PRELIMINARY PENDING FINAL DESIGN FOR BLUE PARKWAY

Sheet List Table

COOO OVERALL SITE PLAN

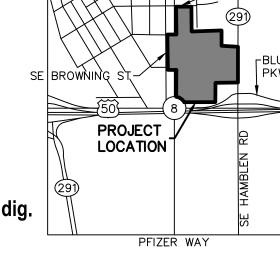
C100 SITE AND DIMENSION PLAN

C190 SITE AND EROSION CONTROL DETAILS C200 DEMOLITION & EROSION CONTROL PLAN PH

C300 GRADING & EROSION CONTROL PLAN PH II

E-001 ELECTRICAL GENERAL NOTES AND LEGEND E-101 ELECTRICAL SITE PLAN PHASE 2 E-400 ELECTRICAL SCHEDULES AND DETAILS

Know what's **below**. Call before you dig.



VICINITY MAP SEC 8 - TWP 47N - RNG 31W NOT TO SCALE

CONSTRUCTION NOTES:

CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE KANSAS CITY METROPOLITAN CHAPTER OF APWA STANDARD SPECIFICATIONS AS

ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE

MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO PUBLIC RIGHT—OF—WAYS IN THE CONSTRUCTION AREA. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED. ALL TRAFFIC CONTROL DEVICES, INSTALLATION AND OPERATIONS SHALL CONFORM WITH THE

<u> DESCRIPTION:</u> (PER TITLE COMMITMENT)

RACT 1: (MISSOURI WARRANTY DEED, Bk. I-80, Pg. 1904) ALL THAT PART OF LOT 3, MUCKEY ADDITION, A SUBDIVISION OF LAND IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI ACCORDING TO THE RECORDED PLAT THEREOF, LYING SOUTH OF THE SOUTH LINE OF 6TH STREET IN LEE'S SUMMIT. AS SAID STREET IS DESCRIBED IN THE DEED RECORDED IN BOOK

DESCRIPTIONS: (PER TITLE COMMITMENT)

RACT 1: (MISSOURI WARRANTY DEED, BOOK 923, AT PAGE 743)(DEED 1A) ALL OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 47, RANGE 1, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THAT PART CONVEYED TO THE STATE OF MISSOURI BY WARRANTY DEED RECORDED IN BOOK 656 AT PAGE 111 (DEED 1B), AND

ALSO EXCEPT THAT PART THEREOF CONVEYED TO THE STATE OF MISSOURI BY WARRANTY DEED RECORDED IN BOOK 661 AT PAGE 166 (DEED 1C).

ALSO EXCEPT THAT PART THEREOF CONVEYED TO ARTHUR B. MCLENNAN AND PAULINE P. MCLENNAN, HUSBAND AND WIFE BY WARRANTY DEED RECORDED IN BOOK 883 AT PAGE 51 (DEED 1D), AND ALSO EXCEPT A TRACT OF LAND IN SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION

BEGINNING AT A POINT 651.69 FEET NORTH OF THE SOUTHEAST CORNER OF THE SAID QUARTER QUARTER SECTION, THENCE WEST 491.69 FEET; THENCE NORTH 63 FEET; THENCE EAST 491.69 FEET TO THE QUARTER SECTION LINE; THENCE SOUTH 63 FEET TO POINT OF BEGINNING.

2: (MISSOURI WARRANTY DEED, BOOK 1243, AT PAGE 716)(DEED 2) ALL OF THE WEST 327 FEET OF THE NORTH 2 ACRES OF THE SOUTH 5 ACRES OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 47, RANGE 31, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS

BEGINNING AT A POINT 198 FEET NORTH OF THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 47, RANGE 31, IN JACKSON COUNTY, MISSOURI, AND RUNNING THENCE EAST 327 FEET; THENCE NORTH 132 FEET; THENCE WEST 327 FEET; THENCE SOUTH 132 FEET TO POINT OF BEGINNING.

FRACT 3: (MISSOURI WARRANTY DEED, BOOK 1277, AT PAGE 325)(DEED 3) HE SOUTH 5 ACRES OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 47, RANGE 31, IN LEES' SUMMIT, JACKSON COUNTY, MISSOURI.

[RACT 4: (REPORT OF COMMISSIONERS, BOOK 1484, AT PAGE 306)(DEED 4) ALL OF THE WEST 327 FEET OF THE SOUTH 3 ACRES OF THAT PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8 TOWNSHIP 47, RANGE 31 IN LEE'S SUMMIT, JACKSON COUNTY,

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER AND RUNNING THENCE EAST 327 FEET; THENCE NORTH 198 FEET; THENCE WEST 327 FEET; THENCE SOUTH 198 FEET TO THE POINT OF BEGINNING.

RACT 5: (MISSOURI WARRANTY DEED, BOOK 1491, AT PAGE 140)(DEED 5) ALL THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 47, RANGE 31, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE INTERSECTION OF 7TH STREET AND BROWNING AVENUE; THENCE SOUTH ALONG THE EAST LINE OF BROWNING AVENUE A DISTANCE OF 678.52 FEET TO THE NORTH LINE OF 8TH STREET; THENCE EAST ALONG THE NORTH LINE OF 8TH STREET A DISTANCE OF 33 FEET TO THE EAST LINE OF SAID QUARTER SECTION; THENCE NORTH ALONG THE EAST LINE OF SAID QUARTER SECTION A DISTANCE OF 678.52 FEET TO THE NORTH LINE OF 7TH STREET EXTENDED; THENCE WEST ALONG THE NORTH LINE OF 7TH STREET EXTENDED A DISTANCE OF 135.77 FEET TO THE

RACT 6: (MISSOURI WARRANTY DEED, BOOK 1536, AT PAGE 205)(DEED 6) ALL THAT PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 47 RANGE I, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 556.69 FEET NORTH OF THE SOUTHEAST CORNER OF 1/4 OF 1/4 SECTION: THENCE WEST 491.68 FEET; THENCE NORTH 158 FEET; THENCE EAST 491.69 FÉET; THÉNCE SOUTH 158 EET TO THE POINT OF BEGINNING, ALL IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI,

EXCEPT THAT PART CONTAINED IN THE REPORT OF COMMISSIONERS RECORDED AS DOCUMENT NO 131081 IN BOOK 189 AT PAGE 465, DESCRIBED AS FOLLOWS:

LL THAT PART OF THE SW 1/4 OF THE NE 1/4 OF SECTION 8, T47N, R31W, IN LEE'S SUMMIT JACKSON COUNTY, MISSOURI DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 714.69 FEET NORTH AND 57 FEET WEST OF THE SOUTHEAST CORNER OF THE SW 1/4 OF THE NE 1/4 OF SAID SECTION 8, SAID POINT BEING 70 FEET WESTERLY OF THE CENTERLINE OF STATE HIGHWAY DESIGNATED ROUTE 00 (71 BY-PASS), AS MEASURED AT RIGHT ANGLES THERETO; THENCE SOUTH 3 DEGREES 14 MINUTES 23 SECONDS WEST PARALLELING SAID HIGHWAY CENTERLINE, 158 FEET; THENCE WEST PARALLELING THE SOUTH LINE OF SAID 1/4 1/4 SECTION, A DISTANCE OF 432 FEET; THENCE NORTH PARALLELING THE EAST LINE OF SAID 1/4 1/4 SECTION, A DISTANCE OF 75 FEET; THENCE NORTHEASTERLY ALONG A STRAIGHT LINE TO THE PÓINT OF BEGINNING.

<u>RACT 7:</u> (MISSOURI WARRANTY DEED, BOOK 1869, AT PAGE 312)(DEED 7) BEGINNING AT A POINT 1320.0 FEET NORTH OF THE EAST-WEST CENTER LINE OF SECTION 8, TOWNSHIP 47, RANGE 31, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, AND ON THE EAST LINE OF THE EAST ½ OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION; THENCE WEST 186.3; THENCE NORTH 100 FEET; THENCE EAST 186.3 FEET TO A POINT ON THE EAST LINE; THENCE SOUTH ON SAID EAST LINE 100.0 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART SITUATED IN US HIGHWAY 71 BY-PASS.

RACT 8: (MISSOURI WARRANTY DEED, BOOK 1869, AT PAGE 313)(DEED 8) ALL OF THE SOUTH 3 ACRES OF THE EAST ½ OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 47, RANGE 31, IN LEE'S SUMMIT JACKSON COUNTY, MISSOURI, EXCEPT THE WEST 327 FEET THEREOF AND ALSO EXCEPT THE SOUTH 100 FEET OF THE EAST 186.3 FEET THEREOF.

FRACT 9: (MISSOURI WARRANTY DEED, BOOK 1-79, AT PAGE 635)(DEED 9) THE EAST 88.5 FEET OF THAT PART OF LOT 1. MUCKEY ADDITION, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, LYING SOUTH OF THE SOUTH LINE OF 6TH STREET, AS SAID STREET IS DESCRIBED IN DEED RECORDED IN BOOK 1039 AT PAGE 122, EXCEPT THE NORTH 155 FEET OF SAID

FRACT 10: (MISSOURI WARRANTY DEED, BOOK 551, AT PAGE 135)(DEED 10) ALL OF THE NORTH 2 ACRES OF THE SOUTH 5 ACRES OF THE SOUTHEAST 1/4 OF THE NORTHWEST /4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 47, RANGE 31, EXCEPT ALL THE WEST 327 FEET THEREOF MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 198 FEET NORTH OF THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 47, RANGE 31 AND RUNŃING THENCE EAST 327 FÉET; THENCE NORTH 132´ FEET; THENCE WEST 327 FEET, THENCE SOUTH 132 FEET TO POINT OF BEGINNING, ALL IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

RACT 11: (MISSOURI WARRANTY DEED, BOOK 623, AT PAGE 833)(DEED 11) THE SOUTH 220 FEET OF THE WEST 88.5 FEET OF LOT 1. MUCKEY ADDITION, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

STORM WATER MANAGEMENT:

STORM WATER MANAGEMENT IS PROPOSED AS PART OF THIS PROJECT COMPLIES WITH THE KC METROPOLITAN CHAPTER OF APWA DESIGN CRITERIA SECTION 5600 AS ADOPTED BY THE CITY OF LEE'S SUMMIT. PROPOSED STORM WATER MANAGEMENT SYSTEM WILL MITIGATE INCREASES IN RUNOFF FOR THE STORM EVENTS ANALYZED TO A RATE AT OR LESS THAN THE EXISTING CONDITIONS.

UNDERGROUND UTILITY STATEMENT:

ONE-CALL LOCATED UTILITIES AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS MADE AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UNDERGROUND UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION DEPICTED ALTHOUGH HE DOES CERTIFY THAT THEY ARE DEPICTED AS ACCURATELY AS POSSIBLE FROM INFORMATION MADE AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES SHOWN HEREON BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY. MISSOURI ONE CALL TICKET NUMBER: #200431409, 200431440, 200431475, 200440745.

FLOOD STATEMENT:

THE SURVEYED PARCEL LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOODPLAIN) AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0438G, MAP REVISED JANUARY 20, 2017, AND BY MAP NUMBER 29095C0436G, REVISED JANUARY 20, 2017 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI. LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

SITE DATA:

TOTAL SITE AREA: 1,983,297 SF - 45.53 Ac

PROJECT AREA/AREA OF DISTURBANCE PHASE II: 41,163 SF (0.945 AC.)

EXISTING: (COMPLETION OF PHASE I): 1154 REGULAR (22 ACCESSIBLE) STALLS PROPOSED: (COMPLETION OF PHASE II): 1171 REGULAR (22 ACCESSIBLE) STALLS

PROPOSED IMPERVIOUS COVERAGE WITHIN PHASE II PROJECT AREA

27,910 S.F. - 0.641 AC **INCREASE:** 13,760 S.F. - 0.316 AC.

TOTAL: RP-2, CP-1(EAST 290')

HORIZONTAL AND VERTICAL DATUM:

UNLESS OTHERWISE NOTED THE COORDINATES SHOWN HEREON ARE GROUND COORDINATES BASED ON THE MISSOURI STATE PLANE (1983) WEST ZONE (NAD 1983) (NAVD 1988) CAF: 0.9998978 SCALED AROUND 0,0

NORTHING: 303646.030 (GRID/METERS) 996313.829 (GROUND/FEET) ELEVATION: 321.8 (METERS)

SITE BENCHMARKS:

FOUND CUT SQUARE AT THE SOUTHWEST CORNER OF CONCRETE HEADWALL OF CONCRETE FLUME ON THE WEST SIDE OF THE SCHOOL SOUTHEAST OF ENTRY DRIVE. ELEVATION= 1042.70

SET CUT SQUARE AT THE TOP NORTHEAST CORNER OF A CONCRETE PATIO WITH COVERED TABLES ON THE EAST SIDE OF BUILDING "B". ELEVATION= 1015.74

996470.24 (GRID)

2827149.83 (GRID)

NEW CONTROL POINTS AND

BENCHMARKS WILL NEED TO

BE ESTABLISHED PRIOR TO

CONSTRUCTION OF PHASE II

PROJECT CONTROL:

2" REBAR W/ ORANGE KVE CAP NORTHING: 996572.06 (GROUND)

EASTING: 2827438.76 (GROUND)

ELEV = 1049.49

ELEV = 1048.24

1/2" REBAR W/ ORANGE KVE CAP NORTHING: 996570.39 (GROUND) 996468.55 (GRID) EASTING: 2827055.45 (GROUND) 2826766.55 (GRID)

1/2" REBAR W/ ORANGE KVE CAP NORTHING: 996889.02 (GROUND) 996787.14 (GRID) EASTING: 2827403.78 (GROUND) 2827114.81 (GRID)

OLSSON CONTROL POINT #3 NORTHING: 997219.69 (GROUND) 997117.77 (GRID) EASTING: 2828082.23 (GROUND) 2827793.20 (GRID) ELEV = 1034.64

OLSSON CONTROL POINT #4 NORTHING: 997996.59 (GROUND) 997894.59 (GRID) EASTING: 2828118.84 (GROUND) 2827829.81 (GRID) ELEV = 1032.75

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OF PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH

CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

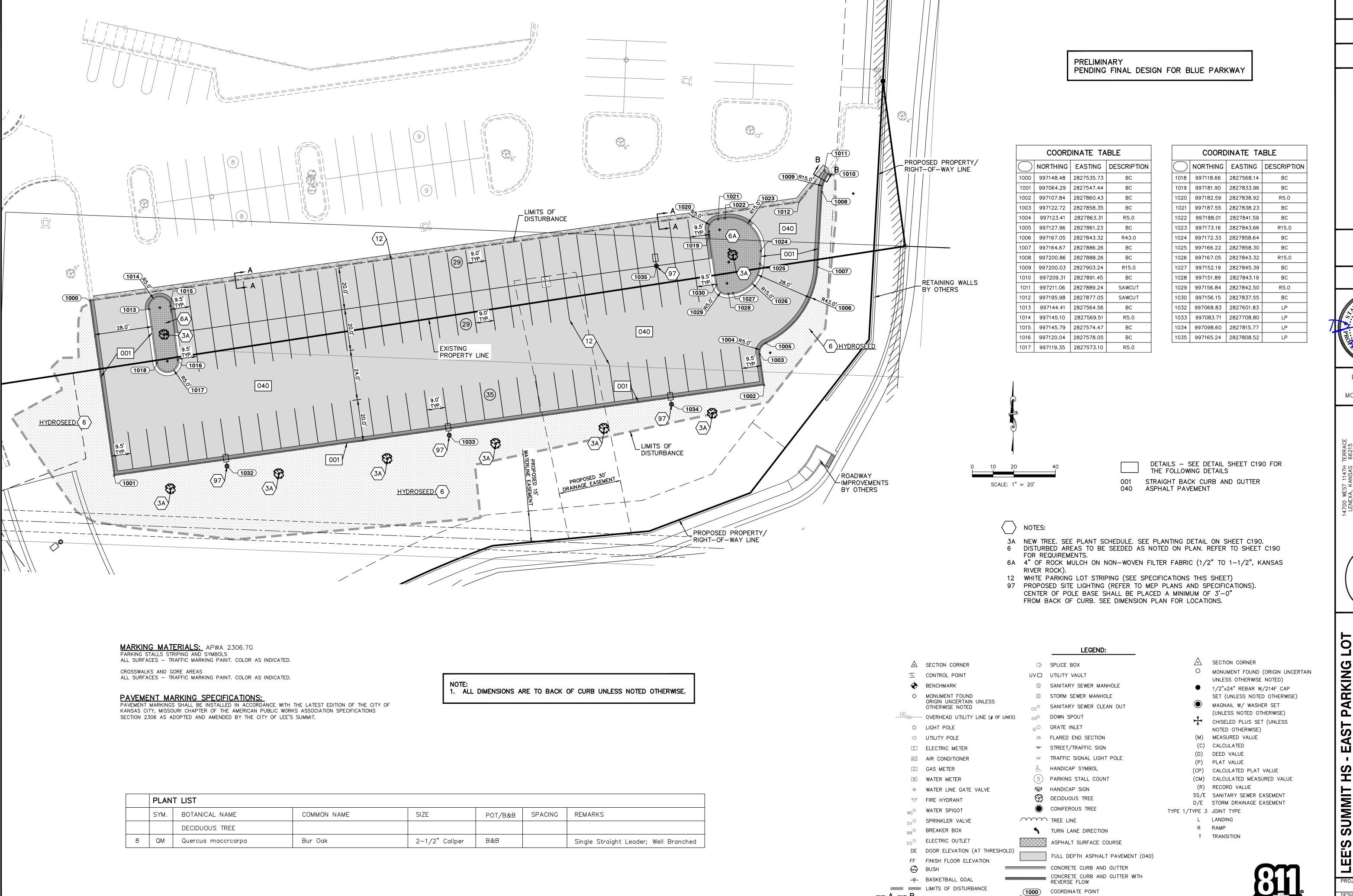
DAVID D. WOOD

ENGINEER MO # 2011037427

TION TE PI

DESIGNER

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC



Know what's below. Call before you dig.

ASPHALT EDGE TREATMENT.

SEE SECTION ON C190

DAVID D. WOOD

ENGINEER MO # 2011037427

ENGINEERING

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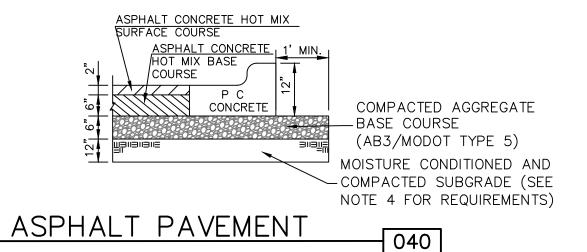
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ST 114TH TERRACE KANSAS 66215 913) 894-5150

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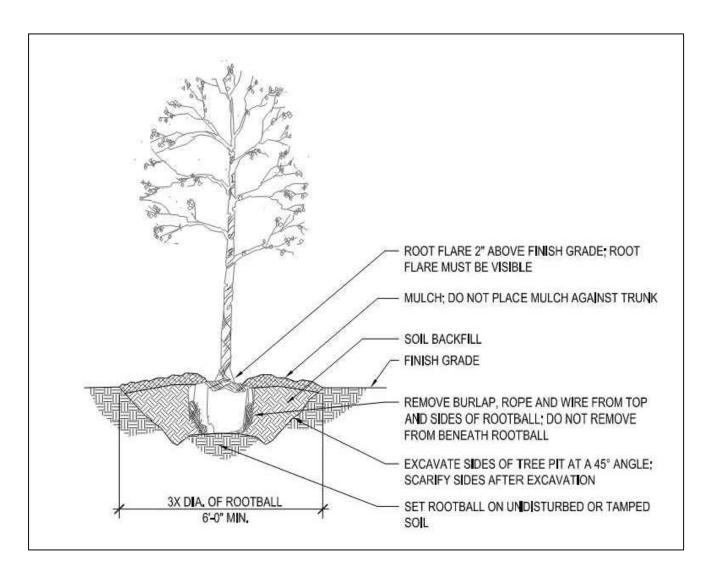
1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST (FEBRUARY 2017) EDITION OF THE KANSAS CITY METROPOLITAN CHAPTER OF APWA SECTION 2200 AS AMENDED BY PROJECT SPECIFICATIONS.

> ASPHALT SURFACE COURSE - APWA TYPE 3-01 ASPHALT BASE COURSE - APWA TYPE 2-01

- 2. RECYCLED MIXES MEETING APWA SPECIFICATIONS ARE ACCEPTABLE FOR BOTH BASE AND SURFACE COURSES.
- 3. ONSITE CLAY SOILS SHALL BE STABILIZED WITH 5% PORTLAND CEMENT AS OUTLINED IN THE GEOTECHNICAL REPORT

ASPHALT MILL AND OVERLAY NOTES:

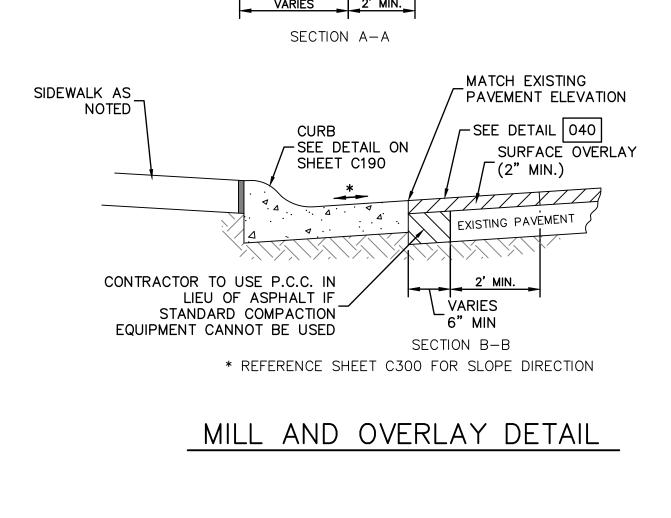
PAVING SHALL BE EDGE MILLED IN ACCORDANCE WITH APWA TECHNICAL SPECIFICATIONS SECTION 2207.



TREE PLANTING DETAIL

EROSION CONTROL NOTES:

- PROPERTY LINE IS LIMIT OF DISTURBANCE EXCEPT AS SHOWN.
- 2. ALL DISTURBED AREAS SHALL BE STABILIZED WITH VEGETATION WITHIN 14 DAYS OF COMPLETION OF WORK. AS WORK PROGRESSES AROUND SITE, SURROUNDING AREAS SHALL BE TEMPORARILY SEEDED.
- 3. EROSION CONTROLS SHALL BE INSTALLED AND MAINTAINED BY CONTRACTOR.
- 4. TEMPORARY SEDIMENT FENCE OR WATTLES TO REMAIN UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
- 5. MUD AND DEBRIS SHALL BE CLEANED UP AT THE CONCLUSION OF EACH WORKING DAY, OR AFTER EACH RAINFALL IF SILT IS PRESENT.
- 6. INSPECTION, MAINTENANCE AND REPAIR OF EROSION CONTROL DEVICES SHALL BE ONGOING THROUGHOUT THE LIFE OF CONSTRUCTION TO KEEP THE DEVICES IN OPERABLE CONDITION AT ALL TIMES. ADDITIONAL MEASURES SHALL BE INSTALLED AS REQUIRED BY ACTUAL FIELD CONDITIONS AND/OR OWNER'S INSPECTION AGENCY.



SURFACE OVERLAY

(2" MIN.)

EXISTING PAVEMENT

PERMANENT SEEDING:

DISTURBED AREAS ARE TO BE SEEDED AS NOTED. APPLICATION OF SEED SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SEED MIX TO BE USED SHALL BE IN ACCORDANCE WITH APWA SPECIFICATION 2401.2 A1, SEEDING MIX # (TURF AREAS) WITH THE FOLLOWING EXCEPTIONS. BLEND SHALL BE 90% FESCUE (THREEPART) AND 10% KENTUCKY BLUEGRASS.

PREPARATION OF THE SEED BED

UNLESS NOTED OTHERWISE ON THE LANDSCAPE PLANS AND SPECIFICATIONS ALL DISTURBED AREAS SHALL BE PREPPED FOR SEEDING IN ACCORDANCE WITH KANSAS CITY METROPOLITAN CHAPTER OF APWA SPECIFICATIONS SECTION 2406. THE AREA TO BE SEEDED SHALL BE THOROUGHLY TILLED TO A DEPTH OF AT LEAST THREE (3) INCHES BY DISCING, HARROWING OR OTHER APPROVED METHODS UNTIL THE SOIL IS WELL PULVERIZED. AFTER COMPLETION OF THE TILLING OPERATION, THE SURFACE SHALL BE CLEARED OF ALL STONES, STUMPS, OR OTHER OBJECTS LARGER THAN 1-1/2 INCHES IN DIAMETER, AND OF ROOTS, WIRE, GRADE STAKES, AND OTHER OBJECTS THAT MIGHT HINDER MAINTENANCE OPERATIONS.

REFERENCE APWA SPECIFICATIONS SECTION 2401.3 FOR ADDITIONAL INFORMATION.

PLACEMENT OF SEED

SEEDING SHALL BE ACCOMPLISHED BY HYDROSEEDING. REFERENCE APWA SECTION 2404. CONSTRUCTION SHALL COMPLY WITH SECTION 2404.3.

CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE, PROTECTION AND REPAIR OF TEMPORARY AND PERMANENT SEED AREAS. COORDINATE PLACEMENT OF INTERMEDIATE EROSION CONTROL MEASURES AS REQUIRED TO REDUCE CONCENTRATED FLOWS FROM RUNOFF.

REFERENCE APWA SPECIFICATIONS SECTION 2401.3 FOR ADDITIONAL INFORMATION RELATED TO PREPERATION OF SEEC BED FERTILIZATION AND MAINTENANCE PERIOD.

FINAL ACCEPTANCE

MINIMUM, BUT NOT BE LIMITED TO:

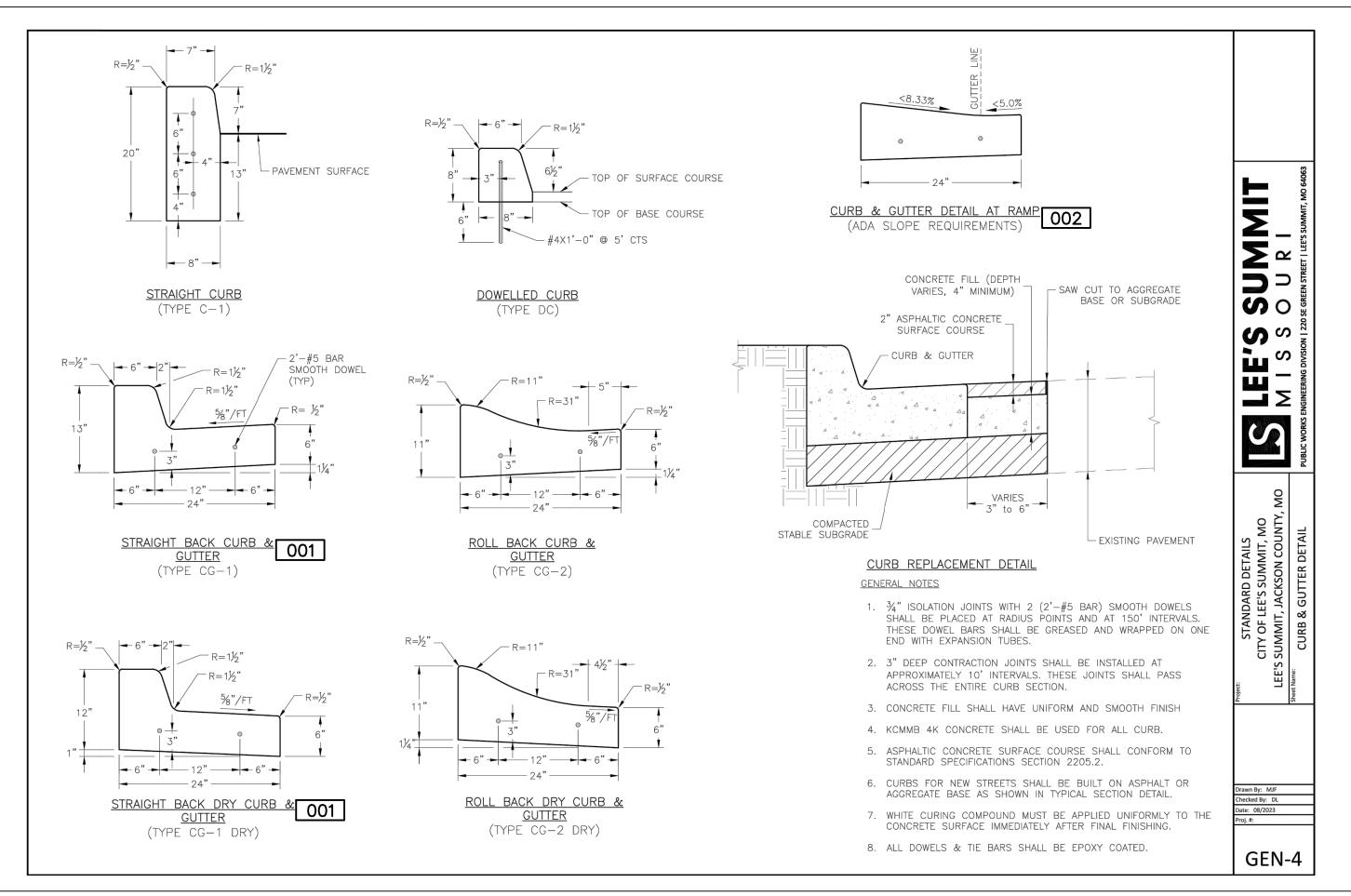
THE MDNR SITE DISTURBANCE PERMIT SHALL BE MAINTAINED IN AN "OPEN" STATUS UNTIL FINAL ACCEPTANCE IS PROVIDED BY THE OWNER IN ACCORDANCE WITH APWA SPECIFICATION SECTION 2400.6.

SEDIMENTATION AND EROSION CONTROL MEASURES: TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL INCLUDE AS A

1. TEMPORARY STRAW WATTLE WILL BE INSTALLED AS SHOWN ON THE DRAWING. THIS WILL SLOW RUNOFF VELOCITIES AND MINIMIZE TRANSFER OF SEDIMENT TO

PERMANENT SEDIMENTATION AND EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO:

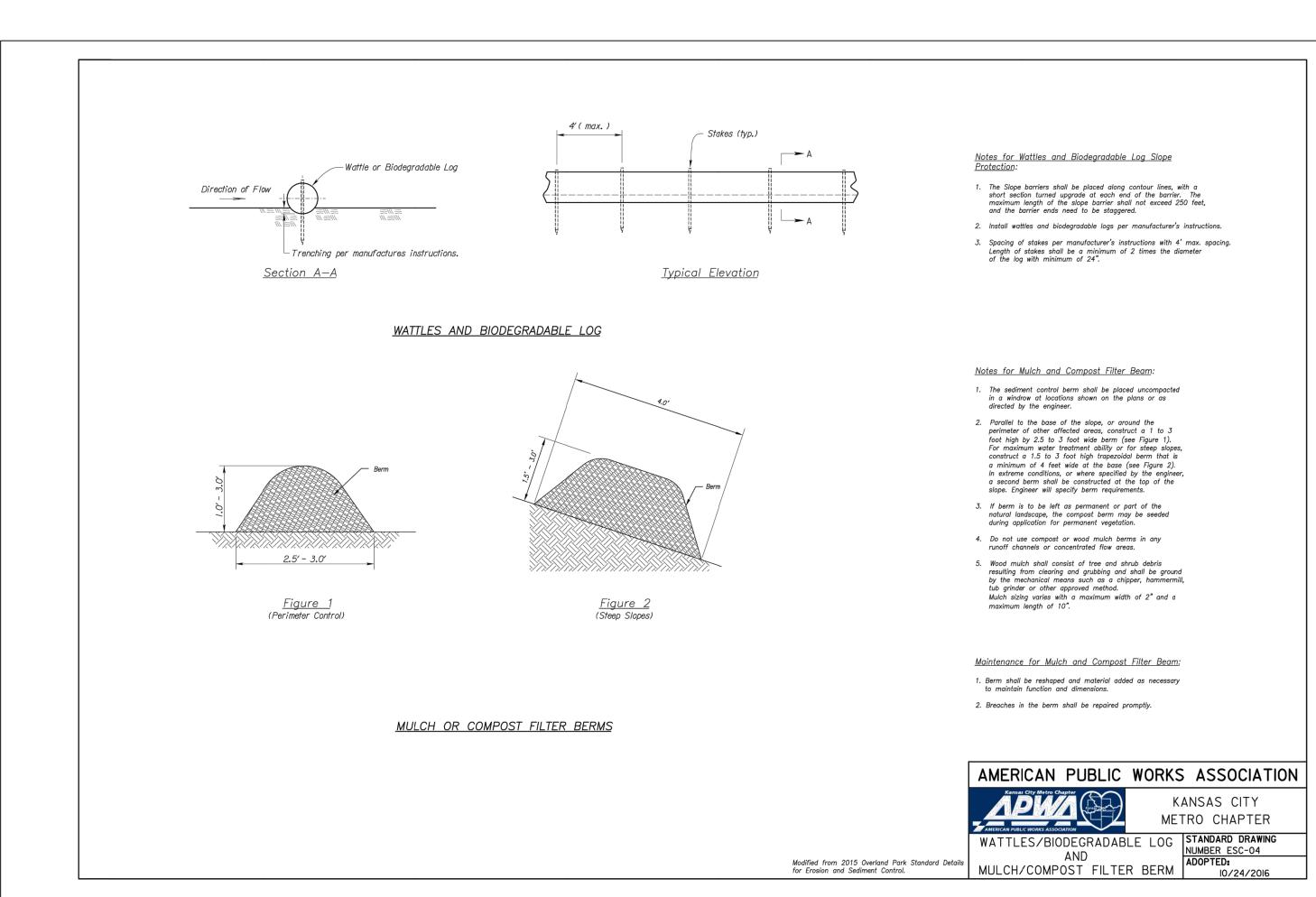
1. HYDROSEEDING OR LANDSCAPING OF ALL DISTURBED AREAS.

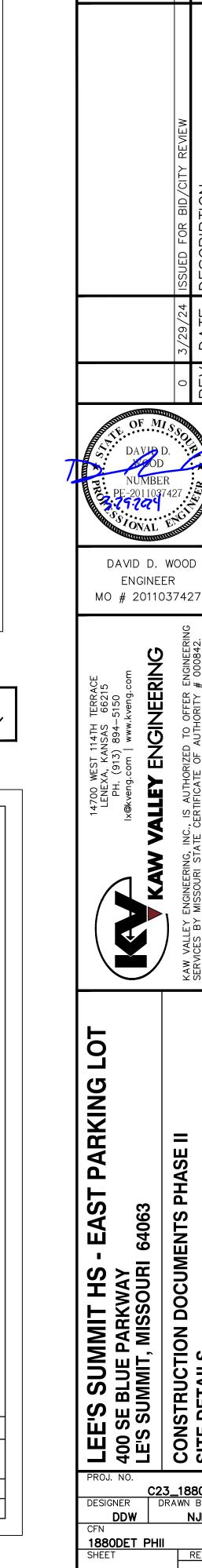


ADDITIONAL CURB & GUTTER NOTES;

1. ALL REINFORCING STEEL SHALL BE SUPPORTED ON FABRICATED STEEL BAR SUPPORTS @ 3'-0" MAXIMUM SPACING. 2. CURBS TO BE CONSTRUCTED ON MINIMUM 6 INCHES OF COMPACTED WELL GRADED BASE ROCK.

> PRELIMINARY PENDING FINAL DESIGN FOR BLUE PARKWAY

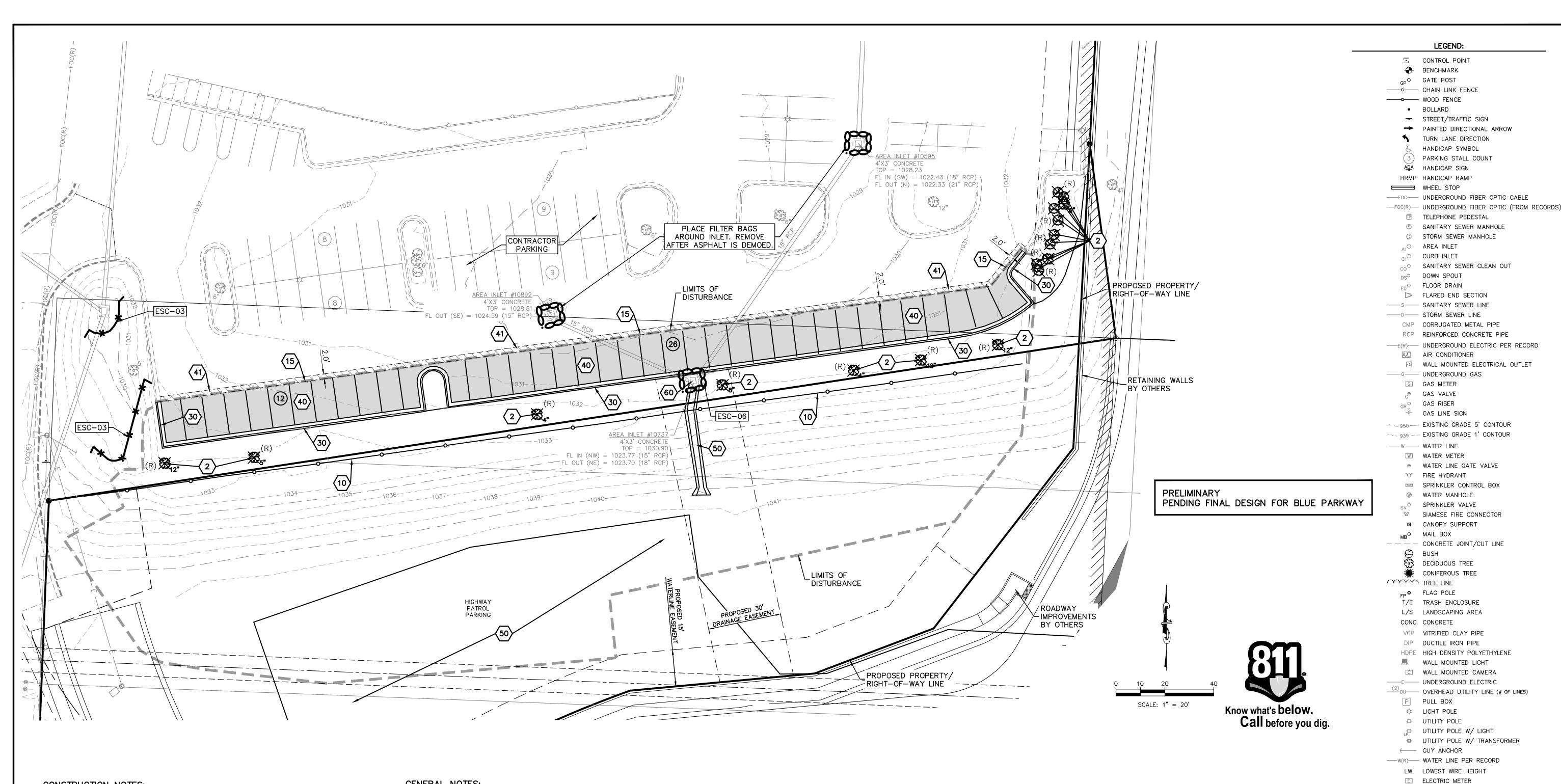




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CONSTRUCTION NOTES:

CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE ALL BUILDINGS, UTILITIES, PAVEMENT, FOUNDATIONS, FENCES, CURBS AND ALL OTHER STRUCTURES FROM WITHIN PROPERTY LINES EXCEPT AS DESIGNATED "TO REMAIN" OR "TO BE REMOVED BY OTHERS", IN ACCORDANCE WITH THE SPECIFICATIONS AND THE CITY OF LEE'S SUMMIT AND STATE REGULATIONS. SITE CONDITIONS SHOWN WERE AS OF FEBRUARY 19, 2024.

2. ALL PAVING WITHIN PROPERTY TO BE REMOVED AND DISPOSED OF IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.

THIS EROSION CONTROL PLAN HAS BEEN PLACED IN THE CITY'S FILE FOR THIS PROJECT. THE PLAN APPEARS TO FULFILL THE MISSOURI DEPARTMENT OF NATURAL RESOURCES TECHNICAL CRITERIA AND THE CRITERIA FOR EROSION CONTROL AND REQUIREMENTS OF THE CITY. I UNDERSTAND THAT ADDITIONAL EROSION CONTROL MEASURES MAY BE NEEDED IF UNFORESEEN EROSION PROBLEMS ARISE OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL RUN WITH THE LAND AND BE THE OBLIGATION OF THE LAND OWNER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED OR VOIDED.

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

GENERAL NOTES:

1. REFER TO SHEET C190 FOR PERMANENT SEEDING/STABILIZATION REQUIREMENTS.

- 2. REFER TO APWA STANDARD ESC DRAWINGS FOR ADDITIONAL
- DETAILS AND SPECIFICATIONS.
- 3. CONTRACTOR SHALL USE 291 ENTRANCE TO THE NORTH TO ACCESS THE SITE.

<u>DESCRIPTION OF WORK - PRE CONSTRUCTION AND PHASE I:</u>

- OBTAIN REVIEW COMPLIANCE AND APPLICABLE PERMITS.
- HOLD PRE—CONSTRUCTION CONFERENCE. • INSTALL PERIMETER EROSION CONTROL MEASURES, INLET PROTECTION
- DOWNSTREAM OF DEMOLITION AREAS AND TREE PROTECTION FENCING WITHIN CLEARING LIMITS AS APPLICABLE.
- SAWCUT AND REMOVE PAVEMENT, FLATWORK AND CURBING AT PERIMETER TIE-INS. COORDINATE WORK WITH LEE'S SUMMIT SCHOOL DISTRICT (LSSD). MAINTAIN PEDESTRIAN AND VEHICULAR TRAFFIC ACCESS TO CAMPUS AS DIRECTED BY LSSD.
- PROVIDE STABILIZED CONSTRUCTION INTO WORK AREA AS REQUIRED.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF

POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

FOR THE FOLLOWING DETAILS REFER TO THE KC METROPOLITAN CHAPTER ADOPTED DIVISION III APWA STANDARD DRAWINGS FOR EROSION AND SEDIMENT CONTROL (2017 VERSION) ON SHEETS C190.

ESC-03 SEDIMENTATION FENCE

DEMOLITION

- 1 TO REMAIN.
- 2 TREES/BUSHES/LANDSCAPING TO BE REMOVED BY OTHERS.
- 10 FENCE AND FENCE POST TO BE REMOVED BY OTHERS.
- SAW CUT LINE (FOR CONCRETE SAW CUT AT NEAREST CONTROL JOINT. FOR ASPHALT SAW CUT MINIMUM OF 6" FROM NEW CURB LINE). SEE SHEET C100 FOR LIMITS.
- CONTRACTOR TO REMOVE CONCRETE CURBS TO CONSTRUCT IMPROVEMENTS. SEE SHEET C100 FOR LIMITS.
- 40 CONTRACTOR TO REMOVE ASPHALT PAVING AS REQUIRED TO CONSTRUCT IMPROVEMENTS.
- CONTRACTOR TO MILL ASPHALT SURFACE, MINIMUM 2' OUTSIDE ASPHALT REMOVAL. REFER TO
- SHEET C100 FOR LIMITS. REFER TO SECTION A-A ON SHEET C190. 50 CONCRETE FLUME AND PARKING AREA TO BE REMOVED BY OTHERS
- 60 CONTRACTOR TO MODIFY STORM STRUCTURE.

EROSION & PROPOSED IMPROVEMENTS LEGEND:

————1218———— EXISTING GROUND CONTOUR (1' INTERVALS) 1218 PROPOSED FINISHED GROUND CONTOUR (1' INTERVALS) • GRAVEL FILTER BAGS

INDICATES TREE/SHRUB TO BE REMOVED

SEDIMENTATION FENCE (ESC-03) LIMITS OF DISTURBANCE

UNDERGROUND ELECTRIC PEDESTAL

ASPHALT PAVING TO BE REMOVED

CONCRETE PAVING/SIDEWALKS TO BE REMOVED

——G(R)—— UNDERGROUND GAS PER RECORD

——S(R)—— SANITARY SEWER LINE PER RECORD

——D(R)—— STORM SEWER LINE PER RECORD

■ SPEAKER BOX

BBC BREAKER BOX

AREA TO BE MILLED

LEGEND:

E'S SUMMIT SE BLUE PARKY SUMMIT, MISSO LEES LEIS C23_1880
DESIGNER DRAWN BY DDW 880DEMO PHII

C200

DOCUMI

ON & E

DAVID D. WOOD

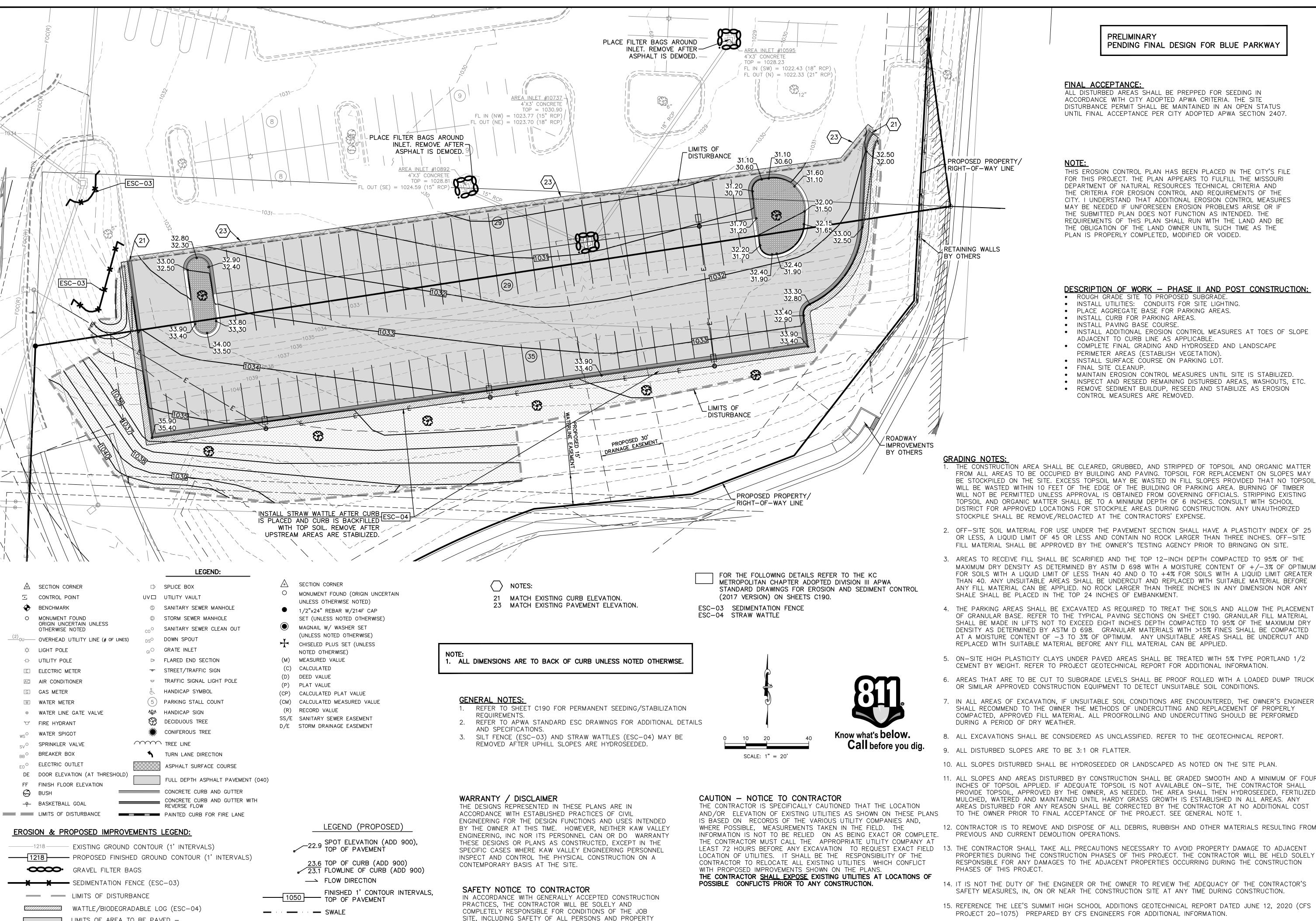
ENGINEER

MO # 2011037427

4700 LENE

ARKIN

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT

WORKING HOURS.

WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL

PRELIMINARY PENDING FINAL DESIGN FOR BLUE PARKWAY

FINAL ACCEPTANCE:

ALL DISTURBED AREAS SHALL BE PREPPED FOR SEEDING IN ACCORDANCE WITH CITY ADOPTED APWA CRITERIA. THE SITE DISTURBANCE PERMIT SHALL BE MAINTAINED IN AN OPEN STATUS UNTIL FINAL ACCEPTANCE PER CITY ADOPTED APWA SECTION 2407

THIS EROSION CONTROL PLAN HAS BEEN PLACED IN THE CITY'S FILE FOR THIS PROJECT. THE PLAN APPEARS TO FULFILL THE MISSOURI DEPARTMENT OF NATURAL RESOURCES TECHNICAL CRITERIA AND THE CRITERIA FOR EROSION CONTROL AND REQUIREMENTS OF THE CITY. I UNDERSTAND THAT ADDITIONAL EROSION CONTROL MEASURES MAY BE NEEDED IF UNFORESEEN EROSION PROBLEMS ARISE OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL RUN WITH THE LAND AND BE THE OBLIGATION OF THE LAND OWNER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED OR VOIDED.

<u>DESCRIPTION OF WORK - PHASE II AND POST CONSTRUCTION:</u>

- ROUGH GRADE SITE TO PROPOSED SUBGRADE
- INSTALL UTILITIES: CONDUITS FOR SITE LIGHTING. • PLACE AGGREGATE BASE FOR PARKING AREAS.
- INSTALL CURB FOR PARKING AREAS.
- INSTALL PAVING BASE COURSE.
- INSTALL ADDITIONAL EROSION CONTROL MEASURES AT TOES OF SLOPE ADJACENT TO CURB LINE AS APPLICABLE.
- COMPLETE FINAL GRADING AND HYDROSEED AND LANDSCAPE
- PERIMETER AREAS (ESTABLISH VEGETATION).
- INSTALL SURFACE COURSE ON PARKING LOT
- FINAL SITE CLEANUP
- MAINTAIN EROSION CONTROL MEASURES UNTIL SITE IS STABILIZED.
- INSPECT AND RESEED REMAINING DISTURBED AREAS, WASHOUTS, ETC. REMOVE SEDIMENT BUILDUP, RESEED AND STABILIZE AS EROSION
- CONTROL MEASURES ARE REMOVED.

THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON THE SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES. CONSULT WITH SCHOOL DISTRICT FOR APPROVED LOCATIONS FOR STOCKPILE AREAS DURING CONSTRUCTION. ANY UNAUTHORIZED STOCKPILE SHALL BE REMOVE/RELOACTED AT THE CONTRACTORS' EXPENSE

2. OFF-SITE SOIL MATERIAL FOR USE UNDER THE PAVEMENT SECTION SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN THREE INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER'S TESTING AGENCY PRIOR TO BRINGING ON SITE.

3. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 12-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 WITH A MOISTURE CONTENT OF $\pm 1/-3\%$ OF OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF LESS THAN 40 AND 0 TO +4% FOR SOILS WITH A LIQUID LIMIT GREATER THAN 40. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 24 INCHES OF EMBANKMENT.

4. THE PARKING AREAS SHALL BE EXCAVATED AS REQUIRED TO TREAT THE SOILS AND ALLOW THE PLACEMENT OF GRANULAR BASE. REFER TO THE TYPICAL PAVING SECTIONS ON SHEET C190. GRANULAR FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698. GRANULAR MATERIALS WITH >15% FINES SHALL BE COMPACTED AT A MOISTURE CONTENT OF -3 TO 3% OF OPTIMUM. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.

5. ON-SITE HIGH PLASTICITY CLAYS UNDER PAVED AREAS SHALL BE TREATED WITH 5% TYPE PORTLAND 1/2 CEMENT BY WEIGHT. REFER TO PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.

7. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED. THE OWNER'S ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.

8. ALL EXCAVATIONS SHALL BE CONSIDERED AS UNCLASSIFIED. REFER TO THE GEOTECHNICAL REPORT.

9. ALL DISTURBED SLOPES ARE TO BE 3:1 OR FLATTER.

10. ALL SLOPES DISTURBED SHALL BE HYDROSEEDED OR LANDSCAPED AS NOTED ON THE SITE PLAN.

11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND A MINIMUM OF FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER. AS NEEDED. THE AREA SHALL THEN HYDROSEEDED, FERTILIZED, MULCHED. WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. SEE GENERAL NOTE 1.

12. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.

13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

14. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.

15. REFERENCE THE LEE'S SUMMIT HIGH SCHOOL ADDITIONS GEOTECHNICAL REPORT DATED JUNE 12, 2020 (CFS PROJECT 20-1075) PREPARED BY CFS ENGINEERS FOR ADDITIONAL INFORMATION.

DAVID D. WOOD ENGINEER MO # 2011037427

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PHASE L PLAN

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DOCUMENTS | HS WAY OUR E'S SUMMIT | SE BLUE PARKW SUMMIT, MISSO TION TRUC-S LEE 400 S LEIS

DESIGNER DRAWN E DDW 1880GP PHII

LP LOW POINT

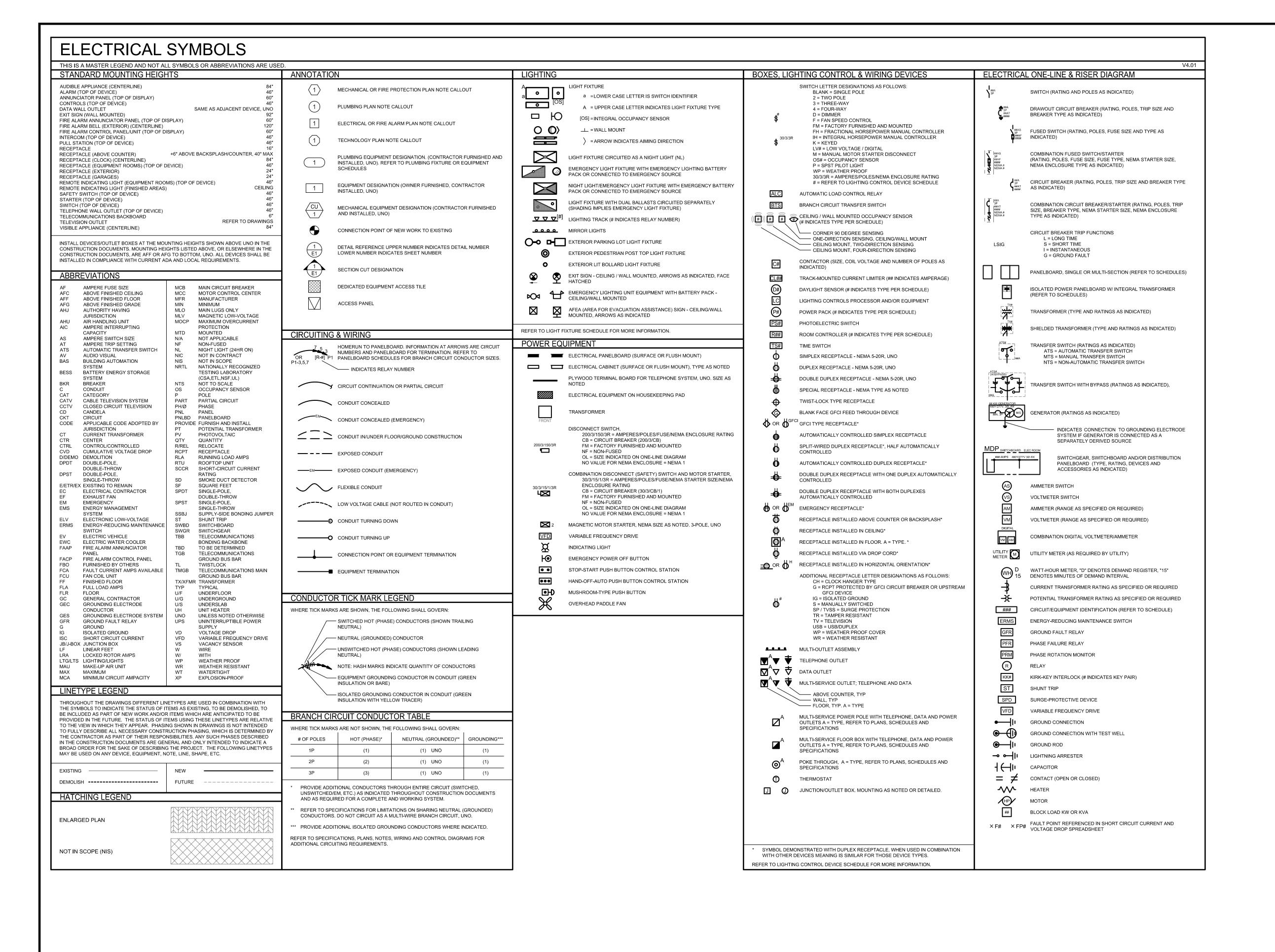
HP HIGH POINT

LOC LIP OF CURB

LIMITS OF AREA TO BE PAVED

REFERENCE GRADING PLAN FOR

CONSTRUCTION SPECIFICATIONS



APPLICABLE ELECTRICAL CODES:

NOTE: PROJECT IS DESIGNED IN COMPLIANCE WITH THE FOLLOWING CODES. THIS IS NOT AN EXHAUSTIVE LIST. PROJECT SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS AND LOCAL REQUIREMENTS. REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE, (NFPA 70)

BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE

SITE ELECTRICAL GENERAL NOTES

- EXISTING CONDITIONS WERE TAKEN FROM ORIGINAL DRAWINGS AND SITE VISITS AND MAY NOT REFLECT ACTUAL "AS-BUILT" CONDITIONS. VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BID. COORDINATE NEW AND DEMOLITION WORK WITH ALL OTHER TRADES AND EXISTING CONDITIONS.
- NOTIFY ENGINEER AND OWNER, AS APPLICABLE, IF ANY DANGEROUS CONDITIONS EXIST ON JOB SITE BEFORE ANY DEMOLITION OR REMODEL WORK BEGINS.
- 3. COORDINATE ANY NECESSARY POWER OUTAGES WITH THE OWNER AND MAKE EVERY ATTEMPT TO SCHEDULE DURING NON-BUSINESS OR OFF-PEAK BUSINESS HOURS TO MINIMIZE DISRUPTION TO BUSINESS OPERATIONS. REQUESTS FOR ELECTRICAL SHUTDOWNS SHALL BE BROUGHT IN WRITING TO THE ATTENTION OF THE OWNER AT LEAST 7 DAYS IN ADVANCE. SHUTDOWNS SHALL NOT BE PERFORMED WITHOUT WRITTEN APPROVAL FROM THE OWNER.
- 4. FOR AREAS AND EQUIPMENT WITHIN THE SCOPE OF THIS SITE WORK: EXISTING ELECTRICAL EQUIPMENT AND CIRCUITRY MAY BE REUSED IF IN GOOD CONDITION AND NEW DESIGN REQUIREMENTS CAN BE MET; OTHERWISE REPLACE.

ELECTRICAL SUPPLEMENTAL SPECIFICATIONS:

- 1. PRIOR TO SUBMITTING BID, VISIT THE JOB SITE AND BECOME FULLY ACQUAINTED WITH THE EXISTING CONDITIONS. AS APPLICABLE, REVIEW THE OWNER CRITERIA, GENERAL NOTES, OTHER TRADE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS. NOTIFY ARCHITECT AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO SUBMITTING BID.
- 2. ALL WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES AS WELL AS APPLICABLE INDUSTRY STANDARDS. ALL EQUIPMENT SHALL BEAR LABELS FOR THE USE INTENDED BY AN AHJ ACCEPTED NATIONALLY RECOGNIZED TESTING LABORATORY (NRTL), SUCH AS UL OR ETL. THE FINAL ELECTRICAL INSTALLATION OF THE FACILITY OCCUPIED BY OWNER SHALL BE FREE FROM ELECTRICAL DEFECTS TO THE SATISFACTION OF THE AHJ, OWNER, ARCHITECT AND ENGINEER.
- COORDINATE FINAL LOCATION AND INSTALLATION REQUIREMENTS OF ALL LIGHT FIXTURES, ELECTRICAL EQUIPMENT AND ELECTRICAL DEVICES WITH CIVEL DRAWINGS, EXISTING CONDITIONS AND OTHER TRADES PRIOR TO ROUGH-IN. PROVIDE ALL NECESSARY DEVICES, CORDS, PLUGS, DISCONNECTS AND FINAL CONNECTIONS TO ELECTRICAL EQUIPMENT FOR PROPER OPERATION IN ACCORDANCE WITH CODE, OWNER AND MANUFACTURER REQUIREMENTS.
 ELECTRICAL DRAWINGS ARE DIAGRAMMATIC/SCHEMATIC IN NATURE
- AND REPRESENT THE GENERAL SCOPE OF WORK. IT IS NOT WITHIN THE SCOPE OF THE ELECTRICAL DRAWINGS TO SHOW ALL NECESSARY RACEWAY ROUTING, BENDS, OFFSETS, PULL BOXES AND OBSTRUCTIONS. CONTRACTOR SHALL COORDINATE THE FINAL LOCATION OF EQUIPMENT AND WIRING DEVICES WITH OTHER TRADES PRIOR TO INSTALLATION AND INSTALL ALL WORK TO CONFORM TO THE OWNER REQUIREMENTS.

 5. ALL CONDUCTOR AND CONDUIT LENGTHS SHOWN IN THESE DESIGN
- CALCULATIONS BY THE DESIGN PROFESSIONAL, UNLESS NOTED OTHERWISE. LENGTHS SHOWN SHALL NOT BE USED TO ASSIST IN THE BIDDING TAKEOFF PROCESS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MATERIAL QUANTITIES REQUIRED TO BID AND CONSTRUCT THE COMPLETE PROJECT.

 6 PROVIDE PROPER FIRE PROCEING AND SEALANT FOR PENETRATIONS.

DOCUMENTS ARE INTENDED SOLELY FOR USE IN THE DESIGN.

- PROVIDE PROPER FIRE PROOFING AND SEALANT FOR PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. THE FIRE STOPPING METHOD, MATERIAL AND ITS APPLICATION SHALL BE NRTL LISTED, CODE COMPLIANT AND APPROVED BY AHJ.
- 7. ALL EMPTY CONDUIT/RACEWAY SHALL BE INSTALLED WITH PULL STRINGS. TERMINATE CONDUIT STUB-UP WITH A NYLON BUSHING.
- 8. EXPOSED CONDUIT/RACEWAY SHALL BE PAINTED TO MATCH ADJACENT SURFACE, UNLESS NOTED OTHERWISE. COORDINATE REQUIREMENTS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- 9. CONDUITS/RACEWAYS SHALL BE CONCEALED FROM VIEW WHEREVER PRACTICABLE, UNLESS NOTED OTHERWISE. DO NOT ROUTE CONDUITS ACROSS SKYLIGHTS, ACCESS PANELS, HATCHED TILES, HVAC DIFFUSERS, OR EQUIPMENT WORKING CLEARANCE SPACE. ROUTE ALL EXPOSED NON-FLEXIBLE CONDUITS TIGHT TO STRUCTURE, PARALLEL TO BUILDING LINES AND IN STRUT OR CABLE/PIPE TRAY WHERE PRACTICABLE. INSTALL CONDUITS PLUMB/ LEVEL WHERE EXPOSED TO VIEW. COORDINATE RACEWAY ROUTING AND INSTALLATION WITH OTHER TRADES PRIOR TO ROUGH-IN.
- 10. MULTIWIRE BRANCH CIRCUITS ARE NOT ALLOWED, UNLESS NOTED OTHERWISE.
- 11. PROVIDE INSULATED EQUIPMENT GROUNDING CONDUCTOR FOR ALL CIRCUITS, UNLESS NOTED OTHERWISE.

HENDERSON ENGINEERS 8345 LENEXA DRIVE, SUITE 300 LENEXA, KS 66214 TEL 913.742.5000 FAX 913.742.5001

WWW.HENDERSONENGINEERS.COM

2450001728

MO. CORPORATE NUMBER: E-556D

10/31/24

DOUGLAS M. EVERHART

NUMBER
PE-2019007648

DOUGLAS M. EVERHART
LICENSE # PE-2019007648

PROFESSIONAL SEAL

REVISIONS

 JOB NO:
 2450001728

 DATE:
 03-08-24

 CHECKED BY:
 OD

 DRAWN BY:
 ASM

GENERAL NOTES

AND LEGEND

F-01



HENDERSON ENGINEERS

8345 LENEXA DRIVE, SUITE 300 LENEXA, KS 66214 TEL 913.742.5000 FAX 913.742.5001 WWW.HENDERSONENGINEERS.COM

2450001728 MO. CORPORATE NUMBER: E-556D 10/31/24

SITE ELECTRICAL GENERAL NOTES:

1. REFER TO E-101 FOR SITE ELECTRICAL GENERAL NOTES.

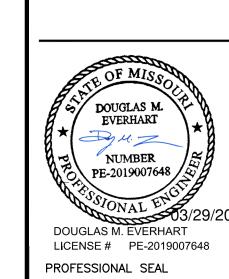
REFER TO E-101 FOR SITE LIGHTING VOLTAGE DROP CALCULATIONS.

- 1 EXTEND UNDERGROUND CONDUIT FROM EXISTING LIGHT POLE FOR CONNECTION TO NEW LIGHT AS INDICATED.

PHASE 2 ELECTRICAL PLAN NOTES:

2 REINSTALL BANNERS AND BANNER ARMS REMOVED FROM PREVIOUSLY REMOVED LIGHT POLES TO MATCH EXISTING LIGHT POLE BANNER HEIGHT.

PROVIDE NEW BANNER ARMS ON LIGHT FIXTURES TO MATCH ADJACENT FIXTURES. COORDINATE EXACT REQUIREMENTS WITH OWNER PRIOR TO ORDERING.

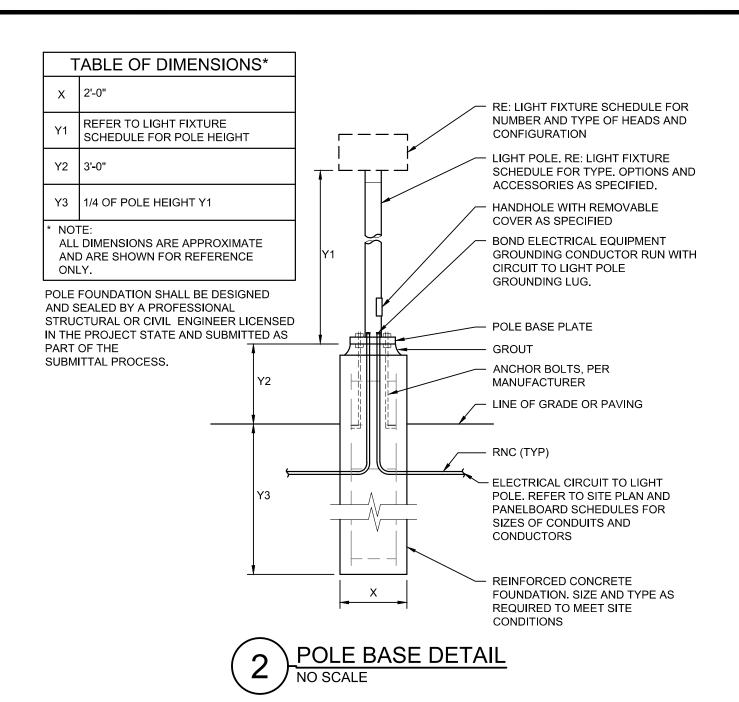


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REVISIONS

JOB NO:	245000172
DATE:	03-08-2
CHECKED BY:	0

ELECTRICAL SITE PLAN PHASE 2



	LIGHT FIXTURE SCHEDULE													
TYPE	MANUFACTURER	SERIES / MODEL	APPROVED ALTERNATES	3		SOUR	CE		CONTROL	VOLTAGE	INPUT WATTS	INPUT	DESCRIPTION	NOTES
				QTY	TYPE	CRI	CCT	LUMENS	TYPE			VA		
SR4	LUMARK	PREVAIL PRV-C60-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	1	LED	70	4000K	20,000	WRELESS	277	153	158	PROVIDE FIXTURE WITH STANDARD FINISH TO MATCH ADJACENT LIGHTS AND WAVELINX SENSOR CONFIGURED TO INTERFACE WITH EXISTING SITE LIGHTING CONTROL SYSTEM. PROVIDE 20' TALL 5" ROUND STRAIGHT POLE WITH STANDARD FINISH TO MATCH ADJACENT FIXTURES.	1,2
SR4E	LUMARK	PREVAIL PRV-C40-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	1	LED	70	4000K	20,000	WIRELESS	277	153	158	EXISTING TYPE 'SR4' TO BE REUSED. SHOWN FOR REFRENCE ONLY.	
SR42	LUMARK	PREVAIL PRV-C40-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	2	LED	70	4000K	20,000	WRELESS	277	306	316	SIMILAR TO TYPE 'SR4' ONLY WITH (2) FIXTURE HEADS AT 180 DEGREES.	1,2
SR4B	LUMARK	PREVAIL PRV-C40-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	1	LED	70	4000K	20,000	WRELESS	277	153	158	SIMILAR TO TYPE 'SR4' ONLY WITH BOLT PATTERN COORDINATED WITH OTHERS AND INCLUDING INDIVIDUAL SETUP OF WIRELESS CONTROL AND INTEGRATION TO ACCOMMODATE CONSTRUCTION SCHEDULE	1,2
SR42L	LUMARK	PREVAIL PRV-C40-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	2	LED	70	4000K	20,000	WRELESS	277	306	316	SIMILAR TO TYPE 'SR42' ONLY WITH 18' TALL POLE.	1,2
SS4	LUMARK	PREVAIL PRV-C40-D-UNV-T4-SA-XX ZW-SWPD5BZ	(NONE)	1	LED	70	4000K	20,000	WRELESS	277	153	158	PROVIDE FIXTURE WITH STANDARD FINISH TO MATCH ADJACENT LIGHTS AND WAVELINX SENSOR CONFIGURED TO INTERFACE WITH EXISTING SITE LIGHTING CONTROL SYSTEM. PROVIDE 22' TALL 4" SQUARE STRAIGHT POLE WITH VIBRATION DAMPENER AND STANDARD FINISH TO MATCH ADJACENT FIXTURES.	1,2

GENERAL NOTES:

A. REFER TO LIGHT FIXTURE SCHEDULE GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

1. DUE TO AESTHETIC OR PERFORMANCE CRITERIA, SPECIFIED MANUFACTURER SHALL BE THE ONLY MANUFACTURER ALLOWED TO BID UNLESS OTHERWISE BY ENGINEER.

2. PROVIDE WIRELESS CONTROL INTERFACE COMPATIBLE WITH EXISTING COOPER WAVELINX SITE LIGHTING CONTROL SYSTEM. PROVIDE INTEGRATION AND PROGRAMMING AS NEEDED TO CONTROL NEW LIGHTS WITH EXISTING SYSTEM.

TO PAD MOUNT SWITCH 'MVS4' TRANSFORMER MV-TX-A 1750KVA PAD MOUNT 12.47 KV 3Ø DELTA PRI 208Y/120V, 3Ø, 4W SEC NO NEW WORK. SHOWN FOR REFERENCE ONLY AIC RATING: 65KAIC AIC RATED: FULLY RATED LOCATION: ELEC ROOM LINESIDE CONNECTORS: MECHANICAL MSB-A2 (ETR) SERVICE ENTRANCE RATED 800 AMPS 480Y/277V 3Ø 4W DIGITAL VM AM TO GROUND BAR AT MAIN TELEPHONE BOARD (TTB) ← TO METAL IN-GROUND SUPPORT STRUCTURES -TO METAL UNDERGROUND WATER PIPING S TO BULDING FOOTING (UFER) TO GROUND ROD(S) -75 KVA 480V 3Ø DELTA 208Y/120V 3Ø 4W

LIGHT FIXTURE SCHEDULE GENERAL NOTES:

- ALL LIGHT FIXTURES AND RELATED COMPONENTS SHALL BE PROVIDED BY THE CONTRACTOR, UNLESS NOTED OTHERWISE.
- 2. THE PARTY SUPPLYING THE LIGHT FIXTURES IS RESPONSIBLE FOR SUPPLYING THE PROPER QUANTITY OF LIGHT FIXTURES.
- 3. COORDINATE WITH OWNER TO RECEIVE (1) EXISTING 'SR4' HEAD AND (2) 20 FOOT ROUND POLES FROM OWNERS ATTIC STOCK TO BE USED IN PHASE-1 OF THIS PROJECT. INSPECT AND CLEAN EXISTING EQUIPMENT AND NOTIFY OWNER OF ANY DEFECTS FOUND PRIOR TO INSTALLATION. PROVIDE NEW POLE BASE COVERS, MOUNTING ARMS, AND OTHER ACCESSORIES NEEDED TO MATCH NEW INSTALLATIONS.

LIGHT FIXTURE SCHEDULE SUPPLEMENTAL SPECIFICATIONS:

- 1. CATALOG NUMBERS SHALL NOT BE CONSIDERED COMPLETE AND MATERIAL SHALL NOT BE ORDERED BY MANUFACTURER AND CATALOG NUMBERS ONLY. FIRST READ THE COMPLETE DESCRIPTION, NOTES AND SPECIFICATIONS IN CONJUNCTION WITH THE CATALOG NUMBER TO DETERMINE THE MATERIAL AND ACCESSORIES TO BE ORDERED. THE MANUFACTURERS LISTED ARE THE BASIS FOR THE DESIGN.
- FOR SUBSTITUTIONS: PROVIDE PHOTOMETRIC CALCULATIONS AND OTHER NECESSARY INFORMATION FOR ENGINEER REVIEW. REFER TO SPECIFICATIONS FOR MORE INFORMATION.

	BUS MAIN VOL7	NELBOARD: HA12 (E' AMPS: 250A I SIZE/TYPE: MLO TS/PHASE: 208Y/120V, 3PH, 4W TION: 1	MOU SER\	RATING NTING /ES: ATION:	SU BL	JRFAC DG A L	E .TG	RATED	2262	LINE-SIDE LUGS: MECHANIC EQUIPMENT GROUND BI							
	CKT	DESCRIPTION	VOLTAMPS/PH			-		Р	Р	BKR			TAMPS/PI		DESCRIPTION	СК	
L	NO.		А	В	С	NO.	AMP			AMP	NO.	Α	В	С		NC	
L	1		29,321						1						DEDICATED SPACE	2	
L	3	TXA12		24,553		EX	175	3	1						DEDICATED SPACE	4	
L	5				26,354				1						DEDICATED SPACE	6	
L	7								1	20	EX	40			EXT. LTG. + BSMNT FITNESS RM	8	
L	9	SPD				EX	30	3	1	20	EX		2,000		UH-7	10	
Ļ	11	1.70.0140000							1	20	EX			2,000	UH-8	12	
⊢		LTG RM 2263	1,000	4.000		EX	20	1	1	20	EX	1,000	4.000		EXISTING LOAD	14	
L		EXISTING LOAD		1,000	1 2 2 2	EX	20	1	1	20	EX		1,000		EXISTING LOAD	16	
Ł		EXISTING LOAD	1.000		1,000	EX	20	1	1	20					SPARE	18	
L		EXISTING LOAD	1,000	4.000		EX	20	7	7	20			4.000		SPARE	20	
L		EXT LTG EXT LTG SE PARKING LOT		1,000	0.040	EX	20	7	1	20	EX		1,000	4.000	LTG RM 2276,2280,2278	22	
ŀ		1	1.000		2,946	EX	20	7	7	20	EX	4.000		1,000	LTG RM 2275	24	
ŀ		EXISTING LOAD EXISTING LOAD	1,000	500		EX	20	7	7	20	EX	1,000	4.000		LTG RM 2258	26	
L		EXISTING LOAD		500	500	EX	20	7	7	20	EX		1,000	1.000	LTG RM 2262 EXISTING LOAD	28	
Ĺ		EXT LTG E PARKING LOT	1,421		500	EX 8	20	1	7	20	EX			1,000	SPARE	30	
<u> </u>	33		1,421			l °	20	1	1	20	EX				EQUIPPED SPACE	34	
╁	35	EQUIPPED SPACE				EX	20	1	1		EX				EQUIPPED SPACE	36	
ŀ	37	EQUIPPED SPACE				EX		1	1		EX				EQUIPPED SPACE	38	
ŀ	39	EQUIPPED SPACE				EX		1	1		EX				EQUIPPED SPACE	40	
ŀ		EQUIPPED SPACE				EX		1	1		EX				EQUIPPED SPACE	42	
Ļ	41	SUBTOTAL	00.740	07.050	00.000	1		}	}			0.040	5.000	4.000		42	
Ļ				27,053		<u></u>	T 5-		l. a			2,040	5,000	4,000	SUBTOTAL		
ŀ		TOTAL PHASE A - VA 35,782	LOAD	101	CONN. V		DF			AD FRIG			CONN. VA	DF			
ŀ		AMPS 298 TOTAL PHASE B - VA 32.053	COOLING		6,585		1.00				[F]			1.00			
ŀ		,	LIGHTING	r1	4,962		0			NAGE	[S]		3 000	1.25 1.00			
ŀ		AMPS 267 TOTAL PHASE C - VA 34.800			18,407 45,330		1.25 1.0/.5			CHEN ISTING	[K] [E]	************	3,000 5,001	1.00			
ŀ		· · · · · · · · · · · · · · · · · · ·			4,803				G MOTO			3,001	1.00	TOTAL DEMAND			
ŀ		TOTAL PNLBD - VA 102,635			4,000		1.00	1		OW W				1.25	101AL DEMAND 89,572 VA		
ŀ		,			15,509		1.00	1		G TRAC		1.00			249 A		
h	ווא אם	ELBOARD NOTES	IVIIO EQC	··· [<u>~</u>]	10,000	•	1.00	_	1-1	v.c				1.00	24370	1	
ľ	AIVI	EX-EXISTING		R - REU	SE EXST	GCKT	BRKF	R FC	R N	NEW/R	EVISE	ED LOAD					

ONE-LINE DIAGRAM SUPPLEMENTAL SPECIFICATIONS:

1. PROVIDE TYPED UPDATED CIRCUIT DIRECTORY FOR PANELBOARDS TO REFLECT ACTUAL AS-BUILT CONDITIONS. COORDINATE FINAL ROOM NAMES, NUMBERS AND DESCRIPTIONS WITH OWNER PRIOR TO COMPLETION. CIRCUIT DESCRIPTIONS SHALL BE PER CODE AND SHALL BE DISTINGUISHABLE FROM ALL OTHERS.

UMMIT SCHOOL DISTE SE PARKING LOT LIGHTIN

HENDERSON

8345 LENEXA DRIVE, SUITE 300 LENEXA, KS 66214

TEL 913.742.5000 FAX 913.742.5001

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MO. CORPORATE NUMBER: E-556D 10/31/24

ENGINEERS

DOUGLAS M. EVERHART DOUGLAS M. EVERHART NUMBER PE-2019007648 DOUGLAS M. EVERHART LICENSE # PE-2019007648
PROFESSIONAL SEAL
REVISIONS

 JOB NO:
 2450001728

 DATE:
 03-08-24

 CHECKED BY:
 OD

 DRAWN BY:
 ASM

ELECTRICAL SCHEDULES AND DETAILS

1 BUILDING A ONE-LINE DIAGRAM
SCALE: NO SCALE