

LONGVIEW MANSION PARKING ADDITION FINAL DEVELOPMENT PLANS

SECTION 09, TOWNSHIP 47N, RANGE 32W
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

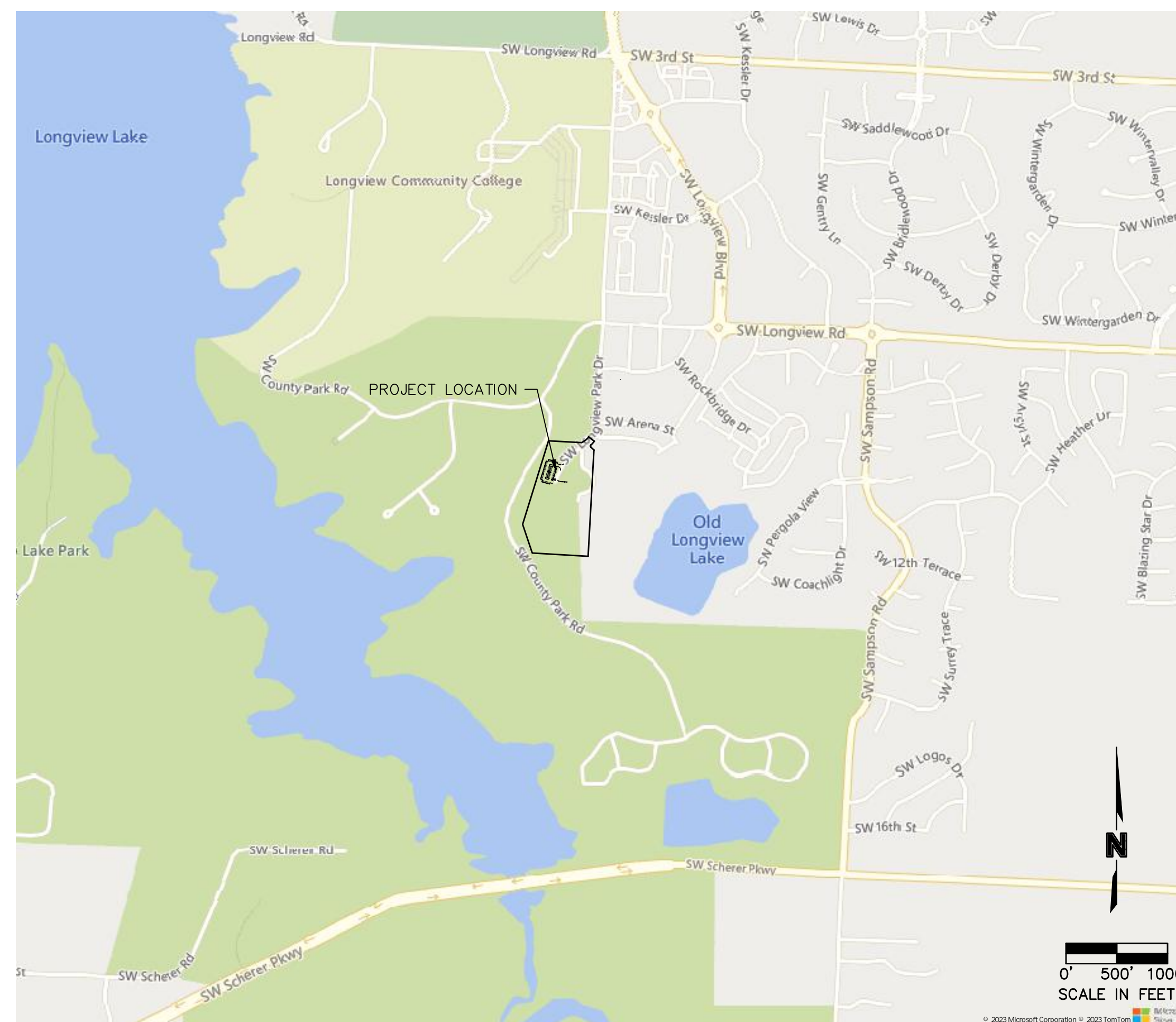
PROJECT TEAM & UTILITY CONTACT LIST	
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☐ NOT FOR CONSTRUCTION

☒ REVIEWED FOR CONSTRUCTION



THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT- OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, & OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. CALL 1-800-DIG-RIE.




INDEX OF SHEETS	
Sheet Number	Sheet Title
C01	TITLE SHEET
C02	GENERAL NOTES
C03	EXISTING CONDITIONS
C04	OVERALL SITE PLAN
C04A	SIGNAGE PLAN
C05	SITE DIMENSION PLAN
C06	GRADING PLAN
C07	SPOT ELEVATIONS
C08	SPOT ELEVATIONS
C09	BMP PLAN
C10	EROSION CONTROL PLAN
C11	DETAILS
C12	DETAILS
L01	LANDSCAPE PLAN
L02	LANDSCAPE DETAILS & NOTES
E1	SITE LIGHTING PHOTOMETRICS PLAN
E2	SITE LIGHTING POWER PLAN
E3	SITE LIGHTING DETAILS
E4	SITE LIGHTING SPECIFICATIONS

ACCEPTED:

CITY OF LEE'S SUMMIT


DATE _____

CIVIL ENGINEER:
I HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED, AND THESE
PLANS PREPARED, TO MEET OR EXCEED THE DESIGN CRITERIA OF LEE'S
SUMMIT, MISSOURI, IN CURRENT USAGE, EXCEPT AS INDICATED BELOW.


STEPHEN SAYLOR, P.E.
CIVIL ENGINEER
MO# 2018021248

3/28/2024

DATE

[illegible]

TITLE SHEET

LONGVIEW MANSION PARKING ADDITION
FINAL DEVELOPMENT PLANS

LEE'S SUMMIT, MO

drawn by: _____ CH
checked by: _____ DP
approved by: _____ SS
QA/QC by: _____ CH
project no.: _____ 022-06318
drawing no.: C_TTL01_02206318
date: 2024.03.01

SHEET
C01

DWG: 120224-06001-06500-022-06318-140-Design\AutoCAD\Final Plans\Sheets\GENC\ C_TL01_02206318.dwg
DATE: Mar 28, 2024 3:04pm
USER: ssoyfor
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- GENERAL NOTES:**
1. ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 2. REFER TO DETAIL SHEET FOR INSTALLATION OF SIGNS.
 3. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS BETWEEN NEW ENTRANCE DRIVES AND EXISTING STREETS.
 4. CONTRACTOR SHALL MATCH EXISTING CURB & GUTTER IN GRADE, SIZE, TYPE, AND ALIGNMENT AT CONNECTIONS TO EXISTING STREETS.
 5. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S SITE WORK SPECIFICATIONS.
 6. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
 7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, SIDEWALK AND SPECIFIC BUILDING AREA TREATMENTS AND IMPROVEMENTS. FOR EXACT BUILDING DIMENSIONS, SEE ARCHITECTURAL PLANS. CONTRACTOR TO STAKE AND CONSTRUCT FOUNDATIONS AND FOOTINGS FROM STRUCTURAL PLAN. BUILDING DIMENSIONS ON THIS PLAN ARE FOR REFERENCE ONLY.
 8. ALL DIMENSIONS SHOWN ON BUILDING ARE TO OUTSIDE FACE OF BUILDING.
 9. CONTRACTOR SHALL COORDINATE PROTECTION OF BUILDING CORNERS, TRANSFORMERS, AND ALL OTHER APPLICABLE STRUCTURES WITH GUARD POST BOLLARDS WITHIN 5' OF THE BUILDINGS TO BE INSTALLED BY GENERAL CONTRACTOR.
 10. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. ALL STRIPING IS TO BE TWO LAYERS, 4" STROKE, REFLECTIVE PAINT, INCLUDING ADA SYMBOL AND HATCHING. PAINT COLOR TO BE WHITE ON ASPHALT AND YELLOW ON CONCRETE.
 11. ALL ACCESSIBLE PARKING SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.
 12. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A LIST OF ALL SUBCONTRACTORS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
 13. ALL ASPHALT PAVING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF LEES SUMMIT DESIGN AND CONSTRUCTION MANUAL SECTION 2200.
 14. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR, AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO, AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO: DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC. ANY WORK IN CITY R.O.W. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND SURVEY MONUMENTS AND IS RESPONSIBLE FOR RE-ESTABLISHMENT OF ANY PROPERTY CORNERS OR SURVEY MONUMENTS IF DISTURBED BY CONSTRUCTION ACTIVITIES.
 15. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
 16. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER PRIOR TO START OF CONSTRUCTION. LATEST SPECIFICATIONS ADOPTED BY US DEPARTMENT OF TRANSPORTATION AND STATE HIGHWAY DEPARTMENT SHALL GOVERN ON THIS PROJECT.
 17. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
 18. ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF LEE'S SUMMIT, MISSOURI STANDARDS AND SPECIFICATIONS.
 19. PLANS WERE PREPARED USING EXISTING CONDITIONS INFORMATION AS PROVIDED BY OTHER PARTIES. OLSSON SHALL NOT BE RESPONSIBLE FOR ANY DIFFERENCE IN TOPOGRAPHY, OR STATED QUANTITIES, COSTS, LABOR, ETC. RESULTING FROM DIFFERENCES IN ACTUAL EXISTING CONDITIONS AND THE INFORMATION PROVIDED. CONTRACTOR TO NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES OF INFORMATION PROVIDED.

WETLANDS NOTICE:

1. ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE, AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

WARRANTY/DISCLAIMER:

1. THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A TEMPORARY BASIS AT THE SITE.

FLOOD CERTIFICATION:

1. THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 29095C 0416G, REVISION DATE JANUARY 20, 2017

OIL/GAS WELLS:

NO OIL OR GAS WELLS LOCATED WITHIN THE PROJECT LIMITS.

INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, GEOLOGICAL SURVEY GEOSCIENCES TECHNICAL RESOURCE ASSESSMENT TOOL (GEOSTRAT).

DEMOLITION NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR RAISING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OWNER'S SITE WORK SPECIFICATIONS.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE AND ADJUSTMENTS DUE TO CONFLICTS OR GRADING TO ANY EXISTING STRUCTURES OR UNDERGROUND UTILITIES THAT ARE TO REMAIN IN PLACE.
5. ALL ITEMS DESIGNATED TO BE DEMOLISHED AND REMOVED FROM THE SITE SHALL BE DISPOSED OF IN AN APPROPRIATE LOCATION IN ACCORDANCE WITH STATE OR LOCAL GUIDELINES.
6. PUBLIC STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AND CLEAR OF TRASH AND DEBRIS FROM DEMOLITION OPERATIONS AT ALL TIMES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST AND EROSION CONTROL DURING DEMOLITION OPERATIONS.
8. THE CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES PRIOR TO REMOVAL OR RELOCATION OF ANY UTILITIES AND TO SAFELY STOP SERVICES AND DISMANTLE SERVICE LINES PRIOR TO BEGINNING DEMOLITION OPERATIONS.
9. CONTRACTOR IS TO REMOVE AND RE-USE SEWER PIPES, POWER POLES AND GUY WIRES, WATER LINES AND METERS, VEGETATION, ASPHALT, AND OTHER UNSUITABLE DEBRIS OR MATERIAL SHOWN OR NOT SHOWN WITHIN CONSTRUCTION LIMITS AND WHERE NECESSARY TO ALLOW FOR CONSTRUCTION ACTIVITY. ALL MATERIAL TO BE REMOVED AS UNCLASSIFIED EXCAVATION.
10. ALL CAVITIES CREATED BY REMOVAL OF EXISTING FACILITIES IN THE AREA OF PROPOSED CONSTRUCTION SHALL BE FILLED AND COMPACTED IN ACCORDANCE WITH THE SITE WORK SPECIFICATIONS TO SUBGRADE ELEVATION.
11. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN THE VICINITY OF EXISTING OVERHEAD ELECTRICAL POWER LINES.
12. EXISTING UTILITIES ARE SHOWN AS LOCATED AND IDENTIFIED IN THE FIELD BY UTILITY COMPANY REPRESENTATIVE. THE OWNER AND THE ENGINEER MAKE NO ASSURANCE OF THE ACTUAL LOCATION, DEPTH, SIZE OR TYPE OF UTILITY LINES SHOWN. THE OWNER AND THE ENGINEER MAKES NO ASSURANCE THAT ALL OF THE EXISTING UTILITY LINES ON THE SITE ARE SHOWN.

GRADING AND CLEARING NOTES:

1. EXISTING UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION WORK. ANY DAMAGE TO EXISTING STRUCTURES, UTILITIES, FENCES AND/OR INCIDENTALS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
2. CONTRACTOR SHALL ADHERE TO THE "DESIGN AND CONSTRUCTION MANUAL" SECTION 2100 AS ADOPTED BY THE CITY OF LEES SUMMIT, MISSOURI (LATEST EDITION), FOR EXCAVATION AND EMBANKMENT WORK WITHIN THE PROPOSED DRIVE LINES.
3. CONTRACTOR SHALL PROVIDE A LEVEL BUILDING PAD BASED UPON PROPOSED FINISHED FLOOR ELEVATION TO ± 0.10' OR AS ESTABLISHED THROUGH ALTERNATIVE BID DOCUMENTS.
4. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH A MINIMUM OF FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. AREAS OF CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION, ORGANIC MATTER AND TOPSOIL TO A DEPTH AS RECOMMENDED BY GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY. SOILS REMOVED DURING SITE STRIPPING SHOULD BE EVALUATED TO DETERMINE IF PORTIONS OF THE TOPSOIL STRATUM MAY BE UTILIZED AS STRUCTURAL FILL WITHIN PAVEMENT AREAS. ANY MATERIAL NOT DEEMED AS SUITABLE FILL MATERIAL BY THE GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY SHALL BE REMOVED FROM THE JOB SITE BY THE CONTRACTOR AT HIS EXPENSE.
6. ALL EMBANKMENT SHOULD BE PLACED IN CONTROLLED LIFTS HAVING A MAXIMUM LOOSE LIFT THICKNESS OF 9". EMBANKMENT PLACED WITHIN THE PAVEMENT AREAS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). EMBANKMENT PLACED WITHIN THE BUILDING AREAS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). MOISTURE CONTENT OF THE FILL AT THE TIME OF COMPACTION SHALL BE WITHIN A RANGE OF 0 TO 4 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AS DEFINED BY THE STANDARD PROCTOR COMPACTION PROCEDURE. ALL EMBANKMENT PLACED WITHIN 18" OF THE BUILDING SUBGRADE SHOULD HAVE A LIQUID LIMIT LESS THAN 60. THE GEOTECHNICAL REPORT SHALL SUPERSDEE RECOMMENDATIONS AS STATED IN THIS PLAN SET.

UTILITY CONSTRUCTION NOTES:

1. PRIOR TO INSTALLATION OF ANY PROPOSED UTILITY THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS WITH EXISTING UTILITIES AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF CONFLICTS WITH EXISTING UTILITIES.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO RELOCATE AND/OR ADJUST ALL EXISTING UTILITIES THAT CONFLICT WITH PROPOSED SITE IMPROVEMENTS.
3. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS:
ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER CITY STANDARD DETAILS.
ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTROL DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
5. TELEPHONE CONDUIT SHALL HAVE A MINIMUM COVER OF 30". CONDUIT SHALL BE DUAL 4" SCHEDULE 40 PVC. CONTRACTOR SHALL COORDINATE LOCATION WITH THE UTILITY REPRESENTATIVE AND LOCATE PVC CROSSINGS AS NECESSARY. SEE ELEC. PLANS FOR ENTRANCE LOCATIONS.
6. FOR ALL SERVICE LINE ENTRANCE LOCATIONS WITHIN THE BUILDING, INCLUDING ROOF DRAIN CONNECTIONS, SEE ARCHITECTURAL PLANS AND DETAILS.
7. ALL WATER SERVICE LINES SHALL BE A MINIMUM OF 48" BELOW FINISHED GRADE.
8. ALL SANITARY SEWER LINES SHALL BE SDR-26 WITH 42" MIN. COVER.
9. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS A MINIMUM OF 48 HOURS PRIOR TO DISRUPTION.
10. ALL ELECTRIC AND TELEPHONE, INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTION'S SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
11. PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.
12. ALL PRIVATE INSTALLATIONS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS AS ADOPTED BY THE CITY OF LEE'S SUMMMIT, MISSOURI.
13. EXTENSION OF BOTH DOMESTIC WATER SERVICE AND FIRE PROTECTION LINE MAY NOT BE PROVIDED UNTIL PUBLIC MAIN HAS BEEN TESTED AND ACCEPTED BY WRITTEN AUTHORIZATION FROM LEE'S SUMMIT WATER DEPARTMENT.
14. CONTRACTOR TO CONTACT LEE'S SUMMIT WATER SERVICES DEPARTMENT FOR MAIN LINE TAP AND METER SET A MINIMUM OF 48 HOURS PRIOR TO CONNECTION.
17. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL THE APPROPRIATE PERMITS HAVE BEEN PULLED FROM THE CITY OF LEE'S SUMMIT AND/OR JACKSON COUNTY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.

18. ALL ELECTRICAL CONDUIT SHALL BE SCHEDULE 40 ELECTRICAL PVC, AS CALLED OUT AND HAVE AN AVERAGE OF 36" TO 42" COVER WITH A MINIMUM OF 30" CONFORMING TO THE CURRENT REGULATIONS SET FORTH BY MISSOURI PUBLIC SERVICE. SEE MECH. PLANS FOR ENTRANCE LOCATIONS.

19. CONTRACTOR SHALL MAKE APPLICATION WITH SPIRE ENERGY FOR PROPOSED METER.

SITE DISTURBANCE NOTES:

1. THE INTENT OF THIS EROSION CONTROL PLAN IS TO ASSIST THE CONTRACTOR IN THEIR RESPONSIBILITY TO PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF SOIL MATERIAL (SEDIMENT) INTO DOWNSTREAM SYSTEMS OR RECEIVING CHANNELS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER OR THEIR AGENT CAN REVIEW THE CONTRACTOR'S PROPOSED METHOD OF REPAIR.

THIS PLAN INDICATES THE CRITICAL AREA(S) OF CONCERN TO BE CONTROLLED AS A MINIMUM. THE CONTROL MAY CONSIST OF TEMPORARY CONTROL MEASURES AS SHOWN ON THE PLANS OR ORDERED BY THE OWNER DURING THE LIFE OF THE CONTRACT TO CONTROL EROSION OR WATER POLLUTION, THROUGH THE USE OF BERMS, DIKES, DAMS, SEDIMENT BASINS, FIBER MATS, NETTING, GRAVEL, MULCHES, GRASSES, SLOPE DRAINS, DIVERSION SWALES OR OTHER EROSION CONTROL DEVICES OR METHODS. THE OWNER HAS THE AUTHORITY TO LIMIT THE SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY THE CONSTRUCTION OPERATIONS AND TO DIRECT THE CONTRACTOR TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, OR OTHER AREAS OF WATER IMPOUNDMENT OR CONVEYANCES.

THE TEMPORARY POLLUTION CONTROL PROVISIONS CONTAINED HEREIN SHALL BE COORDINATED WITH ANY PERMANENT EROSION CONTROL FEATURES SPECIFIED ELSEWHERE IN THE CONTRACT TO THE EXTENT PRACTICAL TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS EROSION CONTROL THROUGHOUT THE CONSTRUCTION AND POST CONSTRUCTION PERIOD.

2. THIS SEDIMENTATION CONTROL PLAN MAKES USE OF THE FOLLOWING APPLICATIONS:
-x- PRESERVATION OF EXISTING VEGETATION
-x- SEDIMENT BARRIERS
-x- SEDIMENT TRAPS
-x- INLET PROTECTION
-x- OUTLET PROTECTION
-x- SOIL RETAINING SYSTEMS
-x- SLOPE DRAINS
-x- SUBSURFACE DRAINS

PHYSICAL DESCRIPTION OF EACH SPECIFIC SEDIMENT CONTROL DEVICE TO BE UTILIZED IS CALLED OUT ON THE PLANS WITH INSTALLATION PROCEDURES, CONSTRUCTION SPECIFICATIONS AND MAINTENANCE ARRANGEMENT AS CALLED FOR ON THE DETAIL SHEET. IN ADDITION TO THE MEASURES SPECIFIED, THE FOLLOWING GENERAL PRACTICES SHALL BE ADHERED TO WHEN APPLICABLE.

- A) CLEARING AND GRUBBING WITHIN 50' OF A DEFINED DRAINAGE COURSE SHOULD BE AVOIDED WHEN POSSIBLE. WHERE CHANGES TO A DEFINED DRAINAGE COURSE OCCUR, WORK SHOULD BE DELAYED UNTIL ALL MATERIALS AND EQUIPMENT NECESSARY TO PROTECT AND COMPLETE THE DRAINAGE CHANGE ARE ON SITE. CHANGES SHALL BE COMPLETED AS QUICKLY AS POSSIBLE ONCE THE WORK HAS BEEN INITIATED. THE AREA IMPACTED BY THE CONSTRUCTION ACTIVITIES SHALL BE REVEGETATED OR PROTECTED FROM EROSION AS SOON AS POSSIBLE, AREAS WITHIN 50' OF A DEFINED DRAINAGE WAY SHOULD BE RECONTOURED AS NEEDED OR OTHERWISE PROTECTED WITHIN FIVE (5) WORKING DAYS AFTER GRADING HAS CEASED.

- B) WHERE SOIL DISTURBING ACTIVITIES CEASE IN AN AREA FOR MORE THAN 14 DAYS, THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE EROSION CONTROL MEASURES. IF THE SLOPE OF THE AREA IS GREATER THAN 3:1 OR IF THE SLOPE IS GREATER THAN 3% AND GREATER THAN 150 FEET IN LENGTH, THEN THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE EROSION CONTROL MEASURES IF ACTIVITIES CEASE FOR MORE THAN SEVEN (7) DAYS.

- C) EXISTING VEGETATION SHALL BE PRESERVED TO THE EXTENT AND WHERE PRACTICAL. IN NO CASE SHALL DISTURBED AREAS REMAIN WITHOUT VEGETATIVE GROUND COVER FOR A PERIOD IN EXCESS OF 60 DAYS.

- D) ADDITIONAL SITE MANAGEMENT PRACTICES WHICH SHALL BE ADHERED TO DURING THE CONSTRUCTION PROCESS SHALL INCLUDE:

SOLID AND HAZARDOUS WASTE MANAGEMENT INCLUDING PROVIDING TRASH CONTAINERS AND REGULAR SITE CLEAN UP FOR PROPER DISPOSAL OF SOLID WASTE SUCH AS BUILDING MATERIAL, PRODUCT/MATERIAL SHIPPING WASTE, FOOD CONTAINERS AND CUPS, AND PROVIDING CONTAINERS FOR THE PROPER DISPOSAL OF WASTE PAINTS SOLVENTS, AND CLEANING COMPOUNDS.

PROVISIONS OF PORTABLE TOILETS FOR PROPER DISPOSAL OF SANITARY SEWAGE.

STORAGE OF CONSTRUCTION MATERIALS AWAY FROM DRAINAGE COURSES AND LOW AREAS.

INSTALLATION OF CONTAINMENT BERMS AND USE OF DRIP PANS AT PETROLEUM PRODUCT AND LIQUID STORAGE TANKS AND CONTAINERS.

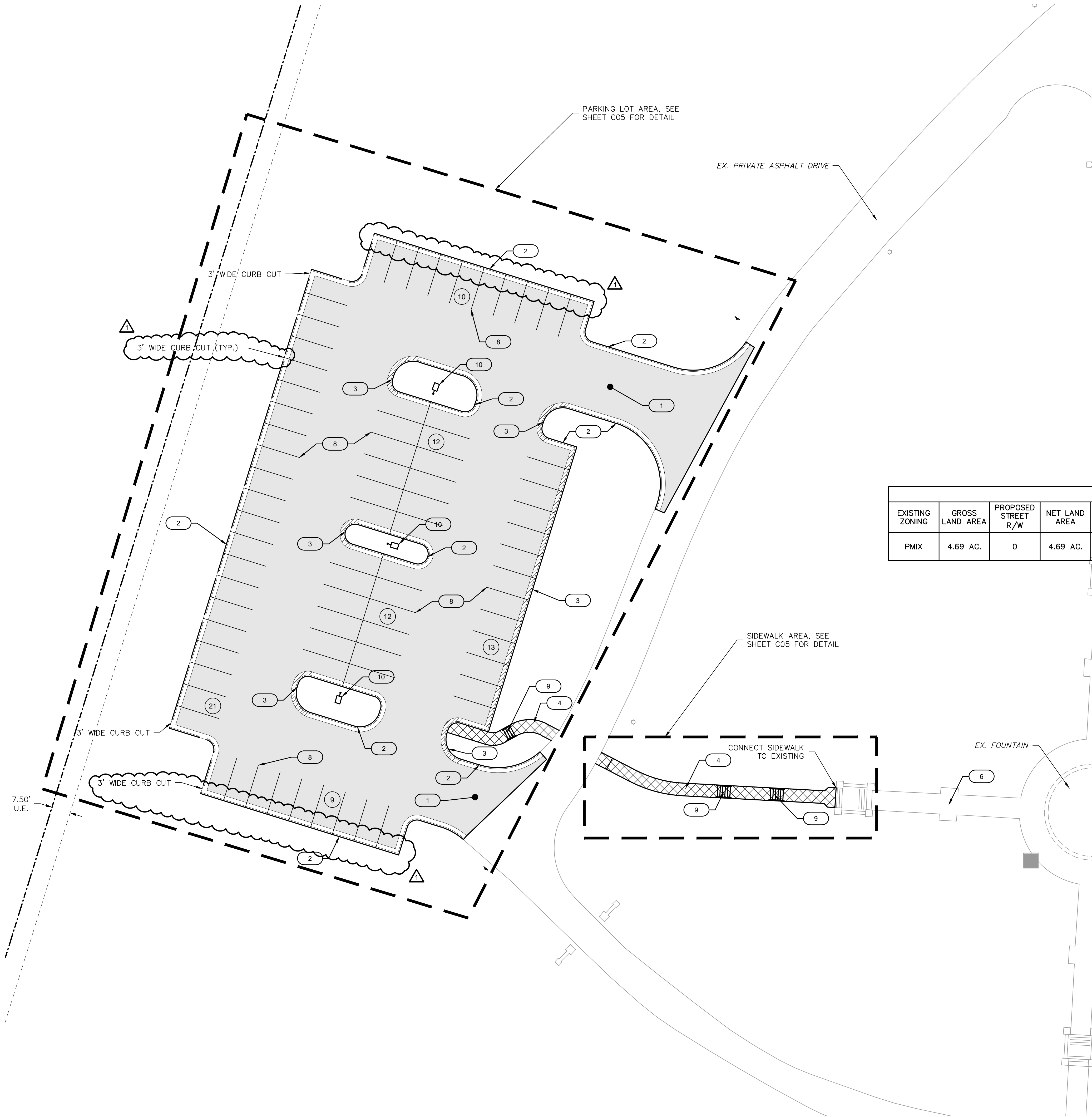
3. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED, OR SODDED, IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE REVIEWING GOVERNING AGENCY AND GOOD ENGINEERING PRACTICES. THIS SHALL BE COMPLETED WITHIN FOURTEEN (14) DAYS AFTER COMPLETING THE WORK, IN ANY AREA. IF THIS IS OUTSIDE OF THE SEEDING PERIOD, SILT BARRIERS OR OTHER SIMILARLY EFFECTIVE MEASURES SHALL BE PROVIDED UNTIL SUCH TIME THAT THE AREAS CAN BE SEEDED.

4. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY THE REVIEWING GOVERNING AGENCY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING ALL ADDITIONAL STANDARDS, SPECIFICATIONS OR REQUIREMENTS WHICH ARE REQUIRED BY GOVERNING AGENCIES (INCLUDING LOCAL, STATE AND FEDERAL AUTHORITIES) HAVING JURISDICTION OVER THE WORK PROPOSED BY THESE CONSTRUCTION DRAWINGS.

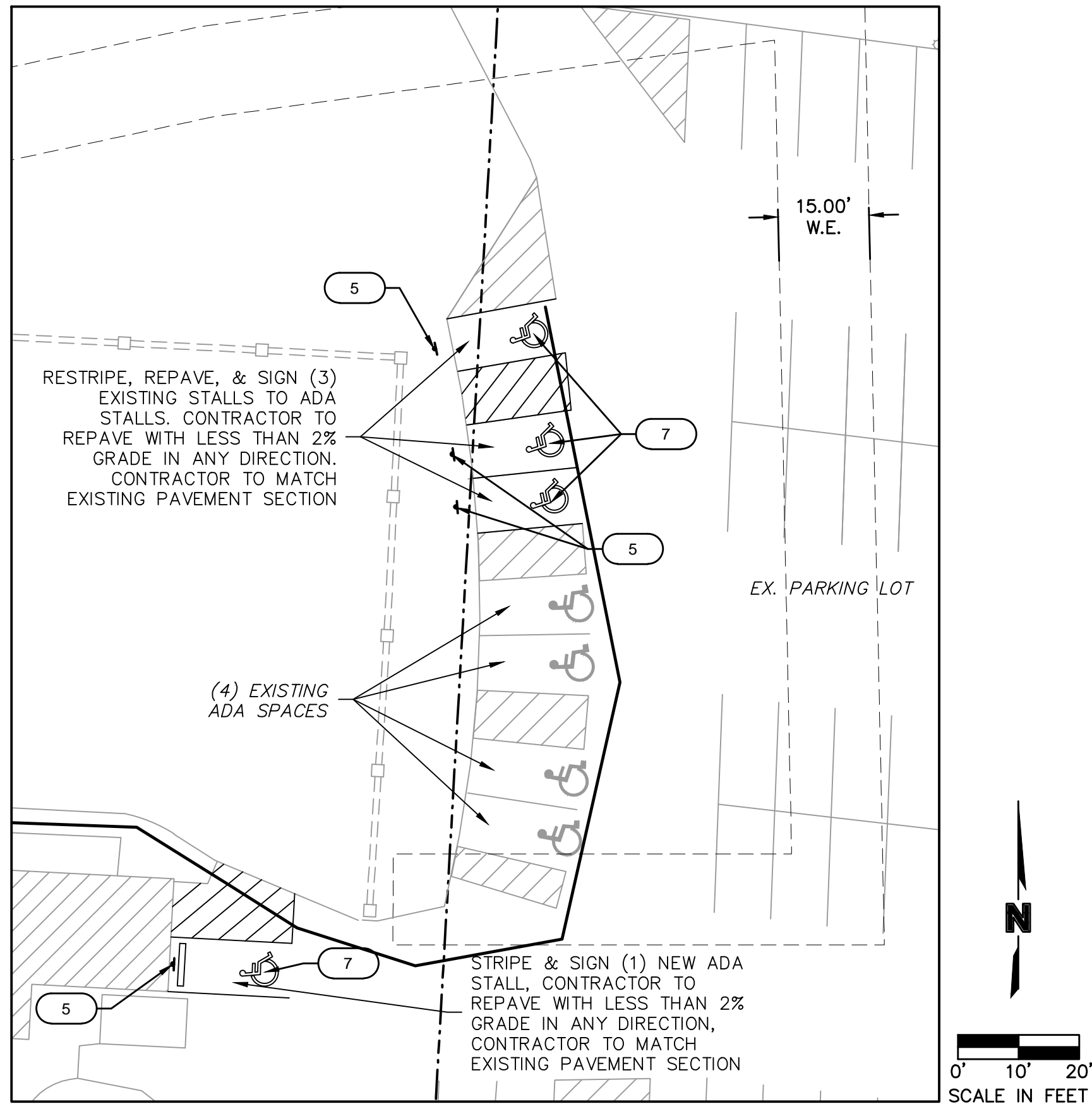
5. ALL EROSION CONTROL MEASURES, TEMPORARY OR PERMANENT, REQUIRE MAINTENANCE TO PRESERVE THEIR EFFECTIVENESS. ALL EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A 2-YR, 24-HR STORM EVENT, OR ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A STORM EVENT OF 0.25-INCHES OF PRECIPITATION OR GREATER. ANY REQUIRED REPAIRS SHOULD BE MADE IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE REPAIR WORK, INCLUDING RELATED INCIDENTALS ASSOCIATED WITH THE REPAIR WORK, WILL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID FOR THE PROPOSED WORK.

LEGEND	
GENERAL	
	ACU AIR CONDITIONING UNIT
	AST ARROW STRAIGHT
	ATL ARROW TURN LEFT
	ATR ARROW TURN RIGHT
	BLB BILLBOARD
	BOV BLOW OFF VALVE
	BSH BUSH
	COL COLUMN
	CTR CONIFEROUS TREE
	DRN DRAIN GRATE
	DTR DECIDUOUS TREE
	FLP FLAG POLE
	GPD GUARD POST
	GPL GUY POLE
	GRE GREASE TRAP
	GUY GUY WIRE
	HCP ACCESSABLE PARKING MARKER
	LST LIFT STATION
	MLB MAILBOX
	MP MILE POST MARKER
	MWL MONITORING WELL
	PIV POST INDICATOR VALVE
	PPT PROPANE TANK
	RAT RADIO TOWER
	SAD SATELLITE
	SCV SPRINKLER CONTROL VALVE
	SGN SIGN
	SLB STREET LIGHT BOX
	SLC STREET LIGHT CABINET
	SPB SPRINKLER BOX
	SPH SPRINKLER HEAD
	STP STUMP
	SV SEWER VALVE
	TCB TRAFFIC CONTROL BOX
	TSA TRAFFIC SIGNAL WITH MAST ARM
	TSC TRAFFIC SIGNAL CABINET
	TSMH TRAFFIC SIGNAL MANHOLE
	TSP TRAFFIC SIGNAL POLE
	TRE EXISTING TREELINE
	GMT PROPOSED TREELINE
	SID EXISTING SIDEWALK
	SDS PROPOSED SIDEWALK
	FSW FUTURE SIDEWALK
	EBL EXISTING BUILDINGS
	PBL PROPOSED BUILDINGS
	FBL FUTURE BUILDINGS
	EEP EXISTING EDGE OF PAVEMENT
	PEP PROPOSED EDGE OF PAVEMENT
	FEP FUTURE EDGE OF PAVEMENT
	ERL EXISTING ROADWAY CENTER LINE
	PRL PROPOSED ROADWAY CENTER LINE
	FRL FUTURE ROADWAY CENTER LINE
	ECG EXISTING CURB & GUTTER
	PCG PROPOSED CURB & GUTTER
	FCG FUTURE CURB & GUTTER
	R RADIUS
	L ARC DISTANCE
	D DELTA / CENTRAL ANGLE
EASEMENTS & SETBACKS	
	A.E. ACCESS EASEMENT
	B.M.P. BEST MANAGEMENT PRACTICE EASEMENT
	B.L. BUILDING SETBACK
	C.T.V.E. CABLE TV EASEMENT
	C.E. CONSERVATION EASEMENT
	C.G.E. CONSTRUCTION GRADING EASEMENT
	F.P.E. FLOOD PLAIN EASEMENT
	F.O.E. FIBER OPTIC EASEMENT
	F.P.S.E. FIRE PROTECTION SYSTEM EASEMENT
	F.L.E. FUEL LINE EASEMENT
	L.S.E. LANDSCAPE EASEMENT
	G.E. NATURAL GAS EASEMENT
	T.E. TELEPHONE EASEMENT
	E.E. POWER/ELECTRIC EASEMENT
	P.S. PARKING SETBACK
	S.B. STREAM BUFFER
	S.D.E. SURFACE DRAINAGE EASEMENT
	SIGHT DIST. ESMT. SIGHT DISTANCE EASEMENT
	S.E. SANITARY SEWER EASEMENT
	S.L.E. STEAM LINE EASEMENT
	D.E. STORM DRAINAGE EASEMENT
	S.W.M.E. STORM WATER MANAGEMENT EASEMENT
	T.C.D.S.E. TEMPORARY CUL-DE-SAC EASEMENT
	TEMP. ESMT. TEMPORARY EASEMENT
	TRAIL ESMT. TRAIL/PATH EASEMENT
	U.E. UTILITY EASEMENT
	W.E. WATER EASEMENT
	F.Y.S. FRONT YARD SETBACK
	R.Y.S. REAR YARD SETBACK
	S.Y.S. SIDE YARD SETBACK
CONTOURS	
	-100- EXISTING INDEX CONTOURS
	-100- EXISTING INTERMEDIATE CONTOURS
	-100- PROPOSED INDEX CONTOURS
	-100- PROPOSED INTERMEDIATE CONTOURS
SURVEY MARKERS	
	BMK BENCHMARK
	CPT CONTROL POINT
	FND FOUND MONUMENT
	ROW ROW MARKER
	SCR SECTION CORNER
	SET SET MONUMENT
BOUNDARIES	
	--- SECTION LINE
	EEP EXISTING PROPERTY BOUNDARY
	PEP PROPOSED PROPERTY BOUNDARY
	--- EXISTING LOT LINE
	--- PROPOSED LOT LINE
	ERL EXISTING RIGHT-OF-WAY
	PRL PROPOSED RIGHT-OF-WAY
UTILITIES	
	CAB CABLE BOX
	CAV CABLE VAULT
	TEP TELEVISION PEDESTAL
	TVR TELEVISION RISER
	EOTVH EXISTING CABLE TV, OVERHEAD
	ECTV EXISTING CABLE TV, UNDERGROUND
	PCTVH PROPOSED CABLE TV, OVERHEAD
	PCTV PROPOSED CABLE TV, UNDERGROUND
	FOM FIBER OPTIC BOX
	FOMH FIBER OPTIC MANHOLE
	FOP FIBER OPTIC PEDESTAL
	FOV FIBER OPTIC VAULT
	EFOH EXISTING FIBER OPTIC, OVERHEAD
	EFO EXISTING FIBER OPTIC, UNDERGROUND
	PFOH PROPOSED FIBER OPTIC, OVERHEAD
	PFO PROPOSED FIBER OPTIC, UNDERGROUND
	FDC FIRE DEPT. CONNECTION
	EFP EXISTING FIRE PROTECTION SYSTEM LINE
	PFP PROPOSED FIRE PROTECTION SYSTEM LINE
	EFL EXISTING FUEL LINE
	PFL PROPOSED FUEL LINE
	GAR GAS RISER
	GMH GAS MANHOLE
	GMK GAS MARKER
	GMT GAS METER
	GRG GAS REGULATOR
	GVL GAS VALVE
	EG EXISTING NATURAL GAS LINE
	PEG PROPOSED NATURAL GAS LINE
	TEC TELEPHONE CABINET
	TER TELEPHONE RISER
	TEV TELEPHONE VAULT
	TMH TELEPHONE MANHOLE
	TELH EXISTING TELEPHONE LINE, OVERHEAD
	TEL EXISTING TELEPHONE LINE, UNDERGROUND
	PTELH PROPOSED TELEPHONE LINE, OVERHEAD
	PTEL PROPOSED TELEPHONE LINE, UNDERGROUND
	GLT GROUND LIGHT
	LTP LIGHT POLE
	PWP POWER POLE
	TRF ELECTRIC TRANSFORMER
	EBL ELECTRIC BOX
	ELC ELECTRIC CABINET
	ELR ELECTRIC RISER
	EMH ELECTRIC MANHOLE
	EMT ELECTRIC METER

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ADA STALL LOCATION MAP

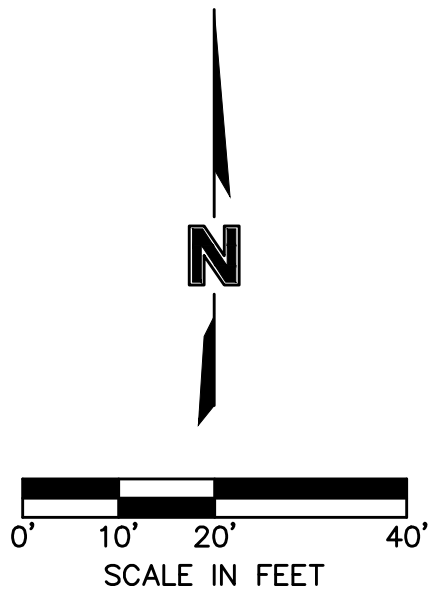


SITE DEVELOPMENT DATA												
EXISTING ZONING	GROSS LAND AREA	PROPOSED STREET R/W	NET LAND AREA	LAND USE	BUILDING FLOORS	BUILDING FLOOR AREA	BUILDING COVERAGE	F.A.R.	PARKING STALLS REQUIRED	PARKING STALLS PROVIDED	IMPERV. AREA (EX.)	IMPERV. AREA (PROP.)
PMIX	4.69 AC.	0	4.69 AC.	EVENT SPACE PARKING	N/A	N/A	N/A	N/A	75	77	8.25%	20.98%

LEGEND			
	CONCRETE SIDEWALK (See Detail Sheet)		CG-1 CURB & GUTTER (See Detail Sheet)
	STANDARD DUTY ASPHALT PAVEMENT (See Detail Sheet)		CG-1 CURB & GUTTER (DRY) (See Detail Sheet)
			NUMBER OF PARKING STALLS

CONSTRUCTION NOTES

- CONSTRUCT STANDARD DUTY ASPHALT PAVEMENT (SEE LEGEND AND DETAIL SHEET C11)
- TYPE CG-1 CONCRETE CURB AND GUTTER (SEE LEGEND AND DETAIL SHEET C11)
- TYPE CG-1 DRY CONCRETE CURB AND GUTTER (SEE LEGEND AND DETAIL SHEET C11)
- CONSTRUCT PRIVATE SIDEWALK (SEE DETAIL ON SHEET C11)
- PROPOSED ACCESSIBLE PARKING SIGN (SEE DETAIL SHEET C11)
- EXISTING PRIVATE SIDEWALK
- PROPOSED ACCESSIBLE STRIPING (TYP.) (SEE DETAIL SHEET C11)
- PROPOSED 4" WHITE THERMOPLASTIC PAVEMENT STRIPING (TYP.) (SEE DETAIL SHEET C11)
- PROPOSED CONCRETE STAIRS WITH HANDRAIL (SEE DETAIL SHEET C12)
- PROPOSED LIGHT POLES (SEE SITE LIGHTING PLANS FOR DETAILS)



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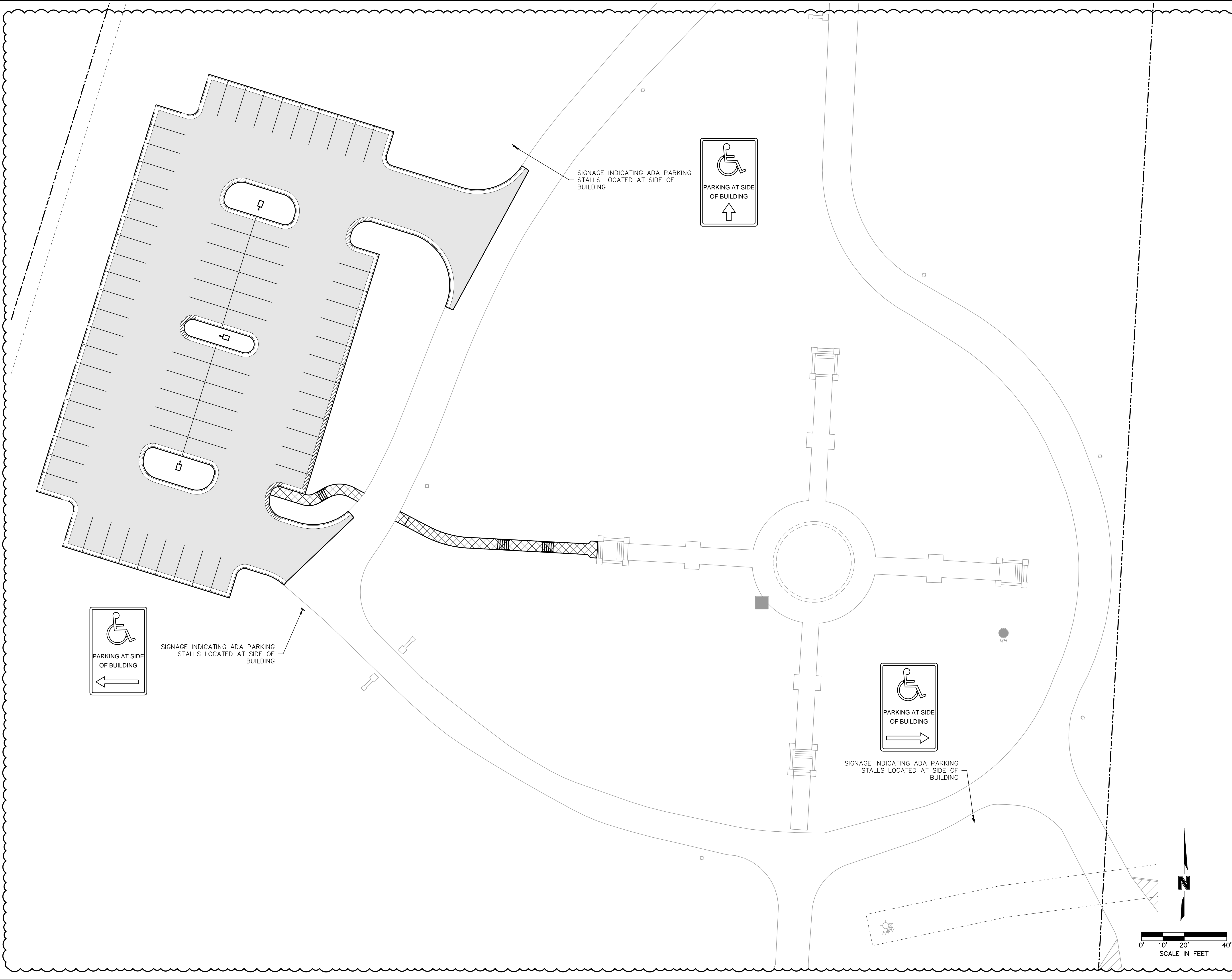
BY	
REVISIONS DESCRIPTION	
REV. NO.	DATE
1	03/28/2024

OVERALL SITE PLAN	2024
LONGVIEW MANSION PARKING ADDITION FINAL DEVELOPMENT PLANS	
LEE'S SUMMIT, MO	

drawn by: CH	checked by: DP	approved by: SS	QA/QC by: CH
project no.: 022-06318	drawing no.: C_SIT01_02206318	date: 2024.03.01	

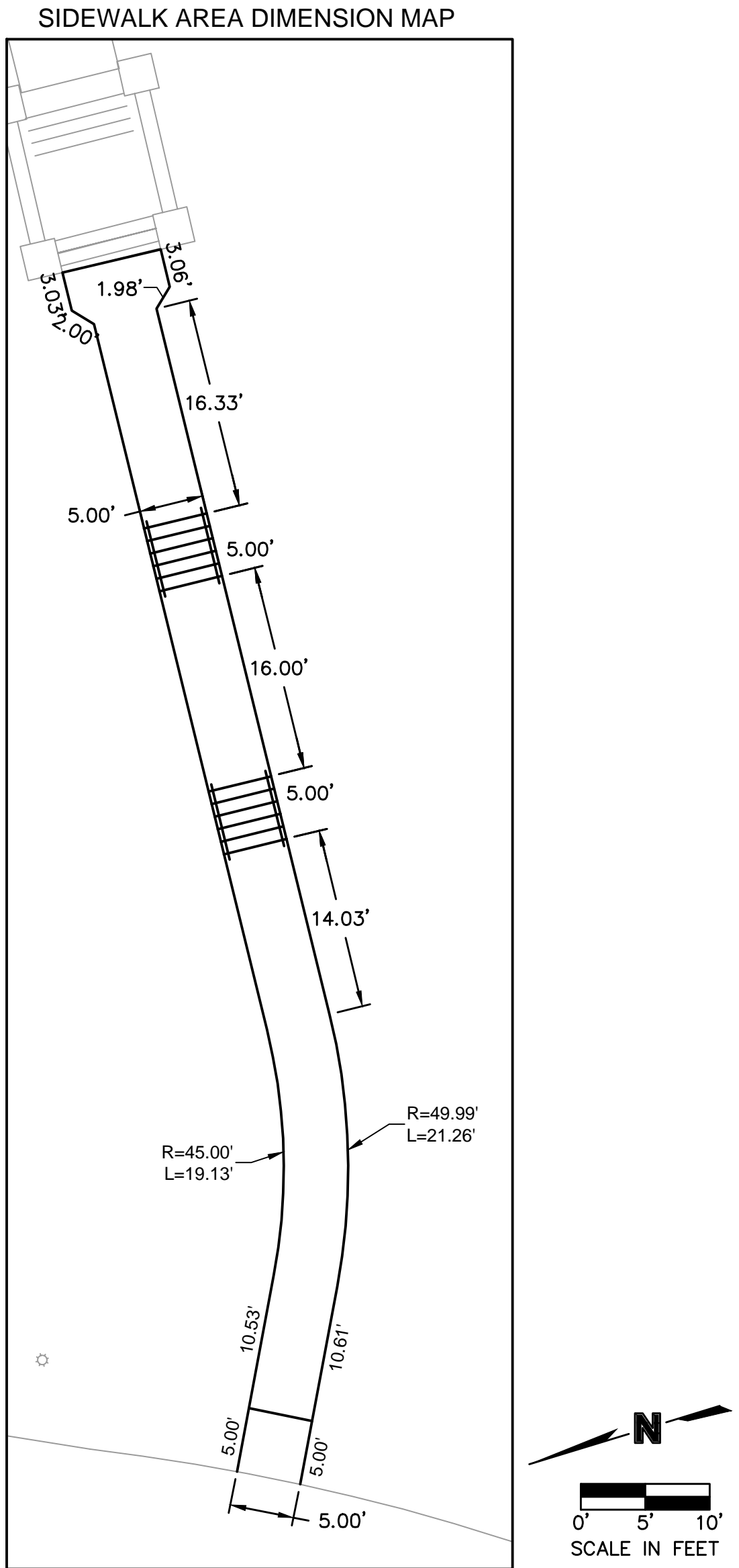
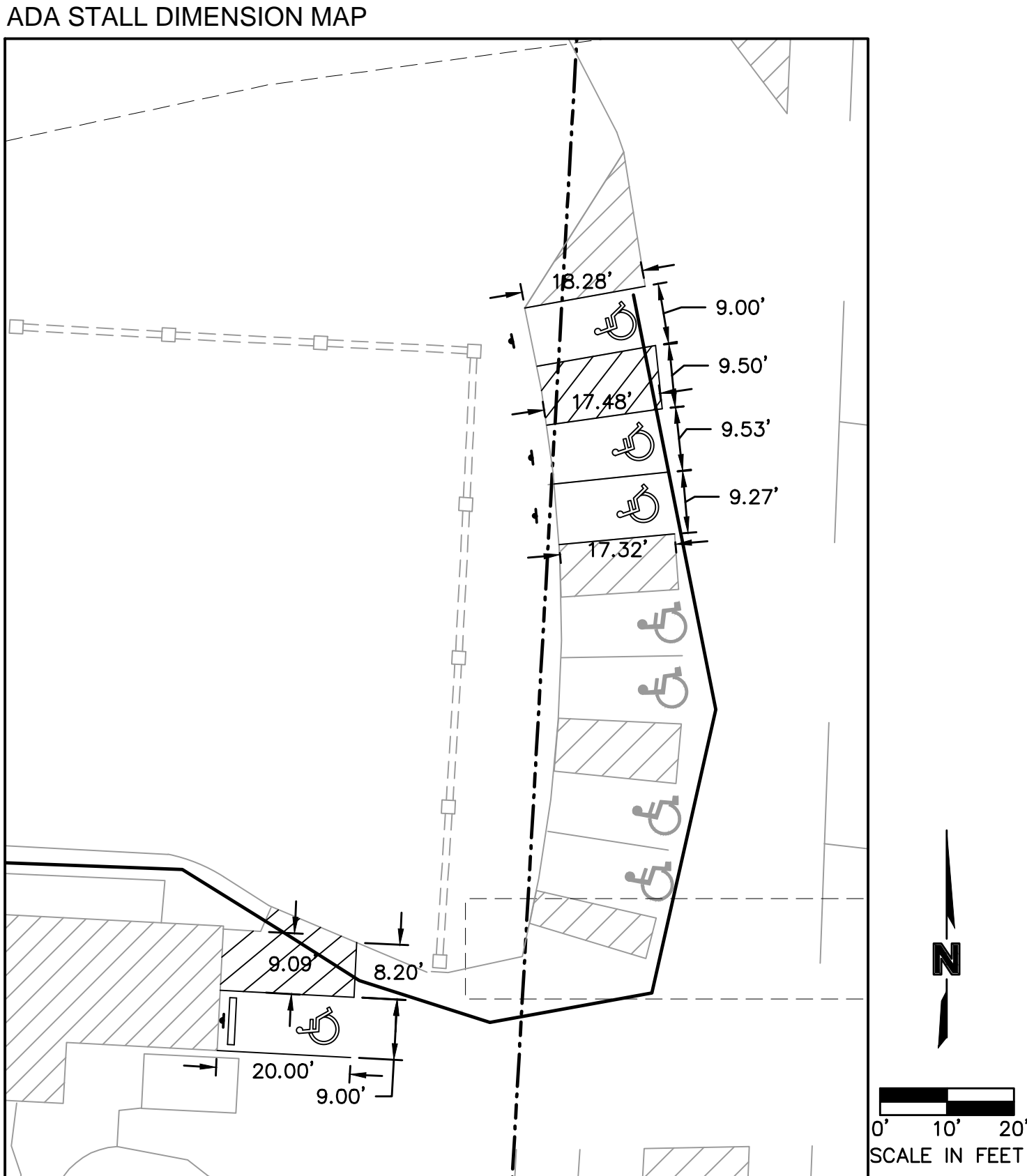
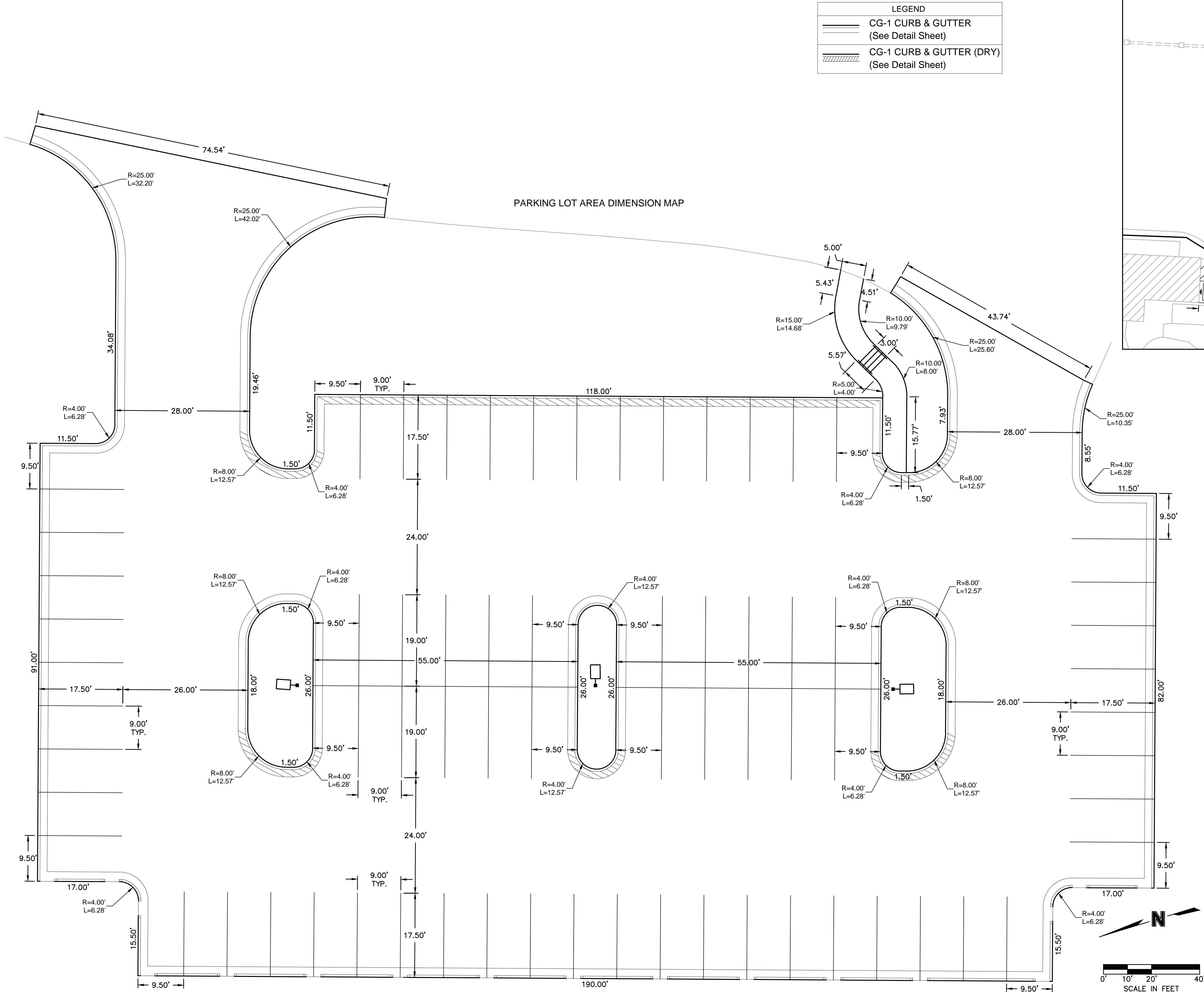
SHEET	C04
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DATE: Mar 28, 2024 3:05pm XREFS: C_XBASE_02206318 C_PBASE_02206318



SHEET C04A		SIGNAGE PLAN		REV. NO. 1		DATE 03/28/2024		REVISIONS DESCRIPTION REVISED PER CITY COMMENTS		BY	
LONGVIEW MANSION PARKING ADDITION FINAL DEVELOPMENT PLANS		LEE'S SUMMIT, MO		2024							
<div>drawn by: CH</div> <div>checked by: DP</div> <div>approved by: SS</div> <div>QA/QC by: CH</div> <div>project no.: 022-06318</div> <div>drawing no.: C_SIT01_02206318</div> <div>date: 2024.03.01</div>											
<div>olsson</div> <div>Olsson - Civil Engineering Missouri Certificate of Authority #001592 1301 Burlington Street North Kansas City, MO 64116 TEL 816.361.1177 www.olsosn.com</div> <div>STATE OF MISSOURI STEPHEN M. SAYLOR SAYLOR NUMBER PE-2018021246 3/28/2024 PROFESSIONAL ENGINEER</div> <div>REVISIONS</div>											

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SITE DIMENSION PLAN		REVISIONS		BY
		REV. NO.	DATE	
LONGVIEW MANSION PARKING ADDITION FINAL DEVELOPMENT PLANS		REVISIONS DESCRIPTION		BY
		REV. NO.	DATE	
LEE'S SUMMIT, MO		2024		
SHEET C05		drawing no.: C_SIT01_02206318 date: 2024.03.01		

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checked by: DP
approved by: SS
QA/QC by: CH

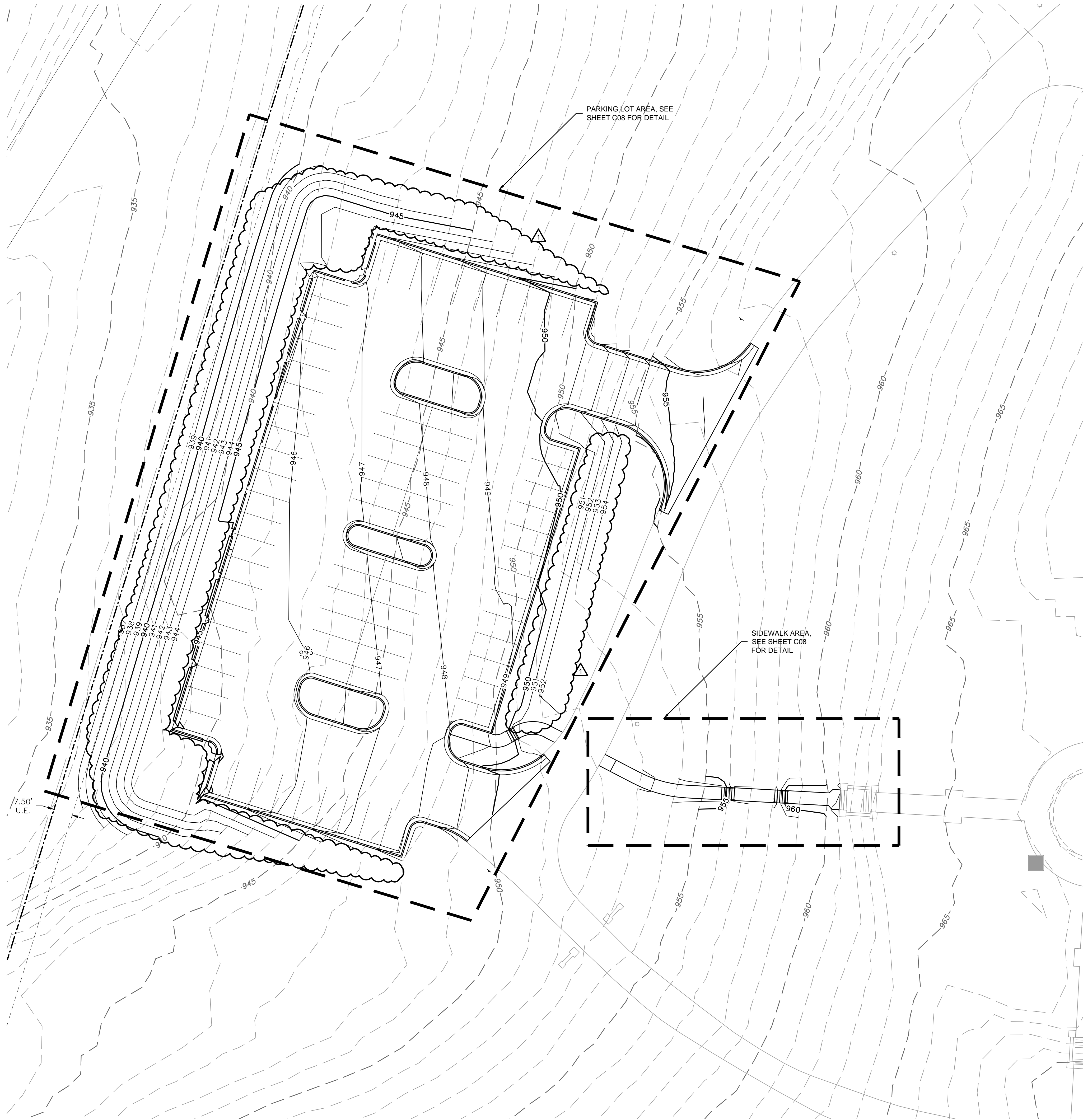
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drawing no.: C_SIT01_02206318
date: 2024.03.01

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STATE OF MISSOURI
STEPHEN M. SAYLOR
NUMBER
PE-2018021248
3/28/2024
PROFESSIONAL ENGINEER

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USER: ssaylor



LEGEND	
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	PROPOSED INDEX CONTOURS
	PROPOSED INTERMEDIATE CONTOURS

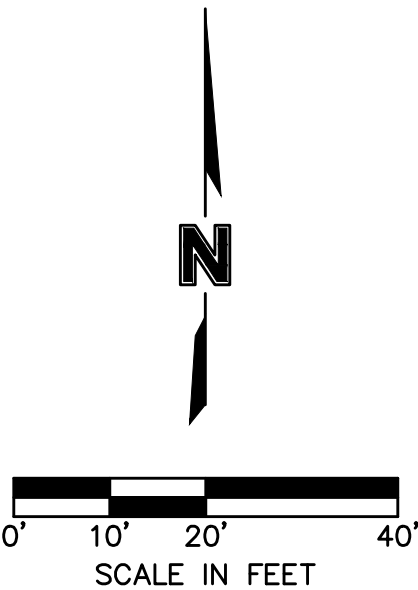
EARTHWORK QUANTITIES		
LOCATION	CUT (C.Y.)	FILL (C.Y.)
SITE	204	3835

EARTHWORK QUANTITIES NOTES

1. EARTHWORK QUANTITIES BASED ON FINISHED GRADE SURFACE AND DO NOT INCLUDE ADJUSTMENTS FOR TOPSOIL AND SHRINKAGE.
2. EARTHWORK QUANTITIES DO NOT TAKE INTO CONSIDERATION EXCAVATION, REMOVAL AND DISPOSAL OF MATERIAL DEEMED UNSUITABLE BY A GEOTECHNICAL ENGINEER. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR EXCAVATION, REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL AND FOR REPLACING IT WITH SUITABLE MATERIAL.

GRADING PLAN NOTES

1. THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE, SURFACE OF PAVEMENT, TOP OF CURBS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT PAVEMENT DEPTH FROM ELEVATIONS SHOWN.
2. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
3. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.
4. SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT, LIP OF CURB, OR FINISHED GRADE UNLESS OTHERWISE INDICATED. (SEE LEGEND)



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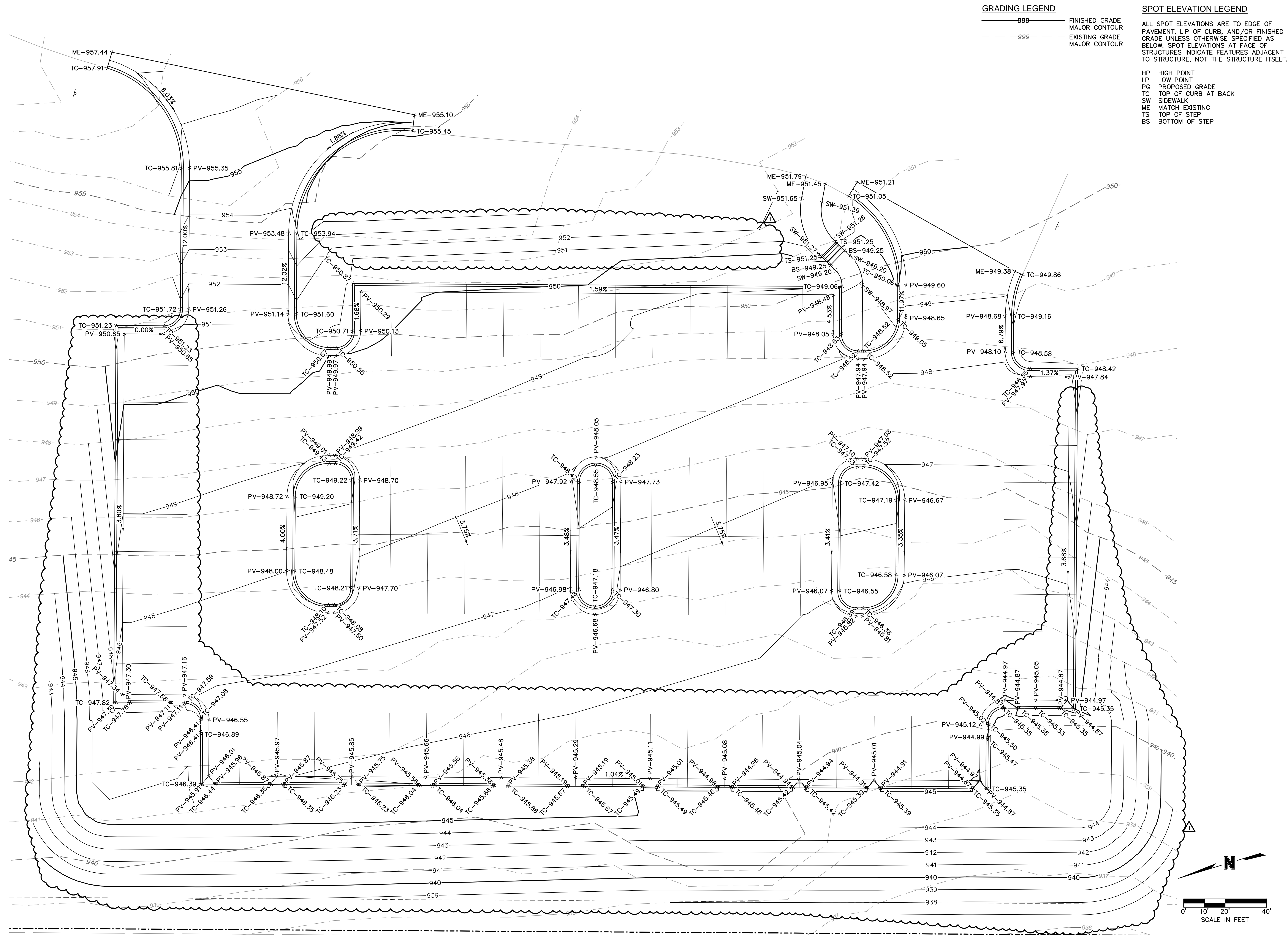
GRADING PLAN

LONGVIEW MANSION PARKING ADDITION FINAL DEVELOPMENT PLANS

LEE'S SUMMIT. MO

drawn by: _____ CH
checked by: _____ DP
approved by: _____ SS
QA/QC by: _____ CH
project no.: _____ 022-06318
drawing no.: C GRD01 02206318
date: _____ 2024.03.01

SHEET
C06



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USER: ssa\vor

GRADING LEGEND

————— 999 ————— FINISHED GRADE
MAJOR CONTOUR

— — — 999 — — — EXISTING GRADE
MAJOR CONTOUR

SPOT ELEVATION LEGEND

ALL SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT, LIP OF CURB, AND/OR FINISHED GRADE UNLESS OTHERWISE SPECIFIED AS BELOW. SPOT ELEVATIONS AT FACE OF STRUCTURES INDICATE FEATURES ADJACENT TO STRUCTURE, NOT THE STRUCTURE ITSELF.

HP HIGH POINT
LP LOW POINT
PG PROPOSED GRADE
TC TOP OF CURB AT BACK
SW SIDEWALK
ME MATCH EXISTING
TS TOP OF STEP
BS BOTTOM OF STEP

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[illegible]

SPOT ELEVATIONS

LONGVIEW MANSION PARKING ADDITION FINAL DEVELOPMENT PLANS

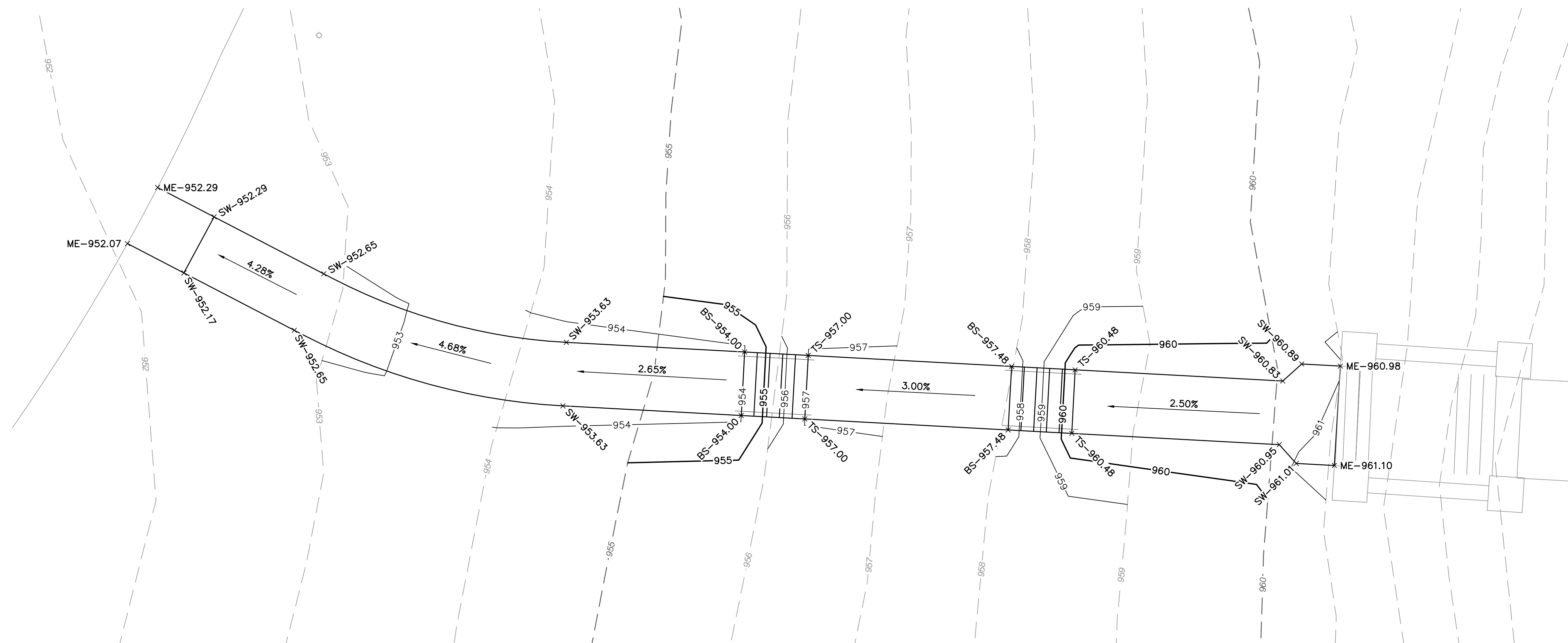
LEE'S SUMMIT, MO

2024


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checked by: _____ DP
approved by: _____ SS
QA/QC by: _____ CH
project no.: _____ 022-06318
drawing no.: C_SPT01_02206318
date: _____ 2024.03.01

SHEE
C07

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GRADING LEGEND



SPOT ELEVATION LEGEND

ALL SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT, LIP OF CURB, AND/OR FINISHED GRADE UNLESS OTHERWISE SPECIFIED AS BELOW. SPOT ELEVATIONS AT FACE OF STRUCTURES INDICATE FEATURES ADJACENT TO STRUCTURE, NOT THE STRUCTURE ITSELF.

HP HIGH POINT
LP LOW POINT
PG PROPOSED GRADE
TC TOP OF CURB AT BACK
SW SIDEWALK
ME MATCH EXISTING
TS TOP OF STEP
BS BOTTOM OF STEP

SPOT ELEVATIONS

**LONGVIEW MANSION PARKING ADDITION
FINAL DEVELOPMENT PLANS**

LEE'S SUMMIT, MO

drawn by: _____ CH
checked by: _____ DP
approved by: _____ SS
QA/QC by: _____ CH
project no.: _____ 022-06318
drawing no.: C_SPT01_02206318
date: _____ 2024.03.01

SHEET
C08

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2024

SPOT ELEVATIONS	
LONGVIEW MANSION PARKING ADDITION FINAL DEVELOPMENT PLANS	
EE'S SUMMIT MO	2024

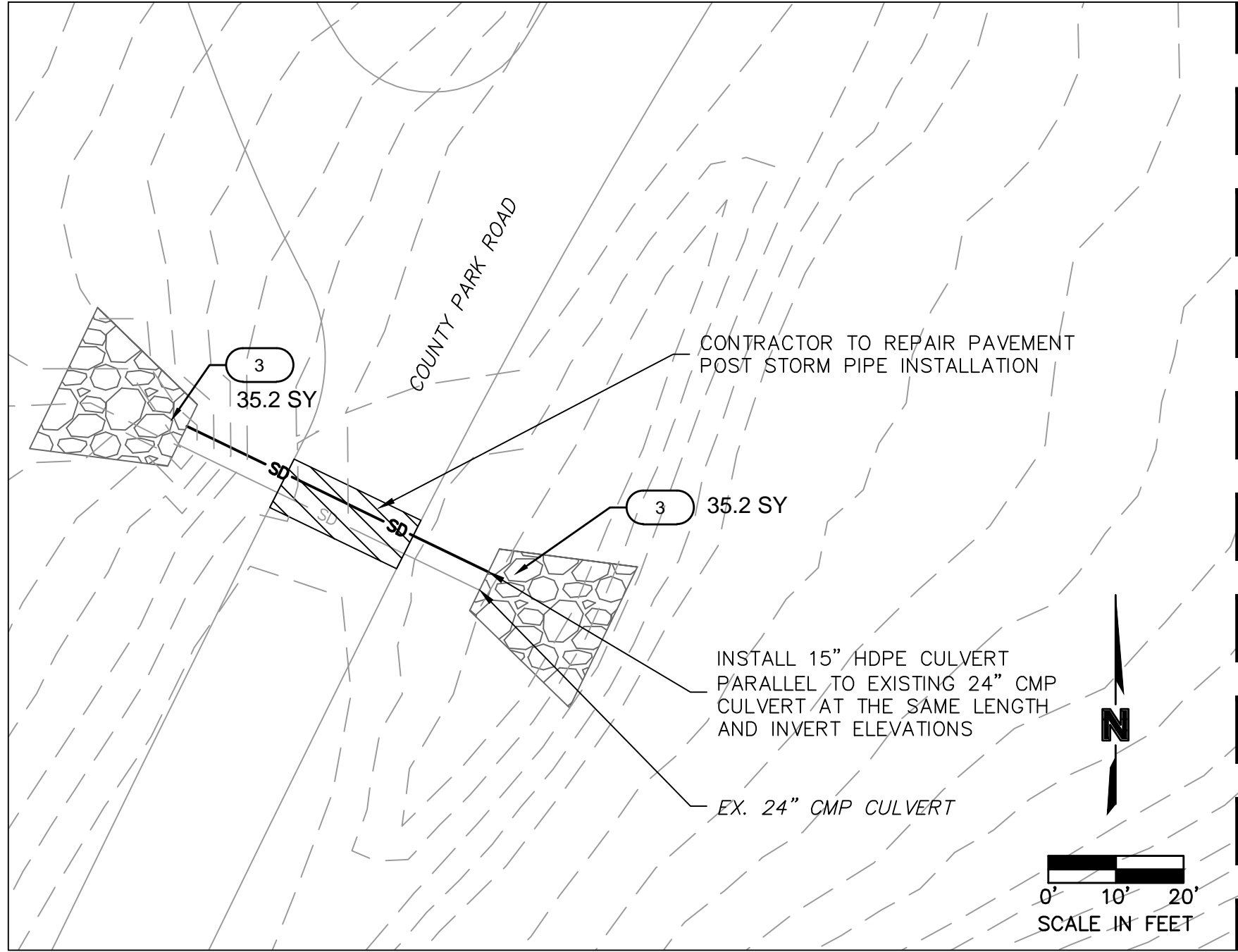
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OFFSITE CULVERT PLAN



LEGEND	
	RIPRAP (See Detail Sheet)
	INFILTRATION TRENCH (See Detail Sheet)

CONSTRUCTION NOTES

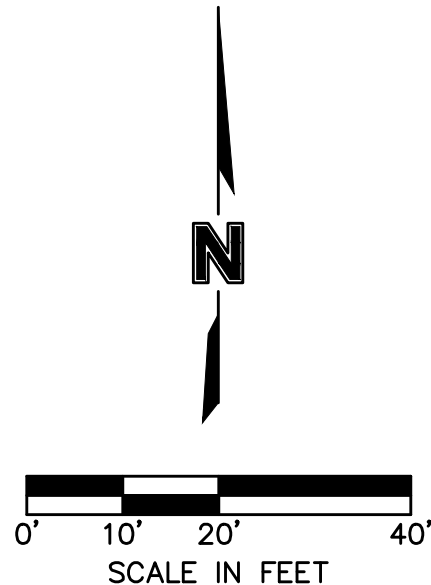
- 3' CURB CUT
- PROPOSED 6" PERFORATED PVC UNDERDRAIN, SEE SHEET C12 FOR DETAILS
- PROPOSED CLASS 4 RIP RAP, SEE SHEET C12 FOR DETAILS
- PROPOSED CLASS 3 RIP RAP, SEE SHEET C12 FOR DETAILS
- OBSERVATION PORT
SEE SHEET C12 FOR DETAILS
- CLEANOUT
SEE SHEET C12 FOR DETAILS
- PROPOSED 6' WIDE INFILTRATION TRENCH
SEE SHEET C12 FOR DETAILS
- UNDERDRAIN DISCHARGE LOCATION
FL - 939.06
N: 995845.9513
E: 2801963.5000

Riprap Calculations							
End Section	Q ₁₀₀ (cfs)	Pipe Diameter (ft)	Class*	D50* (in)	Apron Length (ft)	Apron Depth (ft)	Area (SY)
E.S. 1-1	66	3.25	4	14	19.5	2.57	35.2
E.S. 2-1	66	3.25	4	14	19.5	2.57	35.2

*Per Table 10.1 HEC 14-FHWA-Energy Dissipators Pg. 10-18

*Per Table 10.1 HEC 14-FHWA-Energy Dissipators Pg. 10-18

NOTE: NO PUBLIC OR PRIVATE WATER, SANITARY SEWER, OR STORM SEWER PROPOSED OTHER THAN 6" PERFORATED PIPE FOR INFILTRATION TRENCH & 15" CULVERT ACROSS OFFSITE COUNTY PARK ROAD.



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STEPHEN M. SAYLOR
SAVLCR
NUMBER
PE-2018021248
3/28/2024
PROFESSIONAL ENGINEER

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

1

03/28/2024

REVISED PER CITY COMMENTS

REVISIONS

2024

BMP PLAN

LONGVIEW MANSION PARKING ADDITION
FINAL DEVELOPMENT PLANS

LEE'S SUMMIT, MO

drawn by: CH

checked by: DP

approved by: SS

QA/QC by: CH

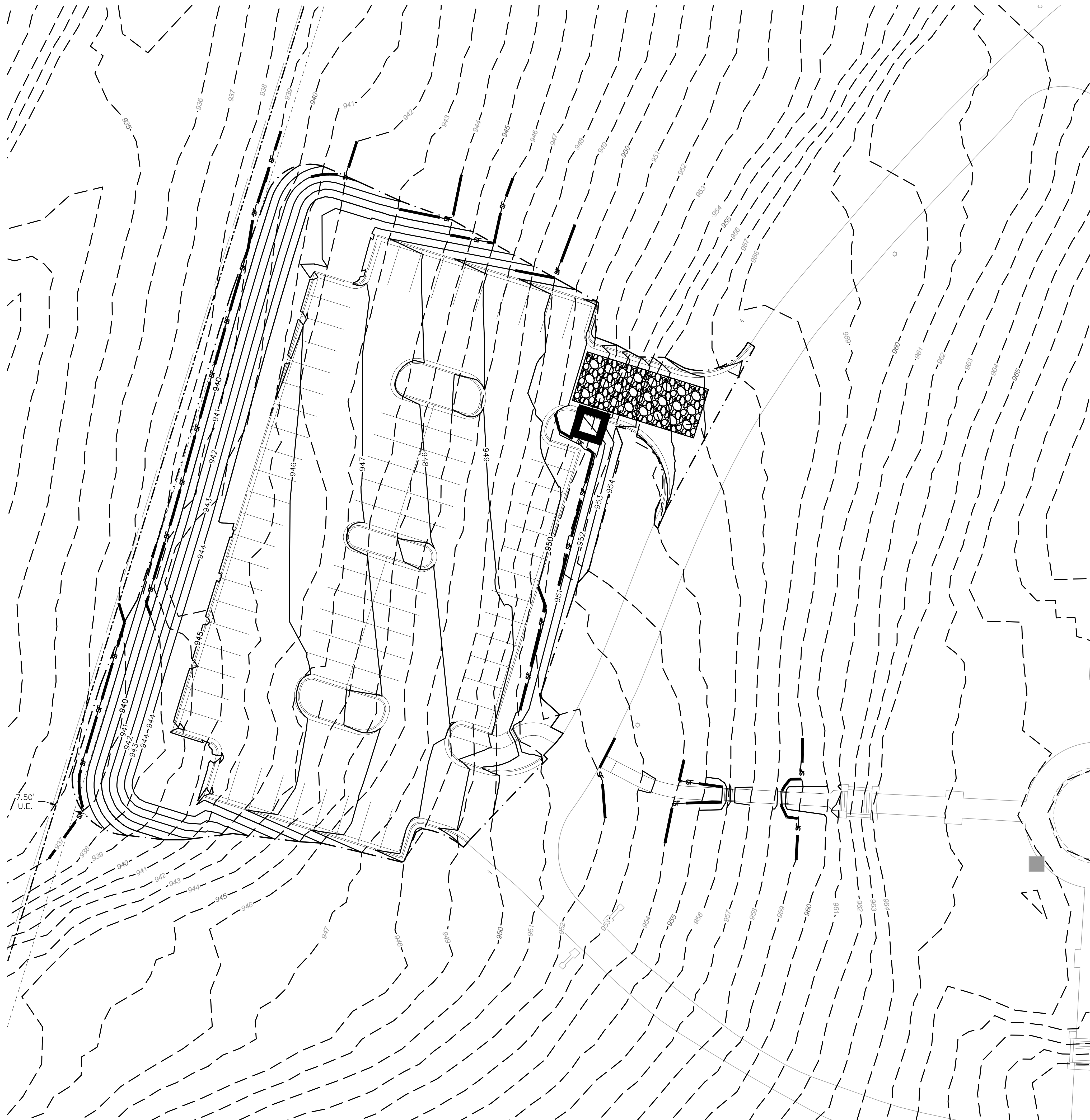
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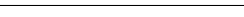


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date: 2024.03.01

SHEET

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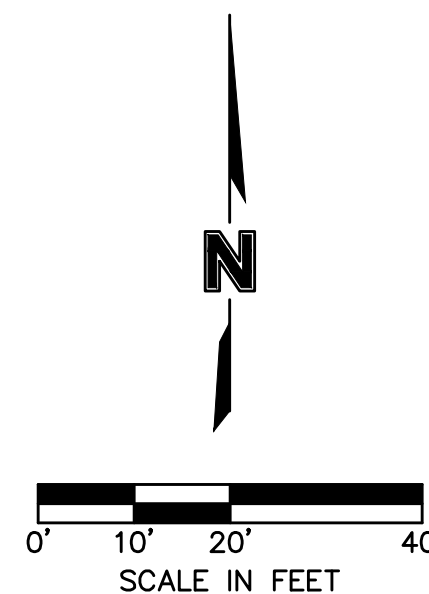


LEGEND	
	LIMITS OF DISTURBANCE
	SILT FENCE
	TEMPORARY STONE CONSTRUCTION ENTRANCE
	CONCRETE WASHOUT AREA

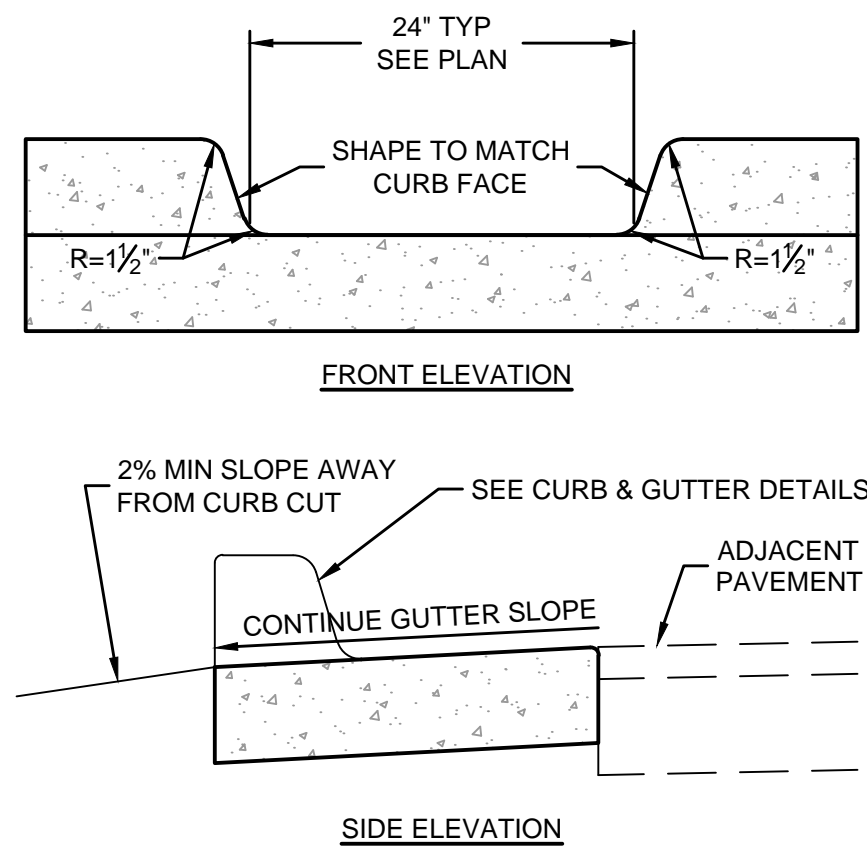
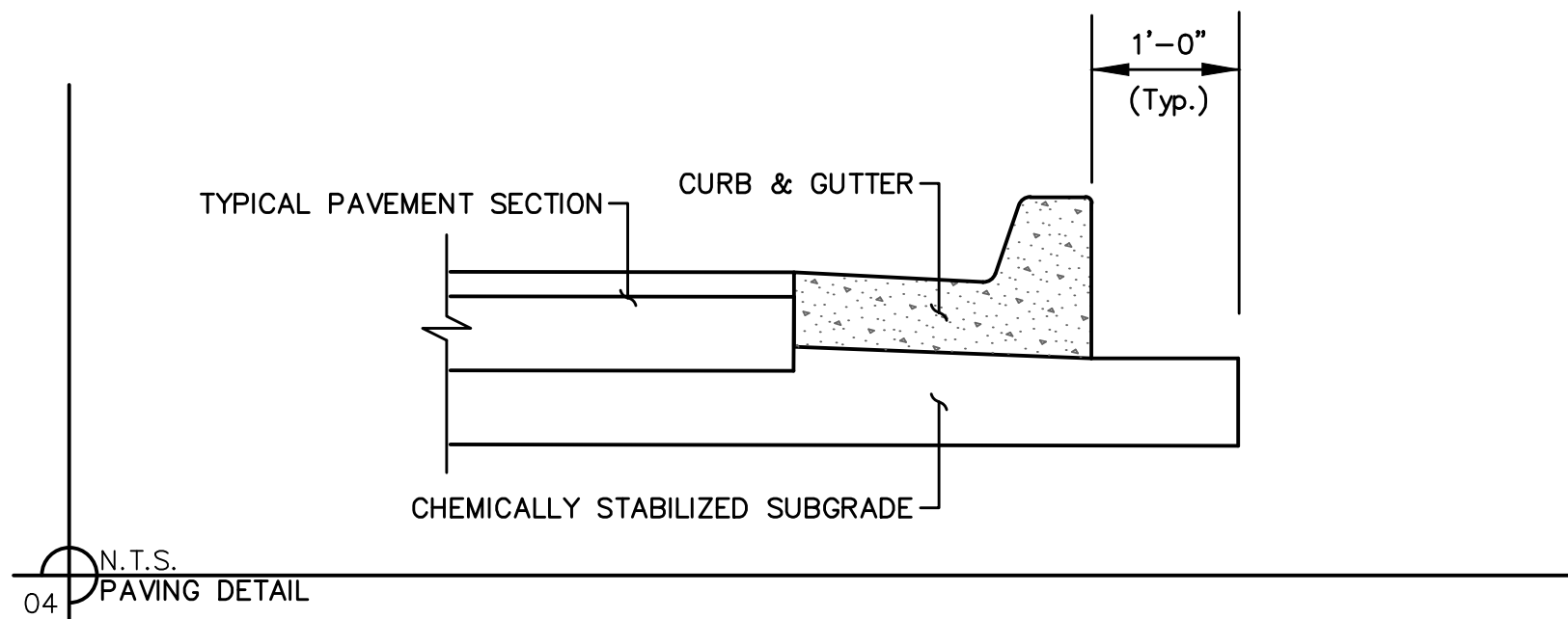
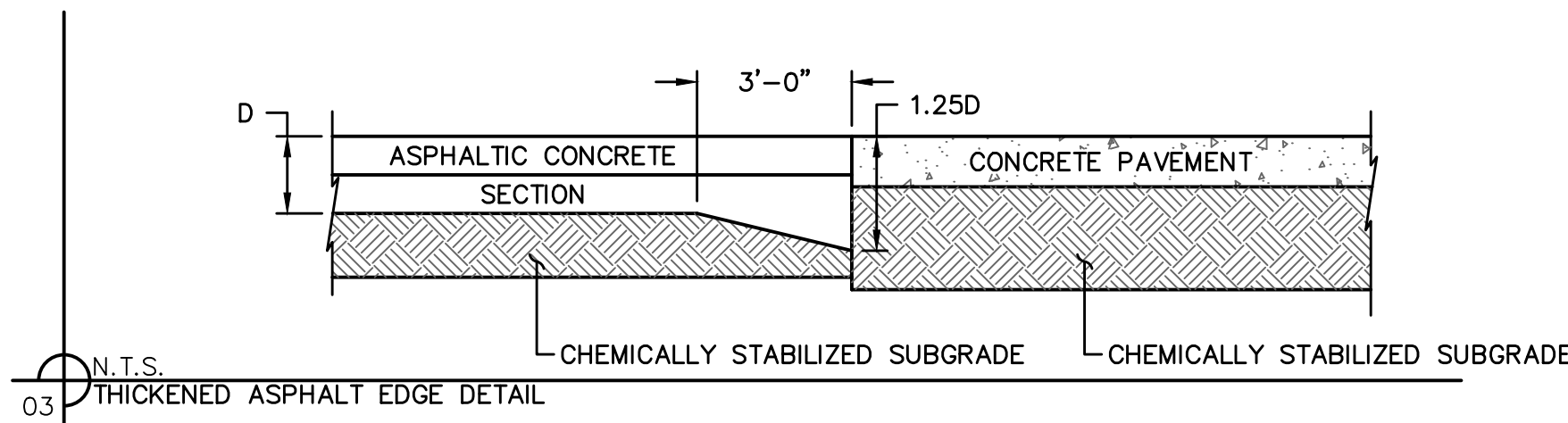
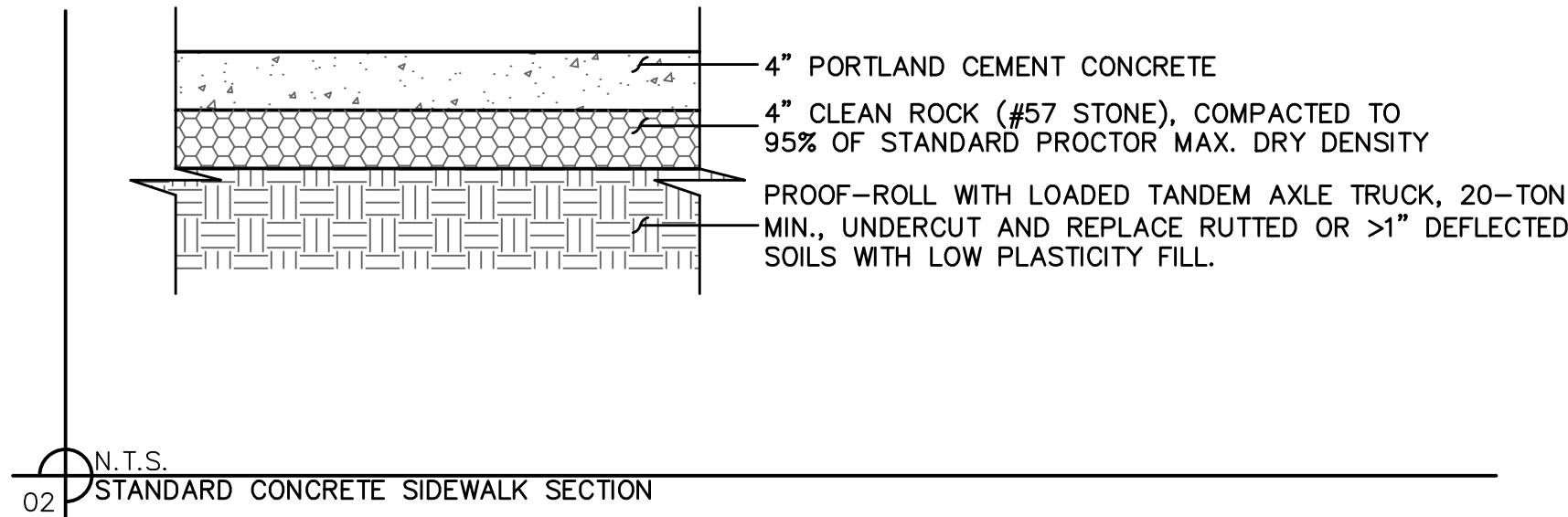
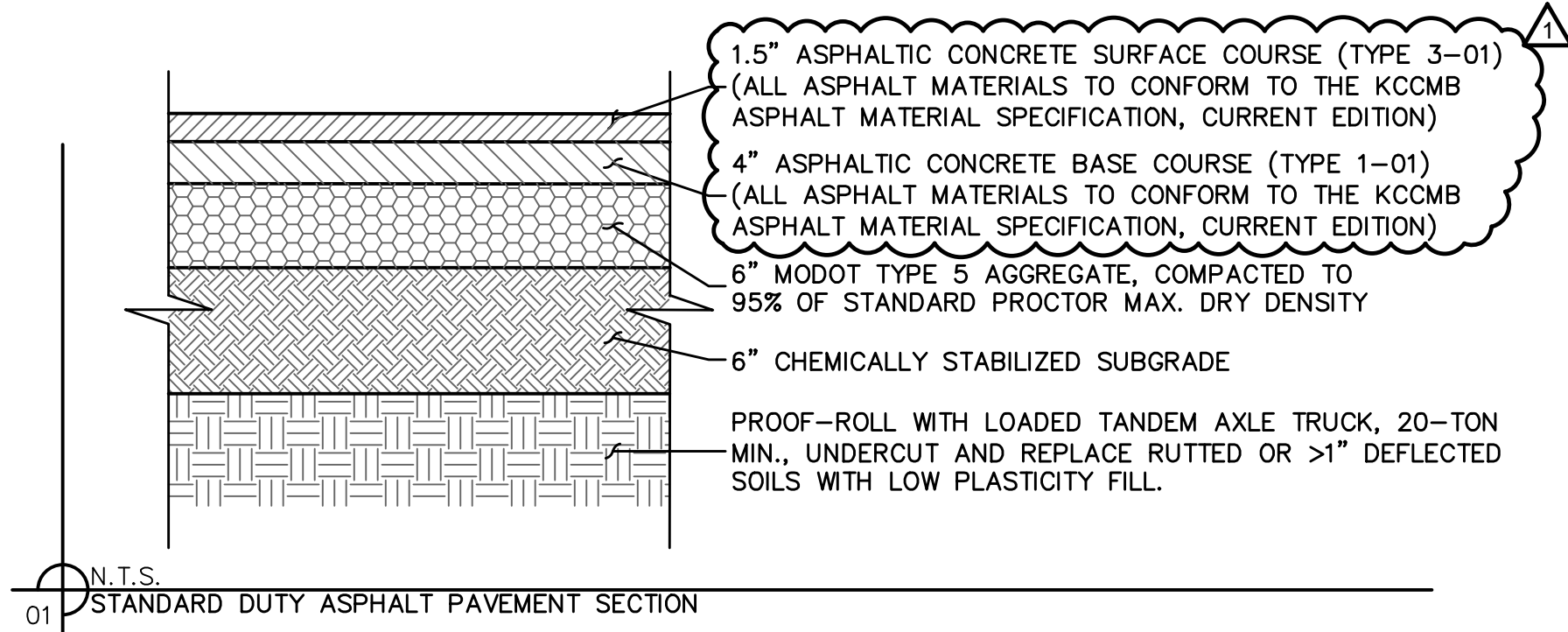
DISTURBED AREA = 0.98 AC.

EROSION CONTROL PLAN NOTES

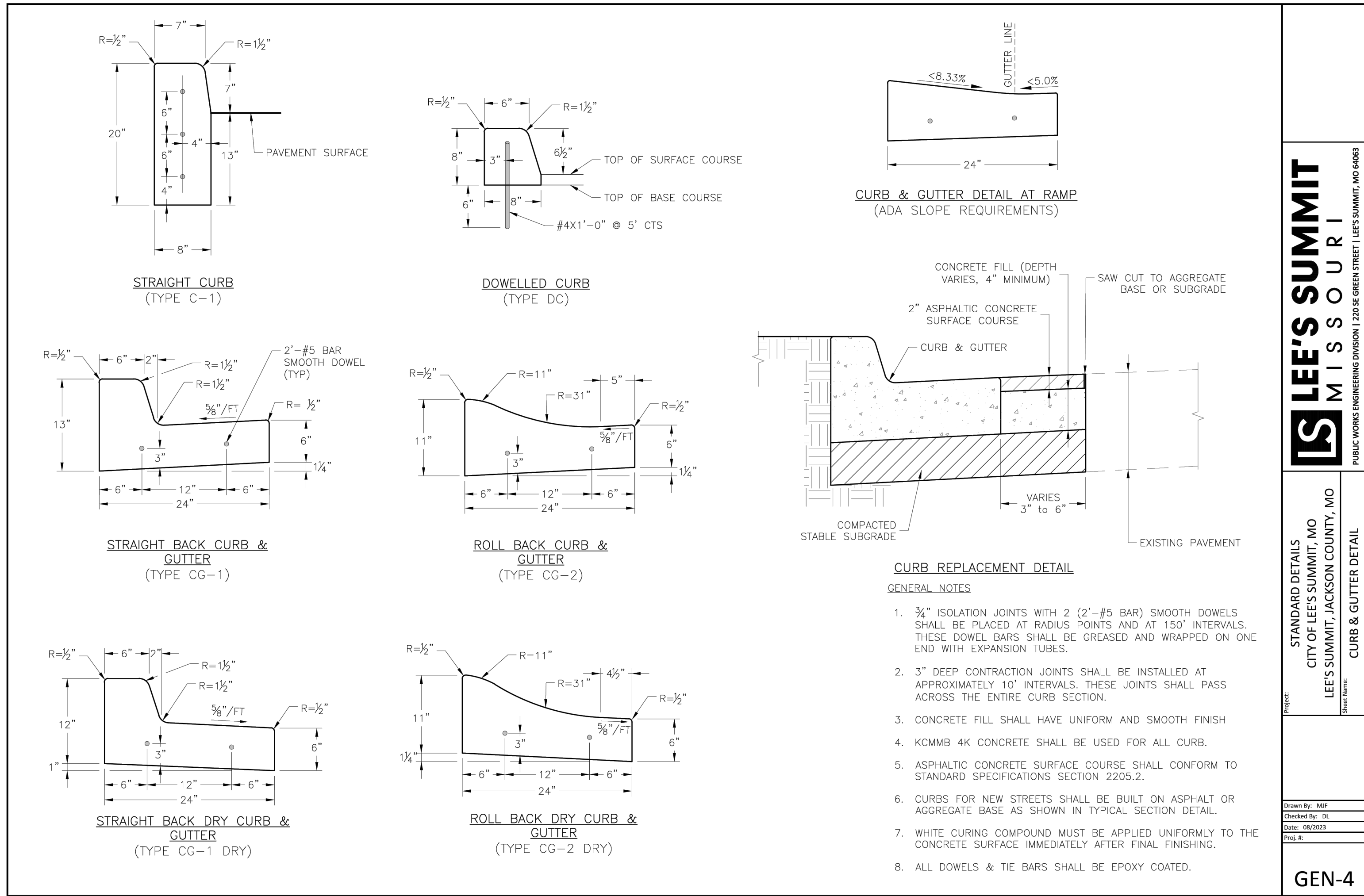
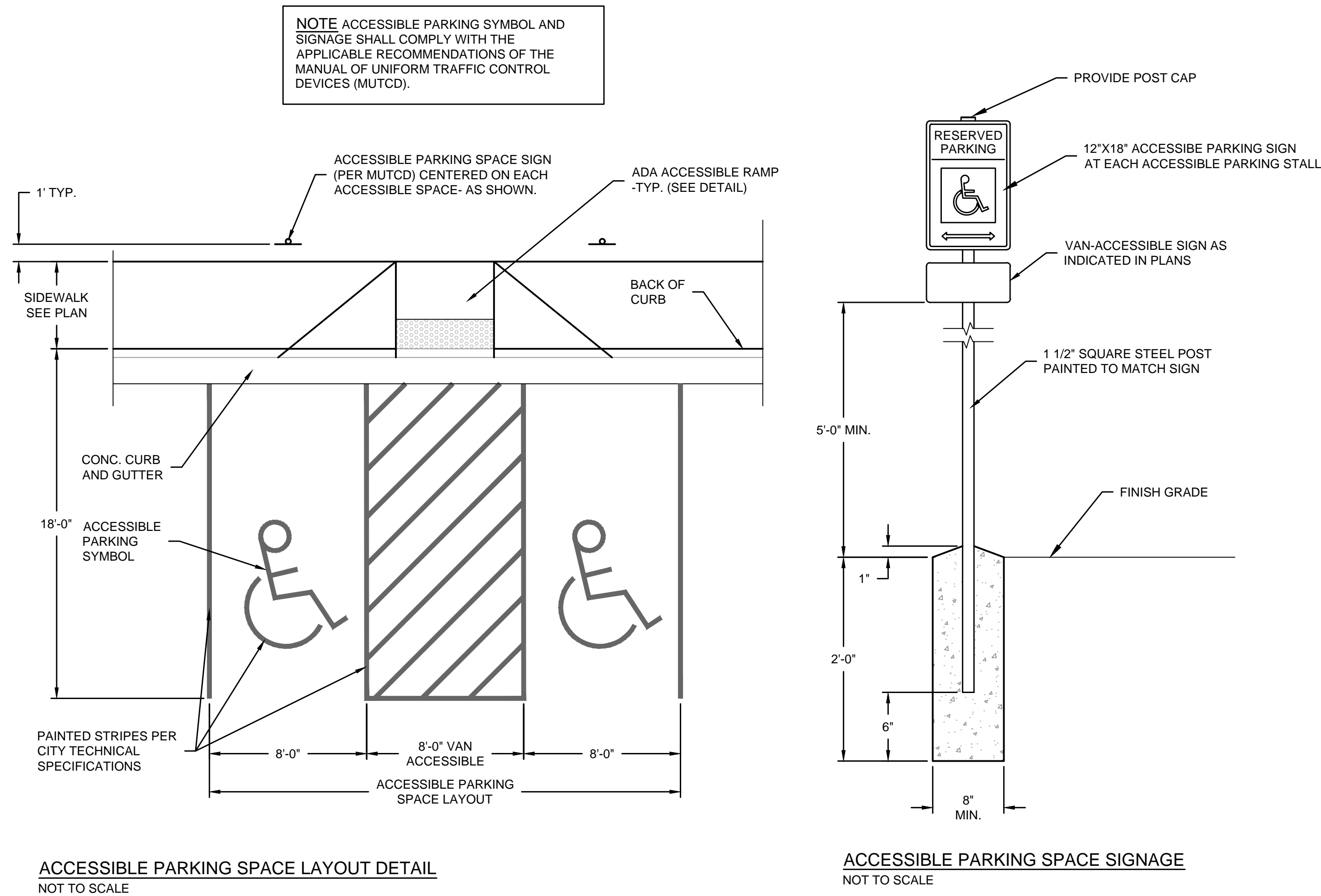
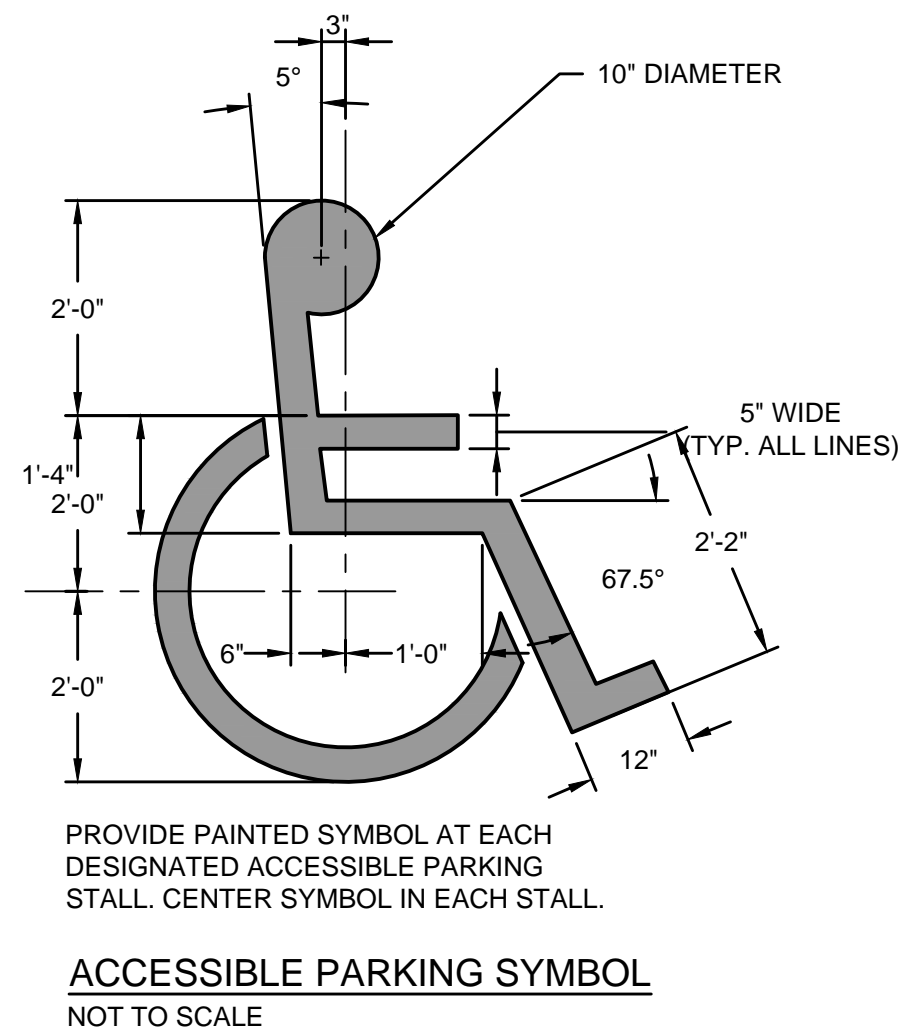
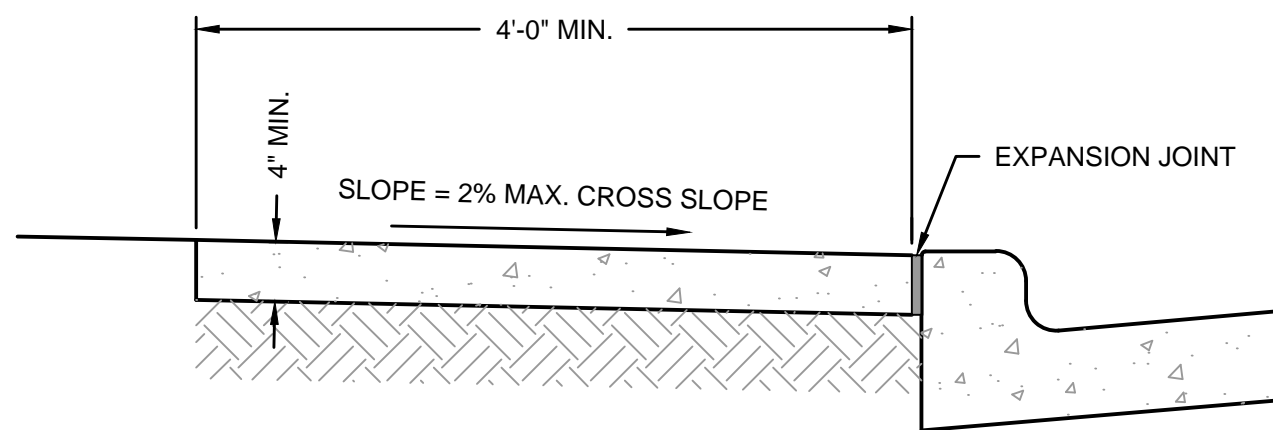
1. CONTRACTOR SHALL CONSIDER ANY EROSION AND/OR SEDIMENT CONTROL SHOWN IN THIS PLAN SET AS A MINIMUM REQUIREMENT. CONTRACTOR IS RESPONSIBLE FOR EVALUATING SITE CONDITIONS AND INSTALLING ANY ADDITIONAL CONTROLS AS NECESSARY.
2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES THROUGHOUT THE PROJECT, AND ALL FINES ASSOCIATED WITH EROSION CONTROL VIOLATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
3. AT ANY TIME DURING CONSTRUCTION THE CITY MAY REQUIRE ADDITIONAL EROSION/SILTATION CONTROL MEASURES TO BE INSTALLED. WHEN REQUIRED SUCH MEASURES SHALL BE INSTALLED WITHIN 48 HOURS OF HOURS OF NOTICE (VERBAL OR WRITTEN).
4. CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES PER THE DETAILS SHOWN ON SHEET C12. ALL COSTS ASSOCIATED WITH REPAIR OR RE-INSTALLATION, INCLUDING RELATED INCIDENTALS, WILL BE THE CONTRACTOR'S RESPONSIBILITY.
5. ALL DISTURBED AREAS SHALL BE LANDSCAPED, SEEDED OR SODDED, AS SHOWN ON THE LANDSCAPE PLAN.
6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED WITH A HEALTHY STAND OF PERMANENT VEGETATION. AREAS DISTURBED BY DEVICE REMOVAL SHALL BE IMMEDIATELY STABILIZED, SEED BLENDS OR SOD SHALL MATCH WHAT WAS USED IN AREAS SURROUNDING DISTURBANCE.
7. PRIOR TO LEAVING THE SITE THE CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, FLUMES, PIPES, GUTTERS, ETC. ARE CLEANED OUT AND WORKING PROPERLY.
8. THE EROSION CONTROL PLAN INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.
9. SEE SHEET C12 FOR DETAILS.

[illegible]

DWG: F:\2022\06001-06500\022-06318\40-Design\AutoCAD\Final Plans\Sheets\GNC\VC_DTL01_02206318.dwg
DATE: Mar 28, 2024 3:06pm
USER: ssaylor
XREFS: C_PTBK_02206318



CONCRETE CURB CUT DETAIL
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www.olson.com

STEPHEN M. SAYLOR
SAVILOR
NUMBER
PE-2018021248
3/28/2024
PROFESSIONAL ENGINEER

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

2024

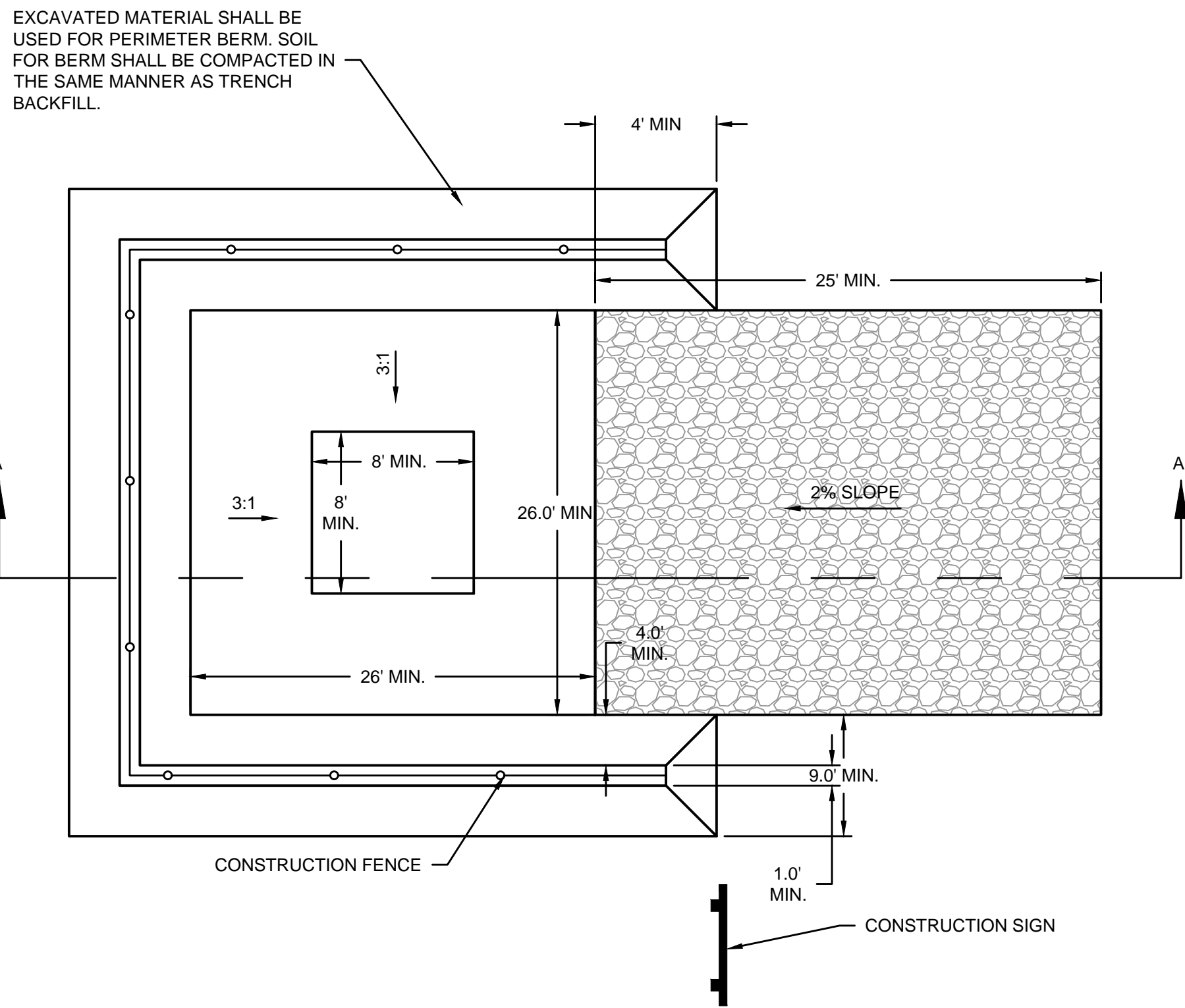
LEE'S SUMMIT, MO

LONGVIEW MANSION PARKING ADDITION
FINAL DEVELOPMENT PLANS

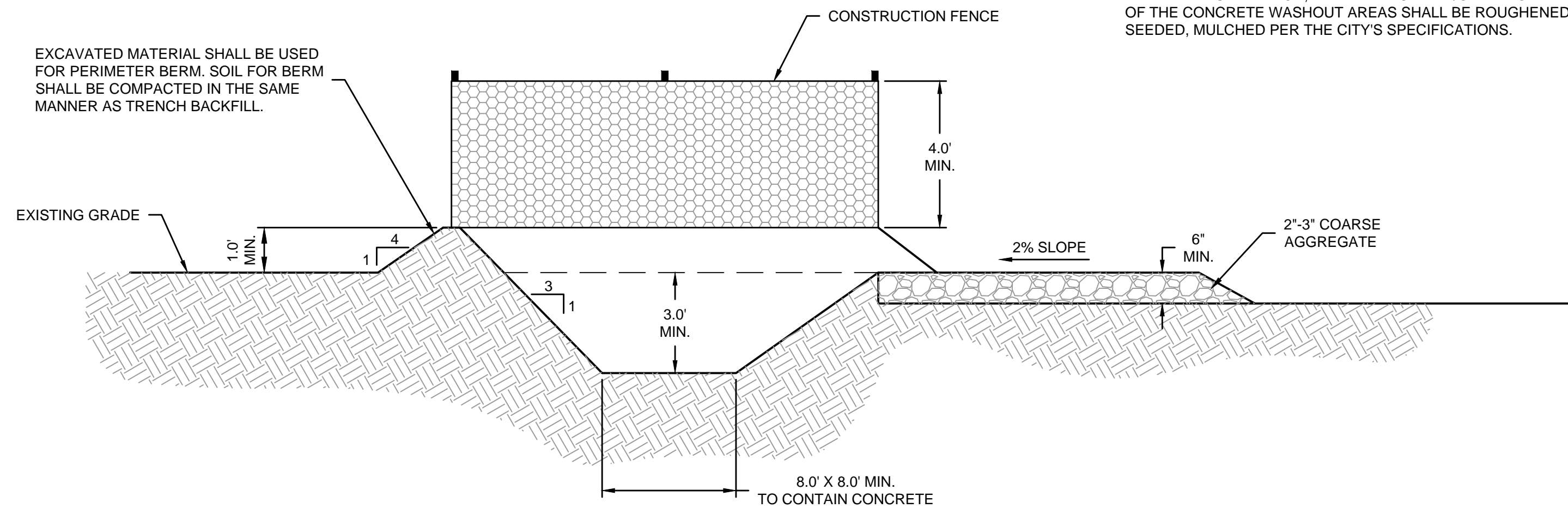
DETAILS

SHEET
C11

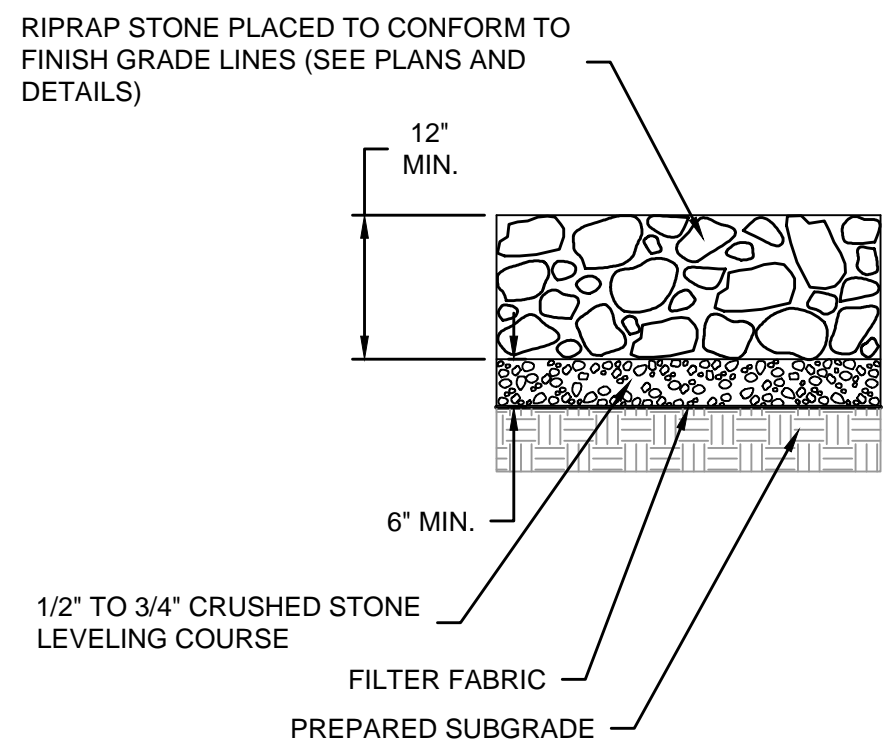
drawn by: CH
checked by: DP
approved by: SS
QA/QC by: CH
project no.: 022-06318
drawing no.: C_DTL01_02206318
date: 2024.03.01



- INSTALLATION:**
1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE. PLACEMENT SHALL BE A MINIMUM OF 100' FROM DRAINAGEWAYS, BODIES OF WATER, AND INLETS.
 2. CONCRETE WASHOUT AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8.0' X 8.0'. THE SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1. THE DEPTH OF THE PIT SHALL BE AT LEAST 3.0'. THE BERM SURROUNDING THE SIDES AND BACK OF THE CONCRETE WASHOUT AREA SHALL HAVE A HEIGHT OF 1.0'. THE VEHICLE AGGREGATE PAD SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASHOUT AREA. A CONSTRUCTION FENCE SHALL BE INSTALLED ALONG THE TOP OF THE PERIMETER BERM PER THE DETAIL.
 3. HIGHLY VISIBLE SIGNS SHALL BE PLACED AT THE CONSTRUCTION SITE ENTRANCE, WASHOUT AREA AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION(S) OF THE CONCRETE WASHOUT AREA(S) TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 4. A ONE-PIECE IMPERVIOUS LINER MAY BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT AT THE DISCRETION OF THE CITY INSPECTOR.
- INSPECTION AND MAINTENANCE:**
1. THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE CONCRETE WASHOUT AREA AT THE FOLLOWING INTERVALS:
· AFTER INITIAL INSTALLATION.
· AT LEAST DAILY WHILE THE CONCRETE WASHOUT AREA IS PRESENT ON SITE.
· DURING AND AFTER ANY STORM EVENT.
 2. CONCRETE WASHOUT MATERIALS SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2.0'.
 3. CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
 4. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF AT AN APPROVED WASTE SITE.
 5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
 6. WHEN CONCRETE WASHOUT AREAS ARE REMOVED, EXCAVATIONS SHALL BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL. ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED PER THE CITY'S SPECIFICATIONS.



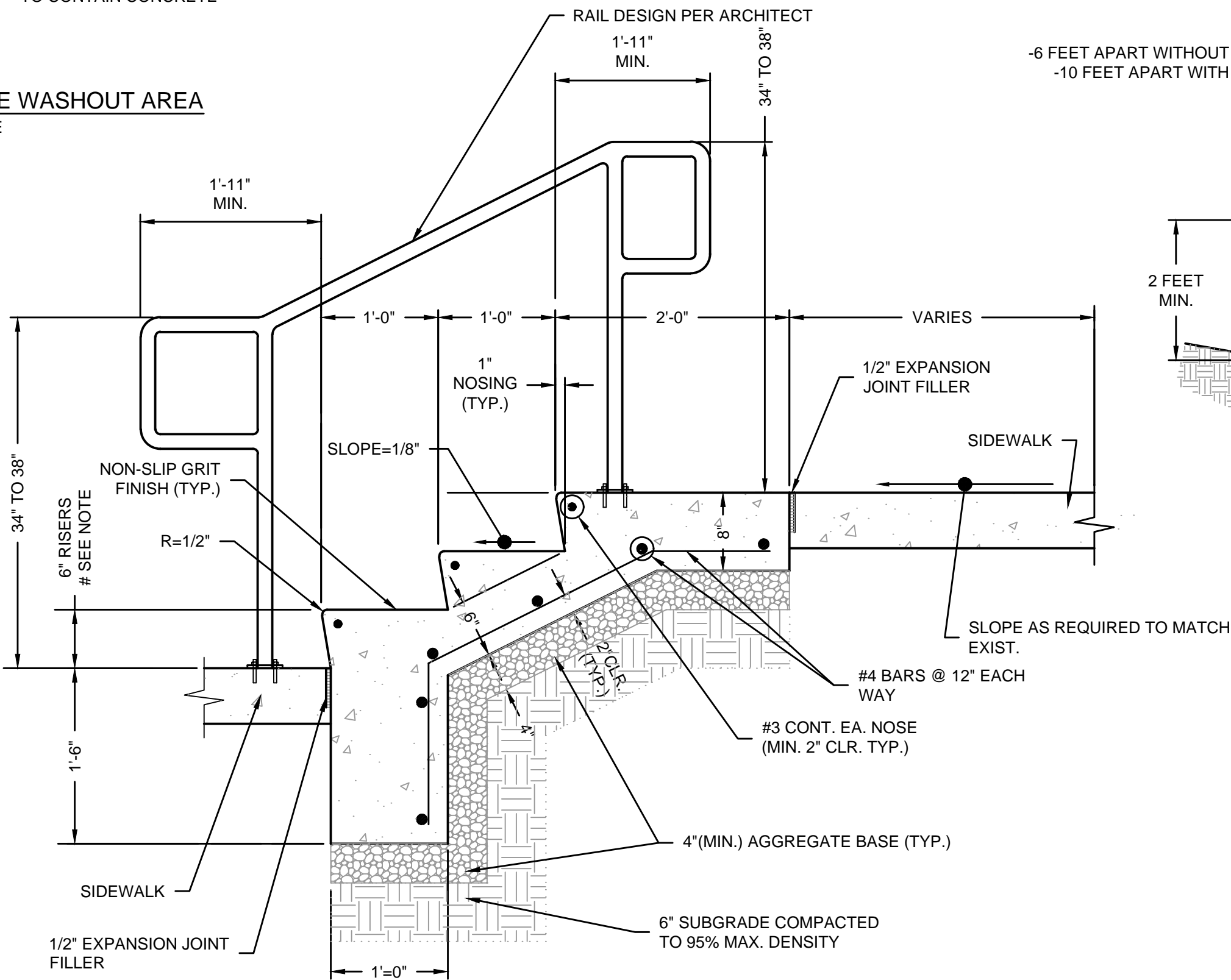
CONCRETE WASHOUT AREA
NOT TO SCALE



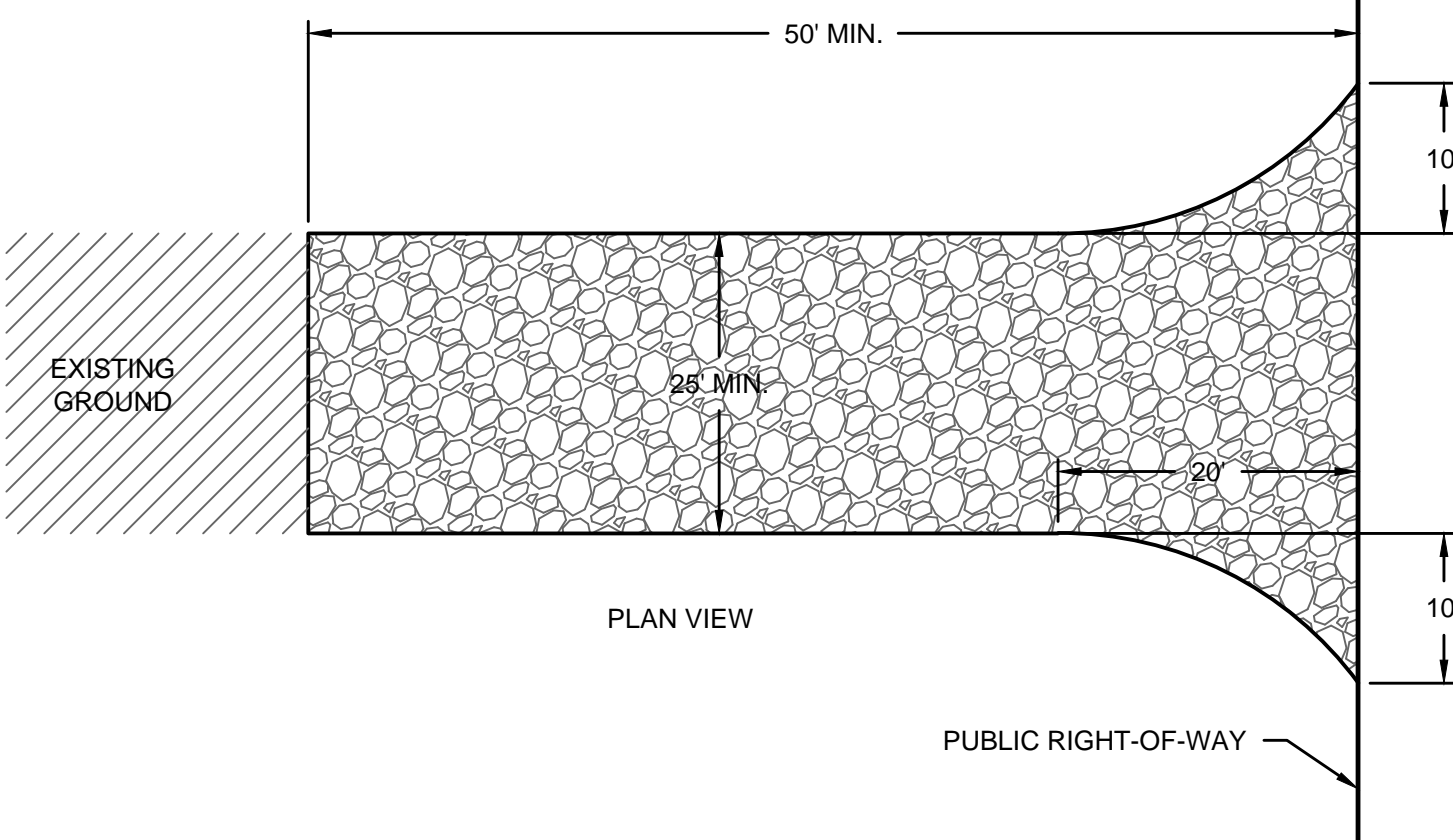
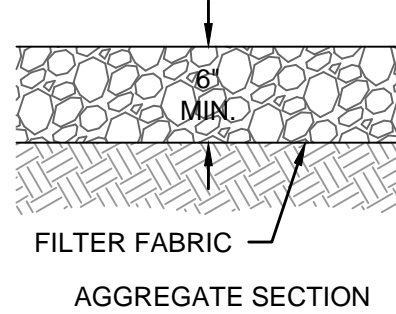
RIPRAP NOTES

1. STONE FOR RIPRAP SHALL CONSIST OF QUARRIED ROCK AND BE SOUND, DURABLE AND ANGULAR IN SHAPE.
2. SHALE AND STONE WITH SHALE SEAMS ARE NOT ACCEPTABLE.
3. STONES SHALL HAVE A MINIMUM THICKNESS OF 18". NO MORE THAN 10 PERCENT SHALL HAVE AN ELONGATION GREATER THAN 3:1. AT LEAST 60 PERCENT OF THE MASS SHALL BE OF PIECES HAVING A VOLUME OF ONE CUBIC FOOT, NO MORE THAN 6 PERCENT OF THE STONES SHALL WEIGH LESS THAN 10 POUNDS.

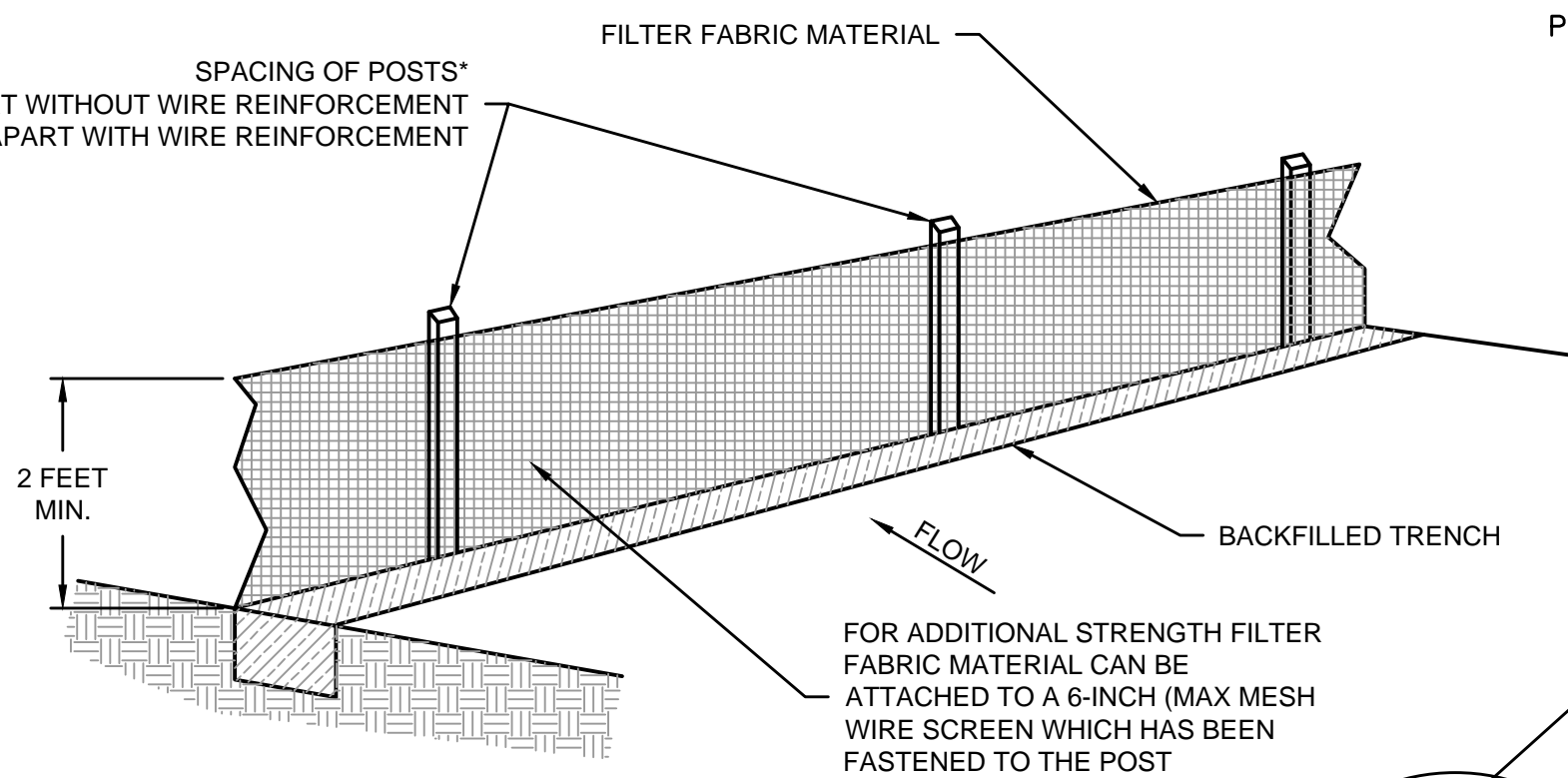
RIPRAP DETAIL
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CONCRETE STAIR DETAIL
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



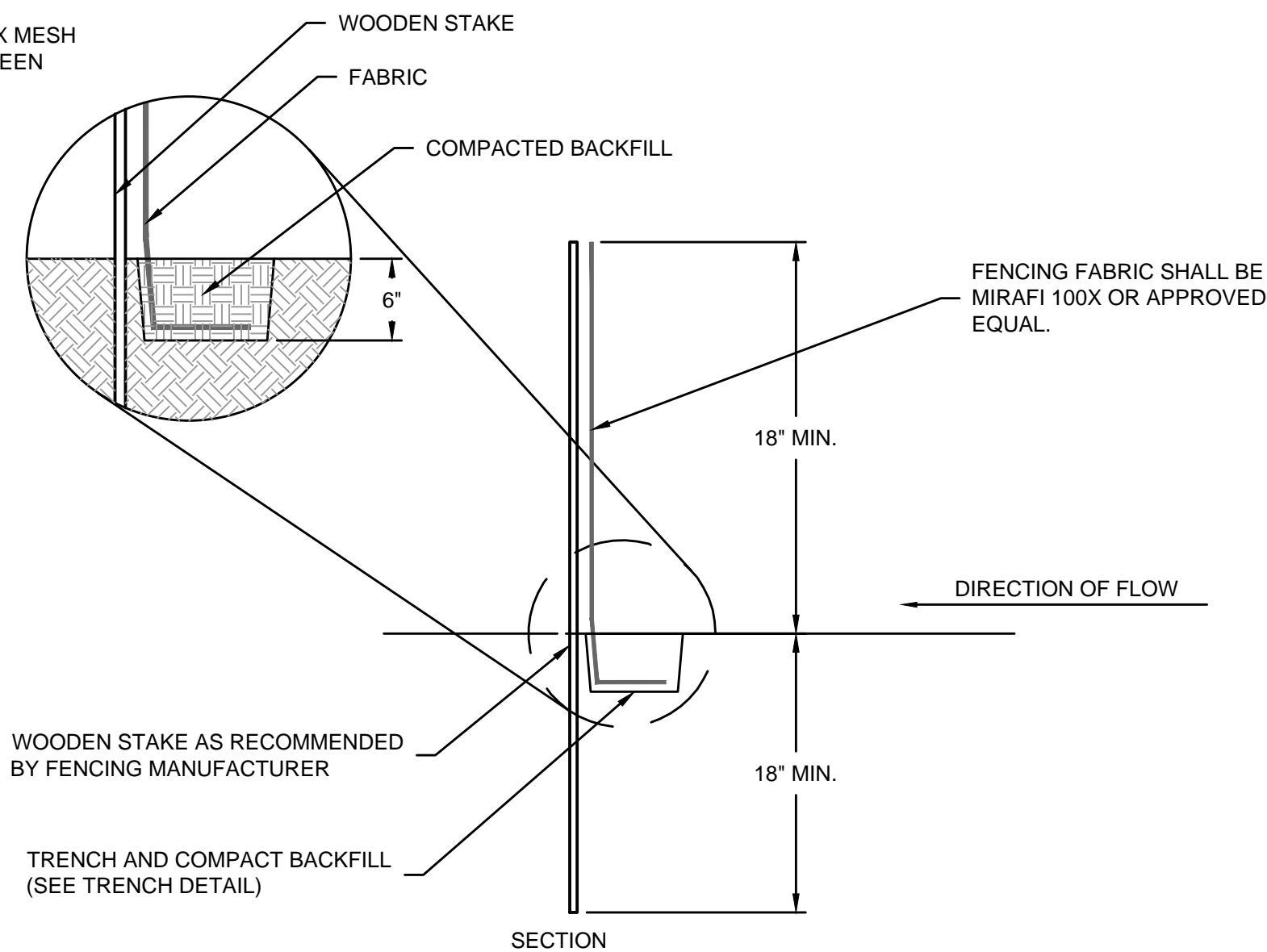
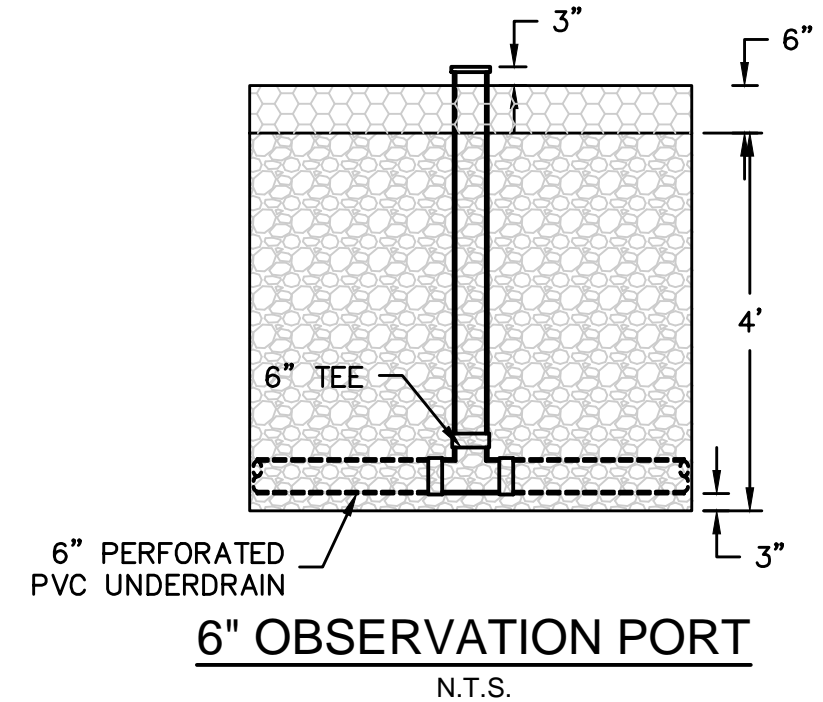
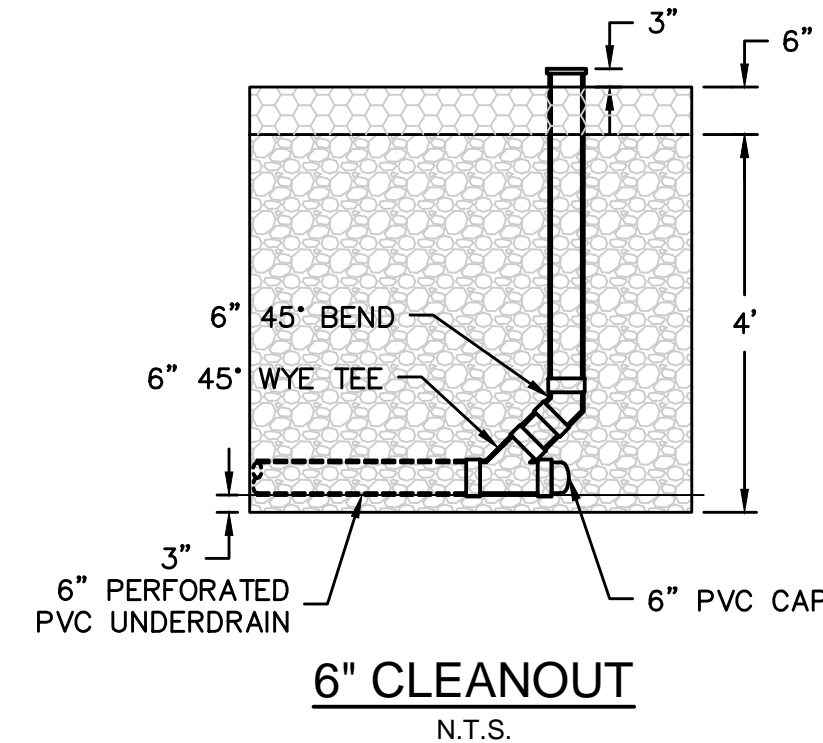
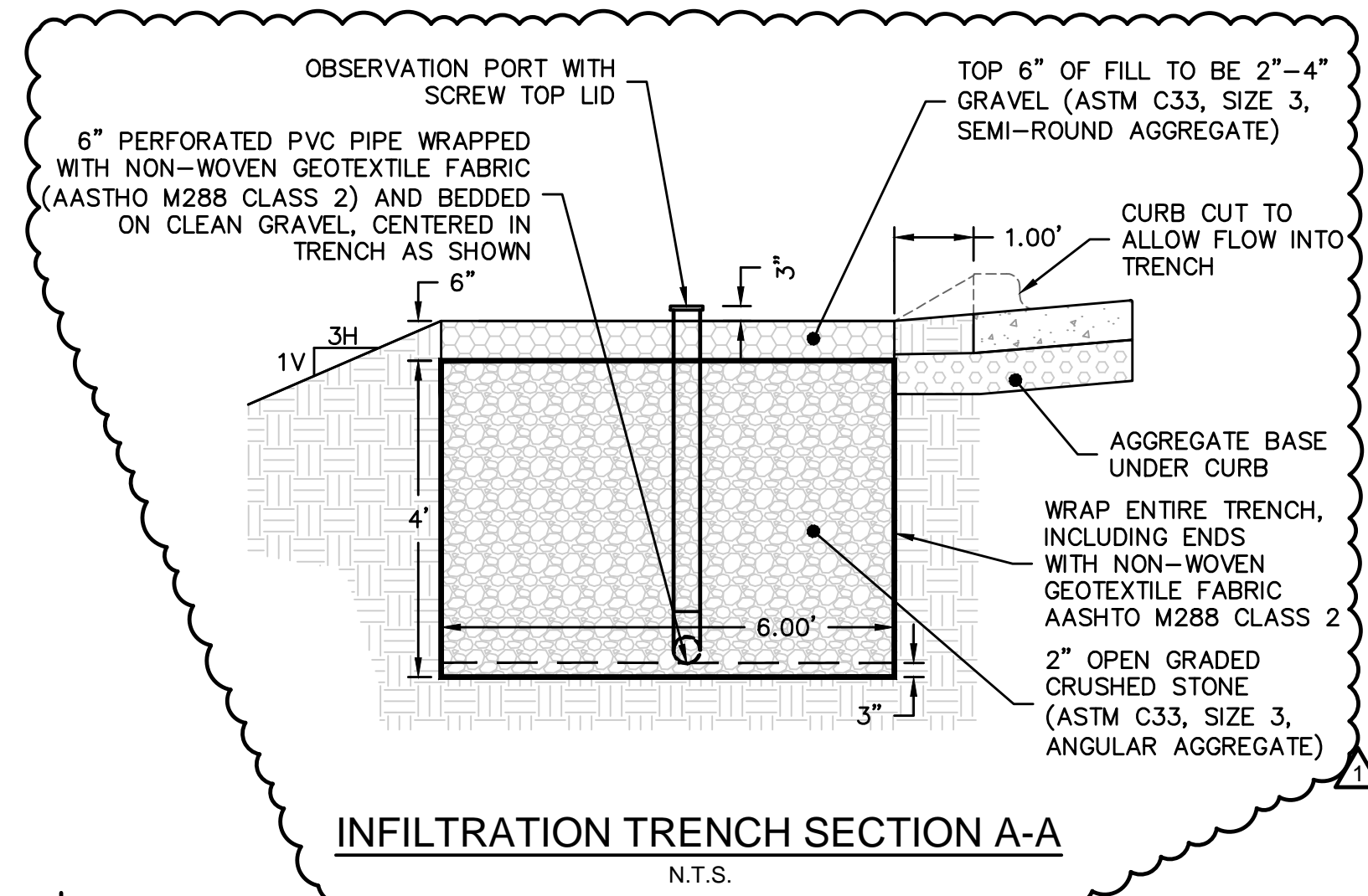
SEDIMENT FENCE FABRIC:

1. FILTERING EFFICIENCY SHALL BE A MINIMUM OF 85%.
2. TENSILE STRENGTH AT 20% ELONGATION FOR TYPICAL APPLICATIONS SHALL BE A MINIMUM OF 30 LB PER LINEAR INCH. FOR HIGH STRENGTH APPLICATIONS, (SUPER-SILT FENCE), THE MINIMUM STRENGTH SHALL BE 50 LB PER LINEAR INCH.

SEDIMENT FENCE POSTS:

1. TYPICAL POSTS SHALL DEFER TO MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS. THE FOLLOWING ARE TO BE CONSIDERED MINIMUMS WHERE SUCH RECOMMENDATIONS ARE NOT AVAILABLE.
2. WITH WIRE REINFORCEMENT, WOOD POSTS SHALL HAVE A 4" NOMINAL DIAMETER, OR 1.35 LB PER LINEAR FOOT STEEL.
3. WITHOUT WIRE REINFORCEMENT, WOOD POSTS SHALL BE 2"x2", OR 1.00 LB PER LINEAR FOOT STEEL.

SEDIMENT CONTROL FENCE DETAIL
NOT TO SCALE



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STATE OF MISSOURI
STEPHEN M. SAYLOR
SAYLOR
NUMBER
PE-2018021248
3/28/2024
PROFESSIONAL ENGINEER

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	03/28/2024	REVISED PER CITY COMMENTS	

DETAILS

LONGVIEW MANSION PARKING ADDITION
FINAL DEVELOPMENT PLANS

2024

LEE'S SUMMIT, MO

drawn by: CH
checked by: DP
approved by: SS
QA/QC by: CH
project no.: 022-06318
drawing no.: C_DTL01_02206318
date: 2024.03.01

SHEET
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DATE: Mar 28, 2024 3:41pm XREFS: C_PTBK_02206318 C_XTOP_02206318 C_PBASE_02206318



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONDITION	CALIPER	QTY
TREES					
	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	N/A	B & B	3"	5
	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	N/A	B & B	3"	7
SHRUBS					
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL			32
GROUND COVERS					
	TURF SOD / DROUGHT TOLERANT FESCUE BLEND				17,610 SF
	HARDWOOD MULCH 2'-4" SHREDDED BROWN	705 SF			

LANDSCAPE DATA										
BUILDING AREA	PARKING STALLS PROVIDED	LANDSCAPE ISLAND % OF PARKING AREA	R/W LENGTH	LANDSCAPE STRIP BETWEEN PARKING AND R/W	STREET FRONTAGE TREES	STREET FRONTAGE SHRUBS	OPEN YARD AREA TREES	OPEN YARD AREA SHRUBS	PARKING LOT SCREENING SHRUBS	BUFFER
0	77	9.12%	N/A	N/A	N/A	N/A	12 PROPOSED PLUS EXISTING VEGETATION TO REMAIN	26 PROPOSED PLUS EXISTING VEGETATION TO REMAIN	N/A	N/A

- GENERAL NOTES:
- QUANTITIES LISTED IN THE PLANT LIST SCHEDULE ARE FOR ESTIMATES ONLY. TREES, SHRUBS, AND GROUND COVER OF CONTRACT QUANTITIES SHALL BE THE NUMBER OF ITEMS SHOWN ON THE DRAWINGS.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
 - ALL DISTURBED AREAS NOT OTHERWISE SPECIFIED WITH GROUNDCOVER ARE TO BE PLANTED WITH TALL FESCUE TURF SOD.
 - TREE RINGS AND PLANTING BEDS SHALL BE SURFACED WITH 3" SHREDDED HARDWOOD MULCH AND SHALL RECEIVE SHOVEL-CUT EDGE.
 - THE LANDSCAPE CONTRACTOR SHALL REFER TO ENGINEERING DRAWINGS FOR ANY AND ALL EXISTING AND/OR PROPOSED UTILITIES. IF THERE ARE ANY DISCREPANCIES, CONFLICTS, AND/OR DEVIATIONS BETWEEN THE LANDSCAPE DRAWINGS AND THE EXISTING OR PROPOSED CONDITIONS, THE LANDSCAPE CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
 - ALL UNDERGROUND UTILITIES ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK.

LANDSCAPE DETAILS & NOTES

LONGVIEW MANSION PARKING ADDITION
FINAL DEVELOPMENT PLANS

LEE'S SUMMIT, MO

2024

drawn by: C/JH
checked by: CW
approved by: SS
QA/QC by: C/JH
project no.: 022-06318
drawing no.: C_LSC01_02206318
date: 2024.03.01

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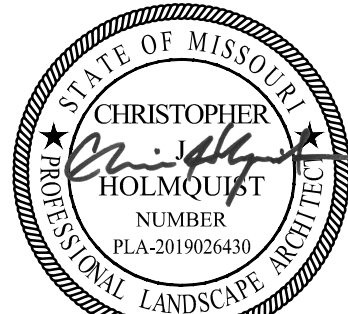
BY

REV. NO.

DATE

REVISIONS DESCRIPTION

REVISIONS



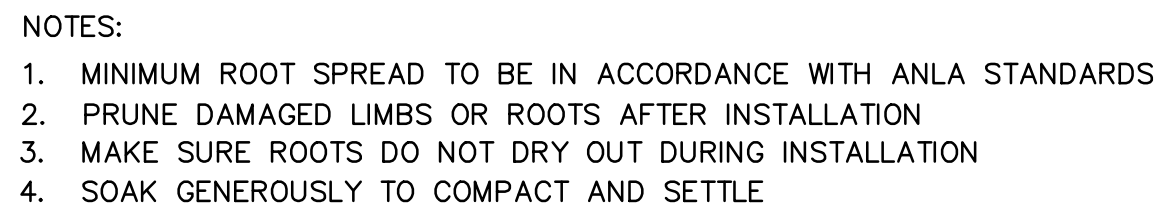
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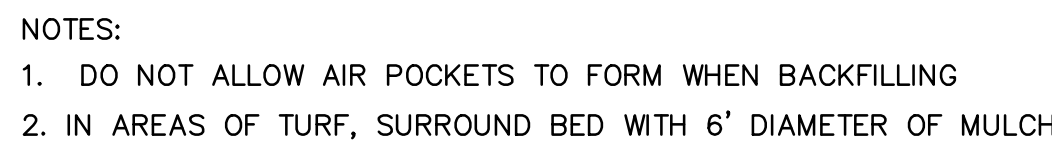
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1. ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
2. LOCATE AND FLAG ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL PROTECT EXISTING OVERHEAD AND UNDERGROUND UTILITIES. ANY DAMAGE TO SUCH SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
3. PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE CITY AND LOCAL GOVERNING BODIES. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN.
4. PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF LEE'S SUMMIT, MO AND THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIAL SHALL BE NURSERY GROWN TO MEET MINIMUM SIZE AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
6. ALL TREES SHALL BE CALIPERED AND ANY UNDERSIZED TREES SHALL BE REJECTED. SPECIFIED CALIPER MEASUREMENT FOR TREES SHALL BE MEASURED AT 12" ABOVE THE GRADE.
7. PLANTING OF TREES, SHRUBS, SODDED AND SEEDDED TURFGRASS SHALL BE COMMENCED DURING EITHER THE SPRING (MARCH 15-JUNE 15) OR FALL (SEPTEMBER 1 - OCTOBER 15) PLANTING SEASON AND WITH WATER AVAILABLE FOR IRRIGATION PURPOSES.
8. CONTRACTOR SHALL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE THE LANDSCAPE ARCHITECT APPROVE ALL STAKING PRIOR TO INSTALLATION. FIELD ADJUSTMENTS MAY BE NECESSARY BASED UPON FIELD CONDITIONS (I.E. ROOT BALL AND DROP INLET CONFLICT). ALL ADJUSTMENTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
9. THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
10. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL SHRUB BEDS PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
11. BACKFILL ALL PLANTING BEDS TO A MINIMUM 12-INCH DEPTH WITH PLANTING SOIL MIX. PLANTING SOIL MIX SHALL CONSIST OF ONE (1) PART PERLITE, ONE (1) PART PEAT MOSS, AND TWO (2) PARTS CLEAN LOAM TOPSOIL. THOROUGHLY MIX PLANTING SOIL COMPONENTS PRIOR TO PLACEMENT.
12. ALL LANDSCAPE PLANTING AREAS, EXCLUDING TURF AREAS SHALL BE MULCHED WITH A MINIMUM OF 3-4" SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED ON PLANS.
13. CULTIVATED LANDSCAPE EDGING IS TO BE USED ON ALL LANDSCAPE BEDS ABUTTING SODDED OR SEEDDED AREAS.
14. LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS AS NEEDED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. ANY MATERIAL WHICH DIES, OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED.
15. THE CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).

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USER: shastert

GENERAL NOTES

- A. TO FEDERAL, STATE, AND LOCAL STATUTES, NOTIFY MISSOURI ONE-CALL SYSTEM, INC. AT LEAST 48 HOURS PRIOR TO ANY DIGGING, TRENCHING, EXCAVATION, ETC.
- B. INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING DETERMINATION OF TYPE AND LOCATION OF ALL UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
- C. FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY INTERFERENCE SHALL BE BROUGHT TO ATTENTION OF THE ARCHITECT AND ENGINEER FOR DIRECTION.

SHEET KEYNOTES

1. SOLAR LIGHT FIXTURE ON POLE. REFER TO LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION. SOLAR PANEL SHALL FACE THE SOUTH.

SITE LIGHTING POWER PLAN

SCALE: 1" = 20'-0"



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Missouri Certificate of Authority #001592
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177 www.olsson.com

BY

REVISIONS DESCRIPTION

DATE _____

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AIC

SITE LIGHTING POWER PLAN

LONGVIEW MANSION PARKING ADDITION
PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT. MO

2024

REVISIONS

drawn by: _____ SH
checked by: _____ TD
approved by: _____ TD
QA/QC by: _____ TD
project no.: _____ 022-06318
drawing no.: **E_NSITE** 022-06318
date: _____ 2024.03.01

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DATE: Feb 28, 2024 4:40pm USER: shostert

SECTION 260000 ELECTRICAL

1. GENERAL CONDITIONS:
- A. THIS CONTRACTOR SHALL INSPECT THE SITE WHERE THIS WORK IS TO BE PERFORMED AND FULLY FAMILIARIZE HIMSELF WITH ALL CONDITIONS RELATED TO THIS PROJECT.

B. THIS CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMANENT AND TEMPORARY PERMITS AND LICENSES AND SHALL MAKE ALL DEPOSITS AND PAY ALL FEES REQUIRED FOR THE PERFORMANCE OF WORK UNDER THIS SECTION OTHER THAN THOSE DEPOSITS OR FEES WHICH ARE FULLY REFUNDABLE TO THE OWNER.

C. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF ALL SYSTEMS AND COMPONENTS COVERED UNDER THIS SECTION. WHERE LOCAL CONDITIONS NECESSITATE A REARRANGEMENT, THE CONTRACTOR SHALL PREPARE, AND SUBMIT FOR APPROVAL, DRAWINGS OF THE PROPOSED REARRANGEMENT. THIS CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISH CONDITIONS AFFECTING ALL OF HIS WORK AND SHALL ARRANGE SUCH WORK ACCORDINGLY, FURNISHING SUCH FITTINGS AND ACCESSORIES AS MAY BE REQUIRED TO MEET SUCH CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.

D. THIS CONTRACTOR SHALL VERIFY ALL DIMENSIONS. DRAWINGS SHALL NOT BE SCALED TO DETERMINE DIMENSIONS.

E. SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY AND WHAT IS CALLED FOR IN ONE SHALL BE AS BINDING AS IF CALLED FOR BY BOTH.

F. FURNISH LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED AS SHOWN ON THE DRAWINGS AND SPECIFIED IN DIVISION 15.

G. ALL WORK SHALL BE COMPLETE AND SHALL BE LEFT IN OPERATING CONDITION.

H. INCLUDE ALL PARTS AND LABOR WHICH ARE INCIDENTAL AND NECESSARY FOR A COMPLETE AND OPERABLE INSTALLATION EVEN THOUGH NOT SPECIFICALLY MENTIONED IN THE CONTRACT DOCUMENTS. .

I. REQUEST INSPECTIONS AS REQUIRED BY REGULATING AGENCIES AND/OR REGULATIONS. PAY ALL CHARGES FOR INSPECTIONS BY REGULATING AGENCIES OF INSTALLATIONS OF PLANS SPECIFICATIONS.

J. PROVIDE THE OWNER WITH A CERTIFICATE OF FINAL INSPECTION AND APPROVAL BY ENFORCEMENT AUTHORITIES.

K. FURNISH: TO OBTAIN, COORDINATE, SUBMIT THE NECESSARY DRAWINGS, DELIVER TO THE JOB SITE IN NEW CONDITION READY FOR INSTALLATION, UNLOAD AND UNPACK, AND GUARANTEE.

L. INSTALL: TO RECEIVE AT THE JOB SITE, STORE, ASSEMBLE, ERECT, SET IN PLACE, ANCHOR, APPLY, FINISH, PROTECT, CLEAN, TEST, START-UP, AND MAKE READY FOR OWNER'S USE.

M. PROVIDE: TO FURNISH AND INSTALL.

N. PROVIDE NEW MATERIAL AND EQUIPMENT, UNLESS NOTED OTHERWISE. PROTECT EQUIPMENT AND MATERIAL FROM DAMAGE, DIRT AND THE WEATHER.

O. THE ENGINEER RESERVES THE RIGHT TO REJECT MATERIAL OR WORKMANSHIP NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, BEFORE OR AFTER INSTALLATION, AT NO ADDITIONAL COST TO THE OWNER.

P. REFINISH ALL ELECTRICAL EQUIPMENT DAMAGED DURING SHIPPING, INSTALLATION AND/OR PRIOR TO FINAL ACCEPTANCE TO ITS ORIGINAL CONDITION. REMOVE ALL RUST, PRIME, AND PAINT PER MANUFACTURER'S RECOMMENDATIONS FOR FINISH EQUAL TO ORIGINAL.

Q. PROTECT OPENINGS AND EQUIPMENT FROM OBSTRUCTION, BREAKAGE, MISUSE, DAMAGE OR BLEMISHES. PROTECT MATERIALS AND EQUIPMENT IMMEDIATELY UPON RECEIPT AT THE JOB SITE OR IMMEDIATELY AFTER THEY HAVE BEEN REMOVED FROM THEIR SHIPPING CONTAINERS. UNLESS NOTED OTHERWISE, KEEP THEM CLEAN AND UNDAMAGED UNTIL FINAL ACCEPTANCE OF THE ENTIRE PROJECT BY THE OWNER. WHEN A PORTION OF THE BUILDING IS OCCUPIED BY THE OWNER BEFORE SUBSTANTIAL COMPLETION OF THE ENTIRE PROJECT, MAKE ARRANGEMENTS TO TRANSFER RESPONSIBILITY FOR PROTECTION AND HOUSEKEEPING FOR THE OCCUPIED PORTION.

R. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ELECTRICAL EQUIPMENT, MATERIALS OR WORK UNTIL FINAL ACCEPTANCE OF THE ENTIRE PROJECT BY THE OWNER.

S. KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL OR RUBBISH, CAUSED BY HIS EMPLOYEES OR WORK, AT ALL TIMES. REMOVE RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIALS FROM AND ABOUT THE BUILDING, AND LEAVE WORK AREAS "BROOM CLEAN" OR ITS EQUIVALENT DAILY. CLEAN ELECTRICAL EQUIPMENT AND REMOVE TEMPORARY IDENTIFICATION.

T. OPERATE EQUIPMENT AND SYSTEMS IN ALL THEIR OPERATING MODES, TO VERIFY PROPER OPERATION, PRIOR TO FINAL FIELD OBSERVATION AND OWNER INSTRUCTIONS. PREPARE A PRE-INSPECTION REPORT AND SUBMIT TO THE ENGINEER AND OWNER FOR REVIEW.

U. TEST ALL INSTALLED ELECTRICAL EQUIPMENT AND CABLES REQUIRED BY CONSTRUCTION DOCUMENTS ACCORDING TO THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE INTERNATIONAL ELECTRICAL TESTING ASSOCIATION, INC. (NETA). IF ACCEPTABLE PERFORMANCE OF ANY TEST IS NOT ACHIEVED, MAKE THE NECESSARY CORRECTIONS AND THE TEST SHALL BE REPEATED UNTIL ACCEPTABLE PERFORMANCE IS ACHIEVED. PROVIDE WRITTEN REPORTS OF ALL TESTS, WITH FAILURES IDENTIFIED, TO ENGINEER.

V. FULLY INSTRUCT THE OWNER'S DESIGNATED PERSONNEL IN THE OPERATION OF EACH ELECTRICAL SYSTEM AT THE TIME IT IS PUT INTO SERVICE. PROVIDE INSTRUCTION USING COMPETENT INSTRUCTORS AND FACTORY TRAINED PERSONNEL.

W. CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND/OR RECOMMENDATIONS.

X. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT INDICATED AND/OR REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM. A FORM INDICATING ALL SHOP DRAWINGS TO BE PROVIDED AS PART OF THE PROJECT SHALL BE SUBMITTED FOR REVIEW BY THE ENGINEER PRIOR TO ANY SHOP DRAWING SUBMITTAL REVIEW.

Y. THIS SPECIFICATION SHALL INCORPORATE ALL PROJECT REQUIREMENTS AND RESPONSIBILITIES INDICATED WITHIN THE FRONT-END OF THE PROJECT MANUAL.
2. LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES:
- A. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION CODES, THE NATIONAL ELECTRICAL SAFETY CODE, LOCAL BUILDING CODE, AND ALL APPLICABLE LOCAL LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES. SHOULD ANY WORK SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN BE OF LOWER STANDARD, THE CONTRACTOR SHALL REFER THE POINTS IN QUESTION TO THE ENGINEER FOR APPROVAL.
3. SCOPE OF WORK:
- A. WORK UNDER THIS SECTION SHALL CONSIST OF FURNISHING ALL LABOR, MATERIAL AND ASSOCIATED SERVICES REQUIRED TO COMPLETELY CONSTRUCT AND LEAVE ALL SYSTEMS OPERATIONAL AS SHOWN ON THE

- DRAWINGS AND HEREIN DESCRIBED.
4. MATERIALS AND EQUIPMENT REVIEW:
- A. AS SOON AS POSSIBLE AFTER THE AWARD OF THE CONTRACT, THIS CONTRACTOR SHALL SUBMIT FOR REVIEW SHOP DRAWINGS FOR ALL EQUIPMENT TO BE FURNISHED FOR THIS PROJECT. SUBMITTALS SHALL HIGHLIGHT THE MANUFACTURER'S NAME, MODEL NUMBER, DESCRIPTIVE ENGINEERING DATA AND ALL NECESSARY INFORMATION AS TO FINISH, MATERIAL GAUGES AND ACCESSORIES.

B. ALL PORTIONS OF THE SHOP DRAWINGS THAT ARE INTENDED TO BE REVIEWED SHALL BE HIGHLIGHTED. ANY PORTION NOT CALLED OUT SHALL BE ASSUMED TO BE EXCLUDED FROM THE JOB.
5. GUARANTEE:
- A. THIS CONTRACTOR SHALL GUARANTEE COMPLETE SYSTEM OPERATION AND THAT THE APPARATUS FURNISHED AND INSTALLED WILL BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS AND WILL GIVE SATISFACTORY SERVICE. THE CONTRACTOR AGREES TO REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY PART OF THE INSTALLATION WHICH PROVES OR BECOMES DEFECTIVE WITHIN ONE YEAR AFTER THE SYSTEM IS ACCEPTED.
6. COORDINATION:
- A. THIS CONTRACTOR SHALL EXAMINE ALL ARCHITECTURAL, MECHANICAL, STRUCTURAL AND OTHER DRAWINGS RELATED TO THIS PROJECT, AND IT SHALL BE HIS RESPONSIBILITY TO COORDINATE THE ELECTRICAL WORK WITH OTHER TRADES.
7. AS-BUILT DRAWINGS:
- A. THIS CONTRACTOR SHALL PREPARE COMPLETE AS-BUILT DRAWINGS OF ALL ELECTRICAL SYSTEMS AND TURN OVER TO THE ENGINEER REVISED ELECTRONIC CAD FILES.

B. THIS CONTRACTOR SHALL PREPARE AND SUBMIT TO THE OWNER'S REPRESENTATIVE FIVE BOUND SETS OF MANUFACTURER'S LITERATURE FOR ALL EQUIPMENT TO BE INSTALLED ON THIS PROJECT SHOWING ALL DETAILS OF EQUIPMENT, REPLACEMENT PART DATA AND MAINTENANCE INSTRUCTIONS.
8. EXCAVATION:
- A. ALL EXCAVATION AND BACKFILL REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK SHALL BE THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LAYOUT AND THE ESTABLISHMENT OF ALL LINES AND LEVELS REQUIRED FOR THE EXECUTION OF THE WORK.

C. WHEN SERVICES ARE TO BE RUN SIDE-BY- SIDE, A COMMON TRENCH MAY BE USED PROVIDING THE REQUIRED VERTICAL AND HORIZONTAL SEPARATION BETWEEN THE VARIOUS SERVICES ARE MAINTAINED AND PROVIDING THE METHODS OF BEDDING AND BACKFILL MEET THE APPROVAL OF THE ENGINEER. CONTRACTORS INVOLVED SHALL MAKE THEIR OWN AGREEMENT AS TO THE SHARING OF THE COST OF THE COMMON TRENCHING AND BACKFILL WORK.

D. LOCATE EXISTING UNDERGROUND UTILITIES IN AREAS OF EXCAVATION WORK. SHOULD UNCHARTED, OR INCORRECTLY CHARTED, PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONSULT UTILITY ENGINEER IMMEDIATELY FOR DIRECTIONS. COOPERATE WITH OWNER AND UTILITY COMPANIES IN KEEPING RESPECTIVE SERVICES AND FACILITIES IN OPERATION. REPAIR DAMAGED UTILITIES TO SATISFACTION OF UTILITY OWNER.
- 13.IDENTIFICATION OF SWITCHES AND APPARATUS:
- A. ALL CABINETS, SAFETY SWITCHES, AND OTHER APPARATUS USED FOR OPERATION AND CONTROL OF CIRCUITS, APPLIANCES, AND EQUIPMENT UNDER THIS CONTRACT SHALL BE PROPERLY IDENTIFIED BY MEANS OF ENGRAVED PLASTIC PLATES BLACK WITH WHITE LETTERS.
- 14.GROUNDING:
- A. ALL FEEDERS AND BRANCH CIRCUITS SHALL CONTAIN GROUND WIRES.

B. ALL CONDUCTORS, MOTOR FRAMES, RACEWAYS, CABINETS, ETC., THAT REQUIRE GROUNDING SHALL BE GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE, THOSE OF THE SERVING UTILITY AND LOCAL AUTHORITIES HAVING JURISDICTION.
- 15.CONDUIT:
- A. ALL ELECTRICAL POWER WIRING, INCLUDING LOW VOLTAGE WIRING, SHALL BE INSTALLED IN CONDUIT AS HEREIN SPECIFIED. NO CONDUIT OR TUBING OF LESS THAN 3/4 INCH NOMINAL SIZE SHALL BE USED.

B. UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 AS MANUFACTURED BY CARLON OR APPROVED EQUAL. ALL CONDUITS SHALL BE INSTALLED WITH MINIMUM 36" INCH COVER.

C. CONDUIT INSTALLED ABOVE GROUND EXTERIOR SHALL BE GALVANIZED RIGID STEEL AS MANUFACTURED BY THE ALLIED TUBE AND CONDUIT CORPORATION OR APPROVED EQUAL. CONDUIT SHALL BE SHERARDIZED OR HOT-DIP GALVANIZED INSIDE AND OUTSIDE INCLUDING ENDS AND THREADS AND ENAMELED OR LACQUERED INSIDE IN ADDITION TO GALVANIZING.

D. WHEN PVC CONDUITS PENETRATE CONCRETE FLOOR CONSTRUCTION, CONTRACTOR SHALL USE RIGID STEEL ELBOWS AND EXTENSION. PVC CONDUIT/FITTINGS SHALL NOT BE PERMITTED TO BE EXPOSED ABOVE THE FLOOR.

E. THIN WALL TUBING SHALL BE REPUBLIC "ELECTRUNITE E.M.T." OR APPROVED EQUAL. SHALL BE INSTALLED INDOORS.

F. ALL FITTINGS SHALL BE OF THE COMPRESSION TYPE AND SHALL BE WATERTIGHT.

G. CONDUIT FOR INTERIOR WIRING, IN GENERAL, SHALL BE THINWALL TUBING UNLESS OTHERWISE NOTED.

H. RACEWAYS SHALL BE CONTINUOUS FROM OUTLET TO OUTLET AND FITTING TO FITTING. A RUN OF CONDUIT BETWEEN OUTLETS OR FITTINGS SHALL NOT CONTAIN MORE THAN THE EQUIVALENT OF FOUR QUARTER-BENDS INCLUDING THOSE BENDS LOCATED IMMEDIATELY AT THE OUTLET OR FITTING. THE RADIUS OF BENDS SHALL NEVER BE SHORTER THAN THAT OF THE CORRESPONDING TRADE ELBOW. THE SYSTEM SHALL BE COMPLETE WITH OUTLETS, DISTRIBUTION BOXES, ETC. SMOOTH INSIDE AND MECHANICALLY SECURE IN PLACE. APPROVED STRAPS, HANGERS, OR SUPPORTS SHALL BE USED TO SECURE CONDUITS IN PLACE. CONDUITS SHALL, IN GENERAL, BE SUPPORTED AT INTERVALS NOT EXCEEDING 10'-0" AND WITHIN 3'-0" OF EACH OUTLET BOX, JUNCTION BOX, CABINET OR FITTING.

I. CONDUITS SHALL BE PROTECTED DURING CONSTRUCTION; PLUG AND KEEP CLEAN AND DRY. CONDUIT ENDS SHALL BE BUTTED IN CENTERS OF COUPLINGS. NO CRACKS OR FLATTENED SECTIONS WILL BE PERMITTED AT BENDS OR ELSEWHERE. ALL ENDS OF CONDUIT SHALL BE REAMED TO REMOVE ROUGH EDGES. RUNNING THREADS WILL NOT BE PERMITTED.

- J. CONDUITS SHALL BE CONCEALED WITHIN THE WALLS, CEILINGS, AND FLOORS WHERE POSSIBLE AND UNLESS OTHERWISE NOTED. EXPOSED CONDUIT SHALL BE RUN PARALLEL TO OR AT RIGHT ANGLES WITH THE BUILD- ING LINES.
- 18.WIRE AND CABLE:
- A. WIRE AND CABLE SHALL BE AMERICAN INSULATED WIRE CORP., GENERAL CABLE CORP., SENATOR WIRE AND CABLE CORP. SOUTHWIRE OR APPROVED EQUAL OF SIZES AS SHOWN ON THE DRAWINGS OR HEREIN SPECIFIED.

B. ALL CONDUCTORS SHALL BE COPPER.

C. NO. 10 AWG AND SMALLER CONDUCTORS SHALL BE SOLID WITH INSULATION AND NO. 8 AWG AND LARGER CONDUCTORS SHALL BE STRANDED WITH TYPE THHN/THWN INSULATION EXCEPT THAT CONDUCTORS WITHIN 3 INCHES OF LIGHT FIXTURE BALLASTS SHALL HAVE RHH, THHN, OR EQUAL INSULATION RATED FOR 90 DEGREES C. APPLICATION.

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STATE OF MISSOURI

KATLYN COLLIER

NUMBER

PE-2021046167

03/01/2024

PROFESSIONAL ENGINEER

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

SITE LIGHTING SPECIFICATIONS

LONGVIEW MANSION PARKING ADDITION

PRELIMINARY DEVELOPMENT PLAN

2024

LEE'S SUMMIT, MO

drawn by: _____SH

checked by: _____TD

approved by: _____TD

QA/QC by: _____TD

project no.: 022-06318

drawing no.: E_NDET_022-06318

date: 2024.03.01

SHEET

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