

LONGVIEW MANSION PARKING ADDITION FINAL DEVELOPMENT PLANS

SECTION 09, TOWNSHIP 47N, RANGE 32W
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

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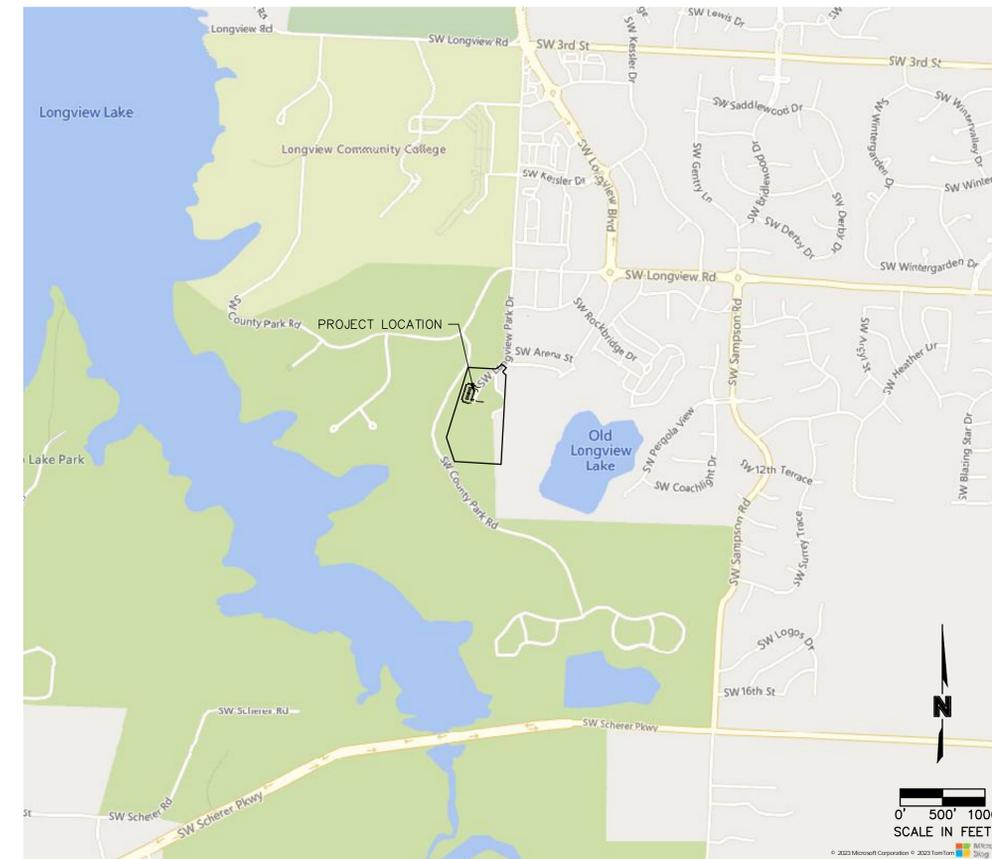
Olsson - Civil Engineering
Missouri Certificate of Authority #001592
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177
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REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	03/28/2024	REVISED PER CITY COMMENTS	

TITLE SHEET	2024
LONGVIEW MANSION PARKING ADDITION FINAL DEVELOPMENT PLANS	2024
LEE'S SUMMIT, MO	

SHEET
C01



Sheet Number	Sheet Title
C01	TITLE SHEET
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C04A	SIGNAGE PLAN
C05	SITE DIMENSION PLAN
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C12	DETAILS
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L02	LANDSCAPE DETAILS & NOTES
E1	SITE LIGHTING PHOTOMETRICS PLAN
E2	SITE LIGHTING POWER PLAN
E3	SITE LIGHTING DETAILS
E4	SITE LIGHTING SPECIFICATIONS

ACCEPTED:

CITY OF LEE'S SUMMIT

DATE

CIVIL ENGINEER:
I HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED, AND THESE PLANS PREPARED, TO MEET OR EXCEED THE DESIGN CRITERIA OF LEE'S SUMMIT, MISSOURI, IN CURRENT USAGE, EXCEPT AS INDICATED BELOW.

Stephen Saylor
STEPHEN SAYLOR, P.E.
CIVIL ENGINEER
MO# 2018021248

3/28/2024
DATE

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
04/05/2024

PROJECT TEAM & UTILITY CONTACT LIST	
DEVELOPER NLV MANSION LLC 1125 GRAND BLVD, SUITE 202 KANSAS CITY, MO 64108 CONTACT: MARK MOBERLY, MARK McHUGH PHONE: 816.581.3997 EMAIL: MMOBERLY@SUNFLOWERKC.COM, MARK@SUNFLOWERKC.COM	UTILITY SERVICE NUMBERS NAME: LEE'S SUMMIT PUBLIC WORKS PHONE: 816-969-1800 NAME: LEE'S SUMMIT WATER & SEWER DEPARTMENT PHONE: 816-969-1940
LANDSCAPE ARCHITECT OLSSON 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: CHRIS HOLMQUIST, PLA PHONE: 816.361.1177 EMAIL: CHOLMQUIST@OLSSON.COM	NAME: SPIRE (MGE) PHONE: 816-756-5252 NAME: AT&T PHONE: 800-286-8313 NAME: EVERGY PHONE: 816-471-5275
ENGINEER OLSSON 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: STEPHEN SAYLOR, PE PHONE: 816.361.1177 EMAIL: SSAYLOR@OLSSON.COM	NAME: SPECTRUM (TWC) PHONE: 816-358-5350 NAME: GOOGLE FIBER PHONE: 877-454-6959
LIGHTING ENGINEER OLSSON 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: KATLYN COLLIER, PE PHONE: 816.361.1177 EMAIL: KCOLLIER@OLSSON.COM	

<input type="checkbox"/>	NOT FOR CONSTRUCTION
<input checked="" type="checkbox"/>	REVIEWED FOR CONSTRUCTION



THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT- OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, & OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. CALL 1-800-DIG-RITE.

PROPERTY DESCRIPTION:

LOT 1, MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

NOTES:

ANY QUANTITIES SHOWN WITHIN THESE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

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 DATE: Mar 28, 2024 3:04pm
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 XREFS: C_PBASE_02206318

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drawn by:	CH
checked by:	DP
approved by:	SS
QA/QC by:	CH
project no.:	022-06318
drawing no.:	C_TTL01_02206318
date:	2024.03.01

EXISTING CONDITIONS LEGEND

THIS LEGEND APPLIES TO ALL SHEETS IN THIS PLAN SET

- PROPERTY & ROW LINES
- EASEMENT & SETBACK LINES
- G ----- EXISTING GAS MAIN
- SS ----- EXISTING SANITARY SEWER
- P-OH ----- EXISTING OVERHEAD POWER
- SD ----- EXISTING STORM SEWER
- W ----- EXISTING WATER MAIN
- 999 ----- EXISTING MAJOR GRADE CONTOUR
- 999 ----- EXISTING MINOR GRADE CONTOUR

DEMOLITION LEGEND

- REMOVE EXISTING PAVEMENT
- TREE REMOVAL

SYMBOLS FOR EXISTING FEATURES

- CABLE/TELEVISION BOX
- POWER STRUCTURES/PEDESTALS
- POWER POLE
- STREET LIGHTING
- TELEPHONE STRUCTURES/PEDESTALS
- SANITARY SEWER MANHOLE
- WATER VALVE
- SIGN

EXISTING INSTALLATION PROTECTION NOTE

UNLESS EXPLICITLY INDICATED FOR DEMOLITION/REMOVAL IN THIS PLAN, ALL EXISTING IMPROVEMENTS, UTILITY INSTALLATIONS, ROW IMPROVEMENTS, ETCETERA, ARE TO BE PROTECTED AND REMAIN UNDISTURBED. CONTRACTOR SHALL CONTACT CIVIL ENGINEER WITH ANY CONFLICTS OR CONCERNS.

TREE REMOVAL NOTE

TREE REMOVAL TO HAVE BEEN COMPLETED WITH PREVIOUSLY PERMITTED MASS GRADING PLANS. NO EXISTING TREES ARE TO BE REMOVED AS PART OF THIS PROJECT.

PROPERTY BOUNDARY NOTE

PROPERTY BOUNDARY INCLUDING ALL RECORDED EASEMENTS ARE SHOWN AS CURRENTLY RECORDED. BOUNDARIES MAY BE UPDATED TO ALIGN WITH NEWLY RECORDED DOCUMENTS IF RECORDED PRIOR TO PERMIT BEING ISSUED.

EASEMENT LEGEND

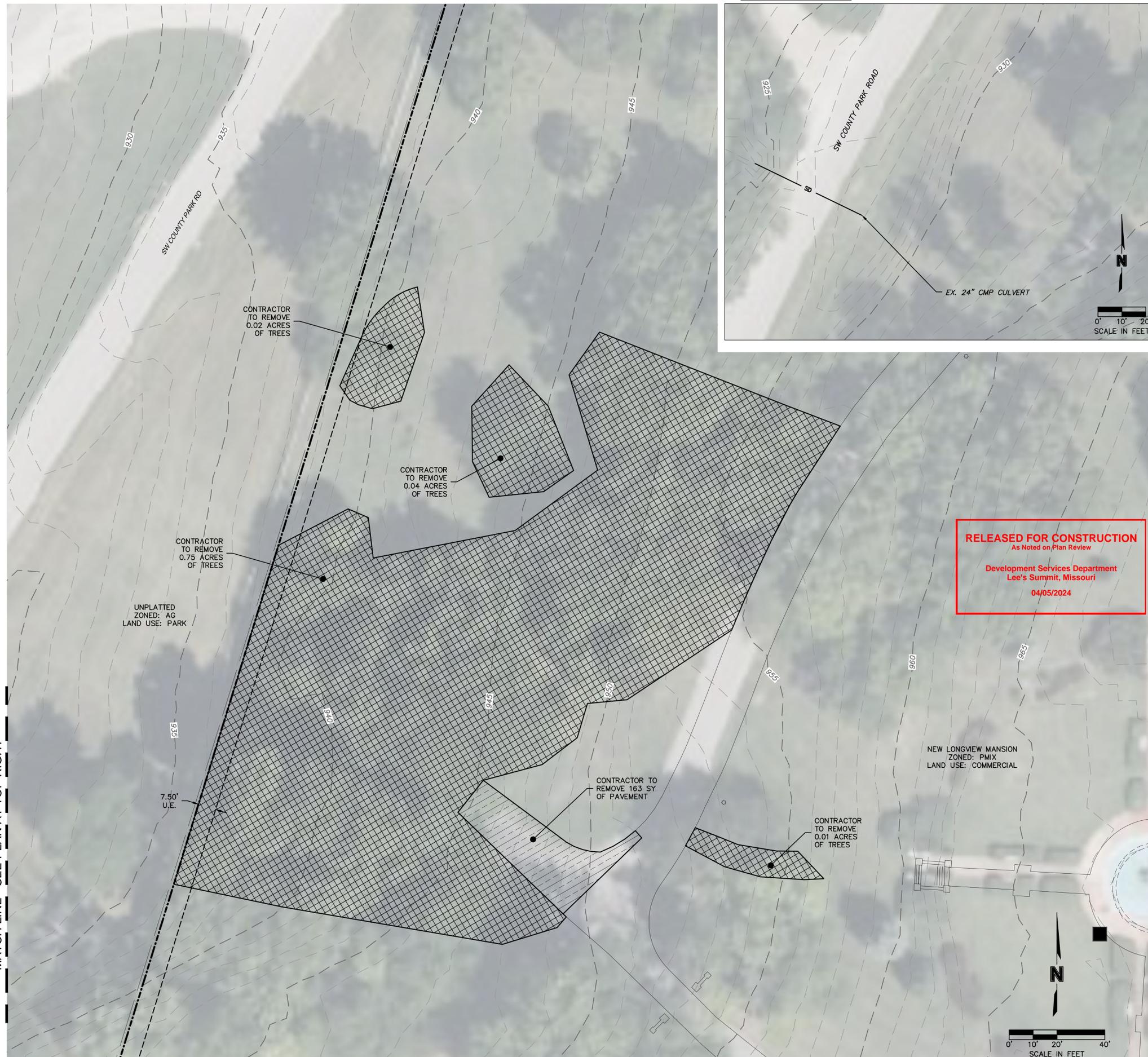
- BL ZONED BUILD LINE
- RAW RIGHT-OF-WAY
- UE UTILITY EASEMENT
- WE WATER EASEMENT

DEMOLITION PLAN NOTES

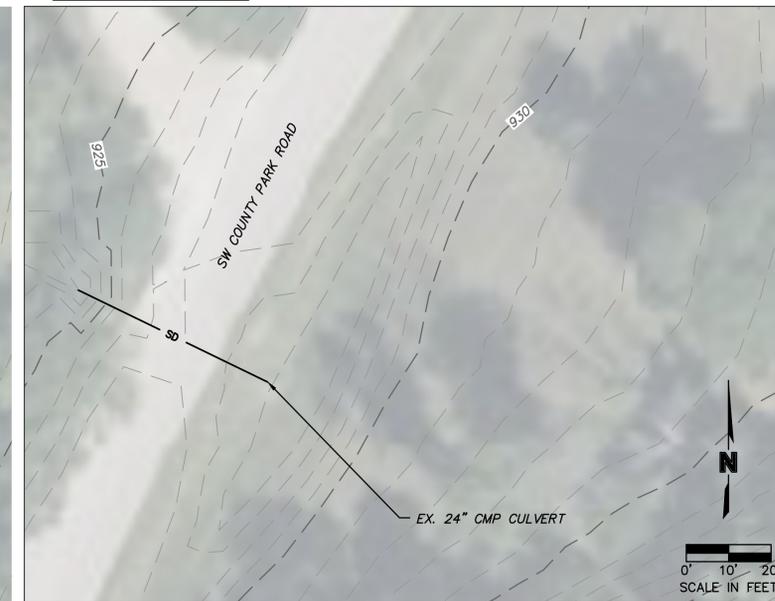
1. PRIOR TO ANY DEMOLITION EROSION CONTROL MEASURES AND CONSTRUCTION FENCING SHALL BE INSTALLED.
2. THE CONTRACTOR SHALL COORDINATE ALL ITEMS TO BE SALVAGED AND/OR PROTECTED WITH SITE OWNER AND UTILITY OWNERS.
3. THE CONTRACTOR SHALL NOT INTERRUPT ANY UTILITY SERVICES TO ANY ADJACENT PROPERTIES. SHOULD ANY INTERRUPTIONS BECOME NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THE ADJACENT PROPERTY AND UTILITY OWNER AND MINIMIZE THE LENGTH OF TIME THE UTILITY IS INTERRUPTED TO THE GREATEST EXTENT POSSIBLE.
4. SECONDARY WIRING, SERVICES, IRRIGATION AND OTHER MINOR SITE IMPROVEMENTS THAT ARE NOT TO REMAIN IN SERVICE ARE TO BE DEMOLISHED AND REMOVED.
5. ALL PAVEMENT SAWCUTS ARE TO BE MADE IN STRAIGHT, CLEAN LINES LEAVING A CLEAN AND STABLE EDGE AT FULL PAVEMENT DEPTH.
6. ALL PCC PAVEMENT AND ALL CURB SHALL BE REMOVED TO NEAREST JOINT.
7. ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN STRICT CONFORMANCE WITH LOCAL CODES AND ORDINANCES.
8. ALL TREE REMOVAL SHALL INCLUDE STUMPS AND ROOTS. DEPRESSIONS CREATED SHALL BE FILLED TO PROVIDE DRAINAGE.

NOTE: NO EXISTING OIL & GAS WELLS ARE LOCATED WITHIN THE PROJECT SITE PER MISSOURI DNR WEB SEARCH PERFORMED DECEMBER 2023.

MATCH LINE - SEE PLAN AT TOP RIGHT



OFFSITE CULVERT



MATCH LINE - SEE PLAN AT LEFT

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MATCH LINE - SEE PLAN AT LEFT

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EXISTING CONDITIONS

LONGVIEW MANSION PARKING ADDITION
FINAL DEVELOPMENT PLANS

LEE'S SUMMIT, MO

drawing by: CH

checked by: DP

approved by: SS

QA/QC by: CH

project no.: 022-06318

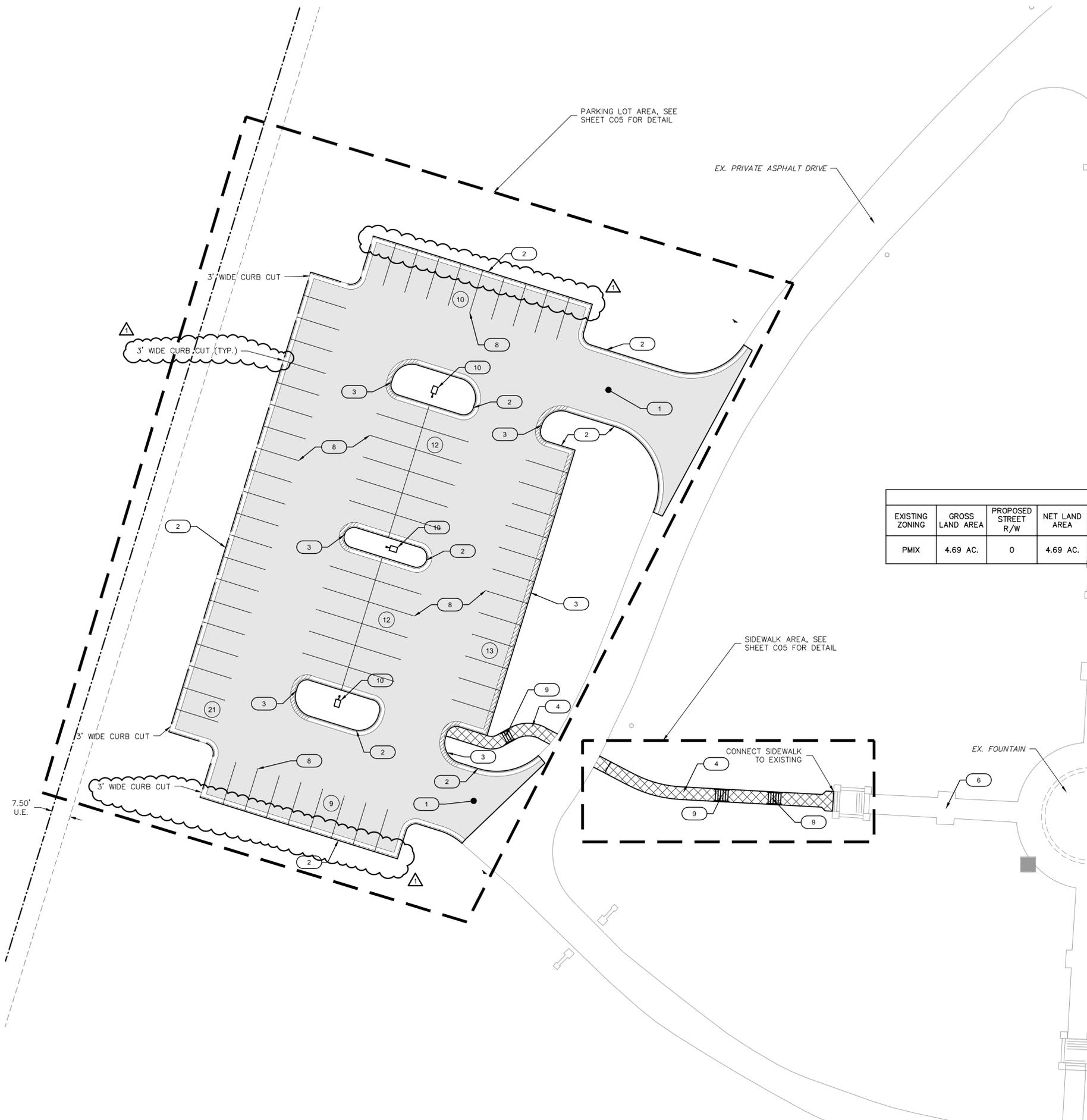
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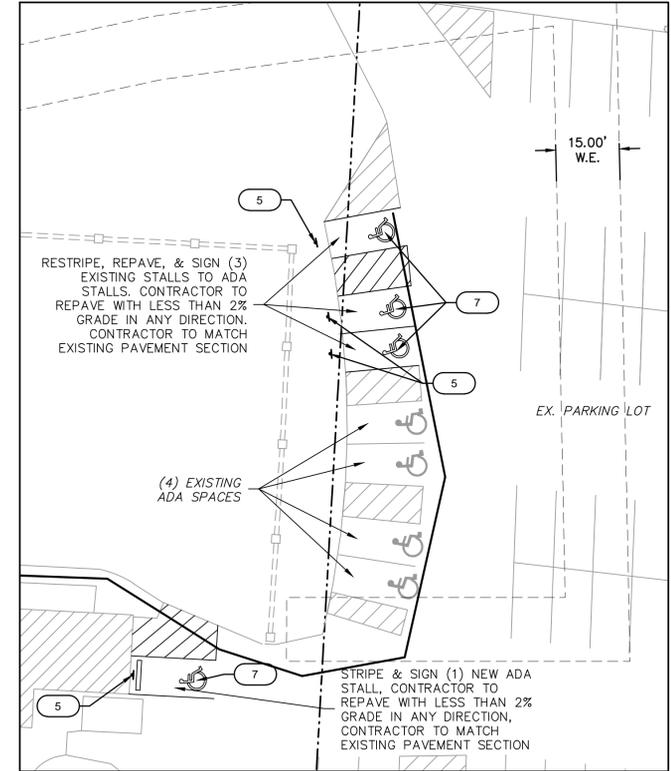
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C03

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ADA STALL LOCATION MAP



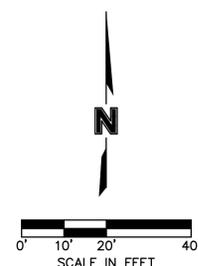
SITE DEVELOPMENT DATA												
EXISTING ZONING	GROSS LAND AREA	PROPOSED STREET R/W	NET LAND AREA	LAND USE	BUILDING FLOORS	BUILDING FLOOR AREA	BUILDING COVERAGE	F.A.R.	PARKING STALLS REQUIRED	PARKING STALLS PROVIDED	IMPERV. AREA (EX.)	IMPERV. AREA (PROP.)
PMIX	4.69 AC.	0	4.69 AC.	EVENT SPACE PARKING	N/A	N/A	N/A	N/A	75	77	8.25%	20.98%

LEGEND	
	CONCRETE SIDEWALK (See Detail Sheet)
	CG-1 CURB & GUTTER (See Detail Sheet)
	STANDARD DUTY ASPHALT PAVEMENT (See Detail Sheet)
	CG-1 CURB & GUTTER (DRY) (See Detail Sheet)
	NUMBER OF PARKING STALLS

CONSTRUCTION NOTES

- 1 CONSTRUCT STANDARD DUTY ASPHALT PAVEMENT (SEE LEGEND AND DETAIL SHEET C11)
- 2 TYPE CG-1 CONCRETE CURB AND GUTTER (SEE LEGEND AND DETAIL SHEET C11)
- 3 TYPE CG-1 DRY CONCRETE CURB AND GUTTER (SEE LEGEND AND DETAIL SHEET C11)
- 4 CONSTRUCT PRIVATE SIDEWALK (SEE DETAIL ON SHEET C11)
- 5 PROPOSED ACCESSIBLE PARKING SIGN (SEE DETAIL SHEET C11)
- 6 EXISTING PRIVATE SIDEWALK
- 7 PROPOSED ACCESSIBLE STRIPING (TYP.) (SEE DETAIL SHEET C11)
- 8 PROPOSED 4" WHITE THERMOPLASTIC PAVEMENT STRIPING (TYP.) (SEE DETAIL SHEET C11)
- 9 PROPOSED CONCRETE STAIRS WITH HANDRAIL (SEE DETAIL SHEET C12)
- 10 PROPOSED LIGHT POLES (SEE SITE LIGHTING PLANS FOR DETAILS)

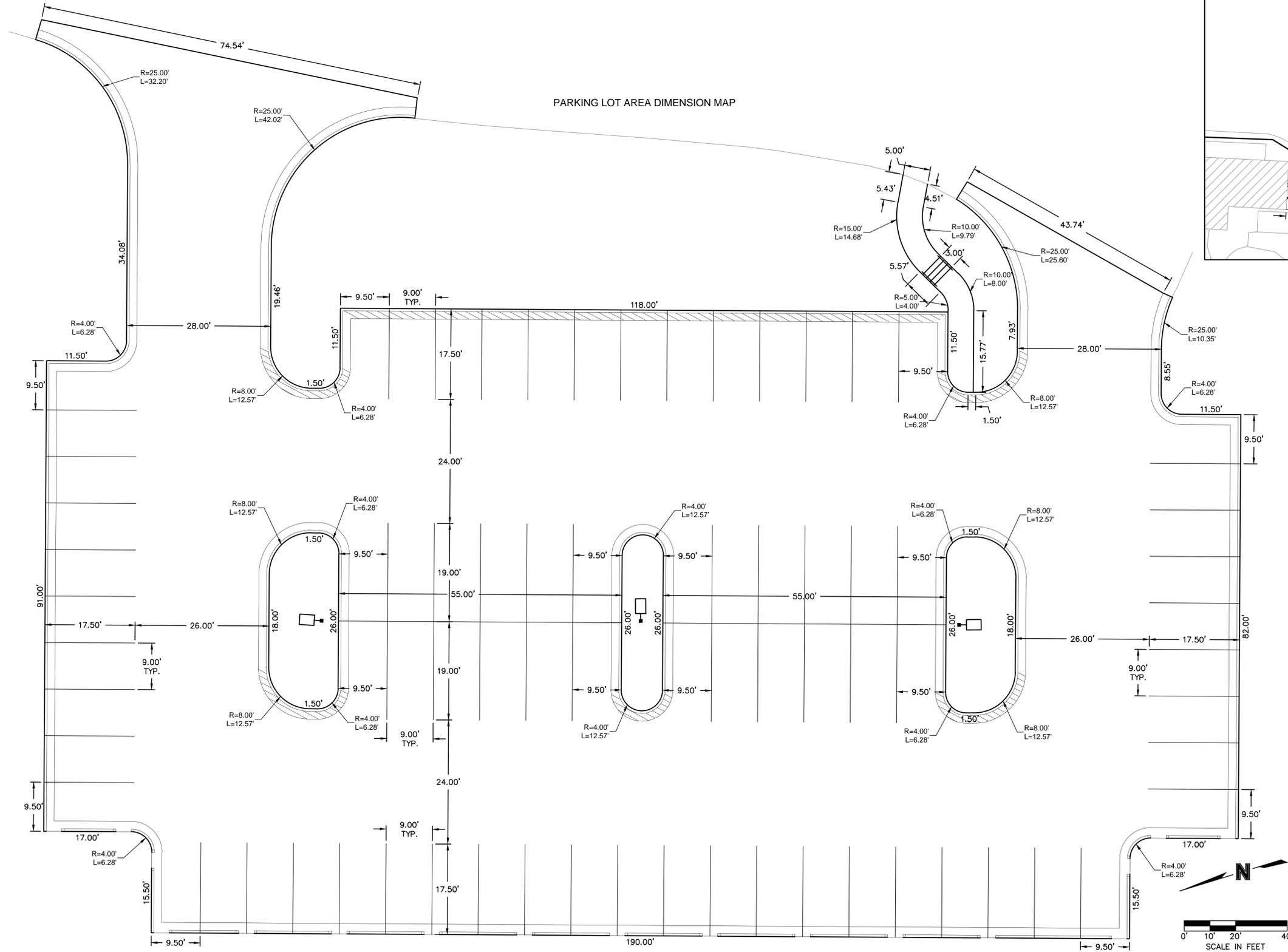
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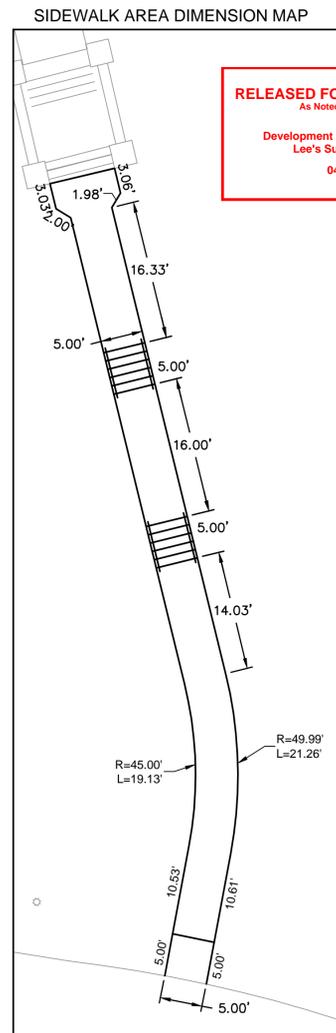
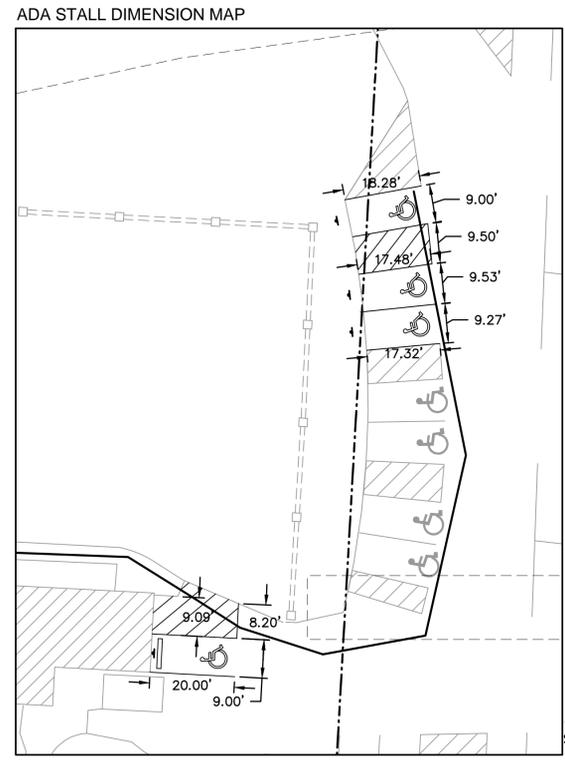
drawn by: CH
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 approved by: SS
 QA/QC by: CH
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 drawing no.: C_SIT01_02206318
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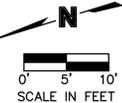
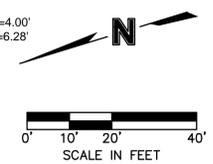


LEGEND

	CG-1 CURB & GUTTER (See Detail Sheet)
	CG-1 CURB & GUTTER (DRY) (See Detail Sheet)



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SITE DIMENSION PLAN

LONGVIEW MANSION PARKING ADDITION
 FINAL DEVELOPMENT PLANS

2024

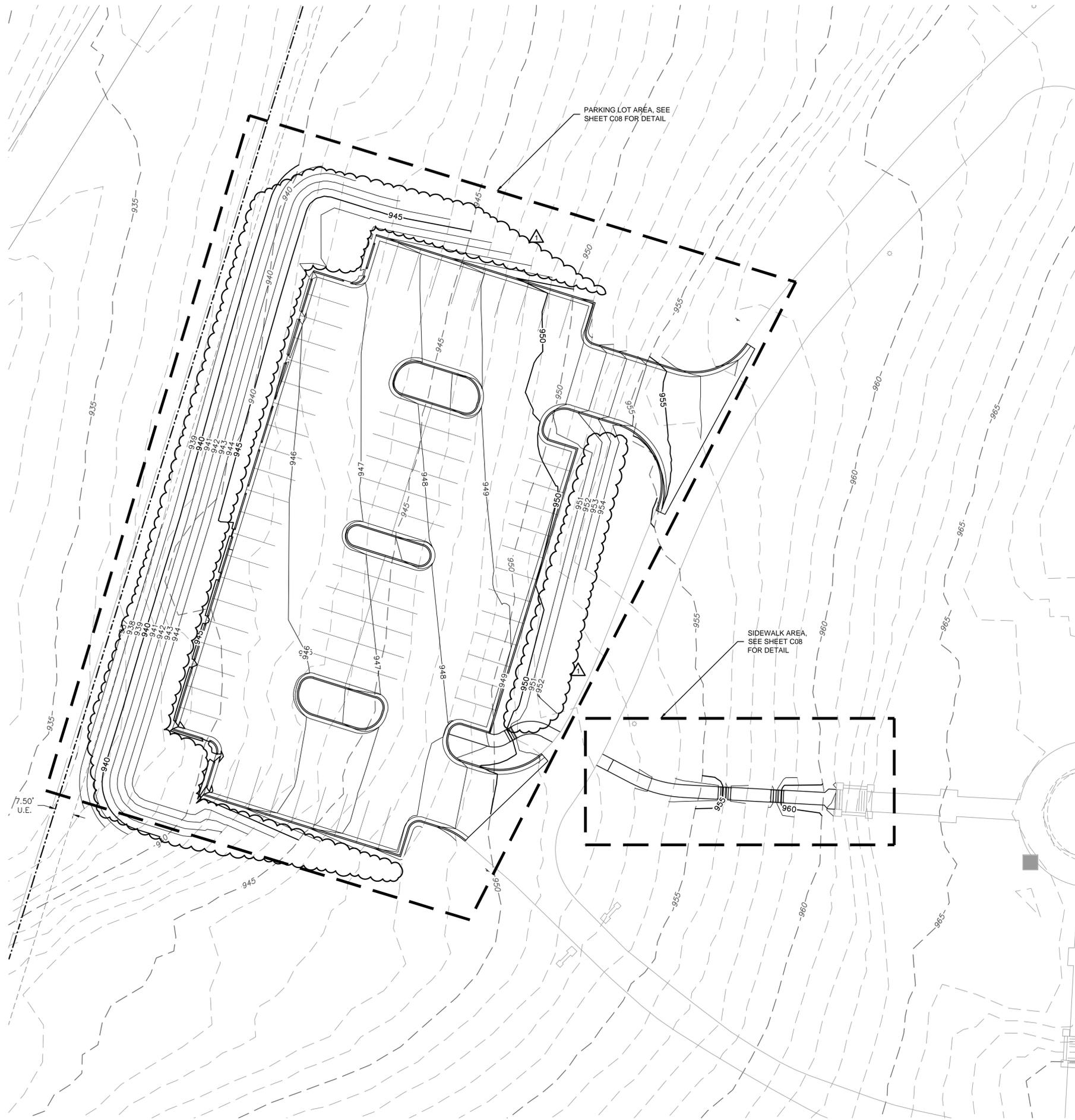
LEE'S SUMMIT, MO

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project no.:	022-06318
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SHEET
C05

2024

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LEGEND	
-100-	EXISTING INDEX CONTOURS
-100-	EXISTING INTERMEDIATE CONTOURS
100	PROPOSED INDEX CONTOURS
100	PROPOSED INTERMEDIATE CONTOURS

EARTHWORK QUANTITIES		
LOCATION	CUT (C.Y.)	FILL (C.Y.)
SITE	204	3835

EARTHWORK QUANTITIES NOTES

- EARTHWORK QUANTITIES BASED ON FINISHED GRADE SURFACE AND DO NOT INCLUDE ADJUSTMENTS FOR TOPSOIL AND SHRINKAGE.
- EARTHWORK QUANTITIES DO NOT TAKE INTO CONSIDERATION EXCAVATION, REMOVAL AND DISPOSAL OF MATERIAL DEEMED UNSUITABLE BY A GEOTECHNICAL ENGINEER. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR EXCAVATION, REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL AND FOR REPLACING IT WITH SUITABLE MATERIAL.

GRADING PLAN NOTES

- THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE, SURFACE OF PAVEMENT, TOP OF CURBS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT PAVEMENT DEPTH FROM ELEVATIONS SHOWN.
- THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
- THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.
- SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT, LIP OF CURB, OR FINISHED GRADE UNLESS OTHERWISE INDICATED. (SEE LEGEND)

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GRADING PLAN

LONGVIEW MANSION PARKING ADDITION
 FINAL DEVELOPMENT PLANS

2024

LEE'S SUMMIT, MO

drawn by: _____ CH	checked by: _____ LP	approved by: _____ SS
QA/QC by: _____ CH	project no.: 022-06318	drawing no.: C_GRD01_02206318
date: 2024.03.01		

SHEET
C06

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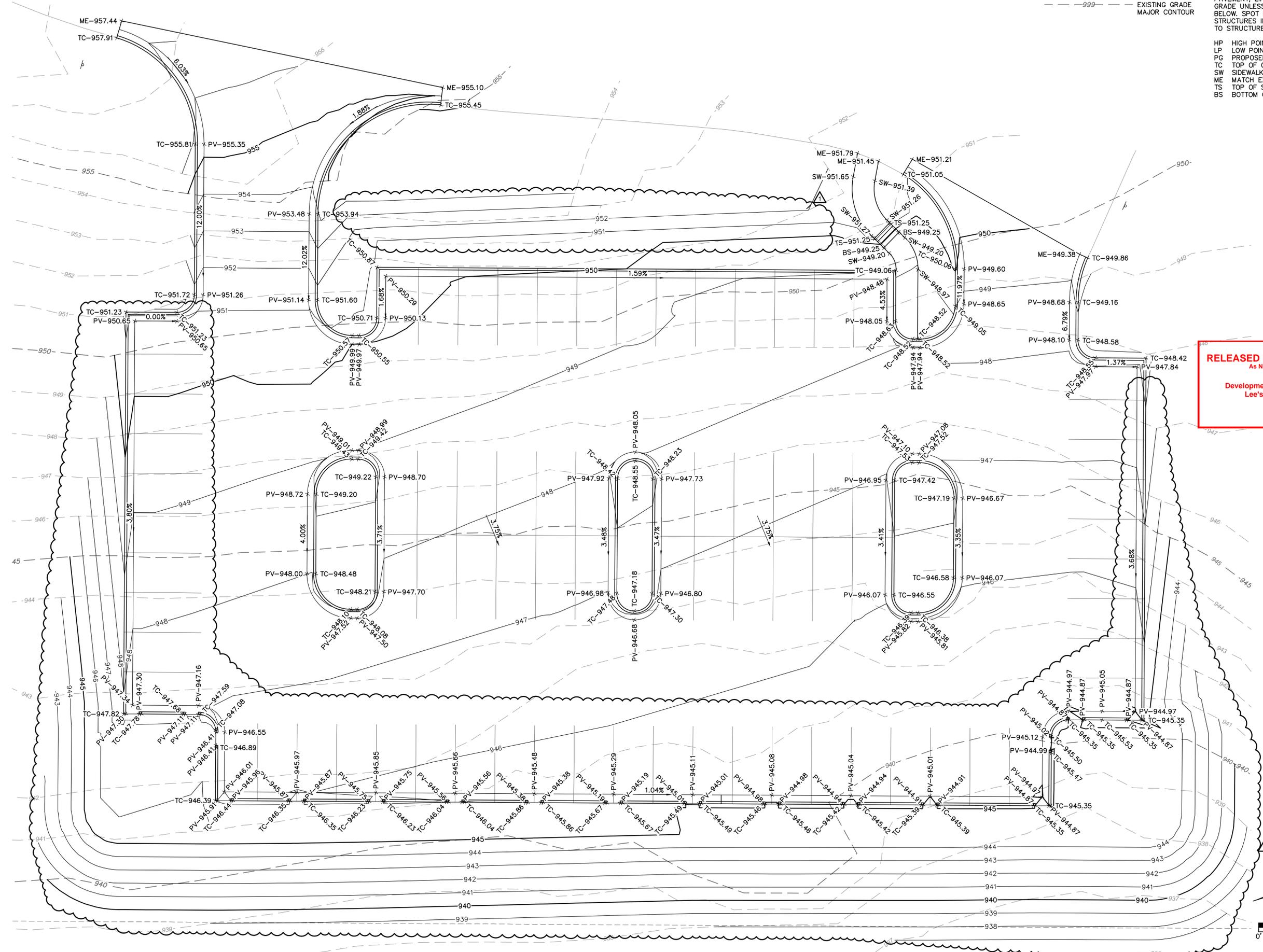
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GRADING LEGEND

- 999 — FINISHED GRADE MAJOR CONTOUR
- - - 999 - - - EXISTING GRADE MAJOR CONTOUR

SPOT ELEVATION LEGEND

- ALL SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT, LIP OF CURB, AND/OR FINISHED GRADE UNLESS OTHERWISE SPECIFIED AS BELOW. SPOT ELEVATIONS AT FACE OF STRUCTURES INDICATE FEATURES ADJACENT TO STRUCTURE, NOT THE STRUCTURE ITSELF.
- HP HIGH POINT
 - LP LOW POINT
 - PG PROPOSED GRADE
 - TC TOP OF CURB AT BACK
 - SW SIDEWALK
 - ME MATCH EXISTING
 - TS TOP OF STEP
 - BS BOTTOM OF STEP



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SPOT ELEVATIONS

**LONGVIEW MANSION PARKING ADDITION
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LEE'S SUMMIT, MO

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**SHEET
C07**

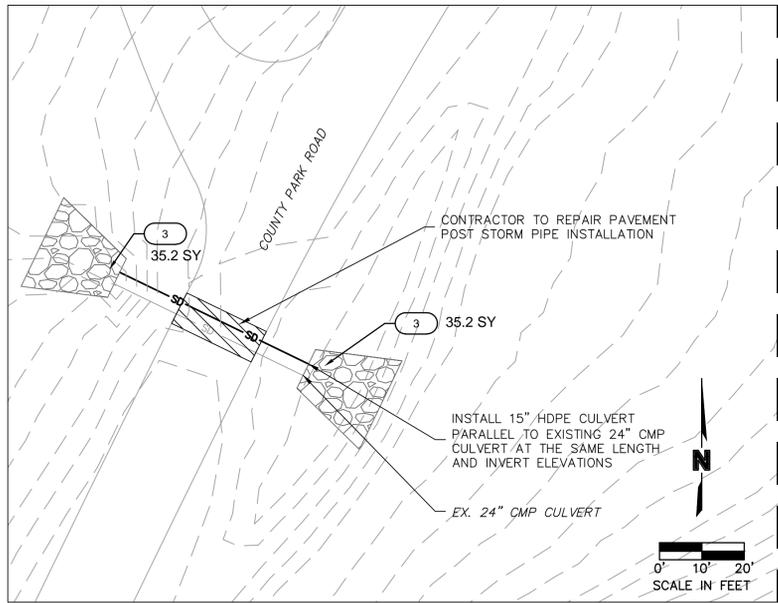
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OFFSITE CULVERT PLAN



LEGEND

	RIPRAP (See Detail Sheet)
	INFILTRATION TRENCH (See Detail Sheet)

CONSTRUCTION NOTES

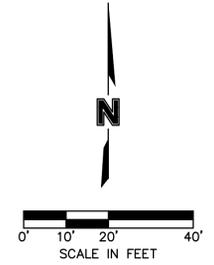
- 1 3' CURB CUT
- 2 PROPOSED 6" PERFORATED PVC UNDERDRAIN, SEE SHEET C12 FOR DETAILS
- 3 PROPOSED CLASS 4 RIP RAP, SEE SHEET C12 FOR DETAILS
- 4 PROPOSED CLASS 3 RIP RAP, SEE SHEET C12 FOR DETAILS
- 5 OBSERVATION PORT SEE SHEET C12 FOR DETAILS
- 6 CLEANOUT SEE SHEET C12 FOR DETAILS
- 7 PROPOSED 6' WIDE INFILTRATION TRENCH SEE SHEET C12 FOR DETAILS
- 8 UNDERDRAIN DISCHARGE LOCATION
FL - 939.06
N: 995845.9513
E: 2801963.5000

Riprap Calculations

End Section	Q ₁₀₀ (cfs)	Pipe Diameter (ft)	Class*	D50* (in)	Apron Length (ft)	Apron Depth (ft)	Area (SY)
E.S. 1-1	66	3.25	4	14	19.5	2.57	35.2
E.S. 2-1	66	3.25	4	14	19.5	2.57	35.2

*Per Table 10.1 HEC 14-FHWA-Energy Dissipators Pg. 10-18

NOTE: NO PUBLIC OR PRIVATE WATER, SANITARY SEWER, OR STORM SEWER PROPOSED OTHER THAN 6" PERFORATED PIPE FOR INFILTRATION TRENCH & 15" CULVERT ACROSS OFFSITE COUNTY PARK ROAD.



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 Lee's Summit, Missouri
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MATCH LINE - SEE PLAN AT LEFT

MATCH LINE - SEE PLAN AT RIGHT

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BMP PLAN
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REVISIONS

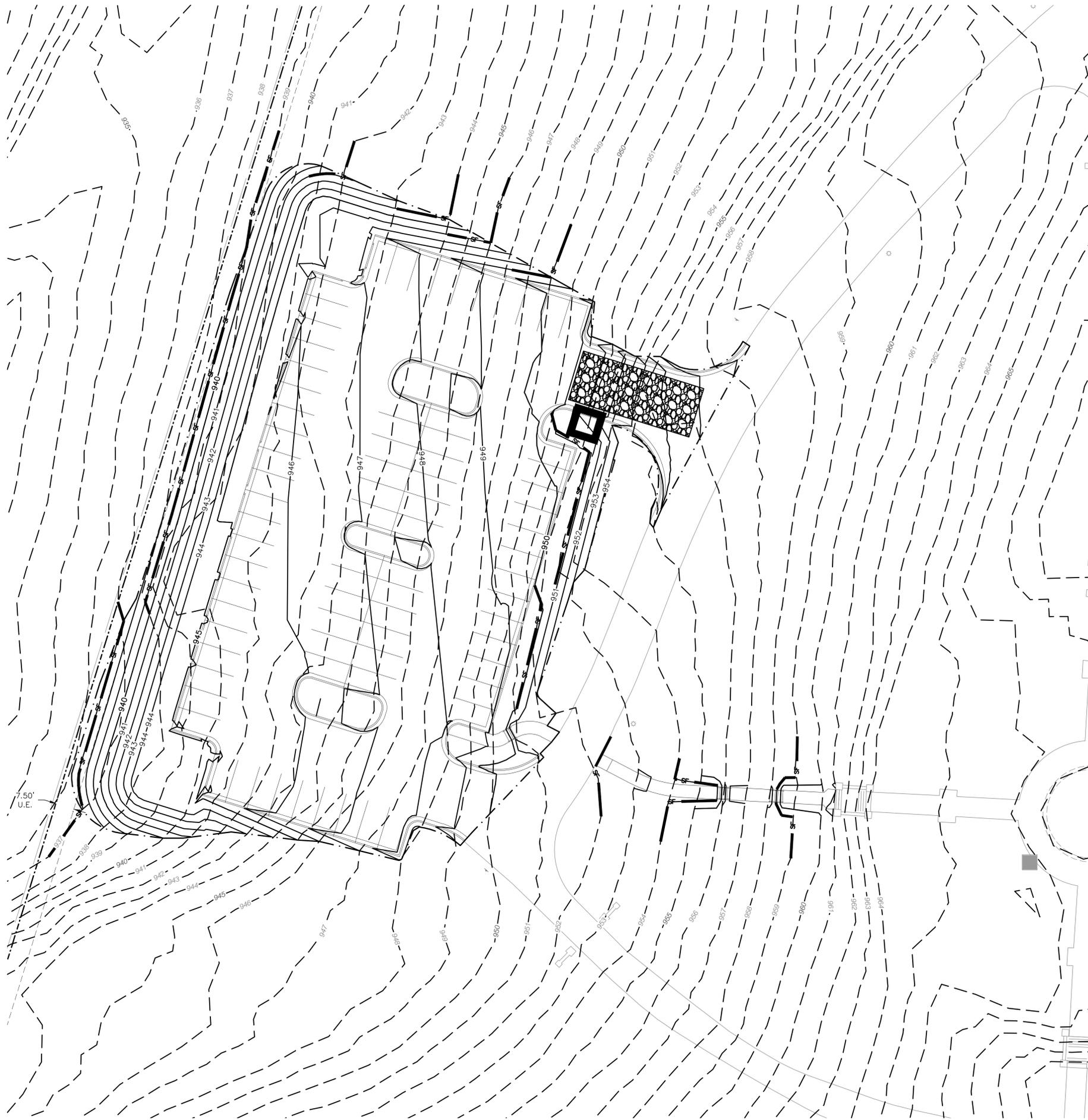
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SHEET C09

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LEGEND	
	LIMITS OF DISTURBANCE
	SILT FENCE
	TEMPORARY STONE CONSTRUCTION ENTRANCE
	CONCRETE WASHOUT AREA

DISTURBED AREA = 0.98 AC.

EROSION CONTROL PLAN NOTES

- CONTRACTOR SHALL CONSIDER ANY EROSION AND/OR SEDIMENT CONTROL SHOWN IN THIS PLAN SET AS A MINIMUM REQUIREMENT. CONTRACTOR IS RESPONSIBLE FOR EVALUATING SITE CONDITIONS AND INSTALLING ANY ADDITIONAL CONTROLS AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES THROUGHOUT THE PROJECT. ANY AND ALL FINES ASSOCIATED WITH EROSION CONTROL VIOLATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- AT ANY TIME DURING CONSTRUCTION THE CITY MAY REQUIRE ADDITIONAL EROSION/SEDIMENTATION CONTROL MEASURES TO BE INSTALLED. WHEN REQUIRED SUCH MEASURES SHALL BE INSTALLED WITHIN 48 HOURS OF HOURS OF NOTICE (VERBAL OR WRITTEN).
- CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES PER THE DETAILS SHOWN ON SHEET C12. ALL COSTS ASSOCIATED WITH REPAIR OR RE-INSTALLATION, INCLUDING RELATED INCIDENTALS, WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS SHALL BE LANDSCAPED, SEEDED OR SODDED, AS SHOWN ON THE LANDSCAPE PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED WITH A HEALTHY STAND OF PERMANENT VEGETATION. AREAS DISTURBED BY DEVICE REMOVAL SHALL BE IMMEDIATELY STABILIZED. SEED BLENDS OR SOD SHALL MATCH WHAT WAS USED IN AREAS SURROUNDING DISTURBANCE.
- PRIOR TO LEAVING THE SITE THE CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, FLUMES, PIPES, GUTTERS, ETC. ARE CLEANED OUT AND WORKING PROPERLY.
- THE EROSION CONTROL PLAN INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.
- SEE SHEET C12 FOR DETAILS.

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 04/05/2024

olsson

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REV. NO.	REVISIONS DESCRIPTION	DATE	BY

EROSION CONTROL PLAN

LONGVIEW MANSION PARKING ADDITION
 FINAL DEVELOPMENT PLANS

LEE'S SUMMIT, MO

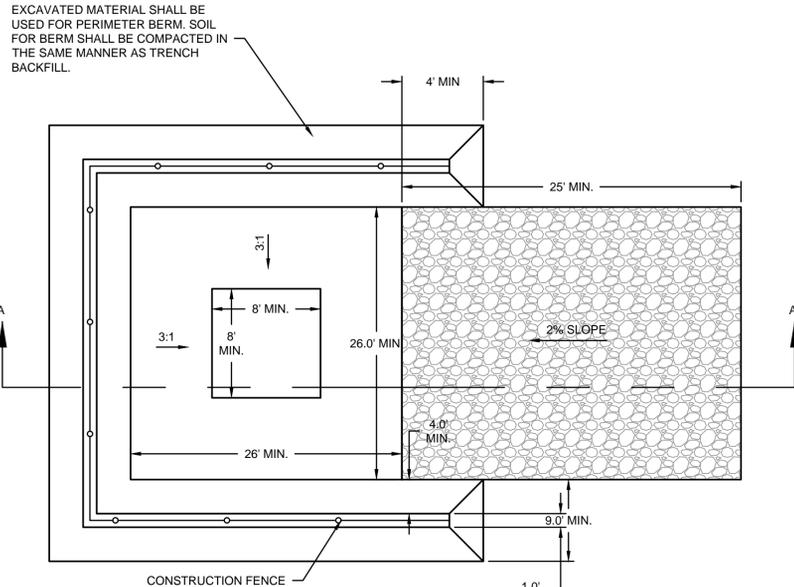
2024

drawn by: _____ CH	checked by: _____ DP	approved by: _____ SS
QA/QC by: _____ CH	project no.: 022-06318	drawing no.: C-ERC01_02206318
date: 2024.03.01		

SHEET
C10

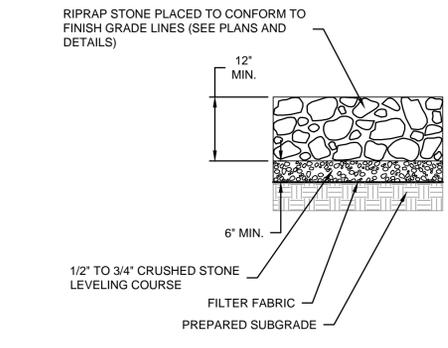
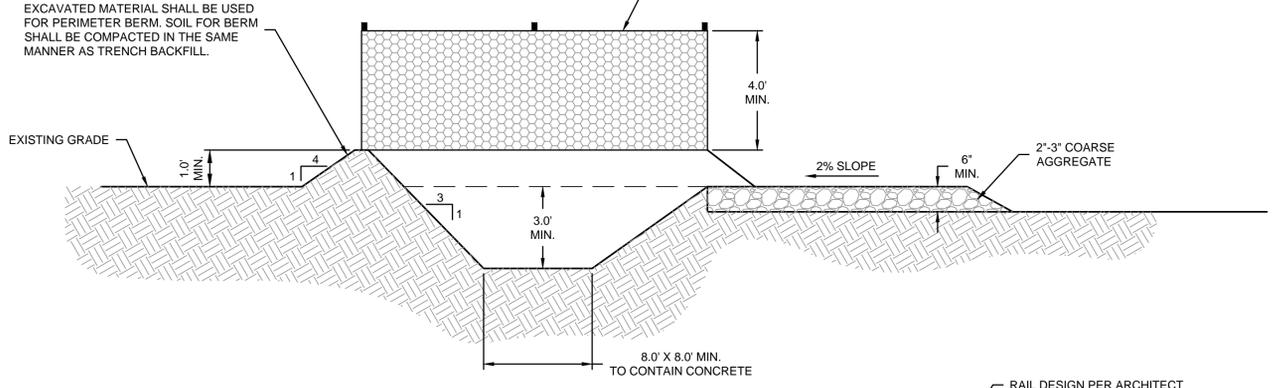
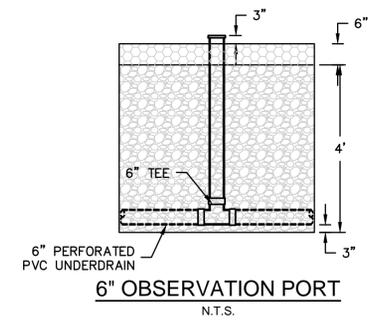
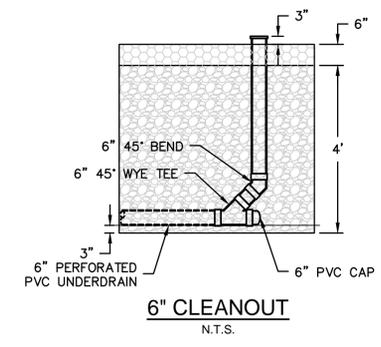
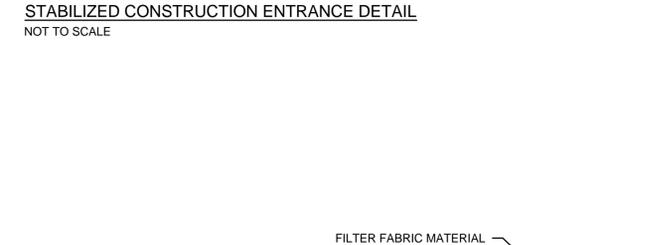
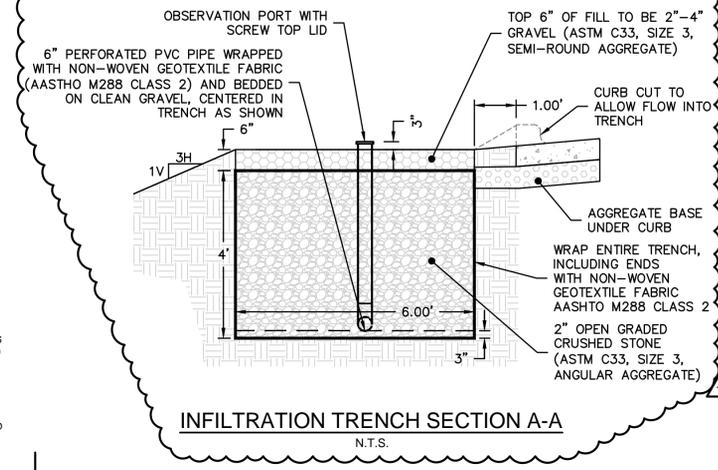
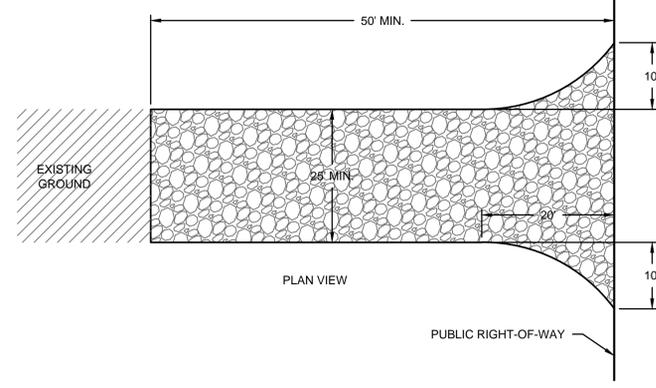
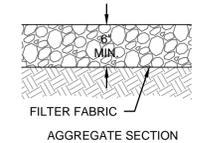
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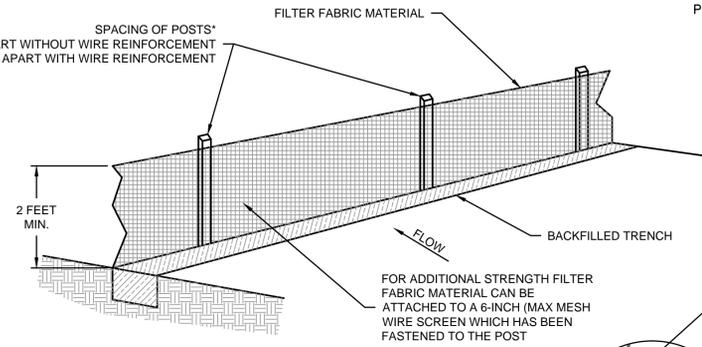
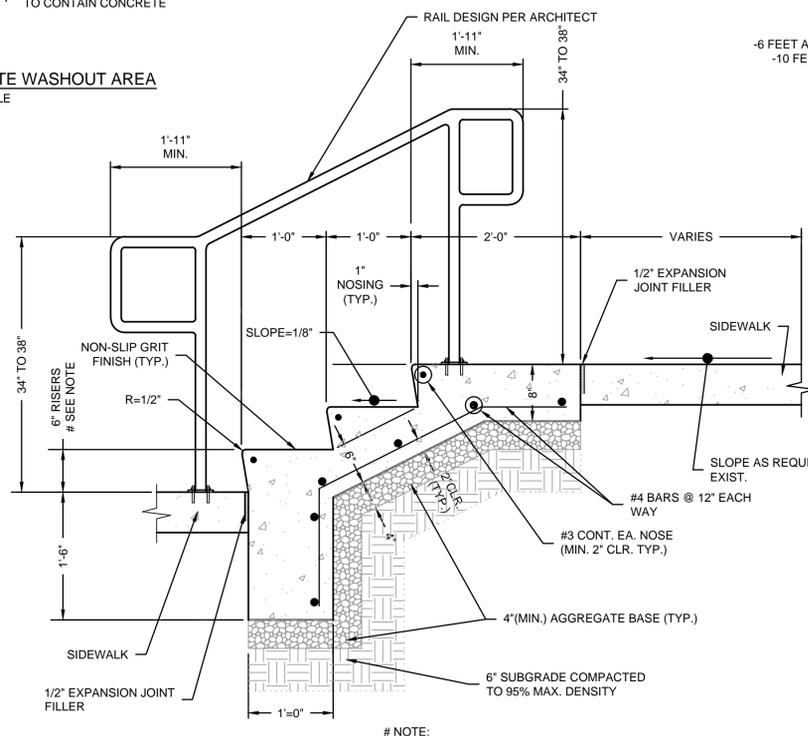


- INSTALLATION:**
- CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE. PLACEMENT SHALL BE A MINIMUM OF 100' FROM DRAINAGEWAYS, BODIES OF WATER, AND INLETS.
 - CONCRETE WASHOUT AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8.0' X 8.0'. THE SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1. THE DEPTH OF THE PIT SHALL BE AT LEAST 3.0'. THE BERM SURROUNDING THE SIDES AND BACK OF THE CONCRETE WASHOUT AREA SHALL HAVE A HEIGHT OF 1.0'. THE VEHICLE AGGREGATE PAD SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASHOUT AREA. A CONSTRUCTION FENCE SHALL BE INSTALLED ALONG THE TOP OF THE PERIMETER BERM PER THE DETAIL.
 - HIGHLY VISIBLE SIGNS SHALL BE PLACED AT THE CONSTRUCTION SITE ENTRANCE, WASHOUT AREA AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION(S) OF THE CONCRETE WASHOUT AREA(S) TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 - A ONE-PIECE IMPERVIOUS LINER MAY BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT AT THE DISCRETION OF THE CITY INSPECTOR.

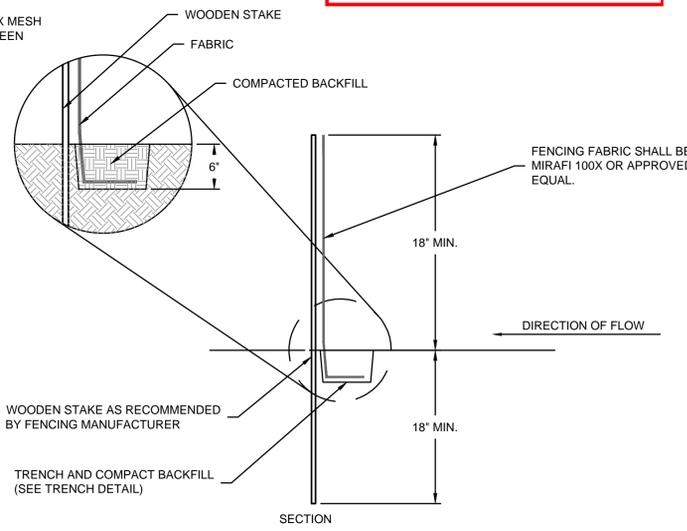
- INSPECTION AND MAINTENANCE:**
- THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE CONCRETE WASHOUT AREA AT THE FOLLOWING INTERVALS:
 - AFTER INITIAL INSTALLATION.
 - AT LEAST DAILY WHILE THE CONCRETE WASHOUT AREA IS PRESENT ON SITE.
 - DURING AND AFTER AN STORM EVENT.
 - CONCRETE WASHOUT MATERIALS SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2.0'.
 - CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
 - CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF AT AN APPROVED WASTE SITE.
 - CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
 - WHEN CONCRETE WASHOUT AREAS ARE REMOVED, EXCAVATIONS SHALL BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL. ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED PER THE CITY'S SPECIFICATIONS.



- RIPRAP NOTES**
- STONE FOR RIPRAP SHALL CONSIST OF QUARRIED ROCK AND BE SOUND, DURABLE AND ANGULAR IN SHAPE.
 - SHALE AND STONE WITH SHALE SEAMS ARE NOT ACCEPTABLE.
 - STONES SHALL HAVE A MINIMUM THICKNESS OF 18". NO MORE THAN 10 PERCENT SHALL HAVE AN ELONGATION GREATER THAN 3:1. AT LEAST 60 PERCENT OF THE MASS SHALL BE OF PIECES HAVING A VOLUME OF ONE CUBIC FOOT, NO MORE THAN 6 PERCENT OF THE STONES SHALL WEIGH LESS THAN 10 POUNDS.



- SEDIMENT FENCE FABRIC:**
- FILTERING EFFICIENCY SHALL BE A MINIMUM OF 85%.
 - TENSILE STRENGTH AT 20% ELONGATION FOR TYPICAL APPLICATIONS SHALL BE A MINIMUM OF 30 LB PER LINEAR INCH. FOR HIGH STRENGTH APPLICATIONS, (SUPER-SILT FENCE), THE MINIMUM STRENGTH SHALL BE 50 LB PER LINEAR INCH.
- SEDIMENT FENCE POSTS:**
- TYPICAL POSTS SHALL DEFER TO MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS. THE FOLLOWING ARE TO BE CONSIDERED MINIMUMS WHERE SUCH RECOMMENDATIONS ARE NOT AVAILABLE.
 - WITH WIRE REINFORCEMENT, WOOD POSTS SHALL HAVE A 4" NOMINAL DIAMETER, OR 1.33 LB PER LINEAR FOOT STEEL.
 - WITHOUT WIRE REINFORCEMENT, WOOD POSTS SHALL BE 2"x2", OR 1.00 LB PER LINEAR FOOT STEEL.



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 Lee's Summit, Missouri
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REV. NO.	DATE	REVISIONS DESCRIPTION
1	03/28/2024	REVISED PER CITY COMMENTS

BY: _____
 DATE: _____
 REVISIONS DESCRIPTION: _____
 REVISED PER CITY COMMENTS: _____

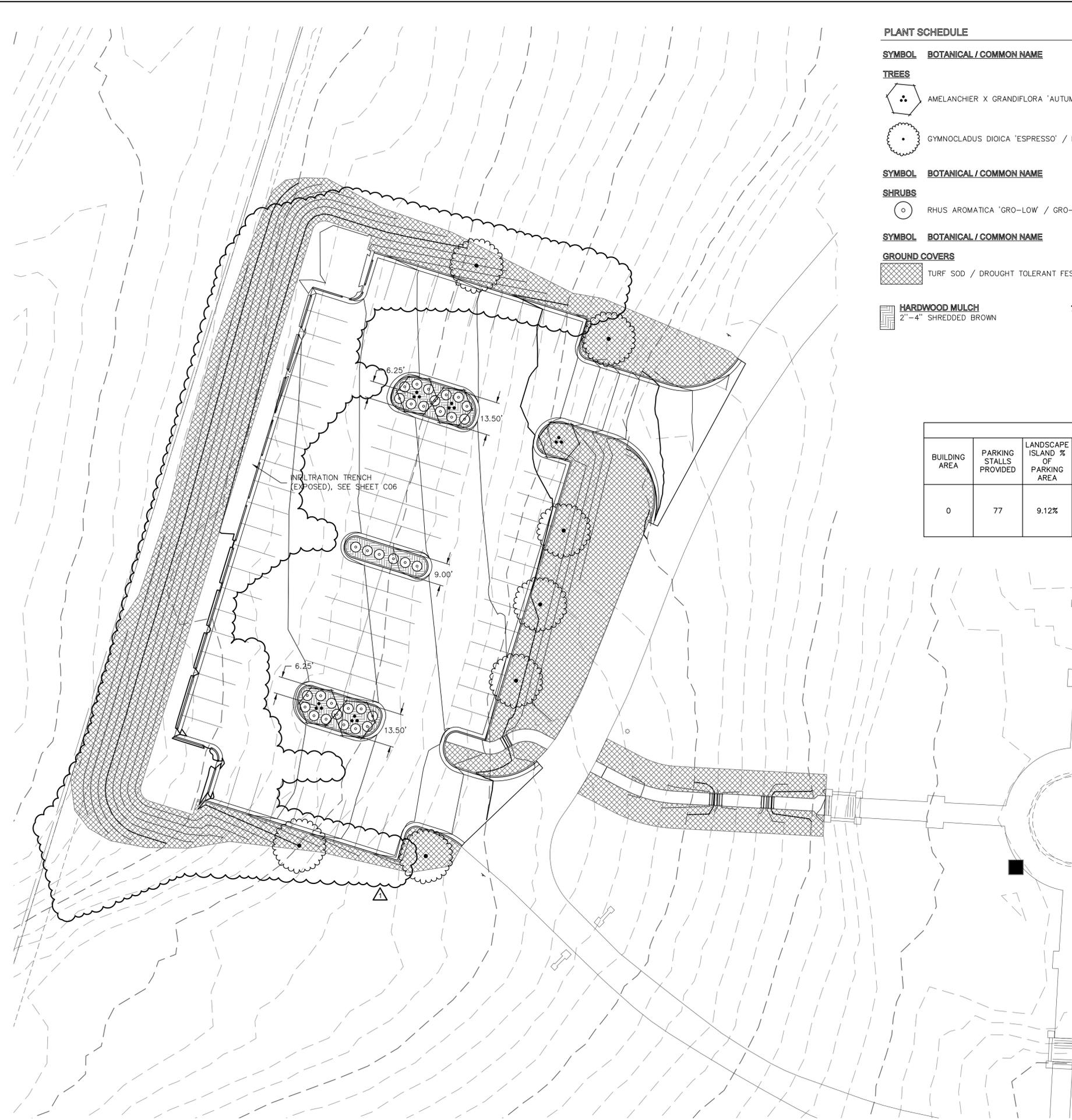
REVISIONS
 2024

LONGVIEW MANSION PARKING ADDITION
 FINAL DEVELOPMENT PLANS

DETAILS

SHEET
 C12

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PLANT SCHEDULE

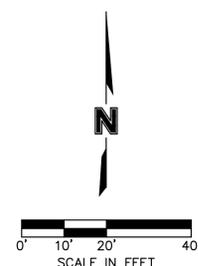
SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONDITION	CALIPER	QTY
TREES					
	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	N/A	B & B	3"	5
	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	N/A	B & B	3"	7
SHRUBS					
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL			32
GROUND COVERS					
	TURF SOD / DROUGHT TOLERANT FESCUE BLEND				17,610 SF
	HARDWOOD MULCH 2'-4" SHREDDED BROWN	705 SF			

LANDSCAPE DATA										
BUILDING AREA	PARKING STALLS PROVIDED	LANDSCAPE ISLAND % OF PARKING AREA	R/W LENGTH	LANDSCAPE STRIP BETWEEN PARKING AND R/W	STREET FRONTAGE TREES	STREET FRONTAGE SHRUBS	OPEN YARD AREA TREES	OPEN YARD AREA SHRUBS	PARKING LOT SCREENING SHRUBS	BUFFER
0	77	9.12%	N/A	N/A	N/A	N/A	12 PROPOSED PLUS EXISTING VEGETATION TO REMAIN	26 PROPOSED PLUS EXISTING VEGETATION TO REMAIN	N/A	N/A

- GENERAL NOTES:
- QUANTITIES LISTED IN THE PLANT LIST SCHEDULE ARE FOR ESTIMATES ONLY. TREES, SHRUBS, AND GROUND COVER OF CONTRACT QUANTITIES SHALL BE THE NUMBER OF ITEMS SHOWN ON THE DRAWINGS.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
 - ALL DISTURBED AREAS NOT OTHERWISE SPECIFIED WITH GROUNDCOVER ARE TO BE PLANTED WITH TALL FESCUE TURF SOD.
 - TREE RINGS AND PLANTING BEDS SHALL BE SURFACED WITH 3" SHREDDED HARDWOOD MULCH AND SHALL RECEIVE SHOVEL-CUT EDGE.
 - THE LANDSCAPE CONTRACTOR SHALL REFER TO ENGINEERING DRAWINGS FOR ANY AND ALL EXISTING AND/OR PROPOSED UTILITIES. IF THERE ARE ANY DISCREPANCIES, CONFLICTS, AND/OR DEVIATIONS BETWEEN THE LANDSCAPE DRAWINGS AND THE EXISTING OR PROPOSED CONDITIONS, THE LANDSCAPE CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
 - ALL UNDERGROUND UTILITIES ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK.

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LANDSCAPE DETAILS & NOTES

LONGVIEW MANSION PARKING ADDITION
 FINAL DEVELOPMENT PLANS

LEE'S SUMMIT, MO

REVISIONS

REV. NO.	REVISIONS DESCRIPTION	DATE

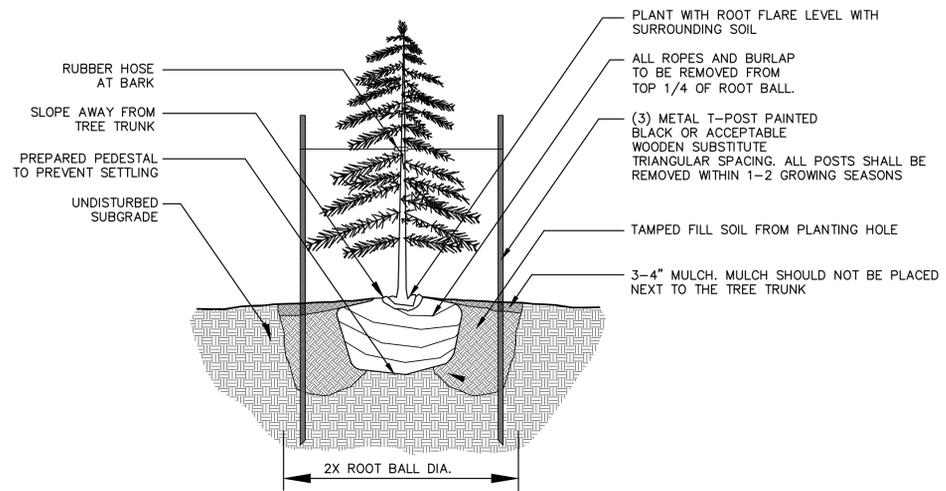
BY

2024

drawn by: C:JH
 checked by: C:W
 approved by: S:SS
 QA/QC by: C:JH
 project no.: 022-06318
 drawing no.: C_LSC01_02206318
 date: 2024.03.01

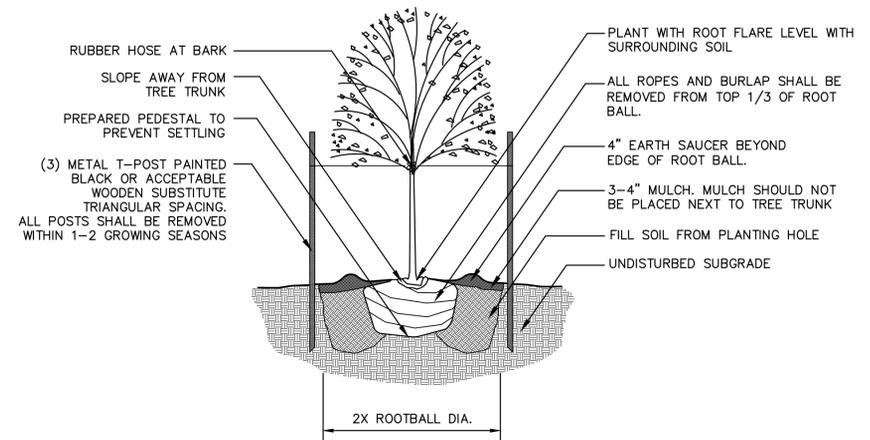
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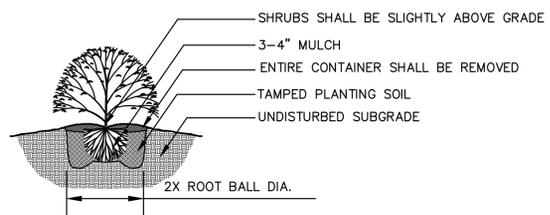
- NOTES:
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 - IN AREAS OF TURF, SURROUND BED WITH 6' DIAMETER OF MULCH

1 Evergreen Tree Planting Detail
not to scale



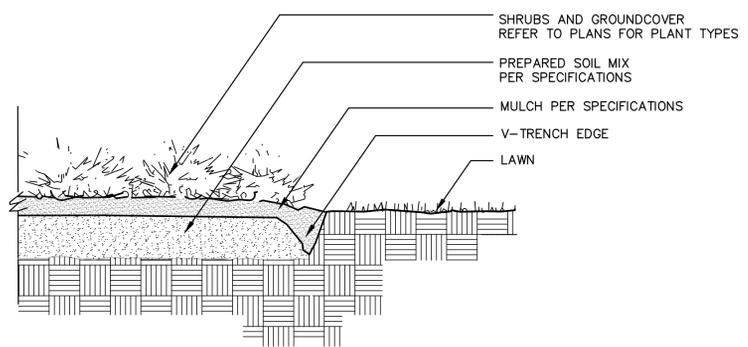
- NOTES:
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 - IN AREAS OF TURF, SURROUND BED WITH 6' DIAMETER OF MULCH

2 Deciduous Tree Planting Detail
not to scale



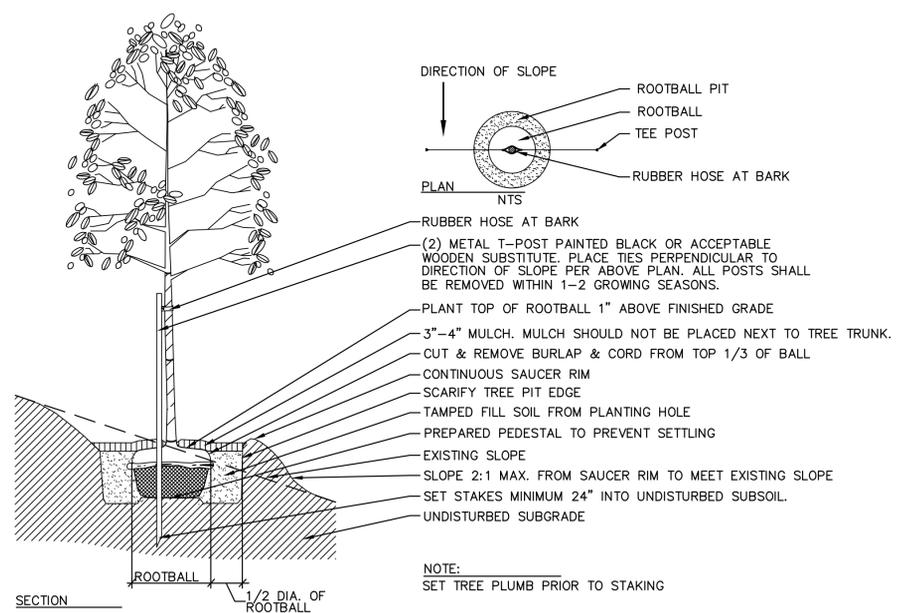
- NOTES:
- MINIMUM ROOT SPREAD TO BE IN ACCORDANCE WITH ANLA STANDARDS
 - PRUNE DAMAGED LIMBS OR ROOTS AFTER INSTALLATION
 - MAKE SURE ROOTS DO NOT DRY OUT DURING INSTALLATION
 - SOAK GENEROUSLY TO COMPACT AND SETTLE

3 Shrub Planting Detail
not to scale



4 V-Trench Edging Detail
not to scale

- PLANTING NOTES**
- ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
 - LOCATE AND FLAG ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL PROTECT EXISTING OVERHEAD AND UNDERGROUND UTILITIES. ANY DAMAGE TO SUCH SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
 - PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE CITY AND LOCAL GOVERNING BODIES. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN.
 - PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF LEE'S SUMMIT, MO AND THE LANDSCAPE ARCHITECT.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN TO MEET MINIMUM SIZE AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
 - ALL TREES SHALL BE CALIPERED AND ANY UNDERSIZED TREES SHALL BE REJECTED. SPECIFIED CALIPER MEASUREMENT FOR TREES SHALL BE MEASURED AT 12" ABOVE THE GRADE.
 - PLANTING OF TREES, SHRUBS, SODDED AND SEEDED TURFGRASS SHALL BE COMMENCED DURING EITHER THE SPRING (MARCH 15-JUNE 15) OR FALL (SEPTEMBER 1 - OCTOBER 15) PLANTING SEASON AND WITH WATER AVAILABLE FOR IRRIGATION PURPOSES.
 - CONTRACTOR SHALL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE THE LANDSCAPE ARCHITECT APPROVE ALL STAKING PRIOR TO INSTALLATION. FIELD ADJUSTMENTS MAY BE NECESSARY BASED UPON FIELD CONDITIONS (I.E. ROOT BALL AND DROP INLET CONFLICT). ALL ADJUSTMENTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
 - A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL SHRUB BEDS PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
 - BACKFILL ALL PLANTING BEDS TO A MINIMUM 12-INCH DEPTH WITH PLANTING SOIL MIX. PLANTING SOIL MIX SHALL CONSIST OF ONE (1) PART PERLITE, ONE (1) PART PEAT MOSS, AND TWO (2) PARTS CLEAN LOAM TOPSOIL. THOROUGHLY MIX PLANTING SOIL COMPONENTS PRIOR TO PLACEMENT.
 - ALL LANDSCAPE PLANTING AREAS, EXCLUDING TURF AREAS SHALL BE MULCHED WITH A MINIMUM OF 3-4" SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED ON PLANS.
 - CULTIVATED LANDSCAPE EDGING IS TO BE USED ON ALL LANDSCAPE BEDS ABUTTING SODDED OR SEEDDED AREAS.
 - LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS AS NEEDED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. ANY MATERIAL WHICH DIES, OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED.
 - THE CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).



NOTE:
SET TREE PLUMB PRIOR TO STAKING

5 Tree Planting on Slope Detail
not to scale

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 Development Services Department
 Lee's Summit, Missouri
 04/05/2024

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2024.03.28

REV. NO.	DATE	REVISIONS DESCRIPTION

LANDSCAPE DETAILS & NOTES

LONGVIEW MANSION PARKING ADDITION
FINAL DEVELOPMENT PLANS

2024

LEE'S SUMMIT, MO

REVISIONS

drawn by: C:JH

checked by: C:W

approved by: S:SS

QA/QC by: C:JH

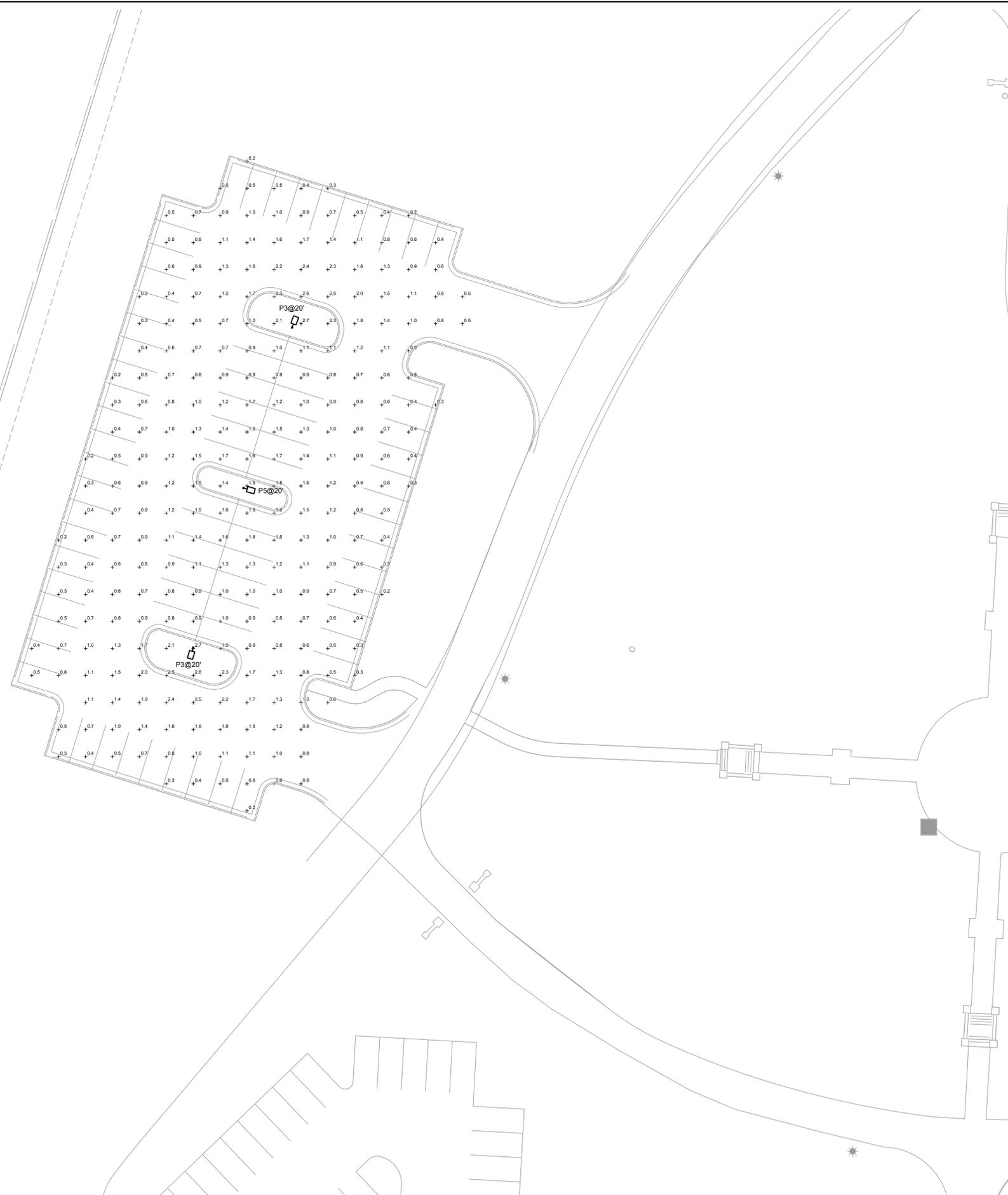
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date: 2024.03.01

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1 SITE LIGHTING PHOTOMETRICS PLAN
 SCALE: 1" = 20'-0"

D-Series Size 0 LED Area Luminaire

Specifications
 EPA: 0.44 ft² (0.04 m²)
 Length: 26.18" (665 mm)
 Width: 14.06" (357 mm)
 Height H1: 2.26" (57 mm)
 Height H2: 7.46" (189 mm)
 Weight: 23 lbs (10.4 kg)

Introduction
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.
 The solar version is compatible with Sol By Sunna Design's Solar Lighting Engine. The performance will be based on the project location and the available solar energy output. Contact Sol by Sunna Design Sales Team for a quote for your Lithonia Solar Lighting Solutions. email: sales@solarlighting.com or call: 1-800-959-1329

Ordering Information EXAMPLE: DSX0 LED P4 40K 70CRI T3M SOLAR RPA DDBXD

Series	LEDs	Color temperature	Color Rendering	Distribution	Voltage
DSX0 LED	Forward optics	(this section 70CRI only)			
P1	P3	30K 3000K	70CRI	Automotive front row	T5M Type V medium
P2	P4	40K 4000K	70CRI	AFR Type I short T1S	T5LG Type V low glare
		50K 5000K	70CRI	T2M Type II medium	T3M Type III medium
				T3LG Type III low glare	T4M Type IV medium
		27K 2700K	80CRI	medium T4LG Type IV	low glare 2 TFTM
		30K 3000K	80CRI	Forward throw medium	
		35K 3500K	80CRI		
		40K 4000K	80CRI		
		50K 5000K	80CRI		

SOLAR Only compatible with Sol By Sunna Design's Solar Lighting Solutions 3 (this section 80CRI only, extended lead times apply)

Mounting	Other options	Finish (required)
Shipped included Square pole mounting SPA (#6 drilling, 3.5" min. SQ pole) RPA Round pole mounting (#6 drilling, 3" min. RND pole) MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)	Shipped installed HS House-side shield (black finish standard) 4 BAA Buy America(n) Act Compliant Shipped separately ESS External Glare Shield (reversible, field install required) BSSB Bird Spikes (field install required)	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White matches housing finish

Accessories
 Ordered and shipped separately.
 House-side shield (enter package number P1-4 in DSX0HS)
 Pole brace #14 DSX0BSA (FINISH) Round pole adapter (#6 drilling, specify finish) DSX0EGR (FINISH) External glare shield (specify finish) DSX0SSB (FINISH) Bird spike deterrent bracket (specify finish)

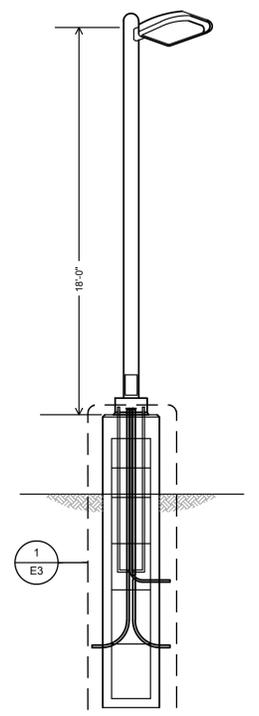
NOTES
 1. 30K, 40K, and 50K available in 70CRI and 80CRI; 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
 2. T5L, T5LG, BL/C3, BL/C4, LCCO, and RCOO not available with option HS.
 3. No Drivers included. Input power managed by Sol By Sunna Design's Solar Lighting Engine. Wattage depends on project location and Solar Engine size.
 4. For technical support, contact Sol By Sunna Design Sales Team at 1-800-959-1329.
 5. Accessory DSX0HS not available with T5LG, T4LG, BL/C3, BL/C4, LCCO and RCOO distribution. Also available as a separate accessory; see Accessories information.

LITHONIA LIGHTING
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-795-SERV (7378) • www.lithonia.com
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Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	+	1.1 fc	3.0 fc	0.2 fc	15.0:1	5.5:1

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2 LIGHT POLE DETAIL
 SCALE: NOT TO SCALE

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REV. NO.	DATE	REVISIONS DESCRIPTION	BY

OVERALL SITE PLAN

LONGVIEW MANSION PARKING ADDITION
 PRELIMINARY DEVELOPMENT PLAN

2024

drawn by: _____ SH
 checked by: _____ TB
 approved by: _____ TB
 QA/QC by: _____ TB
 project no.: 022-06318
 drawing no.: E_NSITE_022-06318
 date: 2024.03.01

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 DATE: Feb 28, 2024 4:40pm
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LIGHTING FIXTURE SCHEDULE

SYMBOL	TYPE	DESCRIPTION	MANUFACTURER AND MODEL	LAMPS	LUMENS	COLOR TEMP / CRI	DRIVER / BALLAST	VOLTAGE / WATTAGE	LOCATION
	P3	SOLAR AREA LED LIGHT FIXTURE WITH 18" SQUARE POLE AND CONCRETE BASE. BLACK FINISH. SEE NOTES A, B, & C BELOW.	LITHONIA DSX0-LED-P4-40K-T3M-SOLAR-SPA-DBLXD POLE:SSS-18-4C-DM19AS-DBLXD	LED	11,130	4000K / 70	N/A	SOLAR 82W	PARKING LOT
	P5	SOLAR AREA LED LIGHT FIXTURE WITH 18" SQUARE POLE AND CONCRETE BASE. BLACK FINISH. SEE NOTES A, B, & C BELOW.	LITHONIA DSX0-LED-P4-40K-T5M-SOLAR-SPA-DBLXD-PIR POLE:SSS-18-4C-DM19AS-DBLXD	LED	11,622	4000K / 70	N/A	SOLAR 82W	PARKING LOT

NOTES:
 A. PROVIDE ALL COMPONENTS TO MAKE A COMPLETE ASSEMBLY. THIS WOULD INCLUDE, BUT NOT BE LIMITED TO, ARM, MOUNTING BRACKETS, POLE BASE COVER, ANCHOR BOLTS, TEMPLATE, BASE, HAND HOLE, ETC.
 B. PROVIDE CONCRETE BASE, PER DETAIL.
 C. LIGHT FIXTURE IS CONTROLLED BY INTERNAL BATTERY CONTROLLER WITH PHOTOCELL TO TURN LIGHTS ON WHEN NO DAYLIGHT IS PRESENT.

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 04/05/2024

FOUNDATION DESIGN LIMITATIONS

- THIS FOUNDATION WAS DESIGNED FOR A MINIMUM LATERAL SOIL DEFORMATION MODULUS OF 0.50 KSI
- THIS FOUNDATION WAS DESIGNED FOR A MINIMUM LATERAL SOIL UNDRAINED SHEAR STRENGTH OF 0.50 KSF
- THIS FOUNDATION WAS DESIGNED FOR A MAXIMUM ALLOWABLE LATERAL DEFLECTION OF 1/2 INCH OVERALL AT GRADE ELEVATION
- THIS FOUNDATION WAS DESIGNED WITH AN ASSUMED DEPTH TO ROCK GREATER THAN TWENTY FEET FROM FINISHED GRADE
- THIS FOUNDATION WAS DESIGNED WITH AN ASSUMED WATER TABLE LOCATED AT THE SOIL SURFACE.
- THIS FOUNDATION WAS NOT DESIGNED TO WITHSTAND THE EFFECTS OF SCOURING.
- IF CONDITIONS OTHER THAN THOSE SPECIFIED HEREIN ARE PRESENT AT THE SITE, INCLUDING NON-COHESIVE SOILS FOUND IN BORINGS, PLEASE CONTACT THE ENGINEER OF RECORD.

STRUCTURAL CONCRETE

CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF:
 ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
 ACI 302 - "RECOMMENDED PRACTICE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION"
 ACI 304 - "ACI MANUAL OF CONCRETE INSPECTION"
 ACI 311 - "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE"
 ACI 315 - "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"
 ACI 318 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
 ACI 347 - "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK"

ALL HOOKS SHALL BE "STANDARD" PER ACI SPECIFICATIONS.

EARTHWORK

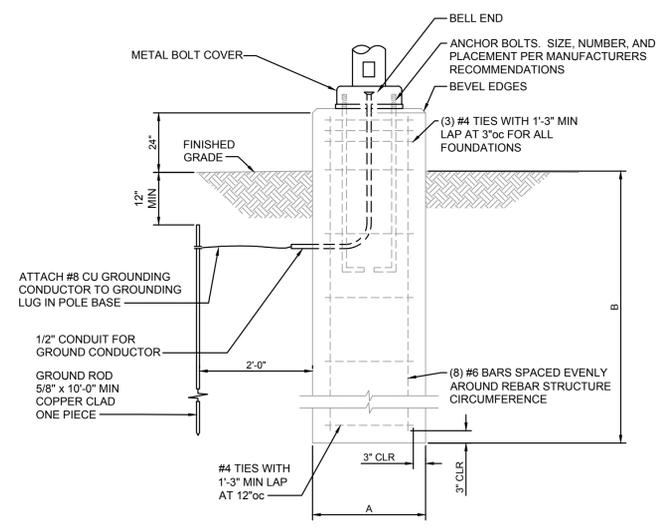
- THE CONTRACTOR MUST PROVIDE SURFACE DRAINAGE AND PUMPS TO PROTECT ALL EXCAVATION FROM FLOODING. FLOODING OF ANY EXCAVATION AFTER APPROVAL OF THE SUBGRADE WILL BE CAUSE FOR RE-PREPARATION OF THE SUBGRADE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY WATER, FROST, OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUBGRADE BEFORE AND AFTER PLACING OF CONCRETE AND UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT STRUCTURE.
- REFER TO THE GEOTECH REPORT FOR SUBSURFACE CONDITIONS AND CONSTRUCTION CONSIDERATIONS.

LIGHT FOUNDATION DATA		
MOUNTING HEIGHT	A	B
UP TO 30'	2'-0"	5'-0"

CONCRETE CLASS "KCMMB 4000"
 HEAVY HEX GALVANIZED NUTS: (AASHTO M291, GR A)
 FLAT WASHERS GALVANIZED: (AASHTO M293)

GENERAL NOTES

- CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UNDERGROUND STRUCTURES AND UTILITIES BEFORE CONSTRUCTING NEW FOUNDATIONS.
- THE CONTRACTOR SHALL FOLLOW WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.
- EXCAVATE SHAFTS FOR DRILLED FOUNDATIONS TO INDICATED ELEVATIONS. REMOVE LOOSE DEBRIS, MATERIALS AND/OR MUCK TO MAKE BOTTOM SURFACES LEVEL WITHIN ACI 336.1 TOLERANCES.
- CONSTRUCTION TOLERANCES:
 A. BOTTOM DIAMETER: MINUS ZERO, PLUS 6 INCHES, MEASURED IN ANY DIRECTION.
 B. MAXIMUM VARIATION FROM PLUMB: 1/40
 C. MAXIMUM BOTTOM LEVEL: PLUS OR MINUS 2 INCHES.
- AT NO ADDITIONAL COST, CASE PIER SHAFTS AS NECESSARY. PROTECT EXCAVATED WALLS WITH TEMPORARY WATERTIGHT STEEL CASINGS OF SUFFICIENT LENGTH TO PREVENT WATER INTRUSION, CAVE-INS, DISPLACEMENT OF SURROUNDING EARTH, INJURY TO PERSONNEL AND DAMAGE TO CONSTRUCTION OPERATIONS. MAINTAIN EXCAVATIONS IN ESSENTIALLY DRY CONDITION, USING PUMPS WHERE NECESSARY. REMOVE WATER TO A MAXIMUM DEPTH OF 6 INCHES FROM EXCAVATED SHAFT PRIOR TO CONCRETE PLACEMENT.
- CONVEY CONCRETE FROM THE MIXER TO PLACE OF DEPOSIT BY BEST INDUSTRY METHODS THAT WILL PREVENT SEGREGATION AND LOSS OF MATERIAL. SIZE AND DESIGN THE EQUIPMENT FOR CONVEYING CONCRETE TO ENSURE UNIFORM, CONTINUOUS PLACEMENT OF CONCRETE. PLACE CONCRETE IN ACCORDANCE WITH ACI 318. PLACE CONCRETE IN A CONTINUOUS OPERATION AND WITHOUT SEGREGATION INTO DRY EXCAVATIONS WHENEVER POSSIBLE. USE ALL PRACTICABLE MEANS TO OBTAIN A DRY EXCAVATION BEFORE AND DURING CONCRETE PLACEMENT.
- WHEN PULLING CASING, MAINTAIN LEVEL OF CONCRETE ABOVE BOTTOM OF CASING GREATER OR EQUAL TO LEVEL OF GROUND KEEP BOTTOM OF CASING AT LEAST 10 FEET BELOW TOP OF CONCRETE. PREVENT IN-SITU MATERIALS FROM FALLING INTO AND MIXING WITH CONCRETE. PULL CASING IN SHORT SLOW VERTICAL LIFTS (ESSENTIALLY CONTINUOUS), MAINTAINING PLUMB ALIGNMENT AND SUFFICIENT HEAD OF CONCRETE.
- ALL CONCRETE SHALL BE CLASS KCMMB 4000
- ALL REINFORCING SHALL BE STRUCTURAL GRADE 60 PER ASTM-A615 AND HAVE AT LEAST 3" OF CONCRETE COVER.
- ANCHOR BOLTS ARE TO BE FURNISHED BY THE FOUNDATION CONTRACTOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PLACE ALL REBAR SO AS TO NOT INTERFERE WITH ANCHOR BOLTS.
- ALL ABOVE GRADE FOUNDATION SURFACES SHALL BE STEEL TROWEL FINISHED UNLESS OTHERWISE NOTED.
- EACH PIER FOUNDATION SHALL BE CONSTRUCTED IN A SINGLE CONTINUOUS POUR.
- NO EXCAVATION OR VIBRATION-INDUCING ACTIVITIES ARE ALLOWED WITHIN 3 PIER DIAMETERS OF A SUBJECT PIER UNTIL AT LEAST 24 HOURS HAVE ELAPSED SINCE THE TIME OF CONCRETE PLACEMENT. COVER ALL EXCAVATIONS BETWEEN OPERATIONS. REMOVE FOREIGN AND LOOSE MATERIAL FROM APPROVED EXCAVATION.
- THE CONTRACTOR SHALL PROVIDE ALL MEASURES AND PRECAUTIONS NECESSARY TO PREVENT DAMAGE AND/OR SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE THE PROJECT LIMITS DURING EXCAVATION AND FOUNDATION CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS CAUSED BY CONSTRUCTION TECHNIQUES IS THE RESPONSIBILITY OF THE CONTRACTOR.



CONCRETE LIGHT POLE BASE
 SCALE: NOT TO SCALE

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REV. NO.	DATE	REVISIONS DESCRIPTION	BY

SITE LIGHTING DETAILS

LONGVIEW MANSION PARKING ADDITION
 PRELIMINARY DEVELOPMENT PLAN

2024

LEE'S SUMMIT, MO

drawn by: _____ SH

checked by: _____ TD

approved by: _____ TD

QA/QC by: _____ TD

project no.: 022-06318

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