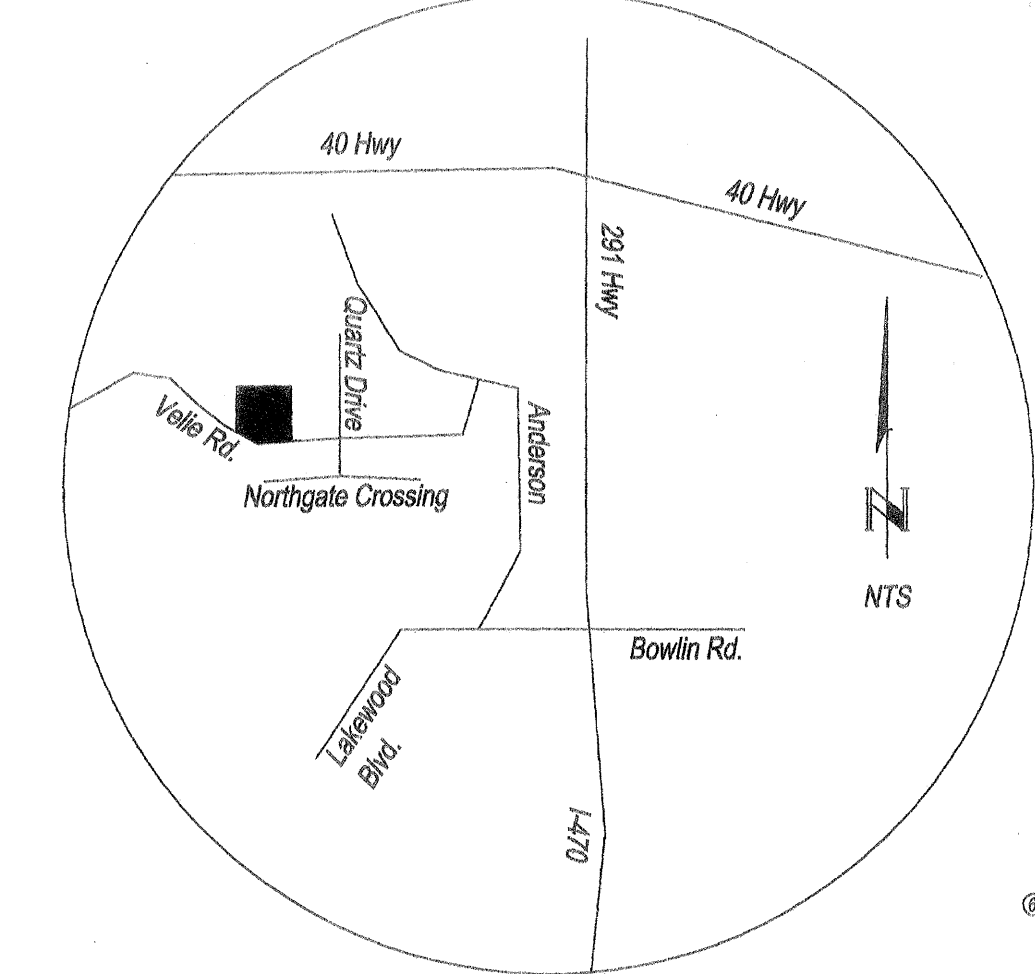


2009E0009584



- EM = Electric Meter
R/W = Right-of-Way
WV = Water Valve
WM = Water Meter
FH = Fire Hydrant
Conc. = Concrete
Fnd = Found
GM = Gas Meter
GV = Gas Valve
(P) = Platted
(R) = Recorded
(M) = Measured
(C) = Calculated
MH = Manhole
IP = Iron Pin
U/E = Utility Easement
Telephone Riser
Cable TV Riser
Light Pole
Sign
Power Box
Mail Box
Manhole
Post
Air Conditioner
Handicap Parking
- Overhead Telephone
Overhead Power & TV
Overhead Power
Overhead Cable TV
Concrete Area
Asphalt Area

OAK RIDGE MEADOWS
Zone R-1

NOTE:
Curb Cuts to be Set at the Extension of Property Lines After Construction is Complete.
1/2" Bar to be Set with Plastic Cap Marked MO LS 2444 along all Rear Lot Lines after Construction is Complete
⊙ = Existing Permanent Monument
⊙ = Found Existing 1/2" Bar
* = Lots with * Shall Have no Direct Vehicular to NE Valle Road

STATE PLANE TRAVERSE TABLE

Note: The bearings and coordinates shown hereon are based on the Missouri State Plane Coordinate System (1983 and as amended), West Zone and are tied to Station JA-29-2 of the Kansas City Metro Control Project. Grid Factor = 9999030. The coordinates and distances within the chart below are listed in meters.

From	Northing	Easting	Direction	Grid Distance	To
JA-29-2	315309.885	862449.781	N09-12-09W	507.58	TP-1
TP-1	315811.012	862368.609	N25-52-04W	115.51	TP-2
TP-2	315914.948	862318.213	N07-25-24W	475.75	TP-3
TP-3	316178.086	861644.513	N39-22-24W	312.79	P.O.B.

STATE PLANE COORDINATES

PT NO.	Northing	Easting
1 (P.O.B.)	316178.086	861644.513
2	316189.592	861881.972
3	315940.254	861875.486
4	315959.680	861814.675
5	316082.967	861634.086
6	316159.229	861636.808

3rd
February 2009

12:00 Clock
Recorded in Book 125 Page 36
Instrument Number 09E0009584
Director of Records

C. Waterfield
Deputy

Recorder's Fee \$ 66.00

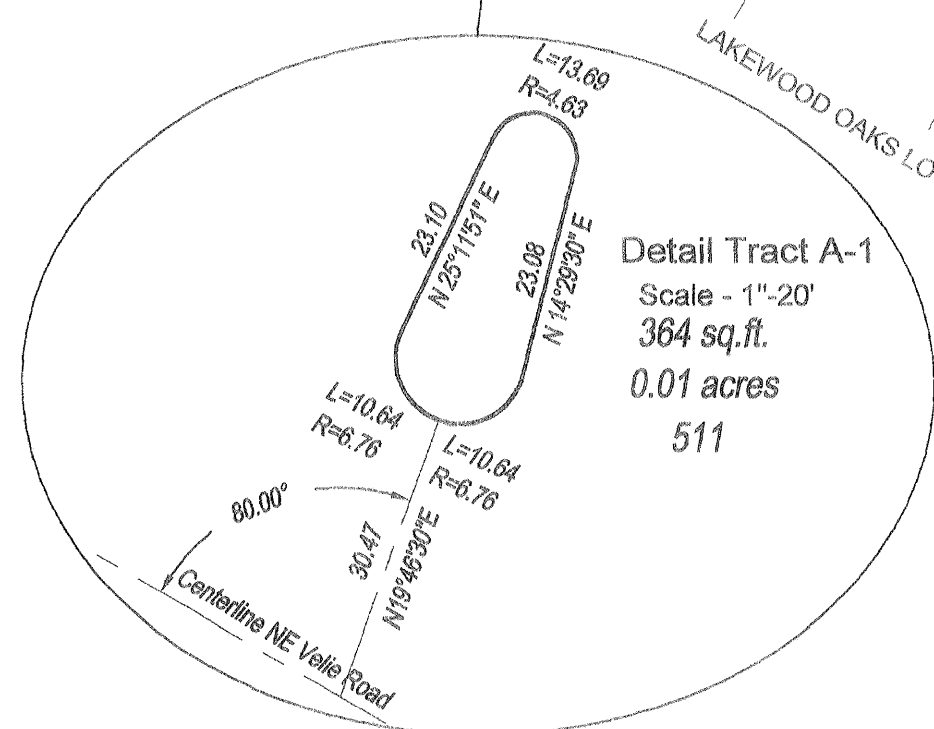
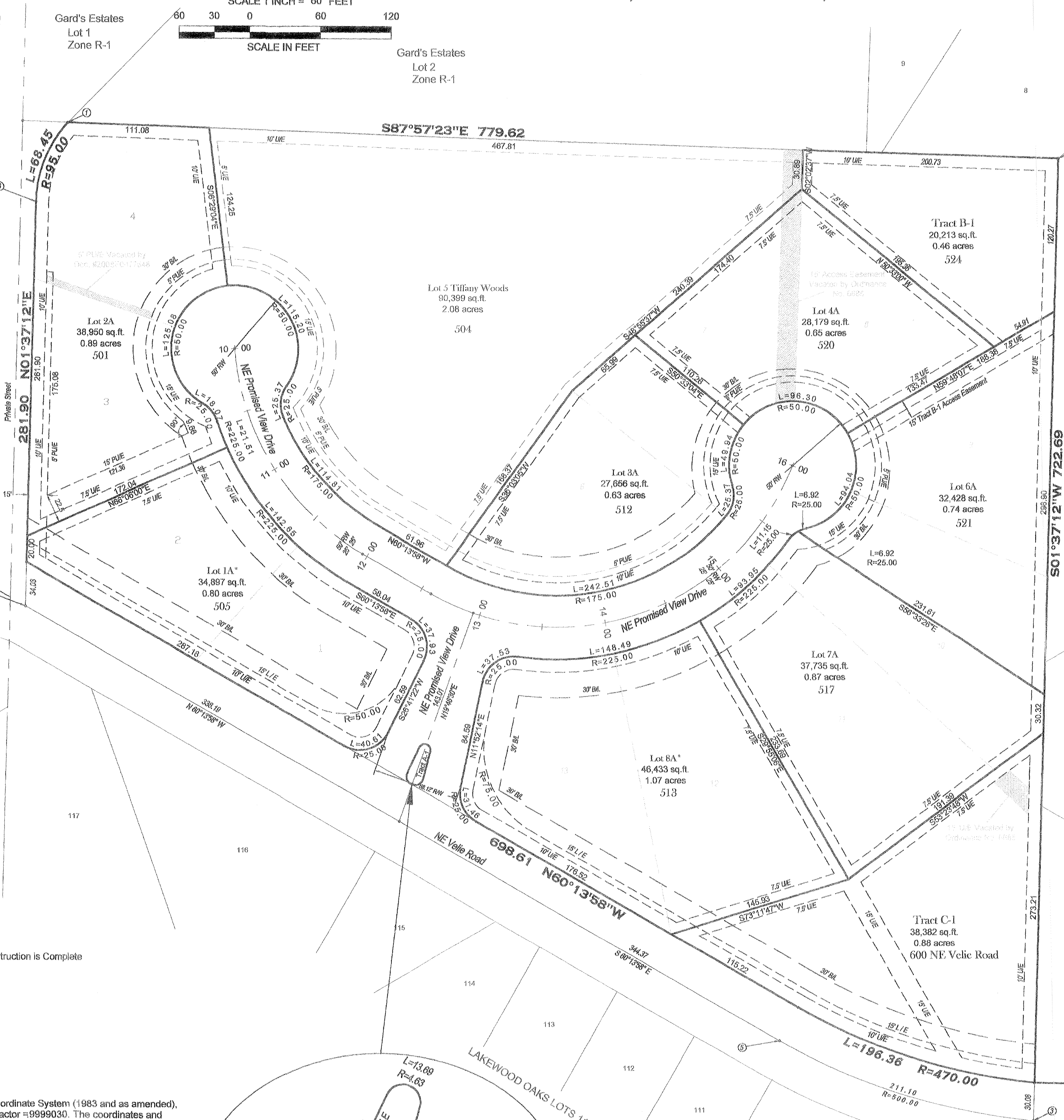
Gard's Estates
Lot 1
Zone R-1

SCALE 1 INCH = 60 FEET
SCALE IN FEET

Gard's Estates
Lot 2
Zone R-1

FINAL PLAT TIFFANY WOODS, 2nd PLAT

Lots 1A thru 4A, Lots 6A thru 8A and Tracts A-1, B-1 and C-1
IN SECTION 32, TOWNSHIP 49 NORTH, RANGE 31 WEST
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



BOUNDARY DESCRIPTION:

A replat of Tiffany Woods, Lots 1 thru 4, Lots 6 thru 13 and Tracts A,B, and C, a subdivision in the City of Lee's Summit, Jackson County, Missouri. Said tract contains 8.72 acres more or less and is subject to all easements and encumbrances of record, if any.

DEDICATION: The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision and plat shall hereafter be known as "TIFFANY WOODS, 2nd PLAT, Lots 1A thru 4A, Lots 6A thru 8A and Tracts A-1, B-1 and C-1".

STREETS: The streets shown on this plat and not heretofore dedicated to public use as thoroughfares are hereby so dedicated.

BUILDING LINES: Building lines or setback lines are hereby established as shown on the accompanying plat and no building or portion thereof shall be constructed between this line and the street right of way line.

EASEMENTS: An easement or license is hereby granted to Lee's Summit, Missouri, to locate, construct and maintain or to authorize the location, construction and maintenance of poles, wires, anchors, conduits, and / or structures for water, gas, sanitary sewer, storm sewer, surface drainage channel, electricity, telephone, cable television, or any other necessary public utility or services, any or all of them upon, over, or under those areas outlined or designated upon this plat as "Utility Easements" (U/E) or within any street or thoroughfare dedicated to public use on this plat.

An easement or license is hereby granted to the Tiffany Woods Homes Association to locate, construct and maintain or to authorize the location, construction and maintenance of sanitary sewers over or under those areas outlined or designated upon this plat as "Private Utility Easements" (PU/E) on this plat.

An easement or license is hereby granted to the Tiffany Woods Homes Association to enter upon, plant, replace, replant, mow, clip, trim, spray, chemically treat, repair, and otherwise maintain, and to authorize any such maintenance, of any and all grass, trees, shrubs, plants and other landscaping and all fences and monuments installed by the Tiffany Woods Homes Association upon, over or under those areas outlined or designated upon this plat as "Landscape Easements" (L/E) on this plat.

Area labeled **TRACT A-1, B-1 and C-1** shall be owned and maintained by the Tiffany Woods Homes Association. The owners of said Tract A-1, B-1 and C-1 shall provide perpetual maintenance of all signage, vegetation and landscaping therein.

During the period in which the developer maintains effective control of the board of the condominium or property owners' association, or other entity approved by the Governing Body, the developer shall remain jointly and severally liable for the maintenance obligations of the condominium or property owners' association.

IN TESTIMONY WHEREOF: Burkart Enterprises, Inc., a Missouri Corporation, the undersigned proprietor of the described tract of land has caused the same to be subdivided in the manner shown on the accompanying plat which subdivision shall be known as "TIFFANY WOODS, 2nd PLAT, Lots 1A thru 4A, Lots 6A thru 8A and Tracts A-1, B-1 and C-1", signed this 26th day of December, 2008.

By: David J. Burkart
David J. Burkart, President / Secretary

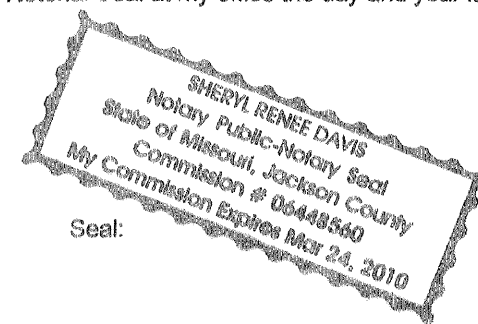
Grantor, on behalf of himself, his heirs, his assigns and successors in interest, hereby waives, to the fullest extent allowed by law, including, without limitation, Section 537.188 RSMo, (2006), any right to compensation for any future request(s) or actions to vacate any easement granted by this plat.

STATE OF MO
COUNTY OF Jackson

On this 26 day of December, 2008, before me the undersigned Notary Public, personally appeared David J. Burkart, President / Secretary of Burkart Enterprises, Inc., a Missouri Corporation, to no lesser to be the person described in and who executed the forgoing instrument and acknowledged that he did the same as his free act and deed.

In witness whereof: I have hereunto set my hand and affixed my Notarial Seal at my office the day and year last above written.

Notary Public
Print Name: Sheryl Renee Davis



This is to certify that the within Final Plat of "TIFFANY WOODS, 2nd PLAT, Lots 1A thru 4A, Lots 6A thru 8A and Tracts A-1, B-1 and C-1", was submitted to and duly approved by the Mayor and City Council of the City of Lee's Summit, Missouri, this 7th day of August, 2008 by Ordinance Number 6660.

Approved City of Lee's Summit, Missouri

Karen R. Messeri
Karen R. Messeri - Mayor

Denise R. Chisum
Denise R. Chisum - City Clerk

Mike Atcheson
Mike Atcheson - Planning Comm. Sec

Dena E. Mezger
Dena E. Mezger, P.E. - City Engineer

Robert G. McKay
Robert G. McKay, AICP - Director Planning / Development

Approved by Jackson County ASSESSOR

Shelia Dyer
Assessor for Jackson County, Missouri

Print Name: SHELIA DYER

SURVEYORS CERTIFICATION: I hereby certify that the Final Plat of "TIFFANY WOODS, 2nd PLAT, Lots 1A thru 4A, Lots 6A thru 8A and Tracts A-1, B-1 and C-1", subdivision is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current minimum standards for an Urban property boundary survey as adopted by the Missouri Board for Architects, Professional Engineers and Land Surveyors. I further certify that I have complied with all statutes, ordinances and regulations governing the practice of surveying and the platting of subdivisions to the best of my professional knowledge and belief and this survey meets all boundary survey closure standards as set forth by the Missouri Board for Architects, Professional Engineers and Land Surveyors for an Urban property survey.

DM & Associates, LLC

Dennis R. Key
Dennis R. Key, MO LS No. 2444 Date 12-23-08

Project: Final Plat Tiffany Woods, 2nd Plat, Lots 1A thru 4A, Lots 6A thru 8A and Tracts A-1, B-1 and C-1

Date: 5-21-08 FP Review
7-01-08 FP Review #2
10-31-08 Add Esmt Vac

DM & ASSOCIATES, LLC

LAND SURVEYORS - ENGINEERS
100 W. Edgewood Drive
Edgerton, KS 66021 913-893-4173

