



**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review


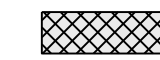
Development Services Department  
Lee's Summit, Missouri  
03/14/2024

**NOTES:**

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**STREET LEGEND:**

-  RESIDENTIAL LOCAL
-  RESIDENTIAL COLLECTOR

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

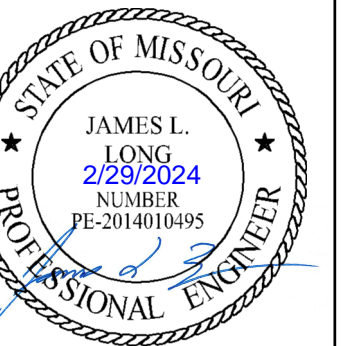
BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

**BASIS OF BEARINGS:**

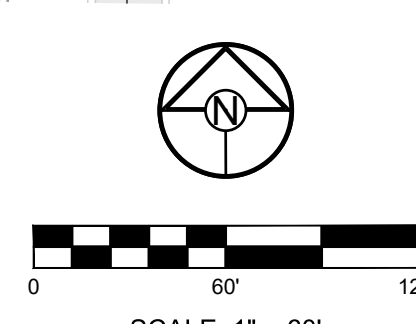
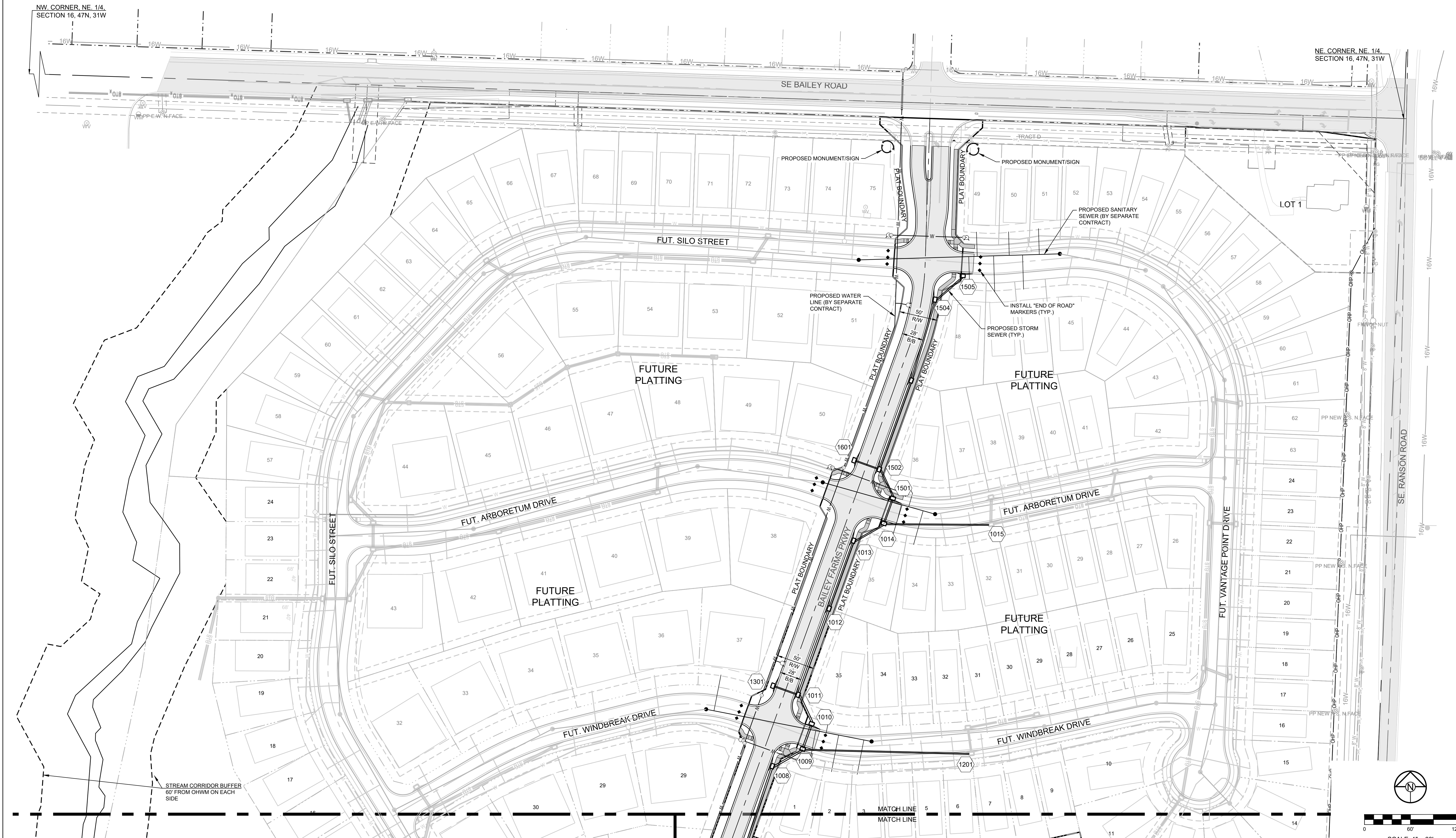
MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER DRAINAGE  
PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI**



REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
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2/28/2024	Storm 102, 109 to HDPE and Items 1009 & 1014 - revised to IB's

DRAWN BY: NCA	CHECKED BY: JLL	DATE PREPARED: 11/05/2021	PROJ. NUMBER: 21-130
<b>GENERAL LAYOUT (NORTH)</b>			
SHEET <b>2</b>			

I:\PROJECTS\2021\21-130\3.0 Design\3.0 DWG Plans\6.0 SS\21-130-SS-GEN.dwg, GENERAL LAYOUT (NORTH), 2/28/2024 6:31:27 AM, 11



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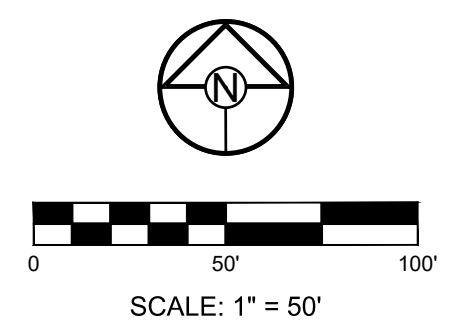
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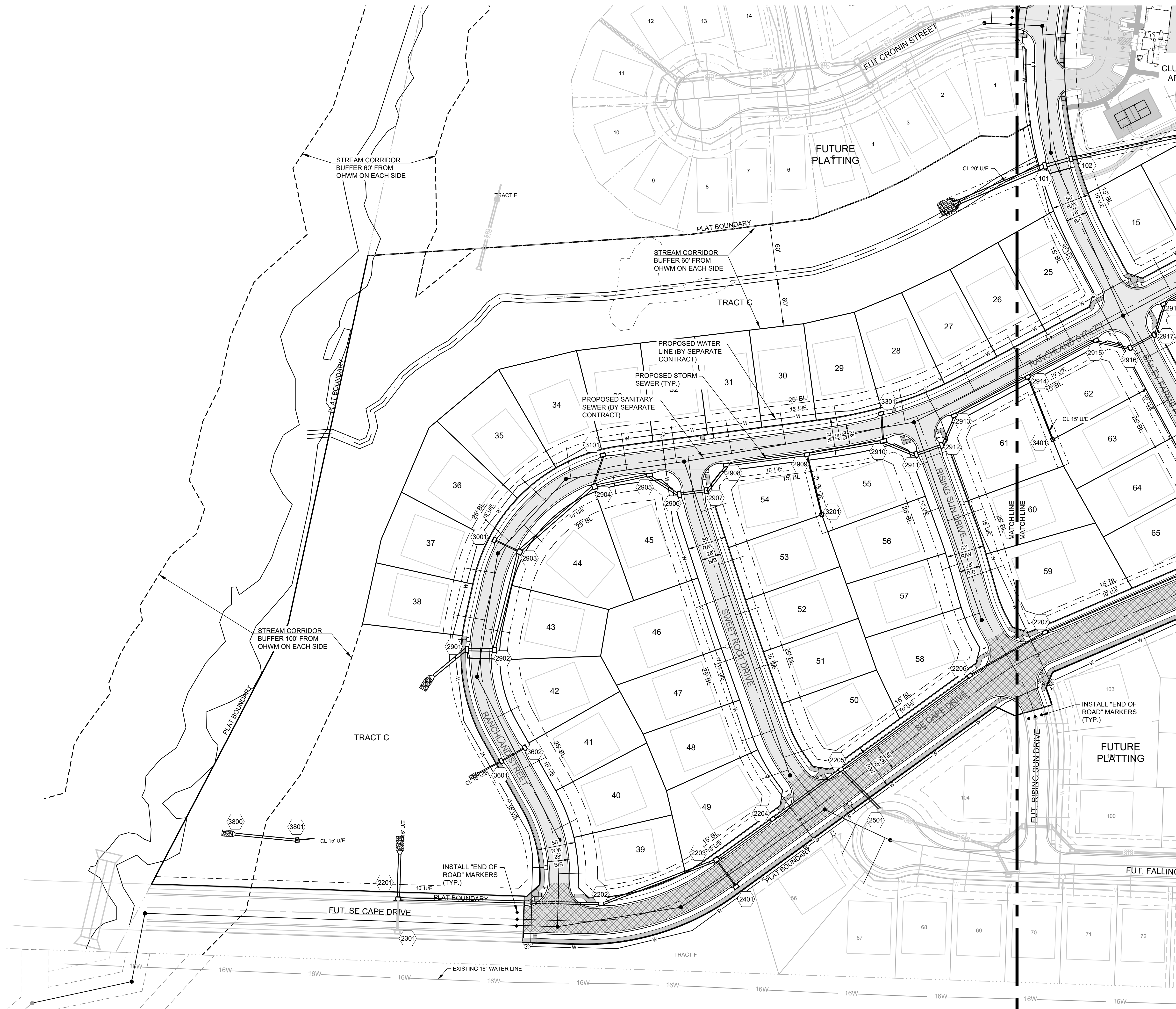
**GENERAL LAYOUT (EAST)**

SHEET

**3**



I:\PROJECTS\2021\121-130\3.0 Design\3.0 DWG Plans\6.0 SS\21-130-SS-GEN.dwg, GENERAL LAYOUT (WEST), 2/28/2024 6:31:47 AM, 1:1



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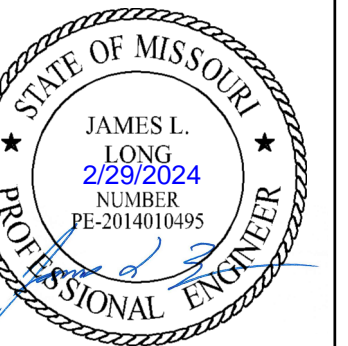
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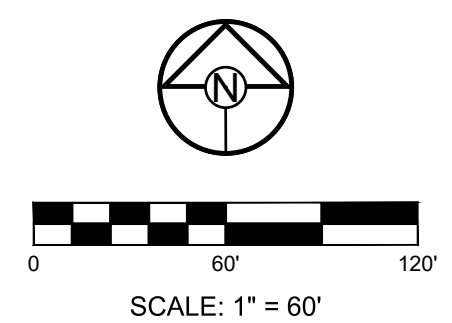
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**GENERAL LAYOUT (WEST)**

SHEET

**4**



**GRADING LEGEND:**  
 - - - 1023 EXISTING CONTOUR  
 ——— 1023 PROPOSED CONTOUR  
 - - - MWSE

**BASIS OF BEARINGS:**  
 MISSOURI STATE PLANE COORDINATE SYSTEM  
 (NAD) 1983, MISSOURI, WEST ZONE

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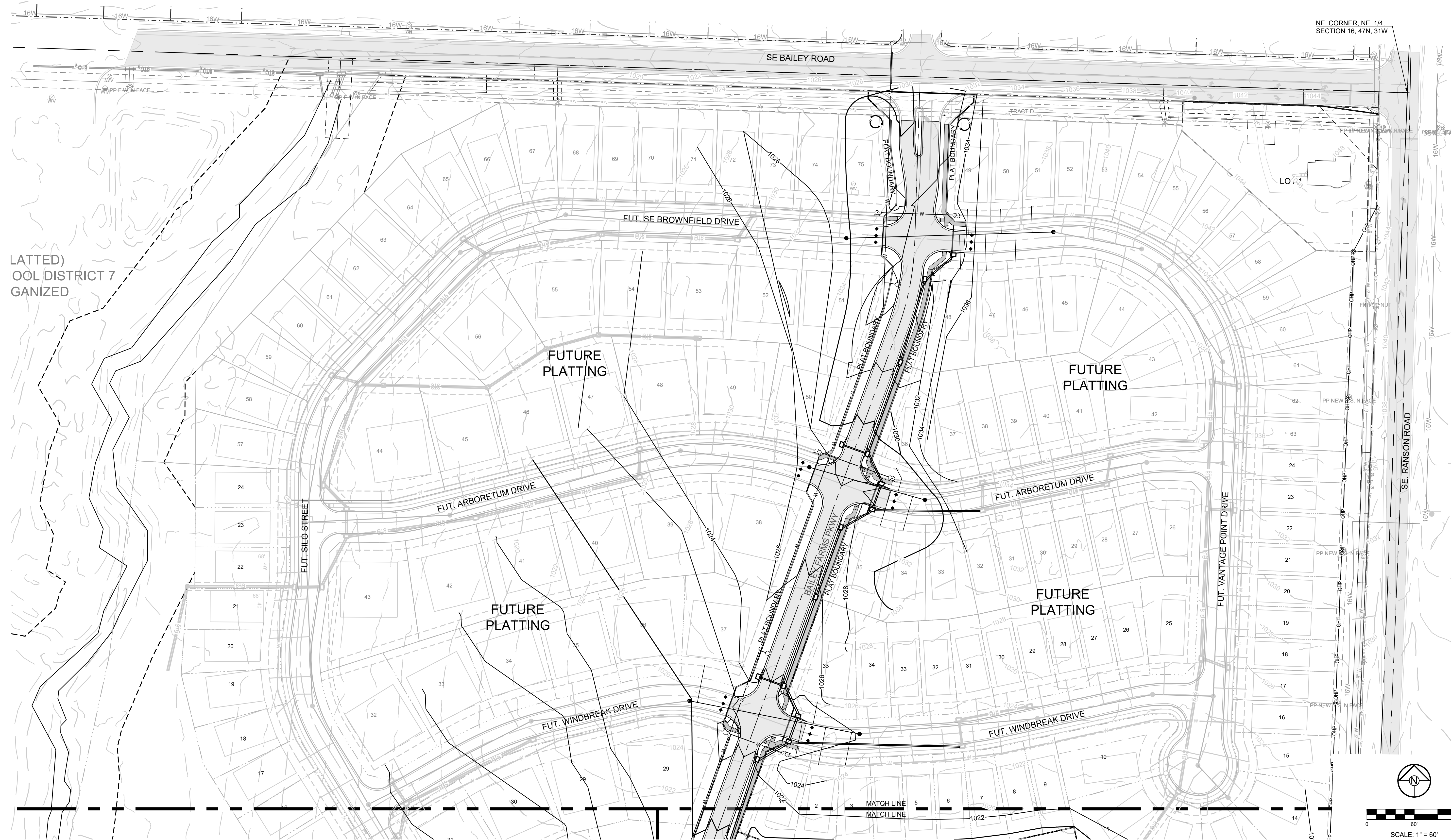
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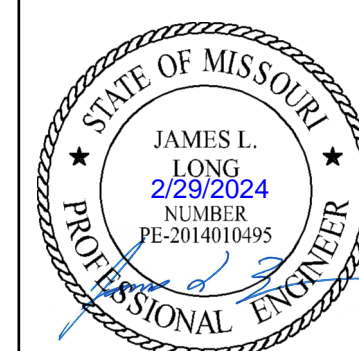


LATTED)  
 OOL DISTRICT 7  
 GANIZED

NE CORNER, NE 1/4,  
 SECTION 16, 47N, 31W



PREPARED BY:

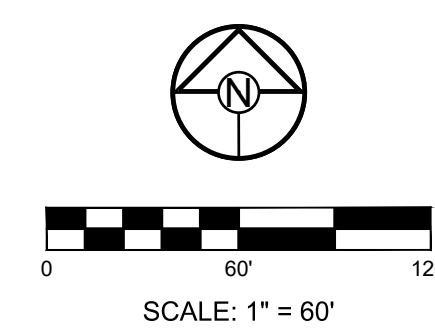


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MASTER  
 DRAINAGE  
 PLAN-GRADING  
 PLAN (NORTH)  
 SHEET  
**5**



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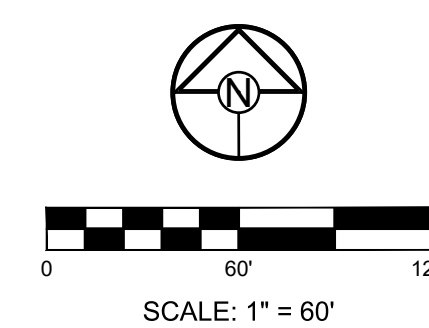
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5. MBOE'S ADJACENT TO SUMPED INLETS SHALL BE A MINIMUM OF 1' ABOVE TOP OF ADJACENT BERM.

LOT TYPE TABLE			LOT TYPE TABLE		
LOT #	BASEMENT TYPE	MBOE	LOT #	BASEMENT TYPE	MBOE
1	STANDARD		34	DAYLIGHT	
2	STANDARD		35	DAYLIGHT	
3	STANDARD		36	WALKOUT	
4	STANDARD		37	WALKOUT	
5	STANDARD		38*	STANDARD	1002
6*	STANDARD	1027	39	STANDARD	
7*	STANDARD	1025	40	STANDARD	
8*	DAYLIGHT	1022	41	STANDARD	
9*	DAYLIGHT	1022	42	STANDARD	
10*	STANDARD	1021	43	STANDARD	
11*	STANDARD	1021	44	STANDARD	
12*	STANDARD	1018	45	STANDARD	
13*	STANDARD	1020	46	WALKOUT	
14*	STANDARD	1020	47	WALKOUT	
15*	STANDARD	1020	48	DAYLIGHT	
16	STANDARD		49	DAYLIGHT	
17	STANDARD		50	STANDARD	
18	STANDARD		51	STANDARD	
19	DAYLIGHT		52	STANDARD	
20	DAYLIGHT		53	STANDARD	
21	STANDARD		54*	STANDARD	1014
22	STANDARD		55*	STANDARD	1014
23	STANDARD		56	STANDARD	
24	STANDARD		57	STANDARD	
25	DAYLIGHT		58	STANDARD	
26*	DAYLIGHT	1009	59	STANDARD	
27*	DAYLIGHT	1009	60	STANDARD	
28*	DAYLIGHT	1008	61*	STANDARD	1017
29*	DAYLIGHT	1008	62*	STANDARD	1017
30*	DAYLIGHT	1007	63	STANDARD	
31*	DAYLIGHT	1007	64	STANDARD	
32*	DAYLIGHT	1005	65	STANDARD	
33*	DAYLIGHT	1005			

\* LOTS WHICH REQUIRE AN "AS-GRADED PLOT PLAN" BEFORE OCCUPANCY.

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MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
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MASTER DRAINAGE PLAN-GRADING PLAN (EAST)

SHEET

6

I:\PROJECTS\2021\121-130\3.0 Design\3.0 DWG Plans\6.0 SS\21-130-SS-GRADE.dwg, MASTER DRAINAGE PLAN-GRADING PLAN (EAST), 2/28/2024 6:32:32 AM, 1:1

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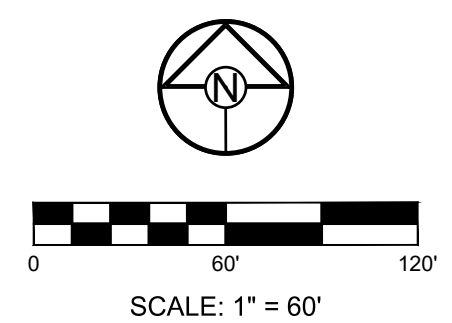
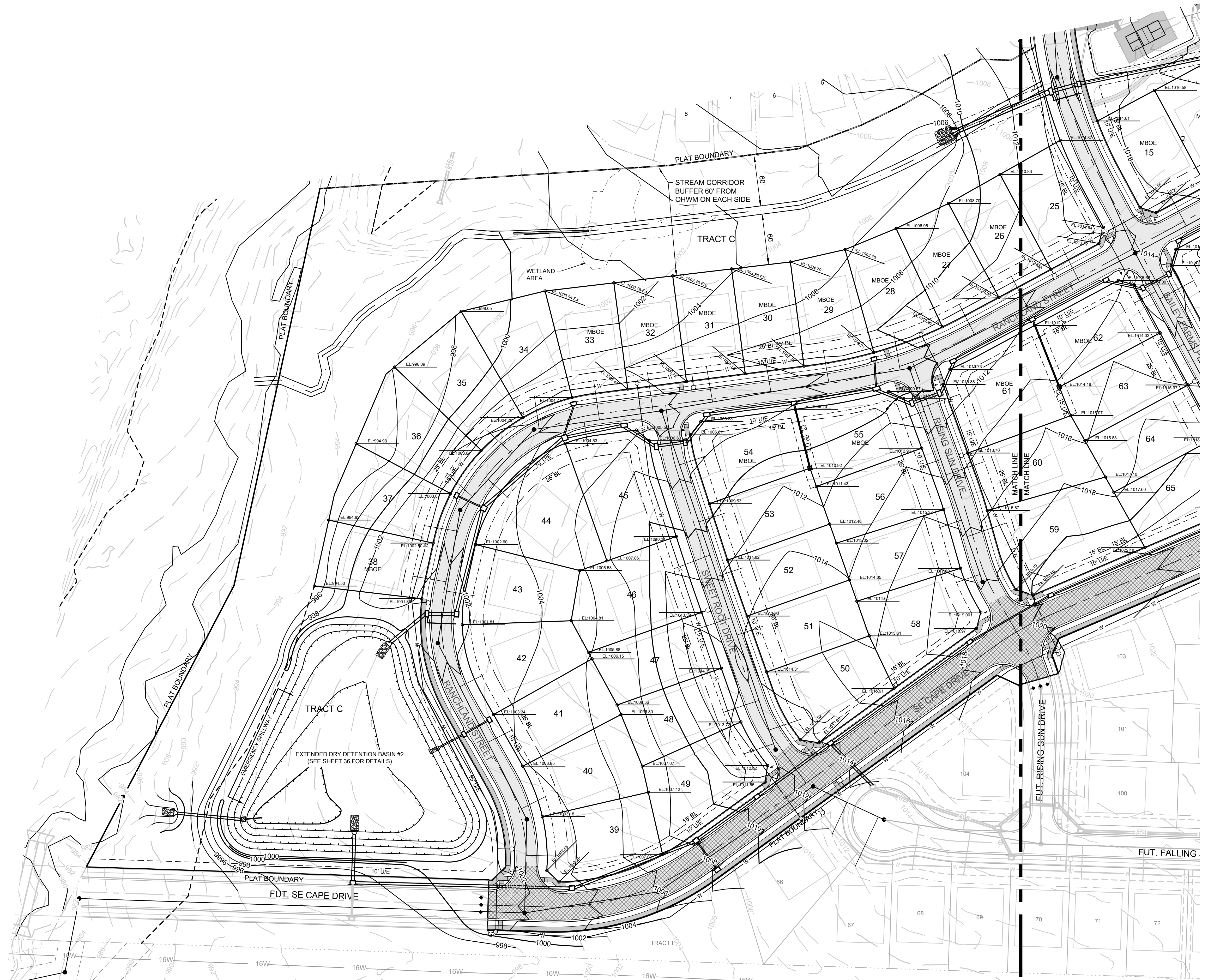
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MASTER DRAINAGE PLAN-GRADING PLAN (WEST)

SHEET **7**



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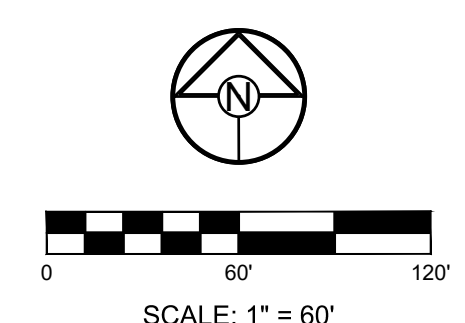
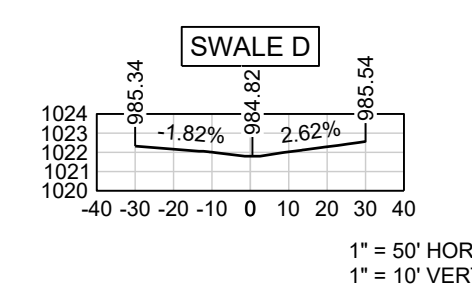
**WEIR CALCULATIONS (Q = CLH<sup>3/2</sup>)**

SECTION	DRAINAGE AREA (AC.)	Q100 (CFS)	DESIGN OVERFLOW (CFS)	WEIR ELEVATION	WEIR COEFFICIENT	LENGTH	HEAD REQ'D	WSE
1	6.45	67.40	67.40	1016.56	3.33	10'-0"	1.60	1018.20
2	5.50	57.47	57.47	1016.63	3.33	10'-0"	1.44	1018.10
3	4.95	51.72	51.72	1017.89	3.33	10'-0"	1.34	1019.30
4	4.30	44.93	44.93	1018.84	3.33	10'-0"	1.22	1020.10

**RUNOFF CALCULATIONS:**  
 $Q = K \cdot C \cdot i \cdot A$   
 $K_{10} = 1.0 \quad K_{100} = 1.25 \quad C = 0.51$   
 $i = \text{INTENSITY } (i_{10} = 7.35" / i_{100} = 10.32")$   
**DESIGN OVERFLOW = Q<sub>OVERFLOW</sub> = Q<sub>100</sub> · Q<sub>10</sub>**  
**MANNINGS "n" = 0.030 FOR SWALES**

**100 YEAR OVERFLOW SWALES**

SECTION	DRAINAGE AREA (AC.)	Q100 (CFS)	Q10 (CFS)	DESIGN OVERFLOW (CFS)	BED SLOPE (%)	BASE WIDTH (FT.)	SIDE SLOPE	TOP WIDTH (FT.)	NORMAL DEPTH (FT.)	VELOCITY (FPS)	VELOCITY HEAD (FT.)	EGL (FT.)
D-D	4.30	28.29	16.12	12.17	2.00	5	50:1	35.00	0.30	2.03	0.06	0.36



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#E200200360P-F #LAC201005237 #S2002008695F

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD**  
**LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
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2/28/2024	Storm 102, 109 to HDRP and
	Intels 1009 & 1014 - revised to IB's

**MASTER DRAINAGE PLAN-SWALE GRADING PLAN SHEET (EAST)**  
**8**



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

**BASIS OF BEARINGS:**

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

**NOTES:**

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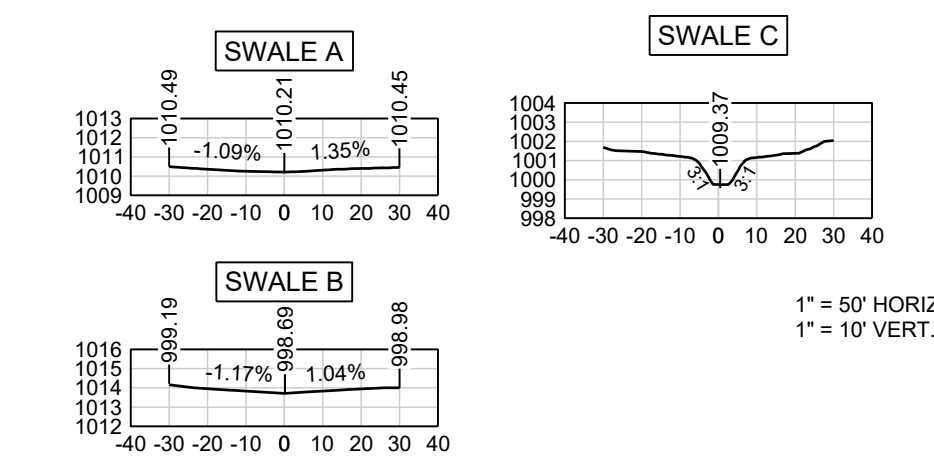
**GRADING LEGEND:**

- 1023 --- EXISTING CONTOUR
- 1023 — PROPOSED CONTOUR
- - - - - MWSE
- ↑ A ↑ DENOTES OVERFLOW SWALE
- EL-000.00 DENOTES FINISHED GRADE ELEVATION
- EL-000.00 (EX.) DENOTES EXISTING GRADE ELEVATION
- HP 000.00 DENOTES LOT HIGH POINT ELEVATION

**NOTES:**

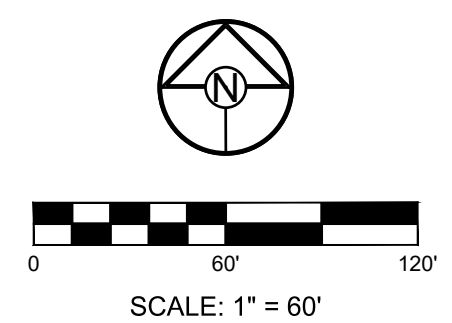
1. MBOE = MINIMUM BUILDING OPENING ELEVATION FOR HOUSES ADJACENT TO ENGINEERED OVERFLOW SWALES SHALL BE MINIMUM 2 FEET ABOVE THE 100 YR WATER SURFACE ELEVATION.
2. EGL = ENERGY GRADE LINE (100 YR)
3. WSE = WATER SURFACE ELEVATION (100 YR)
4. ENGINEERED SWALES TO BE GRADED TO NORMAL DEPTH OF FLOW (WATER SURFACE ELEVATION) OR 1.0 FT, WHICHEVER IS GREATER. MINIMUM SLOPE OF ENGINEERED SWALES SHALL BE AS NOTED.
5. MBOE'S ADJACENT TO SUMPED INLETS SHALL BE A MINIMUM OF 1' ABOVE TOP OF ADJACENT BERM

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SECTION	DRAINAGE AREA (AC.)	Q100 (CFS)	Q10 (CFS)	DESIGN OVERFLOW (CFS)	BED SLOPE (%)	BASE WIDTH (FT.)	SIDE SLOPE	TOP WIDTH (FT.)	NORMAL DEPTH (FT.)	VELOCITY (FPS)	VELOCITY HEAD (FT.)	EGL (FT.)
A-A	1.10	7.24	4.12	3.12	2.6	--	100:1	30.00	0.15	1.39	0.03	0.18
B-B	0.90	5.92	3.38	2.54	3.5	--	100:1	28.00	0.14	1.30	0.03	0.17
C-C	14.80	97.37	55.48	41.89	2.4	5	3:1	10.58	0.93	5.78	0.52	1.45

**RUNOFF CALCULATIONS:**  
 $Q = K \cdot C \cdot I \cdot A$   
 $K_{10} = 1.0 \quad K_{100} = 1.25 \quad C = 0.51$   
 $i = \text{INTENSITY } (i_{10} = 7.35" / i_{100} = 10.32")$   
 $\text{DESIGN OVERFLOW} = Q_{\text{OVERFLOW}} = Q_{100} \cdot Q_{10}$   
 MANNINGS "n" = 0.030 FOR SWALES



MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

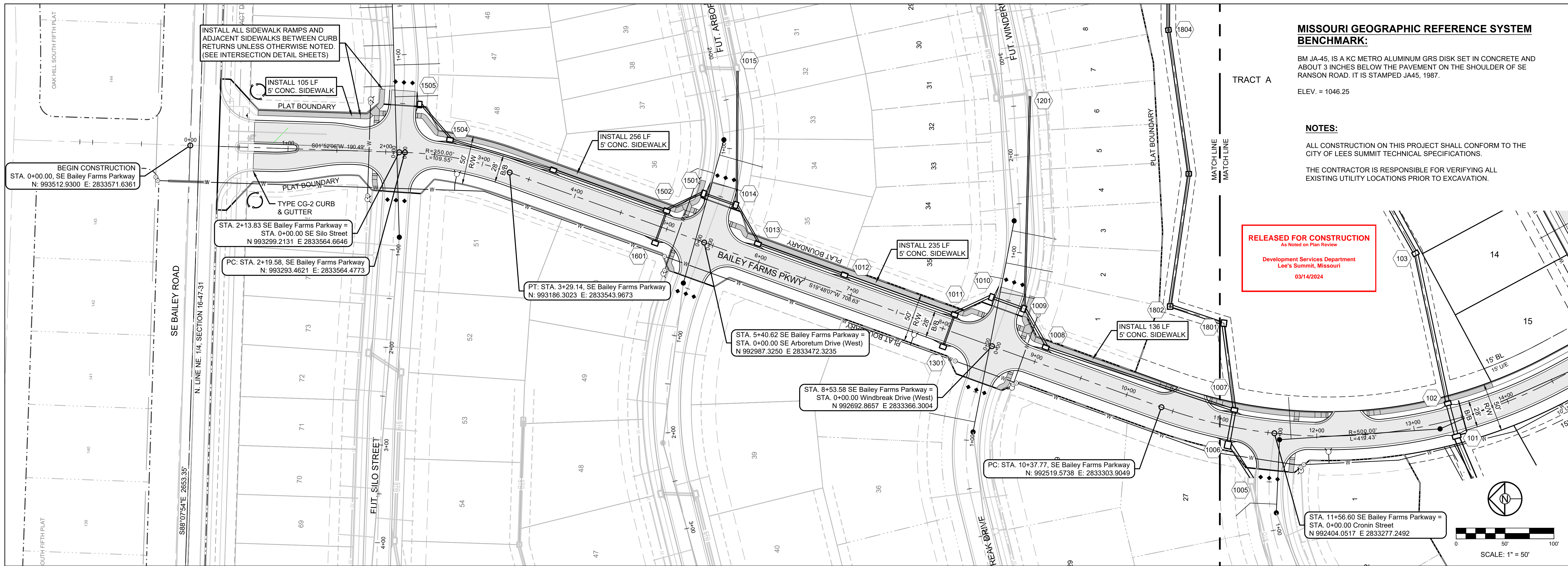
PREPARED BY:

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**MASTER DRAINAGE PLAN-SWALE GRADING PLAN SHEET (WEST)**

9



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**  
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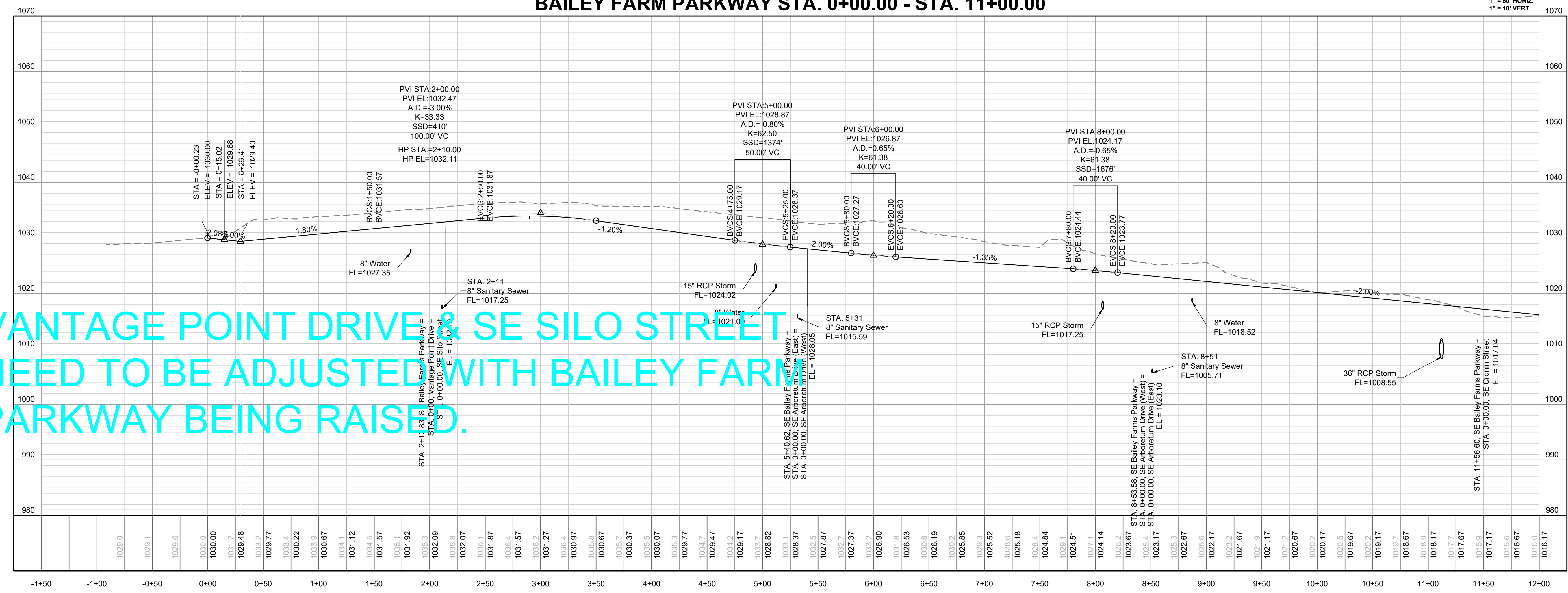
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PREPARED BY:  
  
 JAMES L. LONG  
 2282024  
 NUMBER  
 PE-2014010495  
 PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.

**BAILEY FARM PARKWAY STA. 0+00.00 - STA. 11+00.00**

1" = 50' HORIZ.  
 1" = 10' VERT.



VANTAGE POINT DRIVE & SE SILO STREET  
 NEED TO BE ADJUSTED WITH BAILEY FARM  
 PARKWAY BEING RAISED.

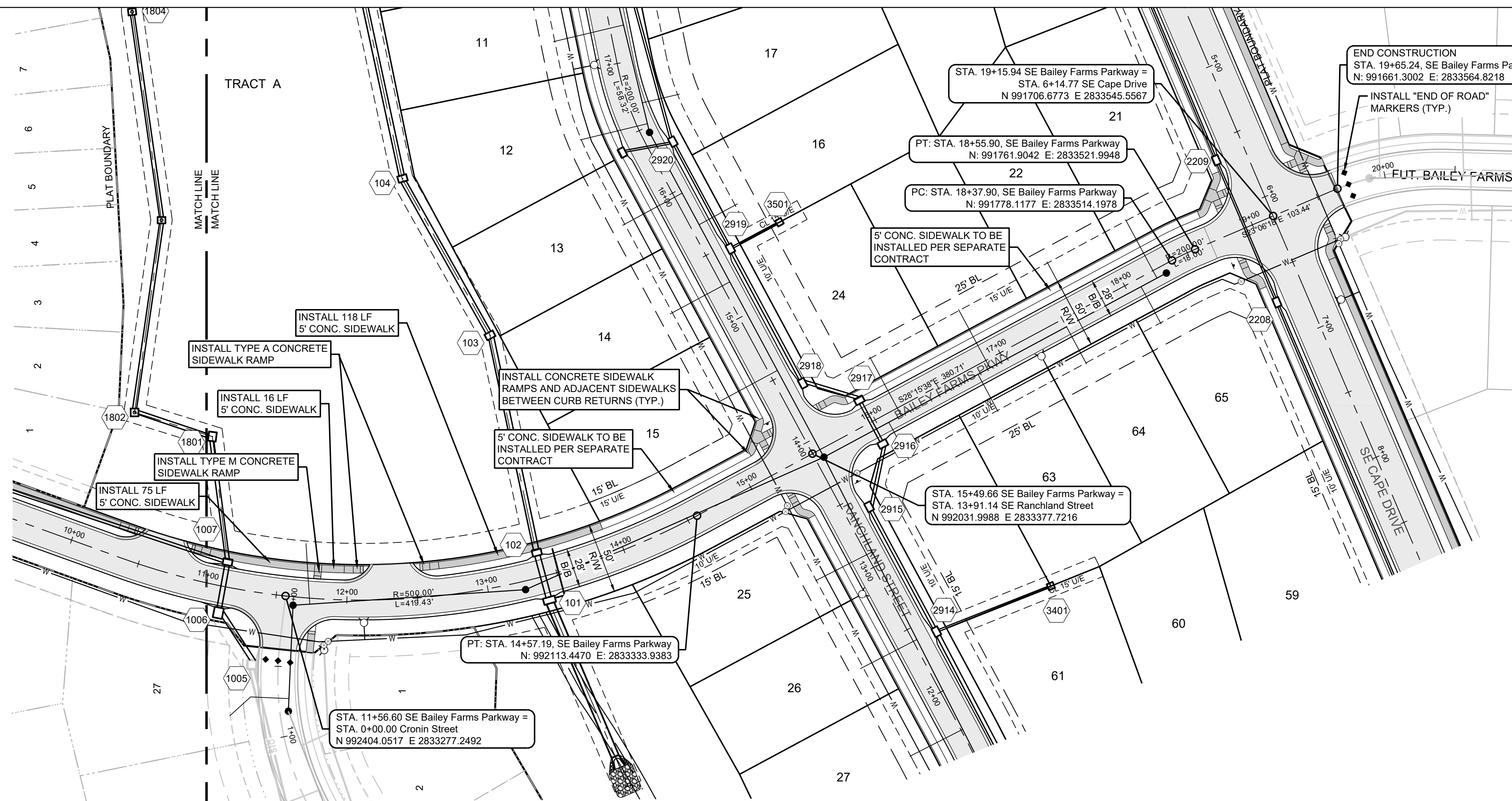
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21-130	

BAILEY FARMS  
 PKWY NORTH  
 PLAN & PROFILE

SHEET

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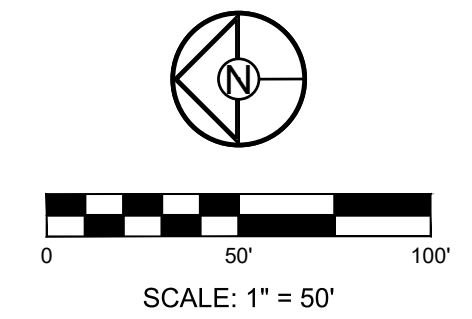
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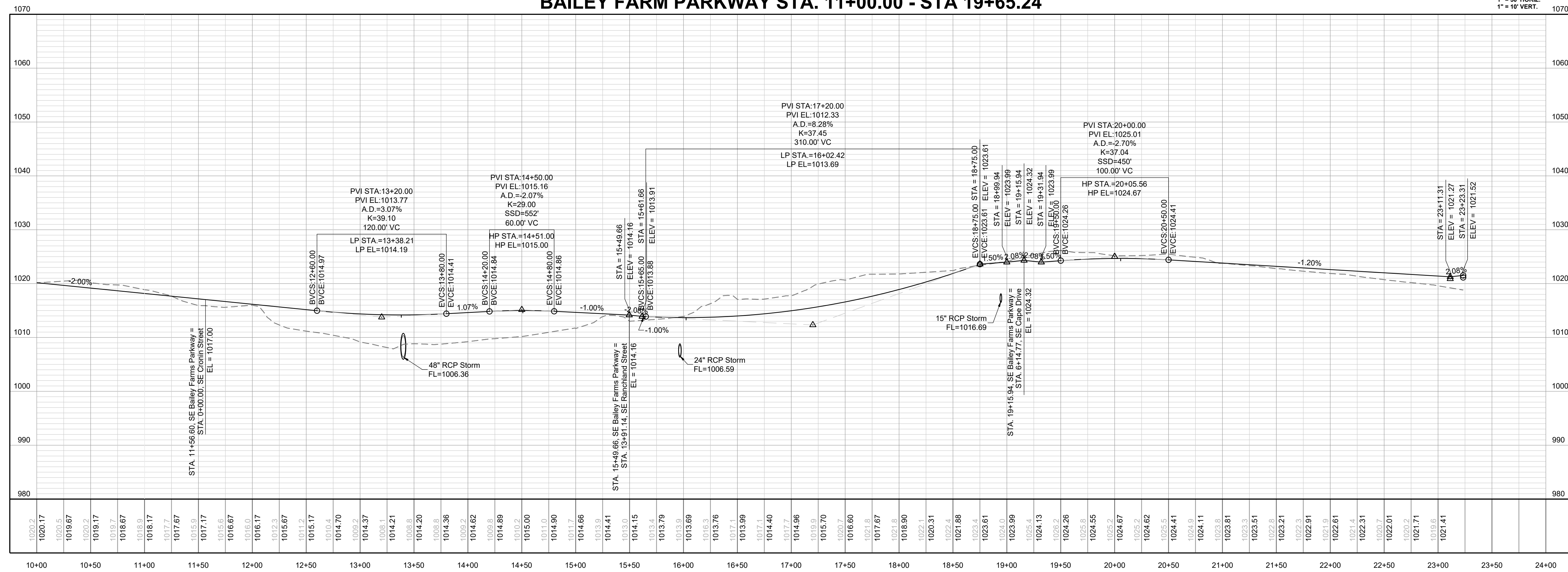
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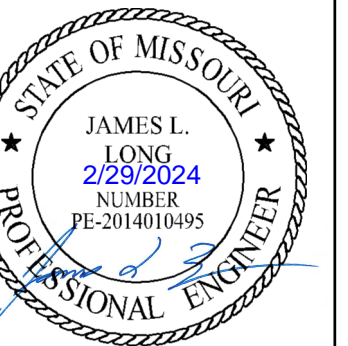


**BAILEY FARM PARKWAY STA. 11+00.00 - STA 19+65.24**



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BAILEY FARMS  
PKWY SOUTH  
PLAN & PROFILE

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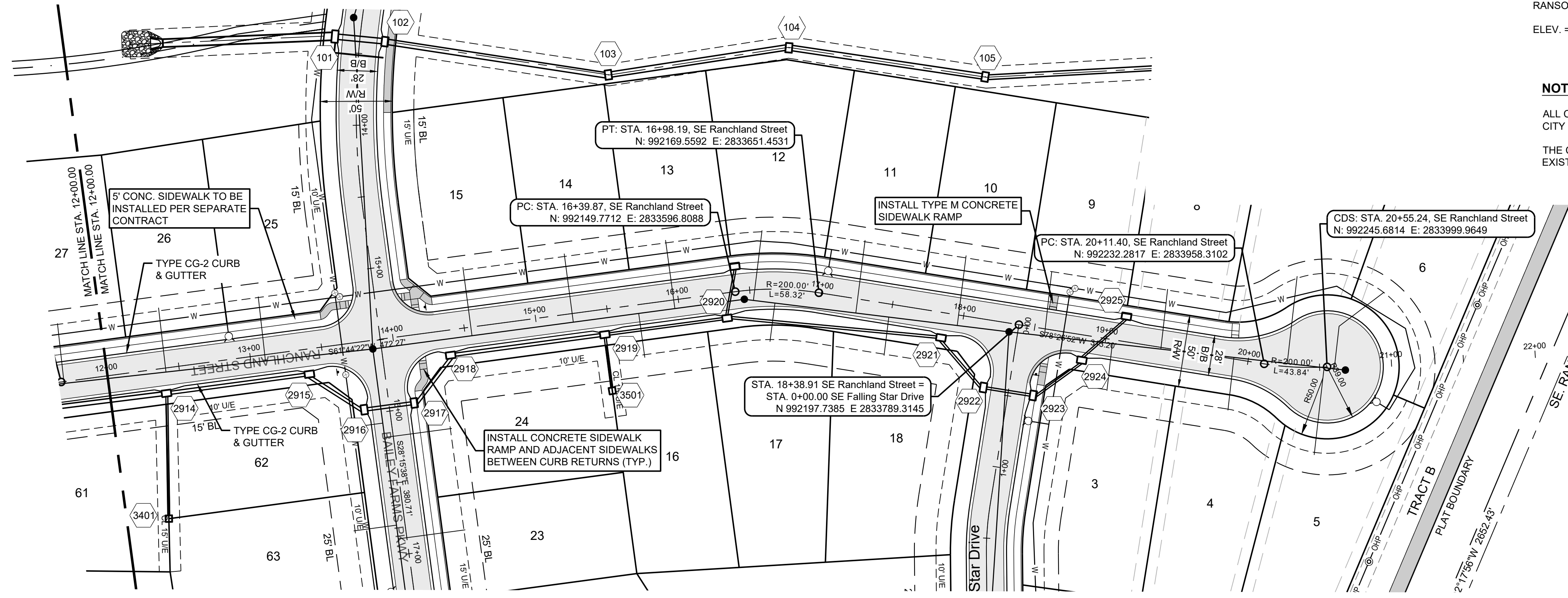
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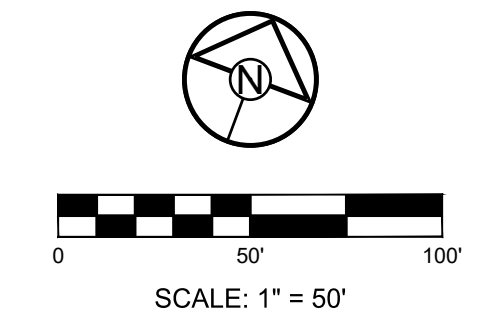
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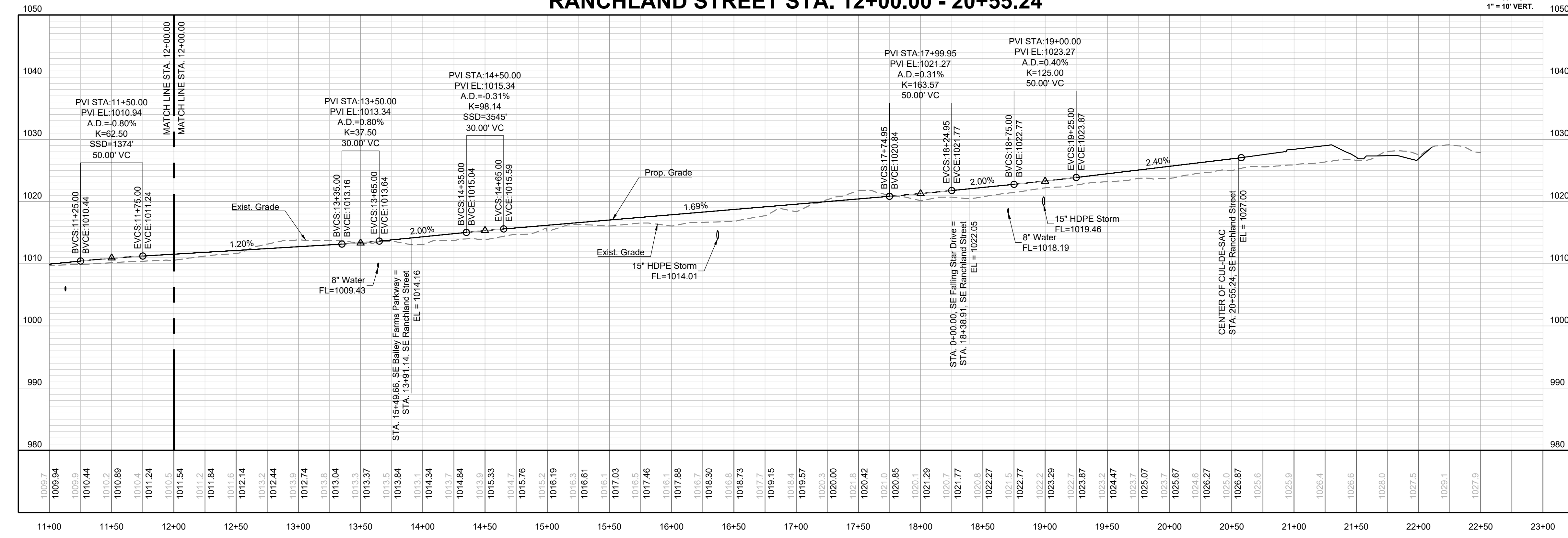
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**RANGLAND STREET STA. 12+00.00 - 20+55.24**



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JAMES L. LONG  
2282024  
NUMBER  
PE-2014010495

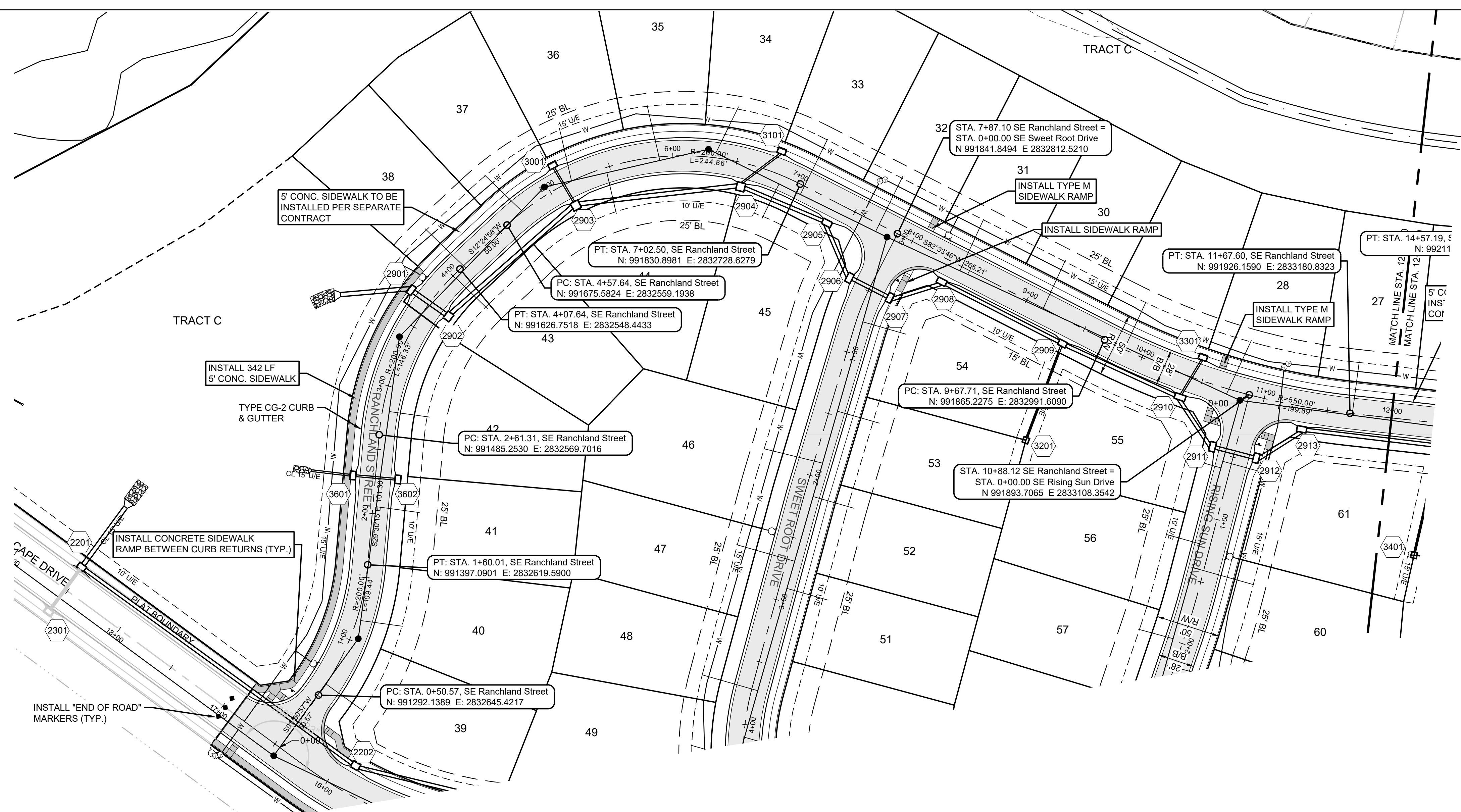
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RANGLAND ST  
EAST PLAN &  
PROFILE

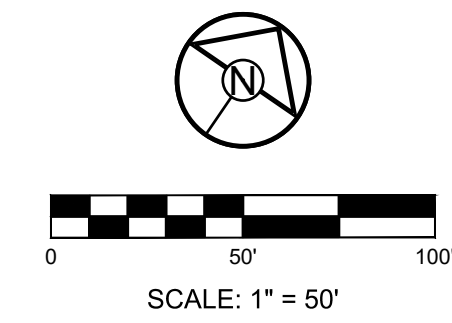
SHEET  
**12**



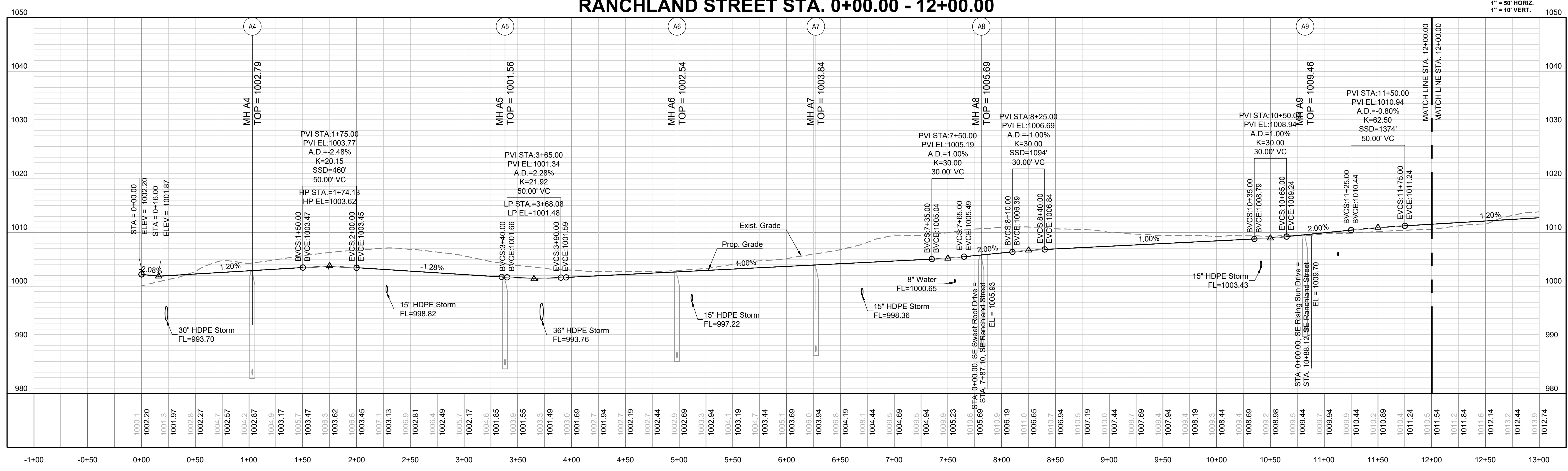
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**RANCLAND STREET STA. 0+00.00 - 12+00.00**



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 PROFESSIONAL ENGINEER

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**RANCLAND ST WEST PLAN & PROFILE**

SHEET

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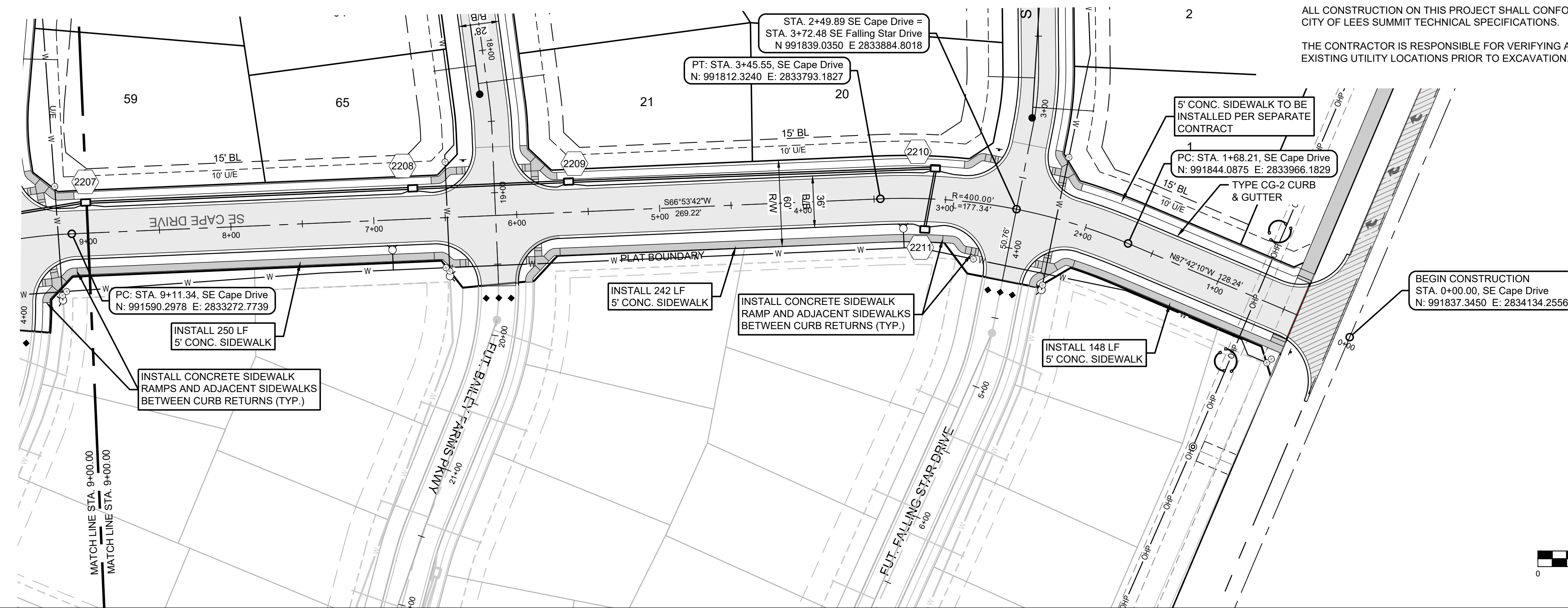
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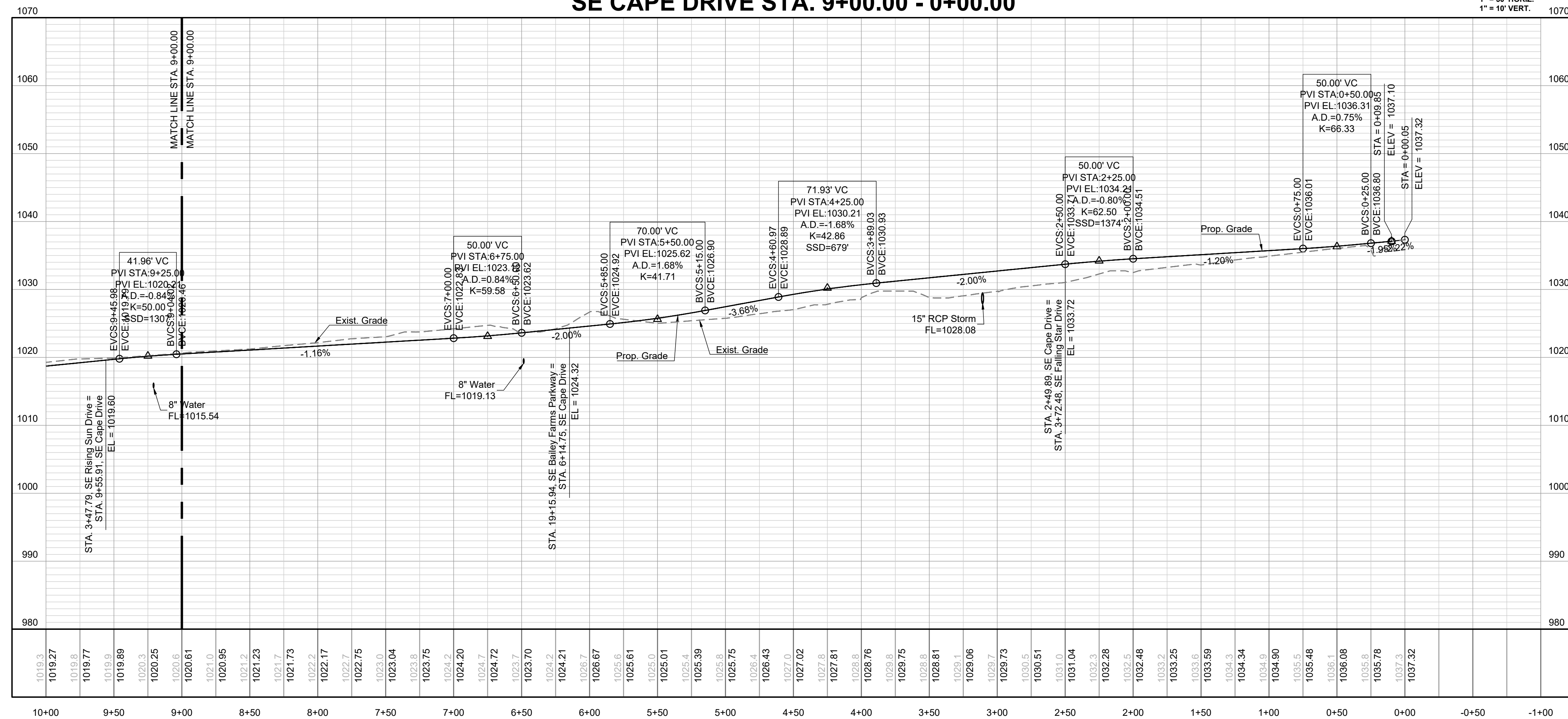
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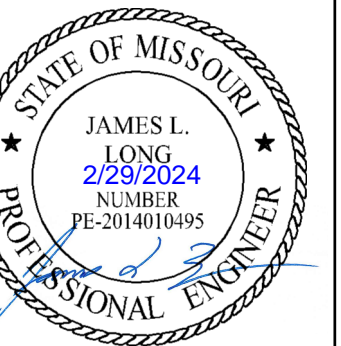
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**SE CAPE DRIVE STA. 9+00.00 - 0+00.00**



PREPARED BY:



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DRAWN BY: NCA  
CHECKED BY: JLL  
DATE PREPARED: 11/05/2021  
PROJ. NUMBER: 21-130

CAPE DR EAST  
PLAN & PROFILE

SHEET

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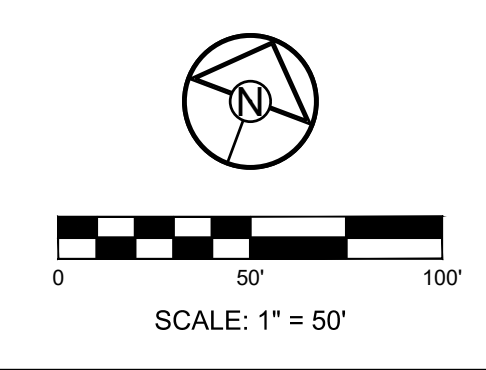
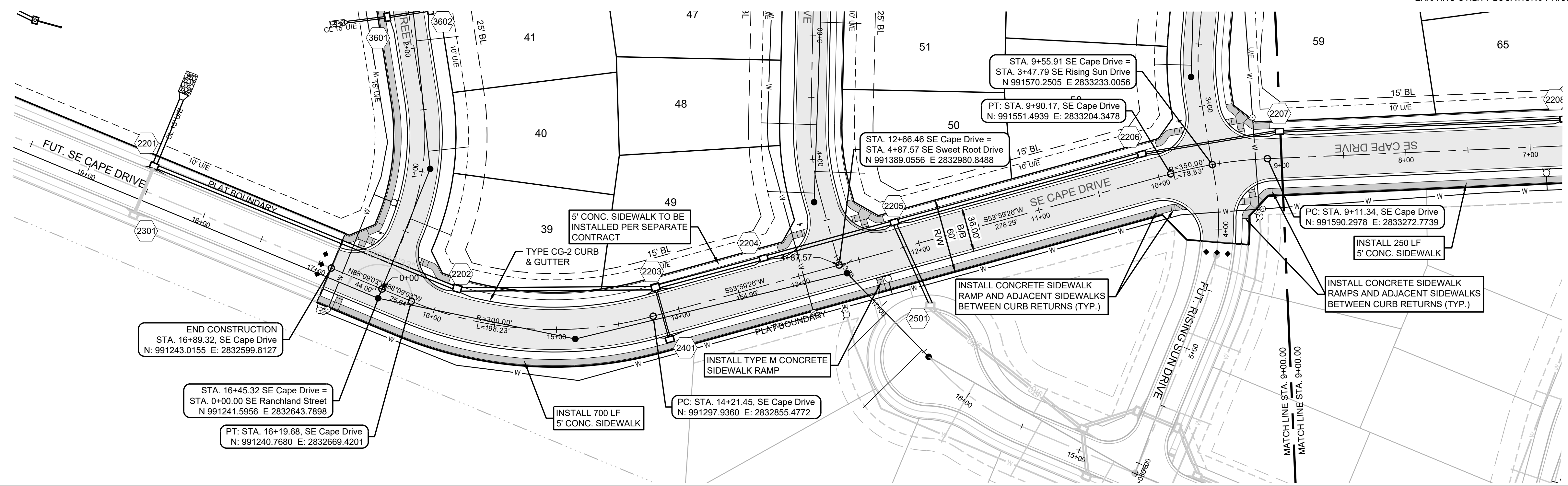
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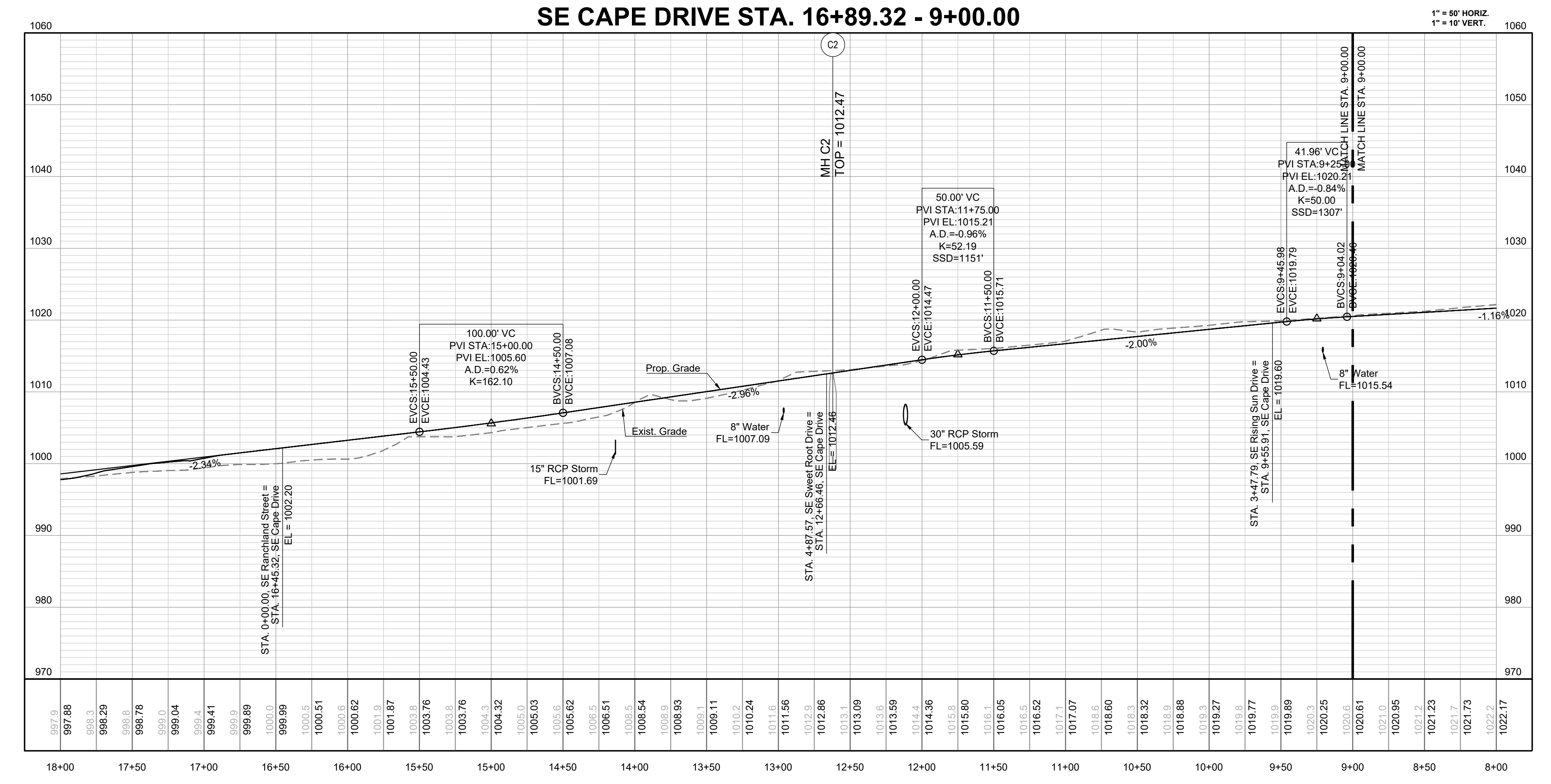
PREPARED BY:

JAMES L. LONG  
2282024  
NUMBER  
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SCHLAGEL & ASSOCIATES, P.A.



**SE CAPE DRIVE STA. 16+89.32 - 9+00.00**



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CAPE DR WEST  
PLAN & PROFILE

SHEET  
**15**

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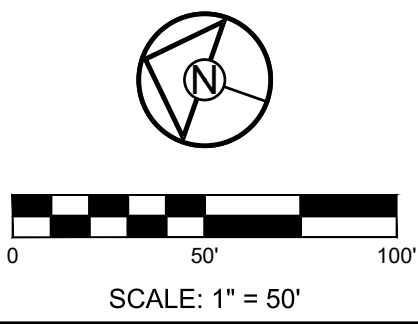
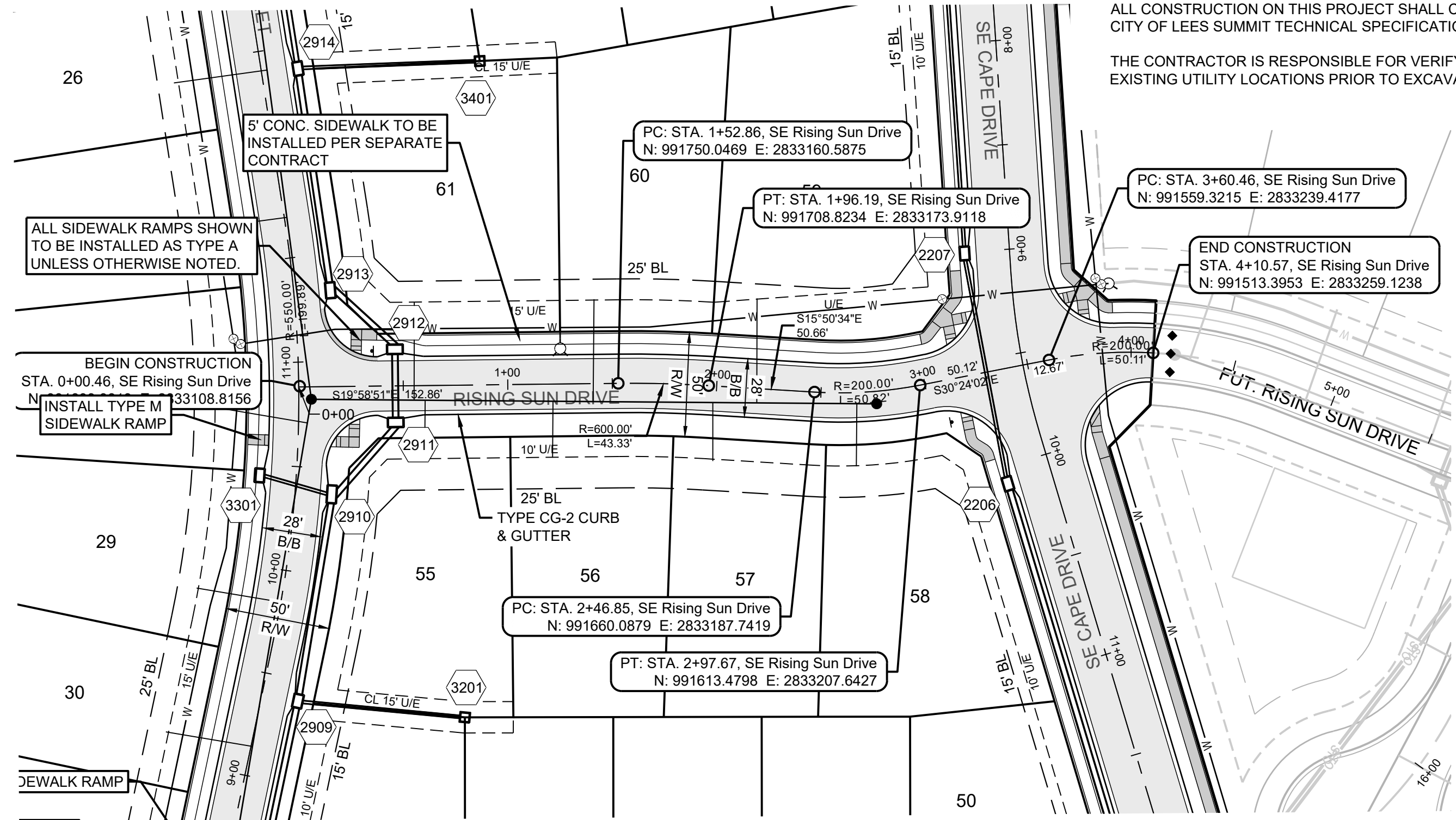
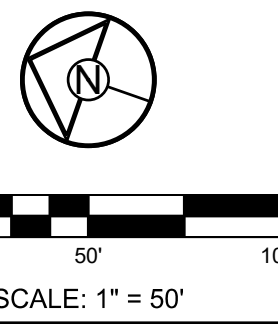
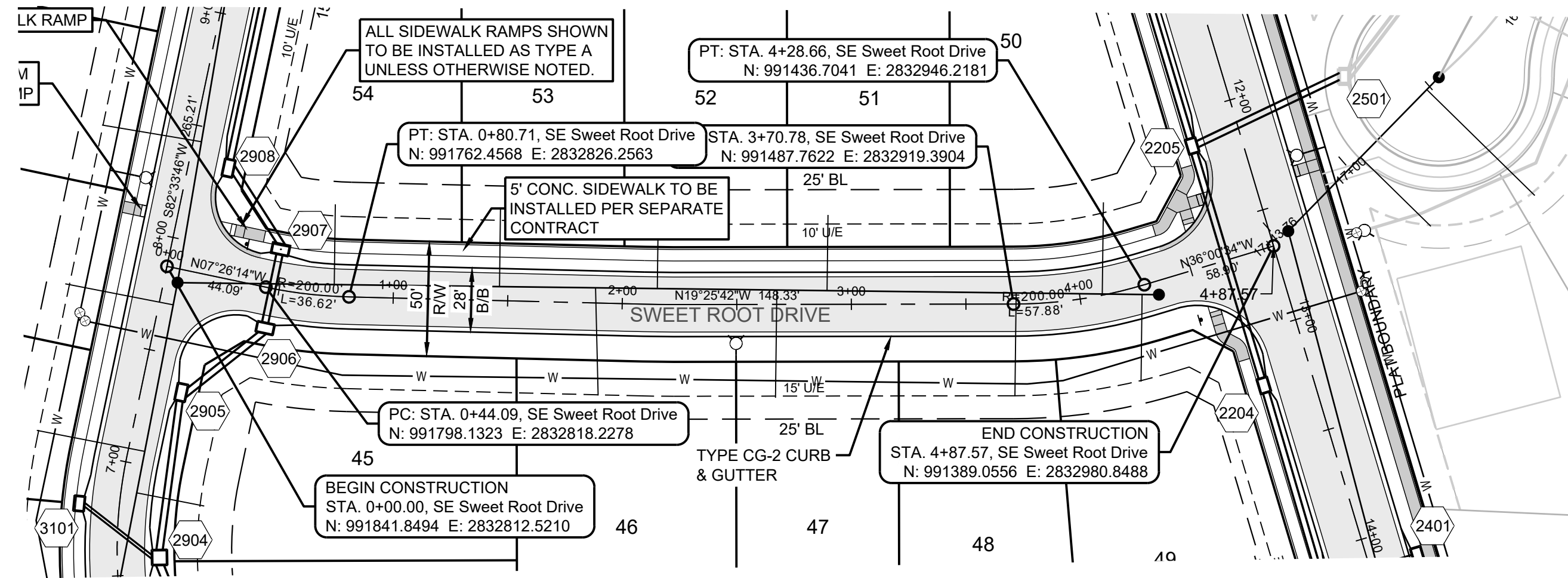
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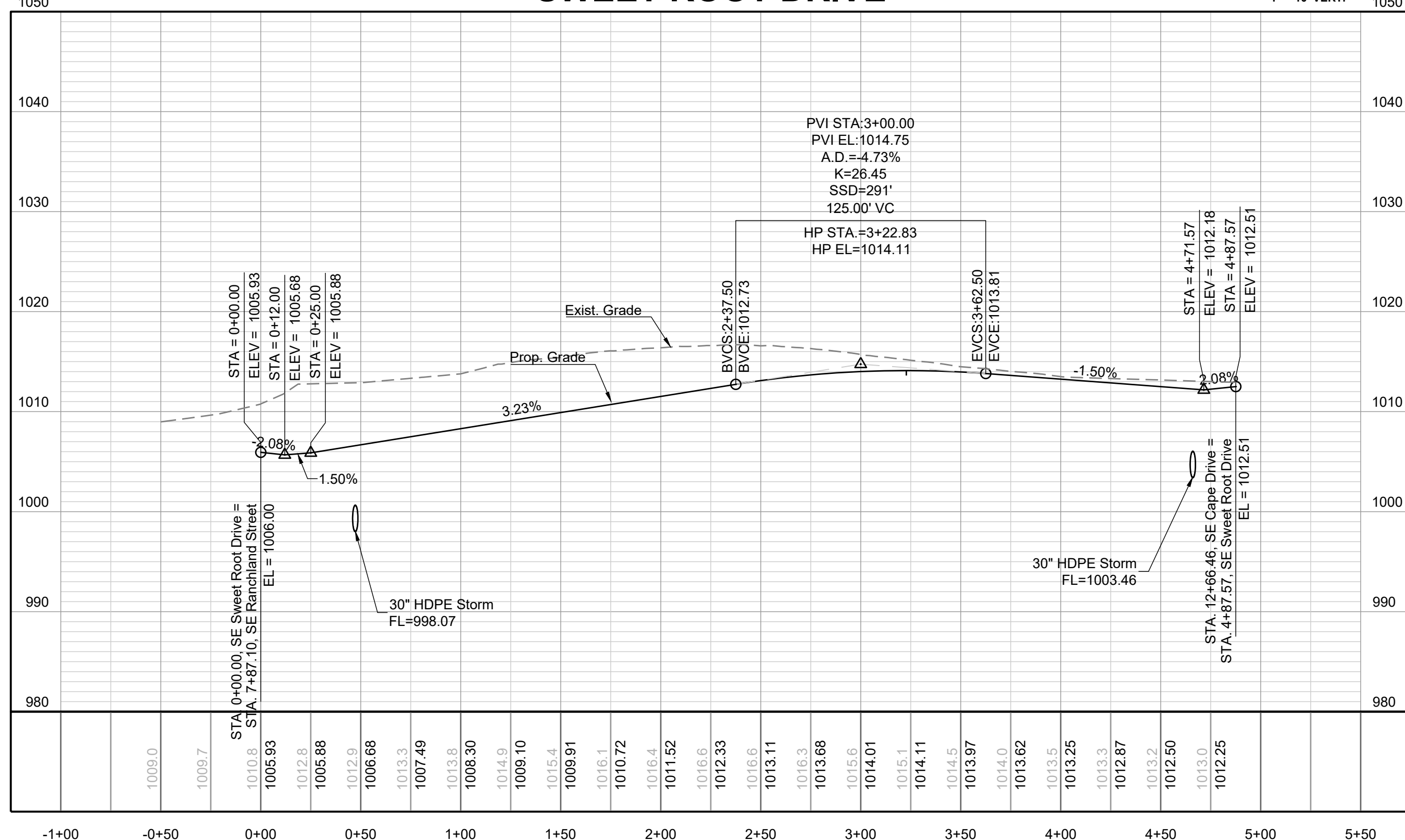
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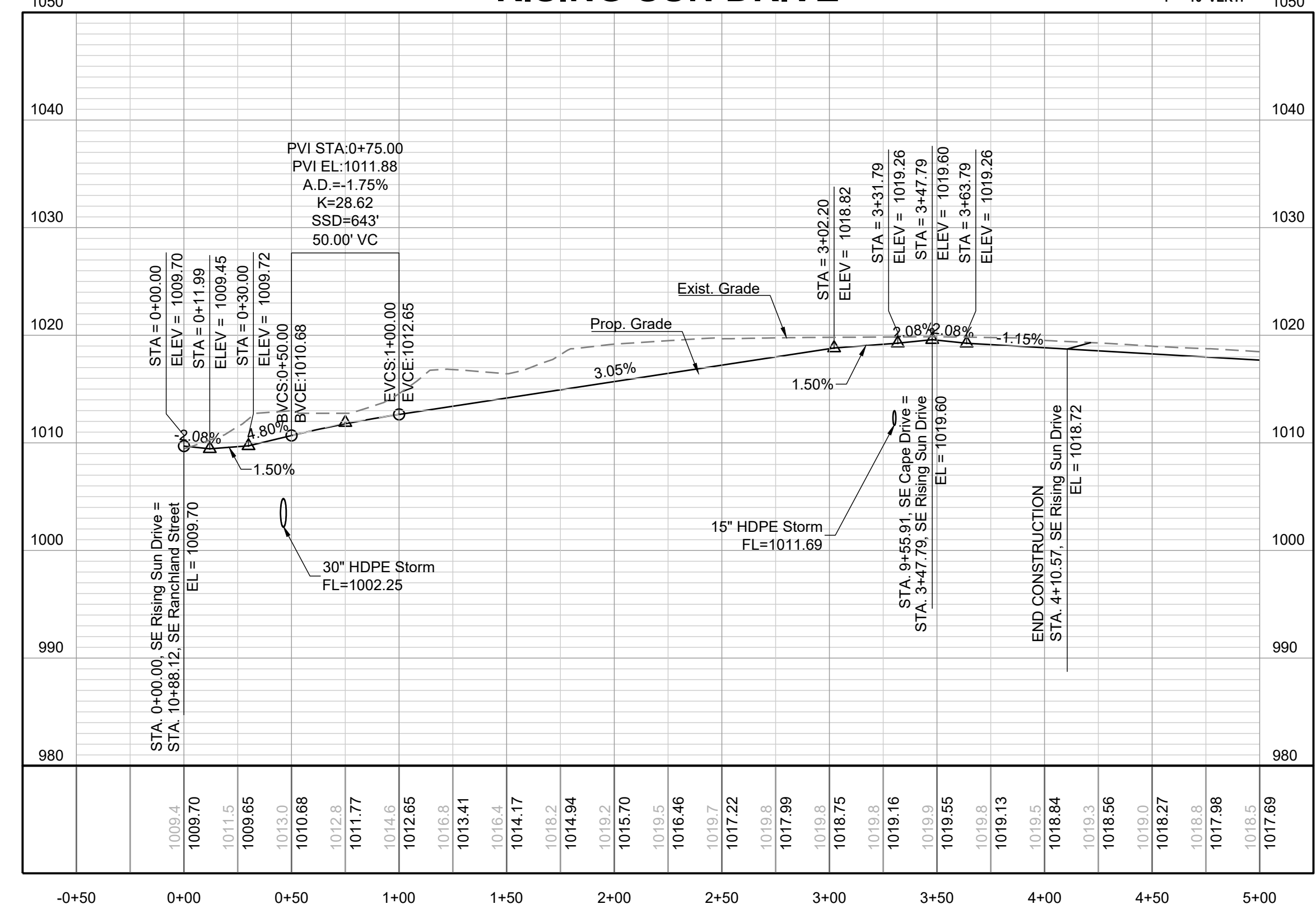
SWEET ROOT DRIVE

1" = 50' HORIZ.  
1" = 10' VERT.



RISING SUN DRIVE

1" = 50' HORIZ.  
1" = 10' VERT.



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SWEET ROOT DR  
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SHEET



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

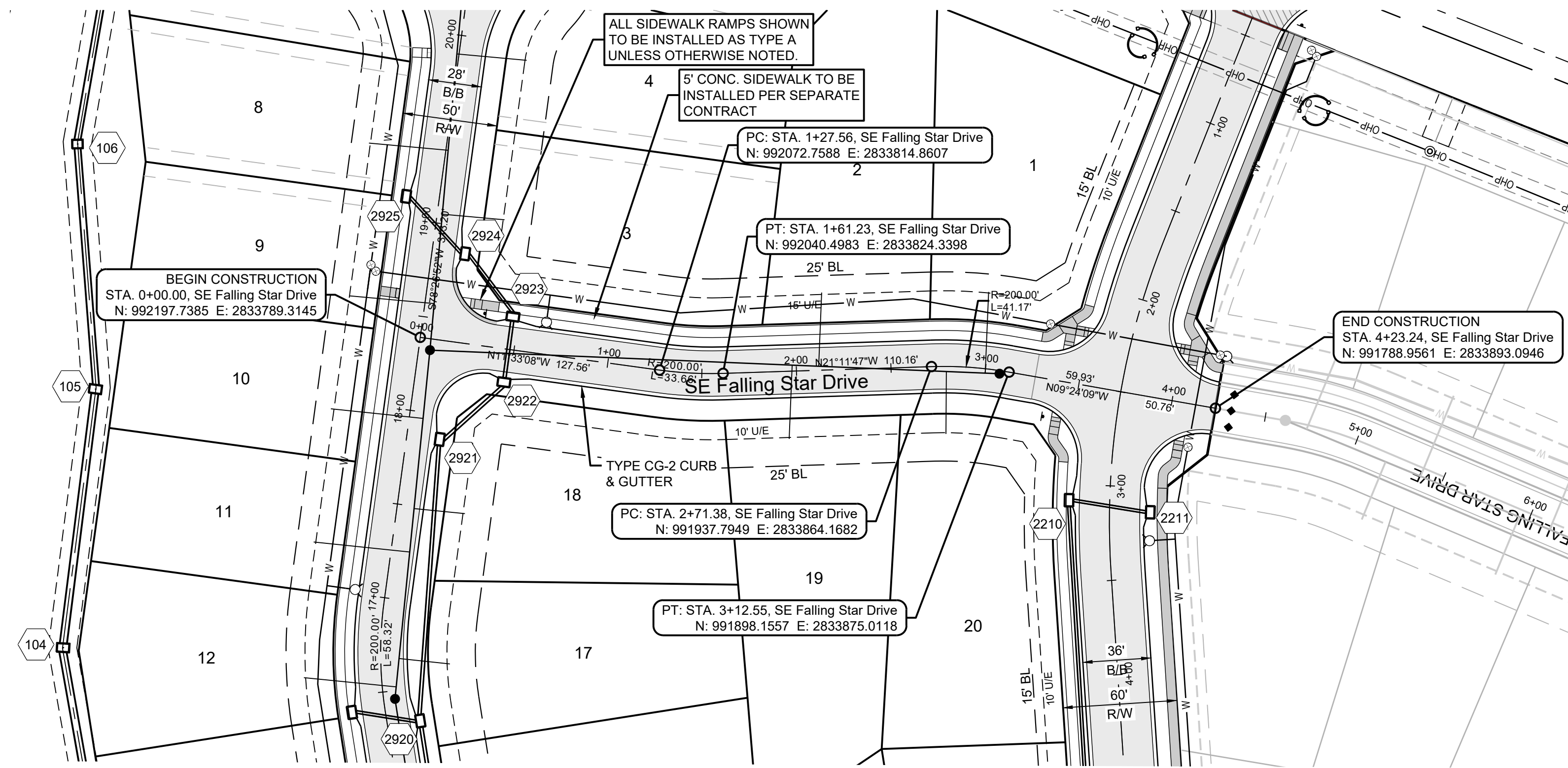
**NOTES:**

ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE CITY OF LEES SUMMIT TECHNICAL SPECIFICATIONS.

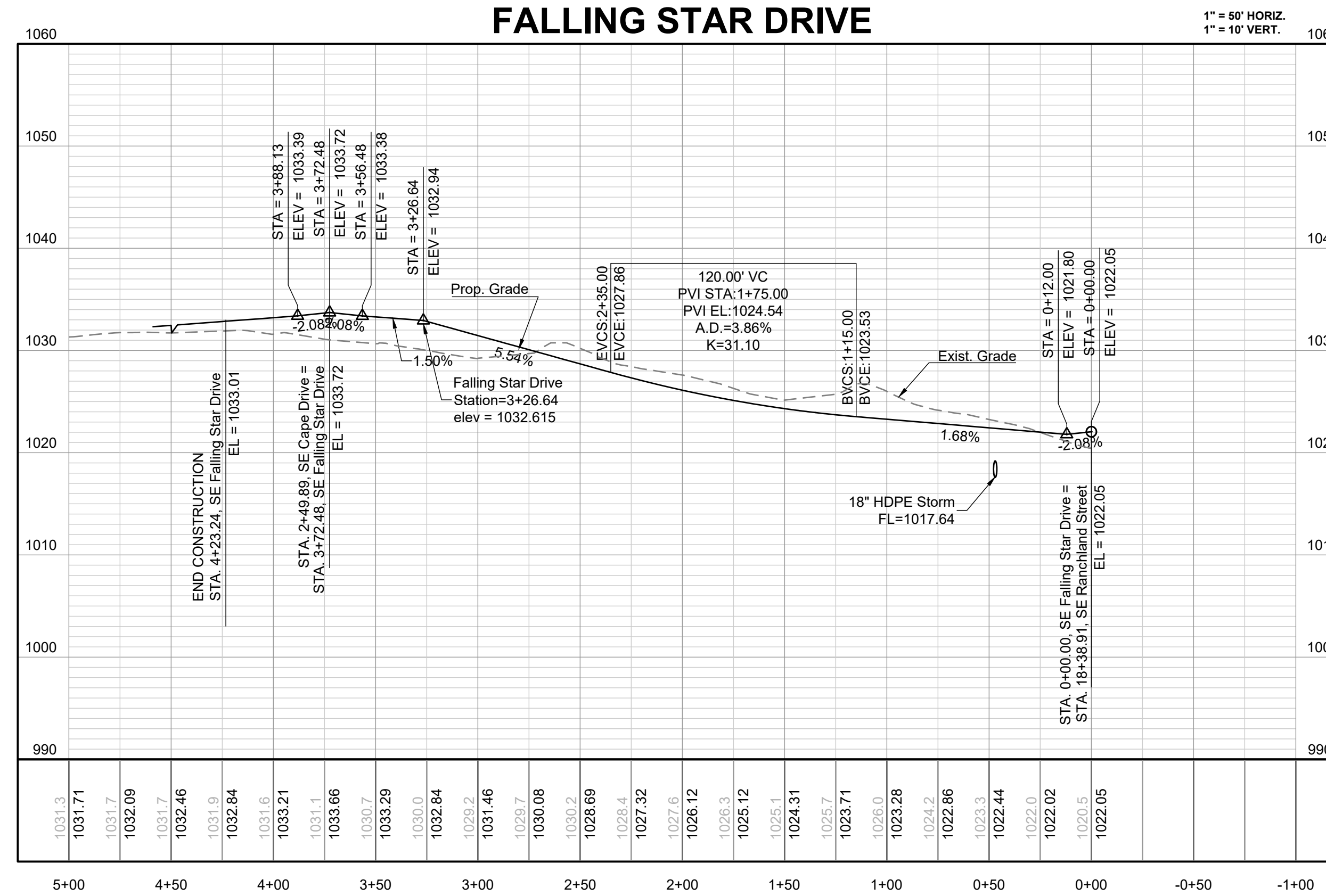
THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.

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As Noted on Plan Review

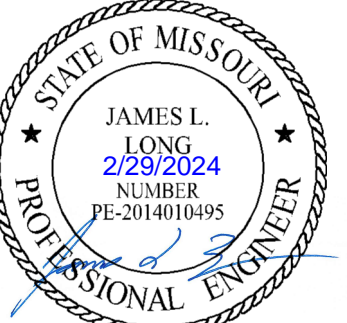
Development Services Department  
Lee's Summit, Missouri  
03/14/2024



**FALLING STAR DRIVE**



PREPARED BY:



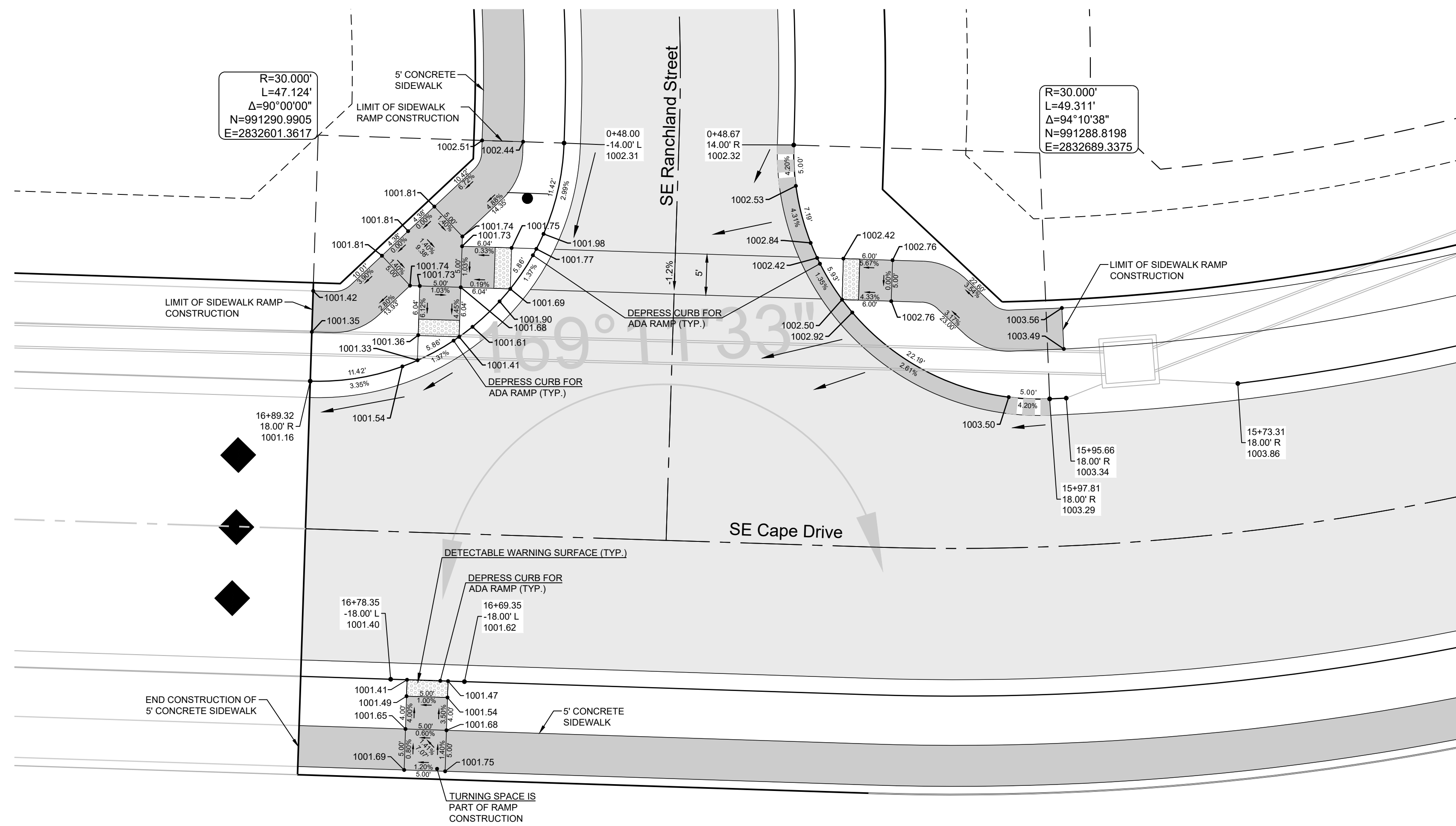
SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

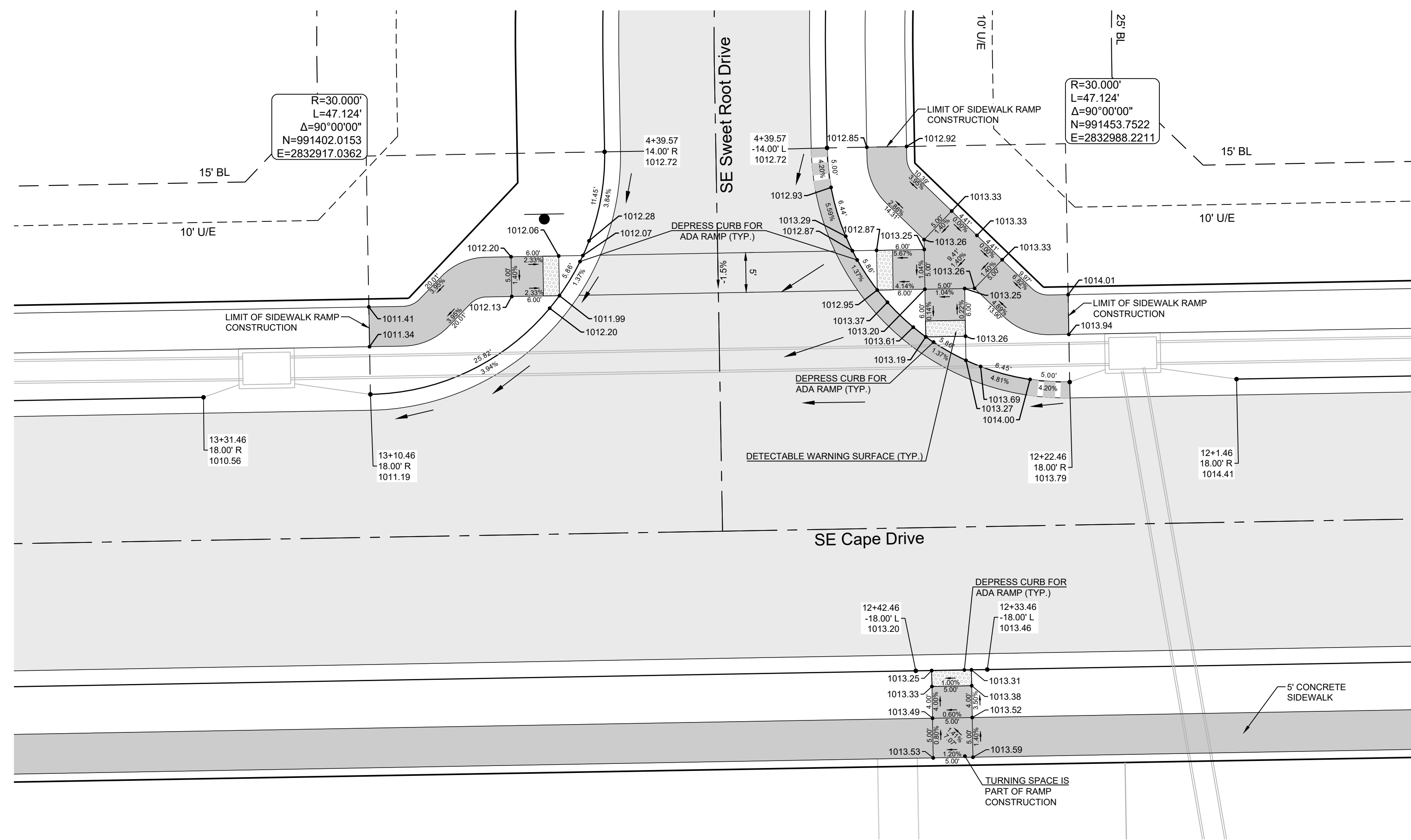
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11/30/2023	Added "New City Requirements" note
2/28/2024	Storm 102-109 to HDPE and Inlets 1009 & 1014 - revised to IB's

FALLING STAR DR PLAN & PROFILE

SHEET  
**17**



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 Lee's Summit, Missouri  
 03/14/2024



**CURB LEGEND**

	CURB & GUTTER - EXISTING
	TYPE "CG-2" CURB & GUTTER
	TYPE "CG-2" DRY CURB & GUTTER
	TRANSITION "CG-2" TO "CG-2 DRY"

PREPARED BY:  
  
 JAMES L. LONG  
 2/28/2024  
 NUMBER  
 PE-2014010495  
 PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI**

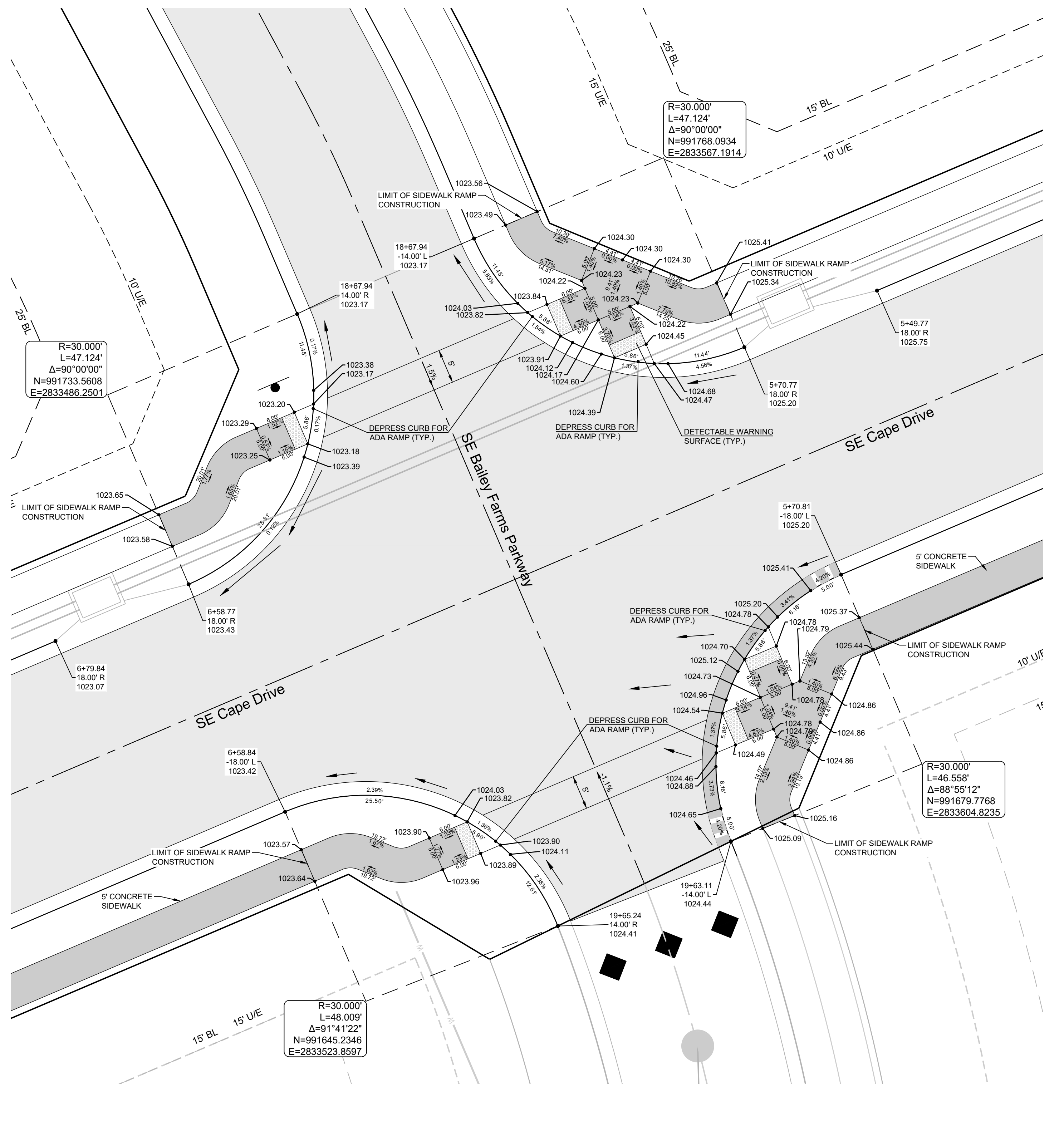
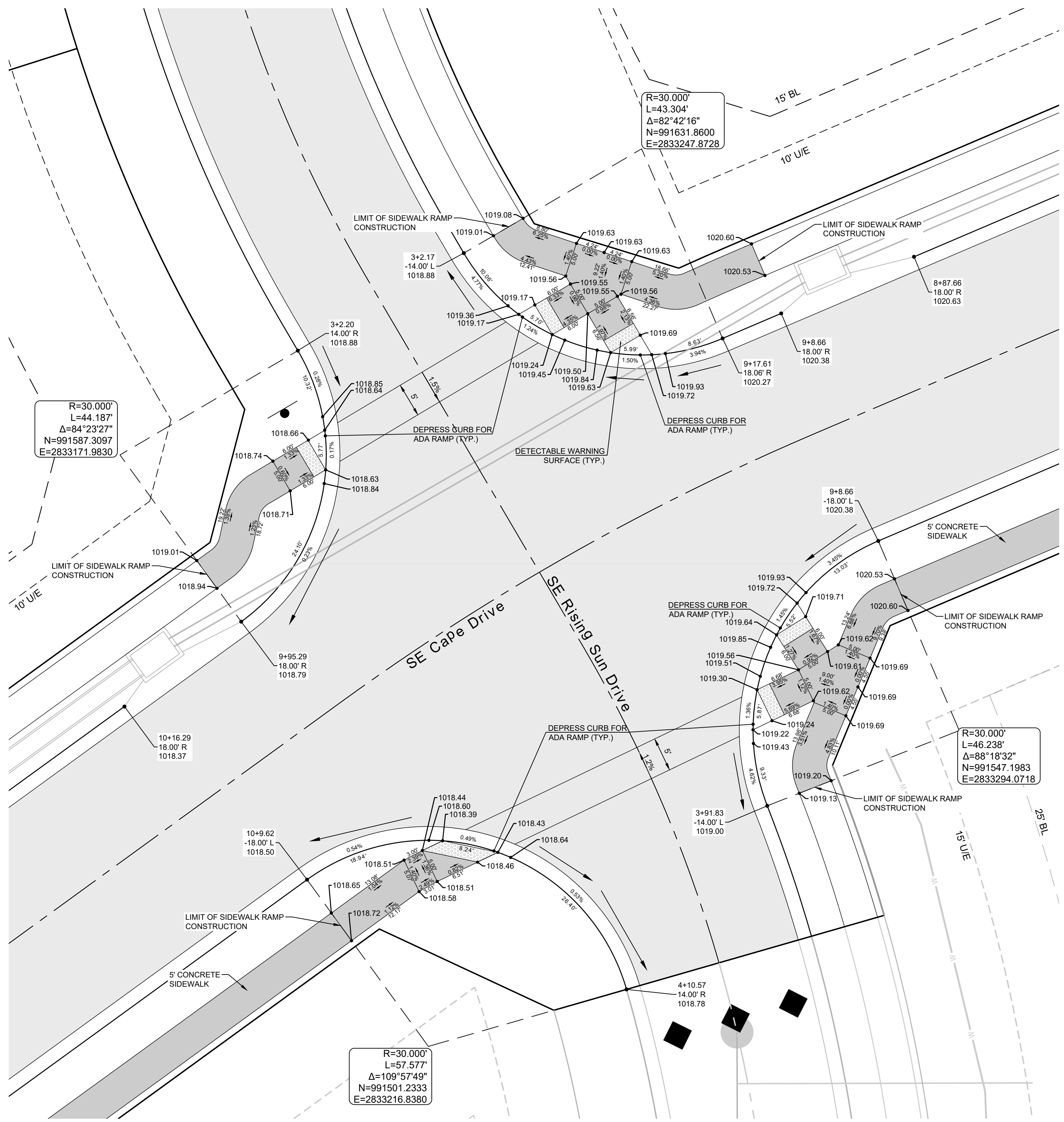
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11/05/2021	Notes 1009 & 1014 - revised to IB's
2/1-130	

INTERSECTION DETAILS 1 OF 8

SHEET  
**18**

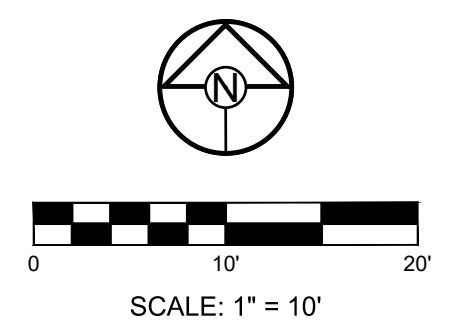
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 03/14/2024



**CURB LEGEND**

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	TRANSITION "CG-2" TO "CG-2 DRY"



**MANOR AT BAILEY FARMS, FIRST PLAT**  
**STREET, STORMWATER, AND MASTER DRAINAGE**  
**PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD**  
**LEE'S SUMMIT, MISSOURI**

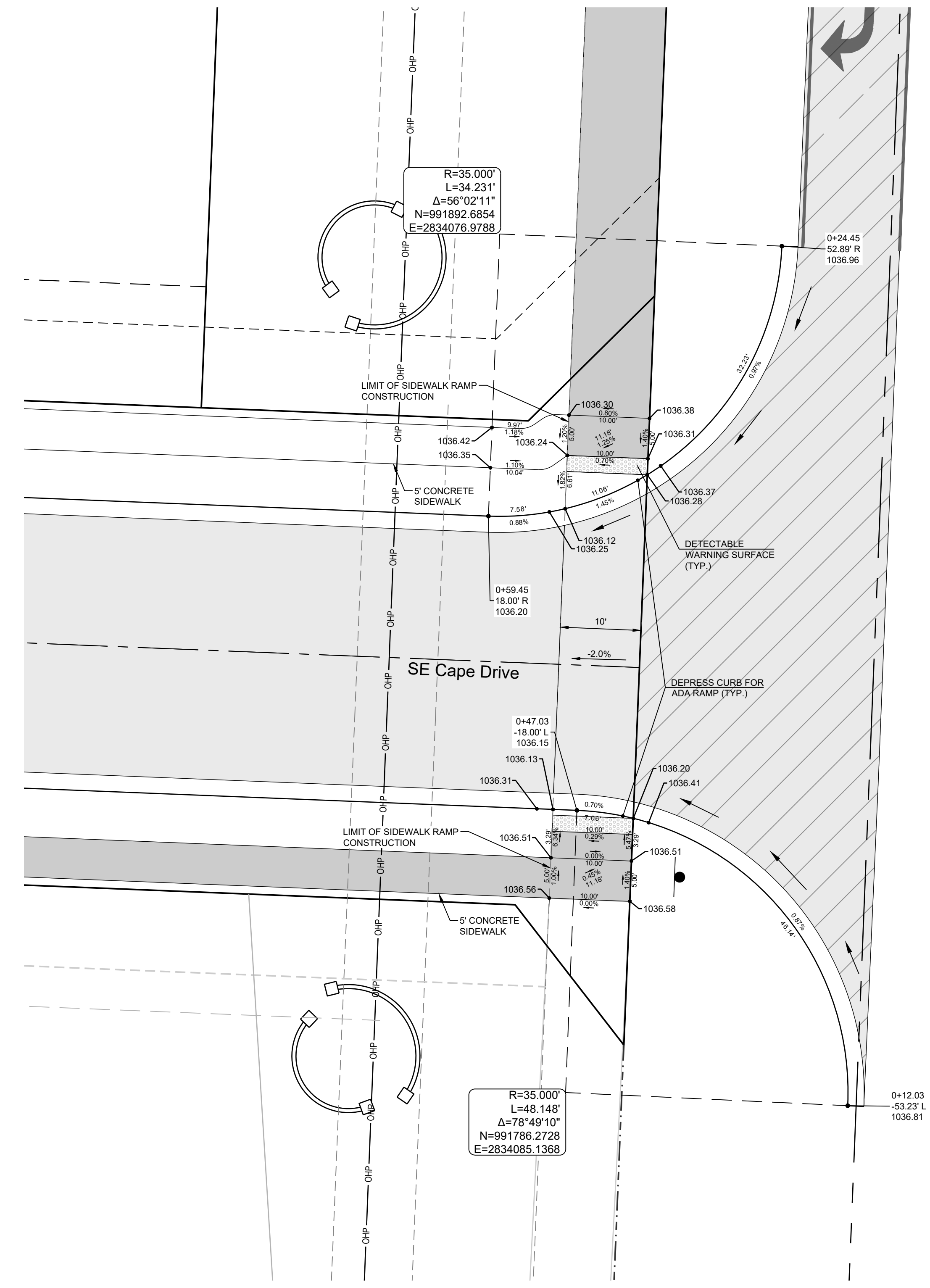
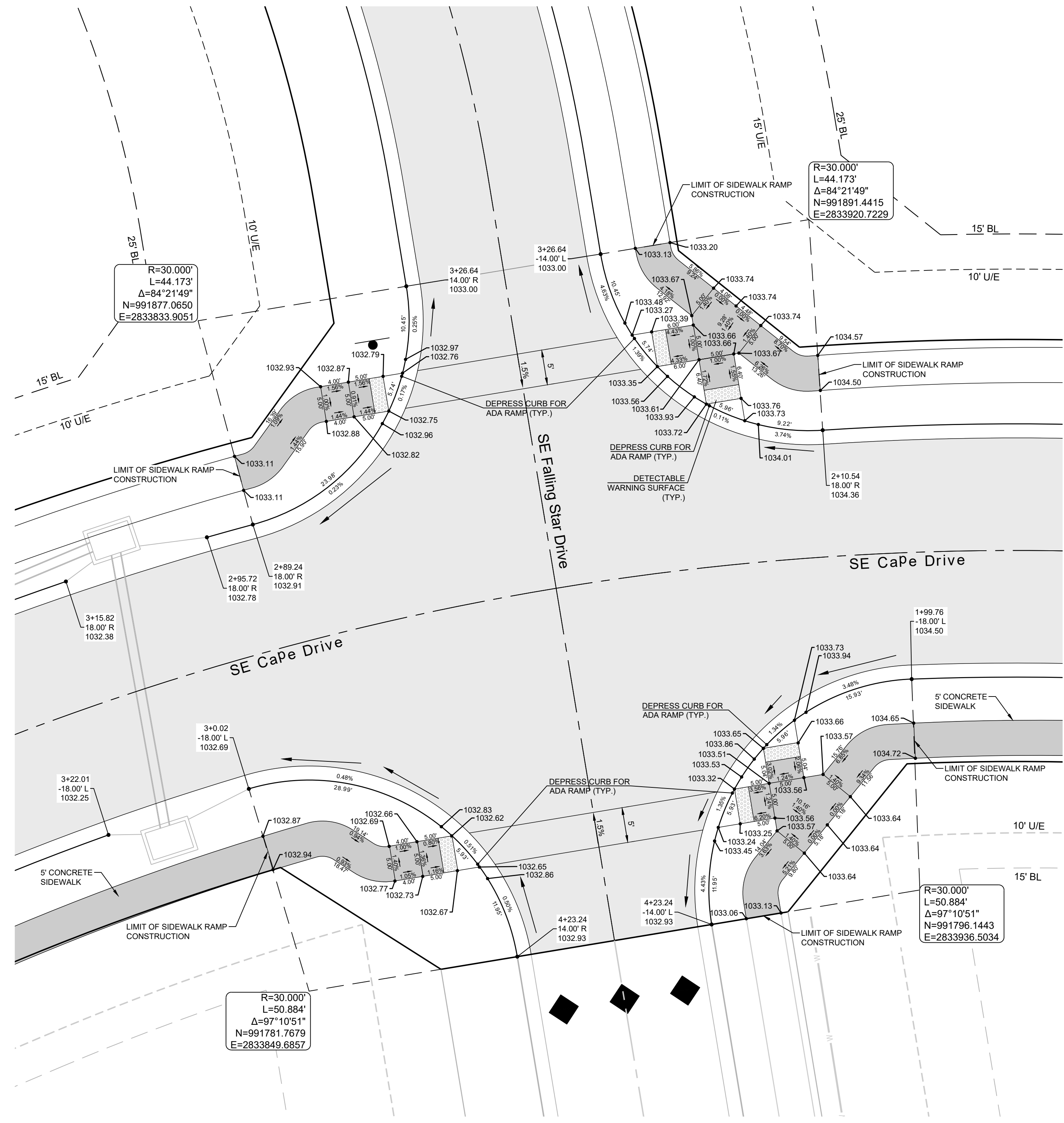
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21-130	

INTERSECTION DETAILS 2 OF 8

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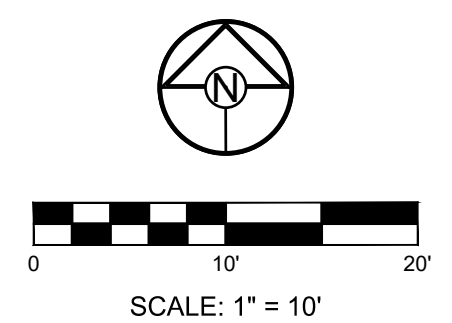
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Lee's Summit, Missouri  
03/14/2024



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WWW.SCHLAGELASSOCIATES.COM  
Missouri State Certificates of Authority  
#E2002003690-F #LAC201005237 #LS200200869-F

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN**

**SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI**

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DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

INTERSECTION  
DETAILS 3 OF 8

SHEET  
**20**

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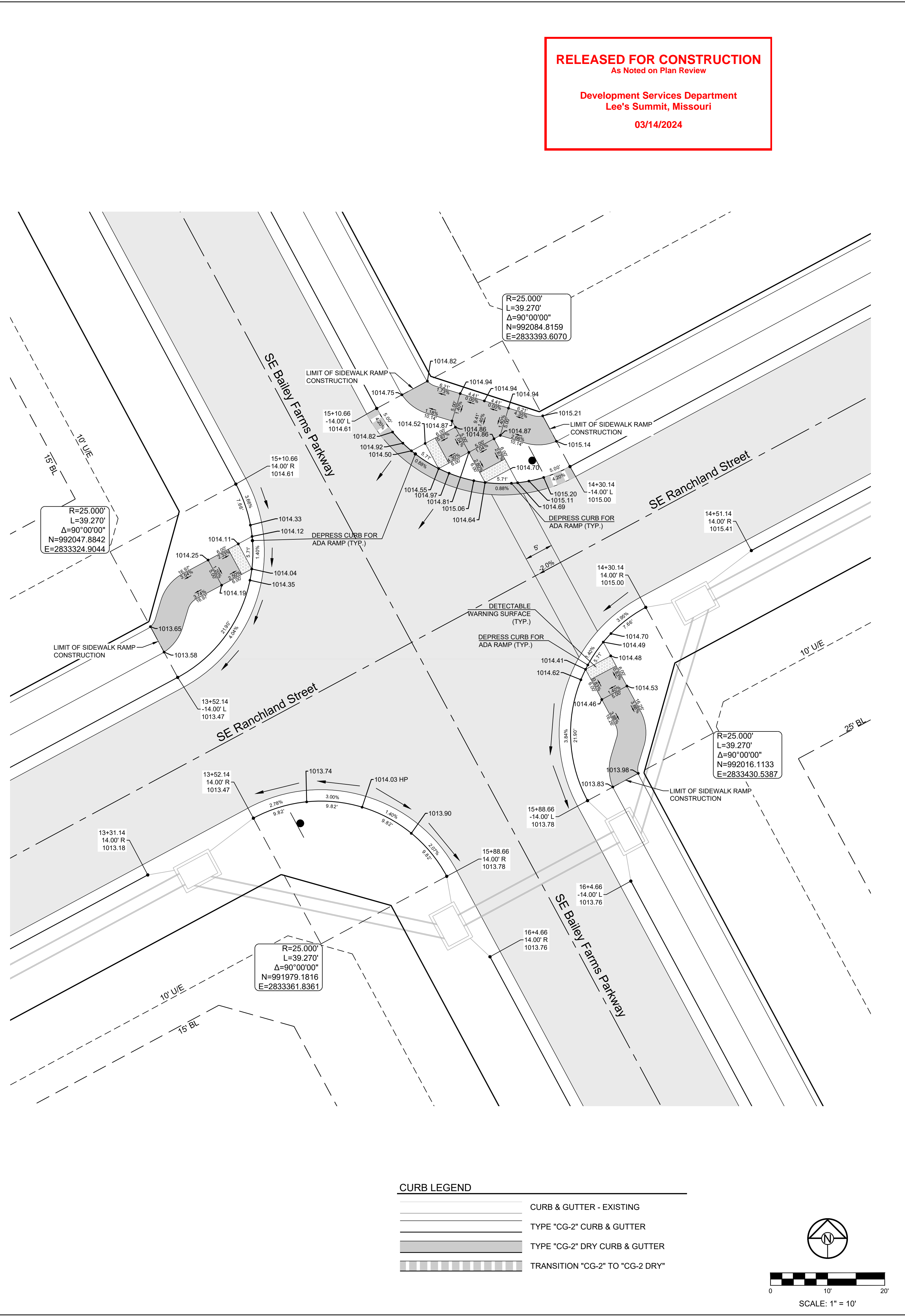
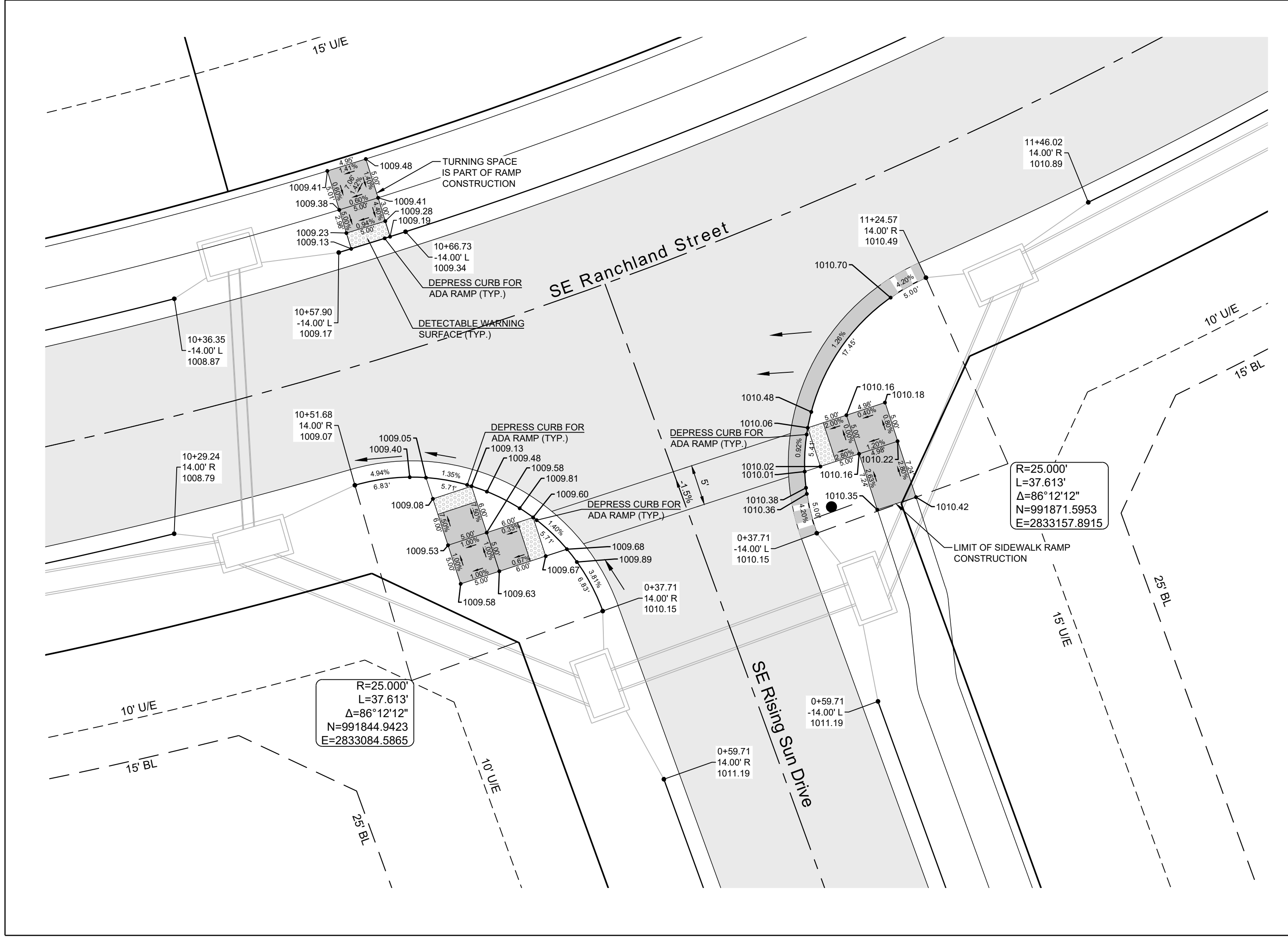
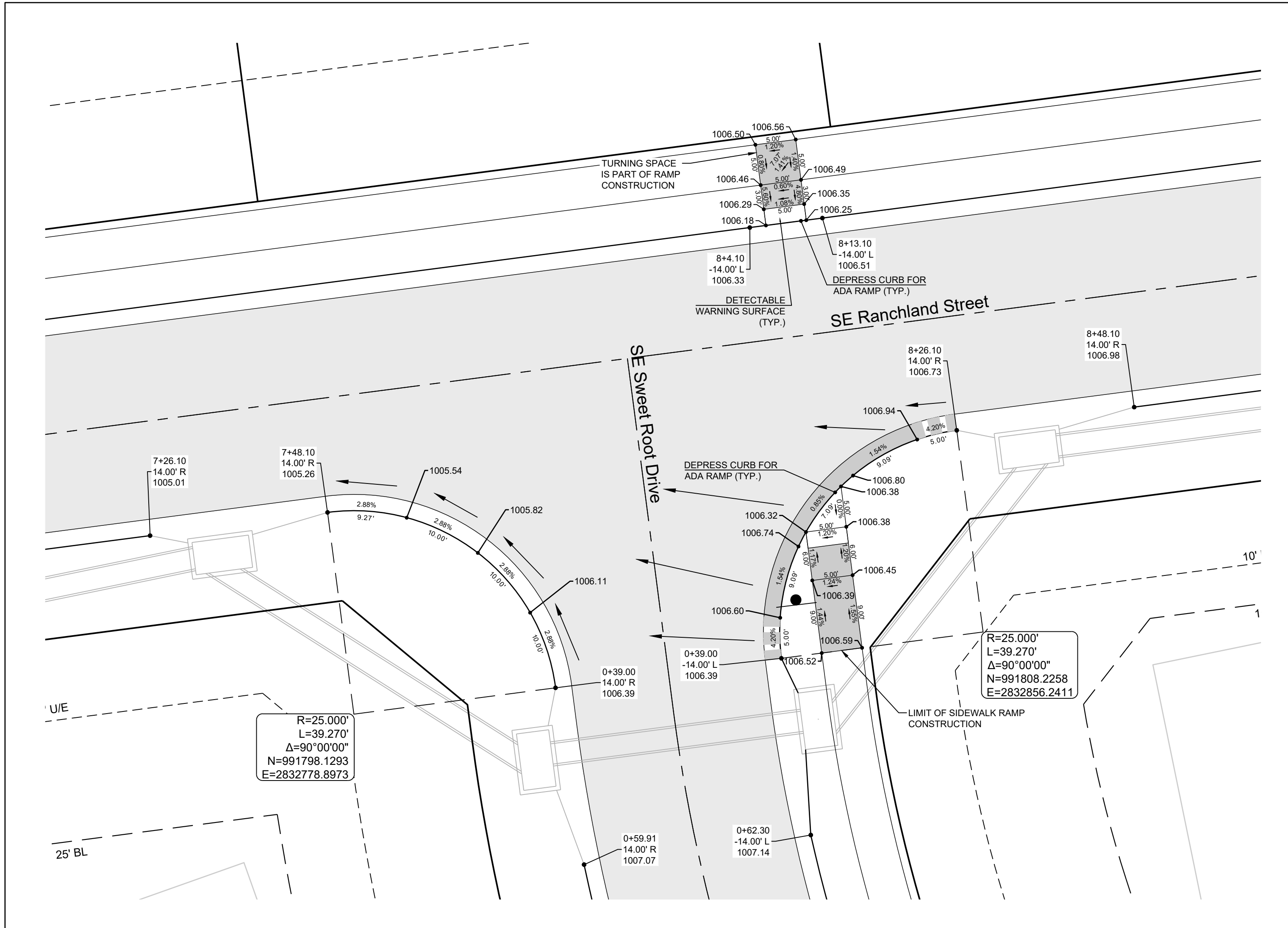
Development Services Department  
Lee's Summit, Missouri  
03/14/2024

**MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN**


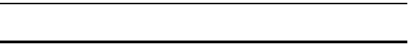


**SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI**

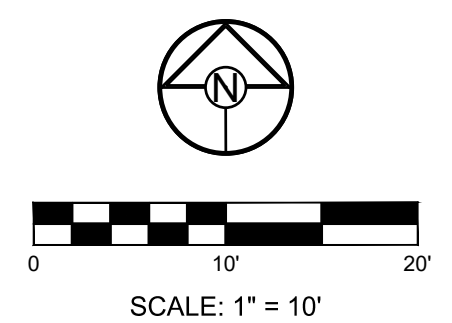
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DRAWN BY: NCA	CHECKED BY: JLL	DATE PREPARED: 11/05/2021	PROJ. NUMBER: 21-130
<b>INTERSECTION DETAILS 4 OF 8</b>			
SHEET <b>21</b>			



**CURB LEGEND**

-  CURB & GUTTER - EXISTING
-  TYPE "CG-2" CURB & GUTTER
-  TYPE "CG-2" DRY CURB & GUTTER
-  TRANSITION "CG-2" TO "CG-2 DRY"



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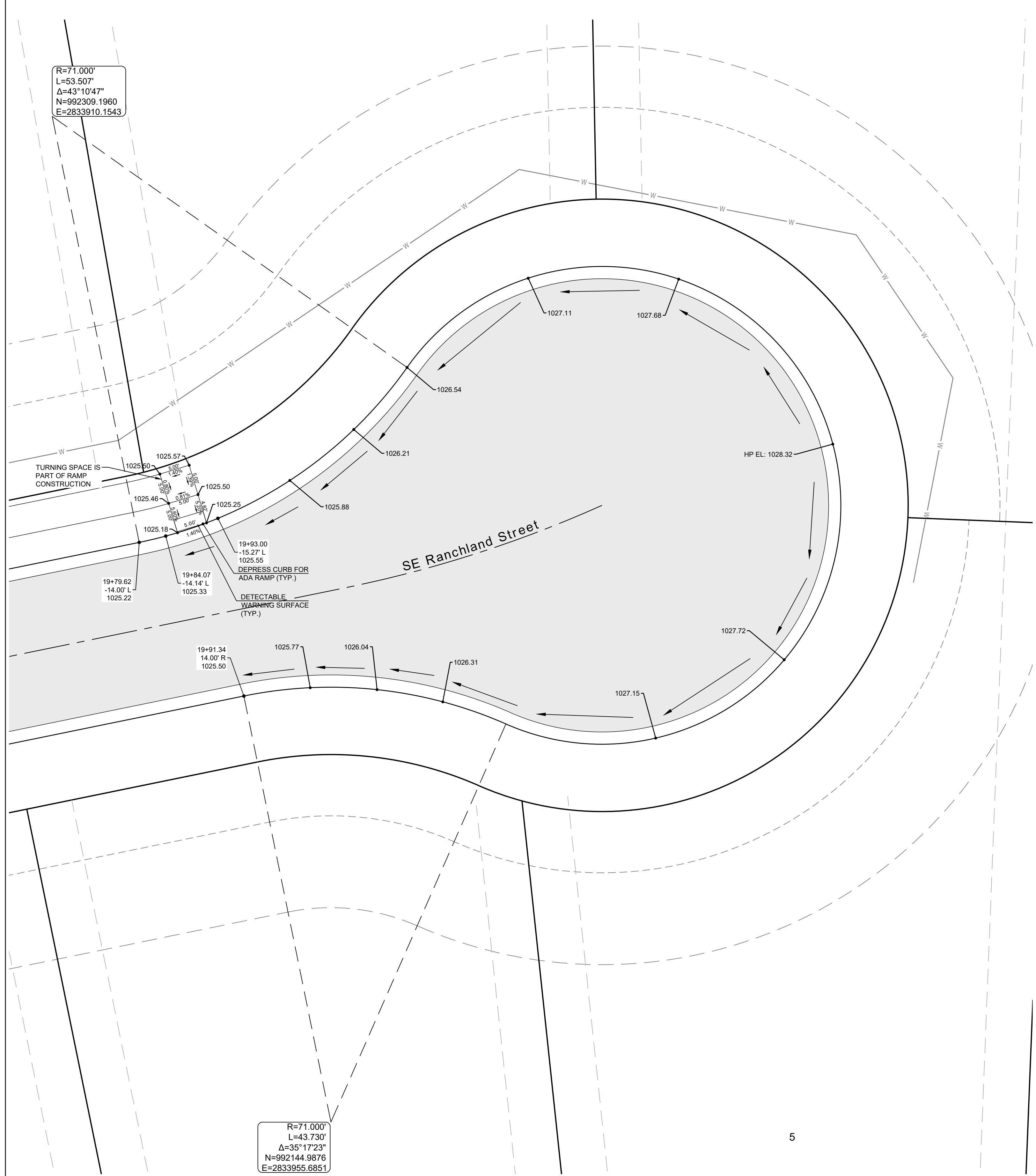
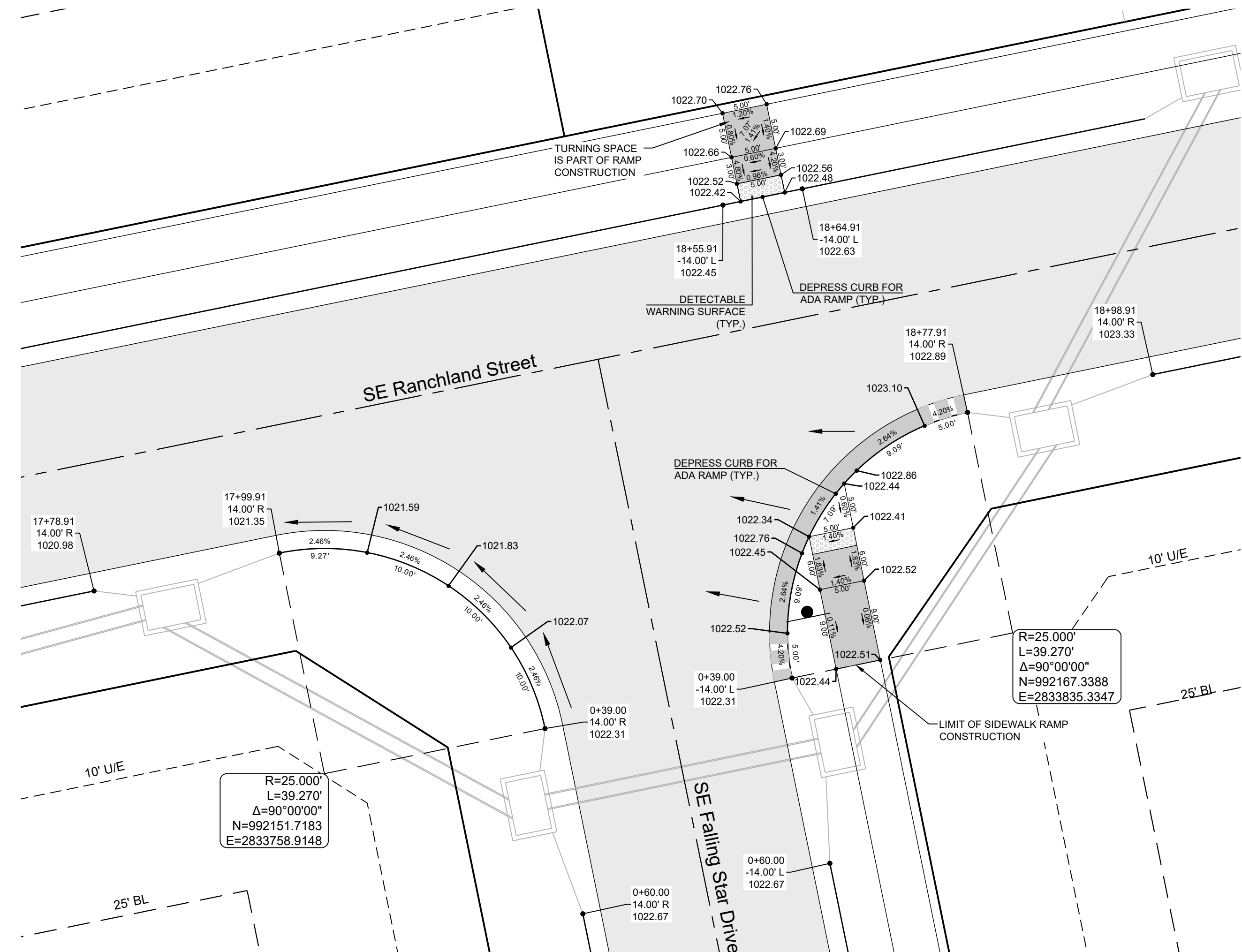
**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review

Development Services Department  
Lee's Summit, Missouri  
03/14/2024

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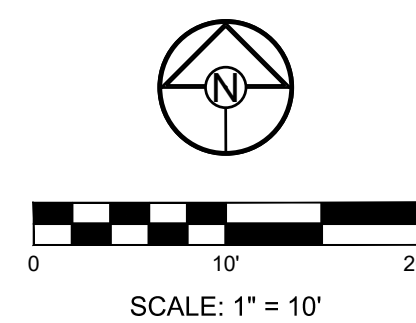
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**CURB LEGEND**

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PREPARED BY:  
  
JAMES L. LONG  
2/28/2024  
NUMBER  
PE-2014010495  
PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.

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INTERSECTION  
DETAILS 5 OF 8

SHEET  
**22**

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Development Services Department  
Lee's Summit, Missouri

03/14/2024

PREPARED BY:

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2/28/2024  
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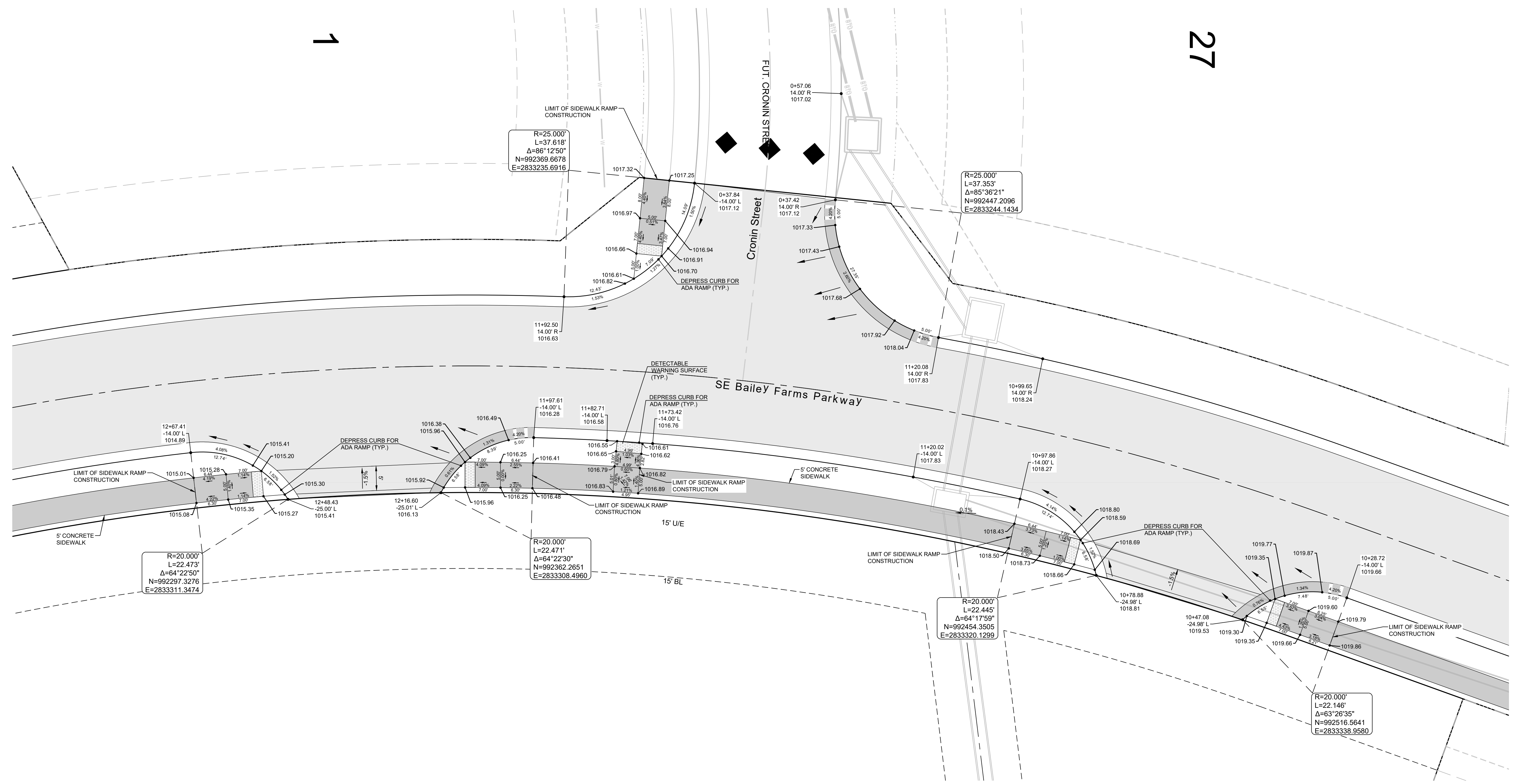
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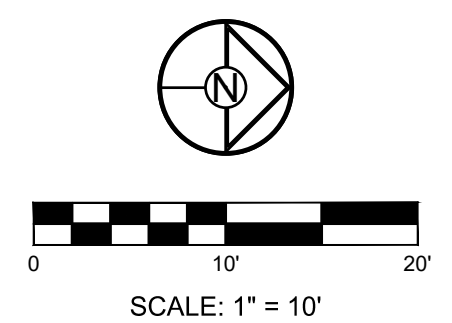
INTERSECTION  
DETAILS 6 OF 8

SHEET  
**23**



**CURB LEGEND**

	CURB & GUTTER - EXISTING
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	TYPE "CG-2" DRY CURB & GUTTER
	TRANSITION "CG-2" TO "CG-2 DRY"



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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

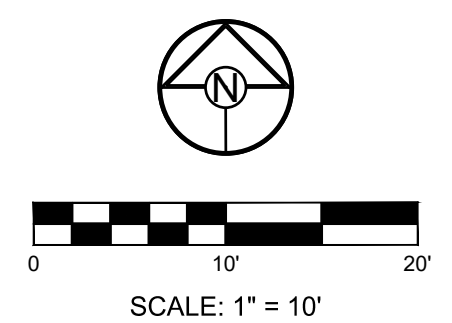
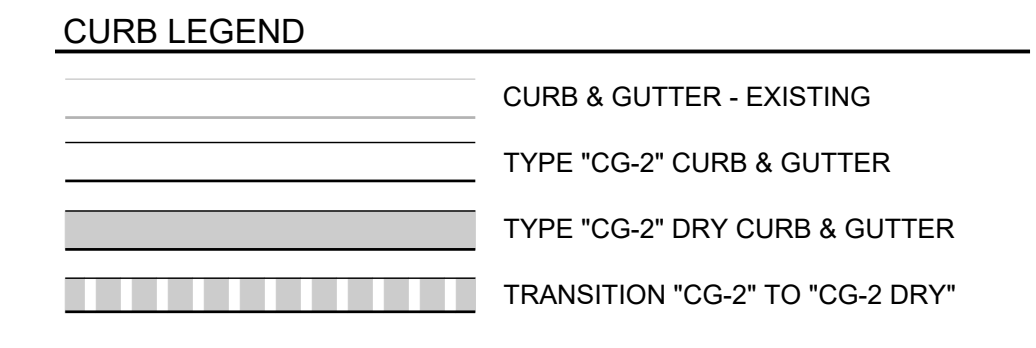
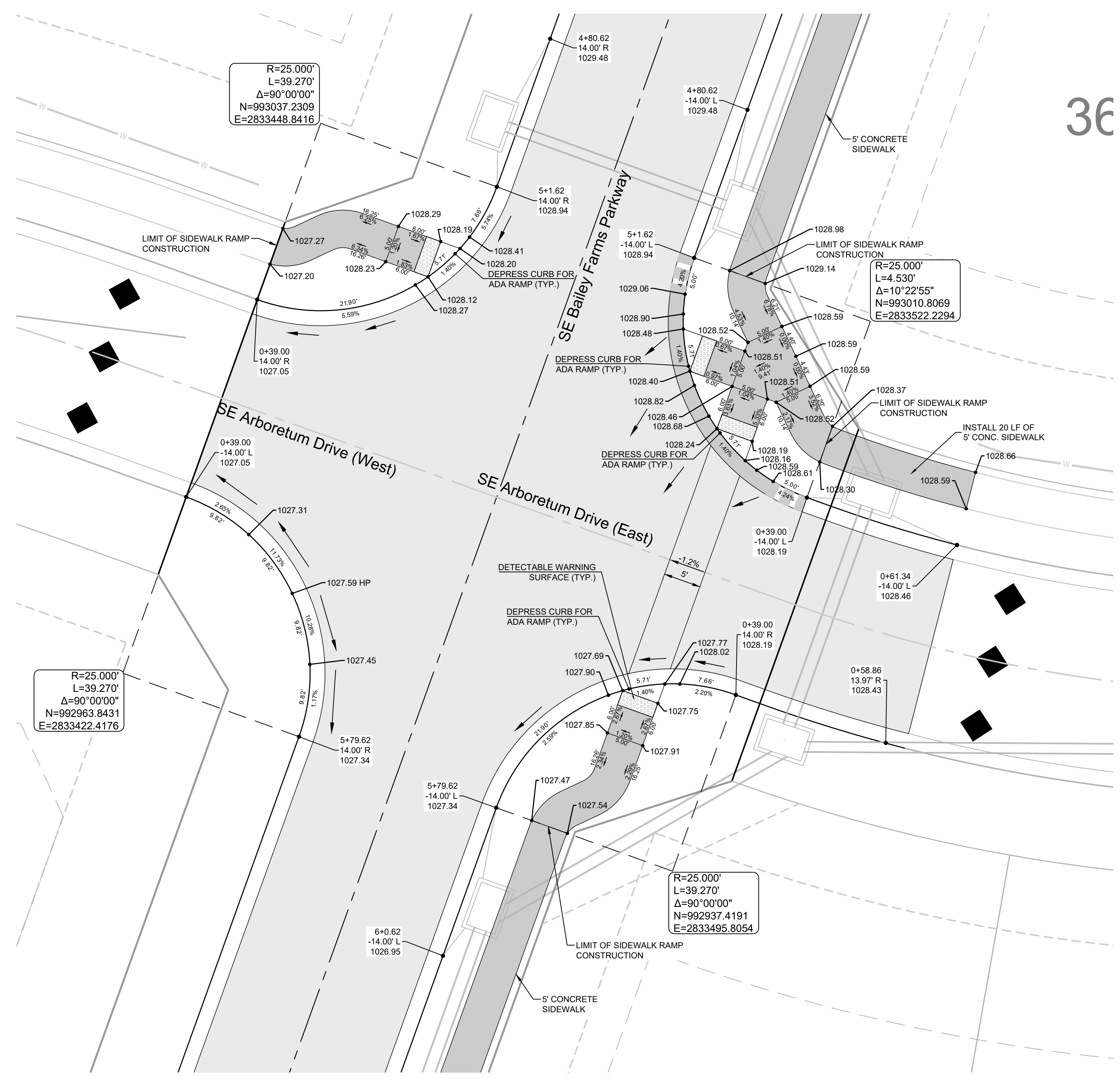
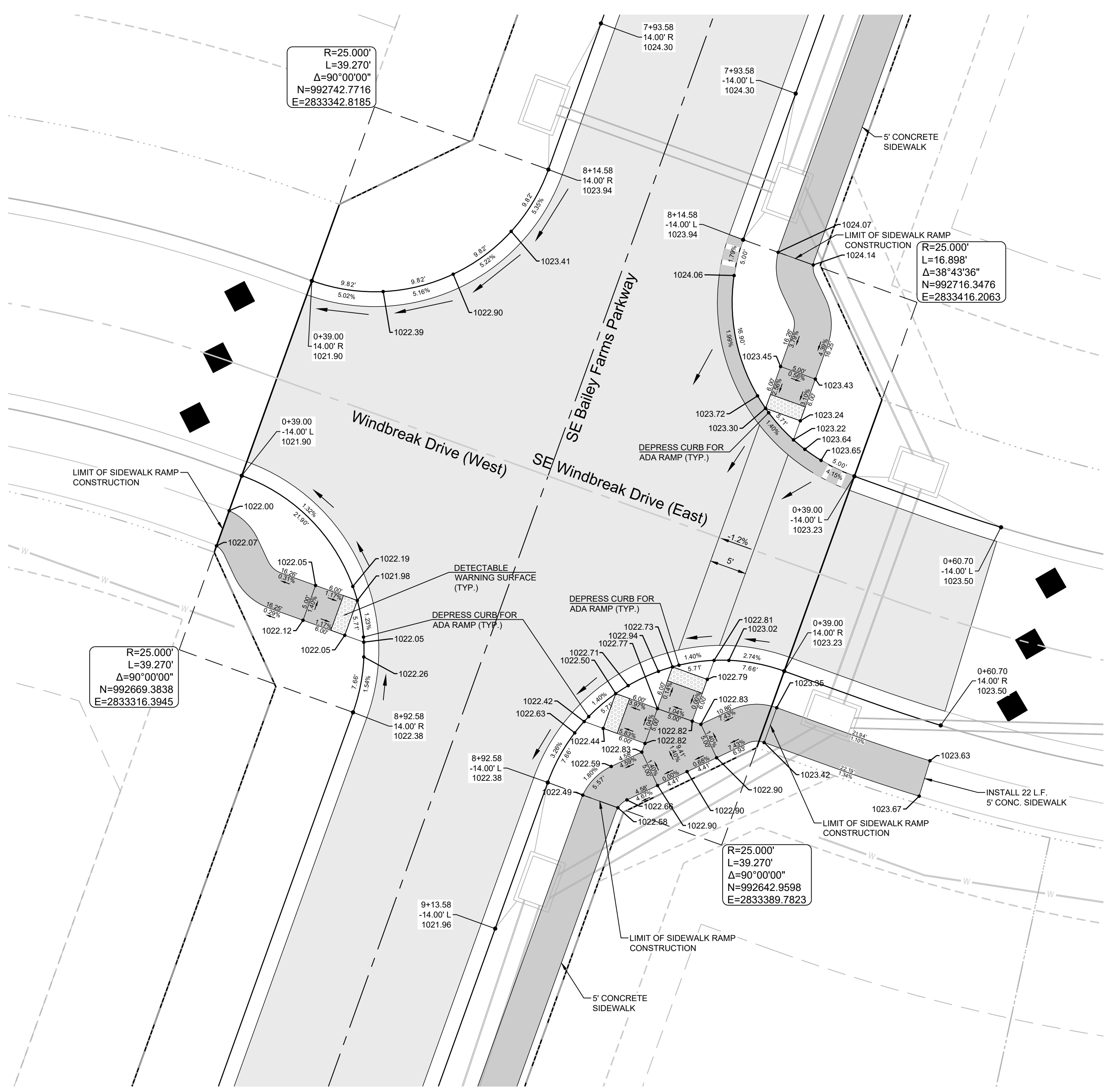
MANOR AT BAILEY FARMS, FIRST PLAT  
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INTERSECTION  
DETAILS 7 OF 8

SHEET

24



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PREPARED BY:

  
 JAMES L. LONG  
 2292024  
 NUMBER  
 PE-2014010495  
 PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.

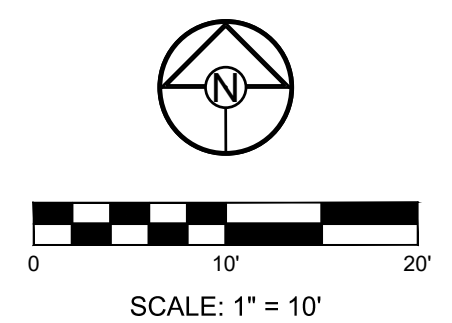
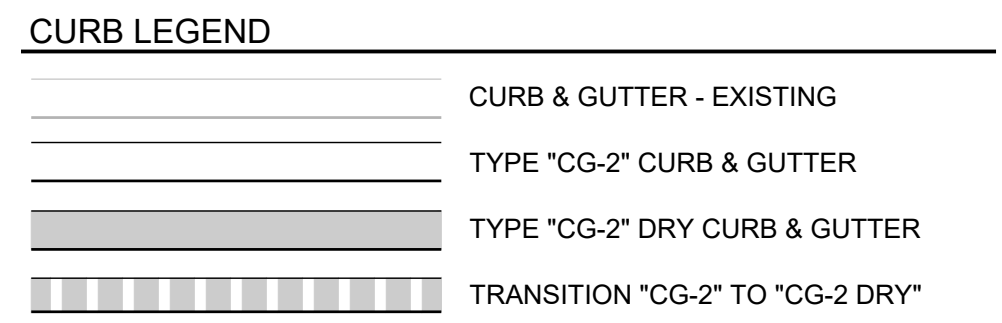
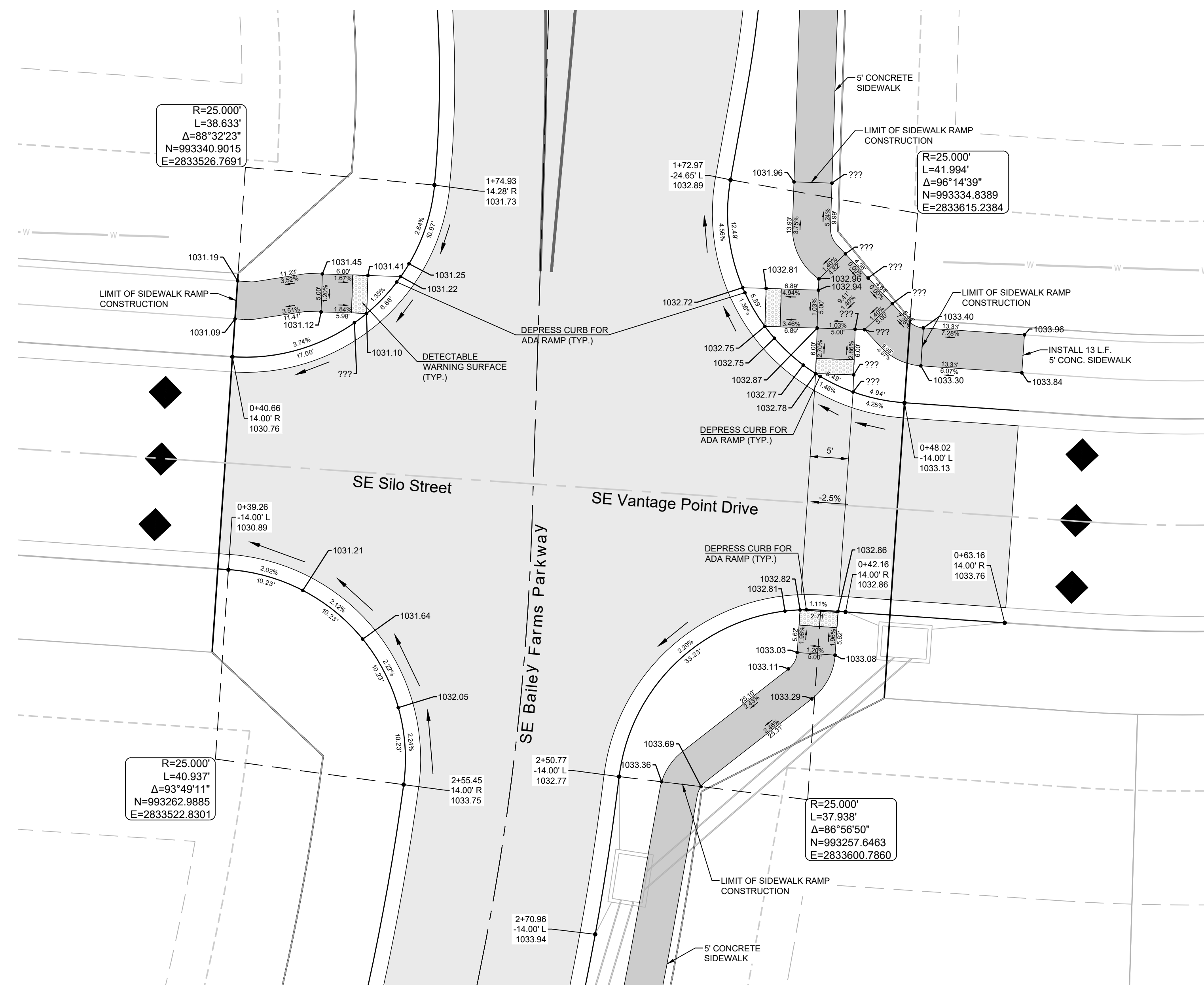
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INTERSECTION  
DETAILS 8 OF 8

SHEET  
**25**



**\*\*NEED TO BE UPDATED PER NEW STREET PROFILE AND SECTION. NO LONGER CROWNED NORTH OF INTERSECTION. WILL NEED DRY CURB.**

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

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 DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD  
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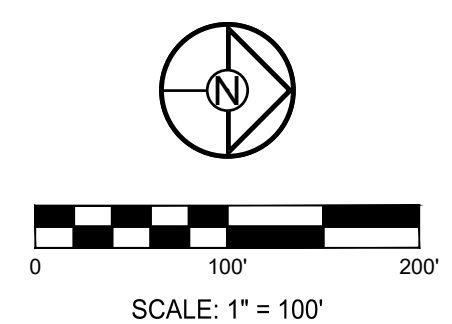
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DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

**MASTER DRAINAGE PLAN-DRAINAGE MAP**

SHEET

**26**



10-YEAR RUNOFF CALCULATIONS

Table with columns: Design Storm, K Factor, F Factor, Runoff Calculations (Inlet #, Area, C, Cumul. Area, Cumul. C, To Inlet, Runoff, Pipe Cap., Pipe Vel., Up Piped Inlet 1, Up Piped Inlet 2, Up Area, Up C, Up XA, Up Y, Down Inlet, Pipe Type, n, Pipe Size, Length, Slope, Drop In Inlet, FL Up, FL Down, Inlet Top), and Pipe Properties (Up, Down, Pipe, n, Pipe Size, Length, Slope, Drop In Inlet, FL Up, FL Down, Inlet Top).

100-YEAR RUNOFF CALCULATIONS

Table with columns: Design Storm, K Factor, F Factor, Runoff Calculations (Inlet #, Area, C, Cumul. Area, Cumul. C, To Inlet, Runoff, Pipe Cap., Pipe Vel., Up Piped Inlet 1, Up Piped Inlet 2, Up Area, Up C, Up XA, Up Y, Down Inlet, Pipe Type, n, Pipe Size, Length, Slope, Drop In Inlet, FL Up, FL Down, Inlet Top), and Pipe Properties (Up, Down, Pipe, n, Pipe Size, Length, Slope, Drop In Inlet, FL Up, FL Down, Inlet Top).

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PREPARED BY:
JAMES L. LONG
Professional Engineer
No. 220020369F
No. 201410095

SCHLAGEL & ASSOCIATES, P.A.

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CHECKED BY: JLL
DATE PREPARED: 11/05/2021
PROJ. NUMBER: 21-130
SHEET 27



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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

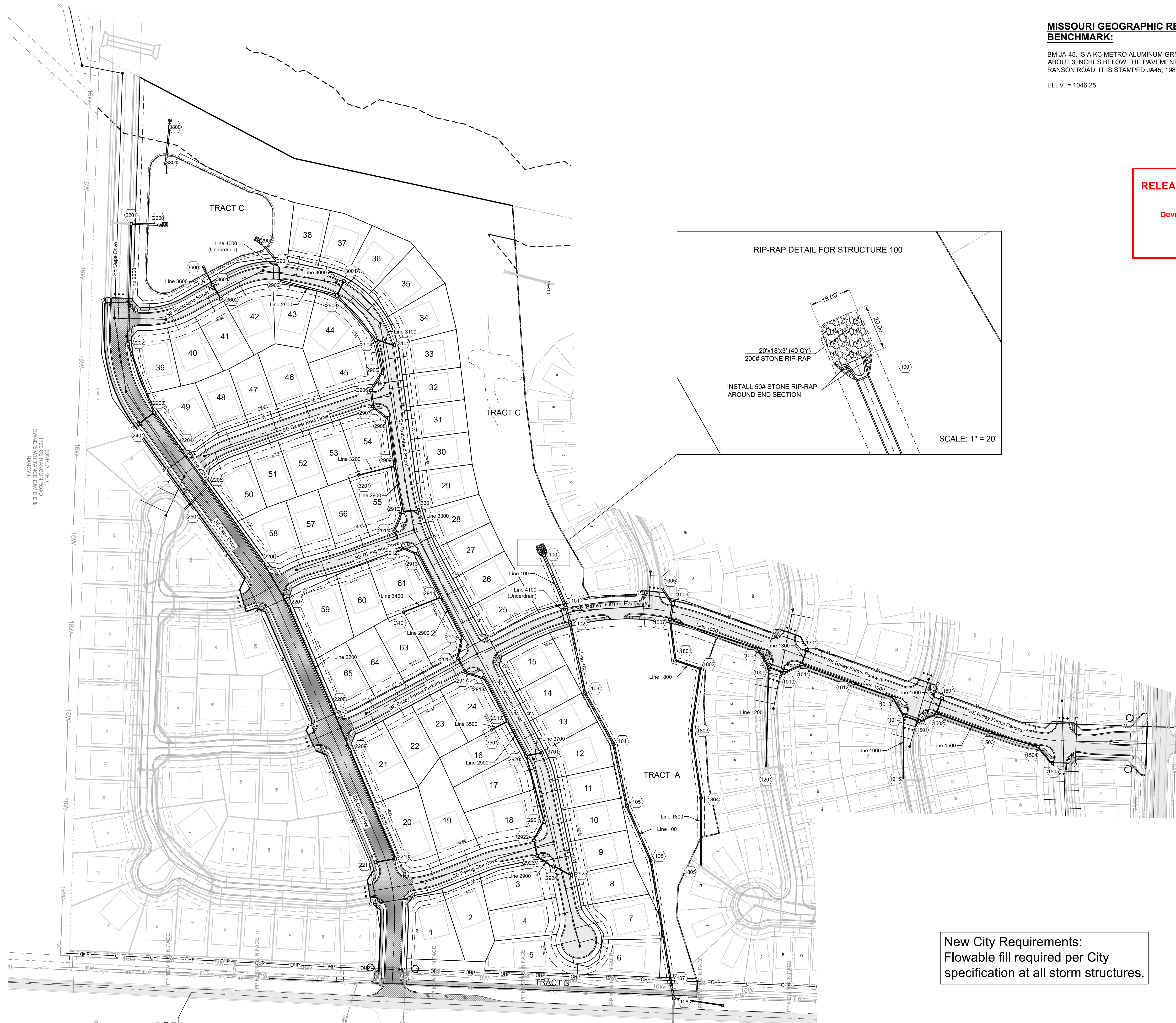
**MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI**

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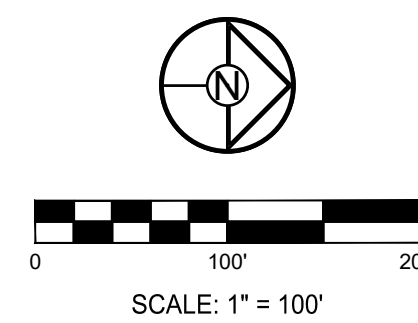
STORM LAYOUT SHEET

SHEET

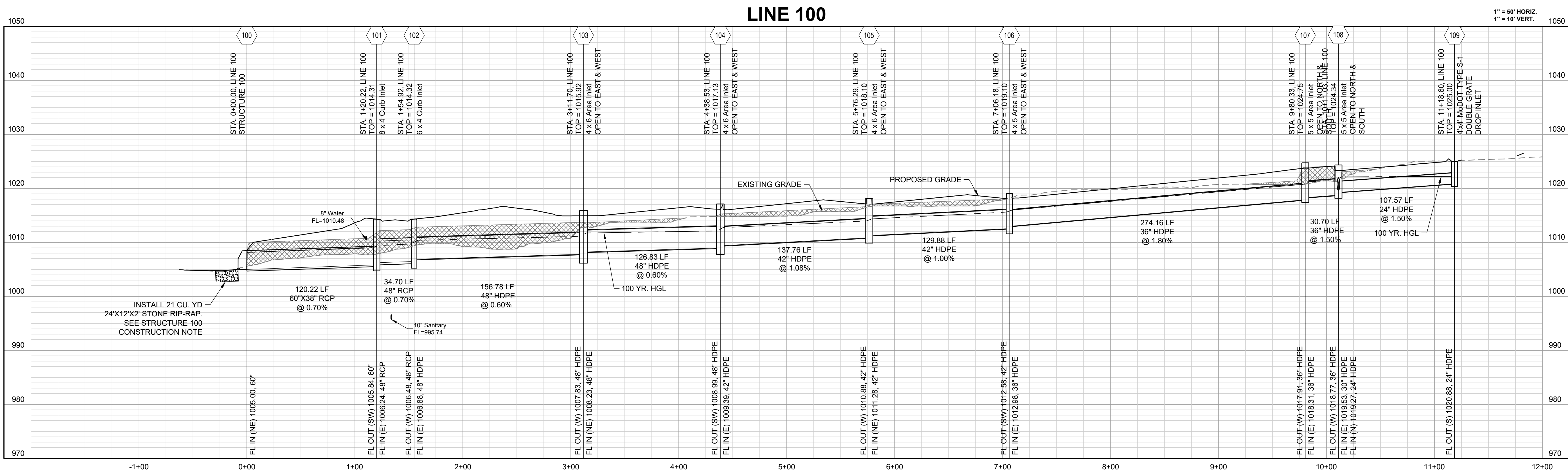
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**New City Requirements:**  
 Flowable fill required per City  
 specification at all storm structures.

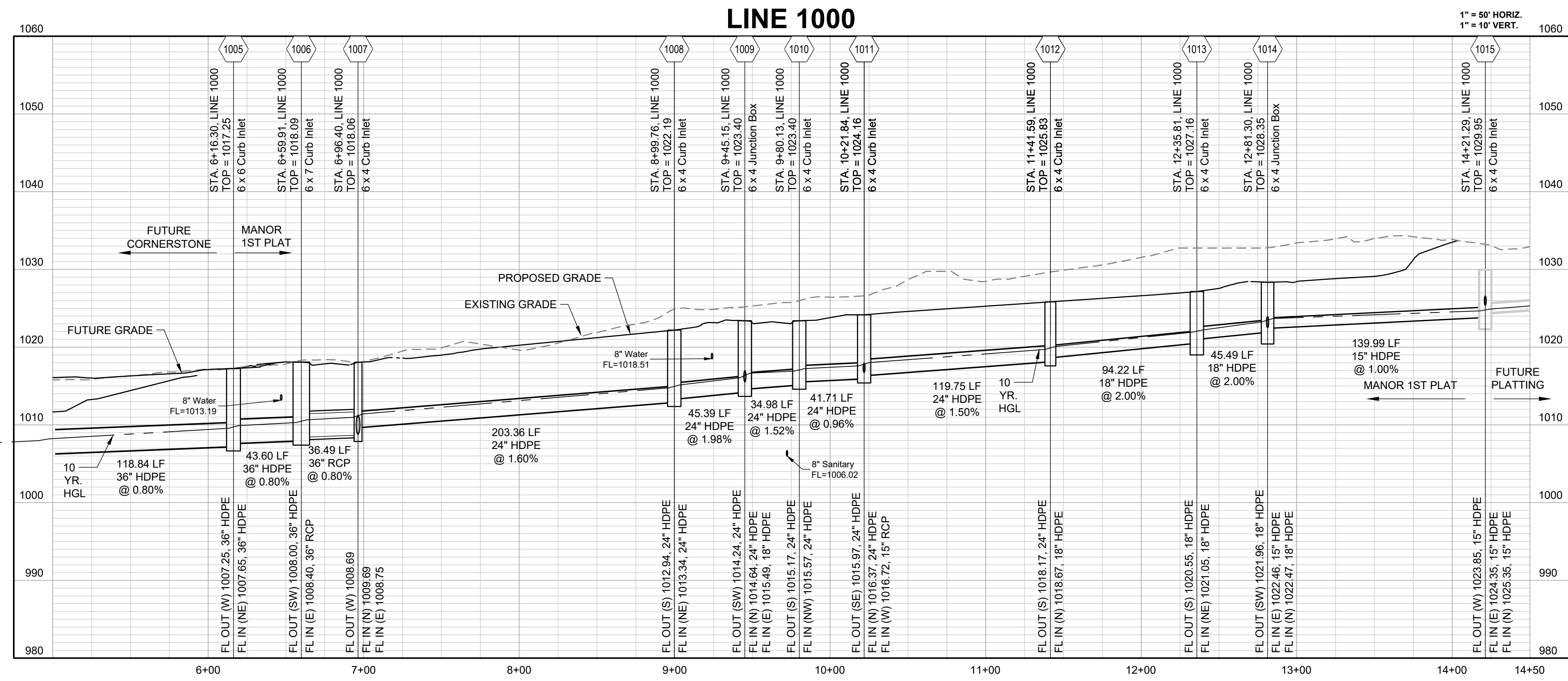






10-YEAR HGL ———  
 100-YEAR HGL - - - - -

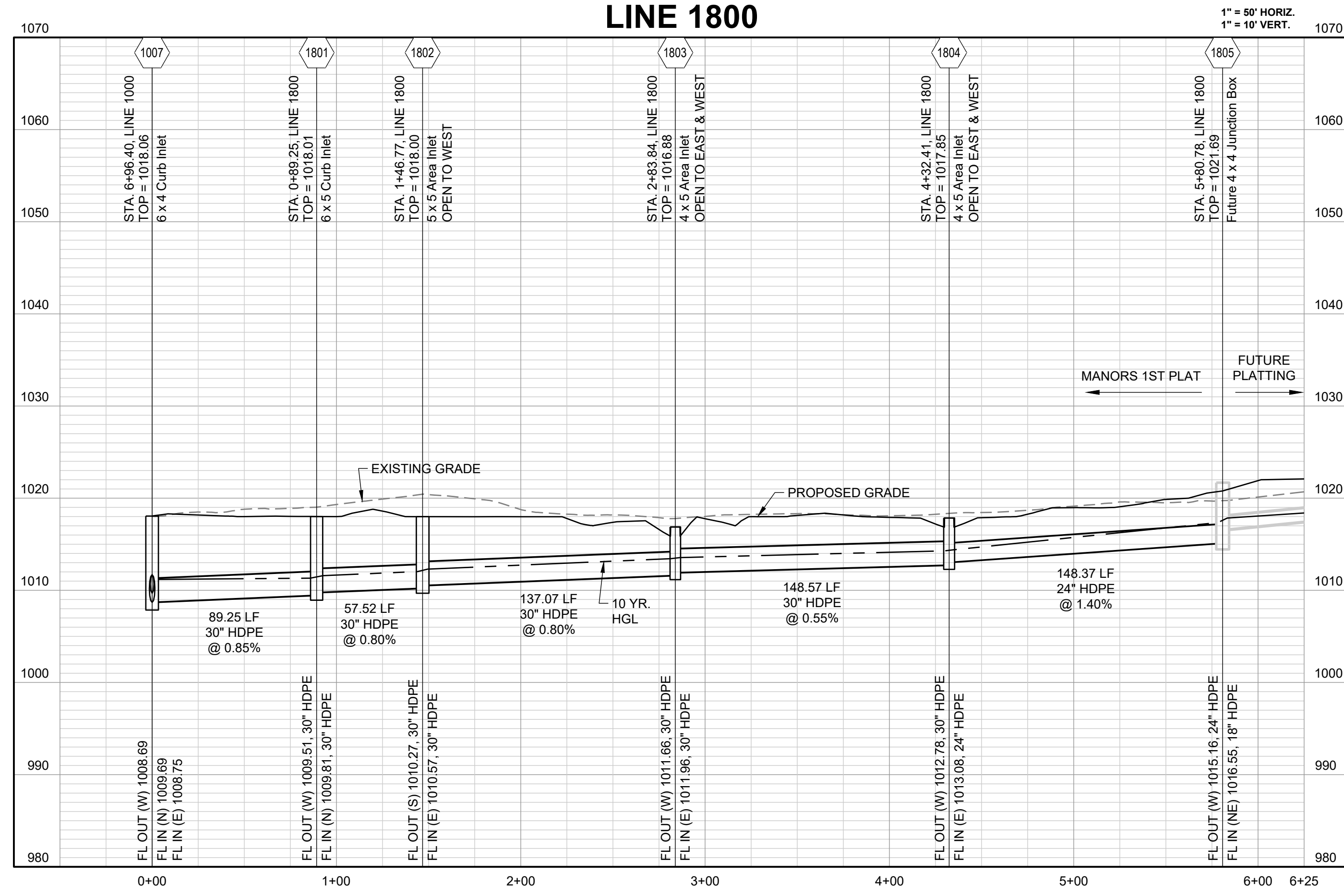
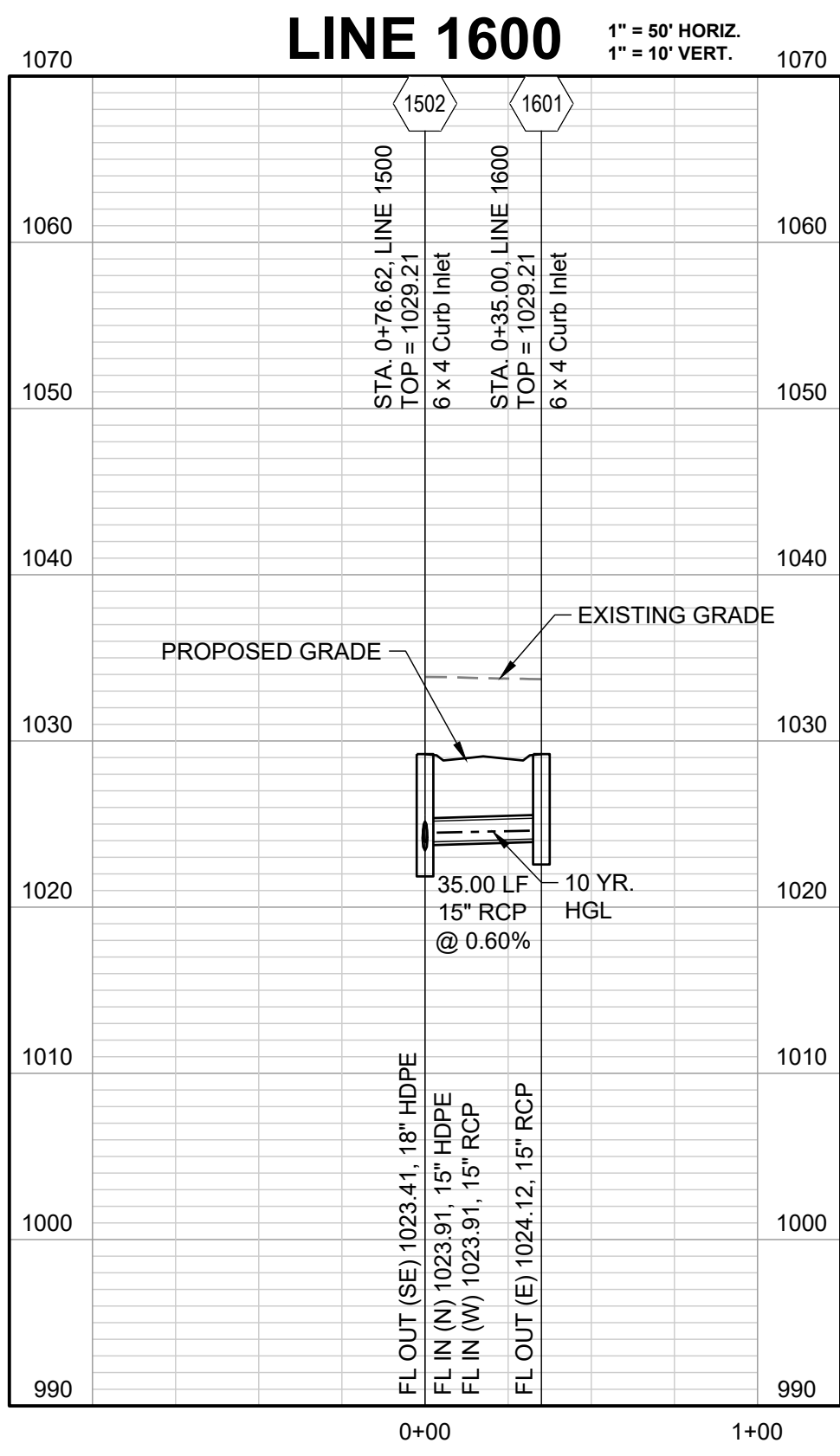
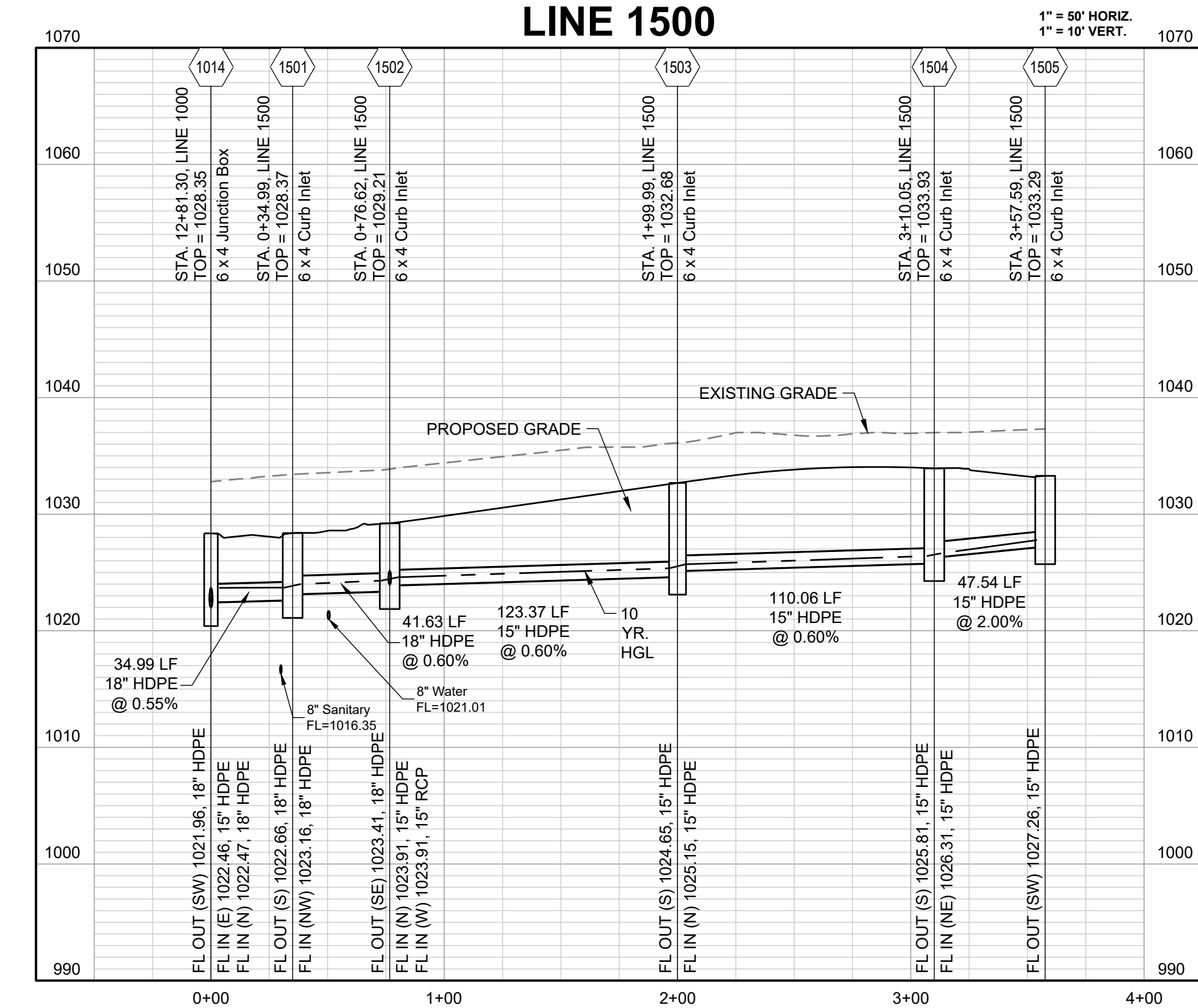
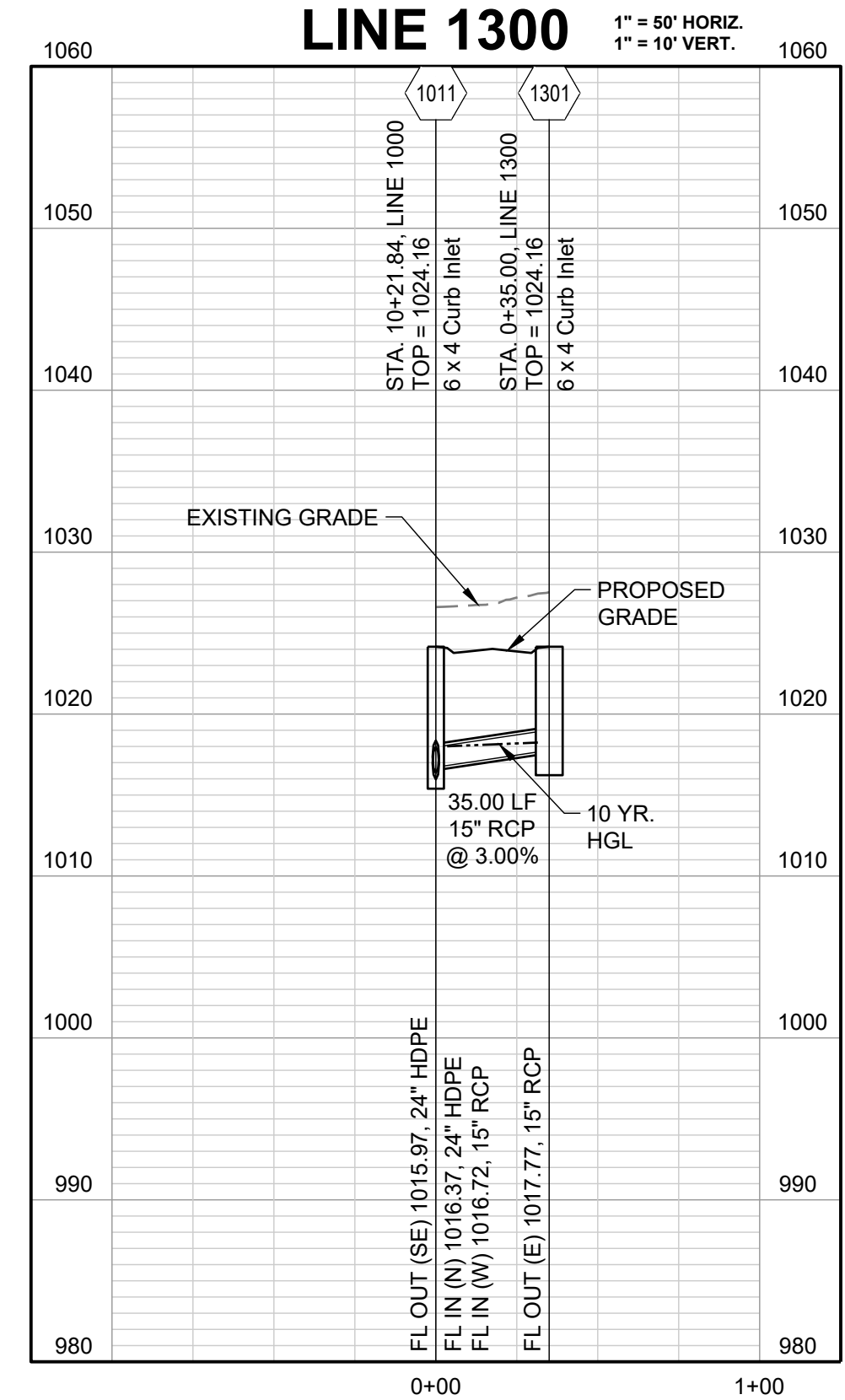
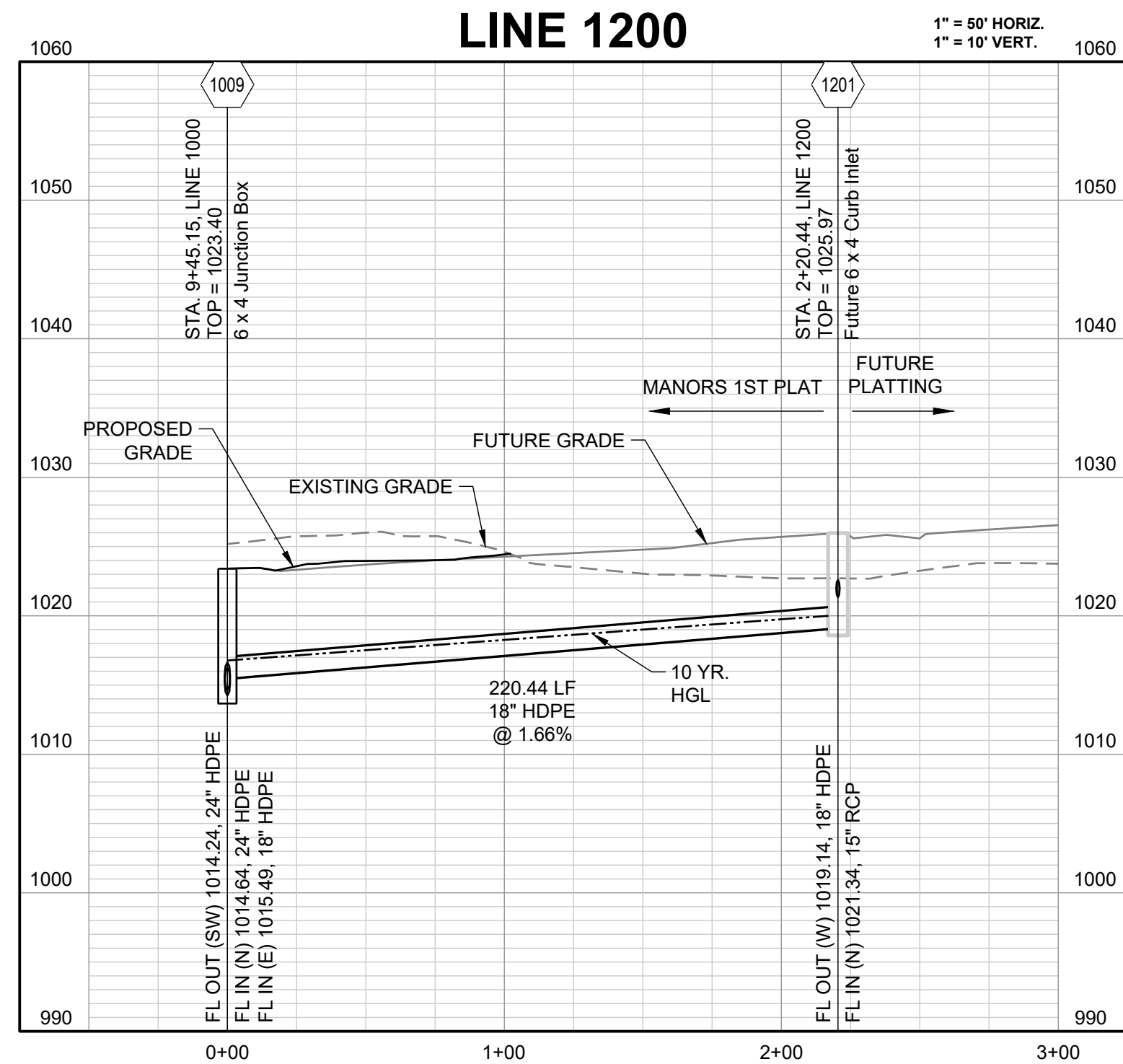
 COMPACTED FILL TO BE PLACED A MINIMUM OF 18" ABOVE TOP OF PIPE PRIOR TO PIPE EXCAVATION



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11/05/2021	
2/1-130	

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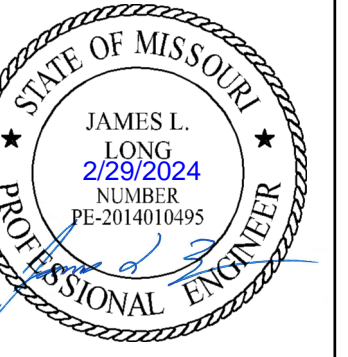
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DRAWN BY: NCA  
 CHECKED BY: JLL  
 DATE PREPARED: 11/05/2021  
 PROJ. NUMBER: 21-130



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

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 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
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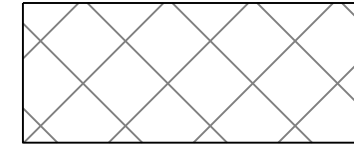
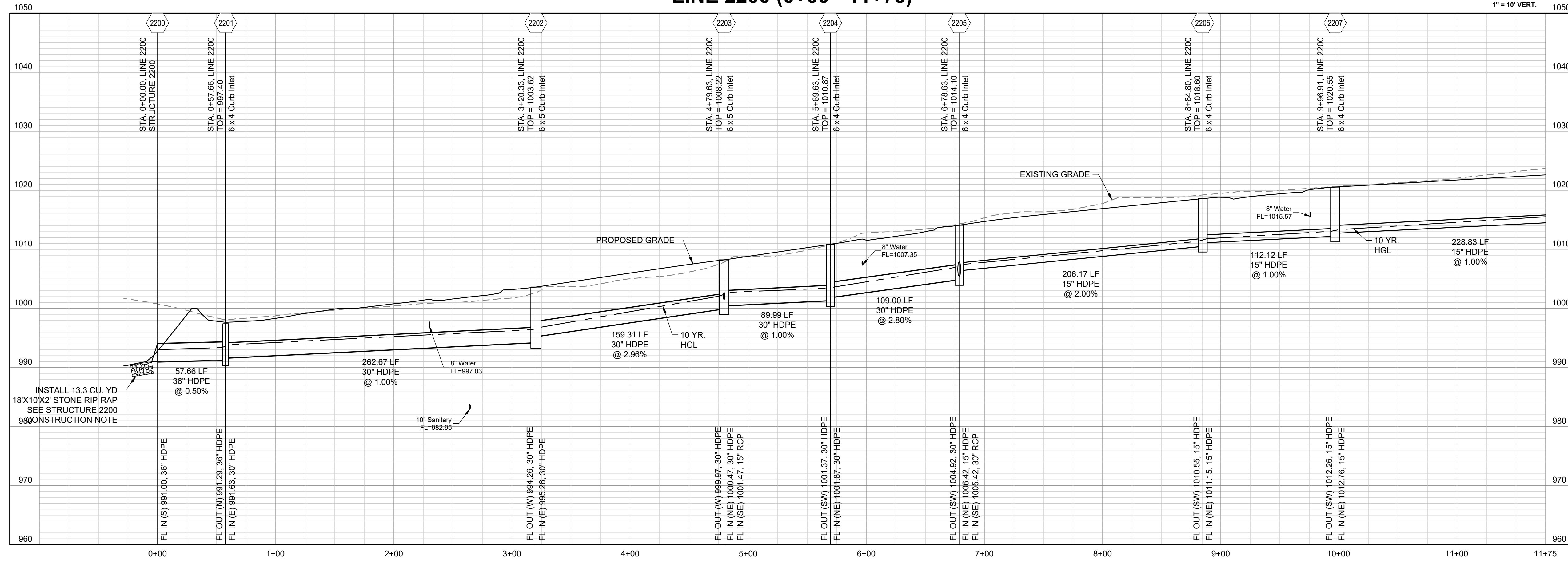
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STORM  
 PROFILES 3

SHEET

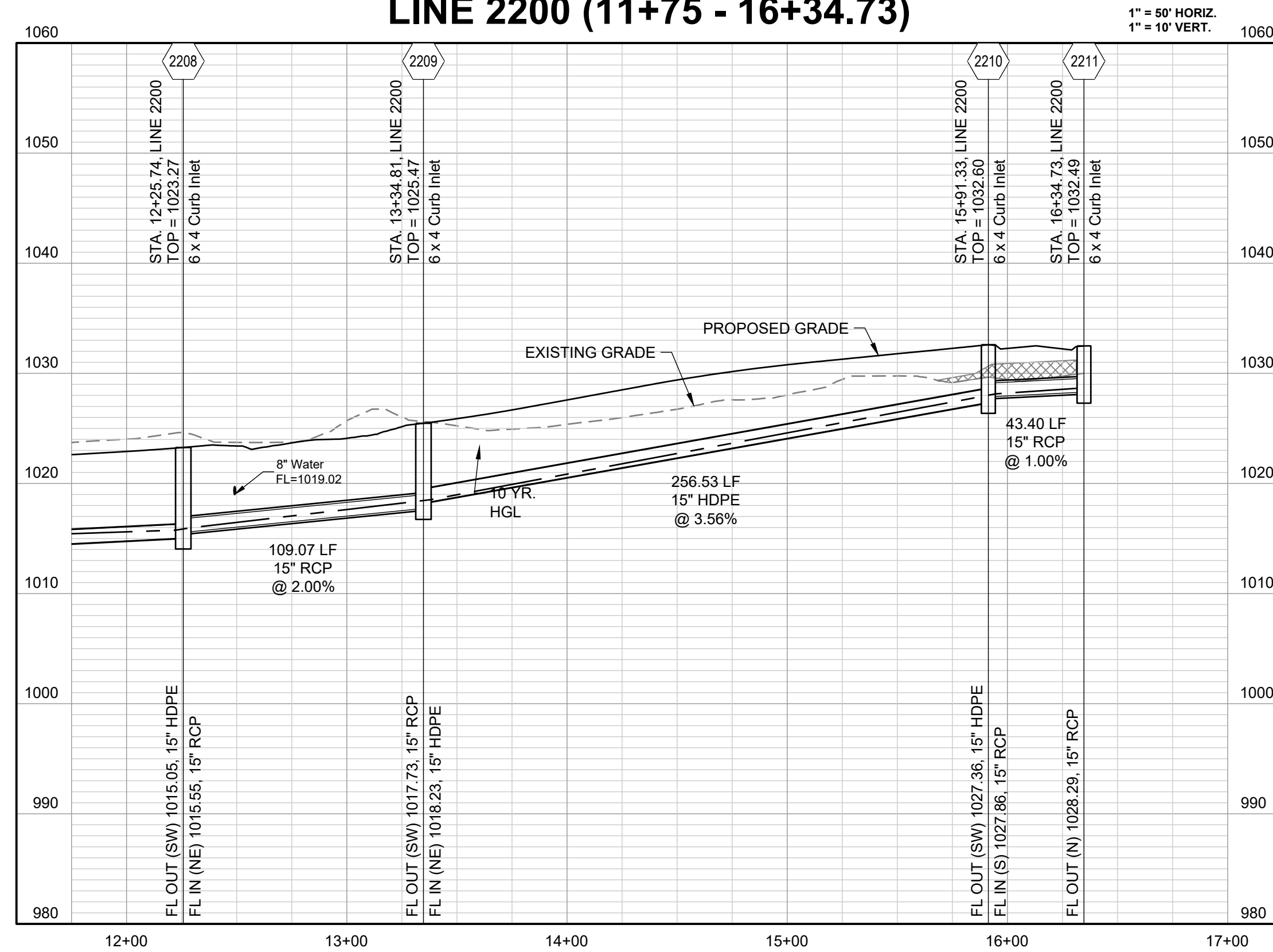
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**LINE 2200 (0+00 - 11+75)**

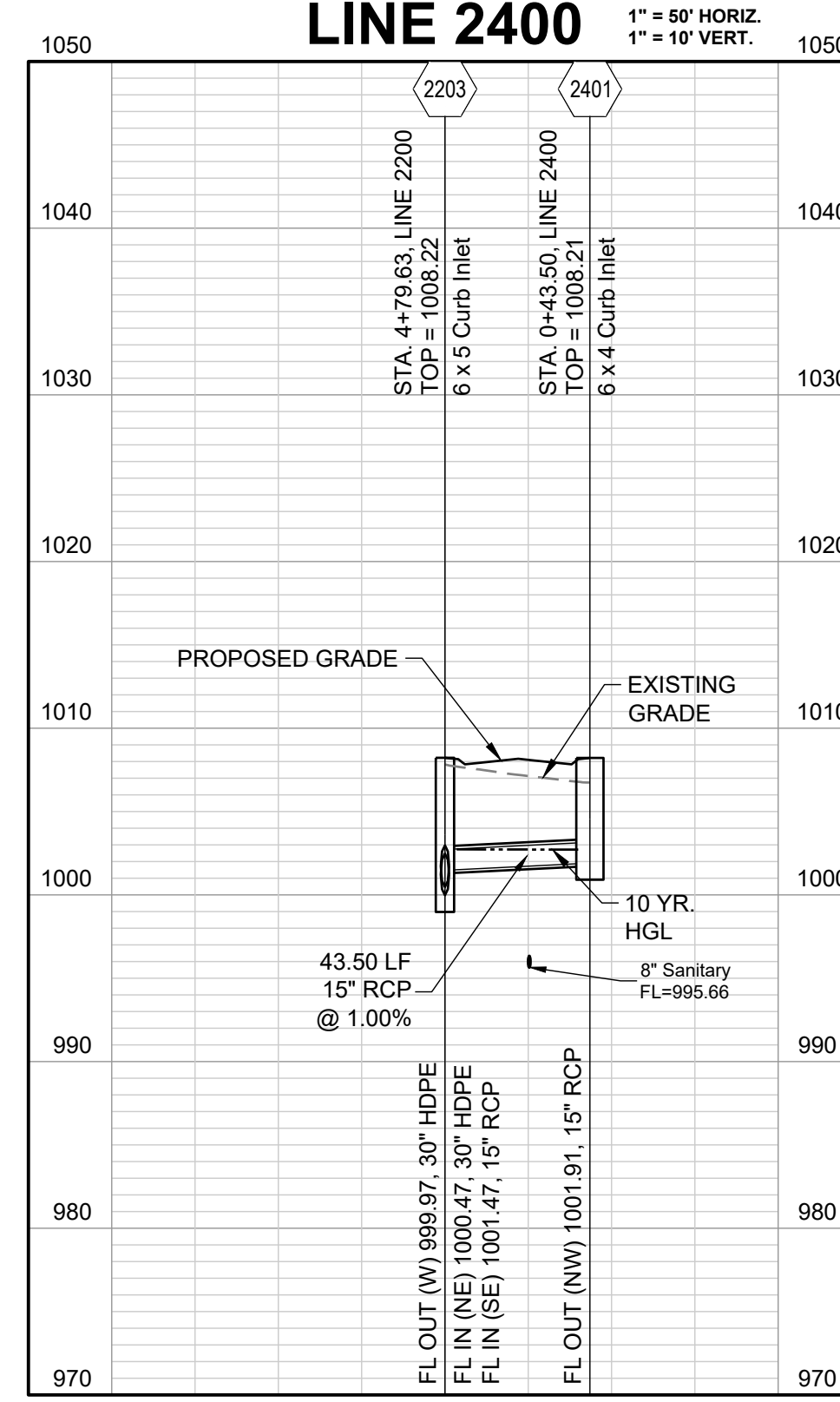


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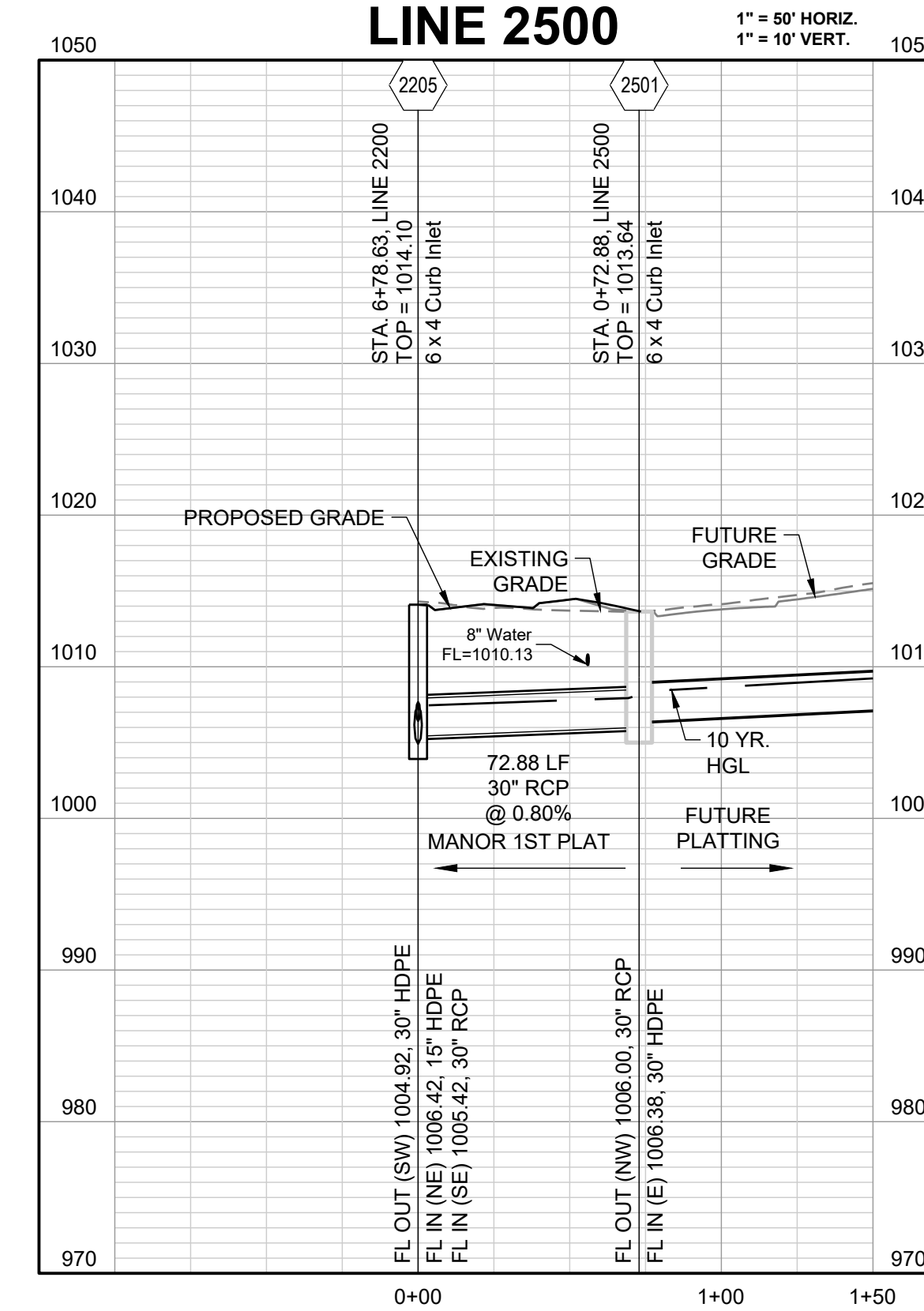
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**LINE 2400**



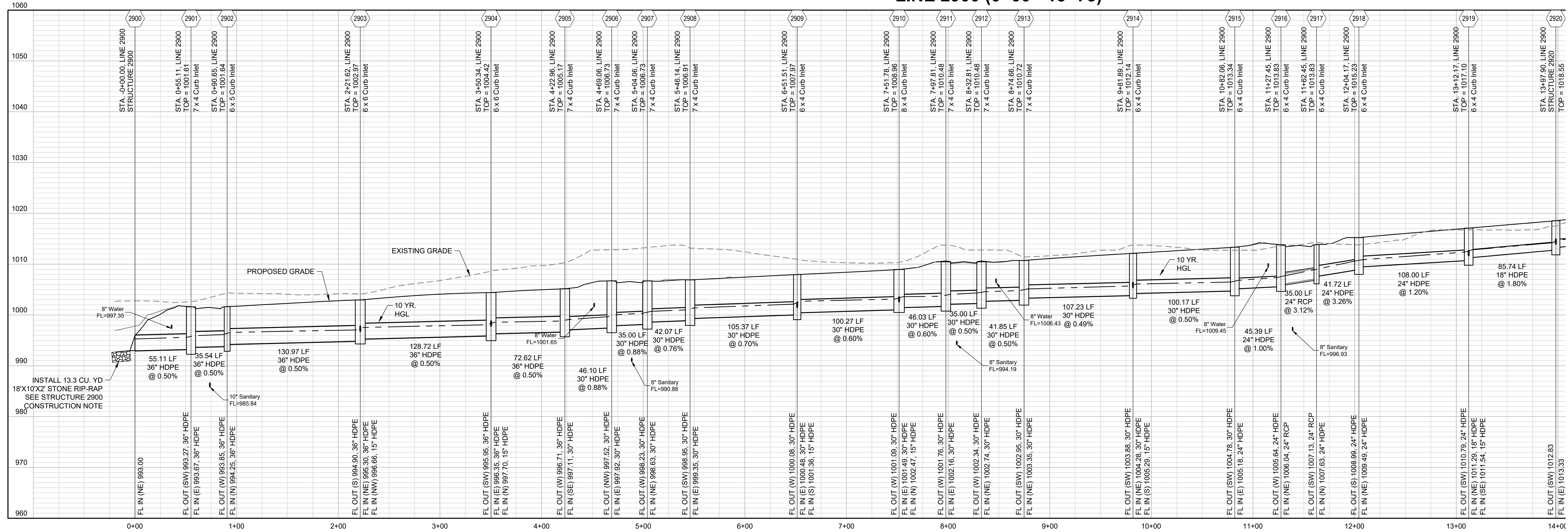
**LINE 2500**



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 Lee's Summit, Missouri  
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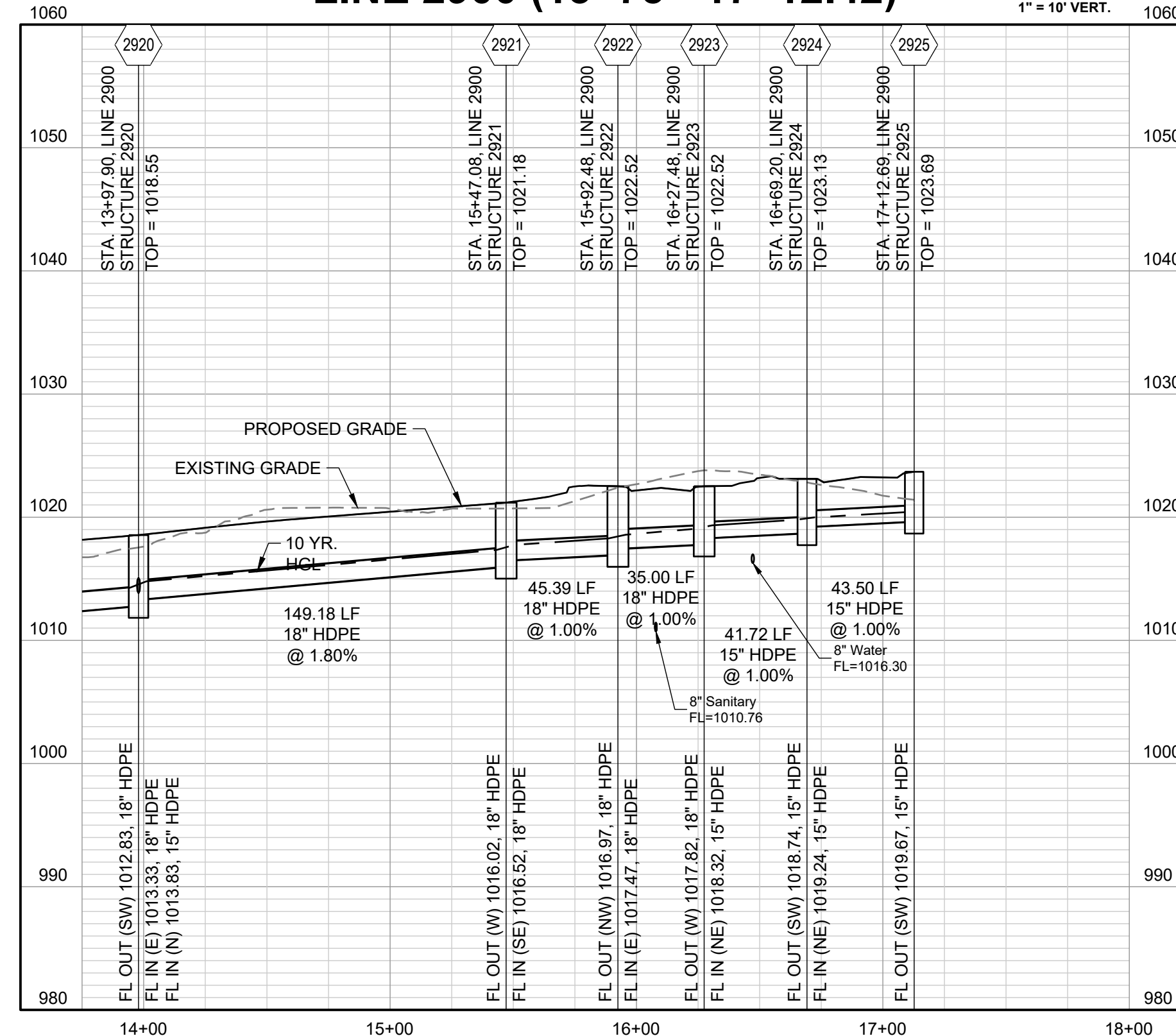
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LINE 2900 (0+00 - 13+75)

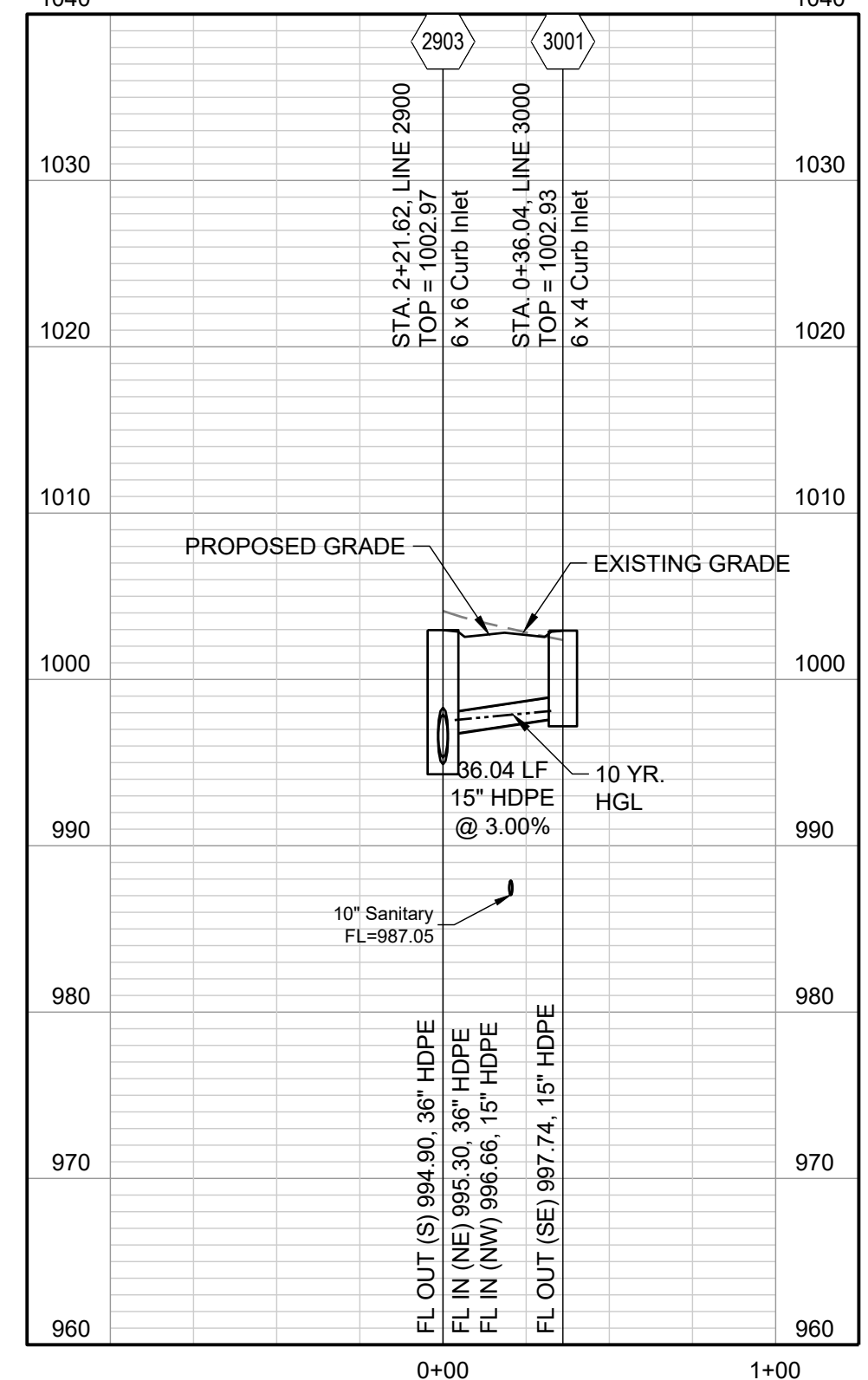


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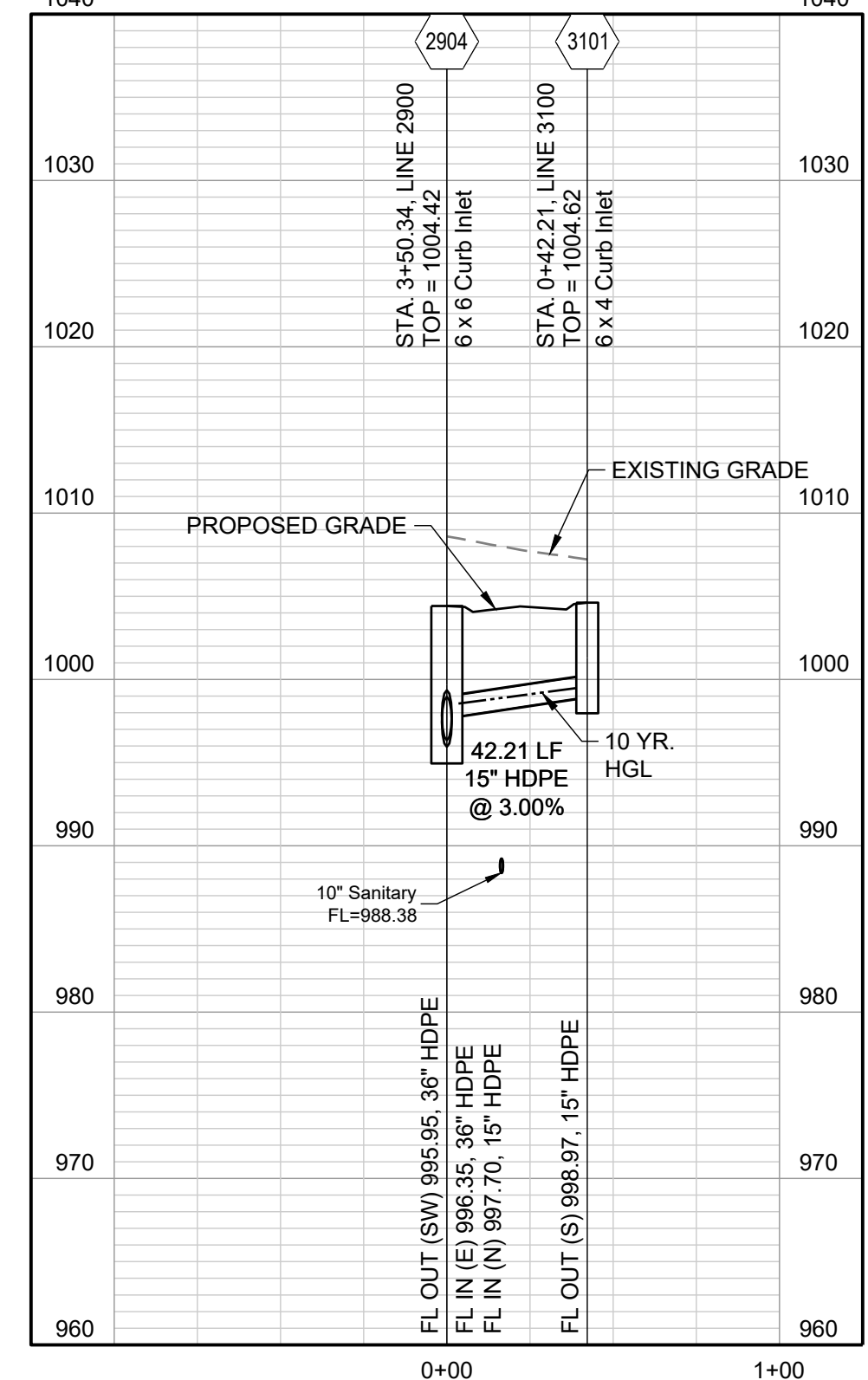
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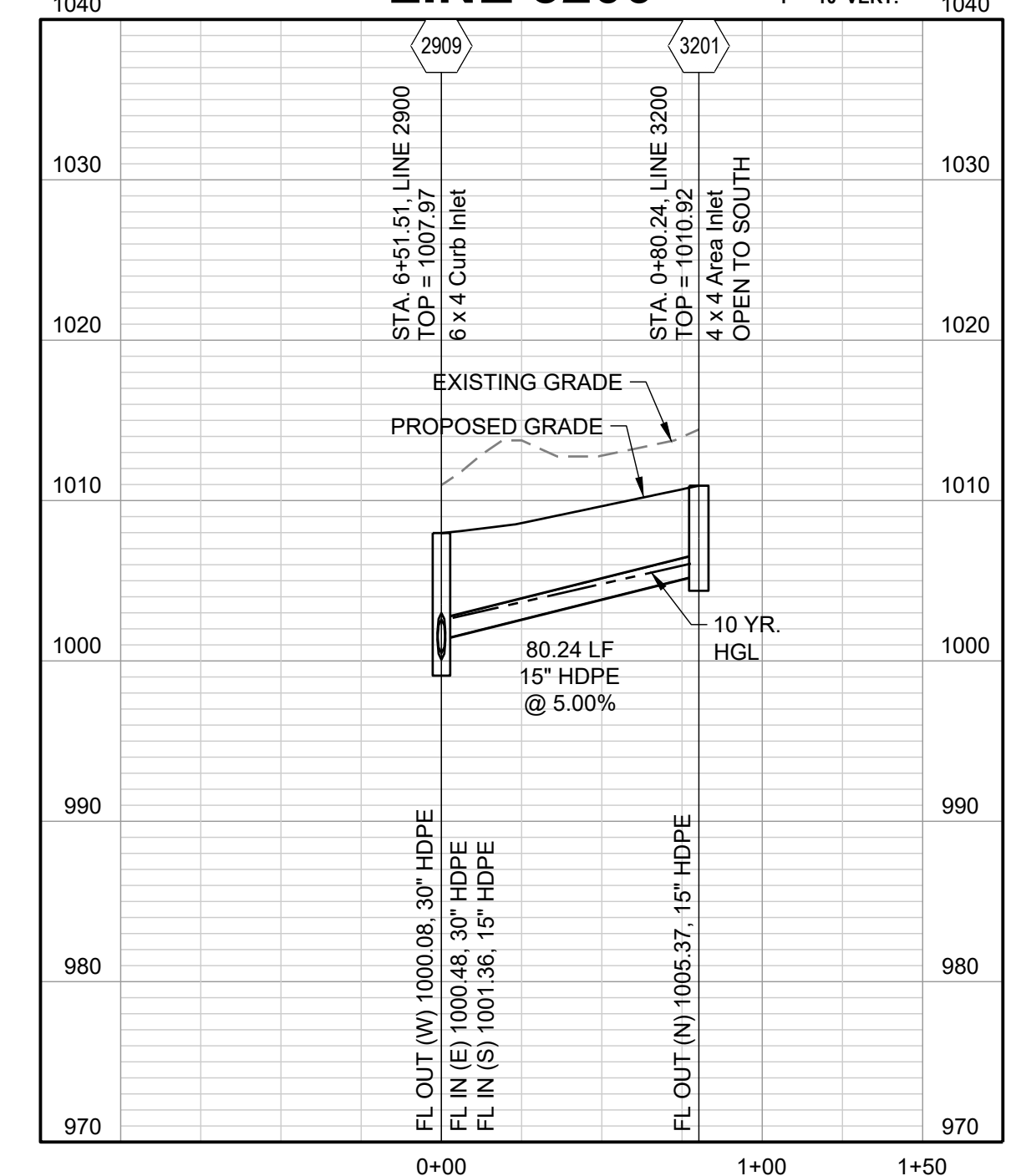
LINE 3000



LINE 3100



LINE 3200

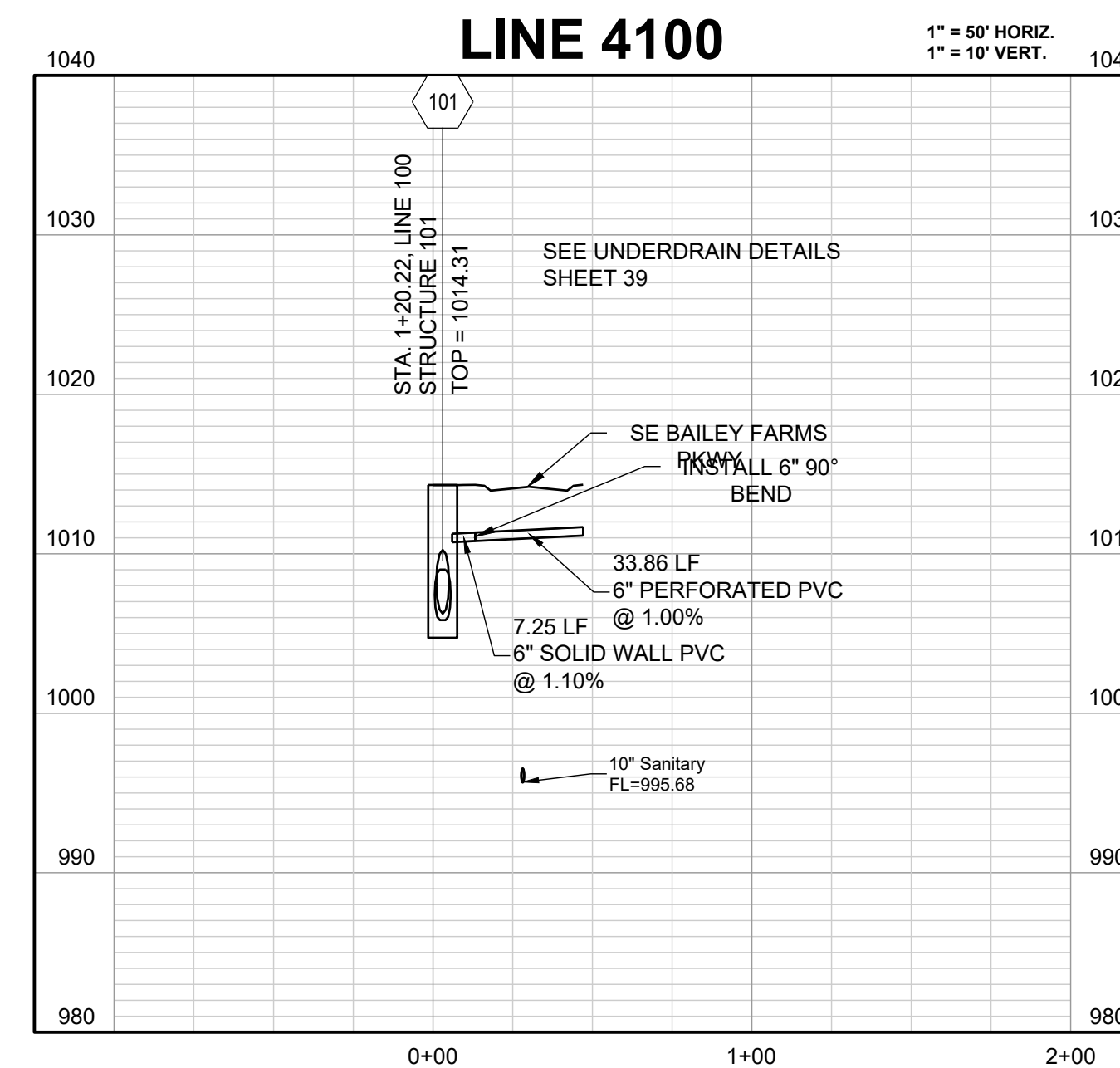
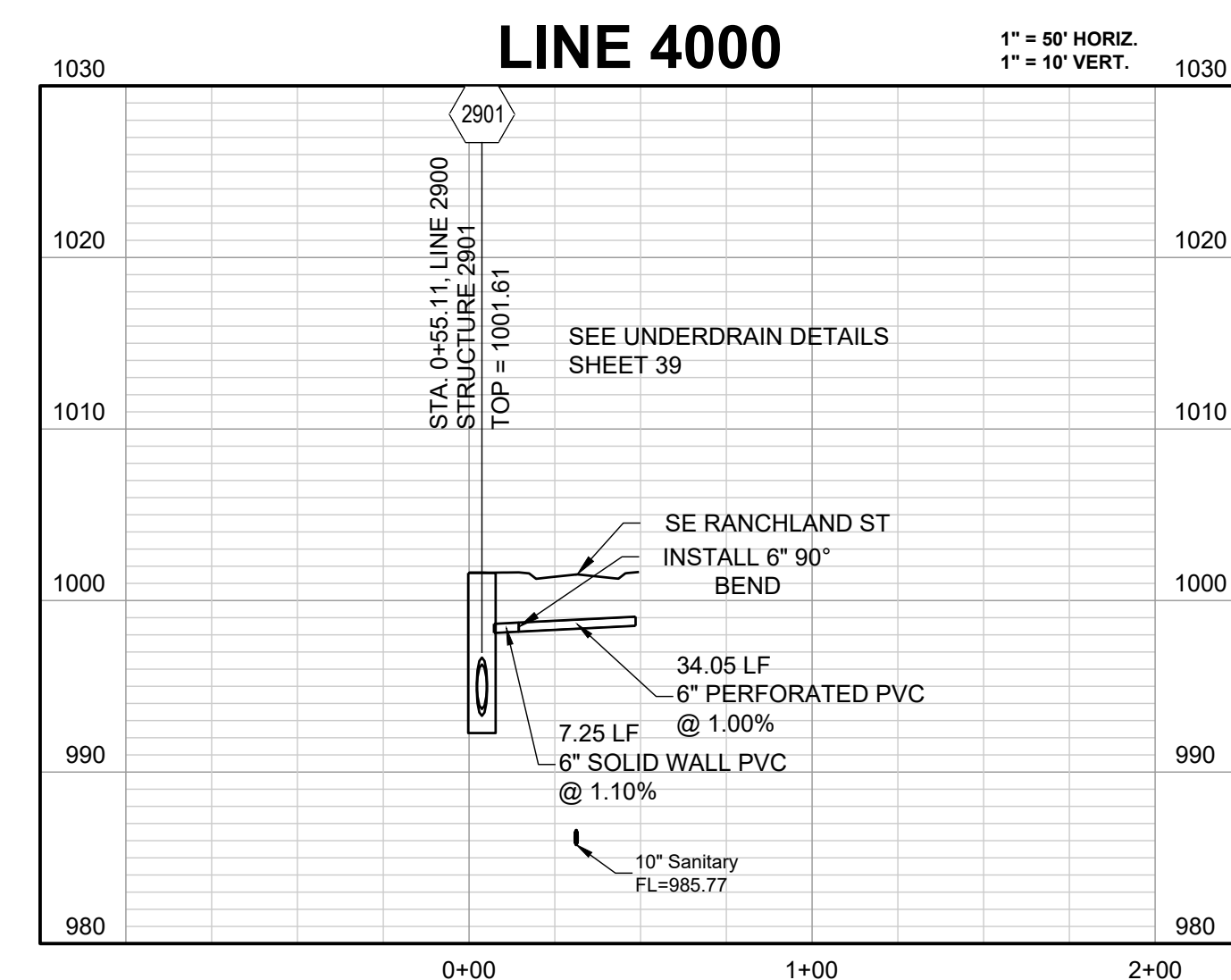
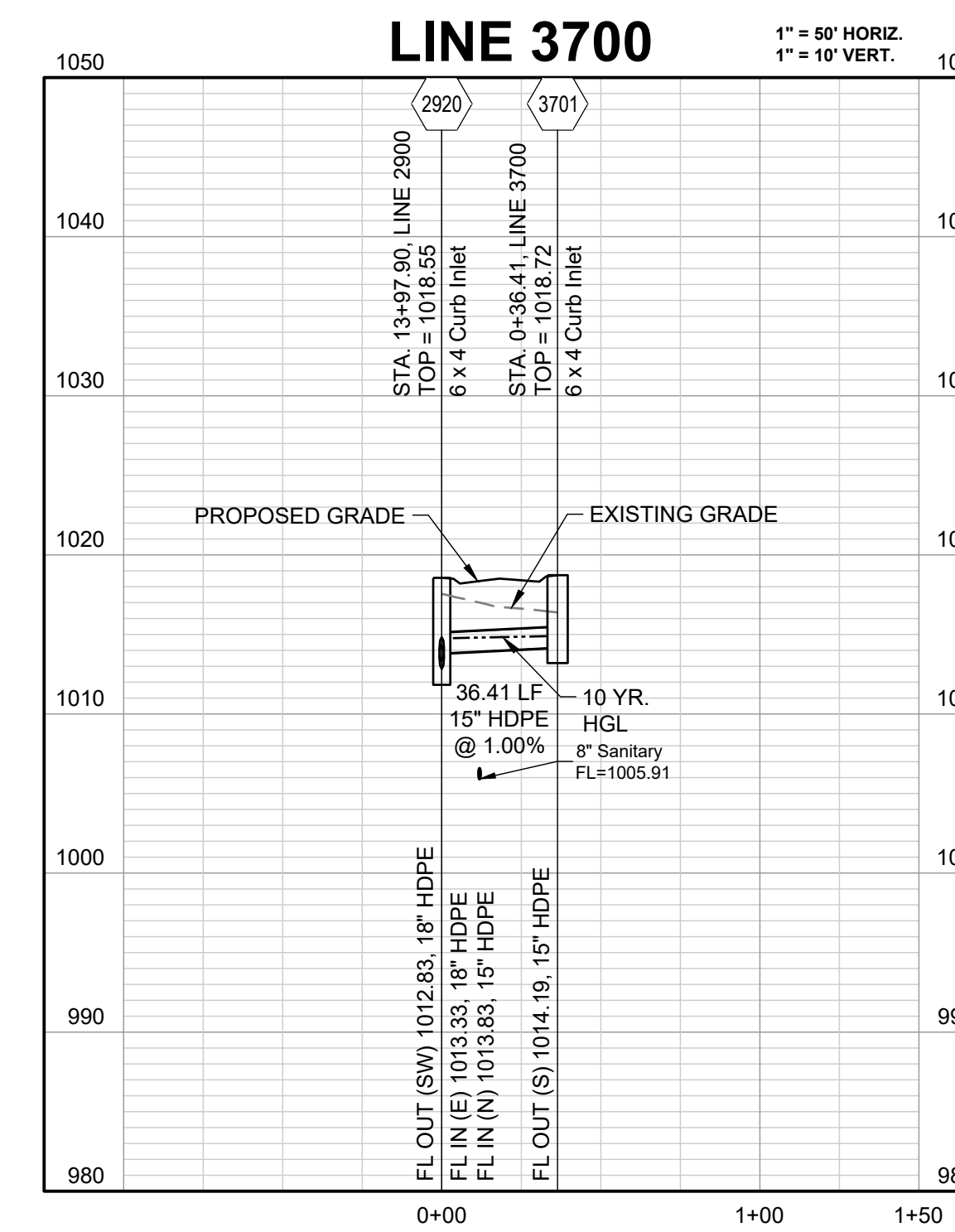
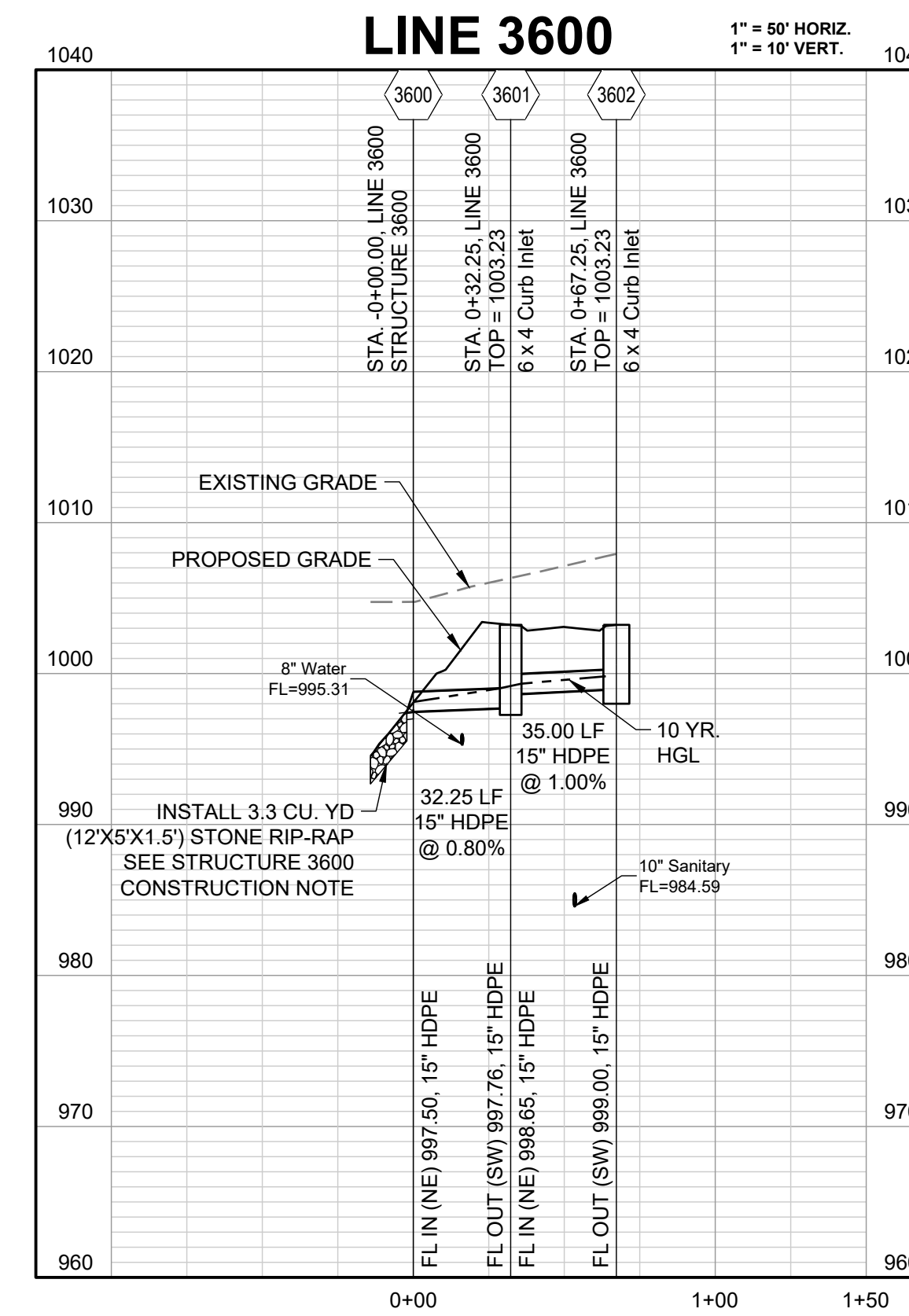
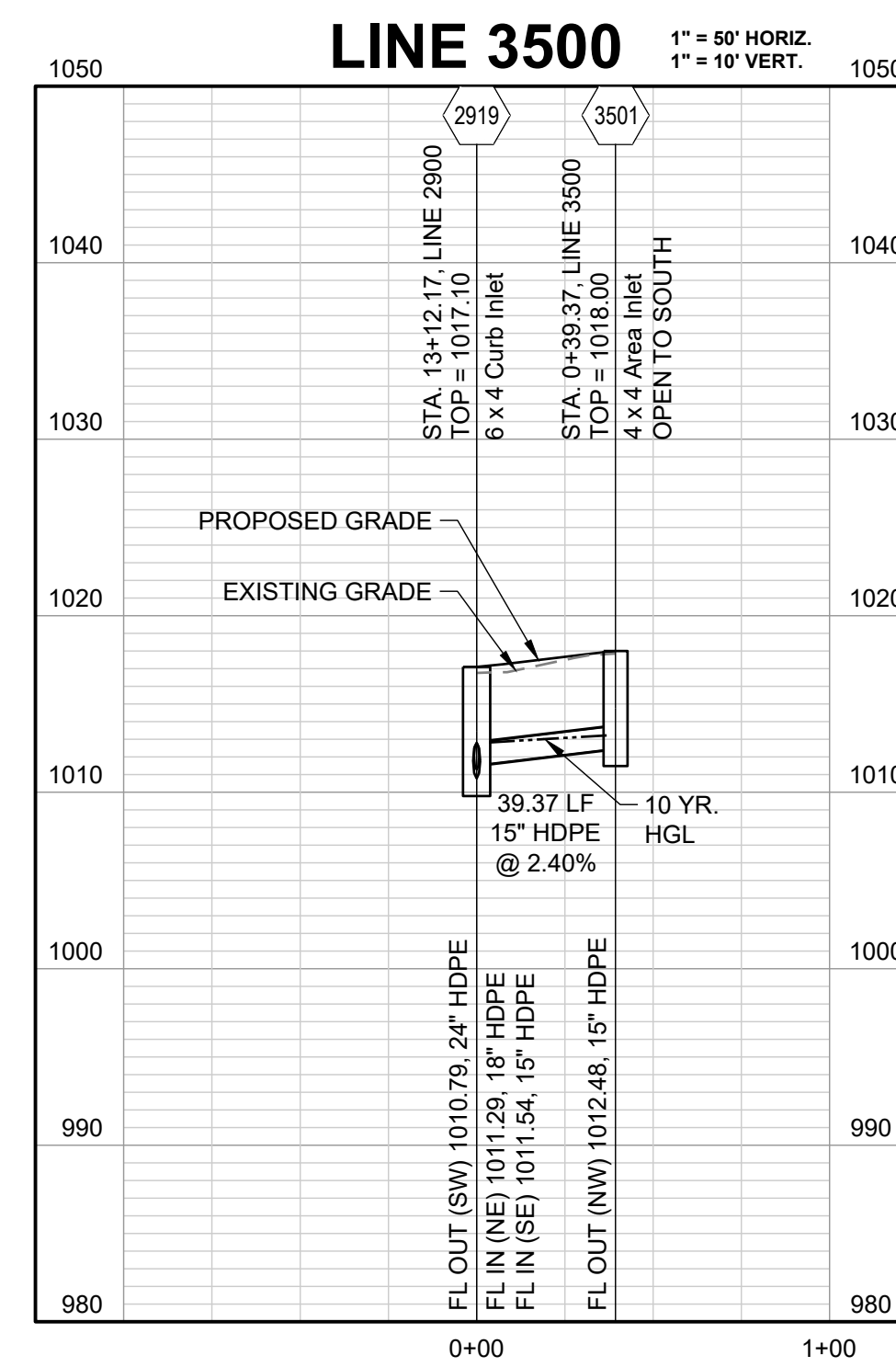
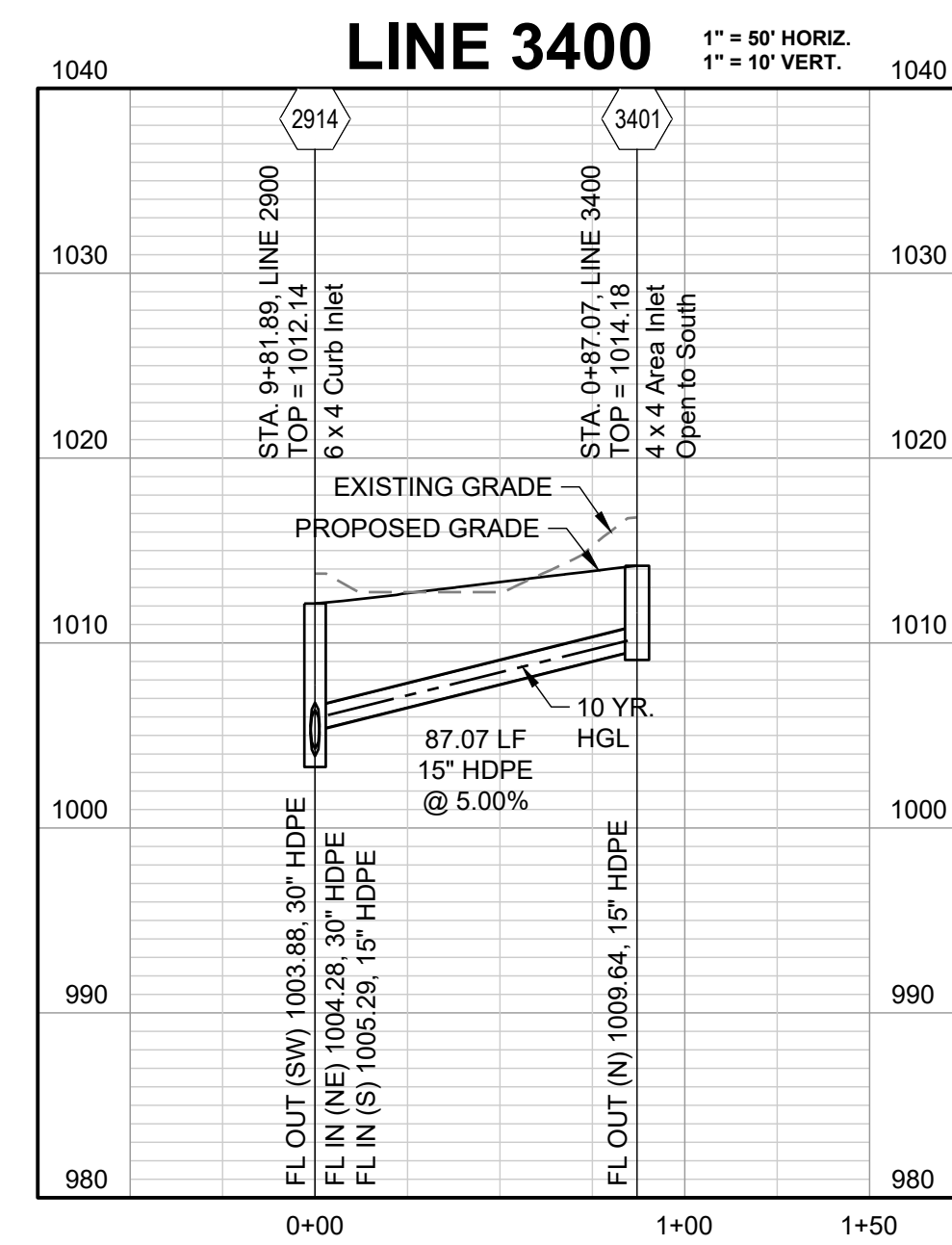
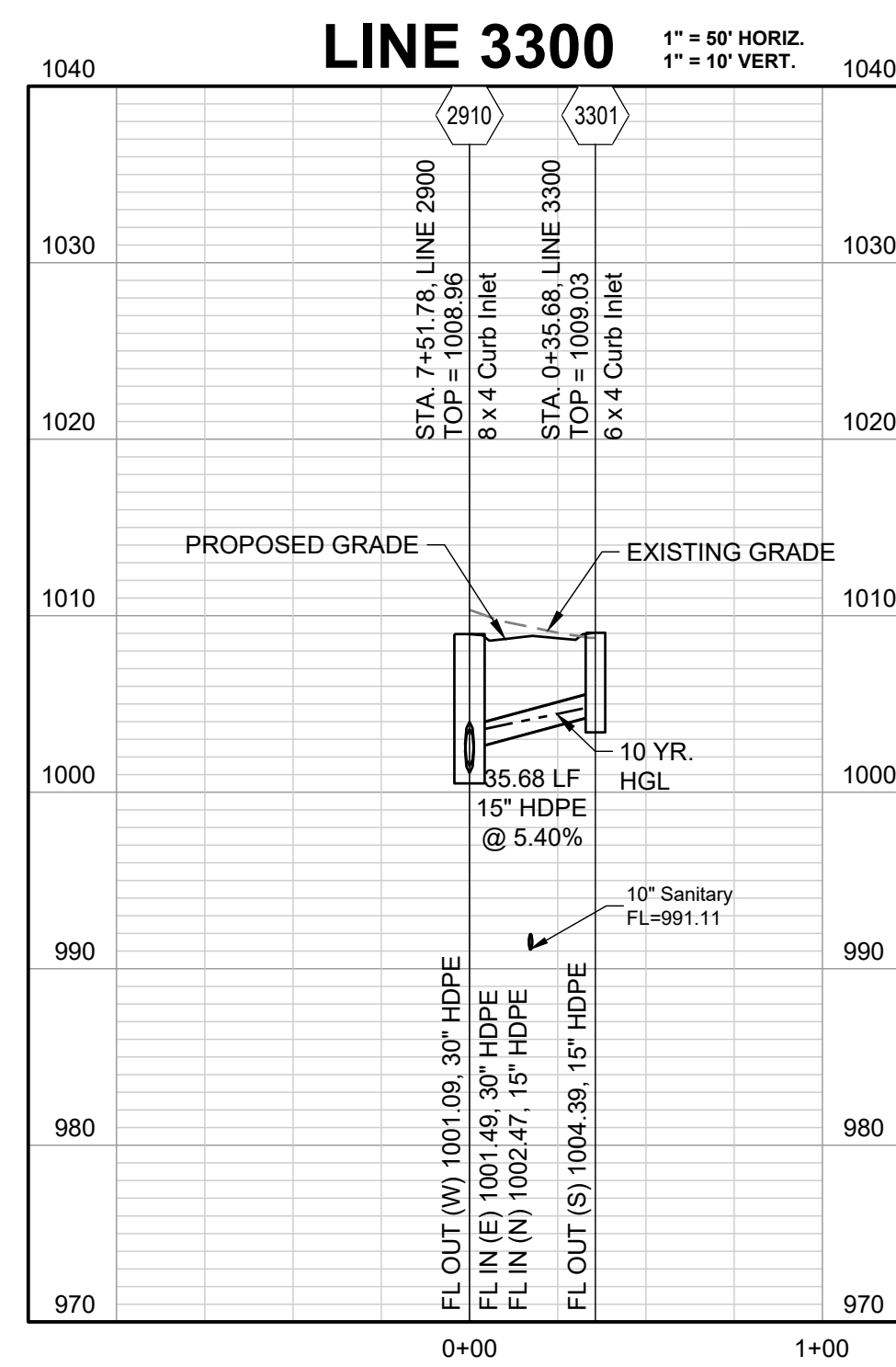


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STORM  
PROFILES 4

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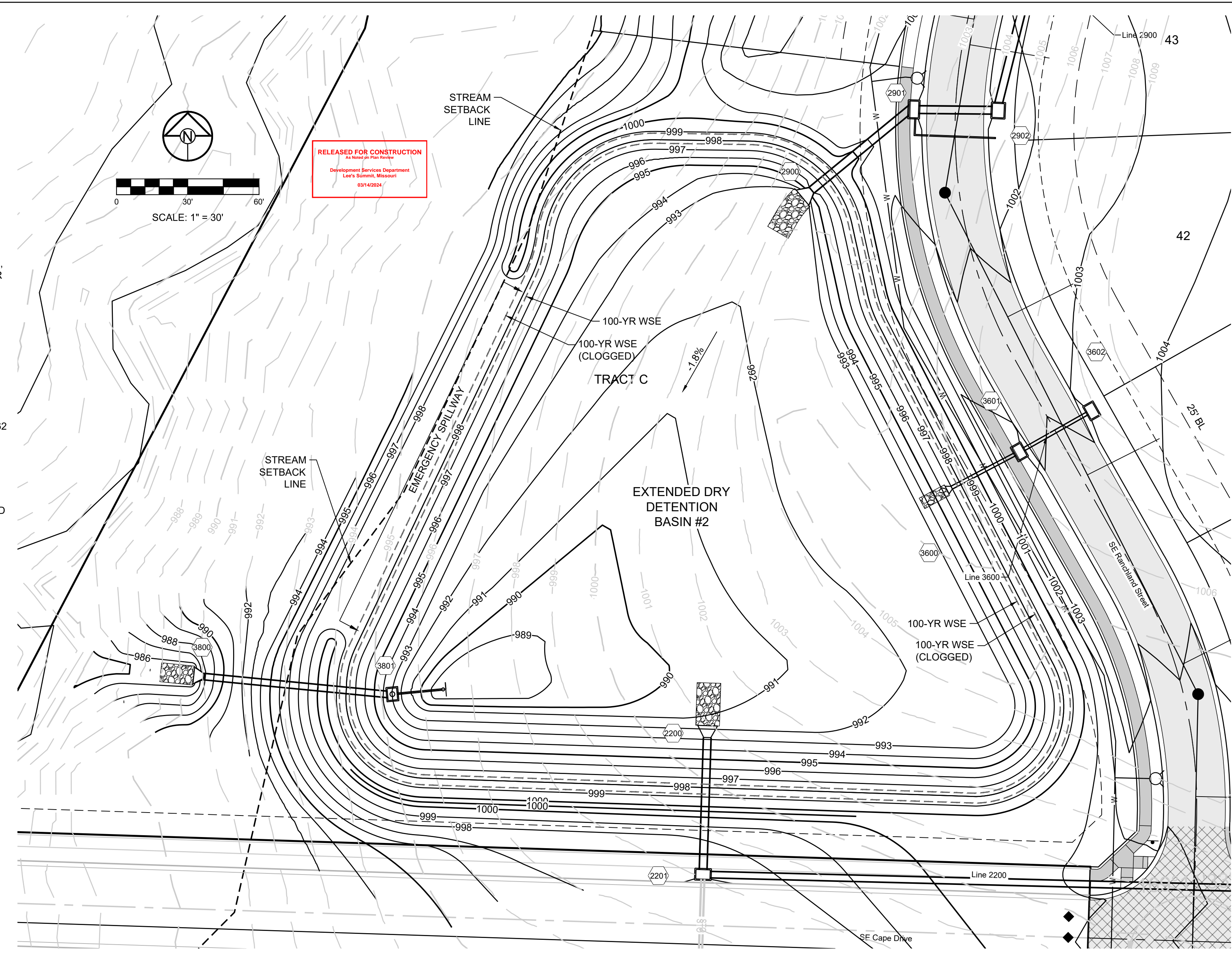
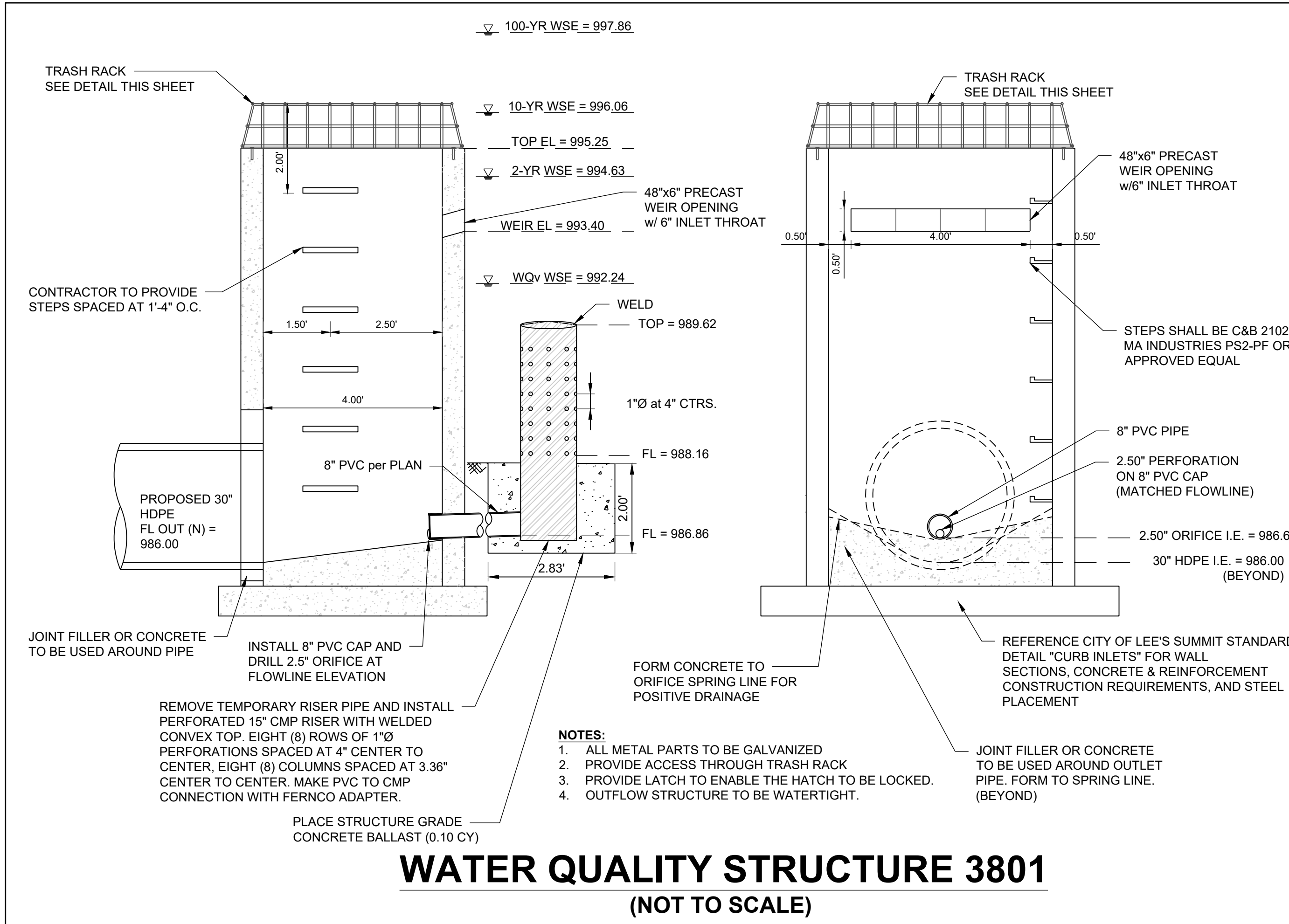
Development Services Department  
Lee's Summit, Missouri  
03/14/2024



10-YEAR HGL

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11/05/2021	
2/1-130	

STORM  
PROFILES 5

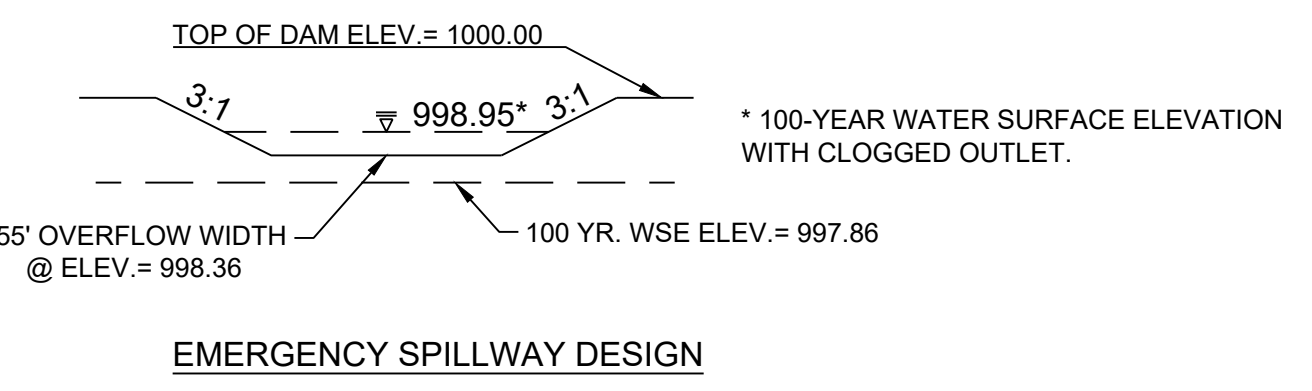


**DETENTION STORAGE:**  
100 YEAR, 24 HR. RAINFALL - MAXIMUM WSE = 997.86  
(SEE FINAL STORMWATER MGMT. PLAN)

**EMERGENCY SPILLWAY FLOWLINE SET AT 0.5 FEET ABOVE MAX. WSE, SPILLWAY ELEV. = 998.36**

**EMERGENCY SPILLWAY DESIGN:**  
Q(100) = 232.03 CFS, Q = CLH<sup>3/2</sup>(3/2), C = 3.33,  
L = 155 FT., 232.03 CFS = 3.33 \* 155 FT. \* (H<sup>3/2</sup>(3/2)), H = 0.59 FT

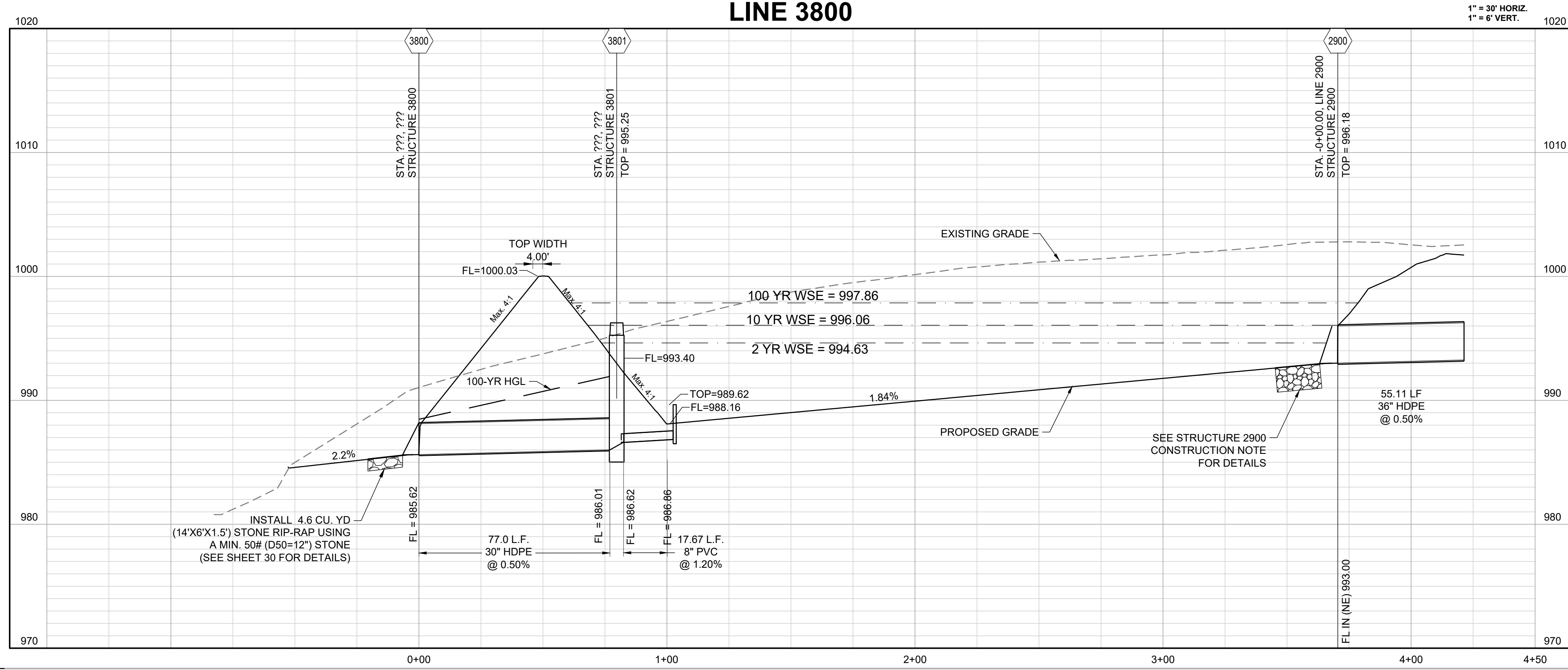
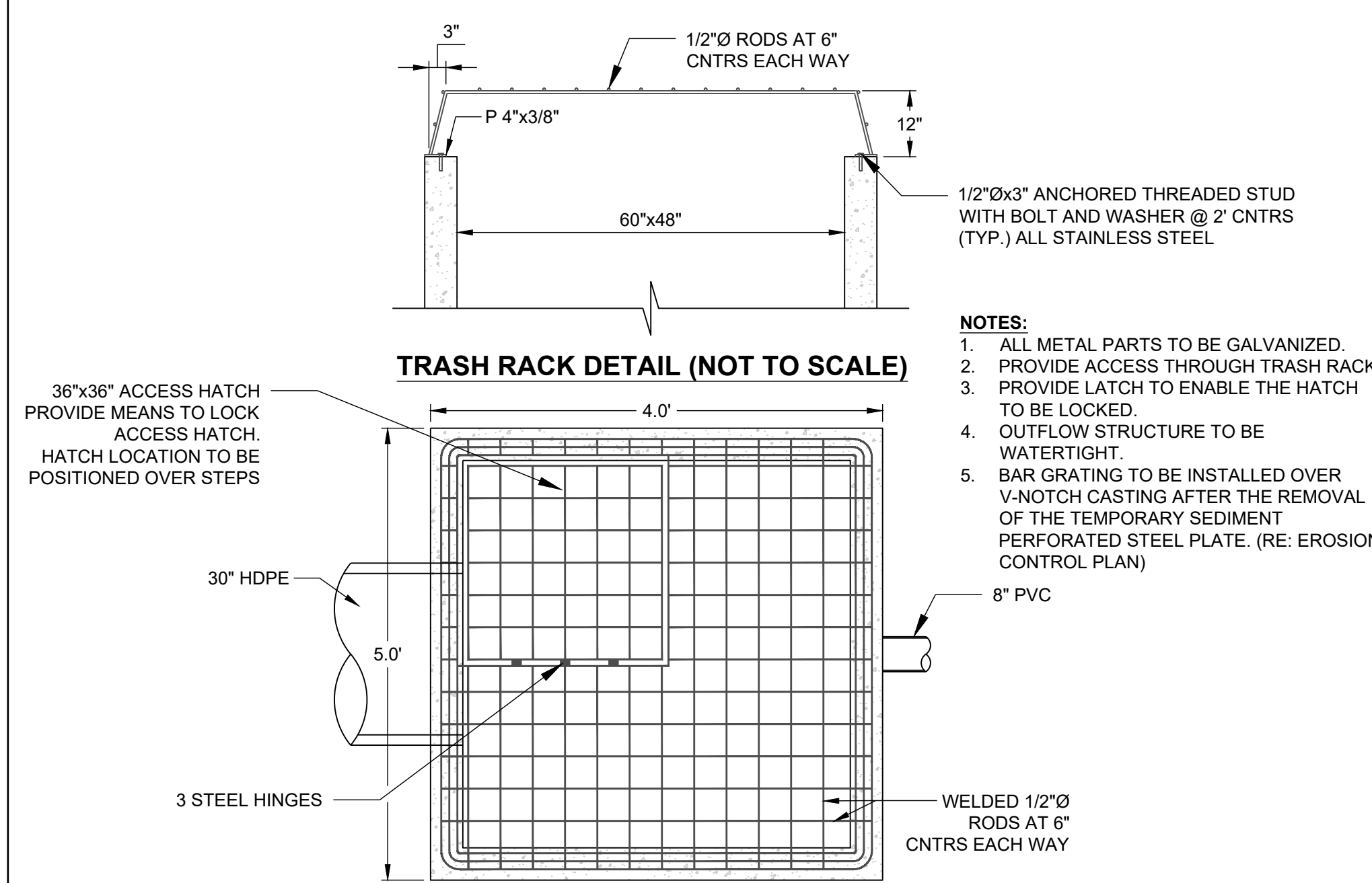
**WATER SURFACE ELEVATION THROUGH SPILLWAY = 998.95  
+ ONE (1) FOOT OF FREEBOARD = 999.95  
SET BASIN TOP AT 1000.00**



**DETENTION BASIN STORAGE VOLUME**

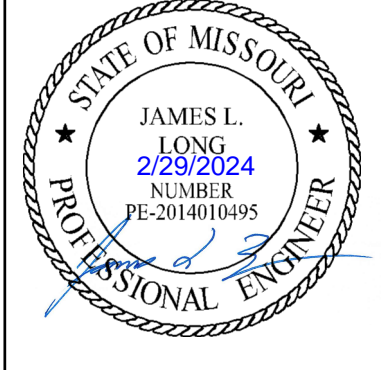
DESIGN STORM	VOLUME (CUBIC FEET)
2-YEAR	122,558
10-YEAR	189,935
100-YEAR	285,540

**NOTE:**  
DETENTION / SEDIMENT BASIN SHALL BE CONSTRUCTED ALONG WITH ALL OTHER EROSION CONTROL AND SEDIMENT CONTROL DEVICES AND PRIOR TO ANY INFRASTRUCTURE BEING CONSTRUCTED.



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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**GEN-1**  
STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
PUBLIC WORKS ENGINEERING DIVISION | 220 S. GREEN STREET | LEE'S SUMMIT, MO 64643

**GEN-3A**  
STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
PUBLIC WORKS ENGINEERING DIVISION | 220 S. GREEN STREET | LEE'S SUMMIT, MO 64643

**GEN-4**  
STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
PUBLIC WORKS ENGINEERING DIVISION | 220 S. GREEN STREET | LEE'S SUMMIT, MO 64643

**GEN-3B**  
STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
PUBLIC WORKS ENGINEERING DIVISION | 220 S. GREEN STREET | LEE'S SUMMIT, MO 64643

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DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

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STREET DETAILS  
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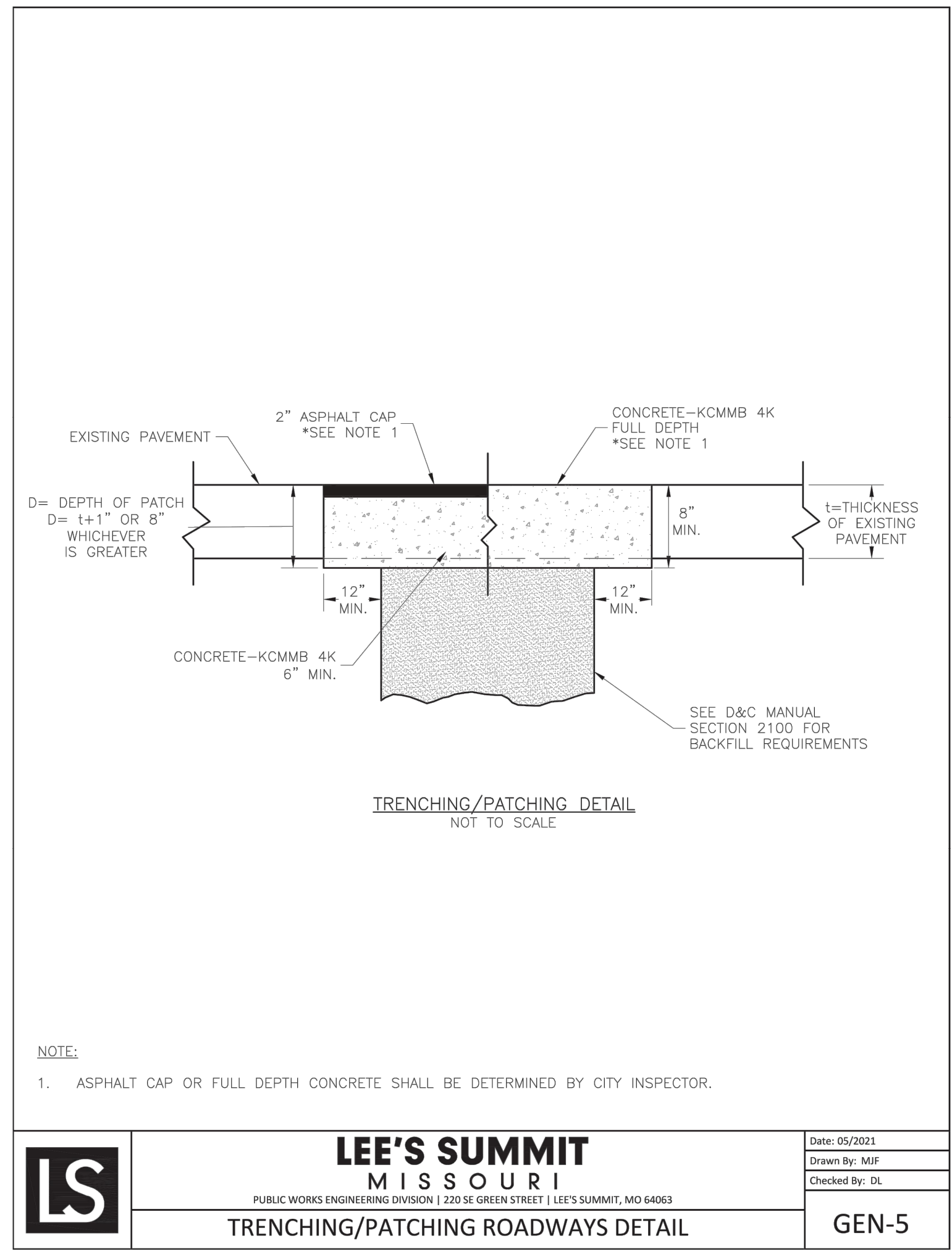
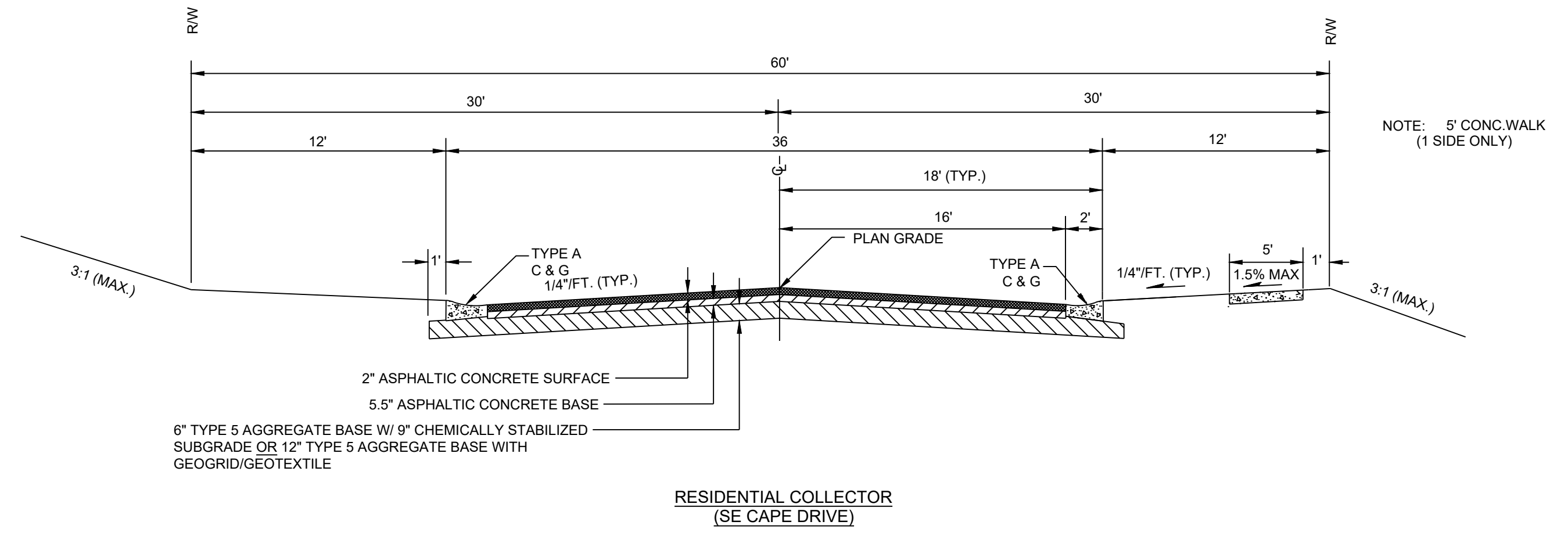
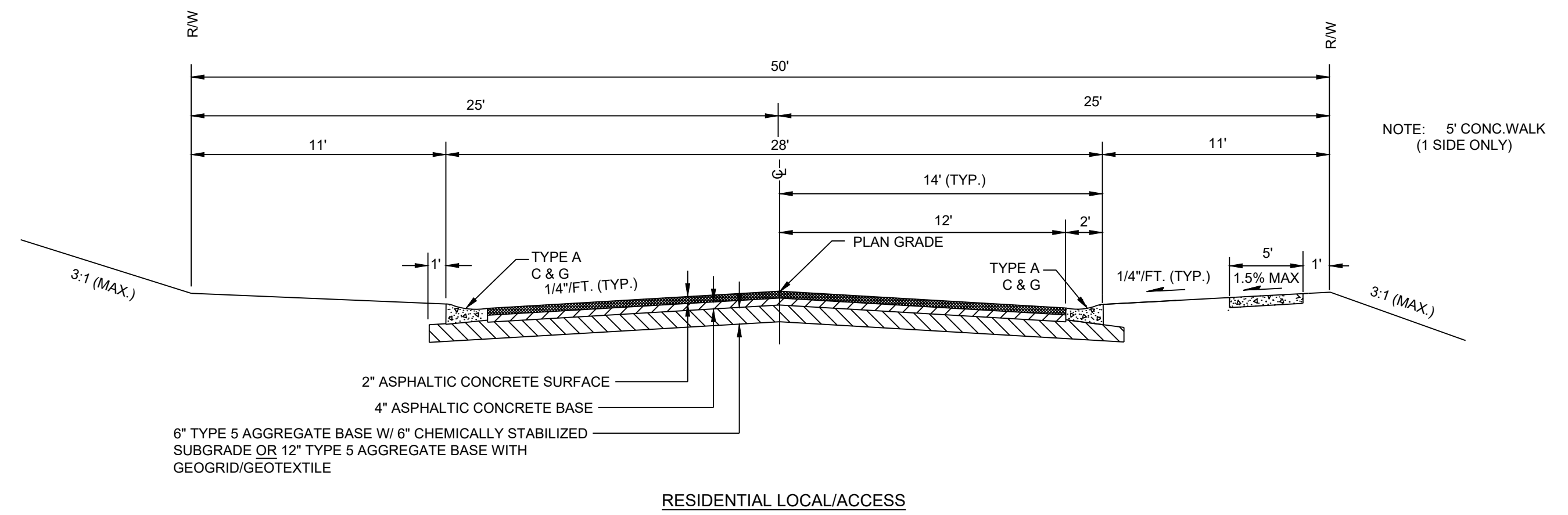
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Development Services Department  
Lee's Summit, Missouri  
03/14/2024

**TABLE LS-2: MINIMUM ASPHALT PAVEMENT THICKNESSES**

Street Classification	Pavement Option	AC Surface (in.)	AC Base (in.)	Aggregate Base (in.)	Chemical Subgrade Stabilization (in.)	Geogrid / Geotextile <sup>(1)</sup>
Residential Local/Access	A	2	4	6	6	--
	B	2	4	12	--	Geogrid / Geotextile
Residential Collector	A	2	5.5	6	9	--
	B	2	5.5	12	--	Geogrid / Geotextile
Commercial Industrial Local/Collector	A	2	7.5	6	9	--
	B	2	7.5	12	--	Geogrid / Geotextile

Notes:  
(1) Geogrid shall be polypropylene material and Geotextile shall be woven, polypropylene as shown in the City's Approved Products List



LSS200 17 July 2020

**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELASSOCIATES.COM  
Missouri State Certificates of Authority  
#E2002003690-F #LAC201005237 #LS200200869-F

PREPARED BY:  
  
SCHLAGEL & ASSOCIATES, P.A.

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STREET DETAILS  
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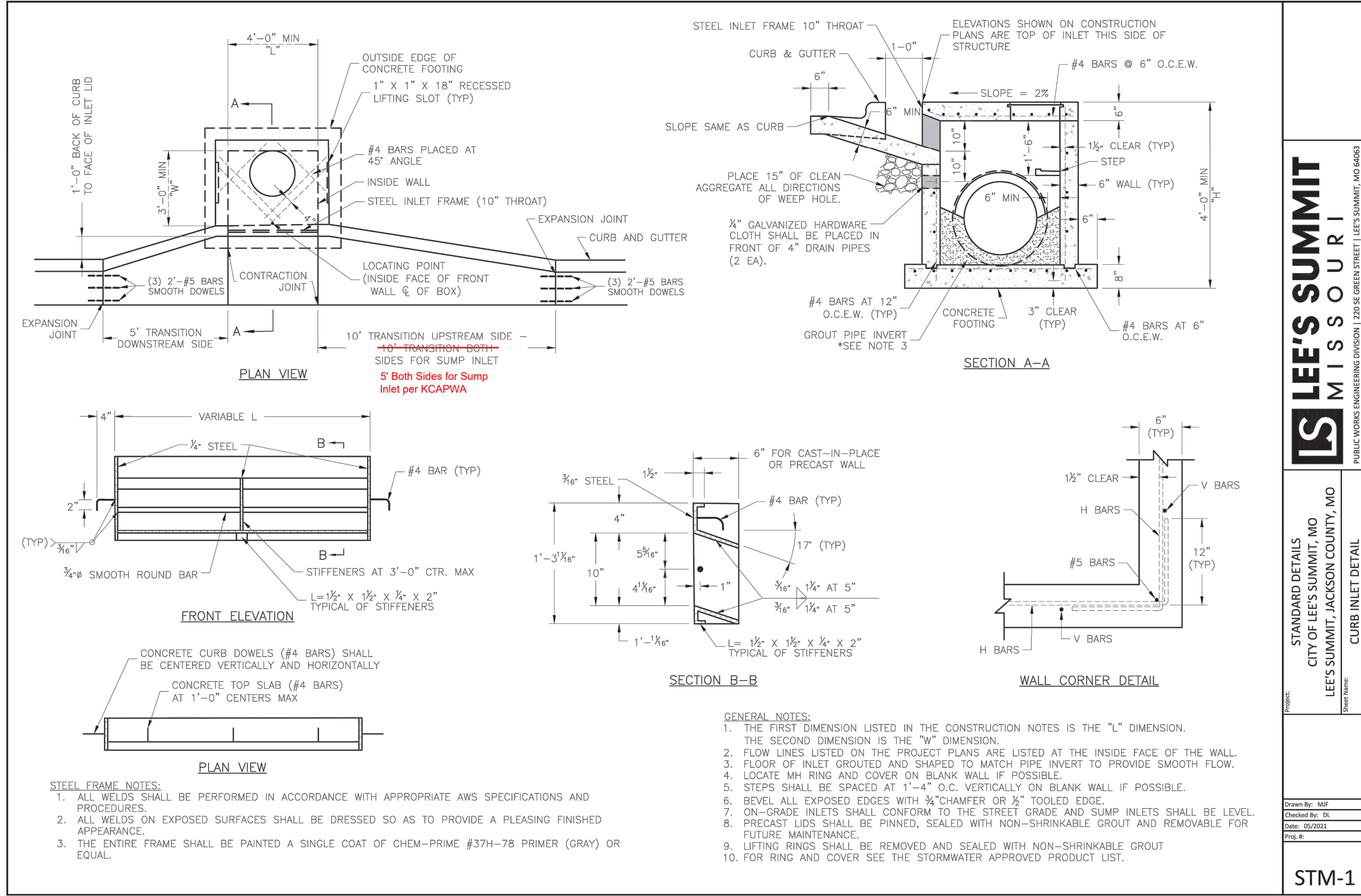
SHEET  
**38**

**LS** **LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Date: 05/2021  
Drawn By: MJF  
Checked By: DL

TRENCHING/PATCHING ROADWAYS DETAIL  
GEN-5

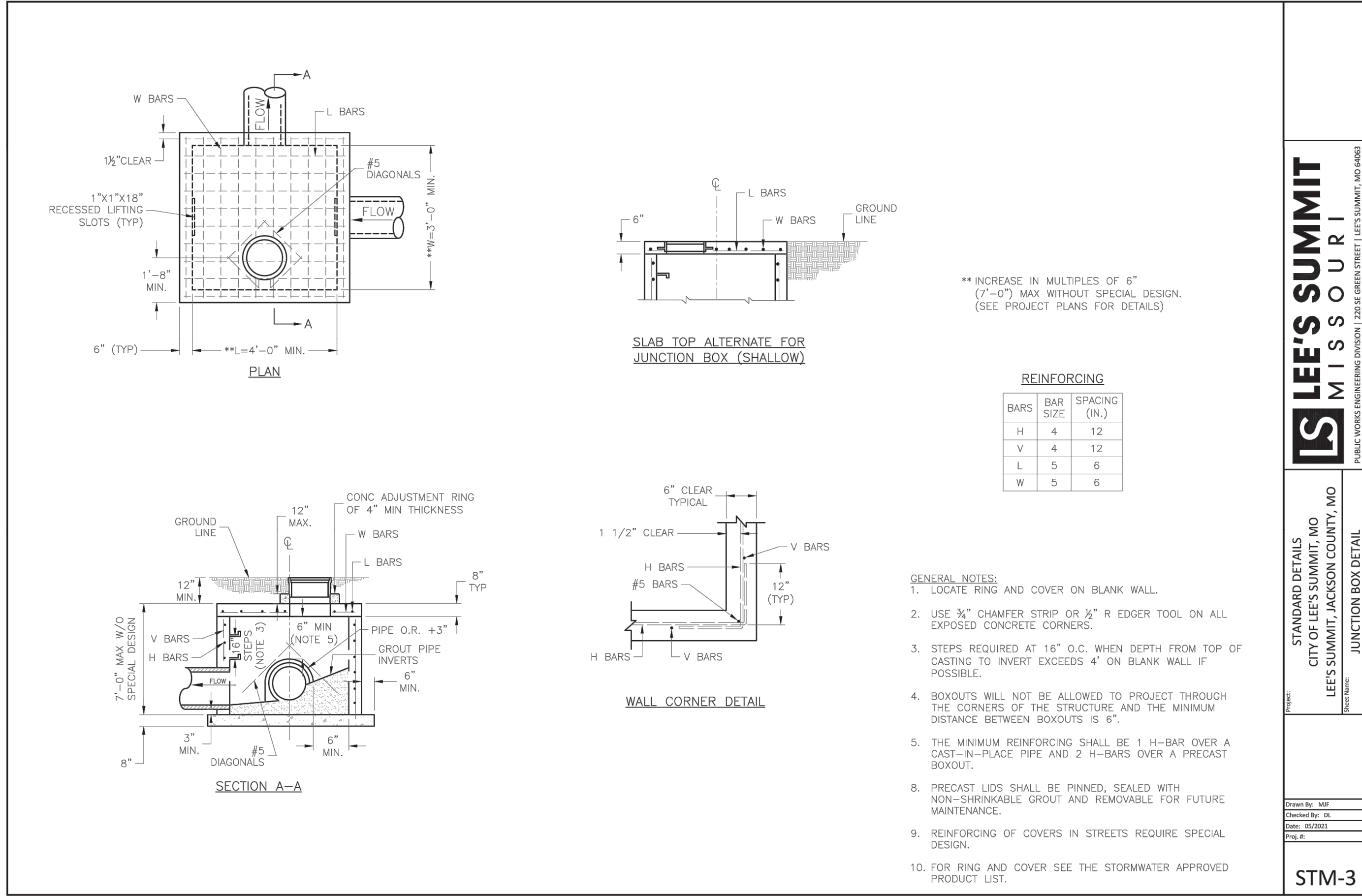
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**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663

**STANDARD DETAILS**  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

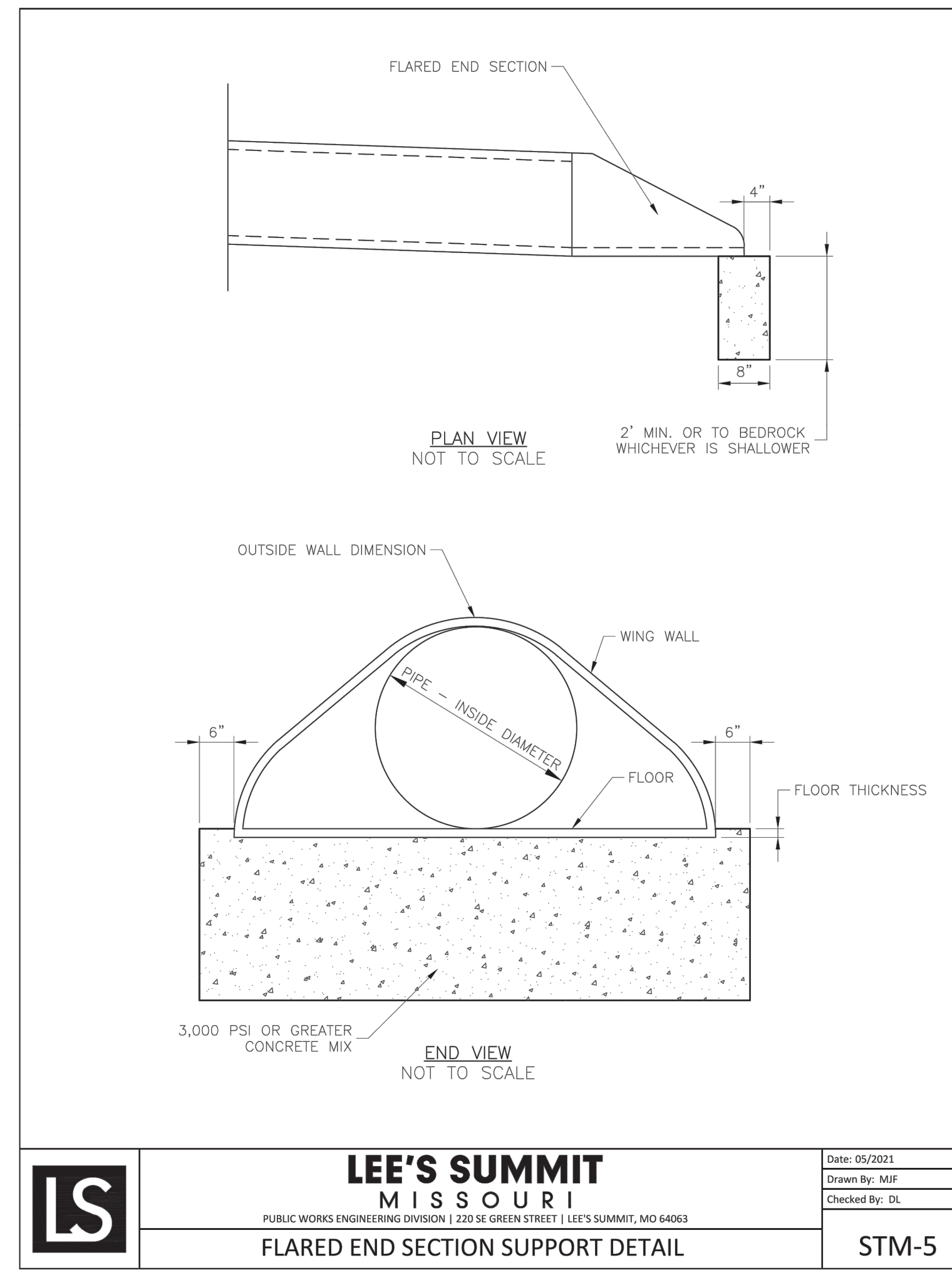
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CURB INLET DETAIL



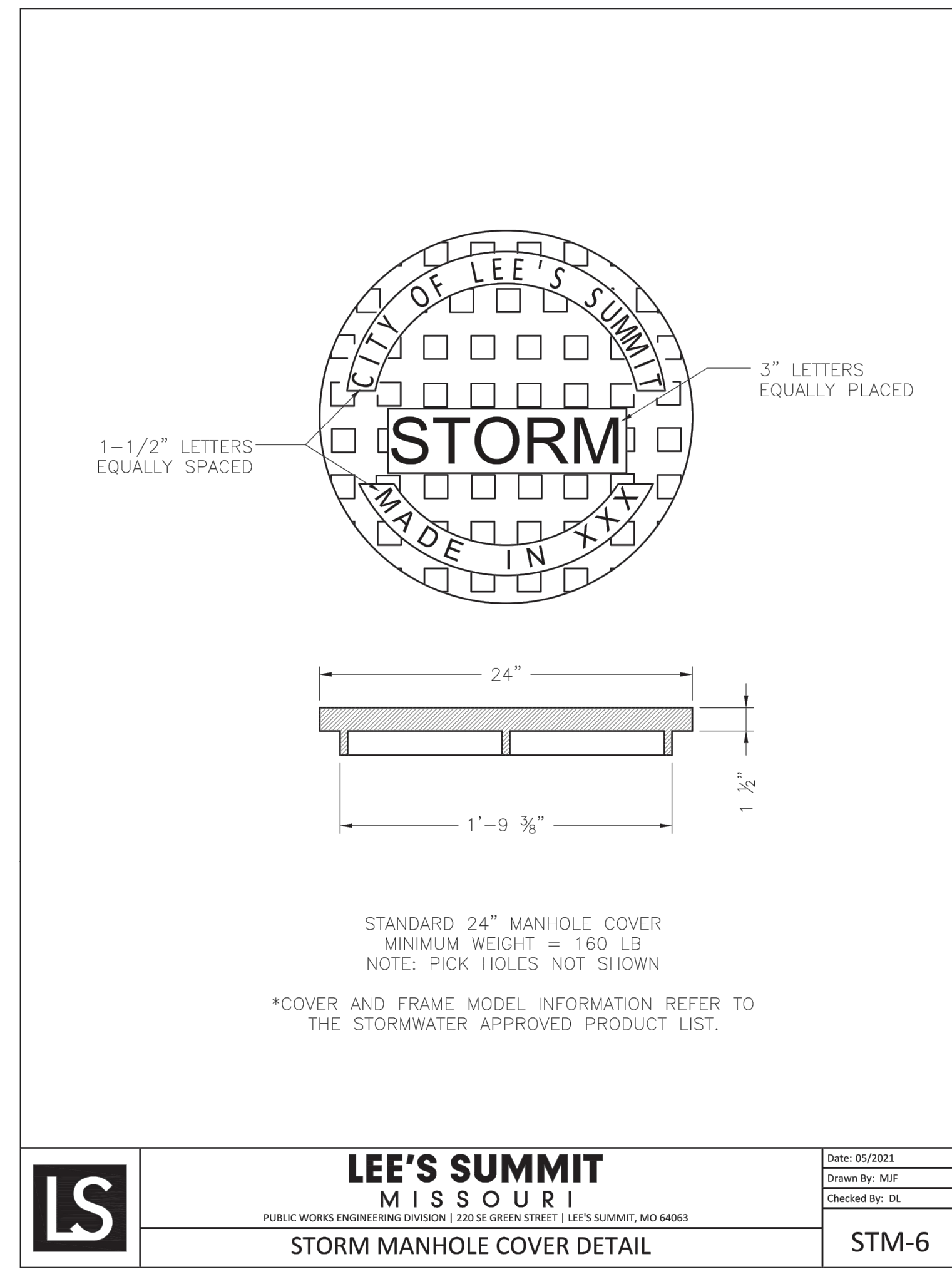
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PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663

**STANDARD DETAILS**  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

**STM-3**  
JUNCTION BOX DETAIL



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WWW.SCHLAGELASSOCIATES.COM  
Missouri State Certificates of Authority  
#E2002003600F #LAC2001005237 #LS200200869F

PREPARED BY:  
**JAMES L. LONG**  
2/28/2024  
NUMBER PE-2014010495  
PROFESSIONAL ENGINEER

**SCHLAGEL & ASSOCIATES, P.A.**

**MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN**  
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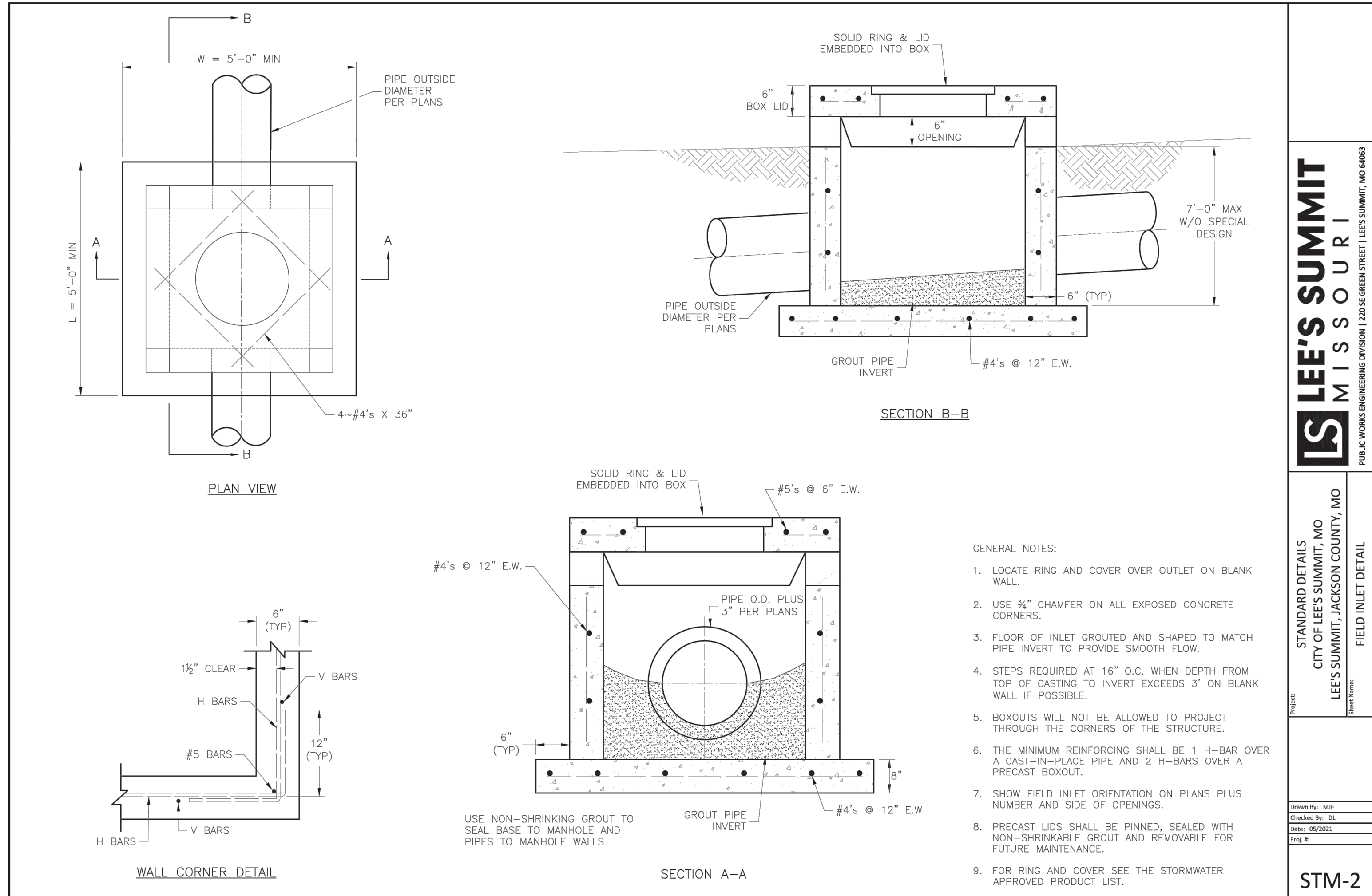
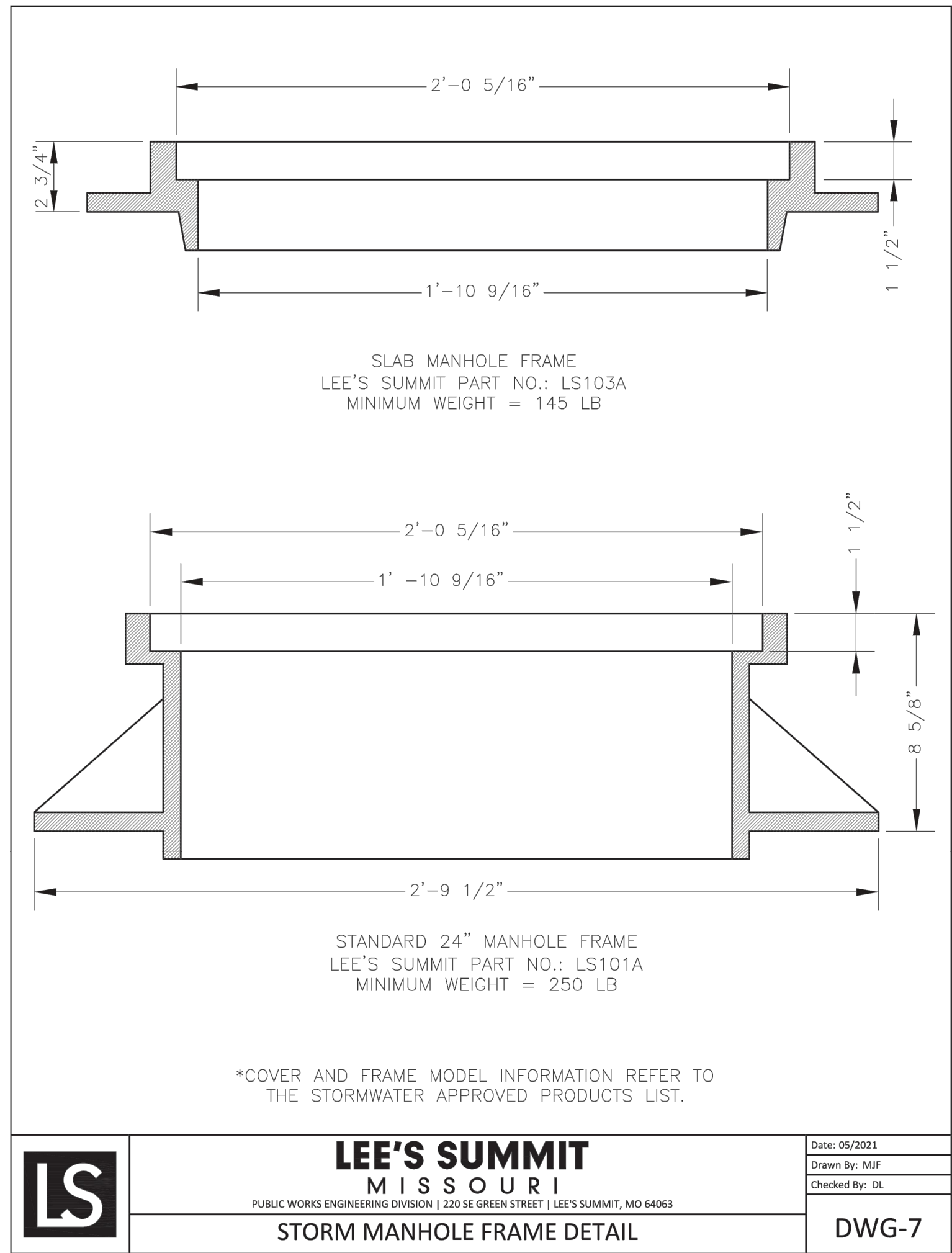
**STORM DETAILS**  
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SHEET  
**39**

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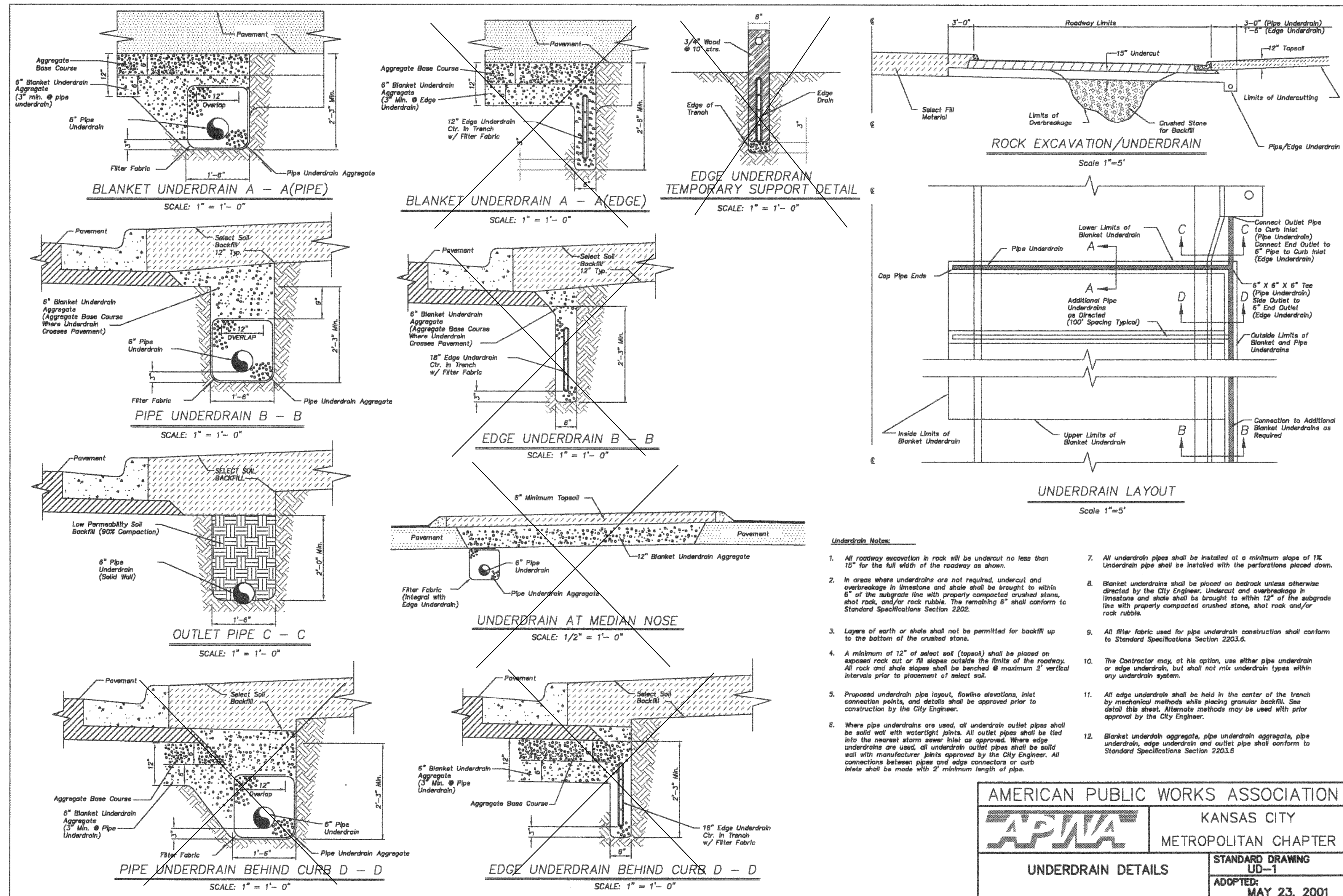
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CHECKED BY: JLL  
DATE PREPARED: 11/05/2021  
PROJ. NUMBER: 21-130



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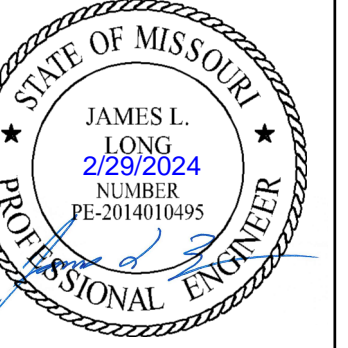
03/14/2024



AMERICAN PUBLIC WORKS ASSOCIATION  
**APWA** KANSAS CITY METROPOLITAN CHAPTER

UNDERDRAIN DETAILS STANDARD DRAWING UD-1  
ADOPTED: MAY 23, 2001

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

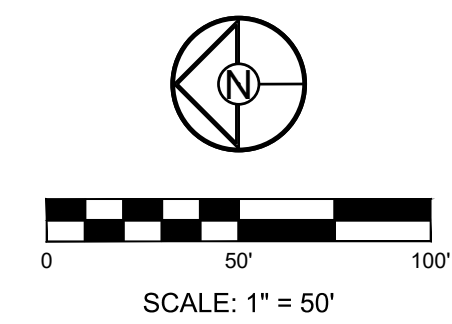
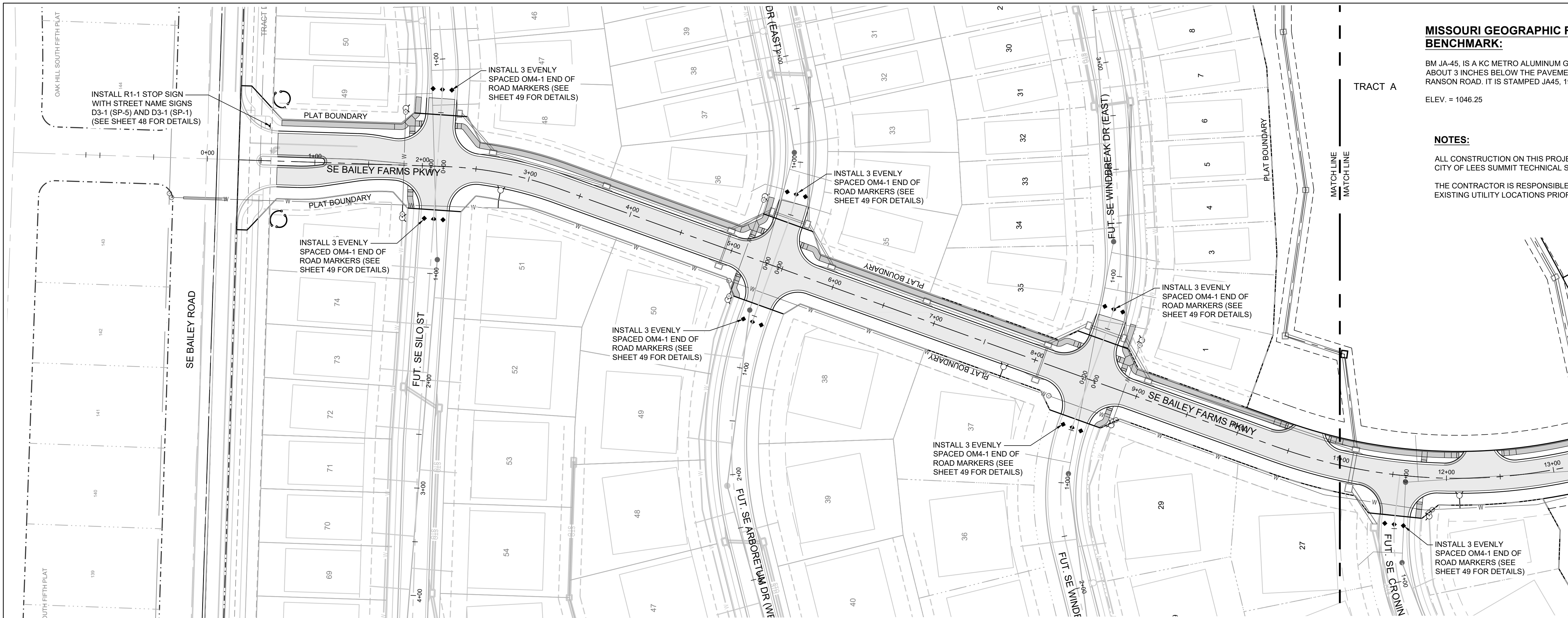
MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

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STORM UNDERDRAIN DETAILS

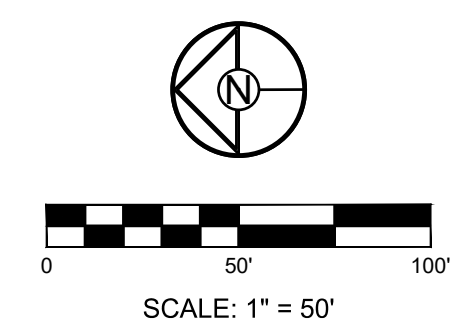
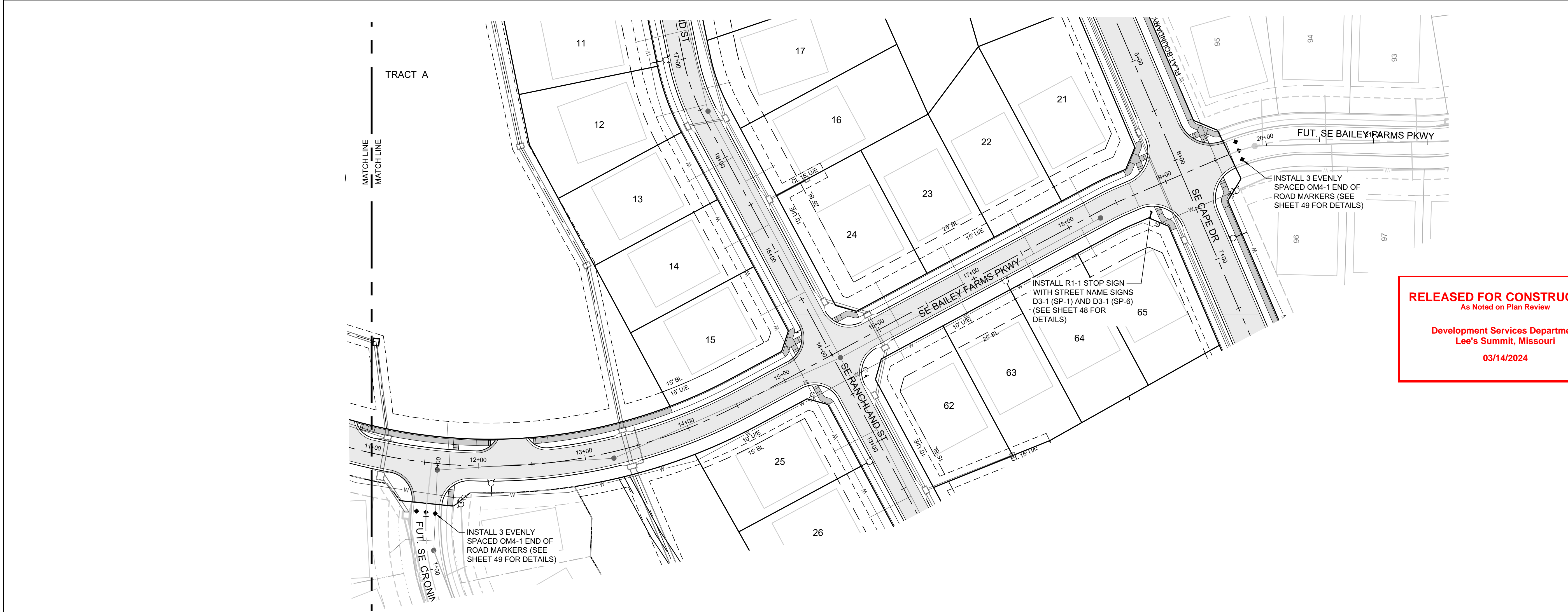
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**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**  
 BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.  
 ELEV. = 1046.25

**NOTES:**  
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**RELEASED FOR CONSTRUCTION**  
 As Noted on Plan Review  
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 Lee's Summit, Missouri  
 03/14/2024

**SCHLAGEL**  
 ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
 14920 West 107th Street • Lenexa, Kansas 66215  
 (913) 492-5158 • Fax: (913) 492-8400  
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 #E2002003600F #LAC2001005237 #LS2002008695F

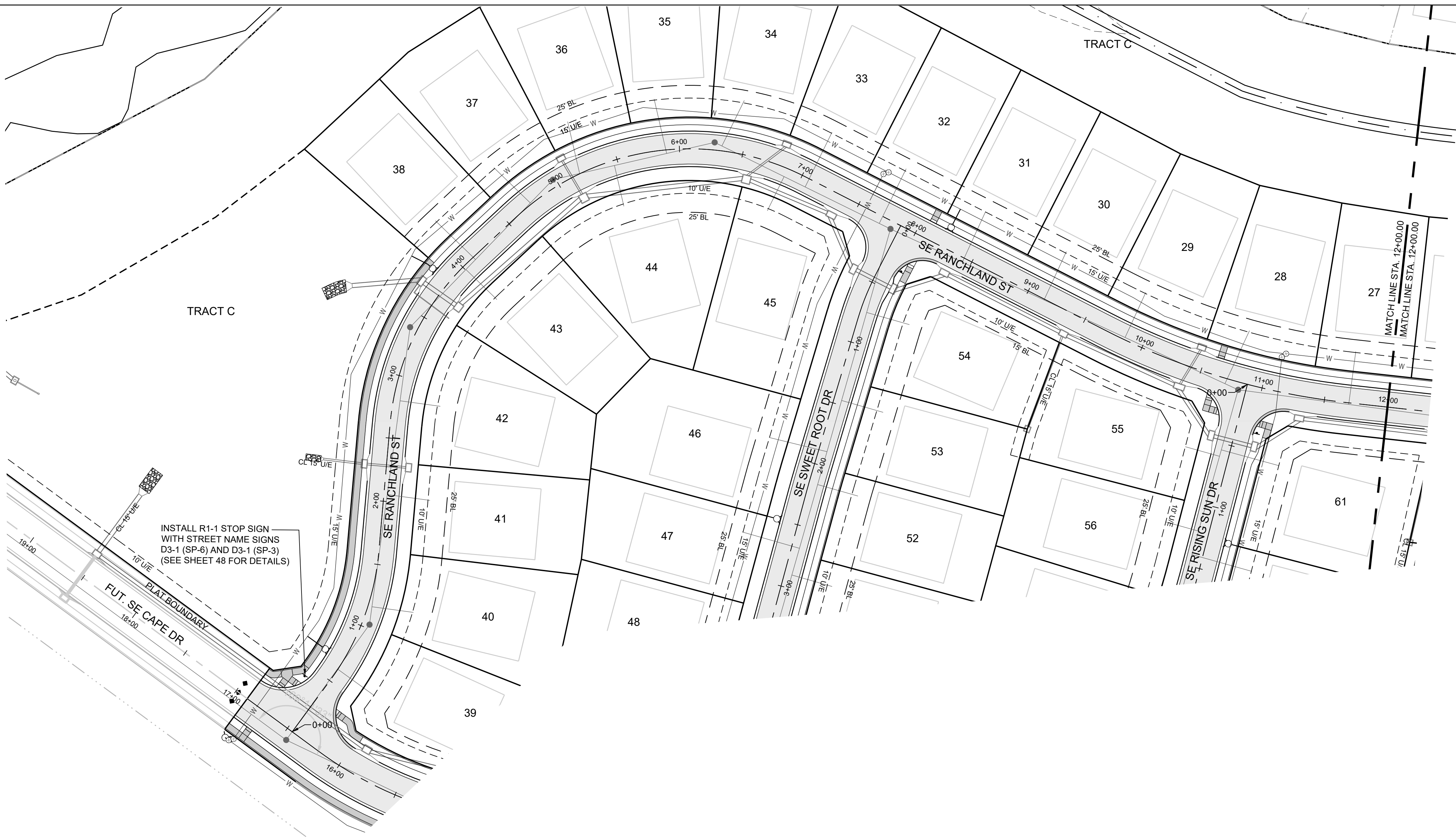
PREPARED BY:  
  
 JAMES L. LONG  
 2/28/2024  
 NUMBER  
 PE-2014010495

SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD**  
**LEE'S SUMMIT, MISSOURI**

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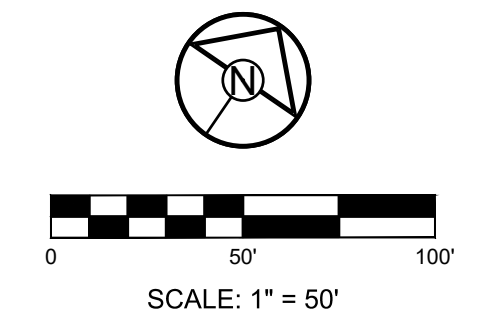
SE BAILEY FARMS PKWY SIGNAGE PLAN  
 SHEET  
**42**



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PREPARED BY:  
  
 JAMES L. LONG  
 2282024  
 NUMBER  
 PE-2014010495  
 PROFESSIONAL ENGINEER

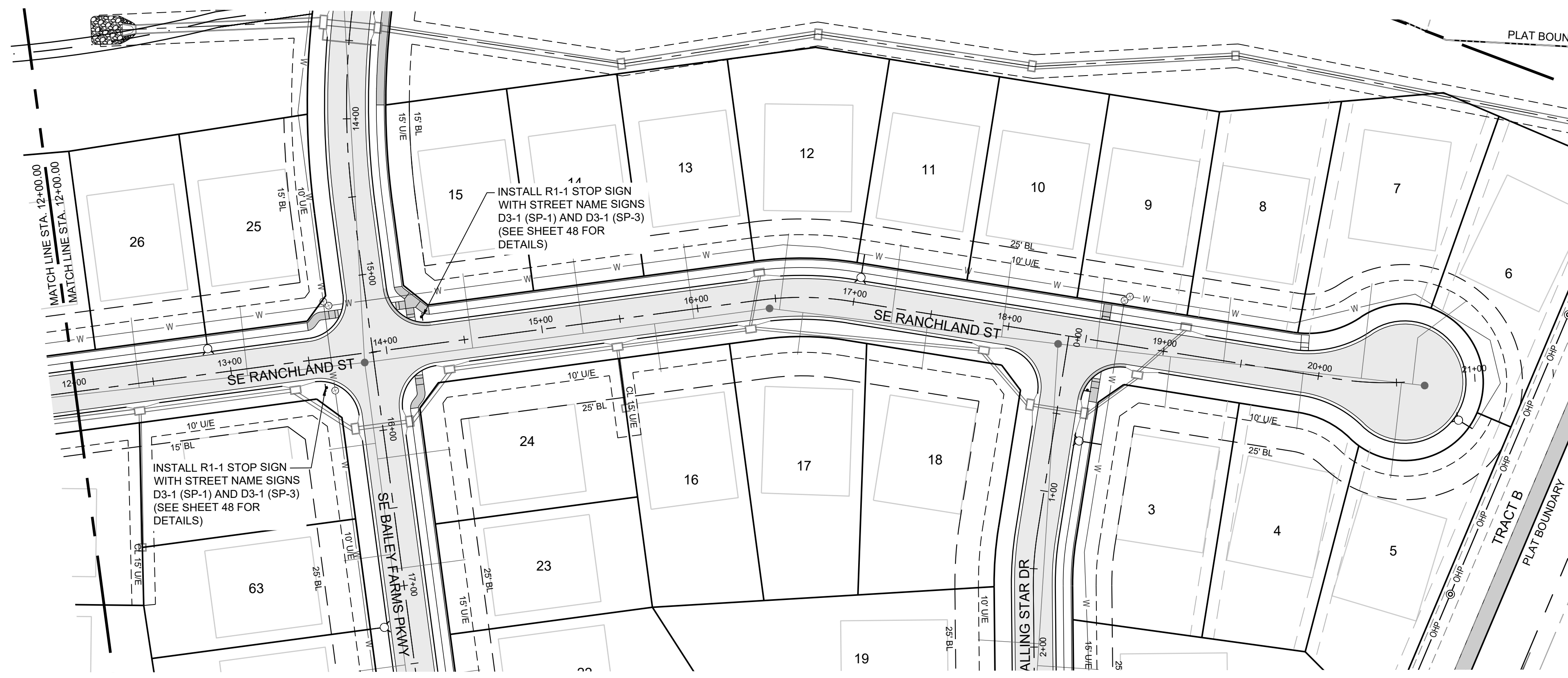
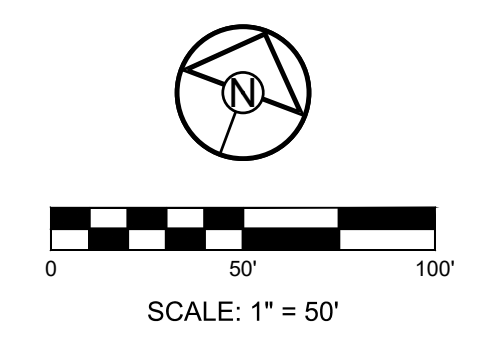
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SE RANGLAND ST SIGNAGE PLAN

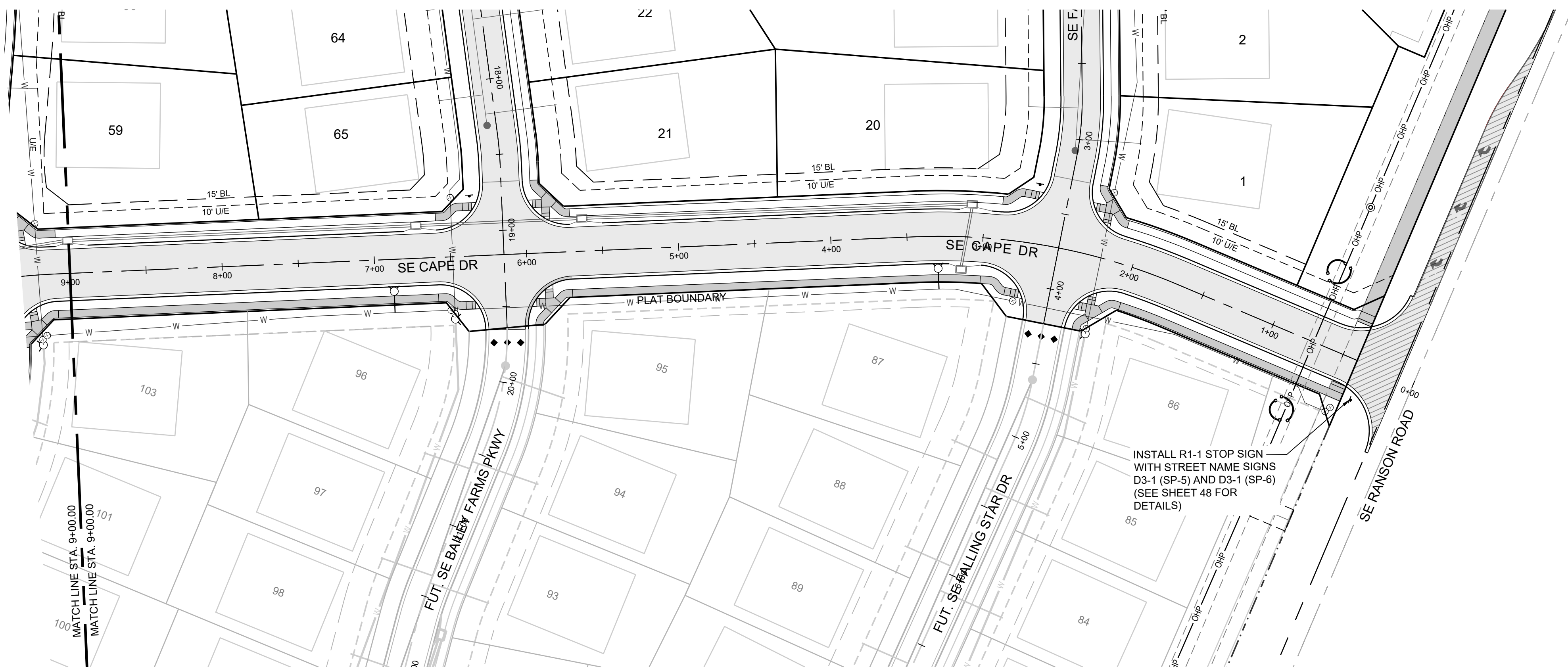
SHEET  
43



INSTALL R1-1 STOP SIGN WITH STREET NAME SIGNS D3-1 (SP-6) AND D3-1 (SP-3) (SEE SHEET 48 FOR DETAILS)

INSTALL R1-1 STOP SIGN WITH STREET NAME SIGNS D3-1 (SP-1) AND D3-1 (SP-3) (SEE SHEET 48 FOR DETAILS)

INSTALL R1-1 STOP SIGN WITH STREET NAME SIGNS D3-1 (SP-1) AND D3-1 (SP-3) (SEE SHEET 48 FOR DETAILS)



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

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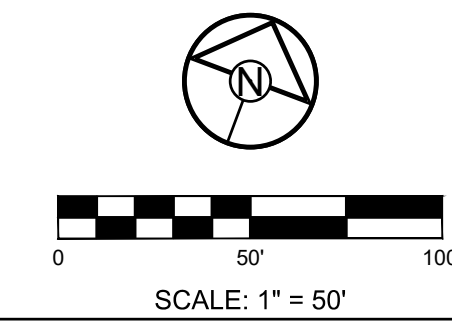
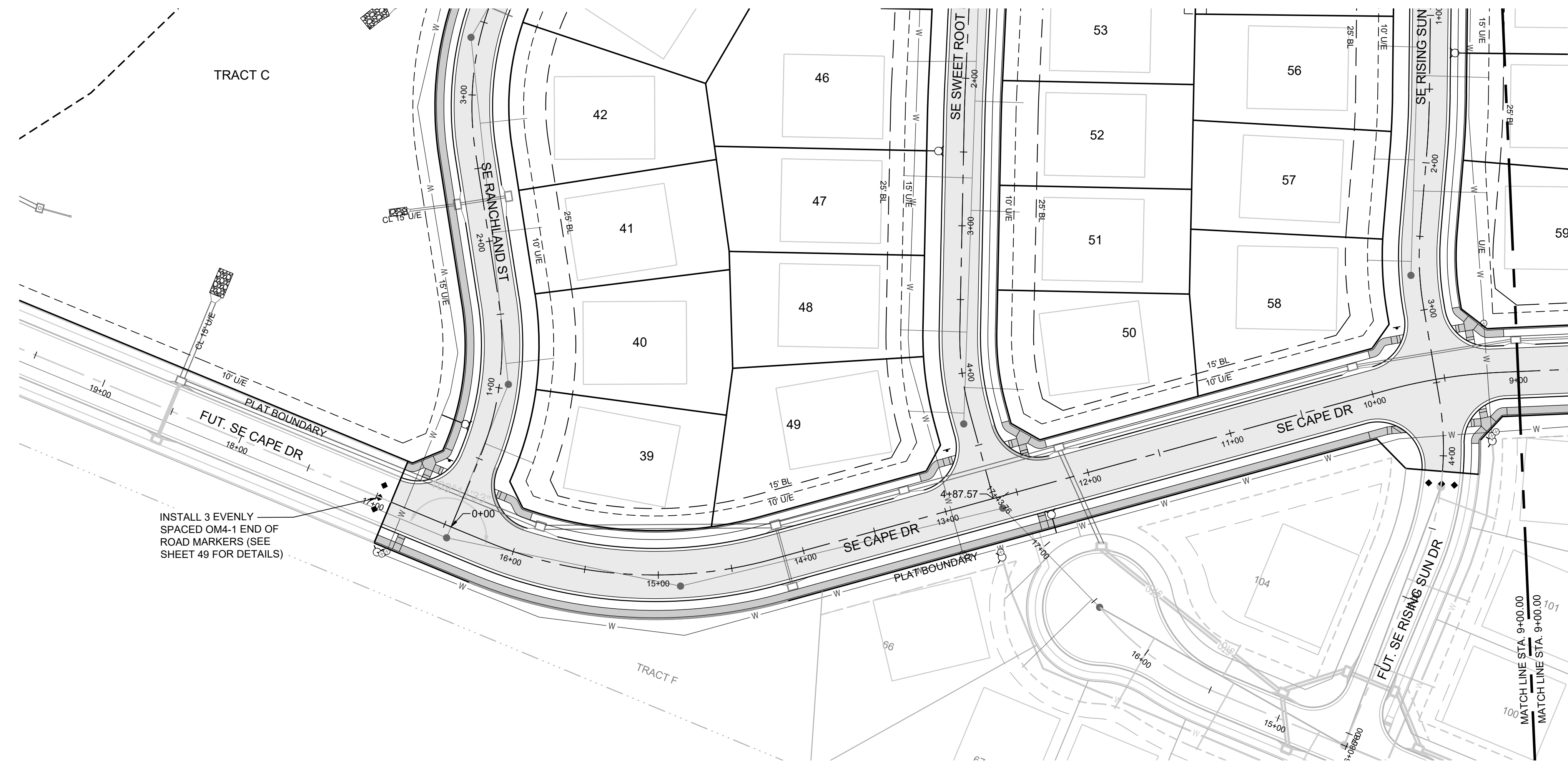
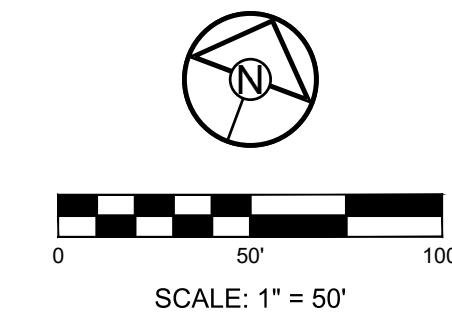
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PREPARED BY:  
  
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 2282024  
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 PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.

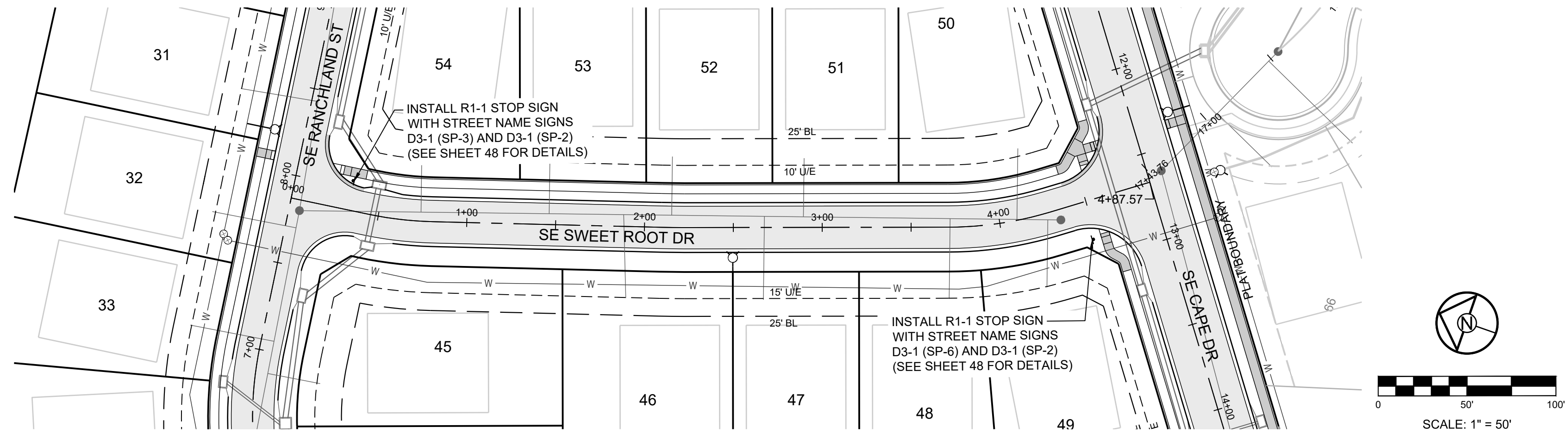
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DRAWN BY: NCA  
 CHECKED BY: JLL  
 DATE PREPARED: 11/05/2021  
 PROJ. NUMBER: 21-130

SE CAPE DR SIGNAGE PLAN

SHEET  
**44**



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

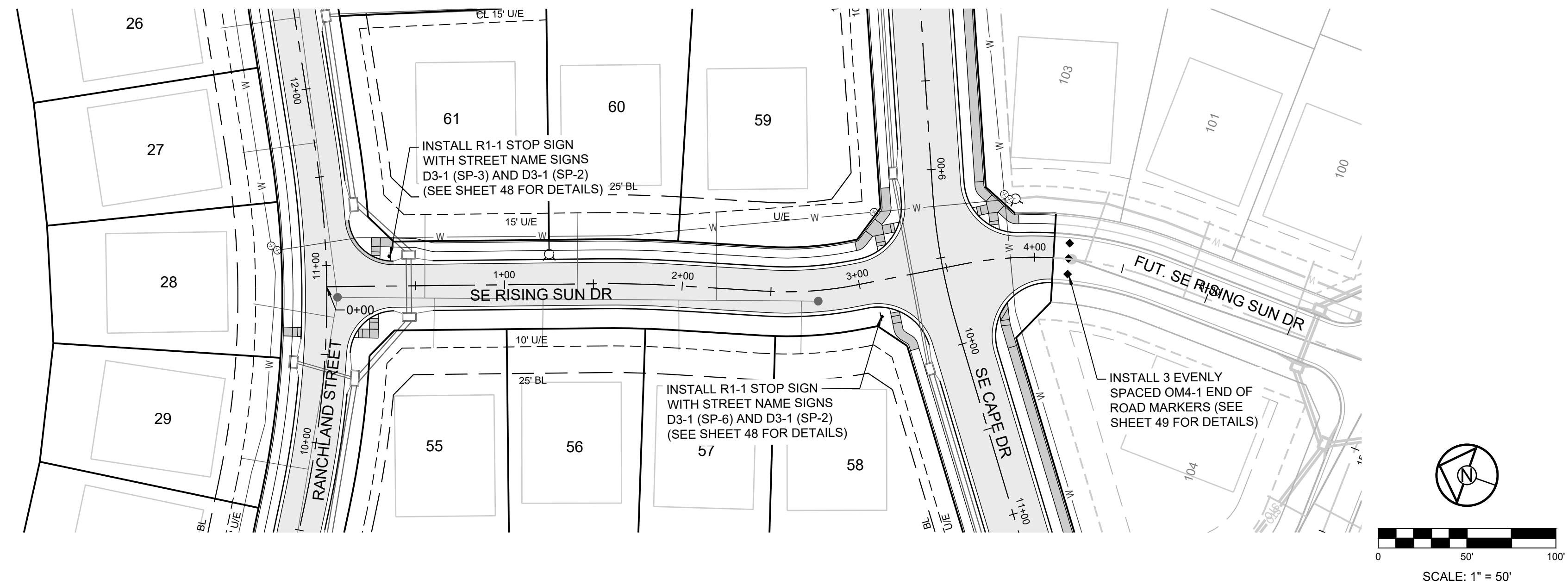
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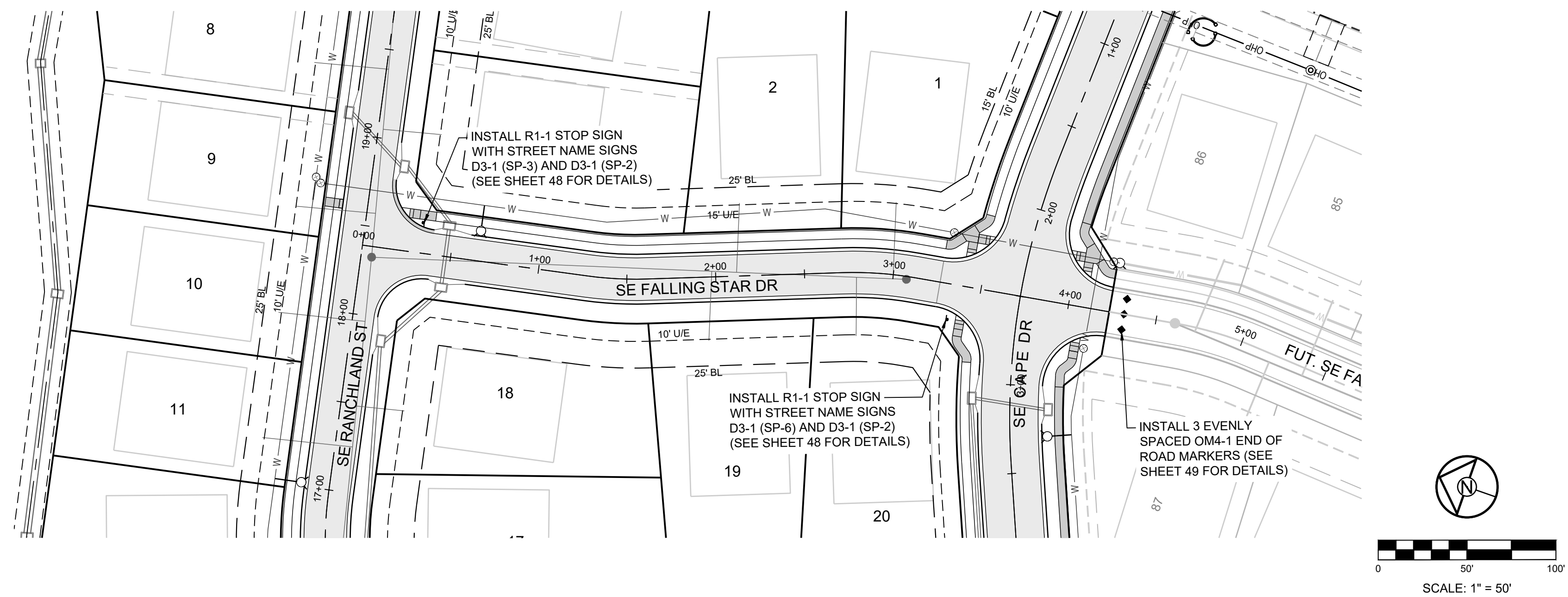
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PREPARED BY:



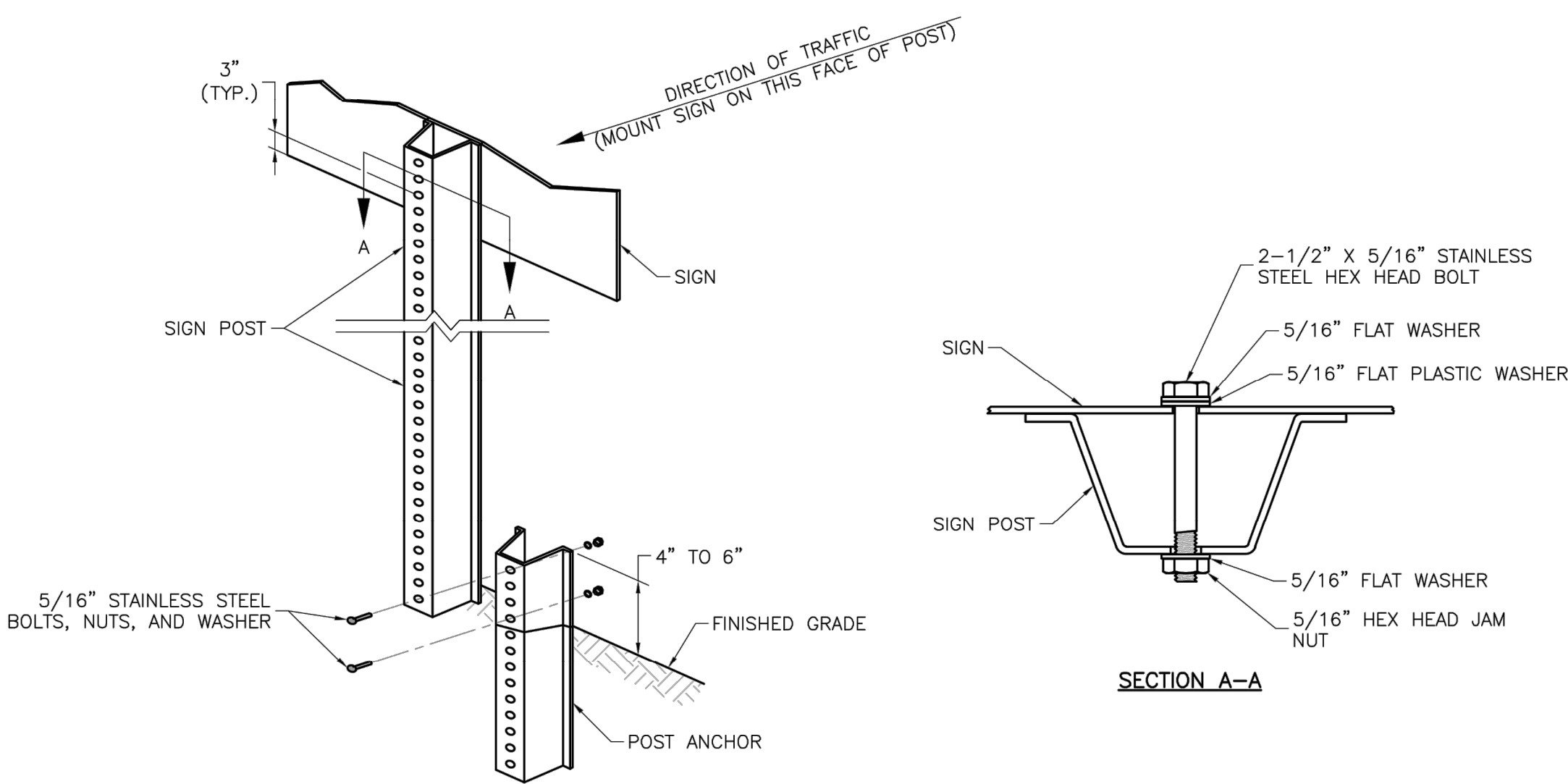
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SE SWEET ROOT  
DR RISING SUN  
DR FALLING  
STAR DR  
SIGNAGE PLAN

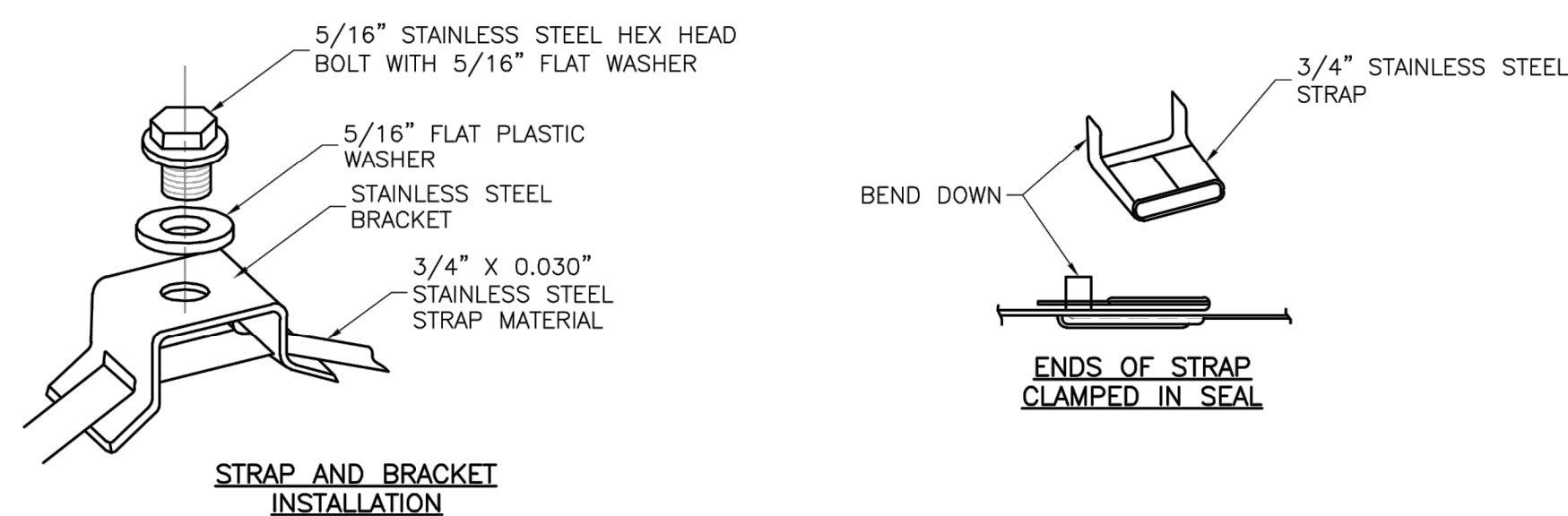
45



**U-STEEL POST DETAILS**

**NOTES:**

1. SPLICE SHALL BE POSITIONED ENTIRELY BETWEEN FINISHED GRADE LINE AND 18" ABOVE FINISHED GRADE LINE. ONLY ONE SPLICE WILL BE ALLOWED PER POST.
2. U-STEEL POST SHALL BE 3 LB./FT., GALVANIZED ACCORDING TO ASTM A123.
3. U-STEEL POST CAN BE USED FOR INSTALLATION OF SIGNS WITH AN AREA OF LESS THAN 2.5 SQUARE FEET.
4. ALL POSTS SHALL BE EMBEDDED A MINIMUM OF 3 FEET.



**STRAP TYPE SIGN SUPPORT DETAILS**

**NOTES:**

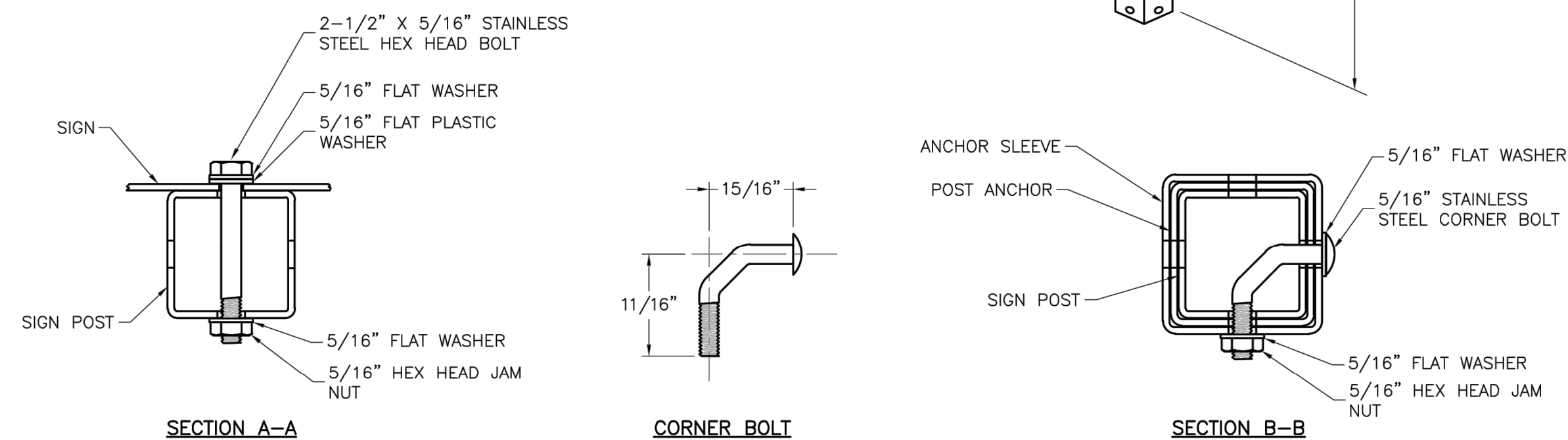
1. SIGNS ON METAL POLES SHALL BE ATTACHED WITH TWO BRACKETS AND STAINLESS STEEL BANDS.
2. HOLES IN SIGN FOR ATTACHMENT TO THE MOUNTING BRACKETS SHALL BE OFFSET A MINIMUM OF 2 INCHES FROM THE EDGE OF THE SIGN.
3. HOLES IN SIGN SHALL BE LOCATED SUCH THAT THE SIGN IS LEVEL.
4. ALL STRAP, BRACKET, AND SEAL MATERIALS SHOULD BE TYPE 201 STAINLESS STEEL.

**PERMANENT SIGNING GENERAL NOTES:**

1. ALL SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. THE CONTRACTOR IS RESPONSIBLE FOR AVOIDING ANY AND ALL UTILITIES WHEN INSTALLING SIGN POSTS, WHETHER THE UTILITY IS INDICATED ON THE PLANS OR NOT.
3. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF LEE'S SUMMIT.
4. THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL SIGN POSTS TO BE INSTALLED. THE CITY INSPECTOR SHALL INSPECT THE STAKING PRIOR TO INSTALLATION. MINOR RELOCATION TO AVOID CONFLICTS MAY BE ALLOWED WITH THE APPROVAL OF THE CITY TRAFFIC ENGINEER.
5. SIGNS SHOWN TO BE INSTALLED ON THE SIDE OF METAL POLES SHALL BE MOUNTED WITH STAINLESS STEEL STRAPS OR WING BRACKETS AS DETAILED. NO SIGNS ARE TO BE INSTALLED ON WOOD POLES. SEE TRAFFIC SIGNAL STANDARD DRAWINGS FOR THE INSTALLATION OF SIGNS ON MAST ARMS.
6. ALL POST MOUNTED SIGNS SHALL BE INSTALLED WITH BREAKAWAY ANCHORS ACCORDING TO THE STANDARD DRAWINGS.
7. ALL EXISTING SIGNS WILL BE USED IN PLACE DURING CONSTRUCTION AND PROTECTED FROM DAMAGE UNLESS OTHERWISE INDICATED IN THE PLANS. IF THE CONTRACTOR DAMAGES ANY EXISTING SIGN OR POSTS DURING CONSTRUCTION, THE CONTRACTOR WILL BE REQUIRED TO REPLACE THE DAMAGED MATERIALS WITH NEW SIGNS OR POSTS AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND STORING ANY SIGNS THAT ARE TO BE REINSTALLED ON THE PROJECT. ALL EQUIPMENT SHALL BE REINSTALLED IN GOOD CONDITION.
8. EXISTING PERMANENT SIGNS AND POSTS REMOVED BY THE CONTRACTOR FOR CONSTRUCTION PURPOSES WHICH ARE NOT TO BE REINSTALLED SHALL BE DELIVERED TO THE CITY'S PUBLIC WORKS MAINTENANCE FACILITY (1971 SE HAMBLER ROAD). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND STORING EQUIPMENT IN GOOD CONDITION AND IS FULLY RESPONSIBLE FOR THE EQUIPMENT UNTIL IT IS DELIVERED.
9. ALL STOP, YIELD, OR STREET NAME SIGNS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION FOR THE DRIVING PUBLIC. ALL STOP AND YIELD SIGNS REMOVED FOR CONSTRUCTION PURPOSES CAN BE TEMPORARILY ERECTED IN REFLECTORIZED DRUMS (NO LESS THAN 7 FEET ABOVE THE PAVEMENT SURFACE) UNTIL THEY CAN BE REINSTALLED. ANY TEMPORARY STOP OR YIELD SIGN INSTALLATION TO BE LEFT IN PLACE OVERNIGHT WILL REQUIRE PRIOR APPROVAL FROM THE CITY INSPECTOR.

**SQUARE STEEL POST INSTALLATION SEQUENCE:**

1. SIGN POST ANCHOR DRIVEN PARTIALLY INTO THE GROUND USING A DRIVE CAP WITH A SLEDGE OR POWER EQUIPMENT.
2. ANCHOR SLEEVE SLIPPED OVER ANCHOR AND DRIVE INTO THE GROUND TOGETHER WITH THE SIGN POST ANCHOR.
3. INSERT SIGN POST INTO THE POST ANCHOR AND BOLT IN PLACE.



**SQUARE STEEL POST DETAILS**

**NOTES:**

1. SQUARE STEEL SIGN POSTS AND BREAK-AWAY ANCHOR SHALL CONSIST OF THE FOLLOWING MATERIALS:  
SIGN POST - 14 GA. 2" X 2" SQUARE STEEL POST  
POST ANCHOR - 12 GA. 2 1/4" X 2 1/4" X 36" SQUARE STEEL POST  
ANCHOR SLEEVE - 12 GA. 2 1/2" X 2 1/2" X 18" SQUARE STEEL POST
2. 14 GA. POSTS MUST MEET A CERTIFIED MINIMUM YIELD STRENGTH OF 60,000 PSI.
3. IN ALL INSTALLATIONS THE FIRST HOLE ABOVE THE FINISHED GRADE LINE ON THE SIGN POST, ANCHOR, AND ANCHOR SLEEVE MUST BE IN LINE FOR THE INSERTION OF THE CORNER BOLT.
4. THE MAXIMUM AREA FOR ONE SIGN POST IS 9.0 SQUARE FEET. A SIGN OR COMBINATION OF SIGNS WITH AN AREA GREATER THAN 9.0 SQUARE FEET WILL REQUIRE TWO POSTS. ALSO, SIGNS WITH A WIDTH GREATER THAN OR EQUAL TO 48" (NOT INCLUDING 36" X 36" DIAMOND SHAPED SIGNS) WILL REQUIRE TWO POSTS.

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**Lee's Summit, Missouri**  
03/14/2024

**LEE'S SUMMIT**  
**MISSOURI**

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
POST DETAILS

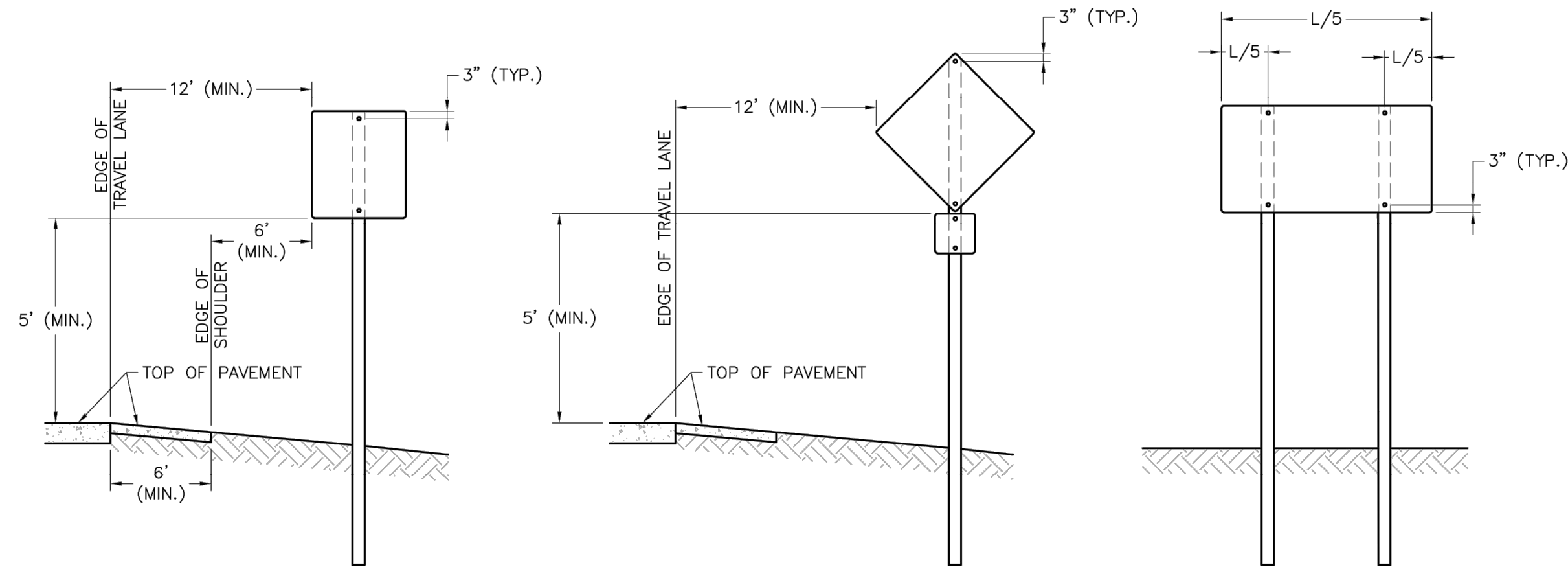
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Sheet Name: POST DETAILS  
Drawn By: BWC  
Checked By: MP  
Date: 01/2020  
Proj. #:

SN-2

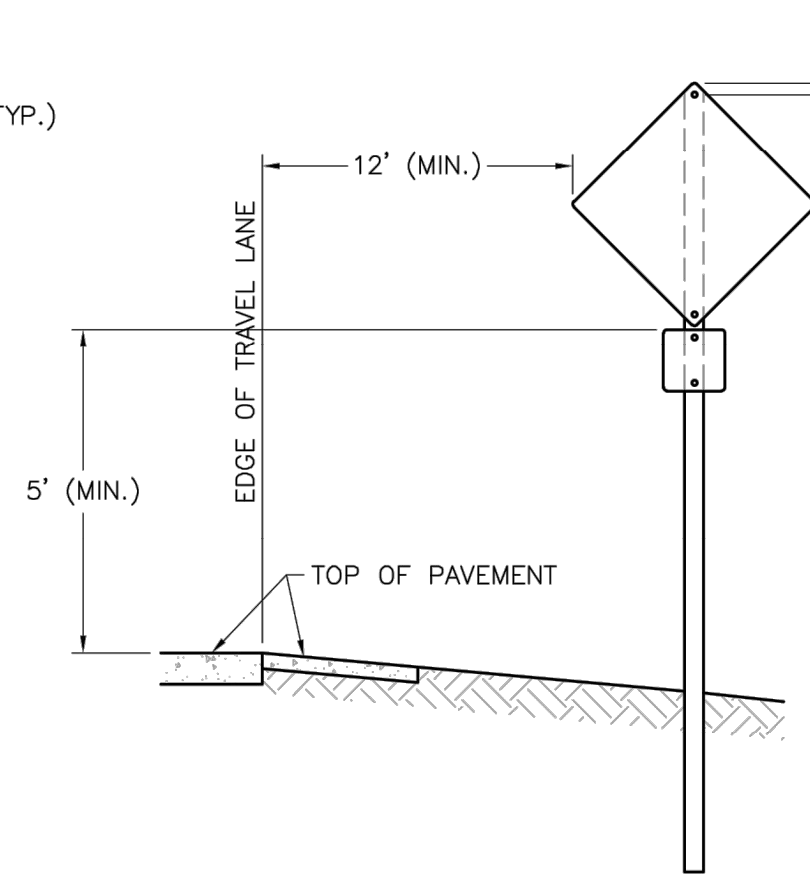
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SIGN POST  
DETAILS (SN-2)

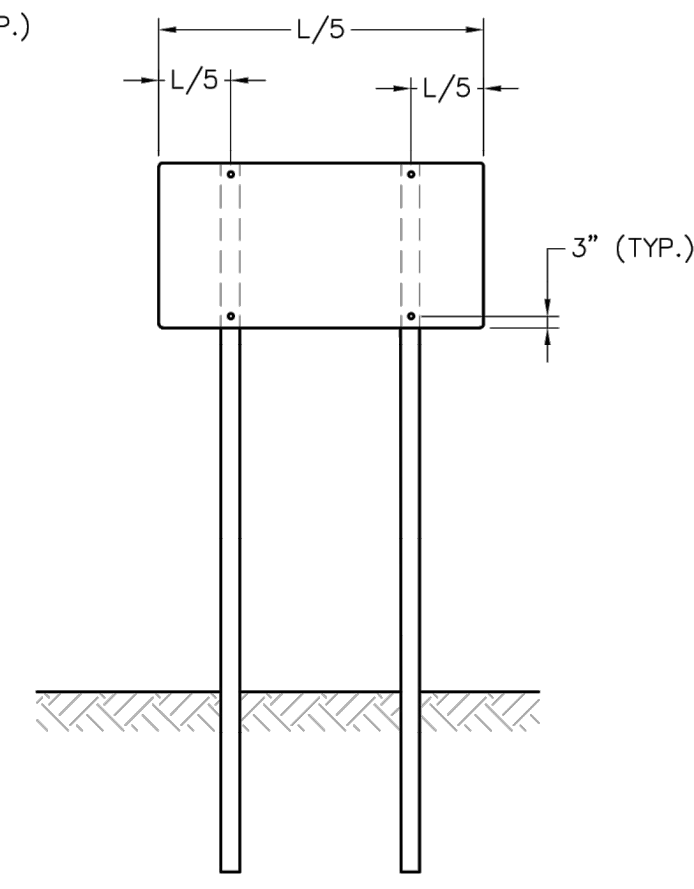
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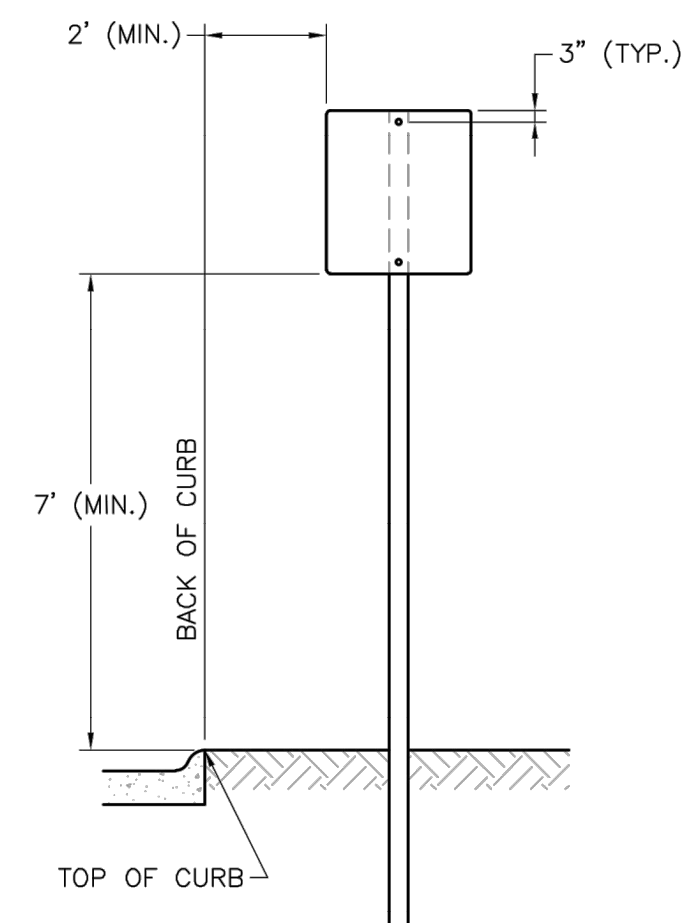
SIGN INSTALLATION FOR NON-CURBED STREET



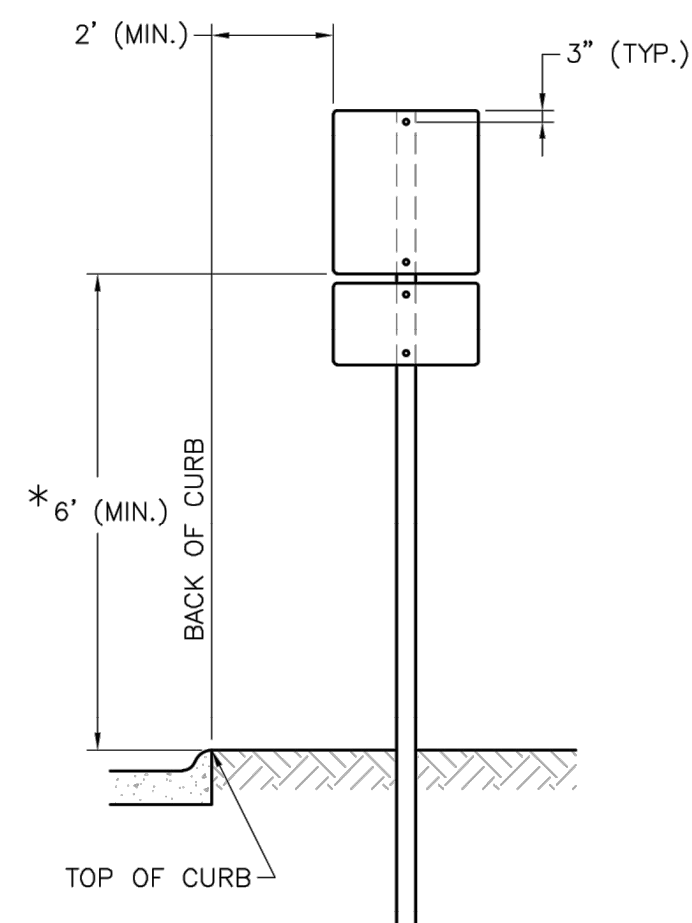
SIGN INSTALLATION WITH AUXILIARY SIGN FOR NON-CURBED STREET



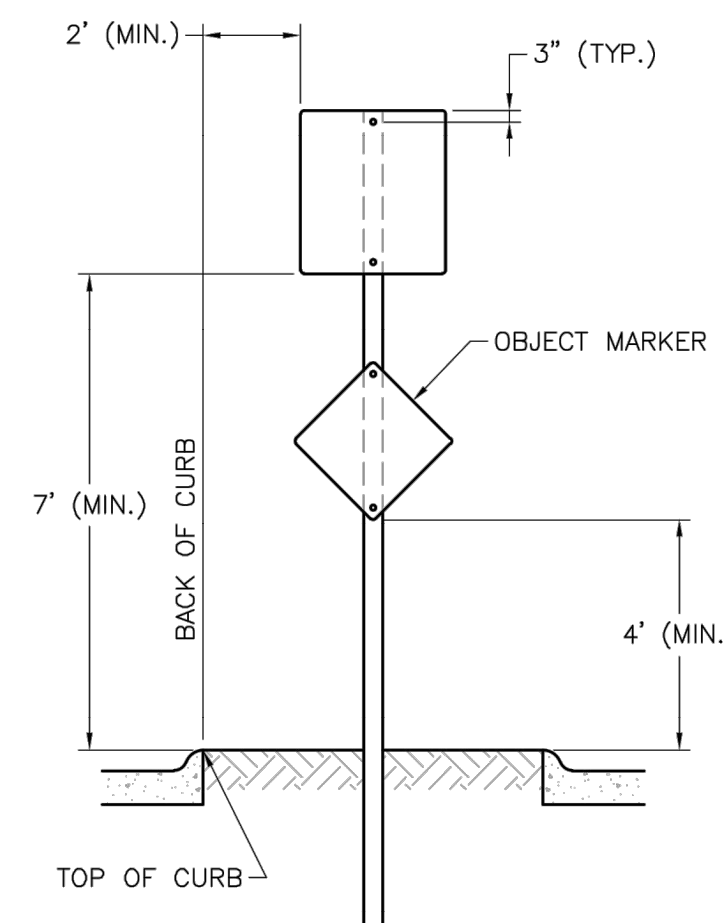
SIGN INSTALLATION WITH TWO SIGN POSTS



SIGN INSTALLATION FOR CURBED STREET



SIGN INSTALLATION WITH AUXILIARY SIGN FOR CURBED STREET

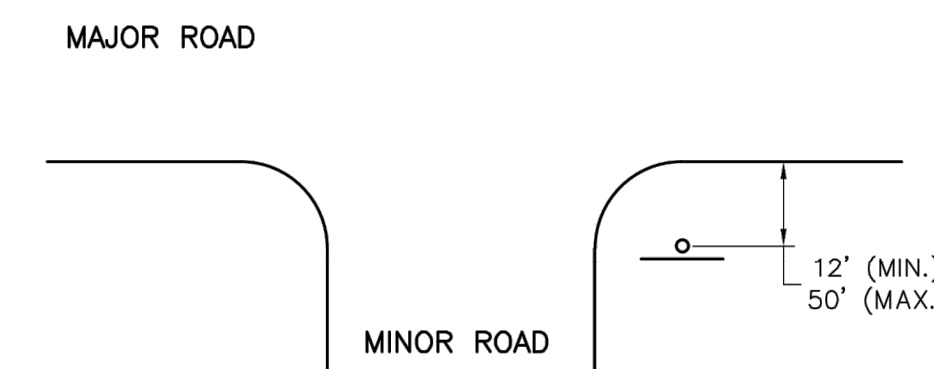
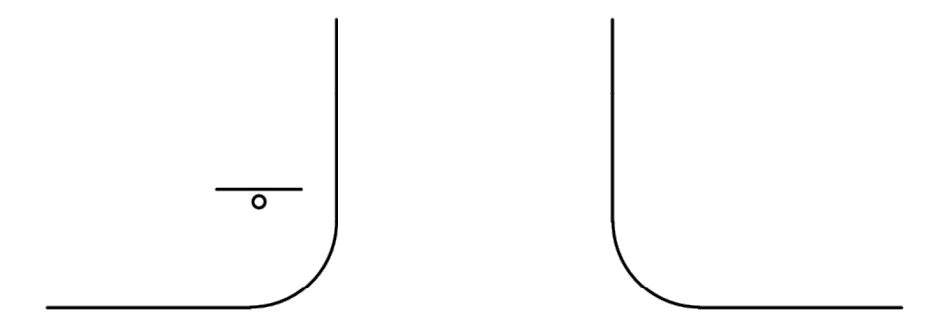


SIGN INSTALLATION FOR RAISED MEDIANS

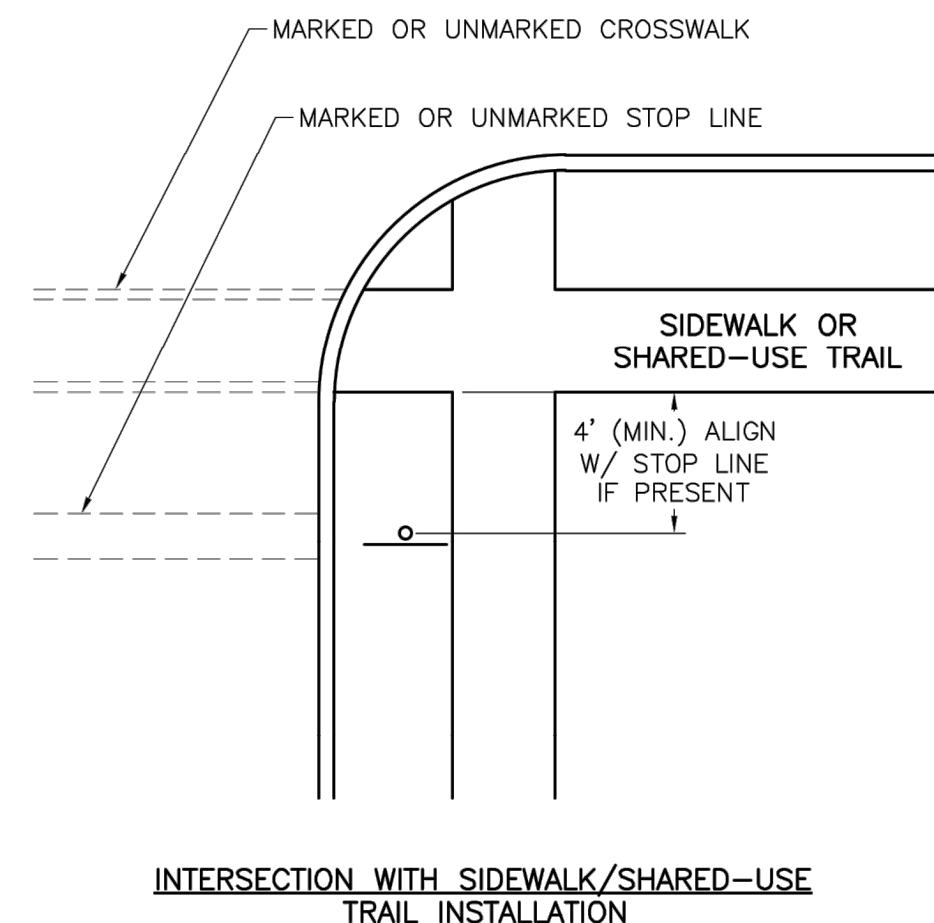
**SIGN MOUNTING DETAILS**

**NOTES:**

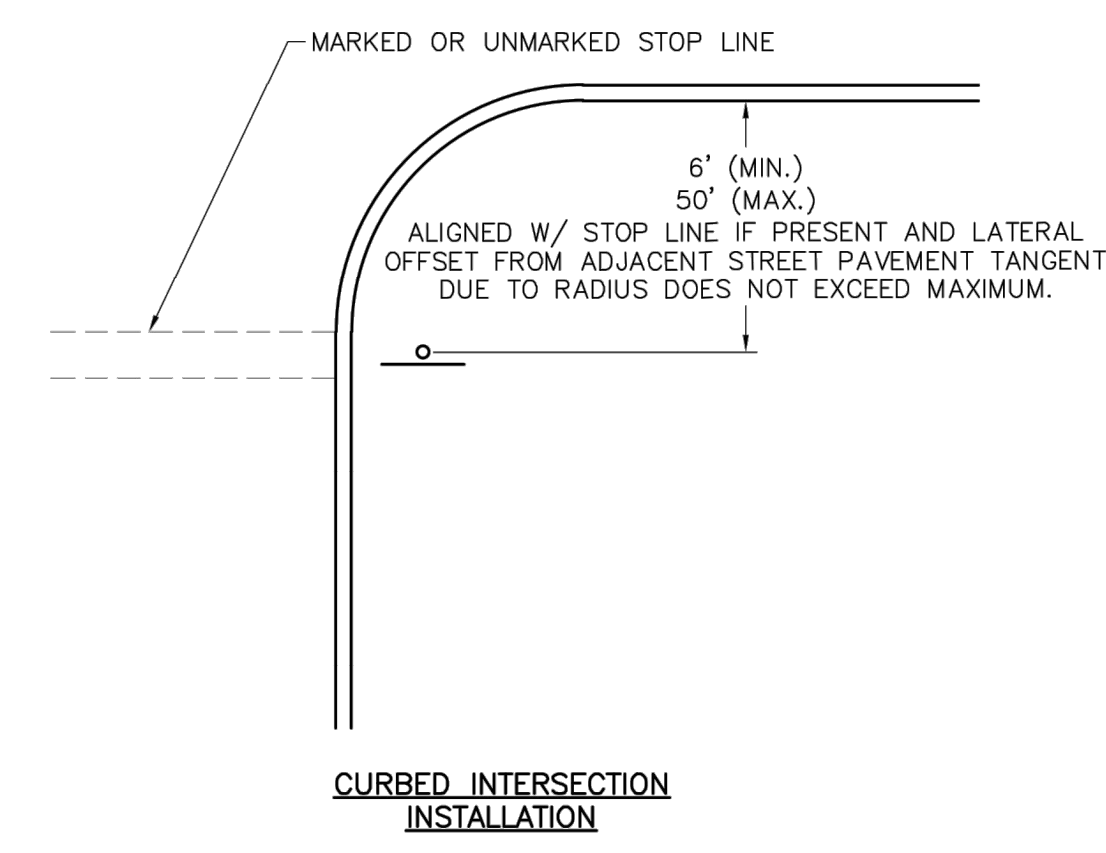
1. GENERALLY, THE SIGN MOUNTING HEIGHT SHOULD NOT BE MORE THAN 1" GREATER THAN THE MINIMUM MOUNTING HEIGHT.
2. \*THE HEIGHT TO THE BOTTOM OF A SIGN WHEN IT IS LOCATED IN A PEDESTRIAN WALKWAY OR EXTENDS INTO A WALKWAY SHALL BE A MINIMUM OF 80 INCHES ABOVE THE WALKWAY.



NON-CURBED INTERSECTION INSTALLATION

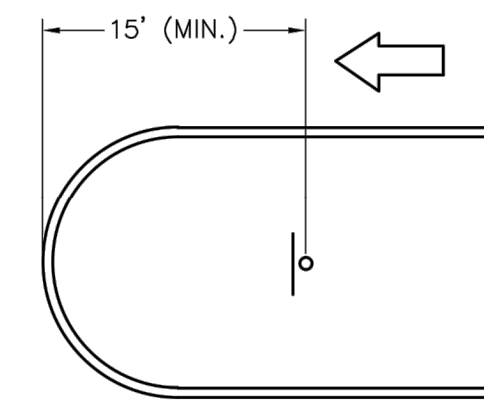


INTERSECTION WITH SIDEWALK/SHARED-USE TRAIL INSTALLATION



CURBED INTERSECTION INSTALLATION

**CONTROL SIGN LOCATION**



TYPICAL MEDIAN SIGN LOCATION

**MEDIAN SIGN LOCATION**

**NOTES:**

1. A 4" P.V.C. SLEEVE SHALL BE INSTALLED IN NEW CONCRETE MEDIANS AT EACH LOCATION WHERE A SIGN IS TO BE INSTALLED.
2. FOR EXISTING CONCRETE MEDIANS, A 4" HOLE SHALL BE CORED INTO THE CONCRETE.

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LEE'S SUMMIT  
MISSOURI

STANDARD DETAILS  
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 LEE'S SUMMIT, JACKSON COUNTY, MO  
 SIGN MOUNTING DETAILS

Drawn By: BWC  
 Checked By: MP  
 Date: 01/2020  
 Proj. #:

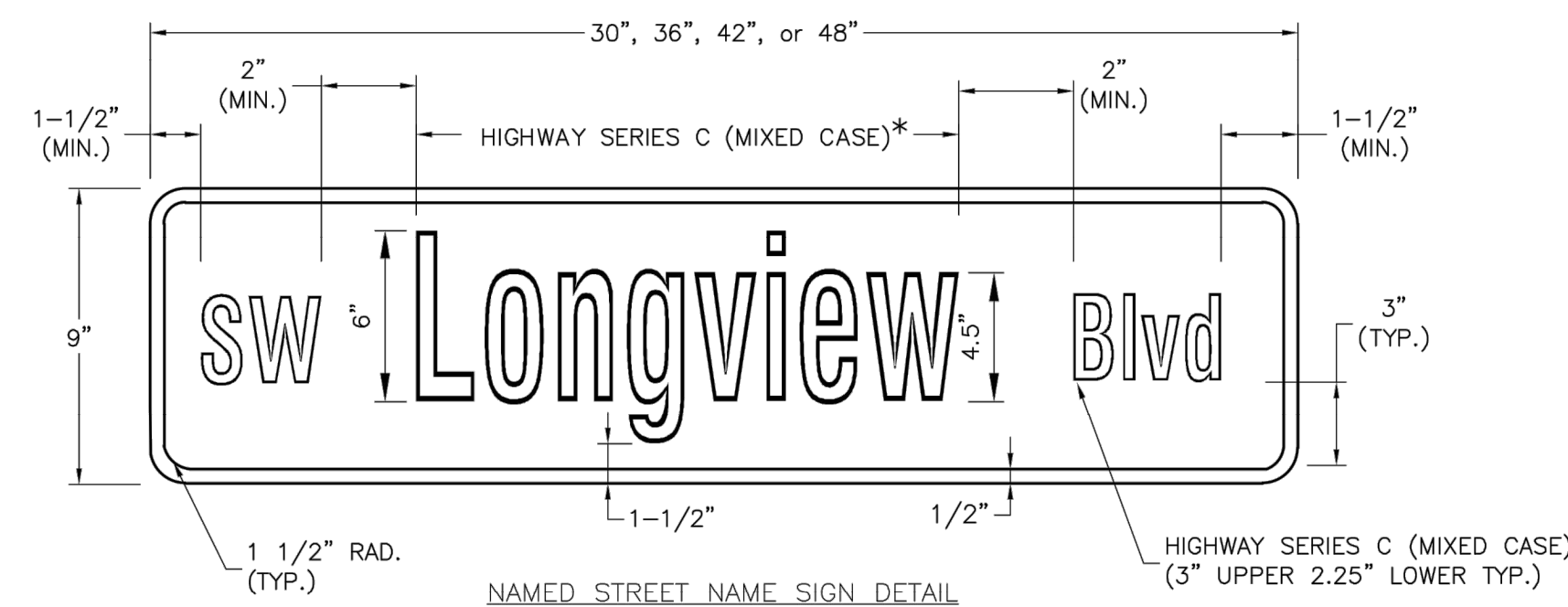
SN-1

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STANDARD ABBREVIATION LISTS

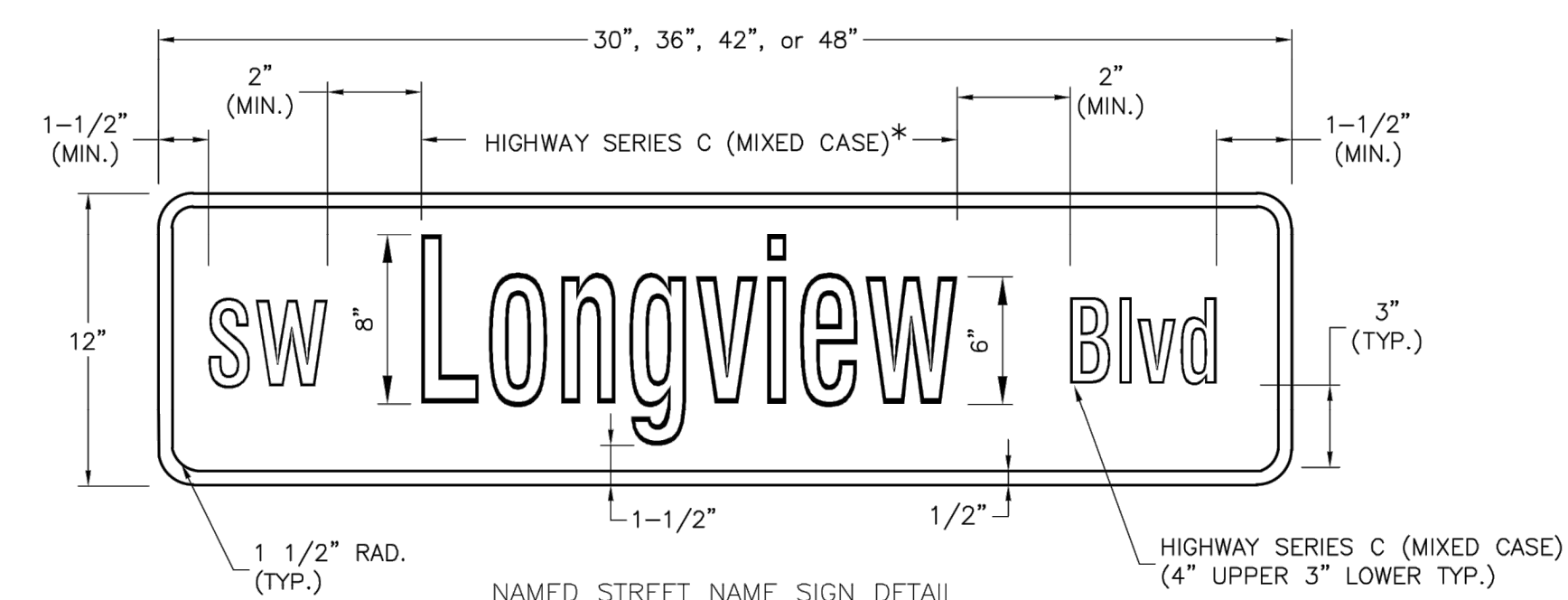
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BOULEVARD	Blvd
CIRCLE	Cir
CREEK	Cr
COURT	Ct
CROSSING	Xing
DRIVE	Dr
HIGHWAY	Hwy
LANE	Ln
PARKWAY	Pkwy
PLACE	Pl
ROAD	Rd
STREET	St
TERRACE	Ter
TRAIL	Trl
WAY	Way

NUMBERED STREETS	
FIRST	ST
SECOND	ND
THIRD	RD
FOURTH TO TENTH	TH



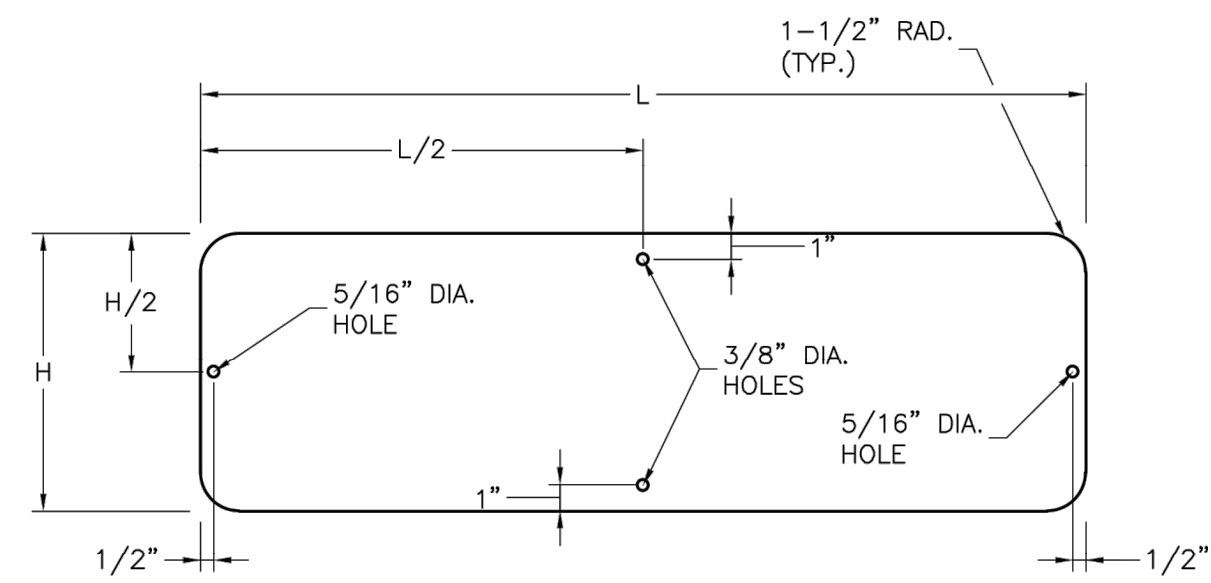
NAMED STREET NAME SIGN DETAIL  
\* USE HIGHWAY SERIES B (MIXED CASE) IN LIEU OF SERIES C IF NECESSARY TO FIT TEXT ON A 36" SIGN BLANK.

STREET NAME SIGN FACE DETAILS  
POST MOUNTED 2-LANE ALL SPEEDS AND MULTI-LANE UNDER 40 MPH

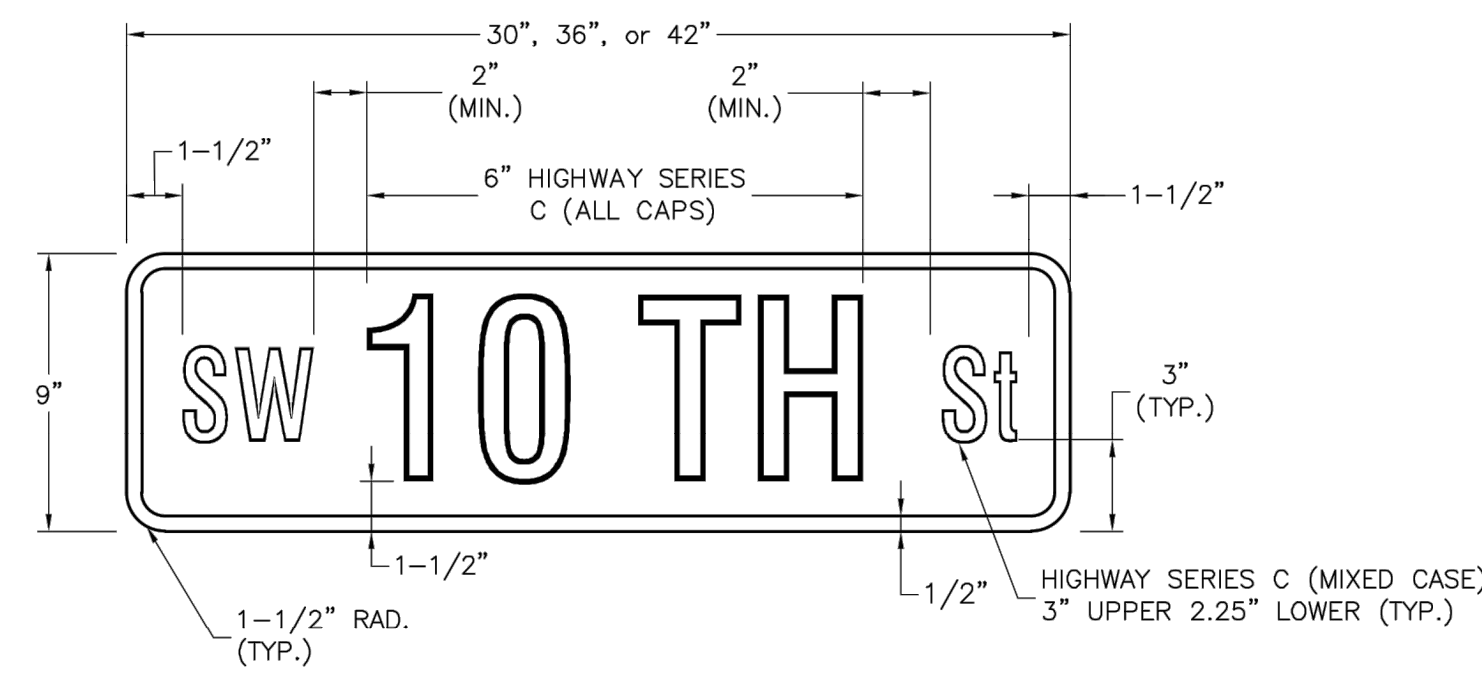


NAMED STREET NAME SIGN DETAIL  
\* USE HIGHWAY SERIES B (MIXED CASE) IN LIEU OF SERIES C IF NECESSARY TO FIT TEXT ON A 36" SIGN BLANK.

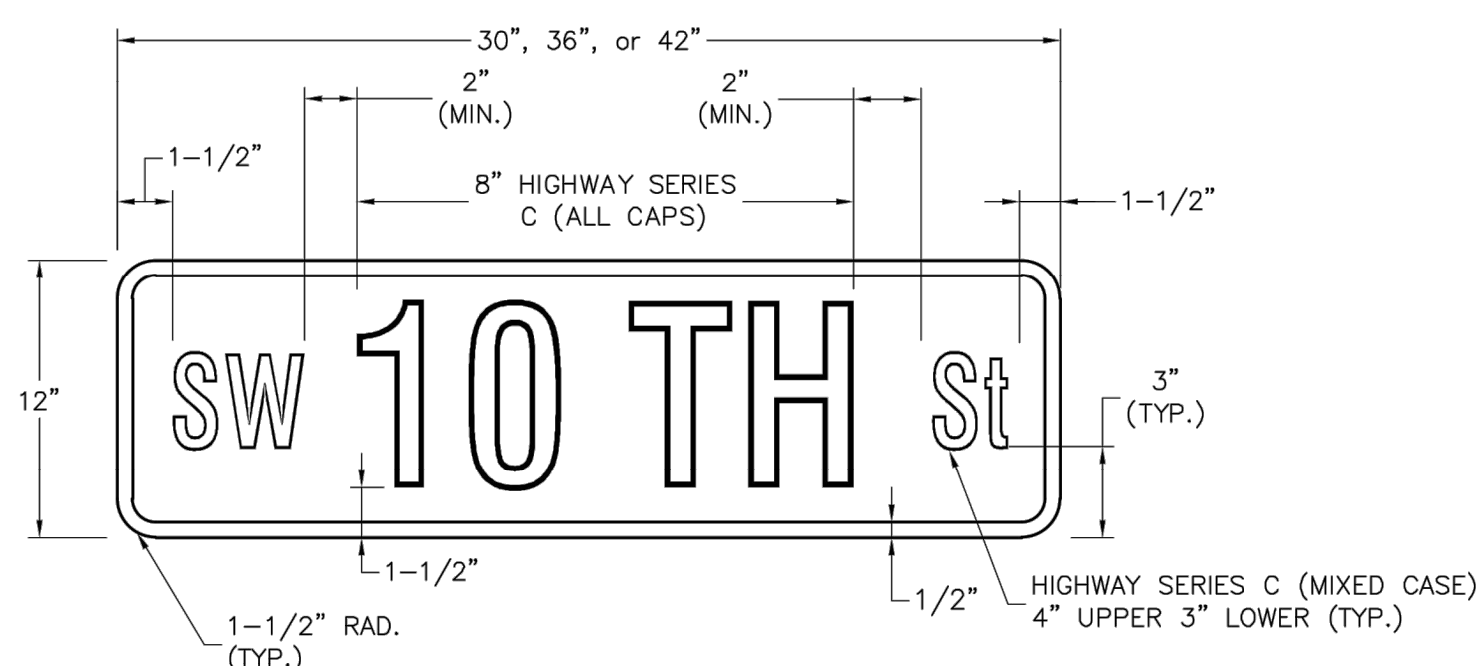
STREET NAME SIGN FACE DETAILS  
POST MOUNTED MULTI-LANE GREATER THAN 40 MPH



STREET NAME SIGN BLANK DETAILS  
FOR MOUNTING ON SQUARE STEEL POSTS



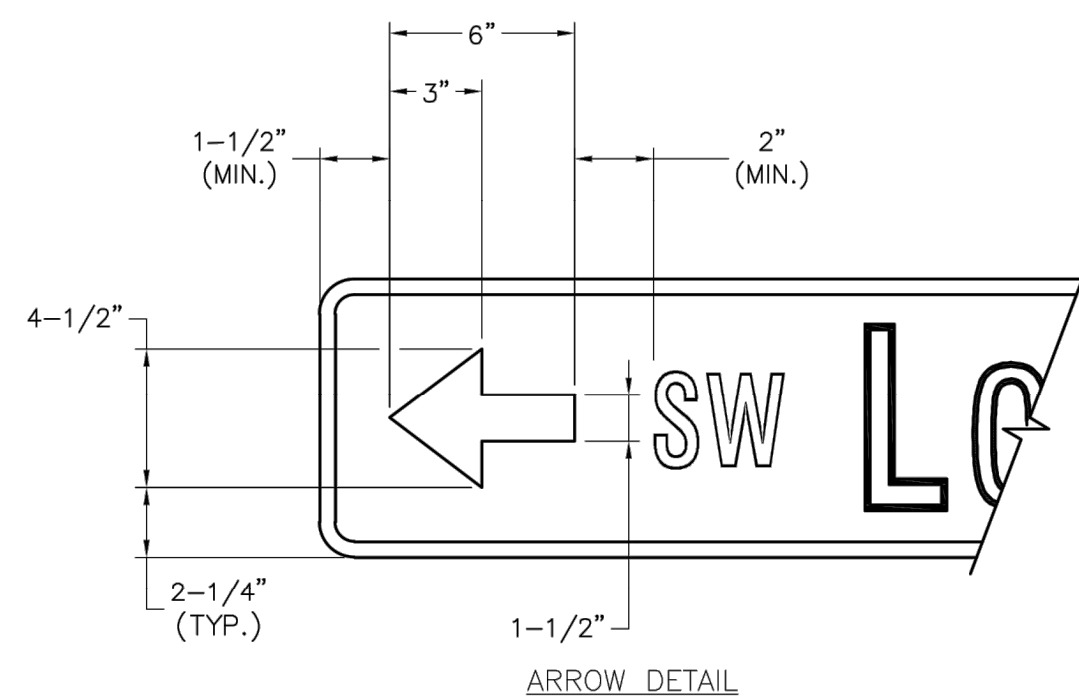
NUMBERED STREET NAME SIGN DETAIL  
STREET NAME SIGN FACE DETAILS  
POST MOUNTED 2-LANE ALL SPEEDS AND MULTI-LANE UNDER 40 MPH



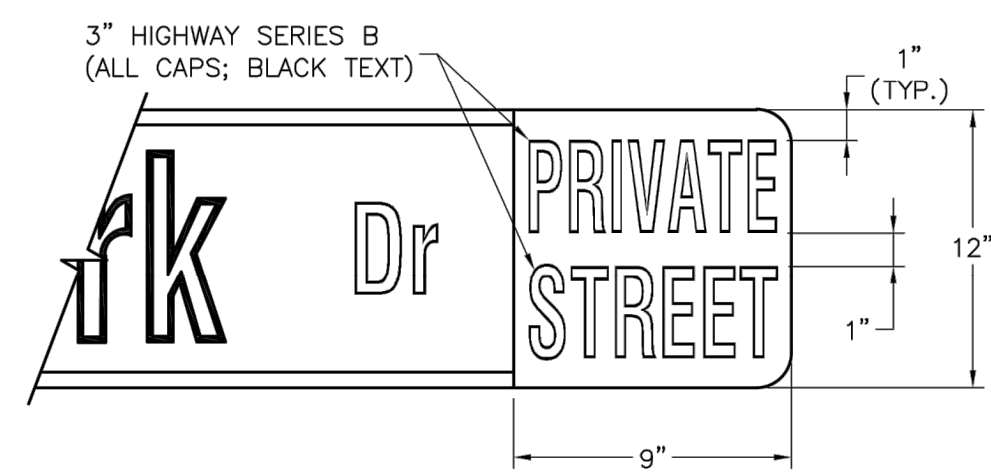
NUMBERED STREET NAME SIGN DETAIL  
STREET NAME SIGN FACE DETAILS  
POST MOUNTED MULTI-LANE GREATER THAN 40 MPH

NOTES:

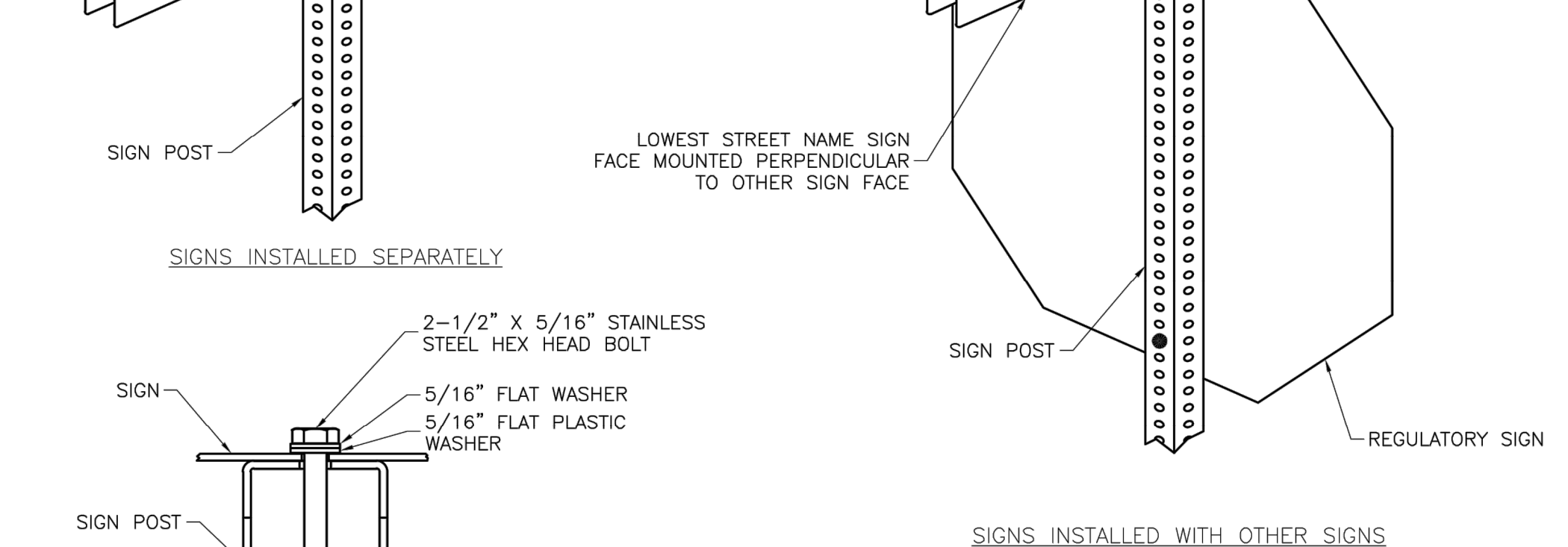
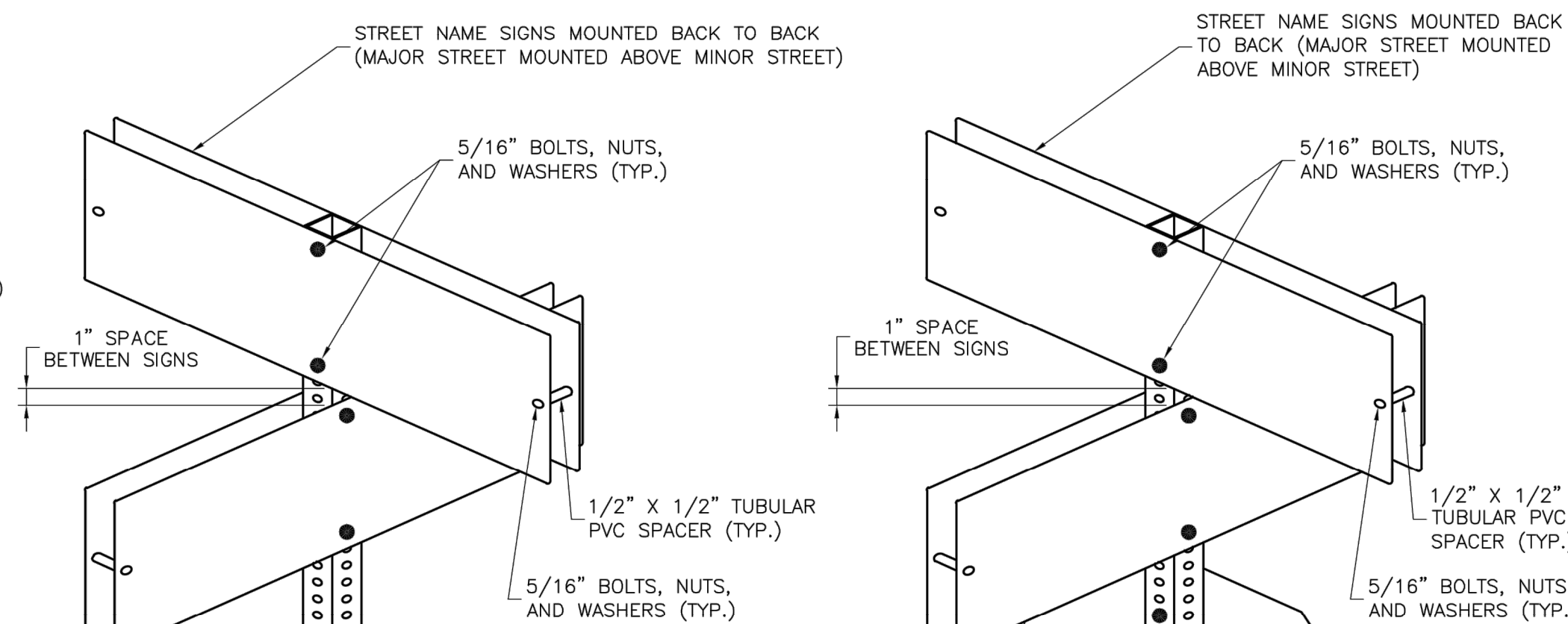
- FOR ALL STREET NAME SIGNS, THE LEGEND SHALL BE WHITE AND THE BACKGROUND SHALL BE GREEN.
- ARROWS SHALL BE ADDED TO STREET NAME SIGNS WHERE THE NAME OF A STREET CHANGES AT AN INTERSECTION. STREET NAME SIGNS WITH ARROWS ARE TO BE INSTALLED ON EACH SIDE OF THE INTERSECTION TO INDICATE THE CHANGE IN NAMES. ARROWS SHALL BE WHITE.
- THE "PRIVATE STREET" TAG SHOULD BE ADDED TO THE END OF STREET NAME SIGNS TO INDICATE WHERE A STREET THAT IS OUTSIDE THE RIGHT-OF-WAY INTERSECTS A PUBLIC STREET. THE BACKGROUND FOR THE "PRIVATE STREET" TAG SHALL BE YELLOW.
- MULTI-LANE IS DEFINED AS HAVING 2 LANES OR MORE IN EACH DIRECTION, EXCLUDING TURN LANES.
- OVERHEAD SIGN DETAILS MAY BE FOUND ON THE SIGNAL HEAD MOUNTING DETAIL.



ARROW DETAIL



PRIVATE STREET TAG DETAIL



SQUARE STEEL POST MOUNTING DETAILS

STREET NAME SIGN INVENTORY

SE Bailey Farms Pkwy	D3-1 (SP-1)	SE Ranchland St	D3-1 (SP-3)
SE Falling Star Dr	D3-1 (SP-2)	SE Ranson Rd	D3-1 (SP-5)
SE Sweet Root Dr	D3-1 (SP-2)	SE Bailey Rd	D3-1 (SP-5)
SE Rising Sun Dr	D3-1 (SP-2)	SE Cape Dr	D3-1 (SP-6)

**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review  
  
Development Services Department  
Lee's Summit, Missouri  
03/14/2024

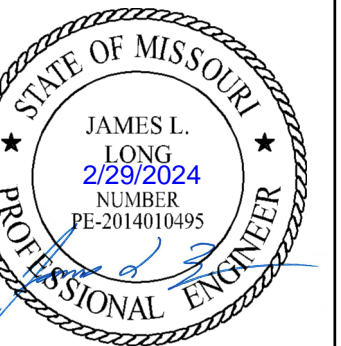
LEE'S SUMMIT MISSOURI

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
STREET NAME SIGN DETAILS

Project: LEE'S SUMMIT, MO  
Sheet Name: STREET NAME SIGN DETAILS  
Drawn By: BWC  
Checked By: MP  
Date: 01/2020  
Proj. #:

SN-3

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022
05/17/2022	City Comments dated 5/11/2022
10/27/2023	Revised Details to current 2023 Details
11/30/2023	Added "New City Requirements" note
2/28/2024	Storm 102-109 to HDPE and Inlets 1009 & 1014 - revised to IBS

STREET NAME SIGN DETAILS (SN-3)



ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
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Missouri State Certificates of Authority  
#E2002003690-F #LAC2001005237 #LS2002008659-F

**RELEASED FOR CONSTRUCTION**  
As Noted on Plan Review

Development Services Department  
Lee's Summit, Missouri  
03/14/2024

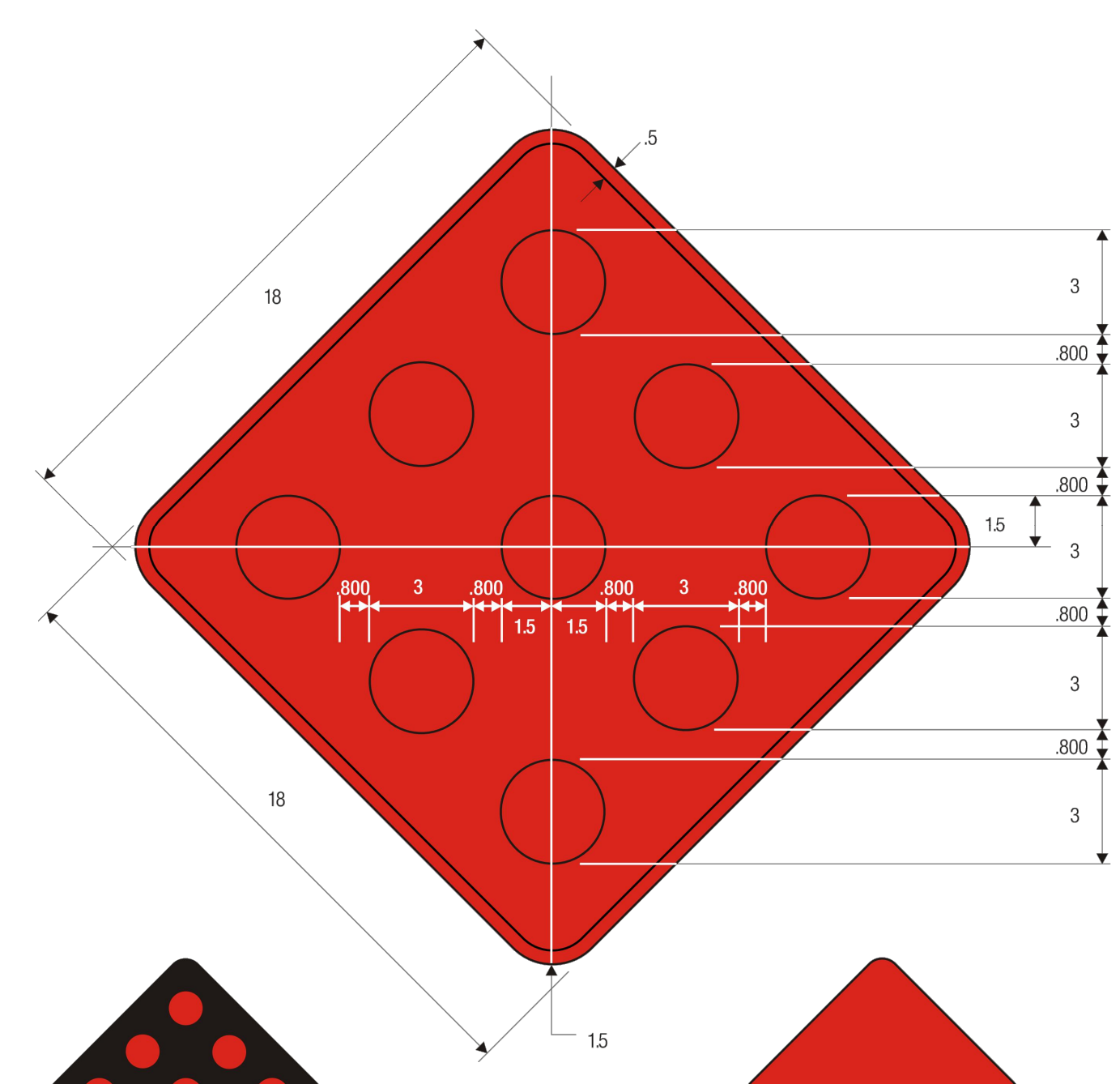


PREPARED BY:



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MANOR AT BAILEY FARMS, FIRST PLAT  
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LEE'S SUMMIT, MISSOURI

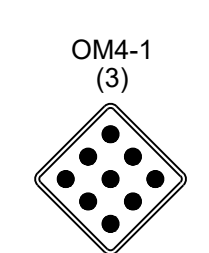


- OM4-1 COLORS:**  
REFLECTORS – RED (RETROREFLECTIVE)  
BACKGROUND – RED  
BORDER – RED (RETROREFLECTIVE)
- OM4-2 COLORS:**  
REFLECTORS – RED (RETROREFLECTIVE)  
BACKGROUND – BLACK
- OM4-3 COLORS:**  
SIGN PANEL – RED (RETROREFLECTIVE)

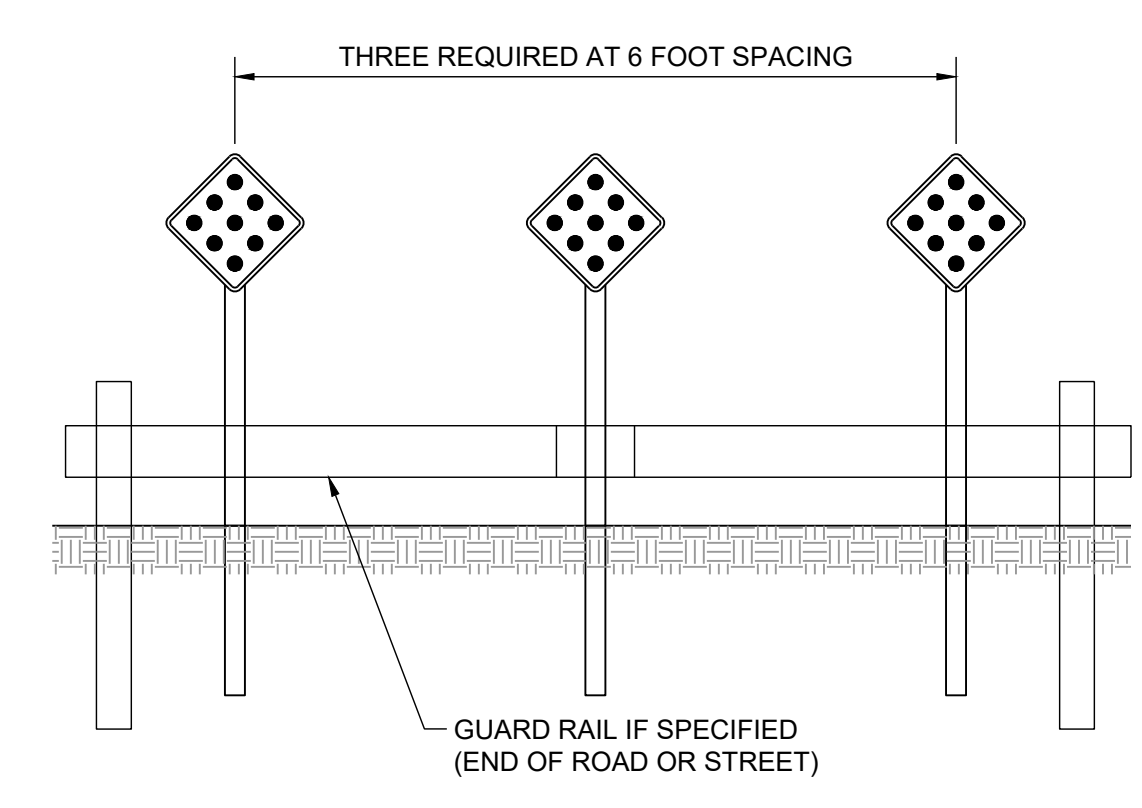
11-4



R1-1  
STOP SIGN



NOTE:  
THICKNESS OF FLAT SHEET FOR END OF ROAD  
MARKERS SHALL BE 0.0063". RED REFLECTORS  
ON RED BACKGROUND.



REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022
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2/28/2024	Storm 102-109 to HDRPE and Items 1009 & 1014 - revised to IBS

OM-4 SIGN  
DETAILS

SHEET  
**49**