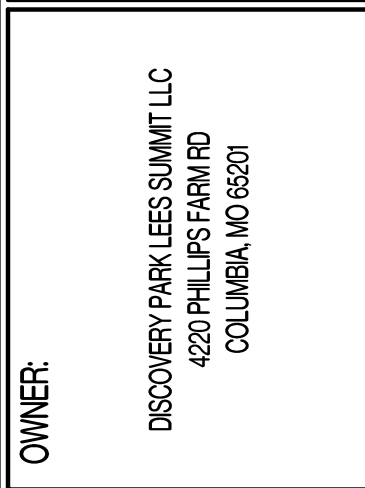
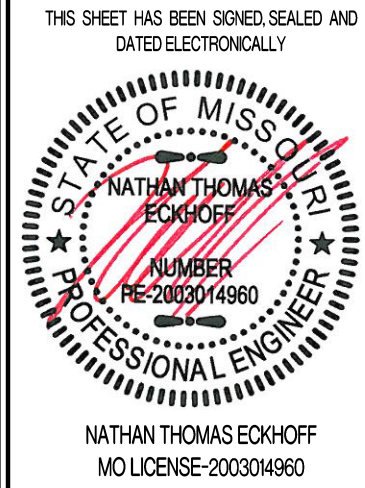
## LEGEND OF SYMBOLS:

=====	EXISTING CURB
=====	PROPOSED CURB
	RIP RAP
	EXISTING STRUCTURE
	EXISTING TREELINE
	PROPOSED TREELINE
	EDGE OF WATERWAY
	EXISTING WATERLINE
	PROPOSED WATERLINE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING TELEPHONE
	EXISTING FIBER OPTIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELEC. & TV
	EXISTING OVERHEAD ELEC., TV & TELE.
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	100 YEAR FLOOD PLAIN
	FLOODWAY
	ORDINARY HIGH WATER MARK
	STREAM SIDE BUFFER
	OUTER STREAM BUFFER

FF=XXX	FINISHED FLOOR OF STRUCTURE
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED TOP OF PAVEMENT ELEVATION
	PROPOSED FINISHED GRADE ELEVATION
	PROPOSED TOP OF WALL
	LOT NUMBER
	STORM SEWER STRUCTURE LABEL
	SANITARY SEWER STRUCTURE LABEL
HP.	HIGH POINT
LP.	LOW POINT
	EXISTING SIGNS
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING GAS METER
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	MANHOLE
	EXISTING SANITARY SEWER LATERAL
	PROPOSED SANITARY SEWER LATERAL
	PROPOSED TRACER WIRE TEST STATION BOX
	EXISTING AIR CONDITIONER
	EXISTING TELEPHONE PEDESTAL
	EXISTING ELECTRICAL TRANSFORMER
	EXISTING ELECTRIC METER
	EXISTING LIGHT POLE
	EXISTING GUY WIRE

## REVISIONS:

NO.	DATE
ORIGINAL	04/04/2024



## DRAWING INCLUDES:

COVER SHEET

DESIGNED: NTE

DRAWN: NMD

PROJECT NO.: 230286

SHEET:  
CE 1.0



SITE CLEARING & DEMOLITION:

IT IS THE INTENT THAT THE DEMOLITION BE COMPLETE AND ADEQUATE FOR THE INTENDED PURPOSE. THIS WORK SHALL INCLUDE THE REMOVAL OF ALL ITEMS, WHETHER IN VIEW OR HIDDEN UNDERNEATH THE SURFACE OF THE GROUND, REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR ENCOUNTERED DURING CONSTRUCTION.

CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS REGARDING MATERIALS, METHODS OF WORK, AND DISPOSAL OF EXCESS WASTE MATERIALS.

ERECT BARRIERS TO PROTECT PERSONNEL, STRUCTURES AND UTILITIES REMAINING INTACT.

PROTECT ALL EXISTING OBJECTS INTENDED TO REMAIN. IN CASE OF DAMAGE, MAKE REPAIRS OR REPLACEMENTS NECESSARY AT NO ADDITIONAL COST TO THE OWNER.

MINIMIZE INTERFERENCE WITH ROADS, STREETS, DRIVEWAYS, SIDEWALKS, AND ADJACENT FACILITIES.

DO NOT CLOSE OR OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR PASSAGEWAYS WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.

IF CLOSURE IS PERMITTED, PROVIDE SIGNAGE INDICATING CLOSURE AND SIGNAGE TO DIRECT TRAFFIC TO ALTERNATE ROUTE.

MOISTEN SURFACES AS REQUIRED TO PREVENT DUST FROM BEING A NUISANCE TO THE PUBLIC, NEIGHBORS, AND CONCURRENT PERFORMANCE OF OTHER WORK ON THE SITE.

PROVIDE THE OWNER'S REPRESENTATIVE A MINIMUM OF TWO BUSINESS DAYS' NOTICE PRIOR TO COMMENCING WORK OF THIS SECTION.

THE CONTRACTOR SHALL LOCATE EXISTING UTILITY LINES AND SERVICES TRaversING THE SITE AND DETERMINE THE REQUIREMENTS FOR THEIR PROTECTION. THE CONTRACTOR SHALL PRESERVE ACTIVE UTILITIES ON THE SITE THAT ARE DESIGNATED TO REMAIN.

BEFORE STARTING SITE OPERATIONS, THE CONTRACTOR SHALL DISCONNECT OR ARRANGE FOR THE DISCONNECTION OF ALL UTILITY SERVICES DESIGNATED TO BE REMOVED. THE CONTRACTOR SHALL PERFORM ALL SUCH WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY OR AGENCY INVOLVED.

IN REMOVING PAVEMENT, CURB AND GUTTER, SIDEWALKS, ETC., WHERE A PORTION IS LEFT IN PLACE, REMOVAL SHALL BE TO AN EXISTING JOINT OR TO A JOINT SAWN TO A MINIMUM DEPTH OF 2" WITH A TRUE SAW LINE AND A VERTICAL FACE. REMOVE SUFFICIENT PAVEMENT TO PROVIDE FOR PROPER GRADE AND CONNECTIONS IN THE NEW WORK REGARDLESS OF ANY LIMITS INDICATED ON THE DRAWINGS.

EXISTING CASTINGS AND CULVERTS, IF SALVAGEABLE AND REMOVED INTACT, REMAIN THE PROPERTY OF THE CONTRACTOR.

ALL SEWERS AND DRAINAGE PIPES, WHICH HAVE BEEN OR ARE TO BE ABANDONED, SHALL BE PERMANENTLY SEALED AT THE ENDS WITH BULKHEADS CONSTRUCTED OF CONCRETE, HAVING A MINIMUM THICKNESS OF 8".

ABANDON STORM OR SANITARY SEWER STRUCTURES BY BREAKING THE CONCRETE BOTTOM OF THE STRUCTURE INTO PIECES NO LARGER THAN 12" IN ANY DIRECTION AND REMOVING THE TOP OF THE STRUCTURE TO 3' BELOW FINISHED GRADE. PLUG ALL PIPES WITH CONCRETE AND FILL STRUCTURE WITH 1" CLEAN GRAVEL.

ALL DEBRIS SHALL BE DISPOSED OF OFF-SITE.

DO NOT STORE OR BURN MATERIALS ON-SITE UNLESS PERMITTED BY THE GOVERNING JURISDICTION.

ALL ASPHALT OR CONCRETE MATERIALS SHALL BE DISPOSED OF OFF-SITE.

MATERIAL ACQUIRED THROUGH DEMOLITION, OTHER THAN THOSE REQUIRED TO COMPLETE THE CONSTRUCTION PROJECT AND DESIGNATED FOR RETURN TO OWNER, WILL BECOME THE PROPERTY OF THE CONTRACTOR AND WILL BE REMOVED FROM THE SITE. THE MATERIAL WILL BE DISPOSED OF IN A LEGAL MANNER.

THE CONTRACTOR'S OPERATIONS SHALL BE RESTRICTED TO THOSE AREAS INSIDE THE CONSTRUCTION LIMITS INDICATED ON THE DRAWINGS. IF LIMITS ARE NOT INDICATED, RESTRICT WORK TO THE OWNER'S PROPERTY, EASEMENT, OR PUBLIC RIGHTS-OF-WAY.

COMPLETE WORK WITHIN PUBLIC RIGHTS-OF-WAY UNDER THE PERMISSION OF THE GOVERNING AGENCY.

IF ITEMS OUTSIDE THE LIMITS OF DISTURBANCE GET DAMAGED, OWNER COMPLETES THE REQUIRED REPAIRS AND CHARGES THE CONTRACTOR.

THE CONTRACTOR IS RESPONSIBLE FOR THE ADJUSTMENT OF ALL MANHOLES, CASTINGS, WATER VALVES IRRIGATION BOXES, CLEAN OUTS AND ETC. WITHIN THE GRADING LIMITS TO MATCH THE FINISHED SURFACE. ADJUSTMENTS SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO CONSTRUCTION UNLESS NOTED AS A BID ITEM. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITY STRUCTURES AND APPURTENANCES THAT OCCURS DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

EARTHMOVING:

CONTRACTOR TO SUBMIT MANUFACTURER'S PRODUCT DATA AND INSTALLATION INSTRUCTIONS FOR EACH MATERIAL AND PRODUCT USED.

TEST REPORTS: SUBMIT FOR APPROVAL TEST REPORTS, LIST OF MATERIALS AND GRADATIONS PROPOSED FOR USE. OBTAIN SAMPLES OF ANY PROPOSED FILL MATERIAL AND CONTRACTOR TO PROVIDE STANDARD PROCTOR TEST REPORTS TO ENGINEER.

COMPACTION REQUIREMENTS ARE AS FOLLOWS:

- UNDER STEPS, PAVEMENTS, AND WALKWAYS, 95 PERCENT STANDARD PROCTOR MINIMUM DENSITY, ASTM D 698.
- UNDER LAWNS OR UNPAVED AREAS, 85 PERCENT, ASTM D 698.

GRADING TOLERANCES OUTSIDE BUILDING LINES ARE AS FOLLOWS:

- LAWNS, UNPAVED AREAS, AND WALKS, PLUS OR MINUS 1 INCH.
- PAVEMENTS, PLUS OR MINUS 1/2 INCH.
- ALL ADA ROUTES AND PARKING ARE TO MEET ADA REQUIREMENTS AT ALL TIMES.

ALL ACTIVITIES WILL BE CONTAINED WITHIN CONSTRUCTION BOUNDARIES INDICATED ON SITE PLAN. SPECIFIED EXCAVATION REQUIREMENTS, PRECAUTIONS, AND PROTECTIVE SYSTEMS WILL BE OBSERVED AT ALL TIMES.

MOVEMENT OF TRUCKS AND EQUIPMENT ON OWNER'S PROPERTY WILL BE IN ACCORDANCE WITH OWNER'S INSTRUCTIONS.

TOPSOIL WILL BE STRIPPED FROM THE CONSTRUCTION SITE AND WILL BE DISPOSED OF LEGALLY OFF SITE.

TRENCHES WILL NOT BE BACKFILLED UNTIL ALL REQUIRED TESTS ARE COMPLETED AND THE UTILITY SYSTEMS, AS INSTALLED, CONFORM TO REQUIREMENTS SPECIFIED BY THE CONTRACT DOCUMENTS.

EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE REGARDLESS OF MATERIALS ENCOUNTERED. REPAIR EXCAVATIONS BEYOND ELEVATIONS AND DIMENSIONS INDICATED AS FOLLOWS:

- AT STRUCTURE: CONCRETE OR COMPACTED STRUCTURAL FILL.
  - ELSEWHERE: BACKFILL AND COMPACT AS DIRECTED.
- MAINTAIN STABILITY OF EXCAVATIONS; CONTRACTOR TO BE RESPONSIBLE FOR DESIGN AND COORDINATION OF SHORING AND BRACING AS REQUIRED. PREVENT SURFACE AND SUBSURFACE WATER FROM ACCUMULATING IN EXCAVATIONS. STOCKPILE SATISFACTORY MATERIALS FOR REUSE, ALLOW FOR PROPER DRAINAGE AND DO NOT STOCKPILE MATERIALS WITHIN DRIP LINE OF TREES TO REMAIN.

COMPACT MATERIALS AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D 698 BY AERATION OR WETTING TO THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY:

- STRUCTURE, PAVEMENT, WALKWAYS: SUBGRADE AND EACH FILL LAYER TO 95% (-2%+4%) OF STANDARD PROCTOR MAXIMUM DRY DENSITY TO SUITABLE DEPTH. COMPACTION TESTING SHALL BE PERFORMED IMMEDIATELY PRIOR TO THE PLACEMENT OF REINFORCING STEEL AND NEW PAVING MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING TESTING WITH OWNERS DESIGNATED TESTING AGENCY.
- UNPAVED AREAS: TOP 6" OF SUBGRADE AND EACH FILL LAYER TO 90% MAXIMUM DRY DENSITY.
- A PROOF-ROLL SHALL BE REQUIRED OF THE SUBGRADE PRIOR TO PLACEMENT OF THE BASE COURSE. PROOF ROLLING SHALL CONSIST OF PASSING A LOADED, 20-TON, TANDEM DUMP TRUCK OVER THE PREPARED SUBGRADE SOIL WITH A MAXIMUM ALLOWABLE DISPLACEMENT OF 1". ANY AREAS THAT DISPLACE MORE THAN 1" SHALL BE COMPACTED UNTIL THIS CRITERION IS MET, OR THOSE AREAS MAY BE EXCAVATED AND BACKFILLED WITH COMPACTED TYPE 1 AGGREGATE USED FOR BASE MATERIAL. ALL PROOF ROLLING SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE.
- CUT AREAS UNDER PROPOSED ASPHALT OR CONCRETE PAVEMENTS SHALL BE CUT AND COMPACTED. AFTER GRADING TO SUBGRADE ELEVATION, SCARIFY THE TOP SIX INCHES OF THE SUB-BASE AND COMPACT AS OUTLINED ABOVE.

PLACE ACCEPTABLE MATERIALS IN LAYERS NOT MORE THAN 8" LOOSE DEPTH FOR MATERIALS COMPACTED BY HEAVY EQUIPMENT AND NOT MORE THAN 4" LOOSE DEPTH FOR MATERIALS COMPACTED BY HAND EQUIPMENT TO SUBGRADES INDICATED AS FOLLOWS:

- STRUCTURAL FILL: USE UNDER FOUNDATIONS, SLABS ON GRADE IN LAYERS AS INDICATED.
- DRAINAGE FILL: USE UNDER DESIGNATED BUILDING SLABS, AT FOUNDATION DRAINAGE AND ELSEWHERE AS INDICATED.
- LANDSCAPE AREA FILL:
  - ALL SUB-GRADE AREAS SHALL BE "DIPPED" TO A MINIMUM 6" DEEP AND A MAXIMUM OF 12" APART IN OPPOSITE DIRECTIONS WITH MINIMAL TIRE TRAFFIC TO FOLLOW.
  - CONTRACTOR TO LEAVE AREAS 6" OR 18" (PLANTER AREAS) BELOW FINISH GRADE, OWNER TO PLACE TOPSOIL AND ALL PLANTINGS.
- ANY FILL SOIL WITHIN 36" OF FINISHED GRADE IN LAWN AND FINISHED AREAS SHALL BE CHESIVE SOILS IN SOIL CLASSIFICATIONS GROUPS ML, CL, CH OR A COMBINATION THEREOF, FREE OF ROCK OR GRAVEL LARGER THAN 1" IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIAL, VEGETATION AND OTHER DELETERIOUS MATER.
- SUB-BASE MATERIAL: USE UNDER PAVEMENT, WALKS, STEPS, PIPING AND CONDUIT.

GRADE TO WITHIN 1/2" ABOVE OR BELOW REQUIRED SUBGRADE AND WITHIN A TOLERANCE OF 1/2" IN 10'.

PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION. RECOMPACT AND REGRADE SETTLED, DISTURBED AND DAMAGED AREAS AS NECESSARY TO RESTORE QUALITY, APPEARANCE, AND CONDITION OF WORK.

CONTROL EROSION TO PREVENT RUNOFF INTO SEWERS OR DAMAGE TO SLOPED OR SURFACED AREAS.

CONTROL DUST TO PREVENT HAZARDS TO ADJACENT PROPERTIES AND VEHICLES. IMMEDIATELY REPAIR OR REMEDY DAMAGE CAUSED BY DUST INCLUDING AIR FILTERS IN EQUIPMENT AND VEHICLES. CLEAN SOILED SURFACES.

DISPOSAL OF EXCAVATION WASTE AND UNSUITABLE MATERIALS SHALL BE THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. NO SPECIFIC OR PRE-APPROVED LOCATION IS BEING PROVIDED BY THE OWNER.

CONCRETE:

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE CURRENT ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 305 SPECIFICATIONS FOR HOT WATER CONCRETE, AND ACI 306 SPECIFICATIONS FOR COLD WEATHER CONCRETE, WITH THE FOLLOWING ADDITIONAL REQUIREMENTS:

- CONCRETE SHALL DEVELOP THE FOLLOWING 28-DAY MINIMUM COMPRESSIVE STRENGTH:
  - FOUNDATIONS - 3,000 PSI
  - CAST-IN-PLACE WALLS - 3,500 PSI
  - FLOOR SLAB - 4,000 PSI
  - EXTERIOR SLABS, WALLS AND CURBS - 4,000 PSI
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL.
- CHLORIDE-BASED ADMIXTURES ARE PROHIBITED IN ALL CONCRETE.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, A616, OR A617, GRADE 60.
- ALL CONTINUOUS REINFORCING STEEL THAT MEETS AT A CORNER SHALL BE TIED TOGETHER WITH A CORNER BAR THAT HAS SUFFICIENT LAP DISTANCE IN EACH DIRECTION.
- CONTINUOUS REINFORCING BARS LAP LENGTH SHALL BE A MINIMUM OF 48 BAR DIAMETERS UNLESS NOTED OTHERWISE.
- CONCRETE SLUMP SHALL BE A MAXIMUM OF 4 +/- 1" (ASTM C-143) AS DELIVERED IN THE FIELD. CONTRACTOR MAY USE CHEMICAL ADMIXTURES TO ATTAIN A MAXIMUM SLUMP OF 8" FOR WORKABILITY. NO WATER MAY BE ADDED TO THE CONCRETE MIX ON SITE UNLESS WATER IS WITHHELD AT THE BATCHING FACILITY. IF WATER IS WITHHELD AT THE BATCHING FACILITY IT SHOULD BE REFLECTED ON THE LOAD TICKET. THE TOTAL AMOUNT OF WATER IN THE MIX SHALL NOT EXCEED WHAT IS NOTED ON THE APPROVED MIXED. THIS SHALL BE NOTED IN THE SPECIAL INSPECTOR'S RECORDS.
- CONCRETE EXPOSED TO WEATHER, VEHICLES, AND/OR DEICING CHEMICALS SHALL BE AIR-ENTRAINED WITH 6% (+/-) 1.5% ENTRAINED AIR BY VOLUME AT POINT OF DISCHARGE. DO NOT ALLOW AIR CONTENT OF FINISHED FINISHED FLOORS TO EXCEED 3%.
- SUBMIT CONCRETE MIX PROPORTIONS PRIOR TO START OF WORK. DO NOT BEGIN CONCRETE PRODUCTION UNTIL MIXES HAVE BEEN REVIEWED AND ARE ACCEPTABLE TO THE ENGINEER.
- READY MIX CONCRETE SHALL COMPLY WITH REQUIREMENTS OF ASTM C94.
- CONCRETE WORK EXECUTION
  - CONSTRUCT FORMS TO CORRECT SIZE, SHAPE, ALIGNMENT, ELEVATION AND POSITION; AND TO SUPPORT VERTICAL AND LATERAL LOADS.
  - POSITION, SUPPORT, AND SECURE REINFORCEMENT AGAINST DISPLACEMENT. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE, UNLESS NOTED OTHERWISE, ON THE DRAWINGS:
    - CAST AGAINST AND EXPOSED TO EARTH.....3 INCHES
    - EXPOSED TO EARTH OR WEATHER.....2 INCHES
    - NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH.....1 1/4 INCHES
  - PROVIDE CONTROL JOINTS IN SLABS-ON-GRADE AT NOT GREATER THAN 15 FEET ON CENTER IN EACH DIRECTION. SAW CUT CONTROL JOINTS MINIMUM 1/4 OF SLAB DEPTH, AS SOON AFTER SLAB FINISHING WITHOUT DISLODGING AGGREGATE.
  - STEEL TROWEL FINISH ALL INTERIOR CONCRETE SLABS, BROOM FINISH ALL EXTERIOR CONCRETE SLABS.
  - CURE ALL CONCRETE IN COMPLIANCE WITH ACI 301, USING A LIQUID TYPE MEMBRANE, NON-RESIDUAL, CURING COMPOUND COMPLYING WITH ASTM C309. ASSURE COMPATIBILITY WITH FINISH FLOOR COVERING.
- FLUT AND CHERT WILL BE LIMITED TO 1% MAXIMUM, BY WEIGHT OF THE COURSE AGGREGATE, IN ALL EXPOSED CONCRETE (CAST-IN-PLACE OR PRECAST). LIGHTWEIGHT WILL BE LIMITED TO 0.5%, BY WEIGHT OF THE FINE AGGREGATE IN ALL EXPOSED CONCRETE. SOME APPLICATIONS MAY BE REQUIRED TO BE LIGHTWEIGHT FREE.

CONCRETE PAVING JOINT SEALANTS:

DELIVER MATERIALS TO PROJECT SITE IN ORIGINAL UNOPENED CONTAINERS OR BUNDLES WITH LABELS INDICATING MANUFACTURER, PRODUCT NAME AND DESIGNATION, COLOR, EXPIRATION DATE, POT LIFE, CURING TIME, AND MIXING INSTRUCTIONS FOR MULTICOMPONENT MATERIALS.

STORE AND HANDLE MATERIALS TO COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS TO PREVENT THEIR DETERIORATION OR DAMAGE DUE TO MOISTURE, HIGH OR LOW TEMPERATURES, CONTAMINANTS, OR OTHER CAUSES.

DO NOT PROCEED WITH INSTALLATION OF JOINT SEALANTS UNDER THE FOLLOWING CONDITIONS:

- WHEN AMBIENT AND SUBSTRATE TEMPERATURE CONDITIONS ARE OUTSIDE LIMITS PERMITTED BY JOINT SEALANT MANUFACTURER OR ARE BELOW 40 DEG F.
- WHEN JOINT SUBSTRATES ARE WET OR COVERED WITH FROST.
- WHERE JOINT WIDTHS ARE LESS THAN THOSE ALLOWED BY JOINT-SEALANT MANUFACTURER FOR APPLICATIONS INDICATED.
- WHERE CONTAMINANTS CAPABLE OF INTERFERING WITH ADHESION HAVE NOT YET BEEN REMOVED FROM JOINT SUBSTRATES.

PROVIDE JOINT SEALANTS, BACKING MATERIALS, AND OTHER RELATED MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH JOINT SUBSTRATES UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY JOINT-SEALANT MANUFACTURER BASED ON TESTING AND FIELD EXPERIENCE.

COLD-APPLIED JOINT SEALANTS ARE TO BE TYPE NS SILICONE SEALANT FOR CONCRETE; SINGLE-COMPONENT, LOW-MODULUS, NEUTRAL-CURING, NONSAG SILICONE SEALANT COMPLYING WITH ASTM D 5893 FOR TYPE NS. PRODUCTS ALLOWED ARE: CRAFCO INC.; ROADSAVER SILICONE ; DOW CORNING CORPORATION; 888; PECORA NS 301, OR APPROVED EQUAL.

CONTRACTOR TO PROVIDE JOINT-SEALANT BACKER MATERIALS THAT ARE NONSTAINING; ARE COMPATIBLE WITH JOINT SUBSTRATES, SEALANTS, PRIMERS, AND OTHER JOINT FILLERS; AND ARE APPROVED FOR APPLICATIONS INDICATED BY JOINT-SEALANT MANUFACTURER BASED ON FIELD EXPERIENCE AND LABORATORY TESTING. ROUND BACKER RODS FOR COLD-APPLIED SEALANTS: ASTM D 5249, TYPE 3, OF DIAMETER AND DENSITY REQUIRED TO CONTROL SEALANT DEPTH AND PREVENT BOTTOM-SIDE ADHESION OF SEALANT.

PRIOR TO JOINT INSTALLATION, CONTRACTOR IS TO EXAMINE JOINTS INDICATED TO RECEIVE JOINT SEALANTS, WITH INSTALLER PRESENT, FOR COMPLIANCE WITH REQUIREMENTS FOR JOINT CONFIGURATION, INSTALLATION TOLERANCES, AND OTHER CONDITIONS AFFECTING JOINT- SEALANT PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

CLEAN OUT JOINTS IMMEDIATELY BEFORE INSTALLING JOINT SEALANTS TO COMPLY WITH JOINT-SEALANT MANUFACTURER'S WRITTEN INSTRUCTIONS.

COMPLY WITH JOINT-SEALANT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR PRODUCTS AND APPLICATIONS INDICATED, UNLESS MORE STRINGENT REQUIREMENTS APPLY.

COMPLY WITH RECOMMENDATIONS IN ASTM C 1193 FOR USE OF JOINT SEALANTS AS APPLICABLE TO MATERIALS, APPLICATIONS, AND CONDITIONS INDICATED.

INSTALL BACKER MATERIALS OF TYPE INDICATED TO SUPPORT SEALANTS DURING APPLICATION AND AT POSITION REQUIRED TO PRODUCE CROSS-SECTIONAL SHAPES AND DEPTHS OF INSTALLED SEALANTS RELATIVE TO JOINT WIDTHS THAT ALLOW OPTIMUM SEALANT MOVEMENT CAPABILITY. DO NOT LEAVE GAPS BETWEEN ENDS OF BACKER MATERIALS. DO NOT STRETCH, TWIST, PUNCTURE, OR TEAR BACKER MATERIALS. REMOVE ABSORBENT BACKER MATERIALS THAT HAVE BECOME WET BEFORE SEALANT APPLICATION AND REPLACE THEM WITH DRY MATERIALS.

- INSTALL SEALANTS USING PROVEN TECHNIQUES THAT COMPLY WITH THE FOLLOWING AND AT THE SAME TIME BACKING ARE INSTALLED:
- PLACE SEALANTS SO THEY DIRECTLY CONTACT AND FULLY WET JOINT SUBSTRATES.
  - COMPLETELY FILL RECESSES PROVIDED FOR EACH JOINT CONFIGURATION.
  - PRODUCE UNIFORM, CROSS-SECTIONAL SHAPES AND DEPTHS RELATIVE TO JOINT WIDTHS THAT ALLOW OPTIMUM SEALANT MOVEMENT CAPABILITY.

IMMEDIATELY AFTER SEALANT APPLICATION AND BEFORE SKINNING OR CURING BEGINS, TOOL SEALANTS ACCORDING TO REQUIREMENTS SPECIFIED BELOW TO FORM SMOOTH, UNIFORM BEADS OF CONFIGURATION INDICATED; TO ELIMINATE AIR POCKETS; AND TO ENSURE CONTACT AND ADHESION OF SEALANT WITH SIDES OF JOINT. REMOVE EXCESS SEALANTS FROM SURFACES ADJACENT TO JOINT.USE TOOLING AGENTS THAT ARE APPROVED IN WRITING BY JOINT-SEALANT MANUFACTURER AND THAT DO NOT DISCOLOR SEALANTS OR ADJACENT SURFACES.

PROVIDE JOINT CONFIGURATION TO COMPLY WITH JOINT-SEALANT MANUFACTURER'S WRITTEN INSTRUCTIONS, UNLESS OTHERWISE INDICATED.

PROVIDE RECESSED JOINT CONFIGURATION FOR SILICONE SEALANTS OF RECESS DEPTH AND AT LOCATIONS INDICATED.

CLEAN OFF EXCESS SEALANTS OR SEALANT SMEARS ADJACENT TO JOINTS AS THE WORK PROGRESSES BY METHODS AND WITH CLEANING MATERIALS APPROVED BY MANUFACTURERS OF JOINT SEALANTS AND OF PRODUCTS IN WHICH JOINTS OCCUR.

PROTECT JOINT SEALANTS DURING AND AFTER CURING PERIOD FROM CONTACT WITH CONTAMINATING SUBSTANCES AND FROM DAMAGE RESULTING FROM CONSTRUCTION OPERATIONS OR OTHER CAUSES SO SEALANTS ARE WITHOUT DETERIORATION OR DAMAGE AT TIME OF SUBSTANTIAL COMPLETION. IF, DESPITE SUCH PROTECTION, DAMAGE OR DETERIORATION OCCURS, CUT OUT AND REMOVE DAMAGED OR DETERIORATED JOINT SEALANTS IMMEDIATELY AND REPLACE WITH JOINT SEALANT SO INSTALLATIONS WITH REPAIRED AREAS ARE INDISTINGUISHABLE FROM THE ORIGINAL WORK.

PAVEMENT MARKING:

PANT FOR PARKING LOT STRIPING SHALL BE CHLORINATED RUBBER CONFORMING TO TT-P115F EPOXY PAVEMENT MARKING MATERIAL WITHOUT GLASS BEADS. PAINT TYPE MUST BE COMPATIBLE WITH THE SURFACES TO BE PAINTED

PAINT SHALL BE APPLIED PER THE FOLLOWING COLOR CODE: WHITE FOR STANDARD PARKING SPACE LINES AND SIDEWALK CROSSINGS. BLUE FOR ACCESSIBLE PARKING STALL AND SYMBOLS AND ASSOCIATED CROSS-HATCHED AREAS

MATERIALS SHALL INCLUDE STANDARD COMMERCIAL GRADE MASKING MATERIALS, SCRAPERS, CLEANING SOLVENTS, AND OTHER MATERIALS REQUIRED FOR THE WORK. USE MATERIALS SPECIFIED BY MANUFACTURER'S DIRECTION LABEL ON CONTAINER.

DELIVER MATERIALS TO THE SITE IN ORIGINAL CONTAINERS WITH SEALS UNBROKEN AND LABELS INTACT. PROTECT ALL PAINT FROM FREEZING. DO NOT ALLOW PAINT TO SETTLE, CUR, OR THICKEN IN THE CONTAINER. READYLY STIR WITH A PADDLE TO A SMOOTH CONSISTENCY. PAINT SHALL ARRIVE ON THE JOB COLOR-MIXED EXCEPT FOR TINTING OF UNDERCOATS AND POSSIBLE THINNING.

PRIOR TO BEGINNING CLEANING OR PAINTING OPERATIONS, CONTRACTOR SHALL PROTECT ALL ITEMS OR SURFACES NOT INCLUDED IN AREA TO BE PAINTED. PROTECT VEHICLES, EQUIPMENT, STRUCTURES, OR OTHER ITEMS FROM PAINT SPATTERS, OVER SPRAY, OR DAMAGE.

CONTRACTOR SHALL PROVIDE BARRICADES AND ANY SIGNAGE NEEDED TO PROTECT ALL PAINTED AREAS FROM PEDESTRIAN AND VEHICULAR TRAFFIC UNTIL ACHIEVING SUFFICIENT DRYING TIME.

PERFORM PAINTING AS SOON AS FEASIBLE AND PRACTICAL AFTER THE FINISHING OF THE PAVEMENT OR AS DIRECTED BY THE OWNERS REPRESENTATIVE. ADEQUATE LIGHTING SHALL BE AVAILABLE AT THE TIME OF PAINTING. EXAMINE ALL SURFACES TO RECEIVE PAINT TO MAKE SURE THERE ARE NO DEFECTS IN THE SURFACE TO BE STRIPED. DO NOT PAINT OVER RUST, SCALE, GREASE, OIL, FUEL, DUST, WET PAVEMENT, OR OTHER CONDITIONS DETRIMENTAL TO PAINT ADHESION. REMOVE GREASE, OIL, OR FUEL ON ANY SURFACE BEFORE PAINTING. CORRECT ALL SURFACE DEFECTS BEFORE PAINTING. CONTRACTOR SHALL EXAMINE AREAS TO BE PAINTED. NOTIFY THE OWNERS REPRESENTATIVE IN WRITING OF CONDITIONS THAT MIGHT DELAY TIMELY COMPLETION OF THE WORK.

PAINTING SHALL NOT BE PERFORMED WHEN THE AMBIENT TEMPERATURE IS LESS THAN 55 DEGREES FAHRENHEIT, OR WHILE THE SURFACE IS DAMP. THE SURFACE MUST BE FIVE DEGREES OR MORE ABOVE THE DEW POINT TEMPERATURE DURING PAINTING OPERATIONS AND WHILE PAINT IS DRYING.

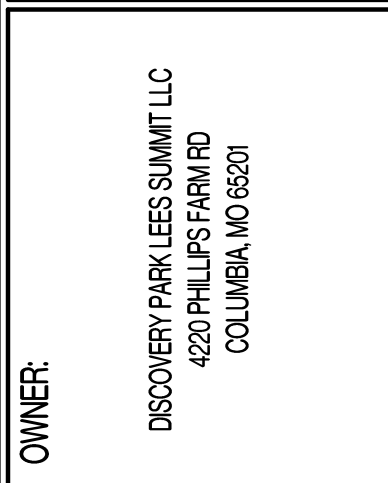
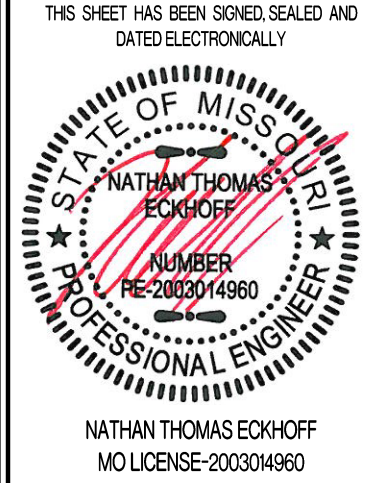
AREAS TO BE PAINTED SHALL RECEIVE ONE COAT OF PAINT NOT LESS THAN 25 MILS THICKNESS WET PER MDOOT 620.9 THROUGH 620.9.3.4.2. IN LOCATIONS REQUIRING MULTIPLE COATS, PRIOR COAT SHALL BE DRY TO MANUFACTURER'S RECOMMENDATIONS BEFORE APPLYING THE NEXT COAT.

FINISHED WORK SHALL BE UNIFORM, OF APPROVED COLOR, FREE OF RUNS, DRIPS, DEFECTIVE BRUSHING, SPRAYING, AND CLOGGING. PARKING LINES AND SYMBOLS SHALL BE NEAT AND WELL DEFINED. ONLY SKILLED APPLICATORS SHALL APPLY PAINT. OWNERS REPRESENTATIVE SHALL APPROVE APPLICATION TECHNIQUES.

REMOVE PAINT SPATTER FROM ADJACENT AREAS OR AREAS NOT DESIGNATED TO RECEIVE PAINT. CONTRACTOR SHALL REPAIR OR TOUCH UP ANY SURFACES IF EXPOSED TO VEHICULAR AND PEDESTRIAN TRAFFIC, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE, AT NO ADDITIONAL COST TO THE OWNER. WHEN COLOR, DIRT, STAINS, EXISTING PAINT, ETC., SHOW THROUGH THE FINAL COAT, REPAINT THE SURFACE UNTIL THE FILM IS UNIFORM IN FINISH, COVERAGE, COLOR, AND APPEARANCE

REVISIONS:

NO.	DATE
ORIGINAL	04/04/2024



DRAWING INCLUDES:

PROJECT SPECIFICATIONS

DESIGNED: NTE

DRAWN: NMD

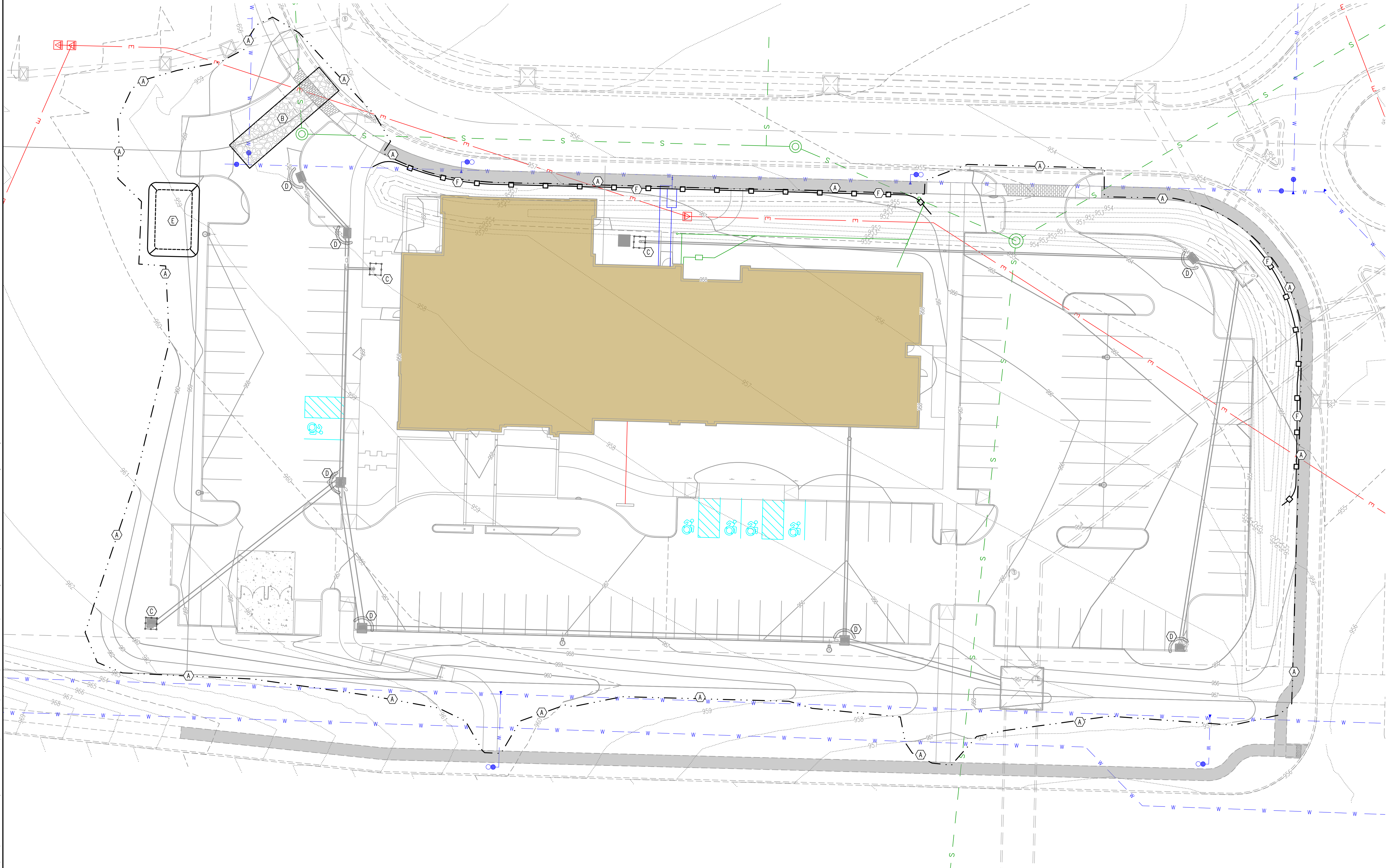
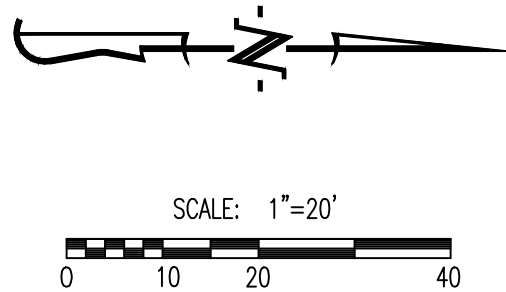
PROJECT NO.: 230286

SHEET:  
CE 11



LEGEND OF LABELS:

- (A) LIMITS OF DISTURBANCE.
- (B) INSTALL CRUSHED STONE CONSTRUCTION ENTRANCE. ALL CONSTRUCTION TRAFFIC SHALL LEAVE THE SITE VIA THIS EXIT. REFER TO ESC-01 ON CE 2.2.
- (C) INSTALL SILT FENCE INLET PROTECTION AROUND THROAT OF INLET. REFER TO ESC-07 ON CE 2.2.
- (D) INSTALL 2" X 10" BOARD WRAPPED IN SILT FENCE AT THROAT OF INLET. REPLACE BOARD WITH GUTTERBUDDY (OR APPROVED EQUAL) AT THROAT OF INLET AFTER PAVING OPERATIONS ARE COMPLETE. REFER TO ESC-06 ON CE 2.2.
- (E) 20' X 30' X 3' MIN CONCRETE WASHOUT FACILITY.  
THE WASHOUT FACILITY IS TO BE LINED WITH A PLASTIC LINING MATERIAL (10 MIL POLYETHYLENE SHEETING MIN.) FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COULD COMPROMISE THE IMPERMEABILITY OF THE MATERIAL. WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL. A SIGN SHALL BE INSTALLED ADJACENT TO FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. REFER TO ESC-01 ON CE 2.2 FOR CITY REQUIREMENTS.
- (F) INSTALL SILT FENCE AS SHOWN. REFER TO ESC-03 ON CE 2.2.



REVISIONS:

NO.	DATE
ORIGINAL	04/04/2024

THIS SHEET HAS BEEN SIGNED, SEALED, AND DATED ELECTRONICALLY

NATHAN THOMAS ECKHOFF  
MISSOURI LICENSE 200304960

PREPARED BY:

ENGINEERS & ARCHITECTS  
1000 W. Illinois Blvd., Ste. 100  
Columbia, Missouri 65203  
(314) 487-0292  
www.crockettengineering.com  
Missouri Certificate of Authority  
#000000001

OWNER:

DISCOVERY PARK LEES SUMMIT LLC  
4220 PHILLIPS FARM RD  
COLUMBIA, MO 65201

HOME2 SUITES BY HILTON  
251 NE ALURA WAY  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

DRAWING INCLUDES:

EROSION CONTROL PLAN

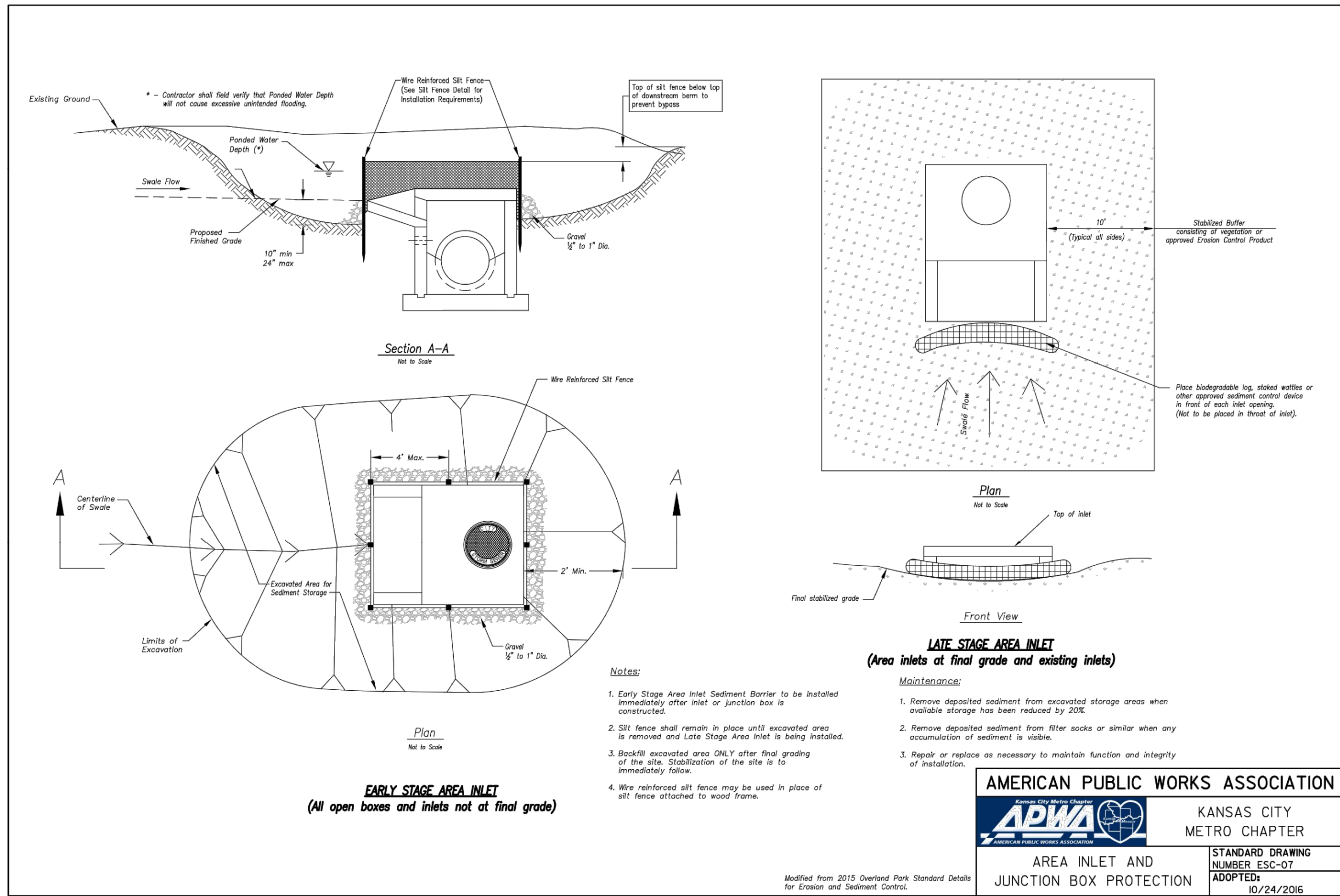
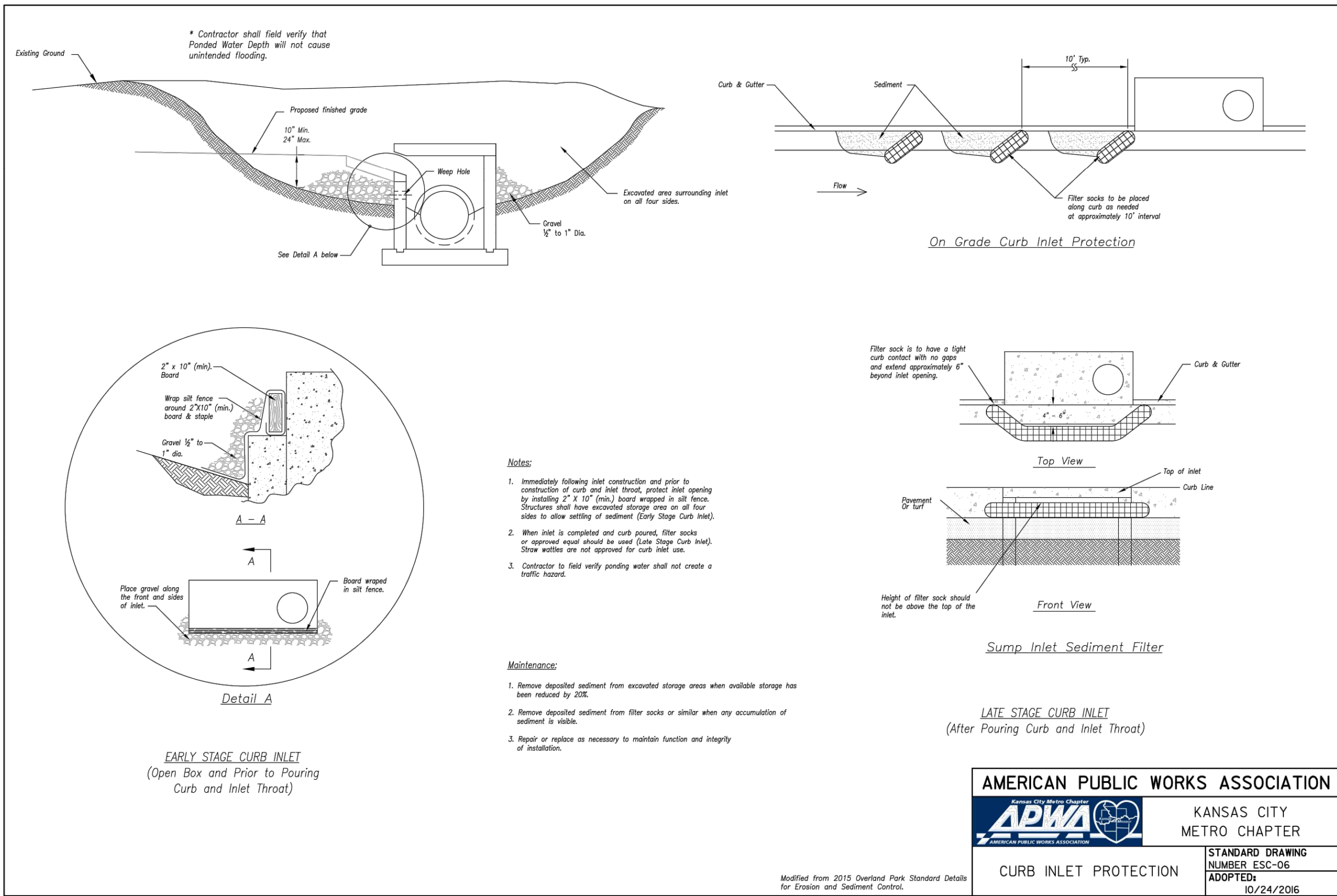
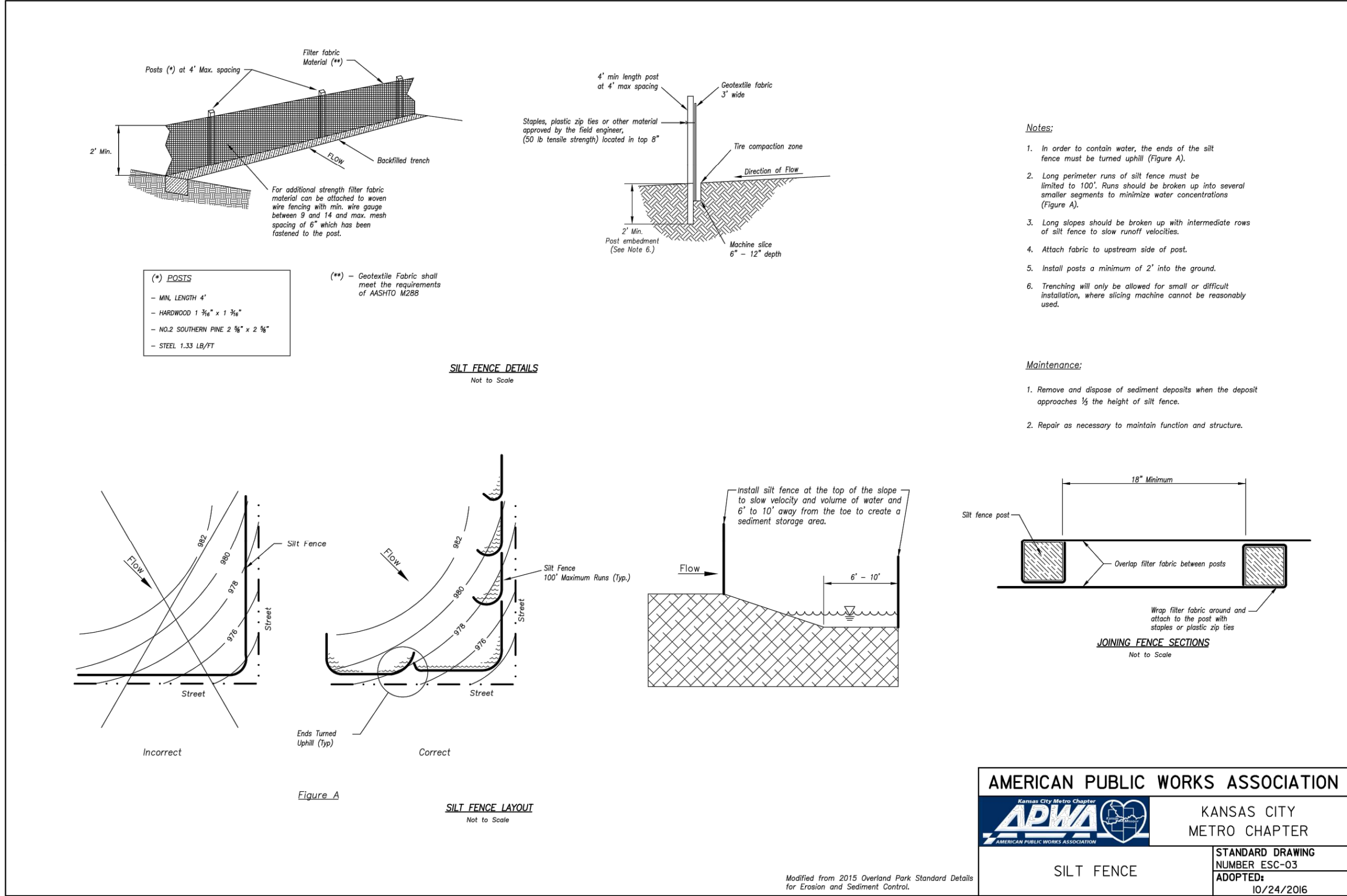
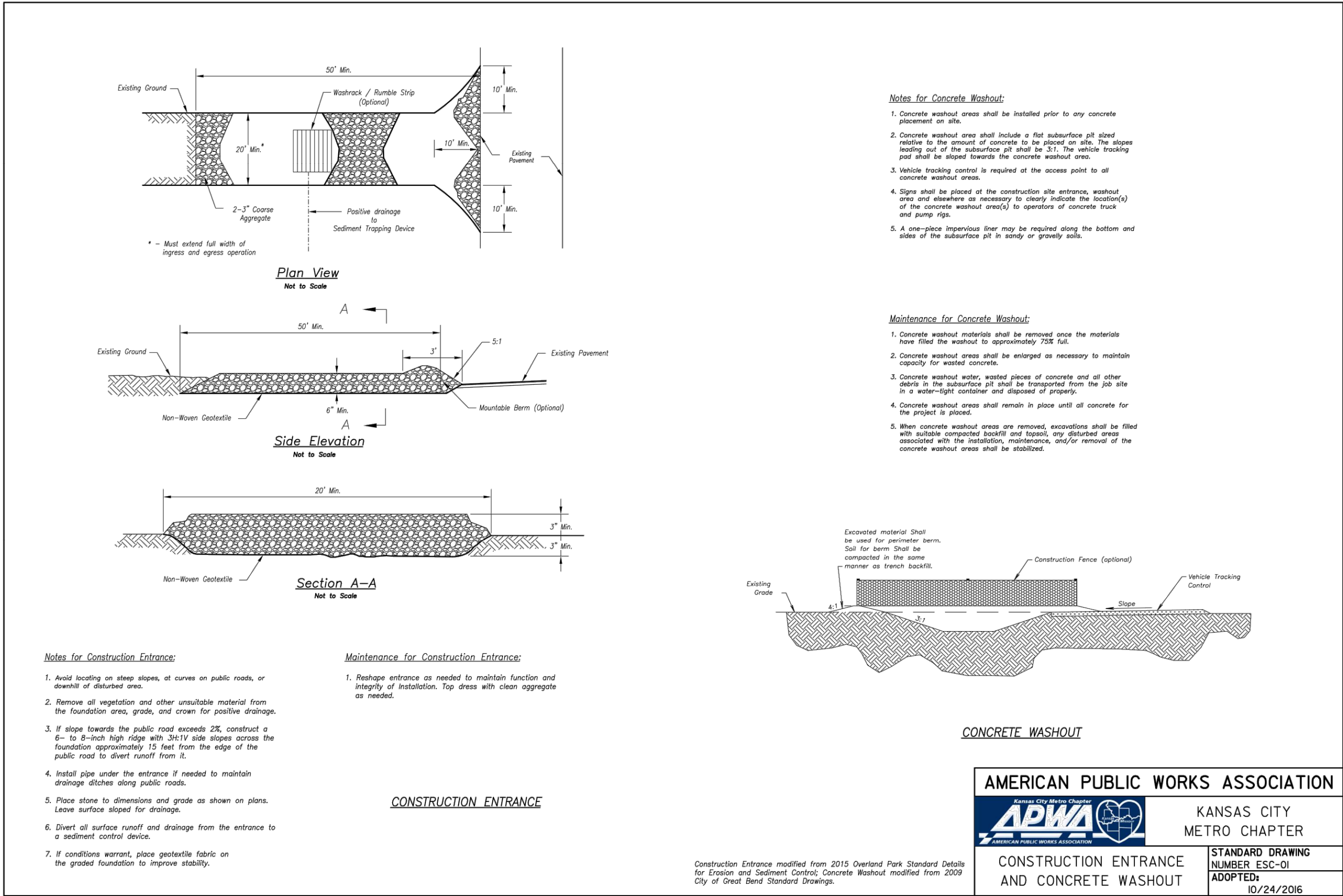
DESIGNED: NTE

DRAWN: NMD

PROJECT NO: 230286

SHEET:  
CE 2.1





REVISIONS:

NO.	DATE
ORIGINAL	04/04/2024

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STATE OF MISSOURI

NATHAN THOMAS ECKHOFF

REGISTERED PROFESSIONAL ENGINEER

NUMBER

PE-2003014960

EXPIRATION DATE

06/30/2026

NATHAN THOMAS ECKHOFF  
MO LICENSE: 200304960

PREPARED BY:

**CROCKETT**

ENGINEERS & ARCHITECTS

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Missouri Certificate of Authority  
#000000001

OWNER:

DISCOVERY PARK LEES SUMMIT LLC  
4420 PHILLIPS FARM RD  
COLUMBIA, MO 65201

DRAWING INCLUDES:

EROSION CONTROL DETAILS

DESIGNED:

NTE

DRAWN:

NMD

PROJECT NO.:

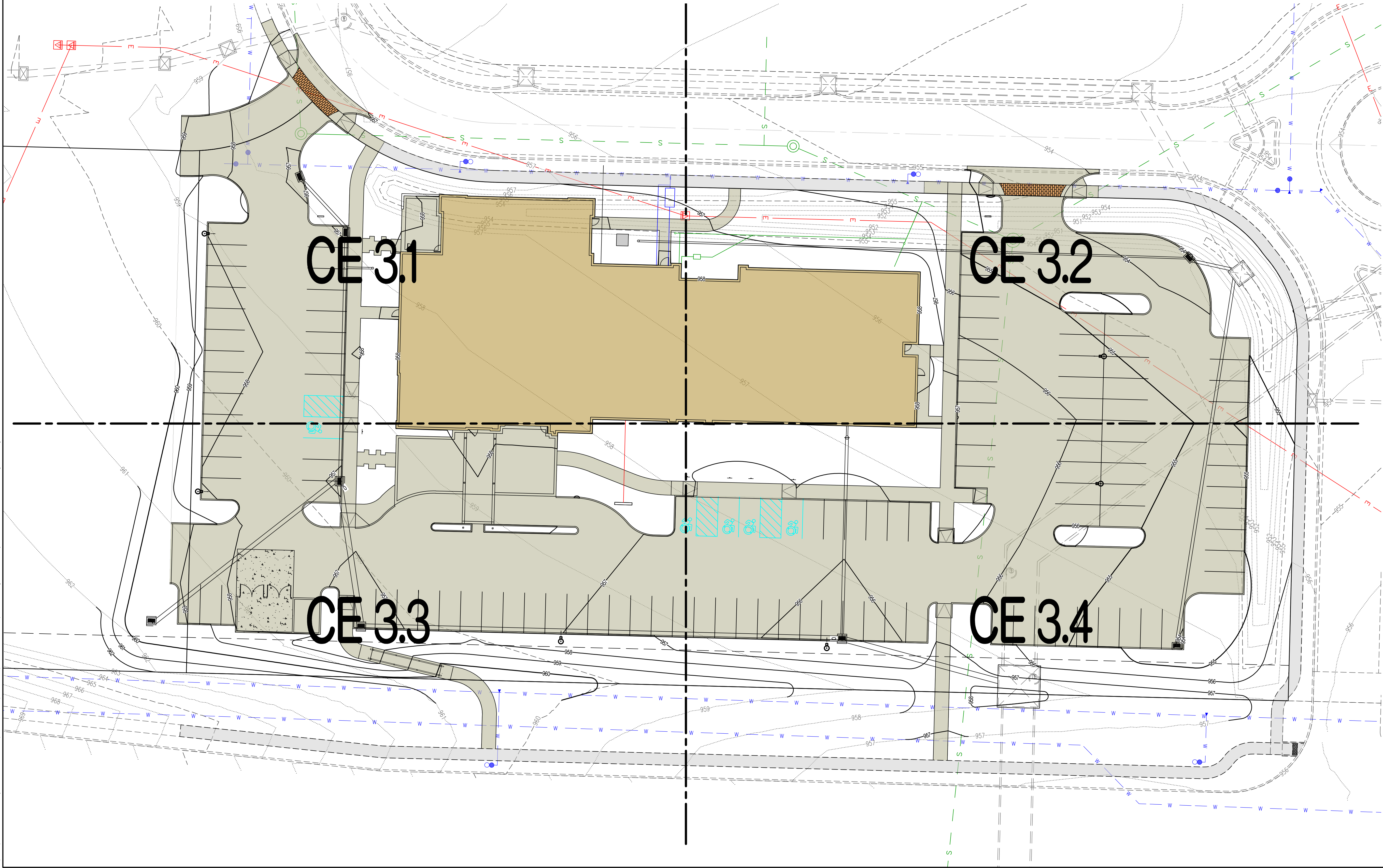
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SHEET:

CE 22



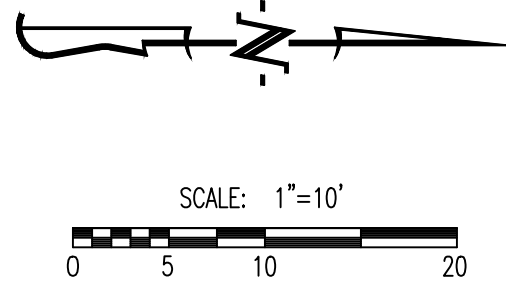
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NO.	DATE
ORIGINAL	04/04/2024
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NATHAN THOMAS ECKHOFF MO LICENSE 200304960	
PREPARED BY:	 ENGINEERING CONSULTANTS 1000 W. Illinois Blvd., Ste. 100 Columbia, Missouri 65203 (314) 447-0292 www.crockettingeering.com Crockett Engineering Consultants, LLC Missouri Certificate of Authority #000000001
OWNER:	DISCOVERY PARK LEES SUMMIT LLC 4220 PHILLIPS FARM RD COLUMBIA, MO 65201
<b>HOME2 SUITES BY HILTON</b> 251 NE ALURA WAY LEE'S SUMMIT, JACKSON COUNTY, MISSOURI	
DRAWING INCLUDES:	
OVERALL GRADING PLAN	
DESIGNED:	NTE
DRAWN:	NMD
PROJECT NO:	230286
SHEET:	CE 3.0



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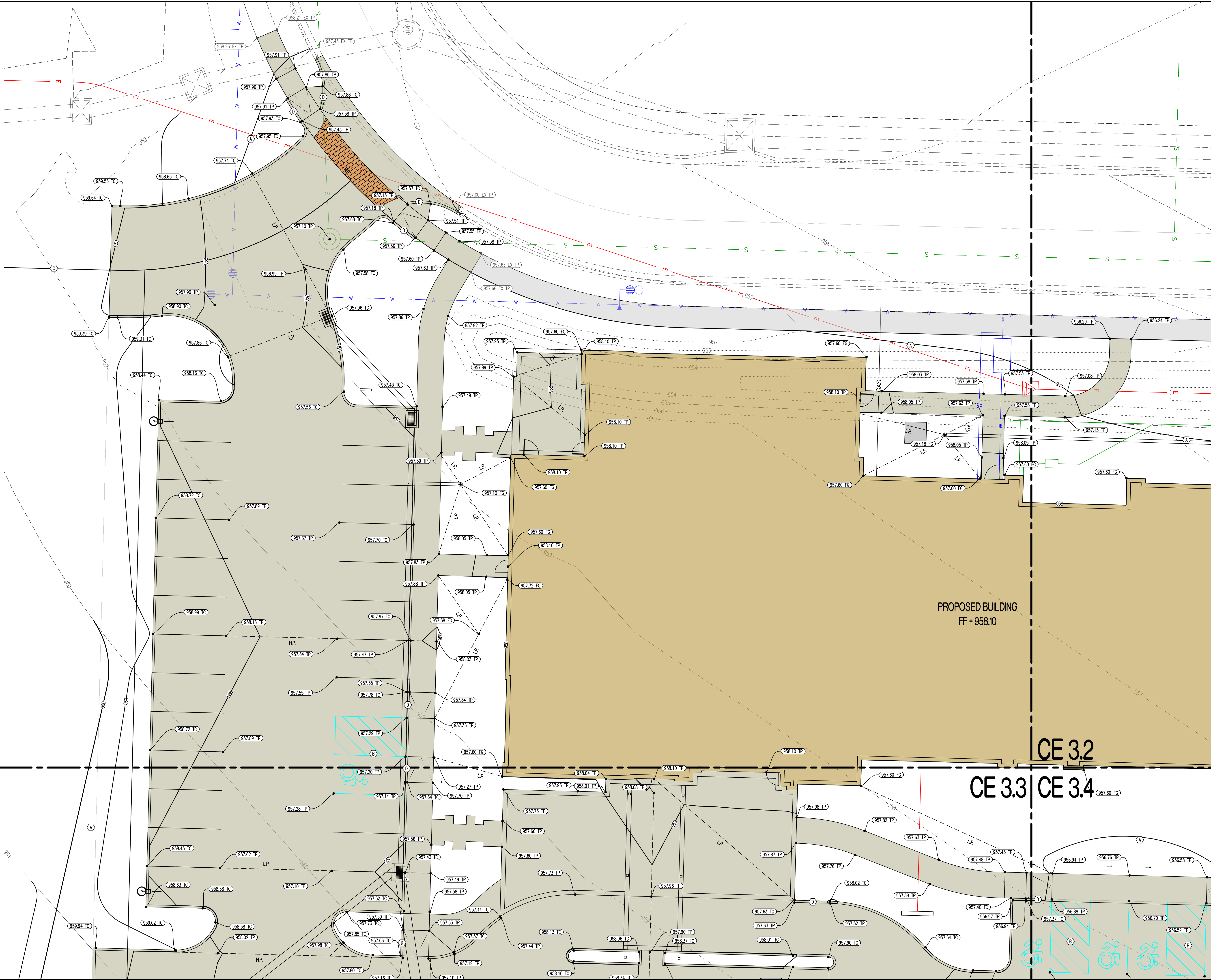


LEGEND OF SYMBOLS:

- EXISTING MINOR CONTOUR
- - - EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- FF=XXXX FINISHED FLOOR OF STRUCTURE
- XXX.XX TC PROPOSED TOP OF CURB ELEVATION  
TC = (TP+6") UNLESS NOTED OTHERWISE
- XXX.XX TP PROPOSED TOP OF PAVEMENT ELEVATION
- XXX.XX FG PROPOSED FINISHED GRADE ELEVATION
- XXX.XX FF PROPOSED FINISHED FLOOR AT DOOR

LEGEND OF LABELS

- (A) FINE GRADE AS SHOWN BY PROPOSED CONTOURS. PLACE MINIMUM OF 6" TOP SOIL. SEED AND MULCH ALL DISTURBED AREAS.
- (B) GRADE ACCESSIBLE PARKING STALLS AND ROUTES AS SHOWN. SLOPE OF THE PAVEMENT AT ALL ACCESSIBLE PARKING STALLS SHALL NOT EXCEED 1:50 IN ALL DIRECTIONS. ALL ACCESSIBLE ELEMENTS SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
- (C) AREAS OF FUTURE PAVEMENT AND BUILDING PAD NOT TO HAVE TOPSOIL, RESPREAD, SEED AND AND MULCH ALL DISTURBED AREAS.
- (D) 6" TO 0" CURB TRANSITION.



REVISIONS:

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ORIGINAL	04/04/2024

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NATHAN THOMAS ECKHOFF  
MISSOURI LICENSE 200304960

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www.crockettengineering.com  
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DISCOVERY PARK LEES SUMMIT LLC  
4220 PHILLIPS FARM RD  
COLUMBIA, MO 65201

**HOME2 SUITES BY HILTON**  
**251 NE ALURA WAY**  
**LEE'S SUMMIT, JACKSON COUNTY, MISSOURI**

DRAWING INCLUDES:

GRADING PLAN SHEET 1

DESIGNED: NTE

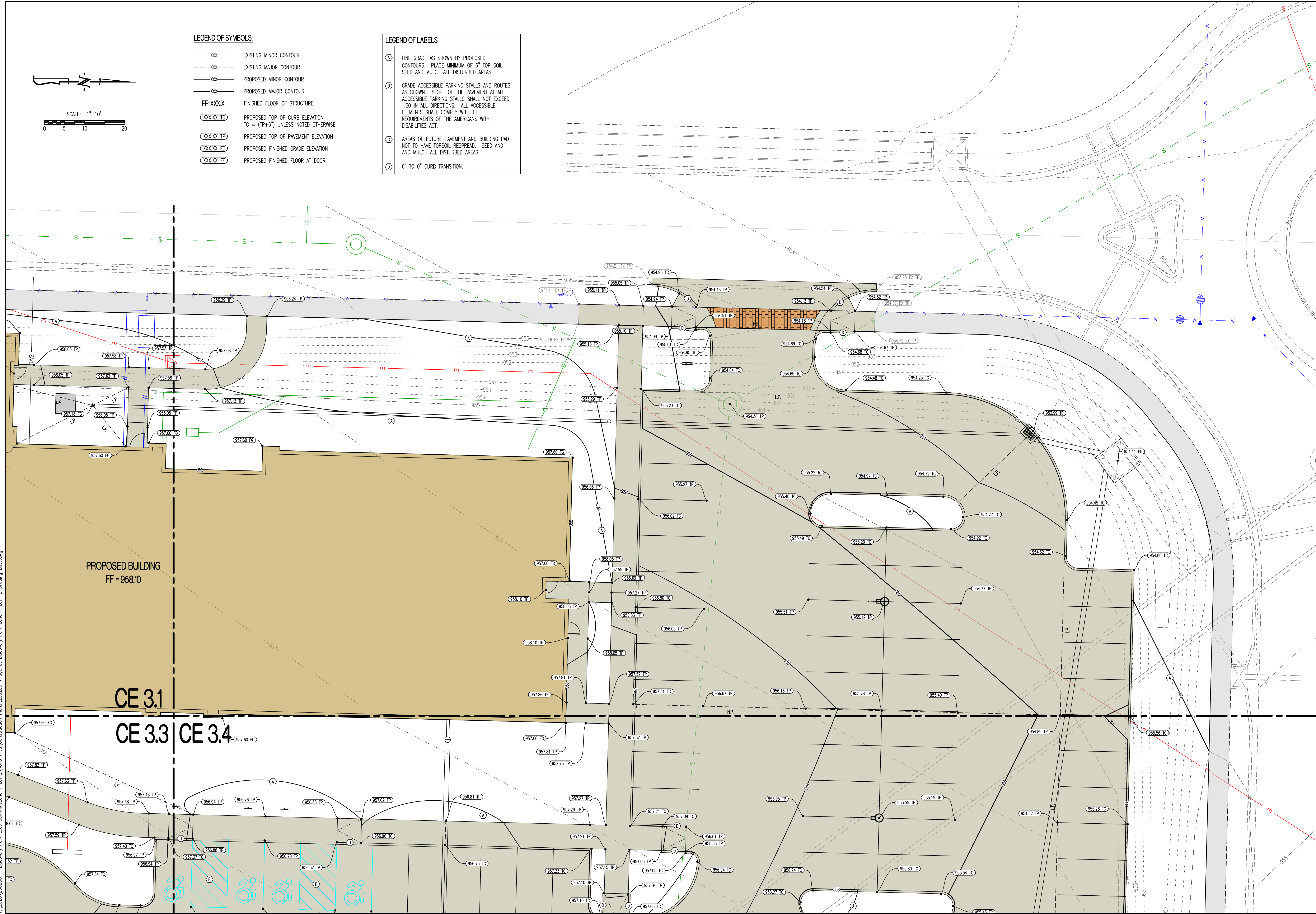
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SHEET: CE 3.1



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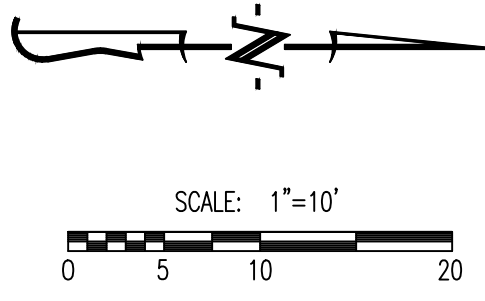


LEGEND OF SYMBOLS:

- XXX--- EXISTING MINOR CONTOUR
- - -XXX- - - EXISTING MAJOR CONTOUR
- XXX--- PROPOSED MINOR CONTOUR
- XXX--- PROPOSED MAJOR CONTOUR
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- (XXX.XX TP) PROPOSED TOP OF PAVEMENT ELEVATION
- (XXX.XX FG) PROPOSED FINISHED GRADE ELEVATION
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- (C) AREAS OF FUTURE PAVEMENT AND BUILDING PAD NOT TO HAVE TOPSOIL, RESPREAD, SEED AND AND MULCH ALL DISTURBED AREAS.
- (D) 6" TO 0" CURB TRANSITION.



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NATHAN THOMAS ECKHOFF  
PROFESSIONAL ENGINEER  
MO LICENSE 200304960

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COLUMBIA, MO 65201

HOME2 SUITES BY HILTON

251 NE ALURA WAY

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

DRAWING INCLUDES:

GRADING PLAN SHEET 2

DESIGNED: NTE

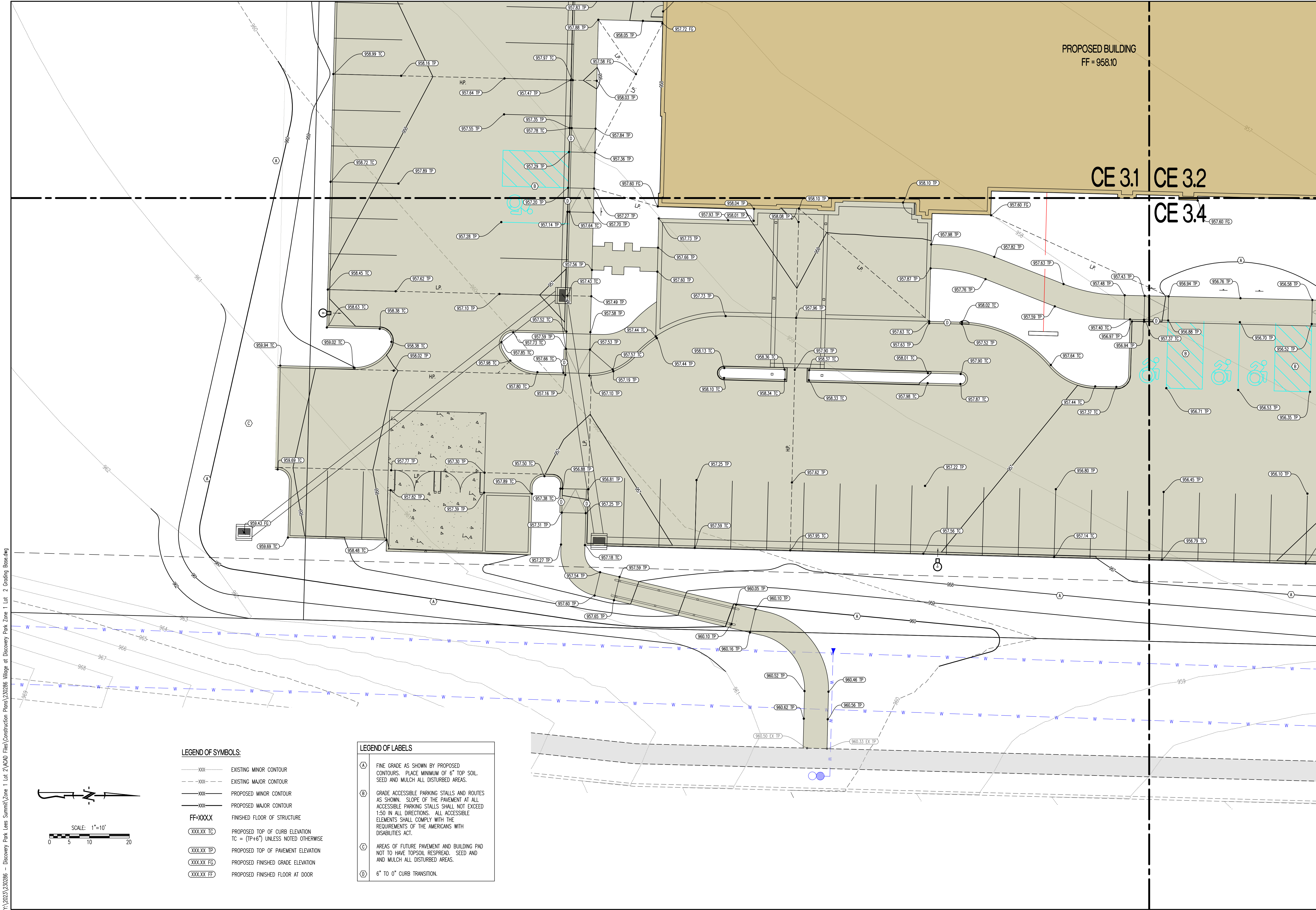
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PROJECT NO.: 230286

SHEET: CE 32



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LEGEND OF SYMBOLS:

- XXX --- EXISTING MINOR CONTOUR
- - - XXX - - - EXISTING MAJOR CONTOUR
- XXX --- PROPOSED MINOR CONTOUR
- XXX --- PROPOSED MAJOR CONTOUR
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- (XXX.XX FF) PROPOSED FINISHED FLOOR AT DOOR

LEGEND OF LABELS

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- (D) 6" TO 0" CURB TRANSITION.

REVISIONS:

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ORIGINAL	04/04/2024

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NATHAN THOMAS ECKHOFF  
MO LICENSE 200304960

PREPARED BY:  
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ENGINEERS & ARCHITECTS  
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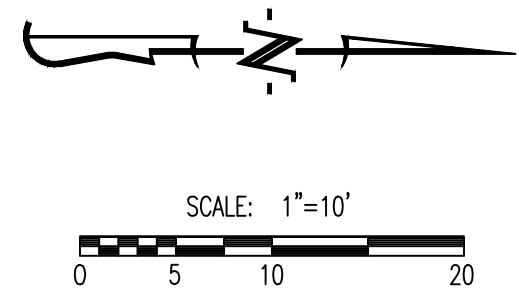
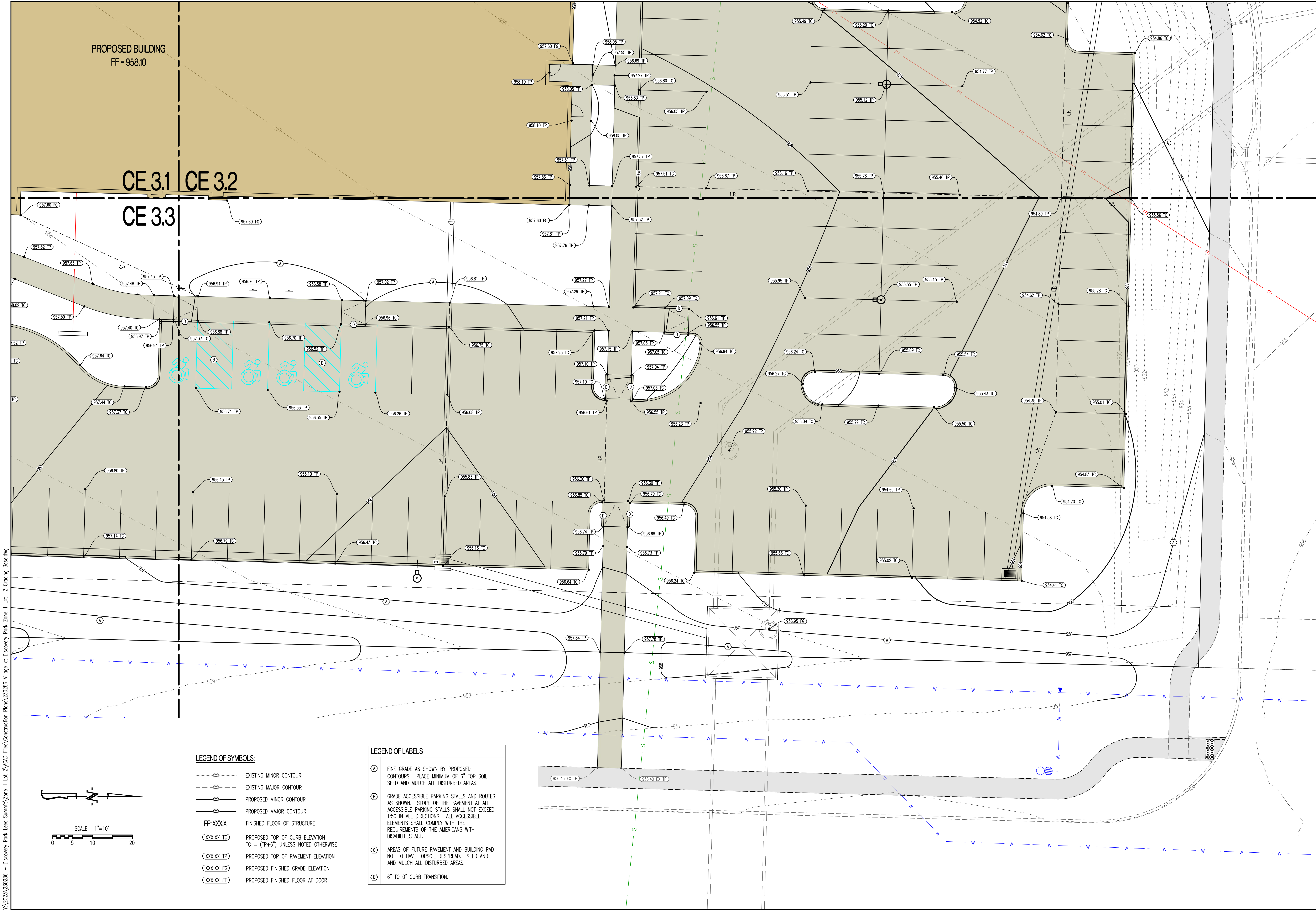
DRAWING INCLUDES:

GRADING PLAN SHEET 3
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DESIGNED: NTE  
DRAWN: NMD  
PROJECT NO.: 230286  
SHEET: CE 3.3



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LEGEND OF SYMBOLS:

-----XXX-----	EXISTING MINOR CONTOUR
-----XXX-----	EXISTING MAJOR CONTOUR
-----XXX-----	PROPOSED MINOR CONTOUR
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LEGEND OF LABELS

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(C)	AREAS OF FUTURE PAVEMENT AND BUILDING PAD NOT TO HAVE TOPSOIL RESPREAD. SEED AND MULCH ALL DISTURBED AREAS.
(D)	6" TO 0" CURB TRANSITION.

REVISIONS:

NO.	DATE
ORIGINAL	04/04/2024

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NATHAN THOMAS ECKHOFF  
MO LICENSE 200304960

PREPARED BY:

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4220 PHILLIPS FARM RD  
COLUMBIA, MO 65201

HOME2 SUITES BY HILTON

251 NE ALURA WAY

LEES SUMMIT, JACKSON COUNTY, MISSOURI

DRAWING INCLUDES:

GRADING PLAN SHEET 4

DESIGNED: NTE

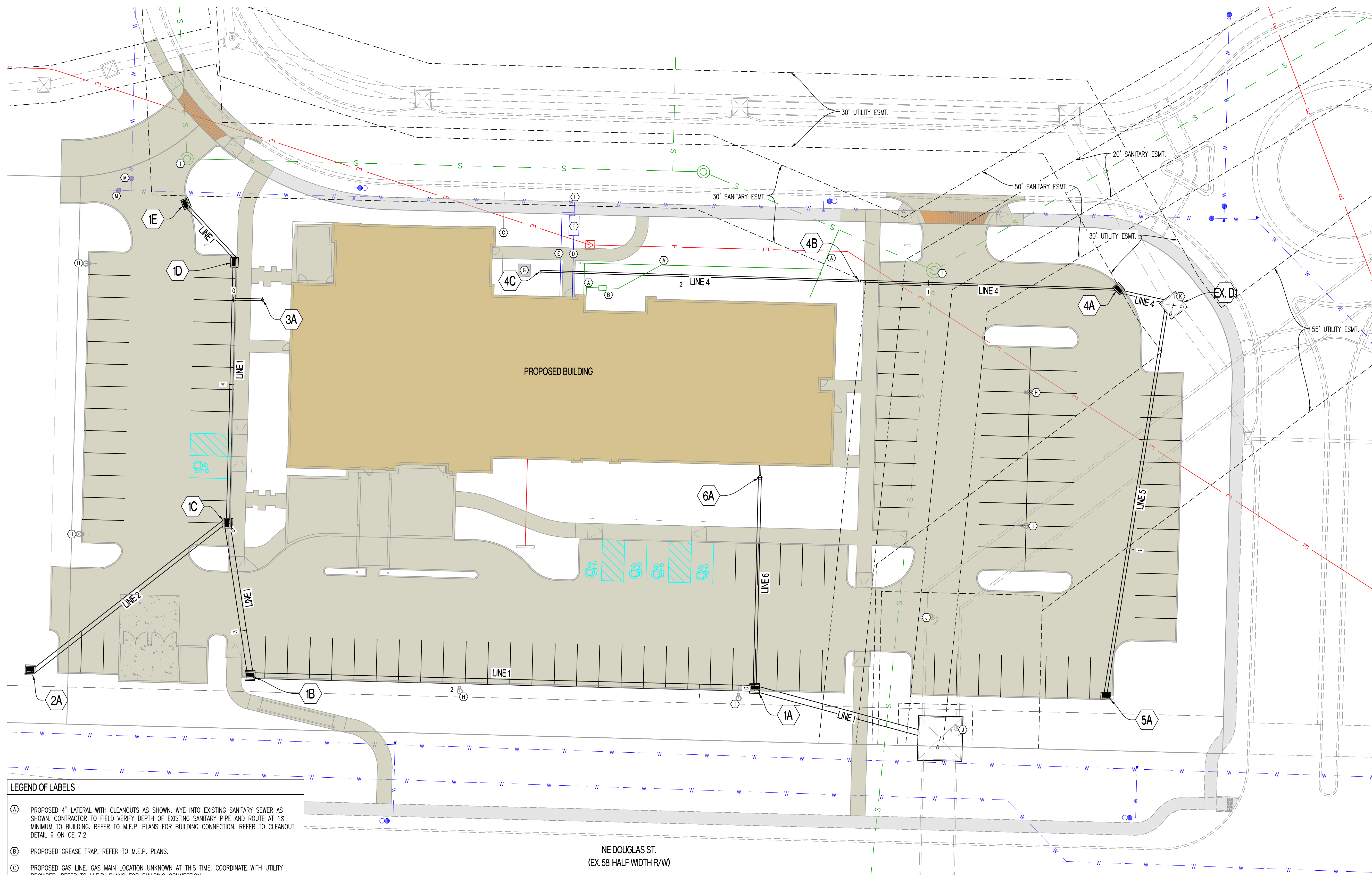
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PROJECT NO: 230286

SHEET: CE 3.4



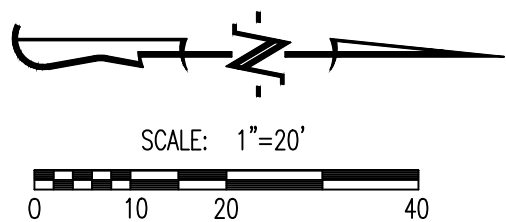
Y:\2023\230286 - Discovery Park Lees Summit\Zone 1 Lot 2\ACAD Files\Construction Plans\230286 Village at Discovery Park Zone 1 Lot 2 Site Base.dwg



#### LEGEND OF LABELS

- (A) PROPOSED 4" LATERAL WITH CLEANOUTS AS SHOWN. WYE INTO EXISTING SANITARY SEWER AS SHOWN. CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING SANITARY PIPE AND ROUTE AT 1% MINIMUM TO BUILDING. REFER TO M.E.P. PLANS FOR BUILDING CONNECTION. REFER TO CLEANOUT DETAIL 9 ON CE 7.2.
- (B) PROPOSED GREASE TRAP. REFER TO M.E.P. PLANS.
- (C) PROPOSED GAS LINE. GAS MAIN LOCATION UNKNOWN AT THIS TIME. COORDINATE WITH UTILITY PROVIDER. REFER TO M.E.P. PLANS FOR BUILDING CONNECTION.
- (D) PROPOSED WATERLINE SERVICE. REFER TO M.E.P. PLANS FOR BUILDING CONNECTION.
- (E) PROPOSED SPRINKLER LINE. REFER TO M.E.P. PLANS FOR BUILDING CONNECTION.
- (F) PROPOSED VAULT/METER PIT. COORDINATE WITH M.E.P.
- (G) PROPOSED TRANSFORMER. COORDINATE WITH M.E.P.
- (H) PROPOSED LIGHT POLE. REFER TO M.E.P. PLANS.
- (I) CONTRACTOR TO ASBUILT TOP OF PLANNED SANITARY SEWER MANHOLE. TOP TO BE ADJUSTED TO FINAL GRADE SHOWN ON CE 3.0-CE 3.4.
- (J) CONTRACTOR TO ASBUILT TOP OF PLANNED STORM SEWER MANHOLE. TOP TO BE ADJUSTED TO FINAL GRADE SHOWN ON CE 3.0-CE 3.4.
- (K) CONTRACTOR TO ASBUILT TOP OF PLANNED SIDE OPENING INLET. TOP TO BE ADJUSTED TO FINAL GRADE SHOWN ON CE 3.0-CE 3.4. REPLACE SIDE OPENING INLET TOP WITH JUNCTION BOX TOP.
- (L) CONTRACTOR TO TAP EXISTING 8" WATERLINE AND INSTALL 6" WATERLINE WITH VALVES AS SHOWN TO VAULT/METER PIT. CONTRACTOR TO VERIFY SIZE AND DEPTH AND FURNISH ALL FITTINGS AS REQUIRED. REFER TO "PRIVATE SITE DEVELOPMENT PLANS" BY OLSSON DATED 10/18/2023 FOR EXISTING PLANNED WATERLINE.
- (M) CONTRACTOR TO ASBUILT TOP OF WATERLINE VALVES. TOP TO BE ADJUSTED TO FINAL GRADE SHOWN ON CE 3.0-CE 3.4.

NE DOUGLAS ST.  
(EX. 58' HALF WIDTH R/W)



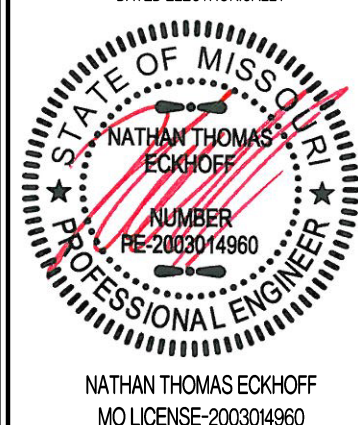
#### GENERAL NOTES:

- 1) DETENTION AND WATER QUALITY FOR THIS PROJECT IS ADDRESSED WITH A DOWNSTREAM REGIONAL DETENTION FACILITY.

#### REVISIONS:

NO.	DATE
ORIGINAL	04/04/2024

THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY



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OWNER:  
DISCOVERY PARK LEES SUMMIT LLC  
4220 PHILLIPS FARM RD  
COLUMBIA, MO 65201

# HOME2 SUITES BY HILTON

## 251 NE ALURA WAY

LEES SUMMIT, JACKSON COUNTY, MISSOURI

#### DRAWING INCLUDES:

UTILITY PLAN

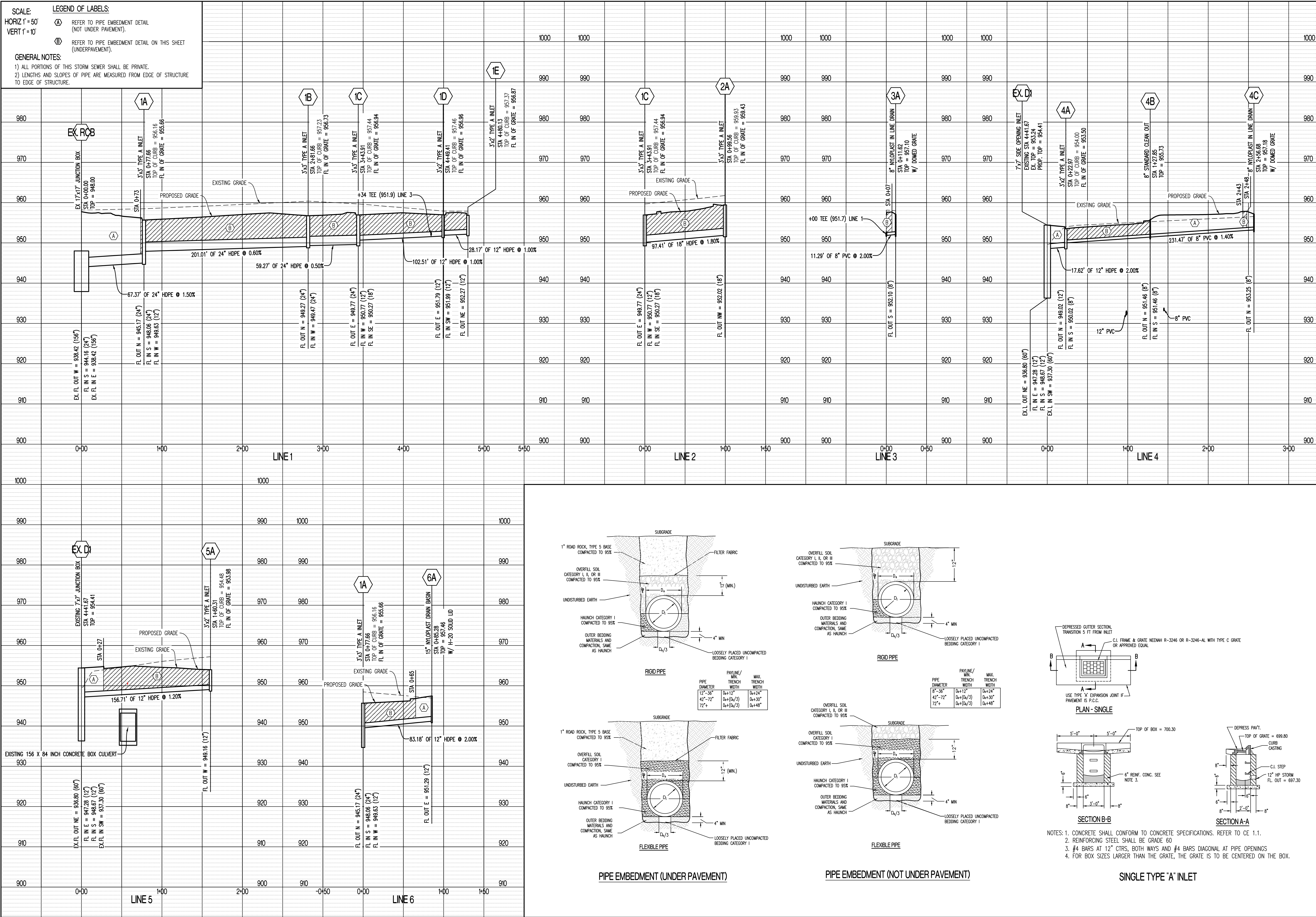
DESIGNED: NTE

DRAWN: NMD

PROJECT NO.: 230286

SHEET:  
CE 41





REVISIONS:

NO.	DATE
ORIGINAL	04/04/2024

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NATHAN THOMAS ECKHOFF  
PROFESSIONAL ENGINEER  
PE 2003014960  
NATHAN THOMAS ECKHOFF  
MO LICENSE 200304960

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COLUMBIA, MO 65201

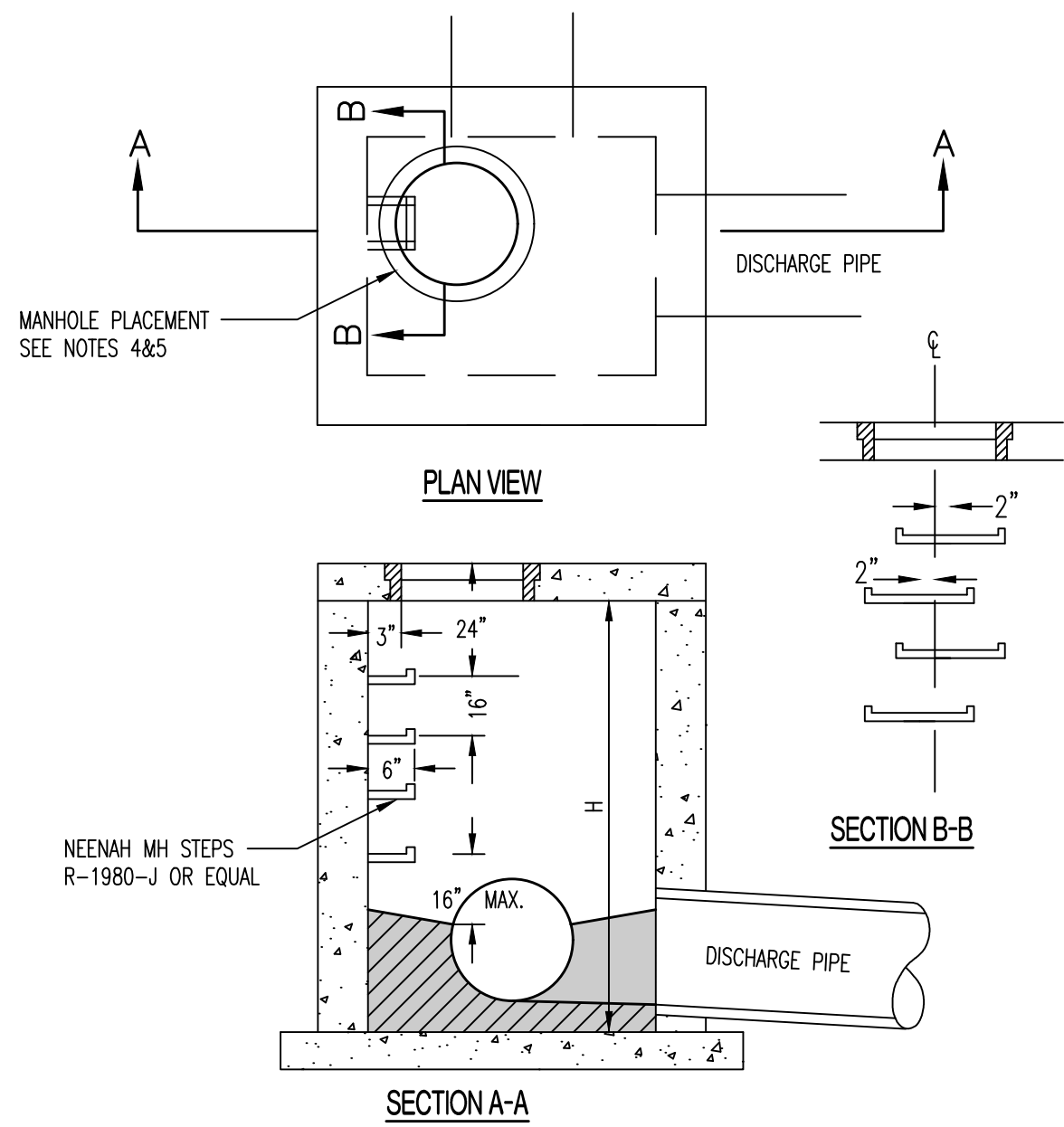
**HOME2 SUITES BY HILTON**  
251 NE ALURA WAY  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

DRAWING INCLUDES:  
STORM PROFILE AND DETAILS

DESIGNED: NTE  
DRAWN: NMD  
PROJECT NO.: 230286  
SHEET: CE 5.1

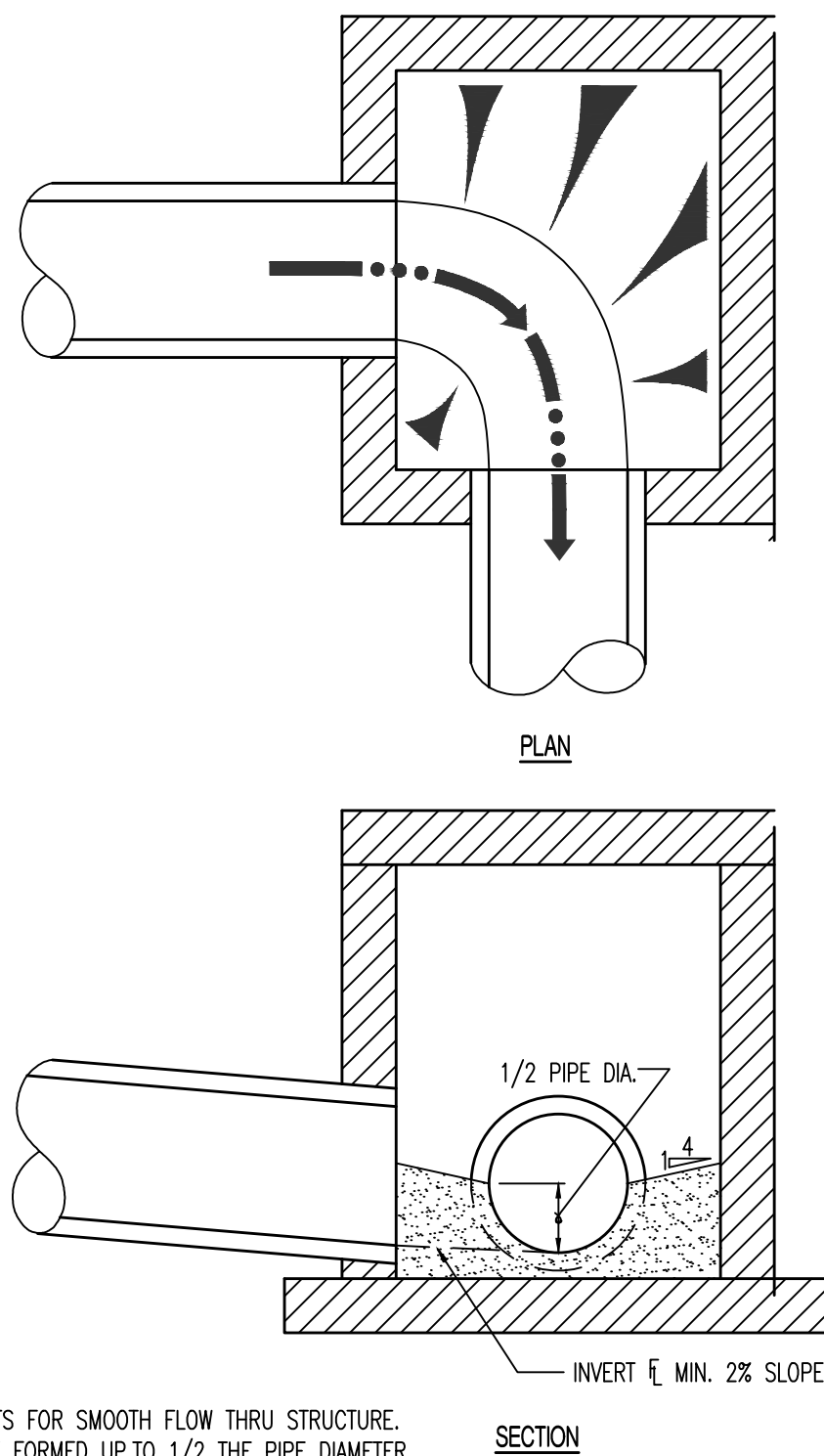


Y:\2023\230286 - Discovery Park Lees Summit\Zone 1 Lot 2\A0AD Files\Construction Plans\230286 Village at Discovery Park Zone 1 Lot 2 Storm Base.dwg



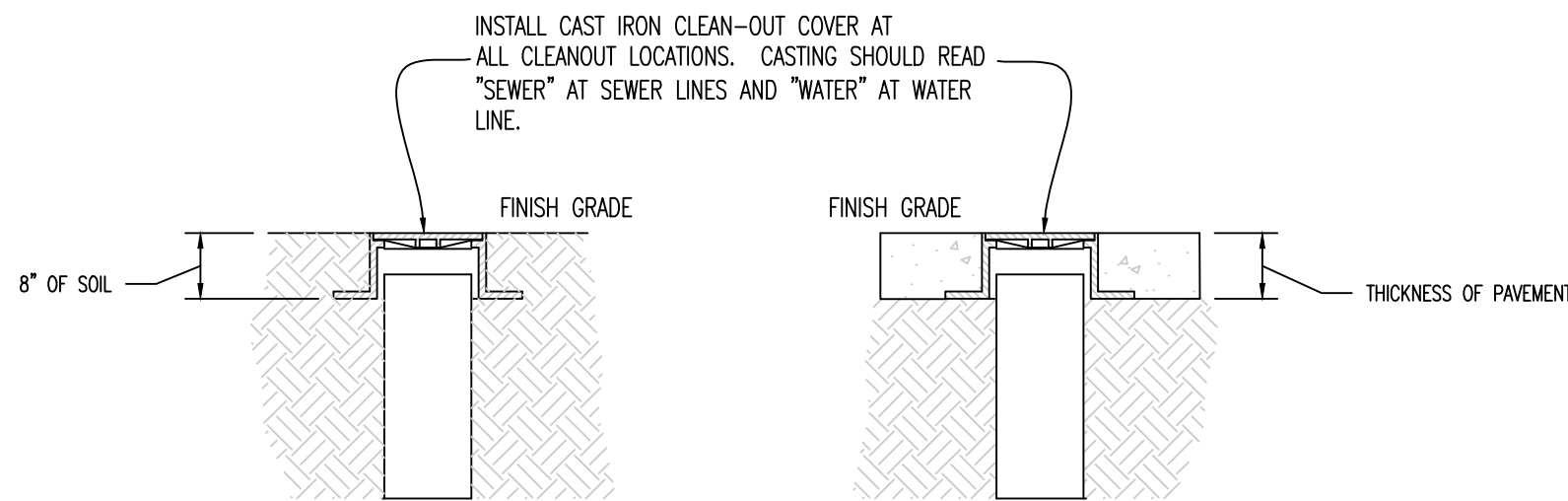
- NOTES:
1. STEPS NOT REQUIRED WHERE H IS LESS THAN 4'.
  2. CAST IRON STEPS SHALL BE AMERICAN M.L.-10-NCR OR EQUAL.
  3. STEPS SHALL BE PLACED ON VACANT WALL WHEN POSSIBLE.
  4. MANHOLE RING SHALL BE OFFSET TOWARD WALL WITH STEPS.
  5. MANHOLE RING SHALL BE CENTERED ON CENTERLINE OF MANHOLE RING.
  6. STAGGER STEPS 2" EACH WAY FROM CENTERLINE OF MANHOLE RING.
  7. TOP STEP 24" BELOW TOP OF SLAB
  8. STEP SPACING TO BE 16", BOTTOM STEP TO BE NO HIGHER THAN 16" FROM INVERT.

DRAINAGE STRUCTURE STEPS

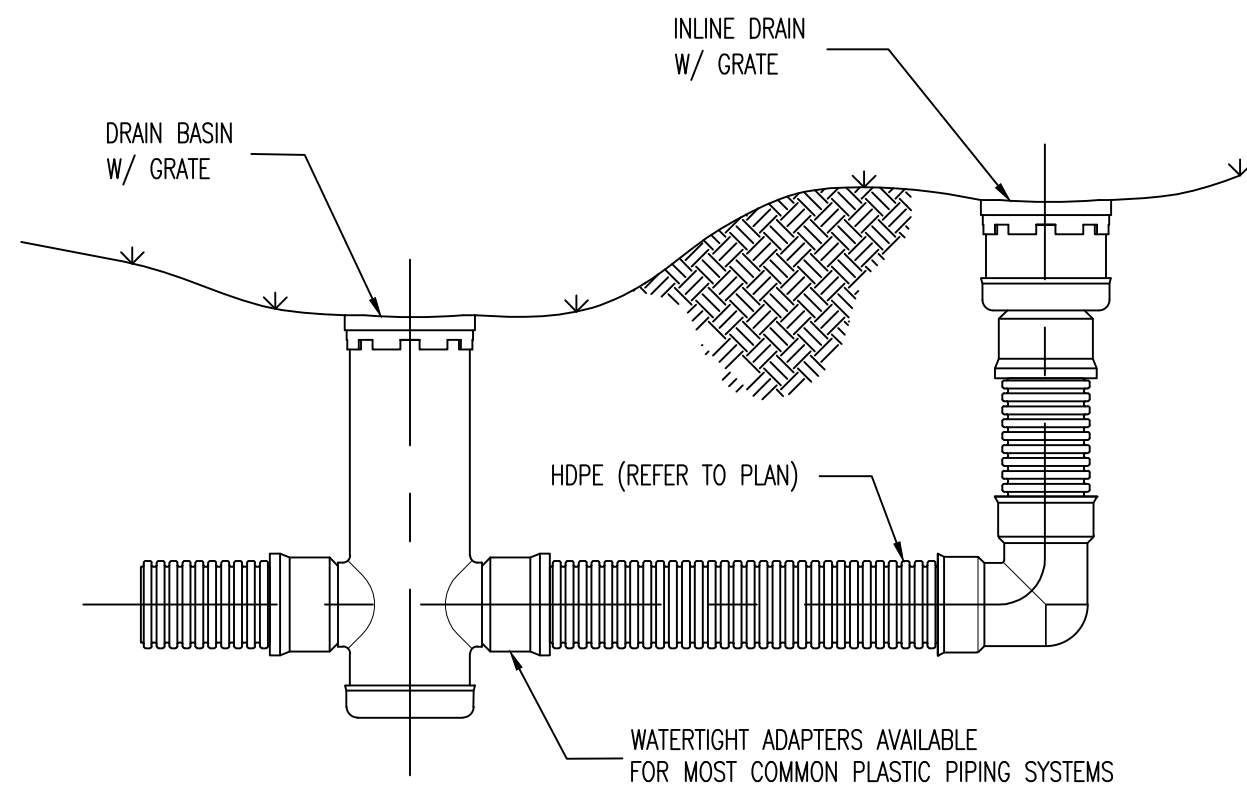


- NOTES:
1. FORM ALL INVERTS FOR SMOOTH FLOW THRU STRUCTURE.
  2. INVERT SHALL BE FORMED UP TO 1/2 THE PIPE DIAMETER.
  3. INVERT SHALL BE CLASS CONCRETE.

DRAINAGE STRUCTURE INVERT



CLEANOUT DETAIL

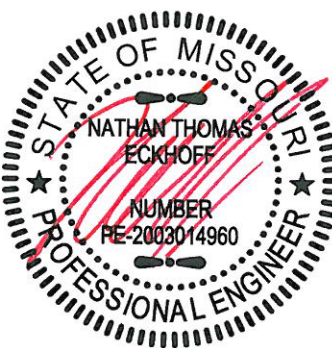


TYPICAL INSTALLATION OF NYLOPLAST DRAIN BASIN AND INLINE DRAIN

REVISIONS:

NO.	DATE
ORIGINAL	04/04/2024

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NATHAN THOMAS ECKHOFF  
MO LICENSE 200304960

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OWNER:

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4020 PHILLIPS FARM RD  
COLUMBIA, MO 65201

**HOME2 SUITES BY HILTON**  
**251 NE ALURA WAY**  
**LEE'S SUMMIT, JACKSON COUNTY, MISSOURI**

DRAWING INCLUDES:

STORM DETAILS CONT.

DESIGNED: NTE

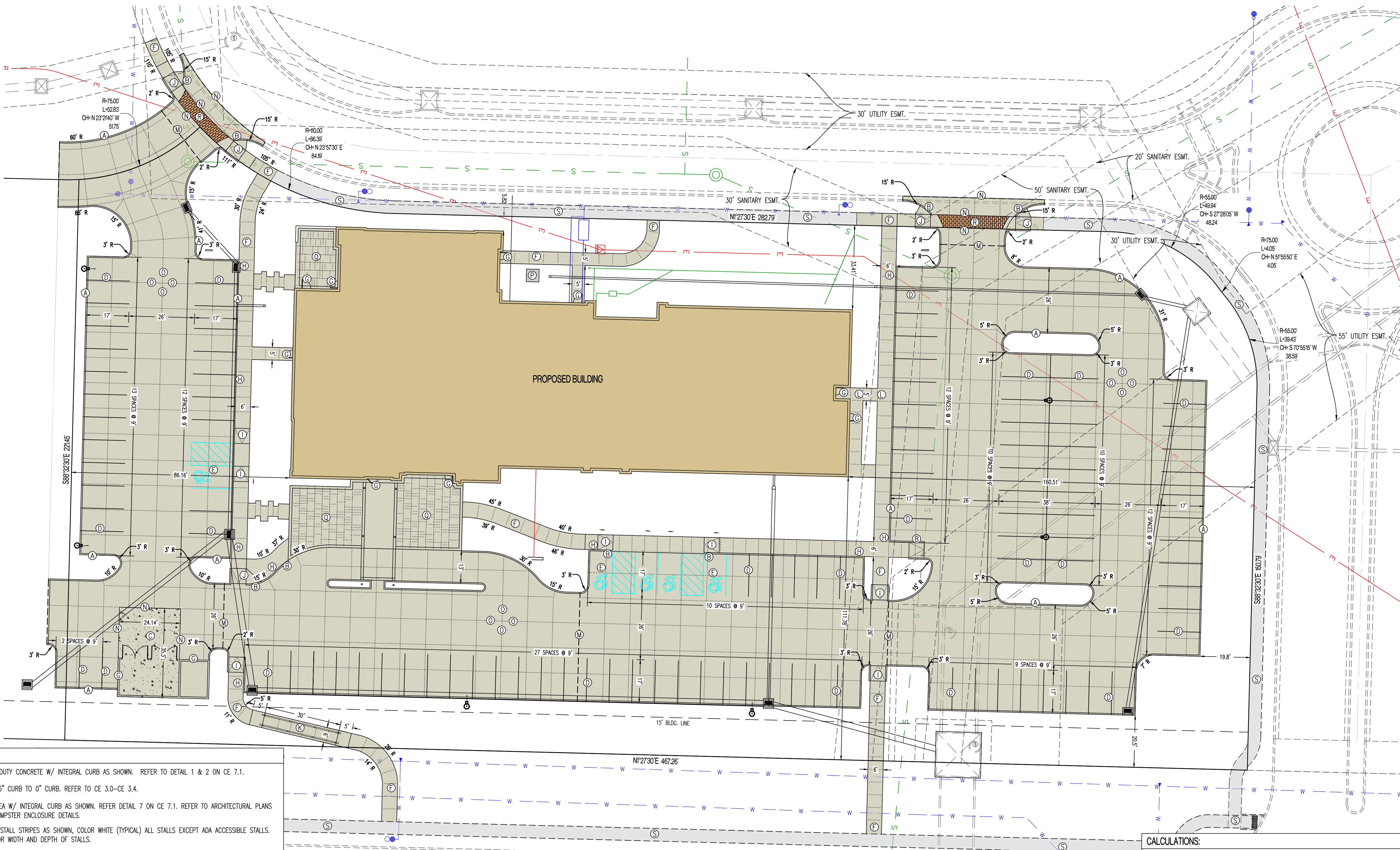
DRAWN: NMD

PROJECT NO: 230286

SHEET:

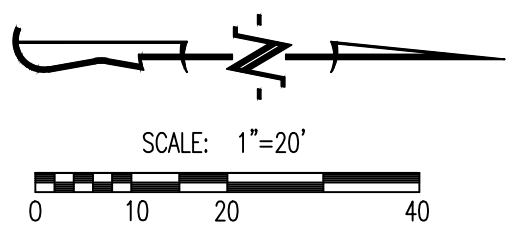
CE 5.2





LEGEND OF LABELS	
(A)	CONSTRUCT LIGHT DUTY CONCRETE W/ INTEGRAL CURB AS SHOWN. REFER TO DETAIL 1 & 2 ON CE 7.1.
(B)	TRANSITION FROM 6" CURB TO 0" CURB. REFER TO CE 3.0-CE 3.4.
(C)	DUMPSTER PAD AREA W/ INTEGRAL CURB AS SHOWN. REFER DETAIL 7 ON CE 7.1. REFER TO ARCHITECTURAL PLANS FOR PROPOSED DUMPSTER ENCLOSURE DETAILS.
(D)	PAINT 4" PARKING STALL STRIPES AS SHOWN, COLOR WHITE (TYPICAL) ALL STALLS EXCEPT ADA ACCESSIBLE STALLS. REFER TO PLAN FOR WIDTH AND DEPTH OF STALLS.
(E)	CONSTRUCT ADA ACCESSIBLE PARKING AREA WITH SIGNAGE AND ADA RAMPS. PAINT 4" STRIPE AND ACCESSIBLE SYMBOL, COLOR BLUE. PAINT HATCH AREA AS SHOWN, COLOR BLUE. SLOPE OF THE PAVEMENT AT ALL ACCESSIBLE STALLS SHALL NOT EXCEED 1:50. REFER TO DETAIL 8 ON CE 7.2.
(F)	CONSTRUCT 4" THICK, PCC WALK PER PLAN DIMENSIONS AS SHOWN (MAXIMUM LONGITUDINAL SLOPE 1:20. MAXIMUM CROSS SLOPE AT 1:50). REFER DETAIL 5 ON CE 7.1.
(G)	CONSTRUCT THICKENED EDGE SIDEWALK/PAVEMENT ABUTTING BUILDING PER PLAN DIMENSIONS AS SHOWN (MAXIMUM LONGITUDINAL SLOPE 1:20. MAXIMUM CROSS SLOPE AT 1:50). REFER TO DETAIL 4 ON CE 7.1.
(H)	CONSTRUCT THICKENED EDGE SIDEWALK WALK AT BACK OF CURB PER PLAN DIMENSIONS AS SHOWN (MAXIMUM LONGITUDINAL SLOPE 1:20. MAXIMUM CROSS SLOPE AT 1:50). REFER TO DETAIL 4 ON CE 7.1.
(I)	CONSTRUCT ADA ACCESSIBLE SIDEWALK RAMP AT BACK OF CURB. REFER TO DETAIL 9 ON CE 7.2.
(J)	CONSTRUCT ADA ACCESSIBLE SIDEWALK RAMP WITH FLARE AT BACK OF CURB. REFER TO DETAIL 10 ON CE 7.2.
(K)	CONSTRUCT ADA ACCESSIBLE SIDEWALK RAMP WITH HANDRAIL. REFER TO DETAIL 11 ON CE 7.2.
(L)	INSTALL 6" STEP IN SIDEWALK. REFER TO CE 3.0-CE 3.4.
(M)	INSTALL TYPE A OR TYPE A ALTERNATE EXPANSION JOINT IN PAVING. REFER TO DETAIL 6 ON CE 7.1.
(N)	INSTALL TYPE B CONSTRUCTION JOINT WHERE PROPOSED CONCRETE PAVING ABUTS EXISTING CONCRETE PAVING. REFER TO DETAIL 6 ON CE 7.1.
(O)	INSTALL TYPE C SAW JOINT IN PAVEMENT, MAXIMUM 12'X12' SQUARES (TYPICAL). REFER TO DETAIL 6 ON CE 7.1.
(P)	PROPOSED TRANSFORMER PAD. COORDINATE WITH M.E.P. FOR EXACT SIZE AND LOCATION.
(Q)	PROPOSED PATIO AREA. REFER TO ARCHITECTURAL PLANS.
(R)	CROSSWALK CONCRETE PAVEMENT TO BE INTEGRALLY COLORED. COLOR TO BE CHOSEN BY OWNER. PAVEMENT CROSS SECTION TO MATCH ADJACENT PAVEMENT.
(S)	5' STREET-SIDE SIDEWALK TO BE CONSTRUCTED. REFER TO OLSSON PLANS TITLED "PRIVATE SITE DEVELOPMENT PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1" DATED 10/18/2023.

NE DOUGLAS ST.  
(EX. 58' HALF WIDTH R/W)



GENERAL NOTES:

- ALL ACCESSIBLE PARKING SHALL COMPLY WITH THE REQUIREMENTS OF THE FEDERAL AMERICANS WITH DISABILITIES ACT.
- THE PAVEMENT JOINTS SHOWN ARE A GRAPHICAL REPRESENTATION OF A POSSIBLE JOINT CONTRACTOR TO PROVIDE SHOP DRAWINGS WITH JOINT LAYOUT FOR APPROVAL BY ENGINEER PRIOR TO POURING OF PAVEMENT.

CALCULATIONS:

LAND AREA:		
TOTAL LAND AREA:		2.28 AC
BUILDING DETAILS:		
1ST FLOOR:	16,402 SQ.FT.	
2ND FLOOR:	14,828 SQ.FT.	
3RD FLOOR:	14,828 SQ.FT.	
4TH FLOOR:	14,828 SQ.FT.	
TOTAL S.F. (4-STORIES)	60,886 SQ.FT.	
PARKING SUMMARY:		
SPACES REQUIRED:		
HOTEL OR MOTEL WITH NO RESTAURANT OR LOUNGE, OR WITH A RESTAURANT OR LOUNGE PROVIDED FOR GUESTS ONLY		
- 1 PER ROOM		
STANDARD SPACES REQUIRED (107 UNITS):		107 SPACES
HANDICAP SPACES REQUIRED:		5 SPACES
SPACES PROVIDED:		
STANDARD SPACES PROVIDED:		112 SPACES
HANDICAP SPACES PROVIDED:		5 SPACES
TOTAL SPACES PROVIDED:		117 SPACES
LOT COVERAGES:		
NET LAND AREA:	99,487 SQ.FT.	100%
TOTAL IMPERVIOUS SURFACE AREA:	66,125 SQ.FT.	66%
TOTAL OPEN SPACE:	31,362 SQ.FT.	32%
FLOOR AREA RATIO:		61%

REVISIONS:

NO.	DATE
ORIGINAL	04/04/2024

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NATHAN THOMAS ECKHOFF  
MISSOURI LICENSE 200304960

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HOM2 SUITES BY HILTON

251 NE ALURA WAY

LEES SUMMIT, JACKSON COUNTY, MISSOURI

DRAWING INCLUDES:

SITE PLAN

DESIGNED: NTE

DRAWN: NMD

PROJECT NO: 230286

SHEET: CE 6.1

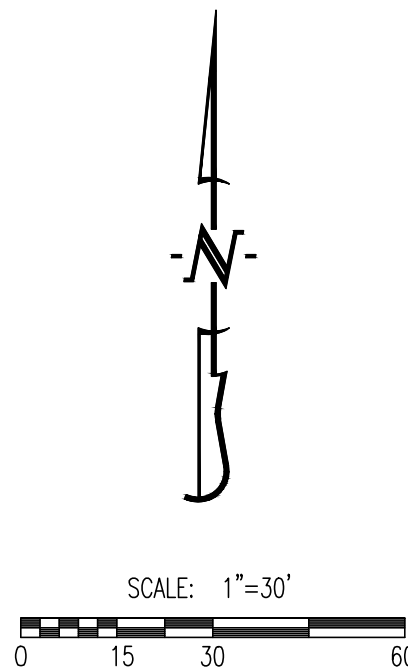
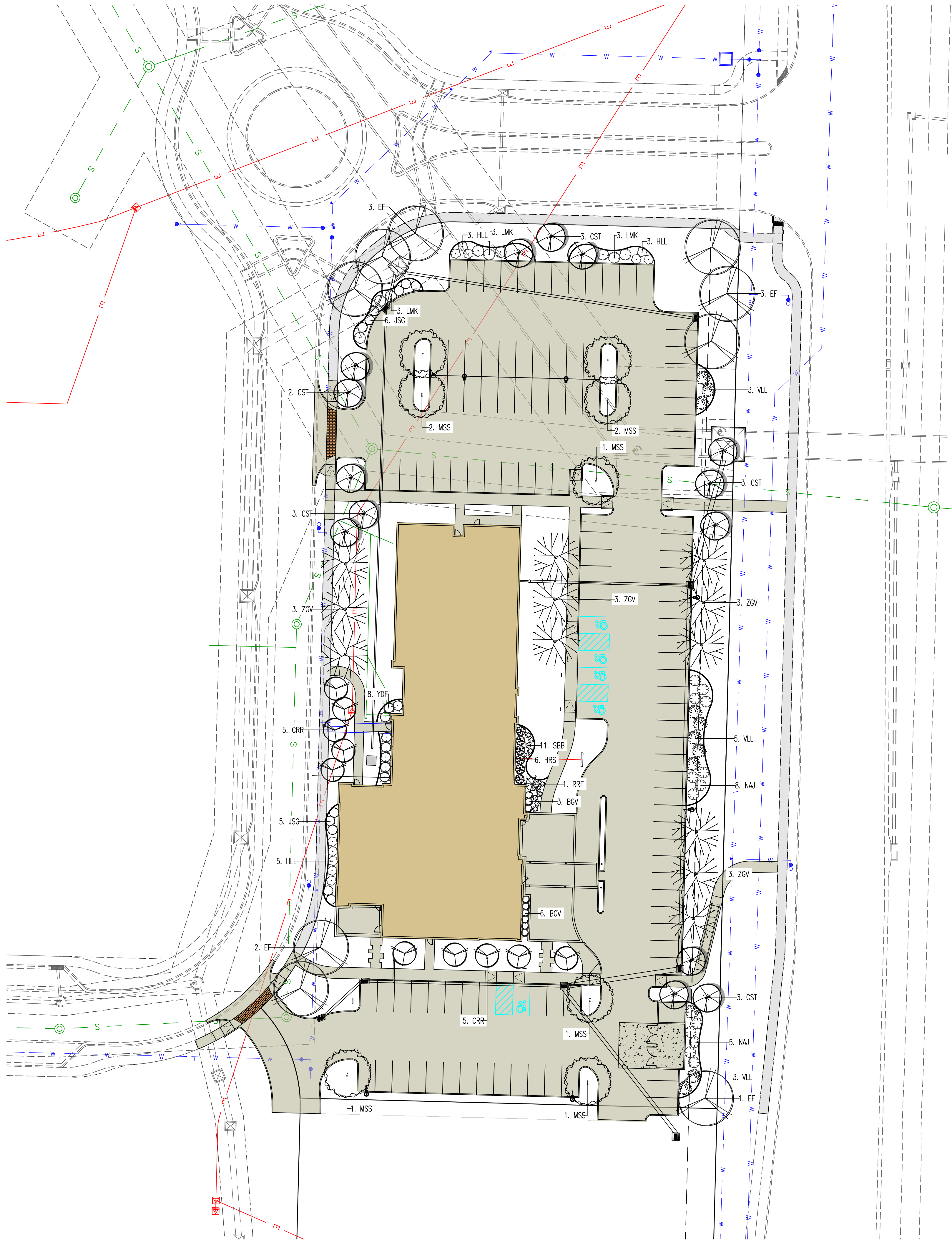












LANDSCAPE COMPLIANCE: LOT 2

LEE'S SUMMIT, MISSOURI  
CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS, AND TREE PROTECTION  
SITE ZONED: CP-2, PROPOSED: PMX

STREET FRONTAGE TREES

1 TREE PER 30 FEET OF STREET FRONTAGE  
NE DOUGLAS STREET - 467 LF STREET FRONTAGE 16 TREES REQUIRED 16 TREES PROPOSED  
ALURA WAY - 611 LF STREET FRONTAGE 21 TREES REQUIRED 21 TREES PROPOSED

OPEN YARD TREES

1 TREE PER 5,000 SF OF TOTAL LOT AREA, EXCLUDING BUILDING FOOTPRINT  
TOTAL LOT AREA = 82,775 SF 17 TREES REQUIRED 17 TREES PROPOSED

STREET FRONTAGE SHRUBS

1 SHRUB PER 20 FEET OF STREET FRONTAGE  
NE DOUGLAS STREET - 467 LF STREET FRONTAGE 24 SHRUBS REQUIRED 24 SHRUBS PROPOSED  
ALURA WAY - 611 LF STREET FRONTAGE 31 SHRUBS REQUIRED 31 SHRUBS PROPOSED

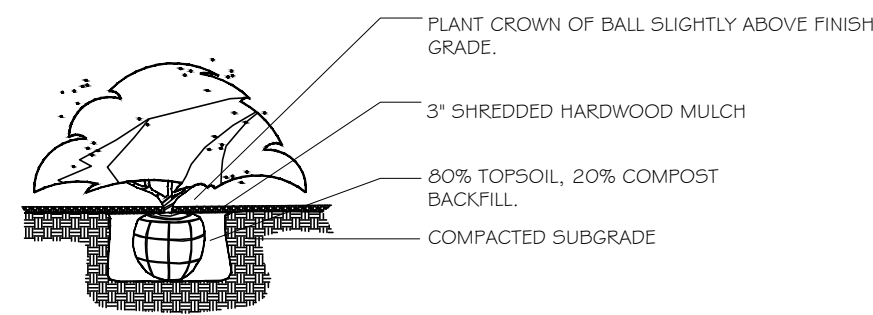
OPEN YARD SHRUBS

2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA, EXCLUDING BUILDING FOOTPRINT  
TOTAL LOT AREA = 82,775 SF 34 SHRUBS REQUIRED 34 SHRUBS PROPOSED

PLANTING SCHEDULE:

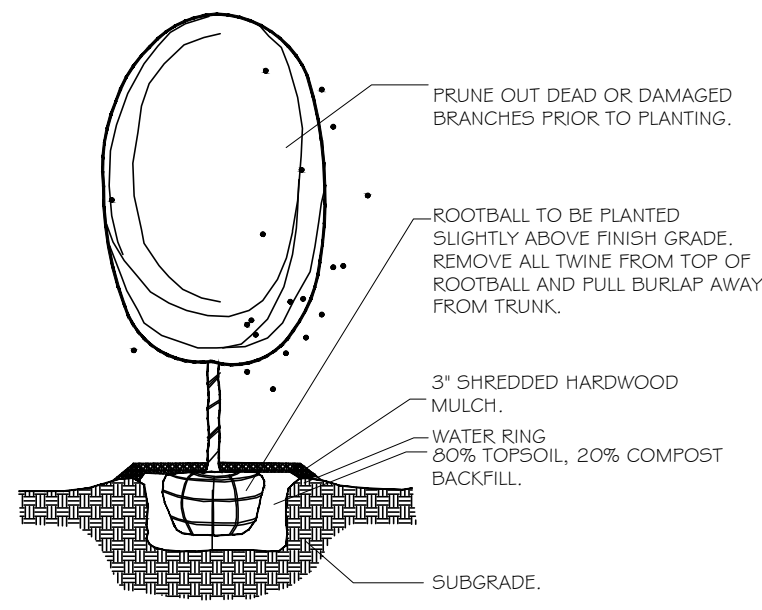
QUANTITY	SYMBOL	PLANT NAME	PLANT TYPE	SIZE
9	EF	ELM 'FRONTIER'	MEDIUM / LARGE TREE	3"
12	ZGV	ZELKOVA 'GREEN VASE'	MEDIUM / LARGE TREE	3"
8	MSS	MIYABI MAPLE 'STATE STREET'	MEDIUM / LARGE TREE	3"
14	CST	CRABAPPLE 'SUGARTIME'	ORNAMENTAL TREE	2"
10	CRR	CRABAPPLE 'ROYAL RAINDROPS'	ORNAMENTAL TREE	2"
1	RRF	REDBUD 'RUBY FALLS'	ORNAMENTAL TREE	2"
13	NAJ	NINEBARK 'AMBER JUBILEE'	DECIDUOUS SHRUB	#5
11	VLL	VIBURNUM 'LEATHERLEAF'	DECIDUOUS SHRUB	#5
11	HLL	HYDRANGEA 'LITTLE LIME'	DECIDUOUS SHRUB	#5
9	LMK	LILAC 'MISS KIM'	DECIDUOUS SHRUB	#5
6	HRS	HYDRANGEA 'RUBY SLIPPERS'	DECIDUOUS SHRUB	#5
11	SBB	SPIREA 'BIG BANG'	DECIDUOUS SHRUB	#5
9	BOV	BOXWOOD 'GREEN VELVET'	EVERGREEN SHRUB	#5
11	JSG	JUNIPER 'SEA GREEN'	EVERGREEN SHRUB	#5
8	YDF	YEW 'DENS'	EVERGREEN SHRUB	#5

- THE PLANT LIST IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL PLANT COUNTS AND IF A DISCREPANCY EXISTS THE PLAN SHALL GOVERN.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED TO +/-0.10 FOOT OF FINISHED GRADE.
- PLANTING BACK FILL MIX IS TO CONSIST OF 80% NATIVE TOPSOIL, AND 20% ORGANIC MATTER.
- SHRUB BEDS, BERMS, AND TREE WELLS ARE TO BE MULCHED WITH 3-4" DYED HARDWOOD MULCH.
- ALL BED AND LAWN AREAS SHALL BE IRRIGATED.
- ALL LAWN AREAS TO BE SODDED WITH TALL FESCUE SOD.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWELVE MONTHS.
- ALL PLANTING BEDS AND TREE RINGS TO BE SEPERATED FROM TURF AREAS BY 'V' TRENCHING.
- ALL PLANT MATERIAL MUST MEET THE SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.



SHRUB / PERENNIAL PLANTING DETAIL

Not To Scale



DECIDUOUS TREE PLANTING DETAIL

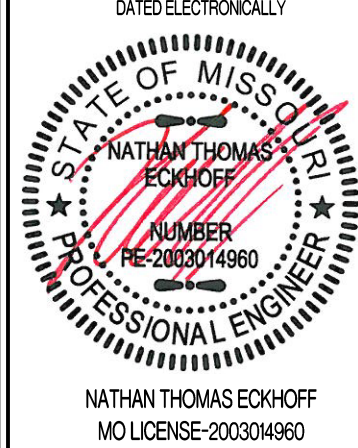
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HOME2 SUITES BY HILTON  
251 NE ALURA WAY  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

DRAWING INCLUDES:

LANDSCAPE PLAN

DESIGNED: NTE

DRAWN: NMD

PROJECT NO.: 230286

SHEET:  
CE 8.1



PLAN LEGEND

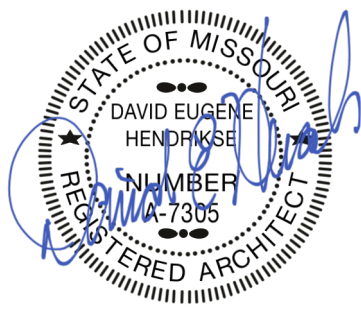
- PARTIAL HEIGHT PARTITION
- NON-RATED PARTITION; SEE ASSEMBLIES G-102
- 1 HR RATED PARTITION; SEE ASSEMBLIES G-102
- 2 HR RATED PARTITION; SEE ASSEMBLIES G-102
- WINDOW TYPE; SEE WINDOW SCHEDULE A-600
- DOOR TYPE; SEE DOOR SCHEDULE A-600
- PARTITION TYPE; SEE ASSEMBLIES G-102
- FRAMING DIMENSIONS
- LAYOUT LINE DIMENSIONS
- HEARING/VISIBILITY
- ADA/ACCESSIBLE UNITS
- \*NOTE: SEE ENLARGED PLANS (SHEET A-410) & ENLARGED STAIR & ELEVATOR PLANS (SHEETS A-303 - A-306) FOR ALL DOOR TAGS

REFERENCE G-003 FOR GENERAL NOTES

PRINTS ISSUED  
04/04/2024 - FDP SUBMISSION

REVISIONS:

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LEE'S SUMMIT, MO

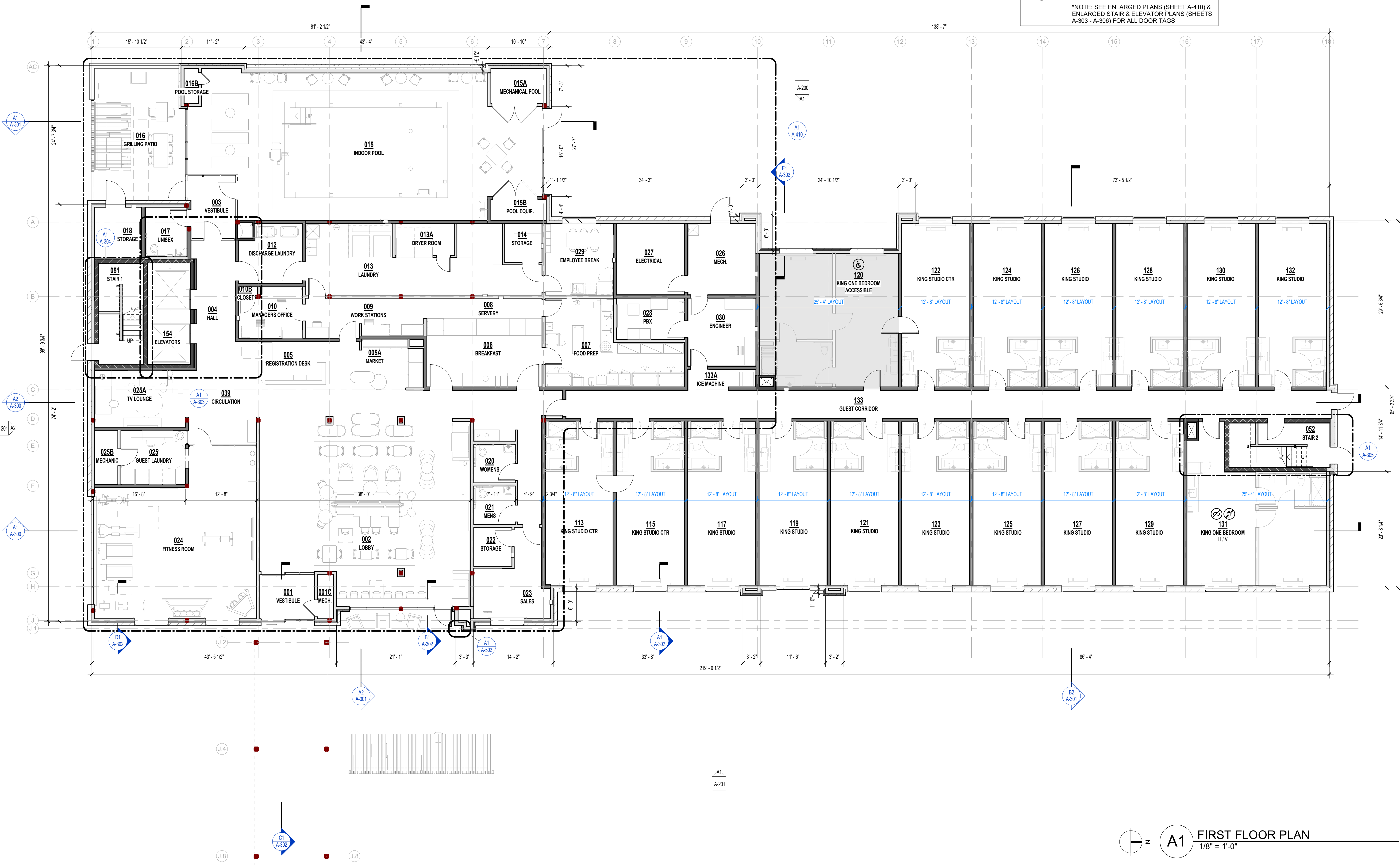
SHEET TITLE  
FIRST FLOOR PLAN

PROJECT NUMBER: 22023

SHEET NUMBER:

A-101

A1 FIRST FLOOR PLAN  
1/8" = 1'-0"





PLAN LEGEND

- PARTIAL HEIGHT PARTITION
- NON-RATED PARTITION; SEE ASSEMBLIES G-102
- 1 HR RATED PARTITION; SEE ASSEMBLIES G-102
- 2 HR RATED PARTITION; SEE ASSEMBLIES G-102
- WINDOW TYPE; SEE WINDOW SCHEDULE A-600
- DOOR TYPE; SEE DOOR SCHEDULE A-600
- PARTITION TYPE; SEE ASSEMBLIES G-102
- FRAMING DIMENSIONS
- LAYOUT LINE DIMENSIONS
- HEARING/VISIBILITY
- ADA/ACCESSIBLE UNITS
- \*NOTE: SEE ENLARGED PLANS (SHEET A-110) & ENLARGED STAIR & ELEVATOR PLANS (SHEETS A-303 - A-306) FOR ALL DOOR TAGS

REFERENCE G-003 FOR GENERAL NOTES

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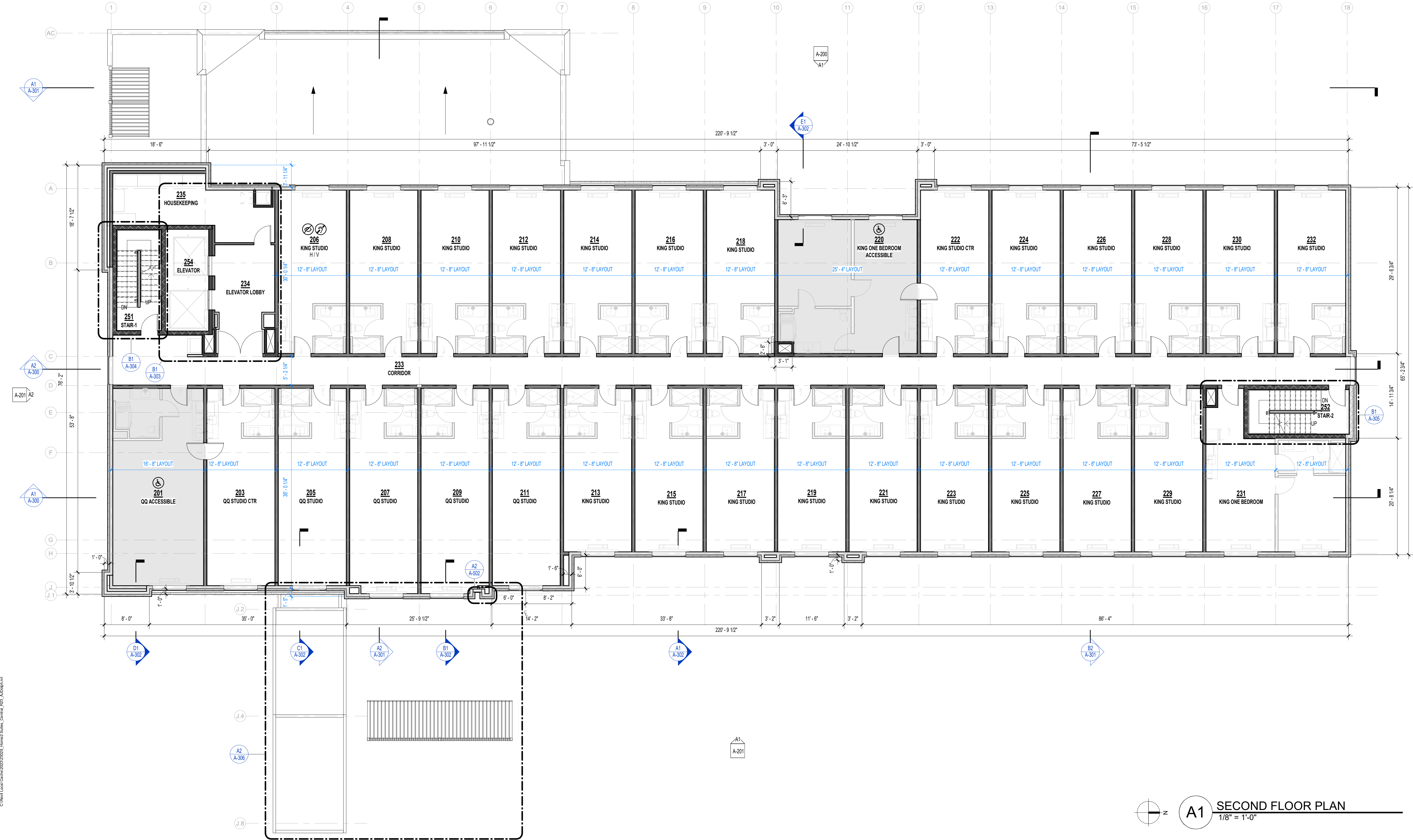
HOME2 SUITES BY HILTON

LEE'S SUMMIT, MO

SHEET TITLE  
SECOND FLOOR PLAN  
PROJECT NUMBER: 22023  
SHEET NUMBER:

A-102

A1 SECOND FLOOR PLAN  
1/8" = 1'-0"





PLAN LEGEND

- PARTIAL HEIGHT PARTITION
  - NON-RATED PARTITION; SEE ASSEMBLIES G-102
  - 1 HR RATED PARTITION; SEE ASSEMBLIES G-102
  - 2 HR RATED PARTITION; SEE ASSEMBLIES G-102
  - WINDOW TYPE; SEE WINDOW SCHEDULE A-600
  - DOOR TYPE; SEE DOOR SCHEDULE A-600
  - PARTITION TYPE; SEE ASSEMBLIES G-102
  - FRAMING DIMENSIONS
  - LAYOUT LINE DIMENSIONS
  - HEARING/VISIBILITY
  - ADA/ACCESSIBLE UNITS
- \*NOTE: SEE ENLARGED PLANS (SHEET A-410) & ENLARGED STAIR & ELEVATOR PLANS (SHEETS A-303 - A-306) FOR ALL DOOR TAGS

REFERENCE G-003 FOR GENERAL NOTES

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HOME2 SUITES BY HILTON

LEE'S SUMMIT, MO

SHEET TITLE  
THIRD FLOOR PLAN  
PROJECT NUMBER: 22023  
SHEET NUMBER:

A-103

THIRD FLOOR PLAN  
1/8" = 1'-0"



PLAN LEGEND

- PARTIAL HEIGHT PARTITION  
NON-RATED PARTITION; SEE ASSEMBLIES G-102  
1 HR RATED PARTITION; SEE ASSEMBLIES G-102  
2 HR RATED PARTITION; SEE ASSEMBLIES G-102
- WINDOW TYPE; SEE WINDOW SCHEDULE A-600  
DOOR TYPE; SEE DOOR SCHEDULE A-600  
PARTITION TYPE; SEE ASSEMBLIES G-102  
FRAMING DIMENSIONS  
LAYOUT LINE DIMENSIONS  
HEARING/VISIBILITY  
ADA/ACCESSIBLE UNITS
- \*NOTE: SEE ENLARGED PLANS (SHEET A-410) & ENLARGED STAIR & ELEVATOR PLANS (SHEETS A-303 - A-306) FOR ALL DOOR TAGS

REFERENCE G-003 FOR GENERAL NOTES

PRINTS ISSUED  
04/04/2024 - FDP SUBMISSION  
REVISIONS:

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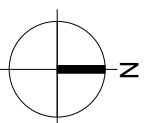


HOME2 SUITES BY HILTON

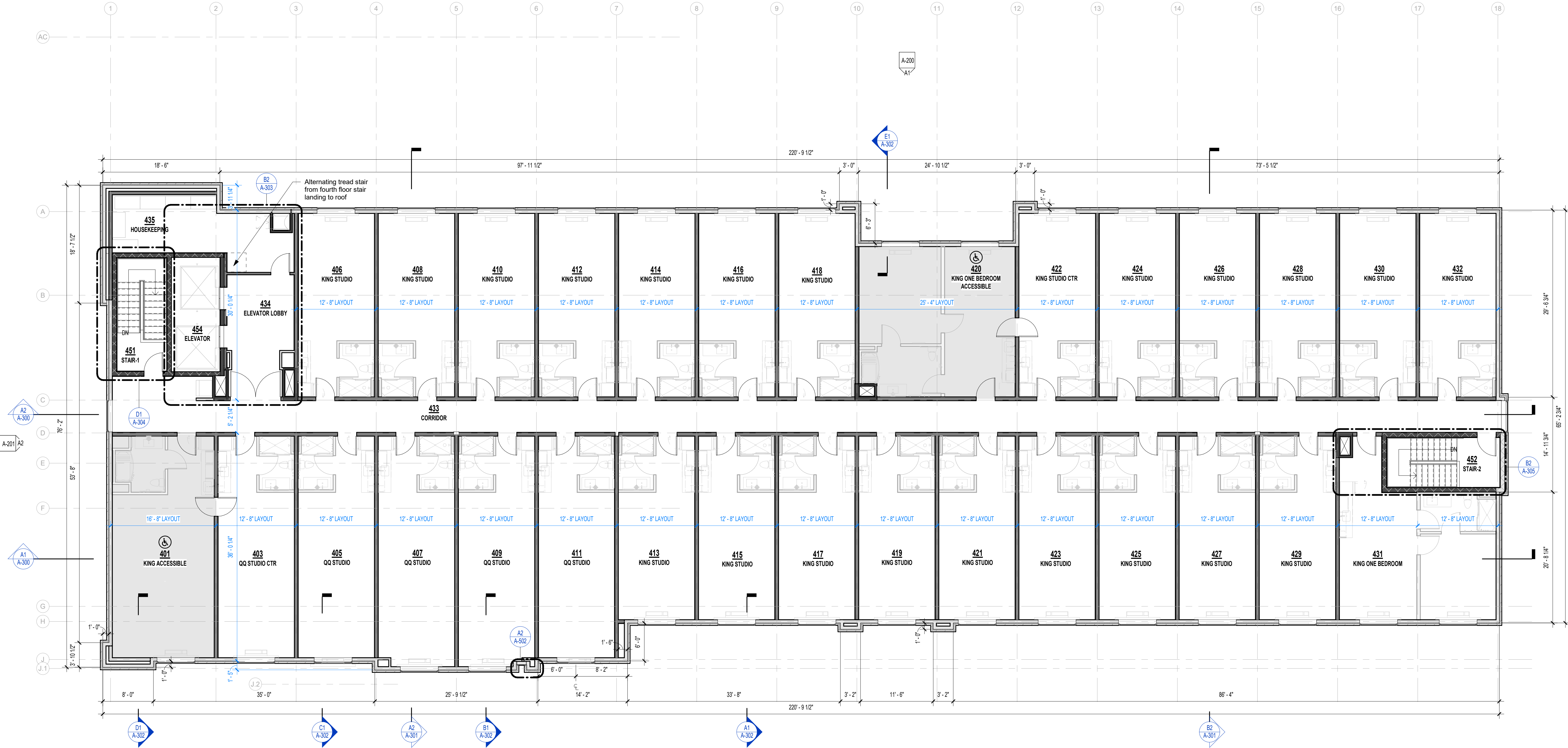
LEE'S SUMMIT, MO

SHEET TITLE  
FOURTH FLOOR PLAN  
PROJECT NUMBER: 22023  
SHEET NUMBER:

A-104



A1 FOURTH FLOOR PLAN  
1/8" = 1'-0"





## ROOF PLAN LEGEND

- INTAKE VENTS
- EXHAUST VENTS

REFERENCE G-003 FOR GENERAL NOTES

PRINTS ISSUED

04/04/2024 - FDP SUBMISSION

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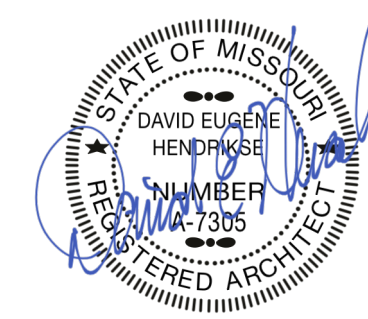
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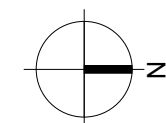
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SHEET TITLE  
ROOF PLAN

PROJECT NUMBER: 22023

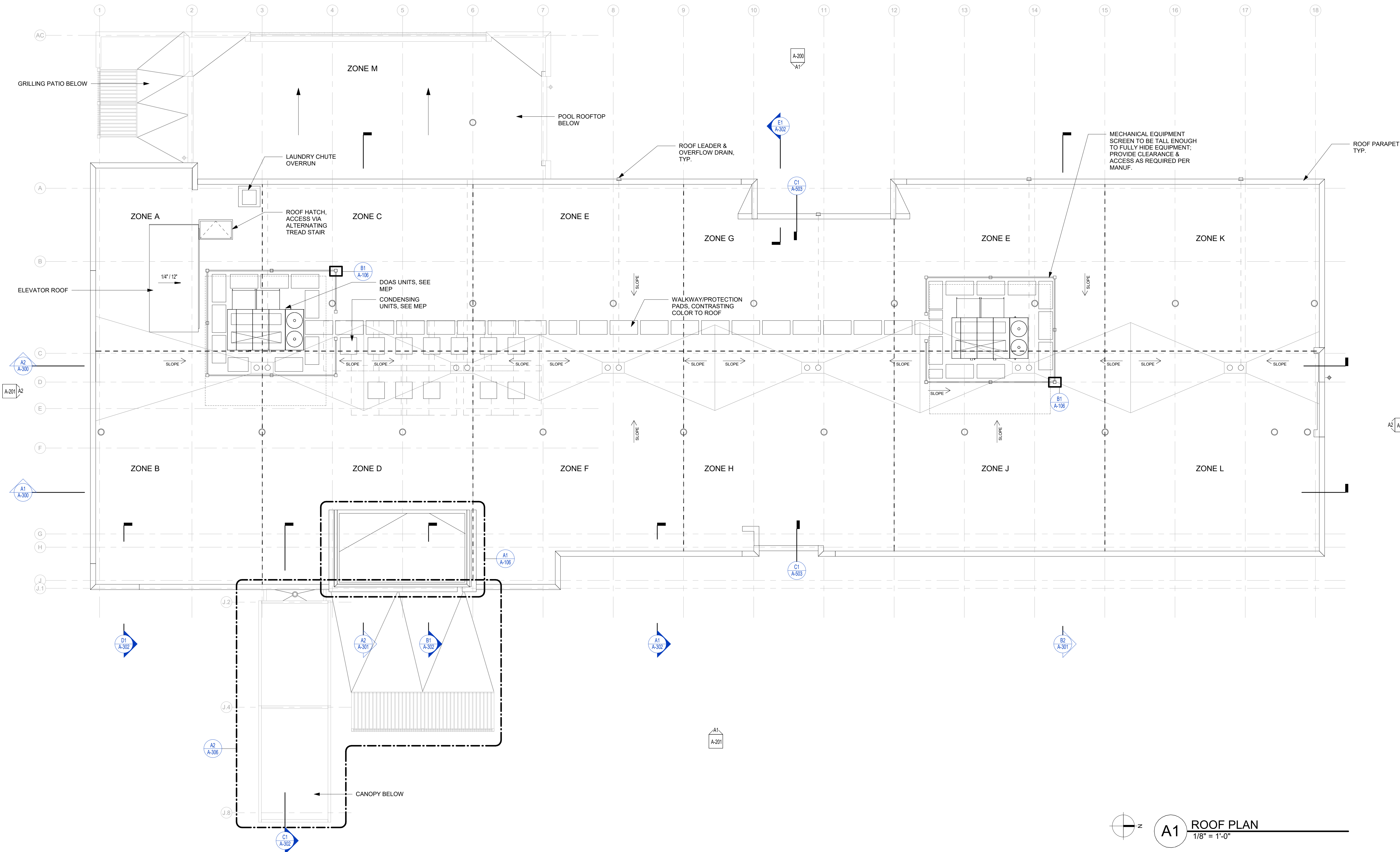
SHEET NUMBER:

A-105



A1

ROOF PLAN  
1/8" = 1'-0"

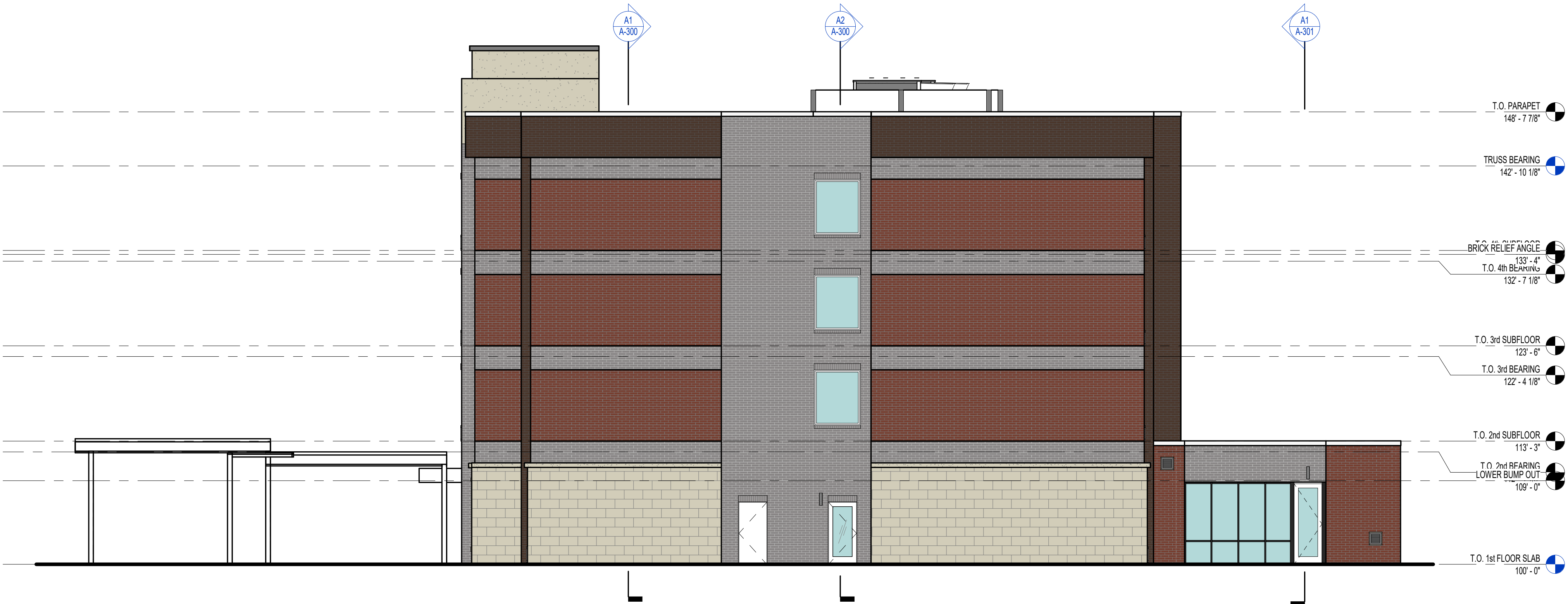




REFERENCE G-003 FOR GENERAL NOTES

MATERIAL LEGEND

	MA-1 - STONE - ROCK FACE
	MA-2 - STONE SILL - SMOOTH FACE
	BR-1 - BRICK - RED
	BR-3 - BRICK - GREY
	EIFS-1 - DARK RED
	MTL-1 - METAL - DARK BRONZE
	STCO - STUCCO - COLOR TO MATCH STONE
	BRICK RELIEF ANGLE LOCATION



A2 SIDE ELEVATION  
1/8" = 1'-0"



A1 REAR ELEVATION  
1/8" = 1'-0"

PRINTS ISSUED

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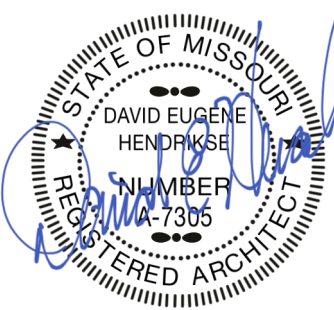
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HOME2 SUITES BY HILTON

LEE'S SUMMIT, MO

SHEET TITLE  
EXTERIOR COLOR ELEVATIONS

PROJECT NUMBER: 22023

SHEET NUMBER:

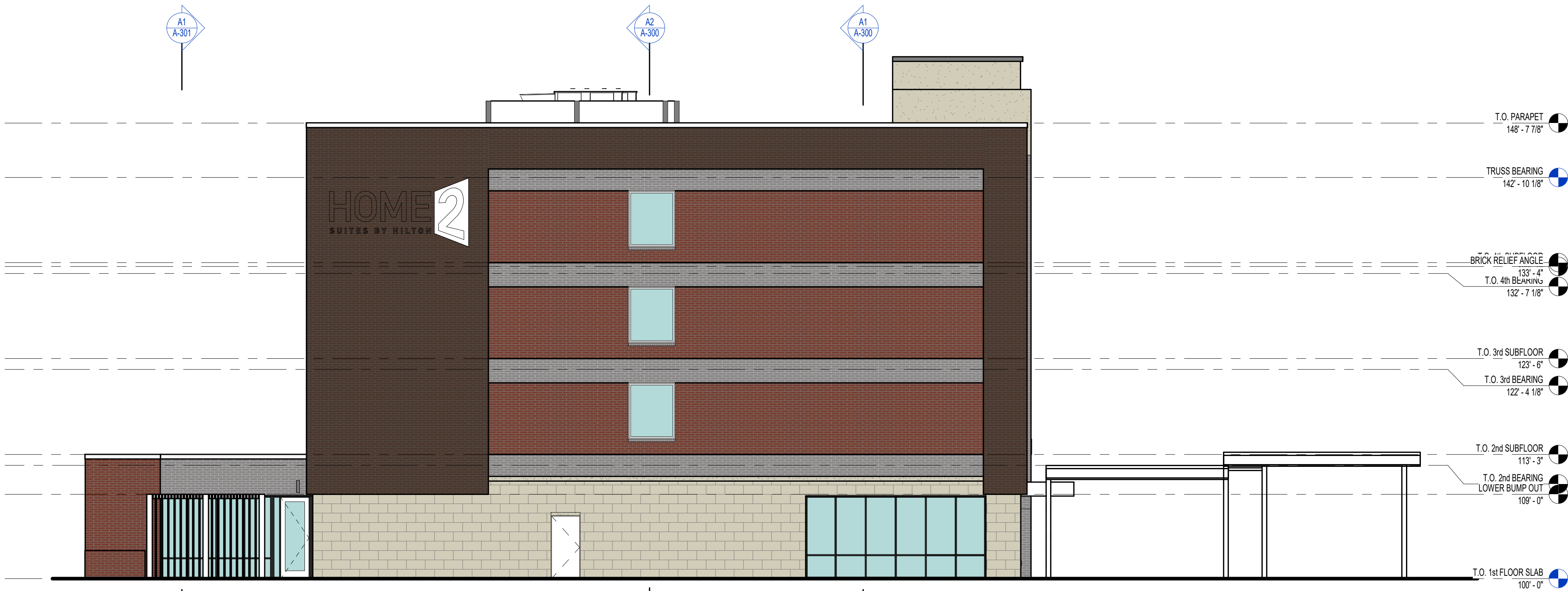
A-202



REFERENCE G-003 FOR GENERAL NOTES

MATERIAL LEGEND

	MA-1 - STONE - ROCK FACE
	MA-2 - STONE SILL - SMOOTH FACE
	BR-1 - BRICK - RED
	BR-3 - BRICK - GREY
	EIFS-1 - DARK RED
	MTL-1 - METAL - DARK BRONZE
	STCO - STUCCO - COLOR TO MATCH STONE
	--- BRICK RELIEF ANGLE LOCATION



A2 SIDE ELEVATION  
1/8" = 1'-0"



A1 FRONT ELEVATION  
1/8" = 1'-0"

PRINTS ISSUED

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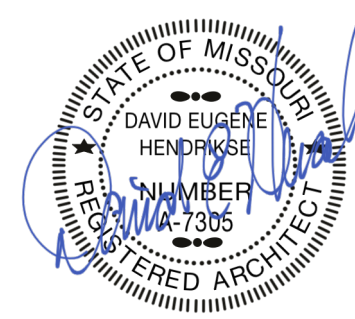
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HOME2 SUITES BY HILTON

LEE'S SUMMIT, MO

SHEET TITLE  
EXTERIOR COLOR ELEVATIONS

PROJECT NUMBER: 22023

SHEET NUMBER:

A-203



POLE MUST MEET EPA RATING FOR 80MPH WIND (ASCE 7-93) WITH SPECIFIED HEAD CONFIGURATION

PVC CONDUIT STUBBED UP ADJACENT TO HANDHOLE (NUMBER & SIZE REQUIRED)

HANDHOLE @ COVER PLATE

POLE ANCHOR BOLTS PER MANUFACTURER RECOMMENDATIONS

1/2" CHAMFER ALL EDGES

30"

FINISH GRADE

24" MIN. TO CURB / PAVING

7/8" DEPTH BELOW FINISH GRADE (SEE CHART)

CIRCUIT CONDUIT & CONDUCTORS TO POWER SOURCE / NEXT POLE

ATTACH COPPER EQUIPMENT GROUNDING CONDUCTOR TO INTERNAL LUG WELDED TO INTERIOR OF POLE

TYP. POLE BASE REINFORCING:  
#3 HORIZONTAL TIES ("W" - 4") AT 12" O.C.  
w/ #4 VERT. BARS AT PERIMETER AT 6" O.C.

CONCRETE TO BE MIN. 3000psi

"W" 24"Ø

0.0 0.0  
0.0 0.0  
0.0 0.0  
0.0 0.0

**TYP. LIGHT POLE DETAIL - 1**

**SITE LIGHTING PLAN GENERAL NOTES:**

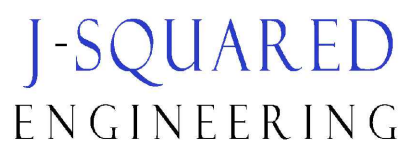
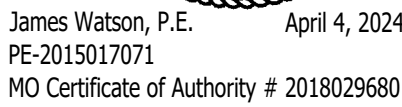
1. SITE PHOTOGRAPHIC VALUES SHOWN HAVE BEEN CALCULATED PER SPECIFIED LIGHT FIXTURES AT INDICATED MOUNTING HEIGHTS, ANY CHANGES OR ALTERATIONS TO LIGHTING LAYOUT SHOWN WILL REQUIRE RECALCULATING SITE PHOTOMETRICS AND WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR / EQUIPMENT SUPPLIER.
2. PHOTOMETRIC CALCULATIONS SHOWN DO NOT INCLUDE EXISTING LIGHT FIXTURE(S), ONLY NEW POLE LIGHT FIXTURE(S) SHOWN.
3. SEE SHEET EL101 & EL111 FOR BUILDING MOUNTED EXTERIOR LIGHT FIXTURE CIRCUITING AND ADDITIONAL DETAILS.

**SITE LIGHTING PLAN KEY NOTES:**

- ① 1" CONDUIT WITH (2) #10 CU. & (1) #10 CU. EQ. GRD.
- ② 1" CONDUIT WITH (2) #8 CU. & (1) #8 CU. EQ. GRD.
- ③ 1" CONDUIT WITH (2) #6 CU. & (1) #6 CU. EQ. GRD.



SCALE: 1" = 20 ft



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J2 PROJECT No: J21005

J2 DESIGN: ACW

ISSUE TITLE \_\_\_\_\_ DATE \_\_\_\_\_

FDP SUBMITTAL 04 / 04 / 2024

**MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:**

# Home 2 Suites By Hilton

**Village at Discovery Park Lot 2**  
**Lee's Summit, MO**

AHJ APPROVAL STAMP

SHEET TITLE

## SITE LIGHTING PLAN

SHEET NUMBER

# MEP3