

AN ORDINANCE APPROVING REZONING FROM DISTRICT RP-2 (PLANNED TWO-FAMILY RESIDENTIAL) AND CP-2 (PLANNED COMMUNITY COMMERCIAL) TO DISTRICT CP-2 AND PRELIMINARY DEVELOPMENT PLAN FOR PRO DEO YOUTH CENTER ON APPROXIMATELY 0.9 ACRES OF LAND LOCATED AT 107 SE 9TH ST AND 902 SE DOUGLAS STREET, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2023-335 submitted by Engineering Solutions, LLC., requesting approval of a rezoning from RP-2 (Planned Two-family Residential) and CP-2 (Planned Community Commercial District) to CP-2 and preliminary development plan on land located at 107 SE 9th St and 902 SE Douglas St was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a rezoning and preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the rezoning and preliminary development plan on February 8, 2024, and rendered a report to the City Council recommending that the rezoning and preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on March 5, 2024, and rendered a decision to approve the rezoning and preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a rezoning and preliminary development plan is hereby approved on the following described property:

ALL OF LOTS 9 AND 10, SOUTHVIEW HEIGHTS, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

CONTAINING 39,245 SQUARE FEET OR 0.9 ACRES, MORE OR LESS.

SECTION 2. That the following conditions of approval apply:

1. Development shall be in accordance with the preliminary development plan with a revision date of January 5, 2024.
2. Development shall be in accordance with the building elevations with an upload date of January 15, 2024.

SECTION 3. That rezoning of the property from RP-2 and CP-2 to CP-2 shall be as depicted on the rezoning exhibit appended hereto as Attachment A. Development shall be in accordance with the preliminary development plan set revision dated January 5, 2024, appended hereto as Attachment B; and, building elevations with an upload date of January 15, 2024, appended hereto as Attachment C.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 19th day of March, 2024.



W Baird
Mayor William A. Baird

ATTEST:

Deputy Stacy Lombardo
City Clerk ~~Trisha Fowler Arcuri~~

APPROVED by the Mayor of said city this 21st day of March, 2024.

W Baird
Mayor William A. Baird

ATTEST:

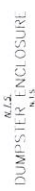
Deputy Stacy Lombardo
City Clerk ~~Trisha Fowler Arcuri~~

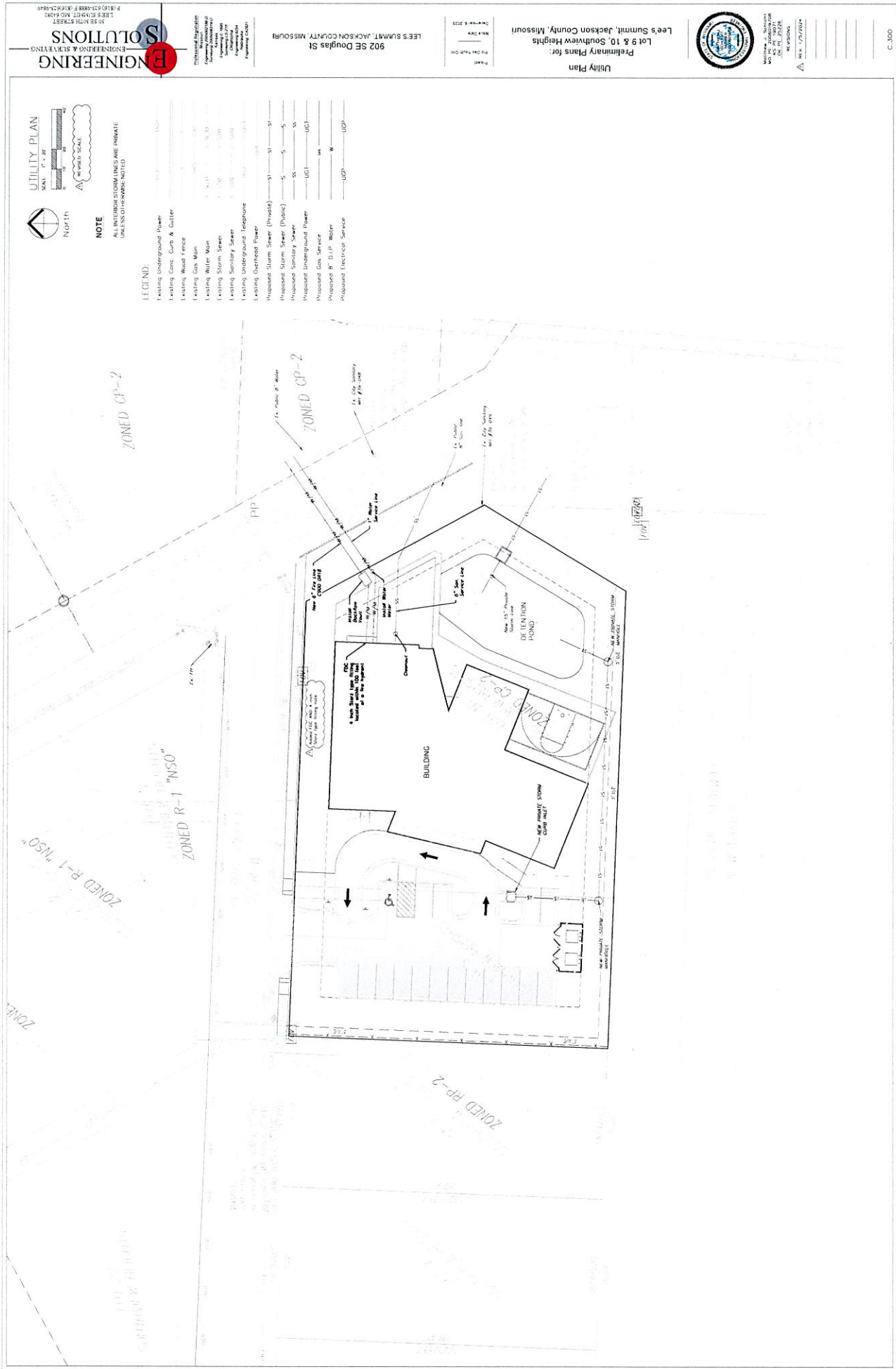
APPROVED AS TO FORM:

Brian W. Head
City Attorney Brian W. Head



C.100





Lee's Summit, Jackson County, Missouri
Preliminary Plans for
Lot 9 & 10, Southview Heights
Utility Plan

Project: 2023
Date: 10/10/23
Drawn: [Name]
Checked: [Name]

902 SE Douglas St
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
3015 NORTH STREET
LEE'S SUMMIT, MO 64083
P: 816.433.0888 F: 816.433.4440

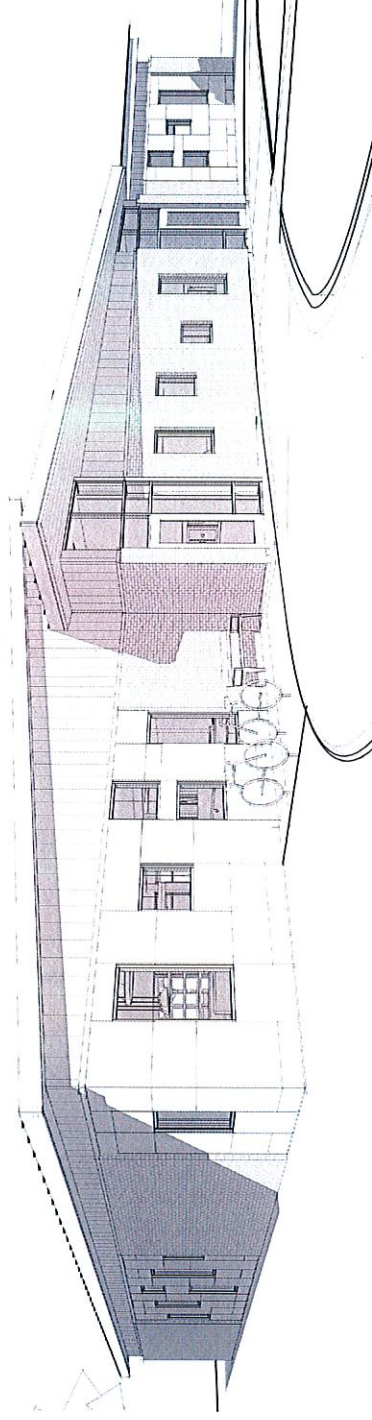
Pro Deo Youth Center

SE 9th St. and SE Douglas St.
Lee's Summit, MO

PRELIMINARY DEVELOPMENT

08 DEC 2023

COLLINS WEBB #: 23071



OWNER
PRO DEO YOUTH CENTER
214 NE CHIPMAN RD.
LEE'S SUMMIT, MO 64063
P: 816.225.0625

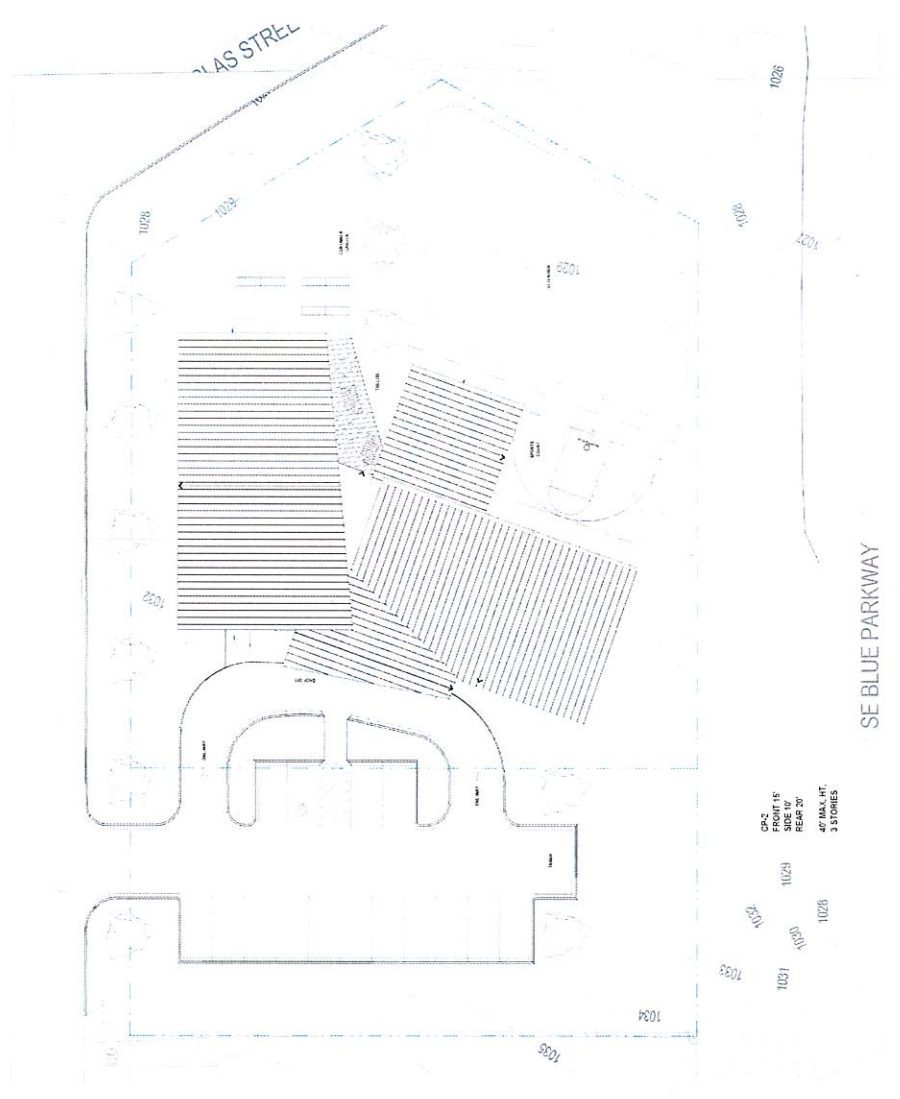
ARCHITECT
COLLINS WEBB ARCHITECTURE
13A SW 3RD STREET
LEE'S SUMMIT, MISSOURI 64063
P: 816.225.0625
www.collinswebb.com

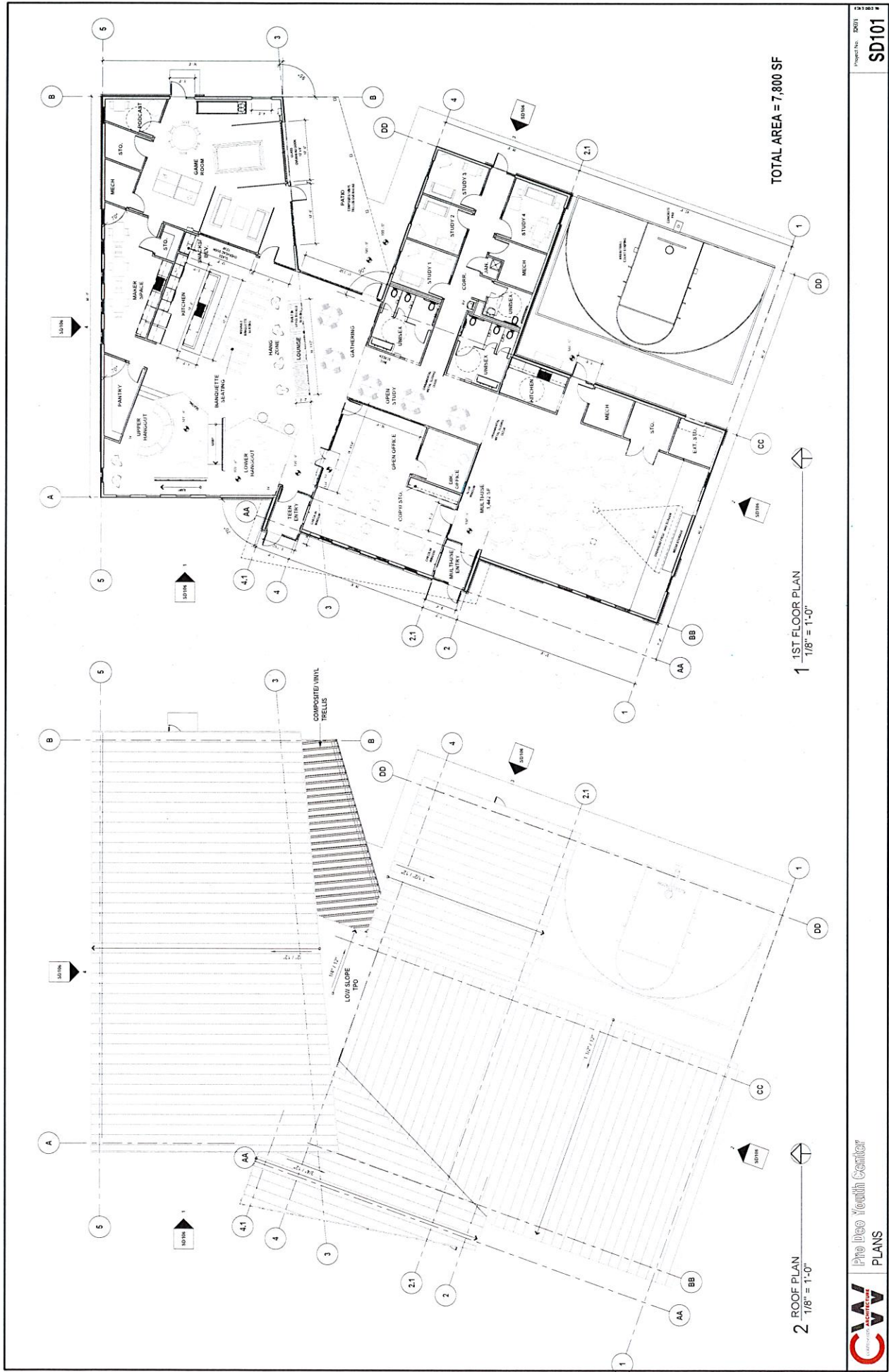
CONTRACTOR
TBD
0000 STREET NAME
CITY, STATE 00000
P: 000.000.0000

STRUCTURAL ENGINEER
LEIGH OKANE
209 SE DOUGLAS
LEE'S SUMMIT, MO 64063
P: 816.444.3144

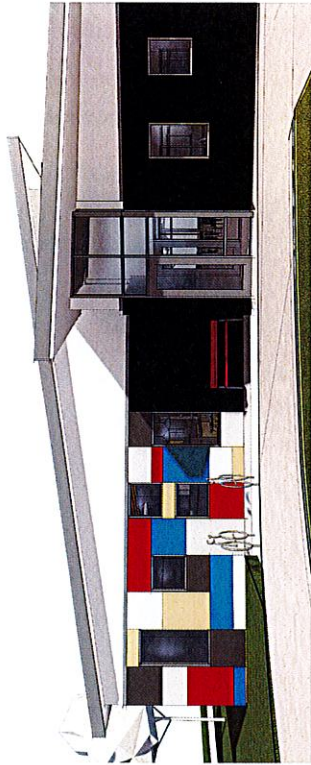
MEP ENGINEER
PARK ENGINEERS
1300 WEST 18TH STREET
LENEXA, KANSAS 66215
P: 913.472.2400

307B SW Market St., Lee's Summit, Missouri 64063 | 816.249.2270 | www.collinsandwebb.com

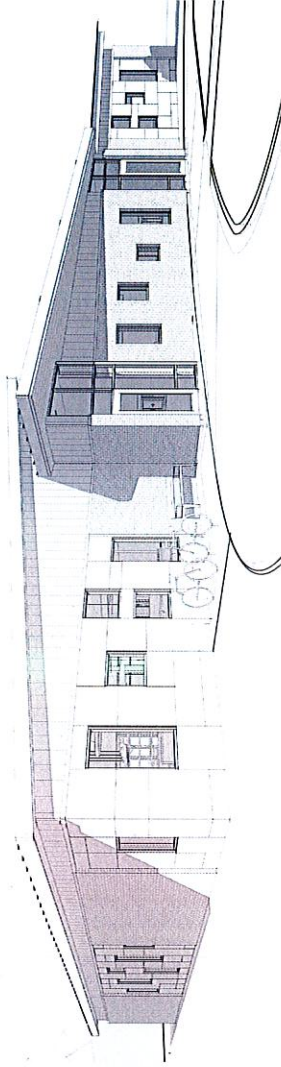




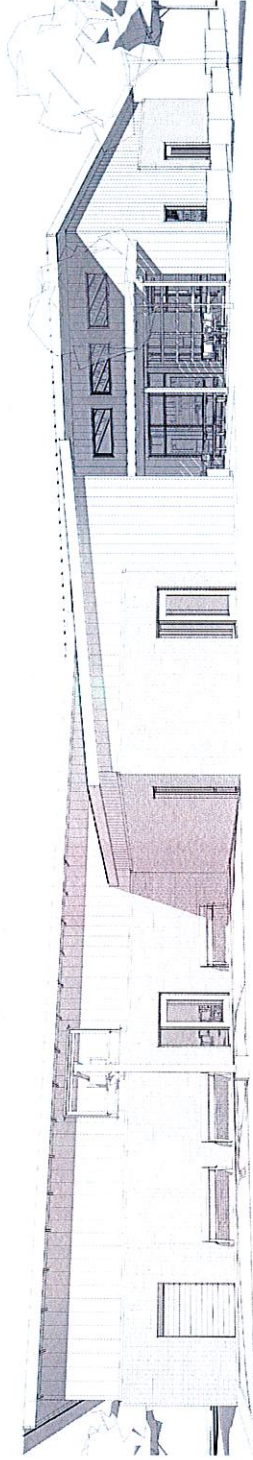




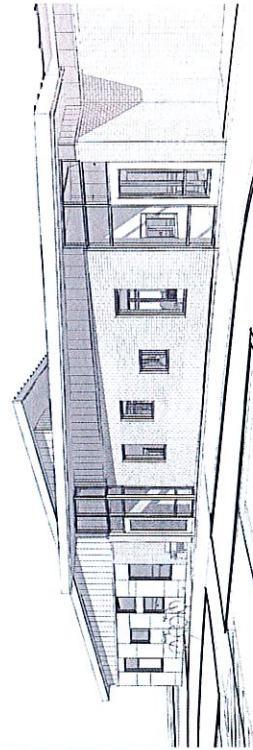
4 PANEL COLOR CONCEPT



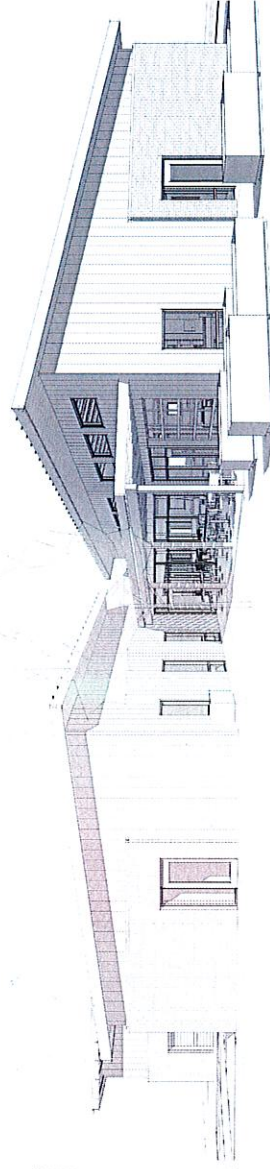
5 NORTHWEST CORNER



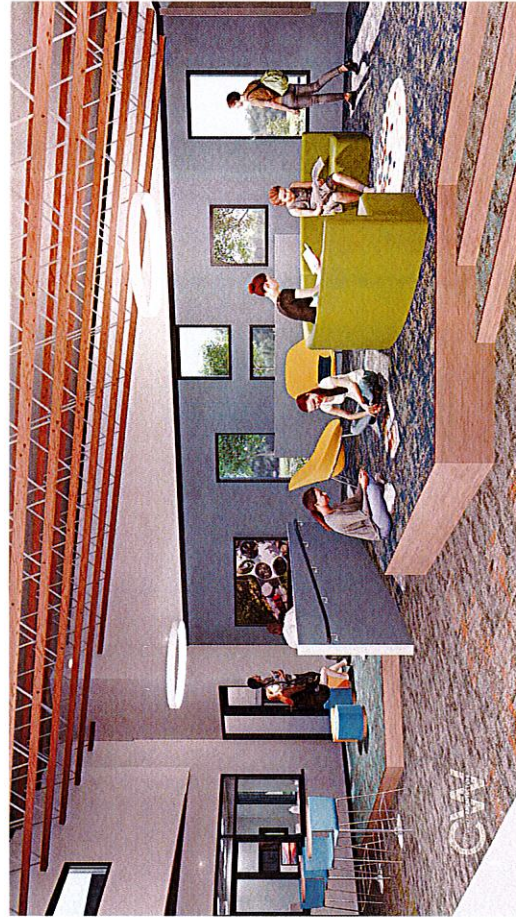
3 SOUTHEAST CORNER

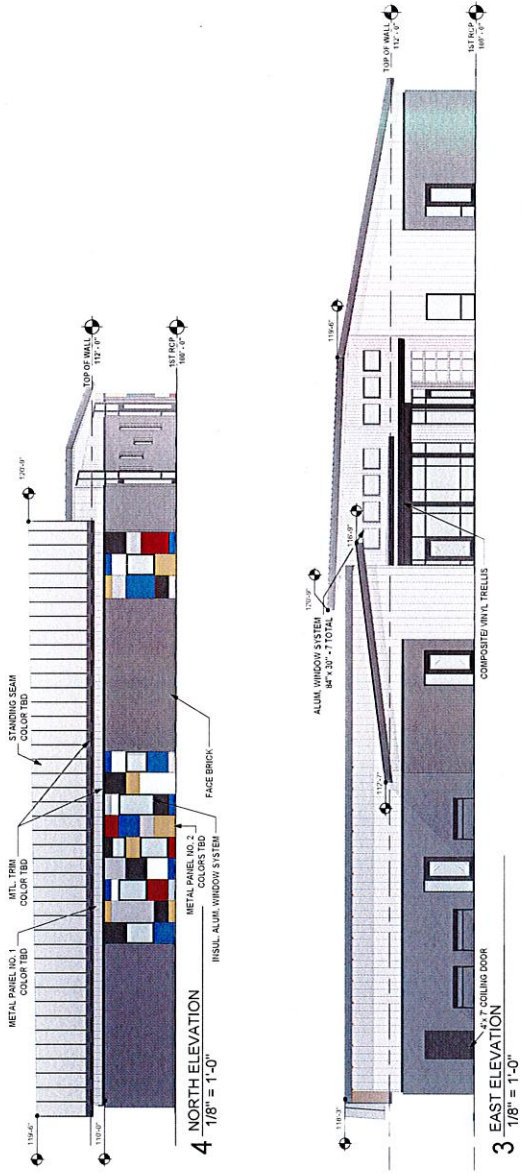


2 SOUTHWEST CORNER



1 PATIO





Pro Deo Youth Center

SE 9th St. and SE Douglas St.
Lee's Summit, MO

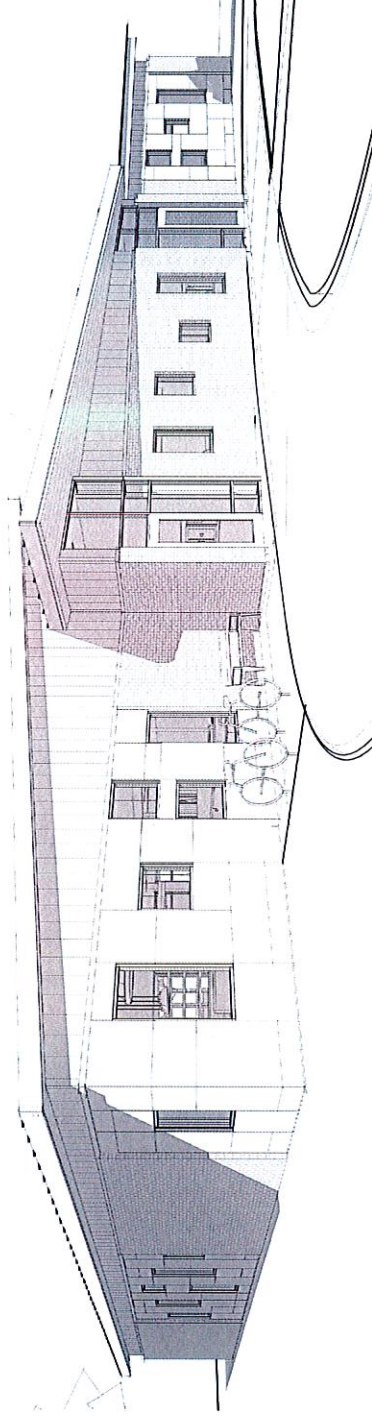
PRELIMINARY DEVELOPMENT

08 DEC 2023

COLLINS WEBB #: 23071



VICINITY MAP



OWNER
PRO DEO YOUTH CENTER
214 NE CHIPMAN RD
LEE'S SUMMIT, MO 64653
P: 816.226.8806

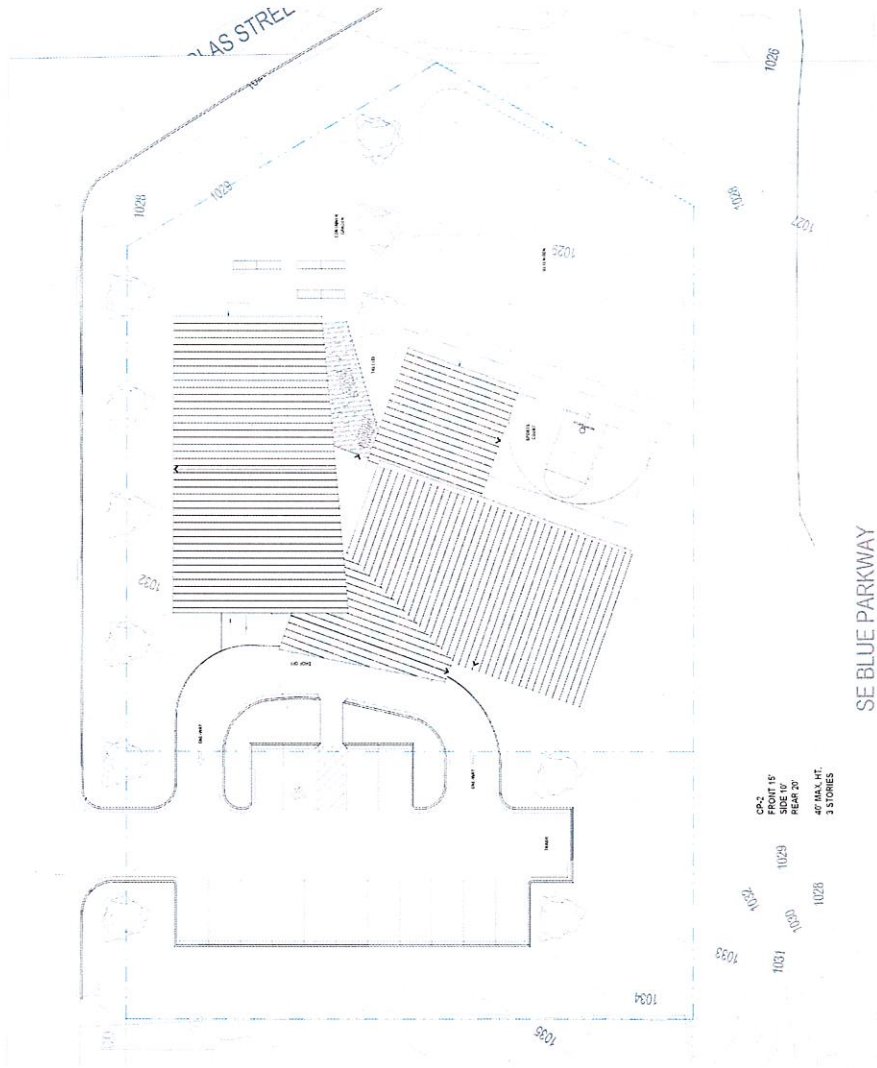
ARCHITECT
COLLINS | WEBB ARCHITECTURE
13A SW 3RD STREET
LEE'S SUMMIT, MISSOURI 64653
P: 816.249.2270
www.collinsandwebb.com

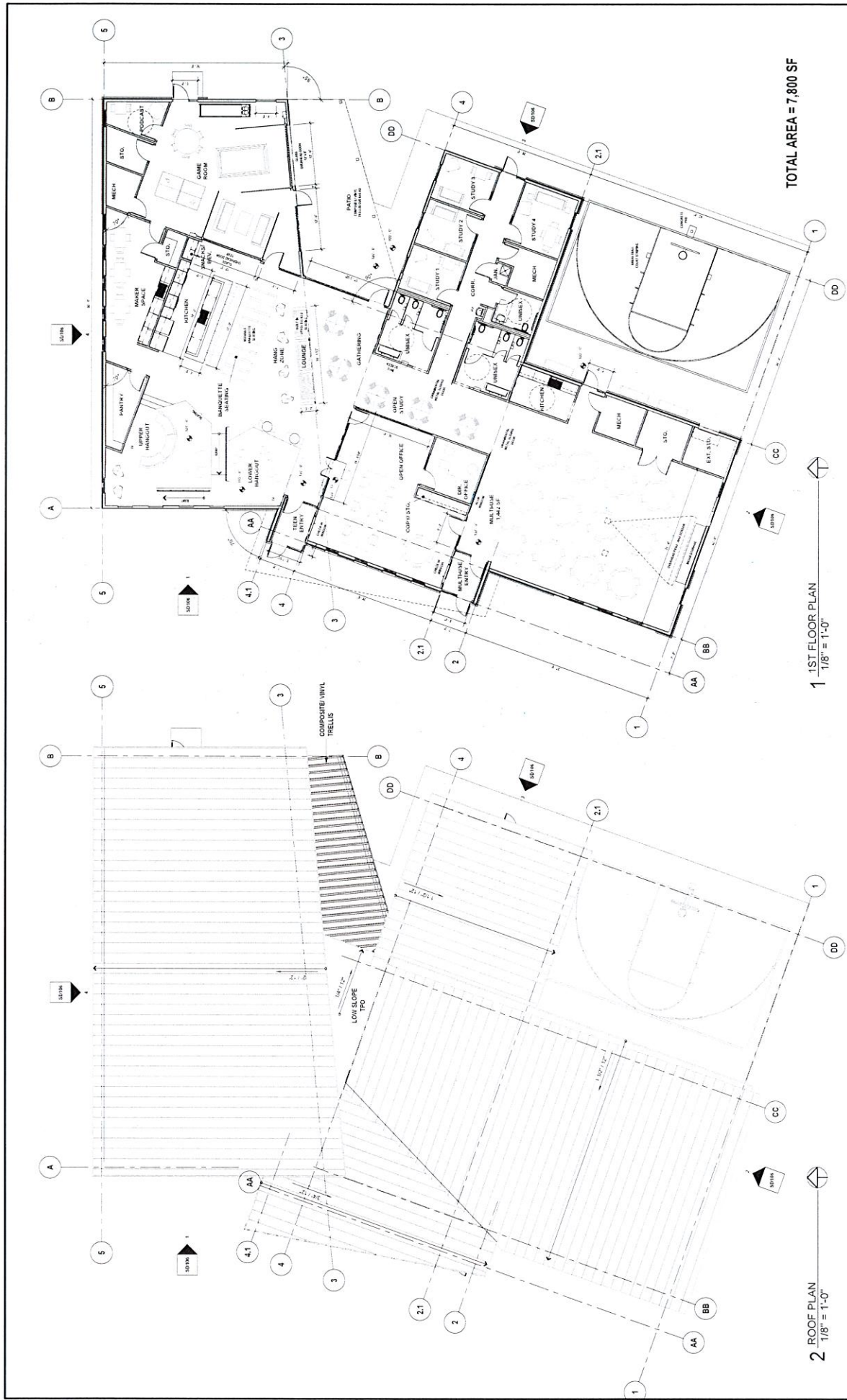
CONTRACTOR
TBD
0000 STREET NAME
LEE'S SUMMIT, MISSOURI 64653
P: 000.000.0000

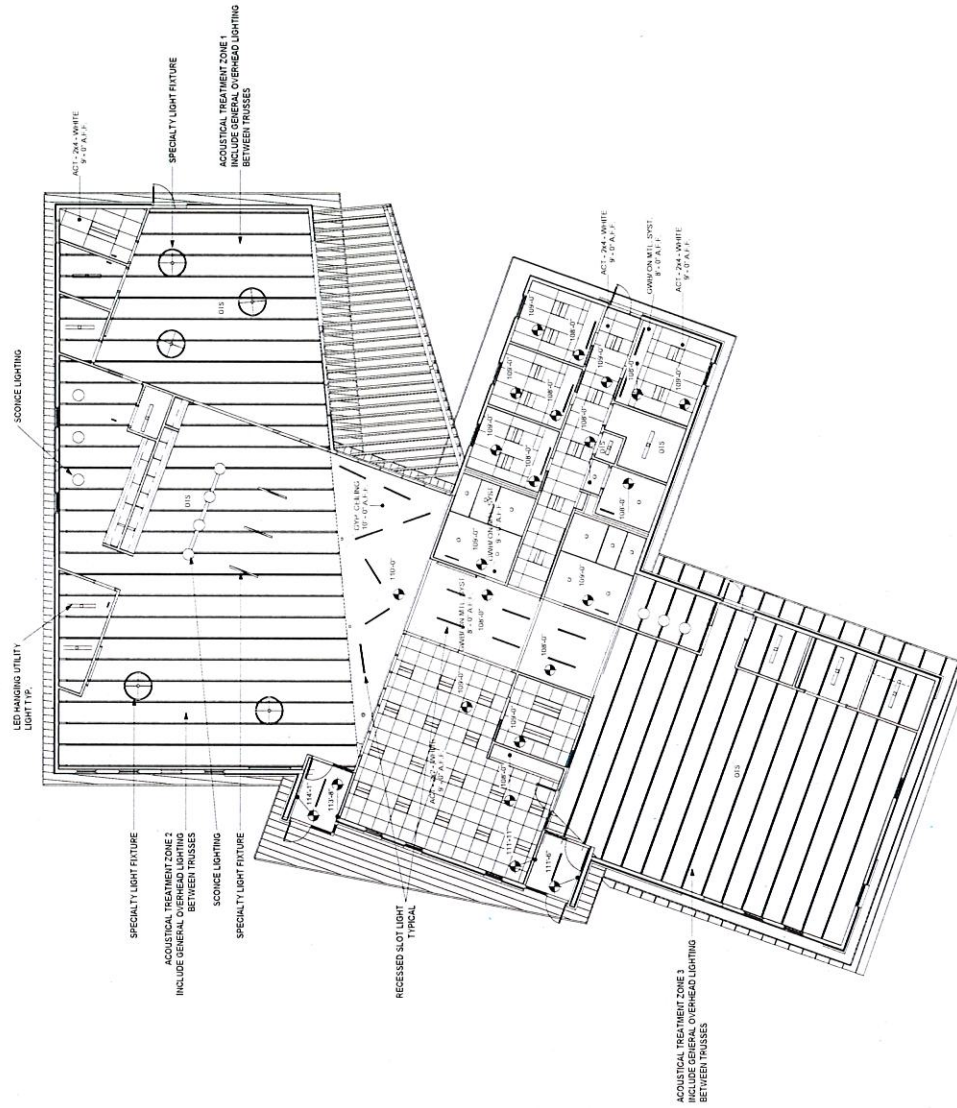
STRUCTURAL ENGINEER
LEIGH + OKANE
209 SE DOUGLAS
LEE'S SUMMIT, MO 64653
P: 816.444.3144

MEP ENGINEER
PMR ENGINEERS
13300 WEST 160TH STREET
OVERLAND PARK, MO 66215
P: 913.432.2480

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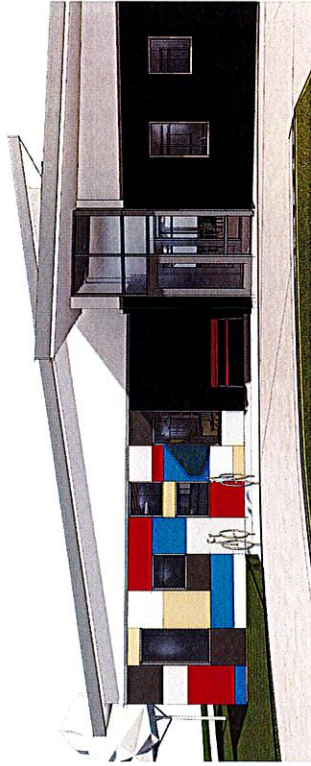




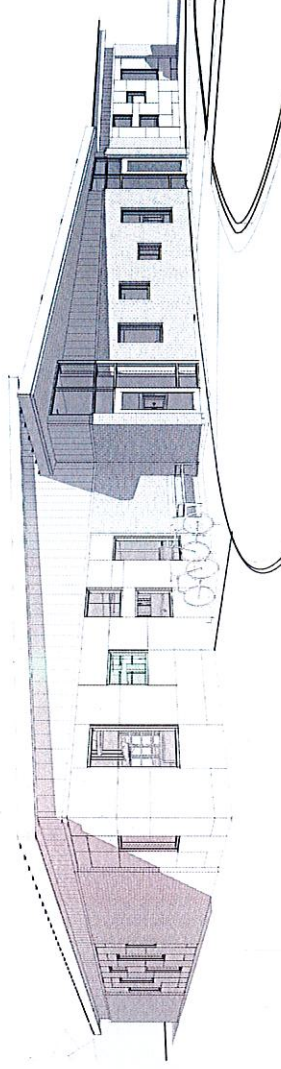


1 1ST RCP
1/8" = 1'-0"

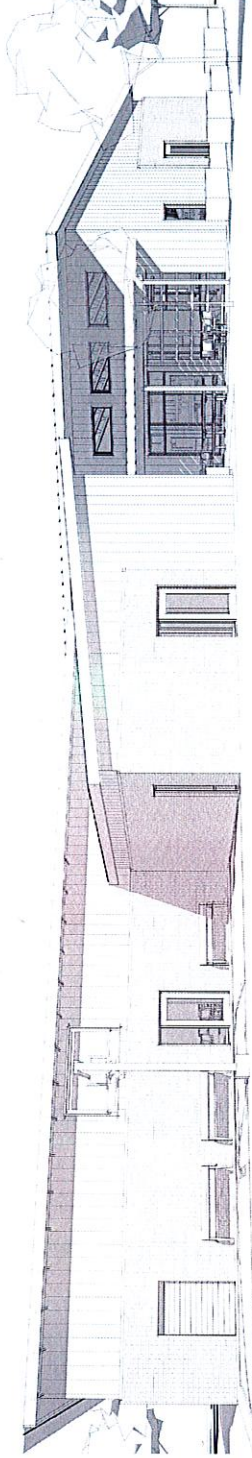




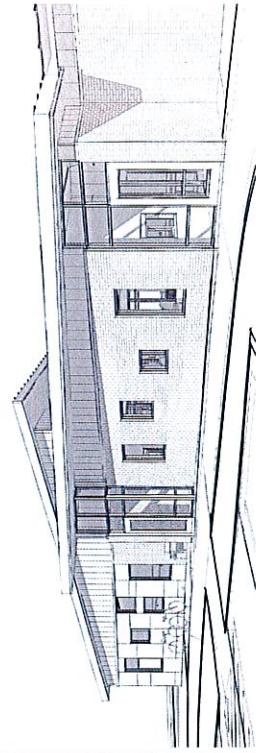
4 PANEL COLOR CONCEPT



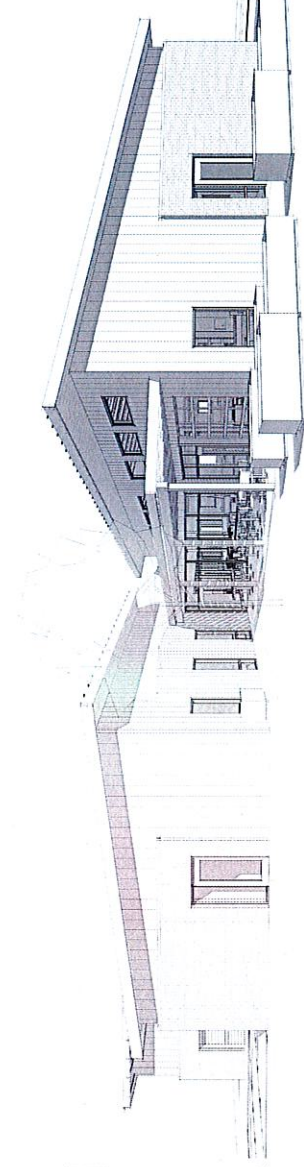
5 NORTHWEST CORNER



3 SOUTHEAST CORNER

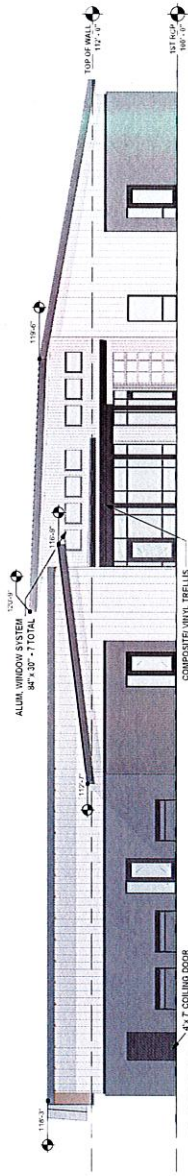


2 SOUTHWEST CORNER

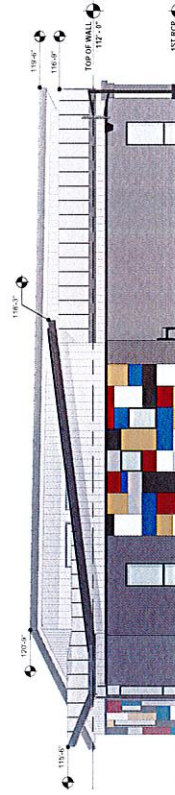


1 PATIO

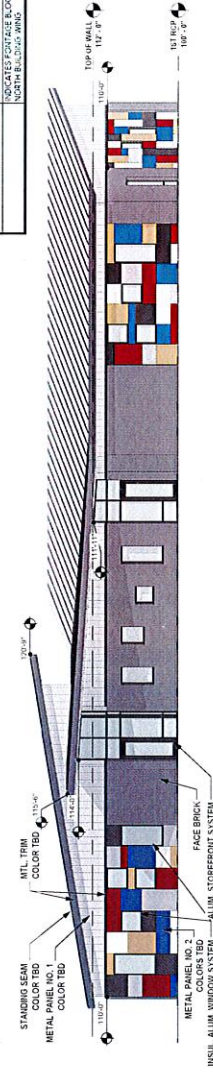




4 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

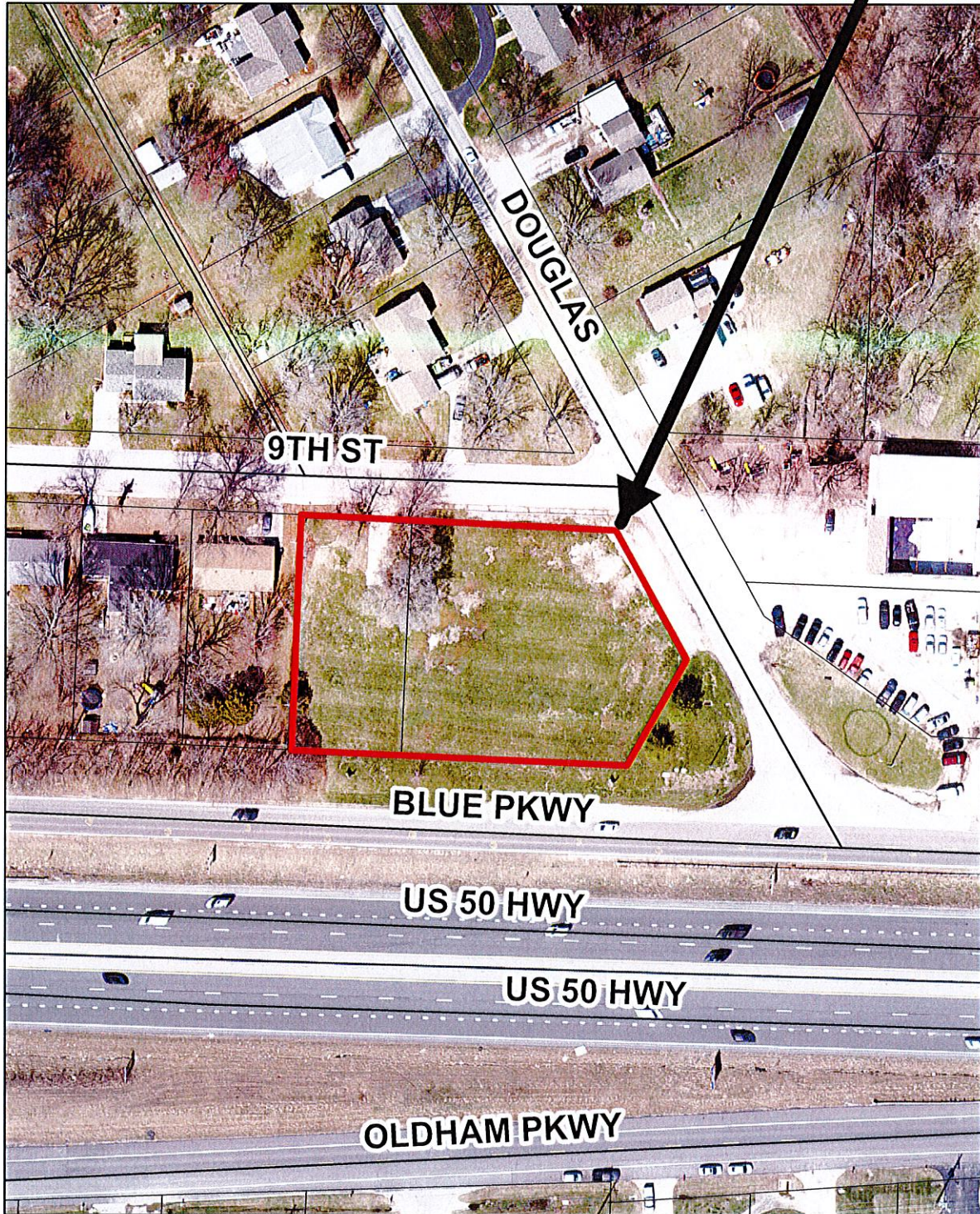


1 WEST ELEVATION
1/8" = 1'-0"

ELEVATION	MATERIAL				TOTAL %
	FACE BRICK	METAL PANEL 1 - CONCRETE FASTENER	METAL PANEL 2 - COLORED METAL & RETURN PANEL	GLAZING	
NORTH - 1 - 1ST STREET ELEVATION	51.00%	10.00%	29.50%	7.50%	100.00%
NORTH - 2 - RAMP WALL AND LOWER VOLUME ELEVATION (NOTE SHOWN ON SHEET)	0.00%	84.50%	0.00%	14.50%	100.00%
NORTH - 3 - 1000 COLGAS ST. ELEVATION	38.50%	43.50%	0.00%	16.00%	100.00%
WEST - PARKING COFFERAGE ELEVATION	35.00%	20.00%	22.00%	23.00%	100.00%
SOUTH - 1 - BLUE PARKWAY ELEVATION	52.00%	20.00%	21.50%	6.50%	100.00%
SOUTH - 2 - RAMP WALL AND UPPER VOLUME ELEVATION (NOTE SHOWN ON SHEET)	0.00%	0.00%	0.00%	39.50%	100.00%

	INDICATES COMMERCIAL FACING FRONTAGE
	INDICATES RESIDENTIAL FACING FRONTAGE
	INDICATES FRONTAGE BLOCKED FROM 9TH STREET VIEW BY

**Appl. #PL2023-335 REZ and PDP
Pro Deo Youth Center**



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