

F:\2023\00001-00500\022-00393\40-design\AutoCAD\final\plans\Streets\OSTUA FDP\L_EXC01_02200393.dwg
 DATE: Dec 21, 2023 11:34am XREFS: L_PTBK_02200393 V_XTDF_02200393 V_XTDF_02200393
 USER: kwehls C_DRAWING_02200393 L_DWG01_02200393

1 HARDSCAPE DETAILS - EXISTING PAVEMENT



HARDSCAPE PAVEMENT LEGEND:

- PAVER #1 (SALVAGED RED 8X8 PAVERS)
- STREETScape PAVERS - PAVER #2 & PAVER #3 (SALVAGED RED AND BROWN 4X8 KANSAS CITY BRICK)
- GARDEN FORECOURT PLAZA PAVERS - PAVER #2 (SALVAGED RED 4X8 KANSAS CITY BRICK)

NOTE: REFERENCE MATERIAL SCHEDULE (L004) FOR MORE INFORMATION ON SALVAGED PAVERS.

**PL2023305
PRCOM20235733**

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024

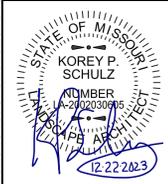
REV NO.	DATE	REVISIONS DESCRIPTION	ADDENDUM #
1	12-22-2023		

BY	REVISIONS DESCRIPTION

HARDSCAPE DETAILS - EXISTING PAVEMENT
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

SHEET
L300

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

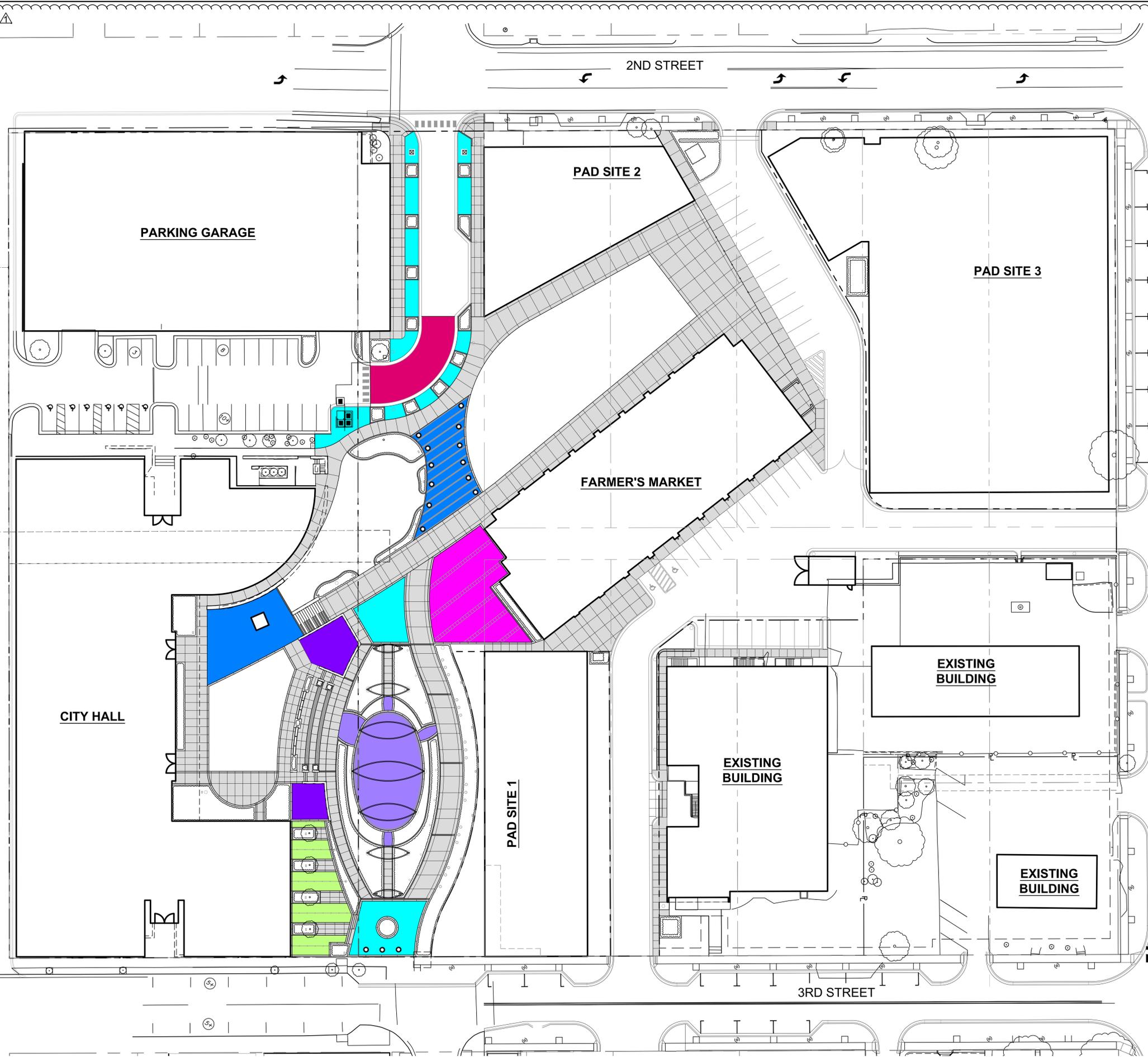


REV NO.	DATE	REVISIONS DESCRIPTION	ADDENDUM #
1	12-22-2023		

REV NO.	DATE	REVISIONS DESCRIPTION	ADDENDUM #
1	12-22-2023		

2023

F:\2023\00001-00500\022-00393\40-design\AutoCAD\final\plans\Streets\OSTU\HSC_DTL01_02200393.dwg USER: kwehls
 DATE: Dec 21, 2023 11:35am XREFS: L_PTBK_02200393 DET-TYPICAL-HSC_02200393 L_PBASE_02200393 V_XBNDY_02200393 L_PPATT_02200393 C_PBASE_ROAD_02200393 L_PBASE_RDWY_02200393



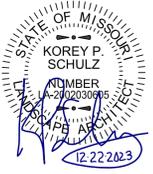
HARDSCAPE PAVEMENT LEGEND:

- OVERLOOK PAVERS; REF: HARDSCAPE PLANS & 3/L303 (SALVAGED 8X8 PAVERS)
- STREETSCAPE PAVERS & GARDEN FORECOURT PLAZA PAVERS; REF: HARDSCAPE PLANS & L304 (SALVAGED KANSAS CITY BRICK)
- MARKET ENTRY PAVERS; REF: HARDSCAPE PLANS & 4/L302 AND CLOCK TOWER PLAZA PAVERS; REF: HARDSCAPE PLANS & 3/L302 (NEW KANSAS CITY BRICK)
- WICKET GARDEN PAVERS; REF: HARDSCAPE PLANS & 1/L302 (NEW CONCRETE PAVERS)
- MARKET PLAZA PAVERS; REF: HARDSCAPE PLANS & 2/L302 (NEW CONCRETE PAVERS)
- CITY LOUNGE PAVERS; REF: HARDSCAPE PLANS & 3/L303 (NEW CONCRETE PAVERS)
- NEW GRAY CONCRETE PAVING; REF: HARDSCAPE PLANS & 1 & 2/L303
- NEW INTEGRAL COLOR CONCRETE PAVING; REF: HARDSCAPE PLANS & 2/L303

NOTE: REFERENCE MATERIAL SCHEDULE (L004) FOR NEW AND SALVAGED PAVER COLORS. REFERENCE L200 FOR PEDESTRIAN OR VEHICULAR RATED AREAS

olsson studio

OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com



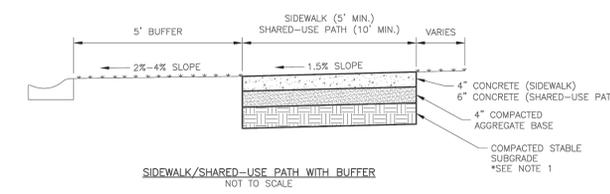
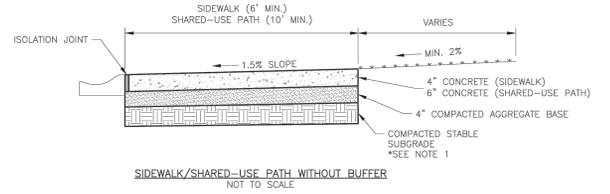
REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	

HARDSCAPE DETAILS - PAVEMENT	2023
LEE'S SUMMIT DOWNTOWN MARKET GREEN STREET - 2ND STREET TO 3RD STREET	
LEE'S SUMMIT, MISSOURI	

drawn by: TS/TGEW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL01_02200393
 date: 12/22/2023

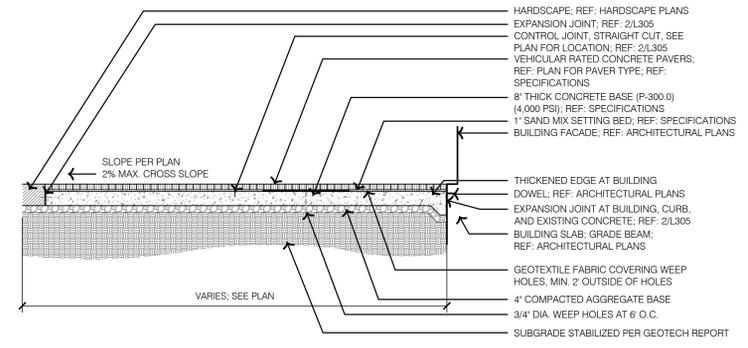


1 HARDSCAPE DETAILS - PAVEMENT



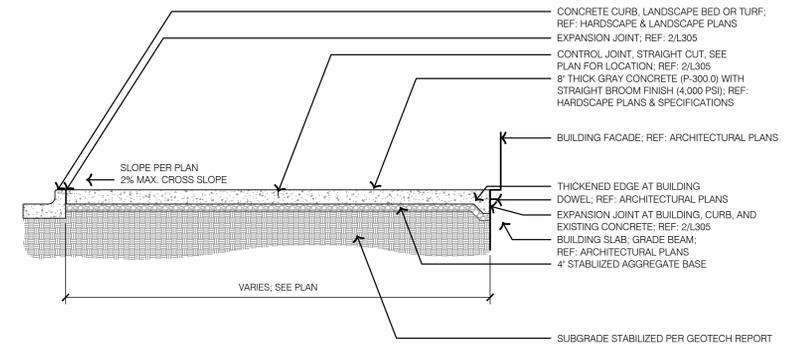
- GENERAL NOTES:**
- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
 - 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
 - KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS/SHARED-USE PATHS.
 - ALL SIDEWALK/SHARED-USE PATHS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
 - AN ISOLATION JOINT SHALL BE PLACED AT A MAXIMUM OF 100 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK/SHARED-USE PATHS, BUT NO GREATER THAN 10 FT.
 - AN ISOLATION JOINT SHALL BE PLACED WHERE THE SIDEWALK/SHARED-USE PATHS MEETS A RESIDENTIAL DRIVEWAY.
 - SHARED-USE PATHS WIDTH SHALL BE 10 FT. WIDE.
 - SIDEWALK/SHARED-USE PATHS FINISHING SHALL BE FULL BROOM FINISH OR AS DIRECTED BY CITY INSPECTOR.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

5 TYPICAL LEE'S SUMMIT PUBLIC SIDEWALK DETAILS



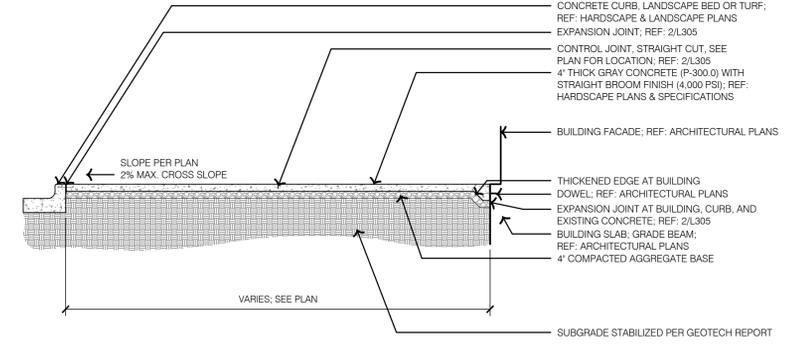
4 TYPICAL HEAVY DUTY CONCRETE PAVERS

3 TYPICAL CONCRETE PAVERS



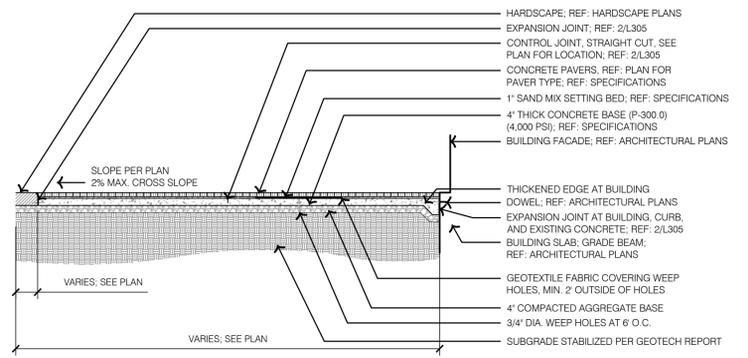
- NOTES:**
- EXPANSION JOINTS SHALL BE PLACED AT RADIAL POINTS AND WHERE SIDEWALKS & PEDESTRIAN CONCRETE PAVING ABUTS CONCRETE CURB, DRIVEWAYS AND SIMILAR STRUCTURES. JOINTS TO BE PLACED AT INTERVALS WITH NOT MORE THAN 100' CENTERS.
 - THE PEDESTRIAN CONCRETE PAVING SURFACE SHALL BE MARKED OFF AS SHOWN ON PLANS BY CONTROL JOINTS.
 - BROOM FINISH SHALL BE PERPENDICULAR TO BUILDING FACADE.
 - GRAY CONCRETE SHALL BE PER SPECIFICATIONS.

2 TYPICAL HEAVY DUTY GRAY AND INTEGRAL COLOR CONCRETE



- NOTES:**
- EXPANSION JOINTS SHALL BE PLACED AT RADIAL POINTS AND WHERE SIDEWALKS & PEDESTRIAN CONCRETE PAVING ABUTS CONCRETE CURB, DRIVEWAYS AND SIMILAR STRUCTURES. JOINTS TO BE PLACED AT INTERVALS WITH NOT MORE THAN 100' CENTERS.
 - THE PEDESTRIAN CONCRETE PAVING SURFACE SHALL BE MARKED OFF AS SHOWN ON PLANS BY CONTROL JOINTS.
 - BROOM FINISH SHALL BE PERPENDICULAR TO BUILDING FACADE.
 - GRAY CONCRETE SHALL BE PER SPECIFICATIONS.

1 TYPICAL GRAY CONCRETE



RELEASED FOR CONSTRUCTION
 Development Services Department
 Lee's Summit, Missouri
 9/24/2024

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 NO. CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844
 olsson-studio.com

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDED

HARDSCAPE DETAILS - PAVEMENT

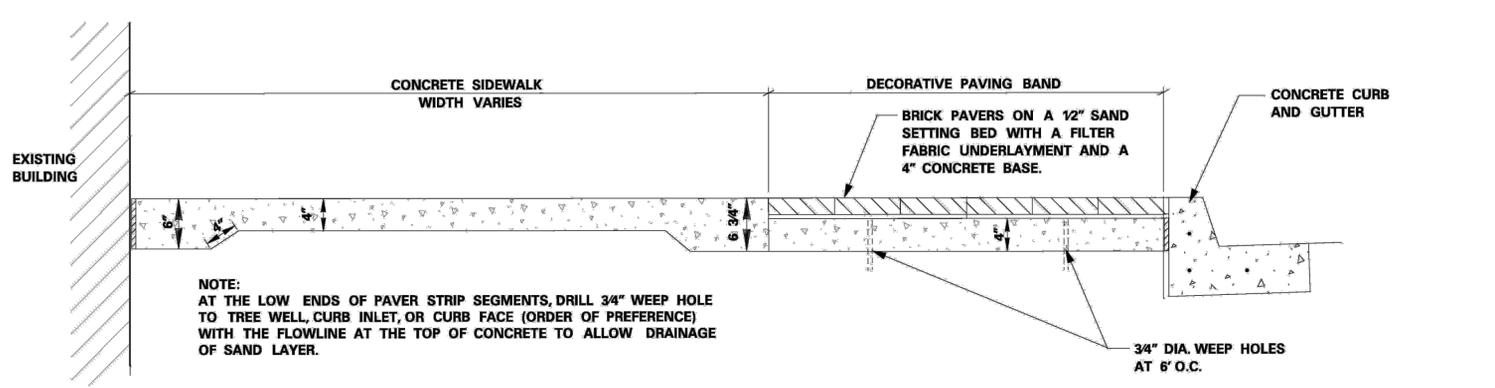
LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

2023

drawn by: TST/GJEW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing title: HSC_DTL01_02200393
 date: 12/22/2023

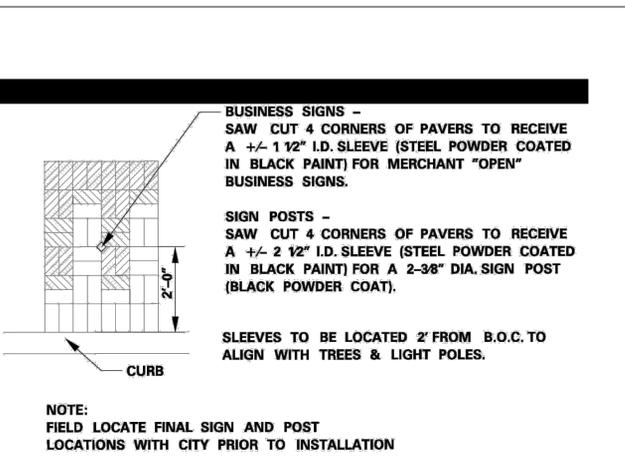
SHEET
 L303

DWG: F:\2023\00001-00500\022-00393\40-Design\AutoCAD\final\plans\Sheet\OSTU\HSC-DTL01_02200393.dwg
 DATE: Jan 09, 2024 6:26pm
 XREFS: L_PTBAL_02200393 DET-TYPICAL-HSC-02200393 L_PBASE_02200393 V_XBNDY_02200393 L_PPATT_02200393 C_PBASE_ROAD_02200393 L_PBASE_RDWY_02200393
 USER: tsjgiew
 C:\XBASE_02200393

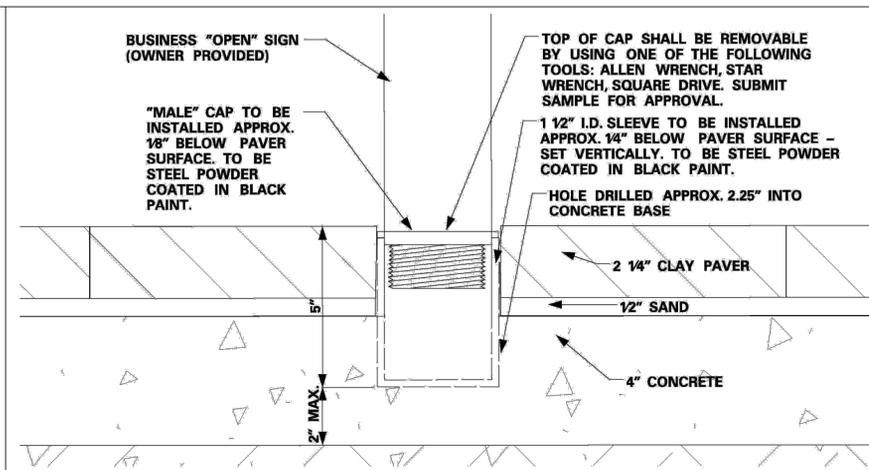


6 TYPICAL CLAY PAVER SECTION

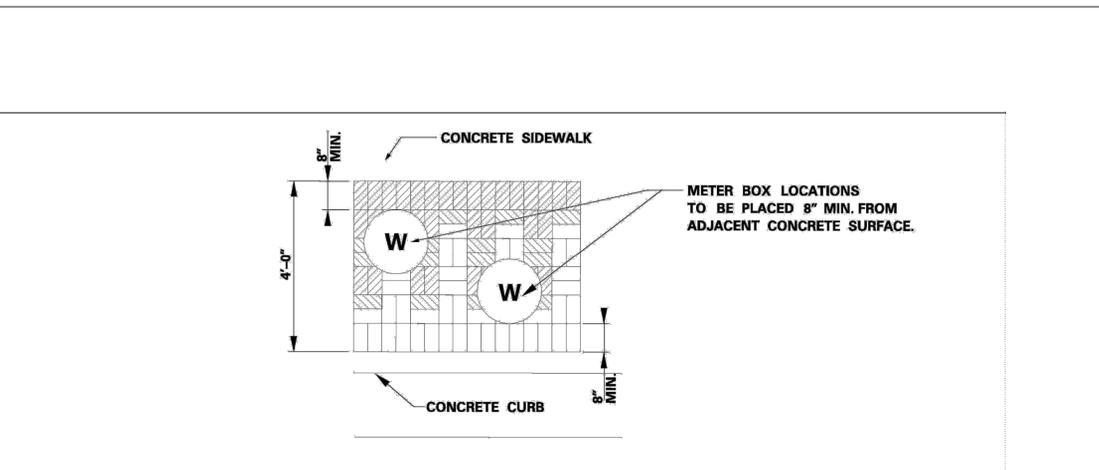
- GENERAL STREETSCAPE NOTES:**
1. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES BEFORE COMMENCING WORK. SHOULD A GRADE DIFFERENCE, UTILITY CONFLICT, OR OBSTRUCTION TO PLANTING OPERATIONS OCCUR, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK IN THE AREA. THE CONTRACTOR SHALL CONDUCT HIS WORK SO AS TO PREVENT INTERRUPTION OF UTILITY SERVICES OR DAMAGE TO THEM. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURES TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES AND STRUCTURES.
 2. ALL PLANT MATERIALS DELIVERED TO THE SITE FOR APPROVAL AND INSTALLATION SHALL BE IDENTIFIED AND TAGGED, SO AS TO INSURE THE PLANTS PROVIDED ARE AS SPECIFIED AND APPROVED FOR USDA HARDINESS ZONE 5b.
 3. PLANTING BED PREPARATION: INCORPORATE AN APPROVED COMPOSTED MATERIAL INTO EXISTING SOIL FOR ALL TREE PLANTING BEDS (AS INDICATED ON PLANS) BY PLACING A MINIMUM DEPTH OF 3" ORGANIC MATERIAL OVER ALL PLANTING AREAS, AND THOROUGHLY MIXING ORGANIC MATERIAL INTO EXISTING SOIL BY ROTOTILLING OR OTHER APPROVED METHOD TO A MINIMUM DEPTH OF 8".
 4. MULCH MATERIAL SHALL BE AN EVEN GRADED 1/4" DIA. NATIVE COLOR PEA GRAVEL APPLIED AROUND EACH TREE TO A MINIMUM DEPTH OF 3" IN EACH TREE WELL. CONTRACTOR TO SUBMIT SAMPLES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO ORDERING MATERIALS. MANUFACTURER: HOUSE OF ROCKS, 1725 MERRIAM LANE, KANSAS CITY, KANSAS 66106, 913-432-5990.
 5. RED AND BROWN CLAY PAVERS TO BE 14" X 4" X 8" ENDICOTT FULL CLAY PAVERS, SQUARE EDGE, COLORS MEDIUM IRONSPOT #77 AND DARK IRONSPOT. MANUFACTURER: KANSAS CITY BRICK, 5717 KANSAS AVENUE, KANSAS CITY, KS 10666, 913-287-7200. CONTRACTOR TO SUBMIT SAMPLES FOR APPROVAL.
 6. AT THE LOW ENDS OF PAVER STRIP SEGMENTS, DRILL 3/4" WEEP HOLE TO TREE WELL, CURB INLET, OR CURB FACE (ORDER OF PREFERENCE) WITH THE FLOWLINE AT THE TOP OF CONCRETE TO ALLOW DRAINAGE OF SAND LAYER.



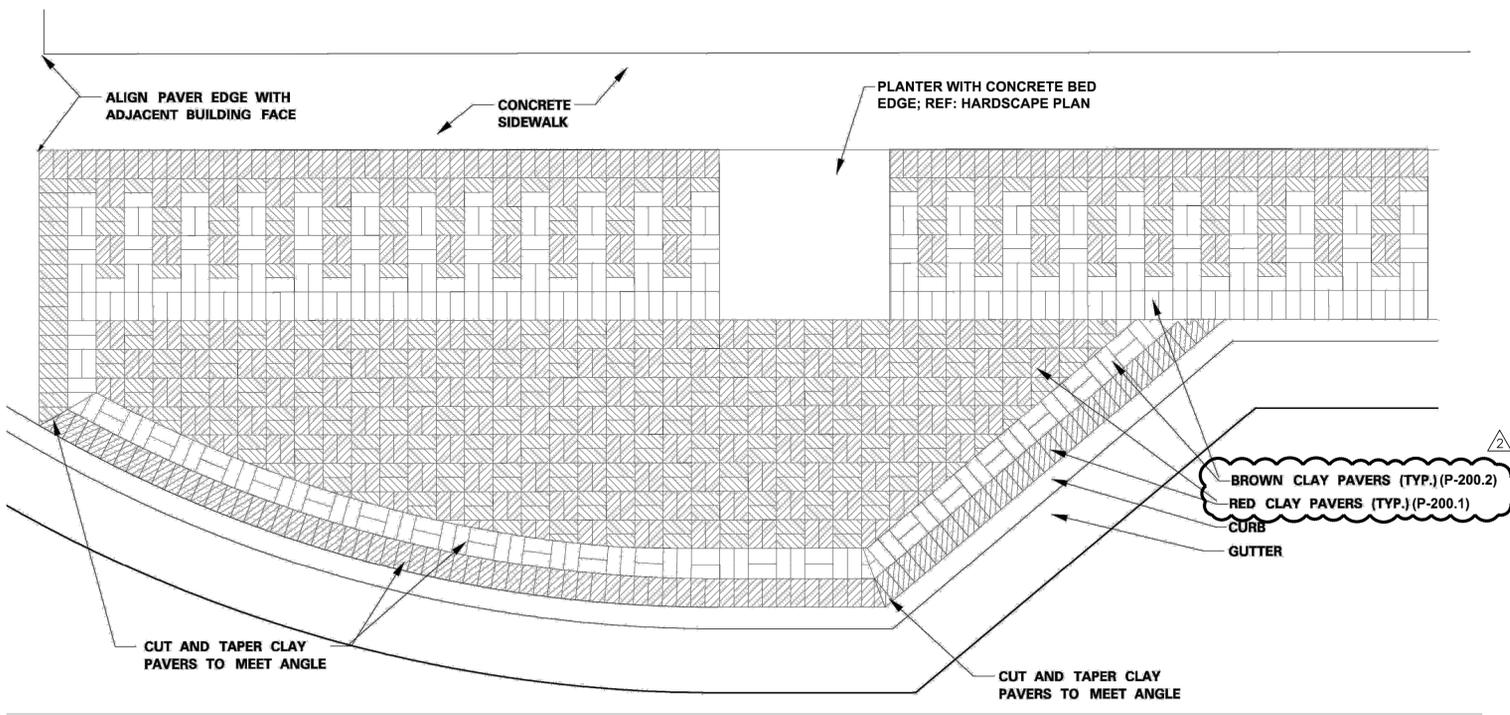
5 TYPICAL PLAN - SLEEVE FOR BUSINESS SIGNS & SIGN POSTS



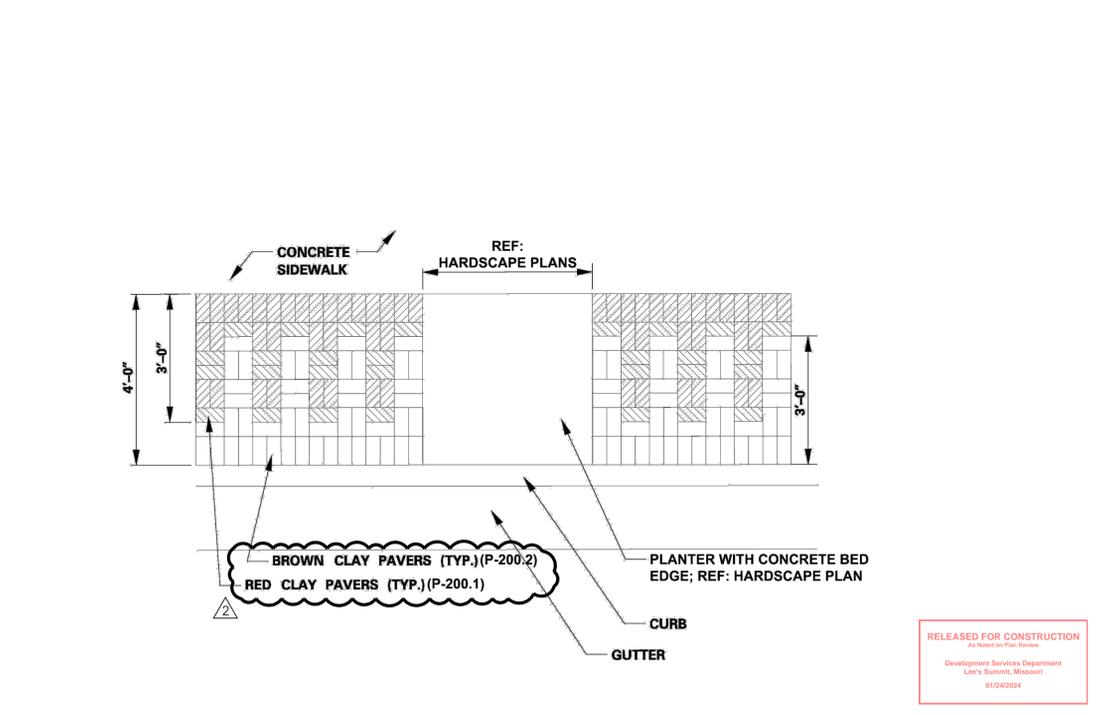
4 TYPICAL SLEEVE FOR BUSINESS SIGN



2 TYPICAL PLAN - WATER METER LOCATIONS WITHIN PAVER BAND



3 TYPICAL PAVING DETAIL - NW CORNER - 3RD ST. & MARKET



1 TYPICAL PAVING DETAIL - SIDEWALK PAVING PATTERN

olsson studio

OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

KOREY P. SCHULZ
 ENGINEER
 STATE OF MISSOURI
 NO. 2020393
 EXPIRES 01/11/2024

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	
2	01-11-2024	ADDENDUM #2	

HARDSCAPE DETAILS - PAVEMENT

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

REVISIONS

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024

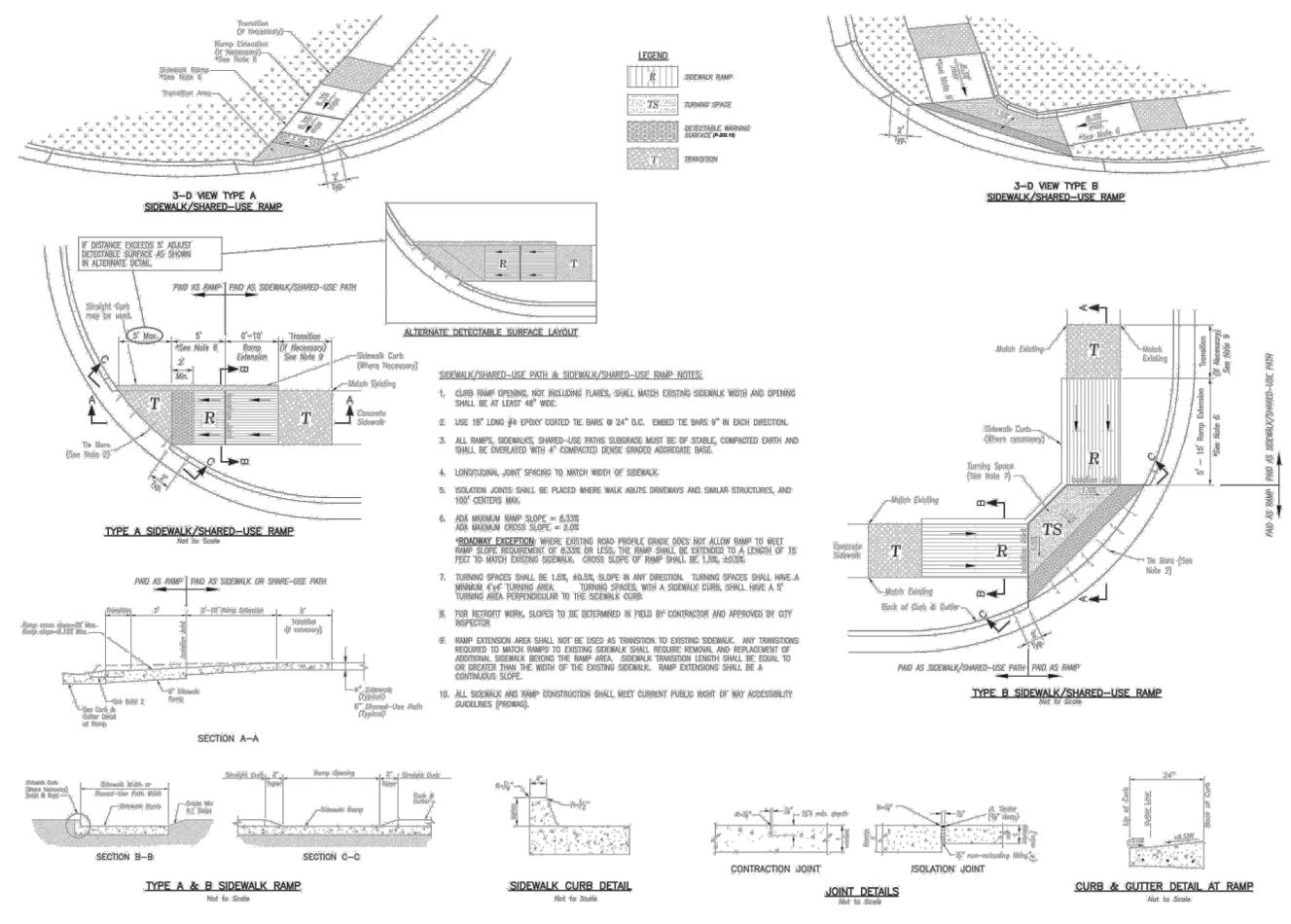
drawn by: TSJ/GIEW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC-DTL01_02200393
 date: 12/22/2023

SHEET
L304

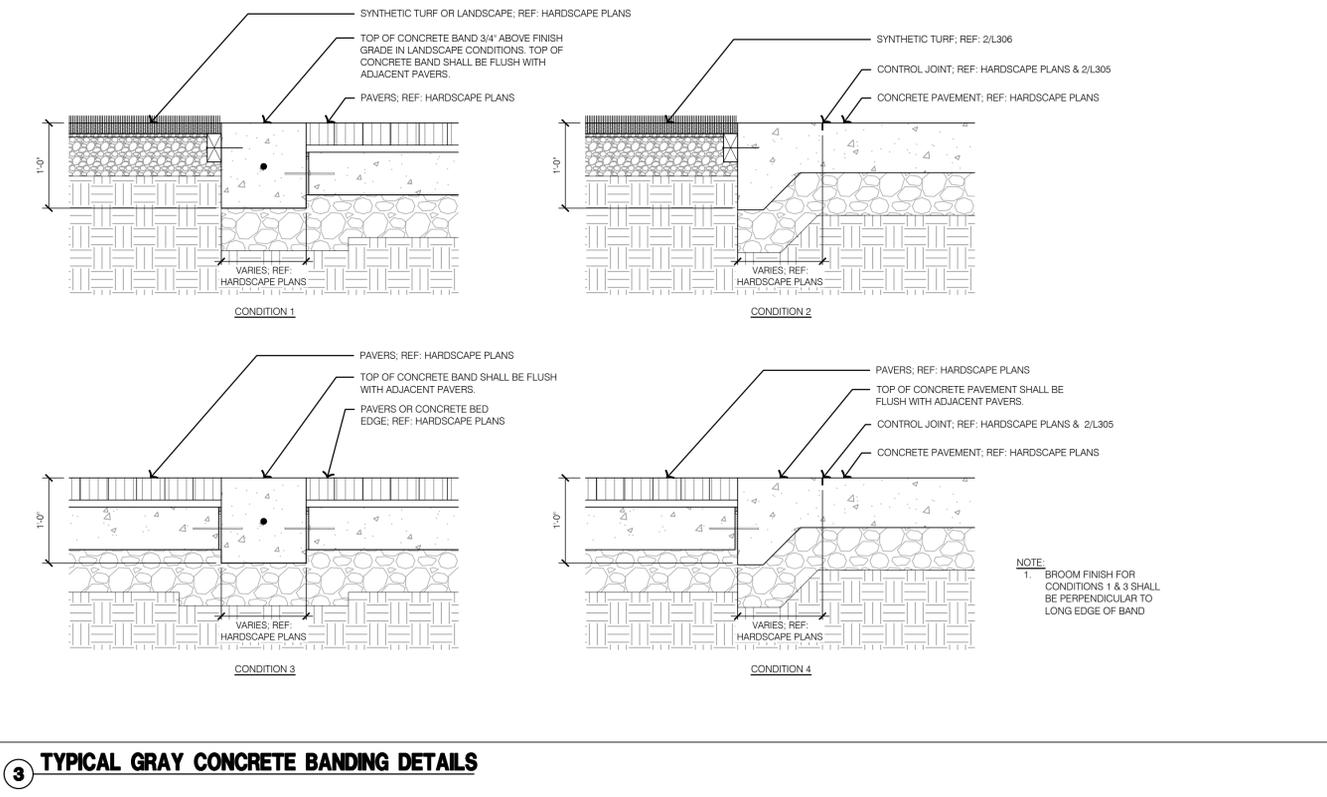
2023

DWG: F:\2022\0001-00500\022-00393\40-design\Autocad\final\plans\Sheet\OSTU\HSC_DTL01_02200393.dwg USER: lewis@olssonstudio.com
 DATE: Dec 21, 2023 11:39am XREFS: L_PBASE_02200393 DET: TYPICAL-HSC_02200393 L_PPATT_02200393 V_XBNDY_02200393 C_PBASE_ROAD_02200393 L_PBASE_RDWY_02200393

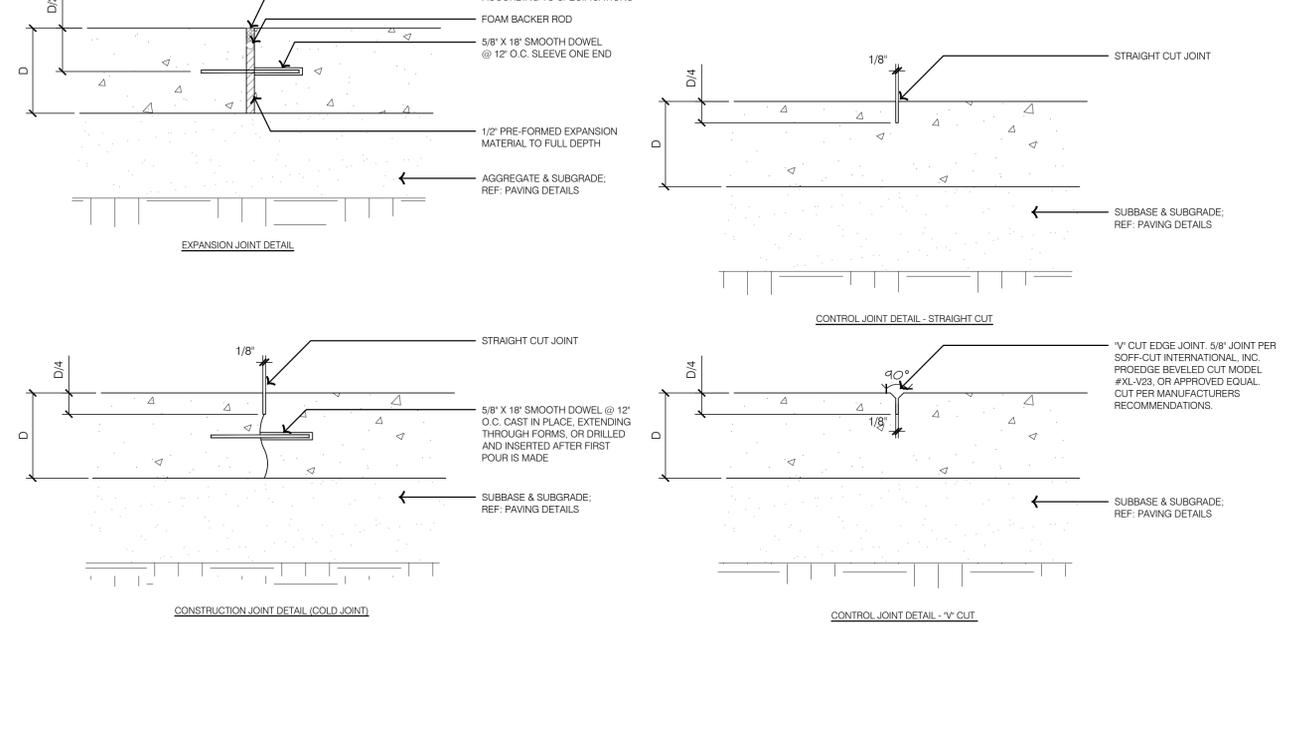
1 TYPICAL LEE'S SUMMIT ACCESSIBLE CURB RAMP DETAILS



3 TYPICAL GRAY CONCRETE BANDING DETAILS



2 TYPICAL CONCRETE JOINT DETAILS



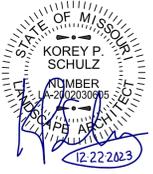
REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDENDUM #1

HARDSCAPE DETAILS - PAVEMENT

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET
LEE'S SUMMIT, MISSOURI

drawn by: TS/GEW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing ref: HSC_DTL01_02200393
date: 12/22/2023

SHEET
L305

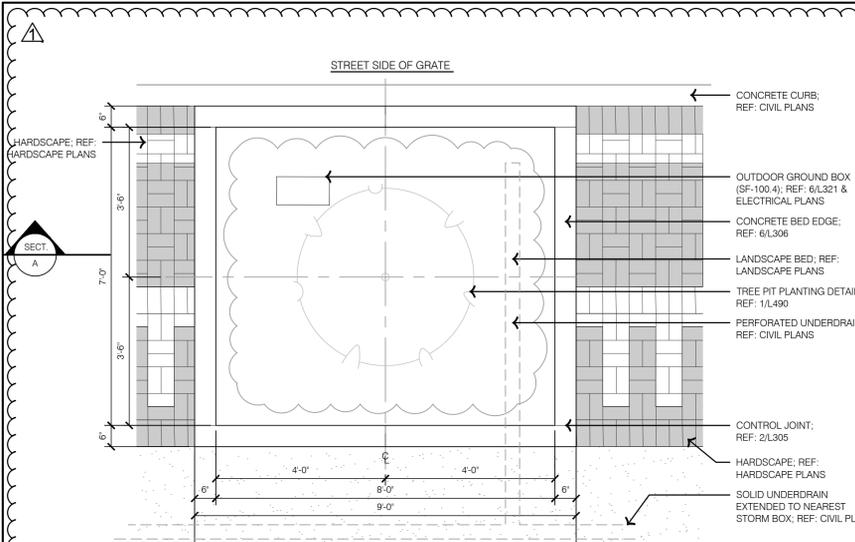


olsson studio
OLSSON - LANDSCAPE ARCHITECTURE
MO CERTIFICATE OF AUTHORITY # 2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816.842.8844
olsson-studio.com

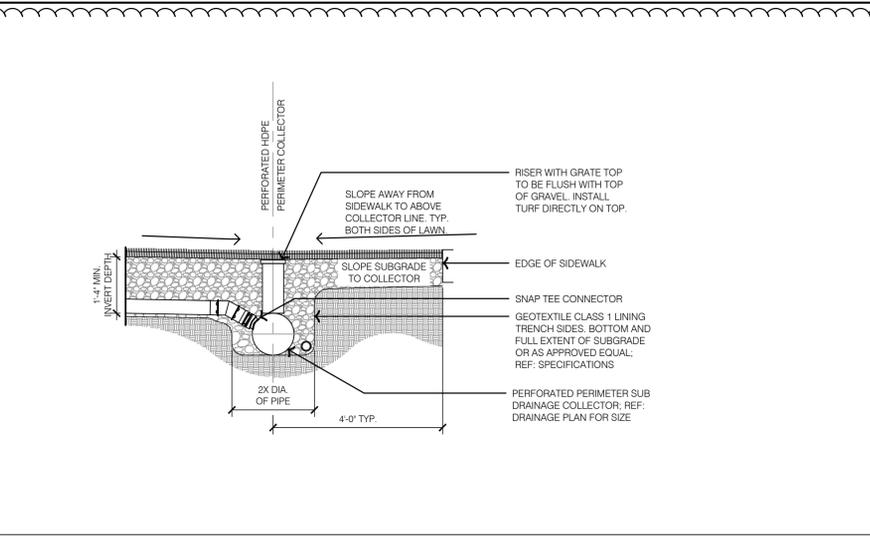
REVISIONS

RELEASED FOR CONSTRUCTION
As Noted on Plan
Development Services Department
Lee's Summit, Missouri
01/24/2024

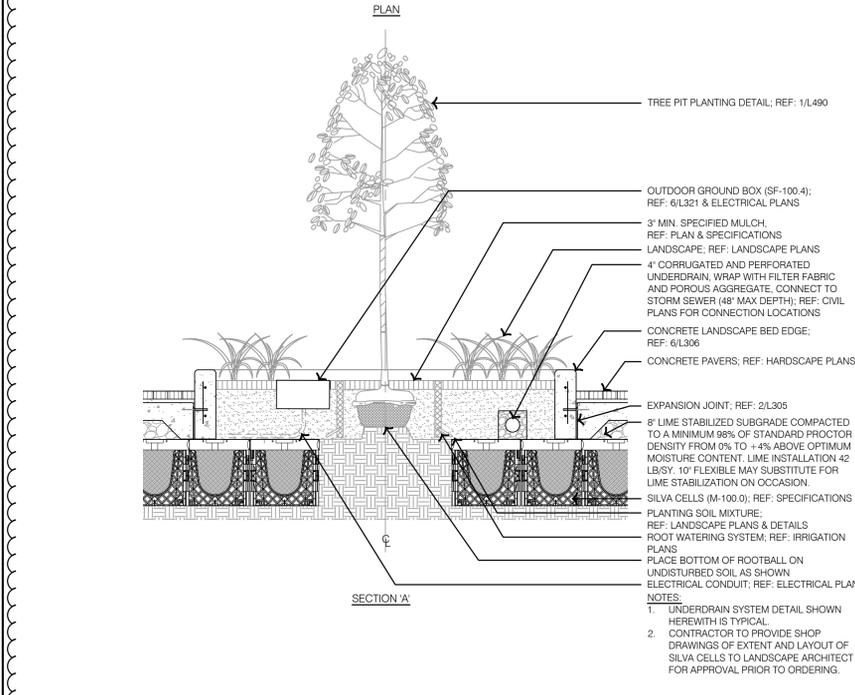
DWG: F:\2023\00001-00500\022-00393\40-design\AutoCAD\final\plans\Sheet\OSTU\HSC_DTL01_02200393.dwg USER: tlevethis
 DATE: Dec 21, 2023 11:41am XREFS: L_PTBK_02200393 DET-TYPICAL-HSC_02200393 L_PBASE_02200393 C_XBASE_02200393 V_XENDY_02200393 L_PPAIT_02200393 C_PBASE_ROAD_02200393 L_PBASE_RDWKY_02200393



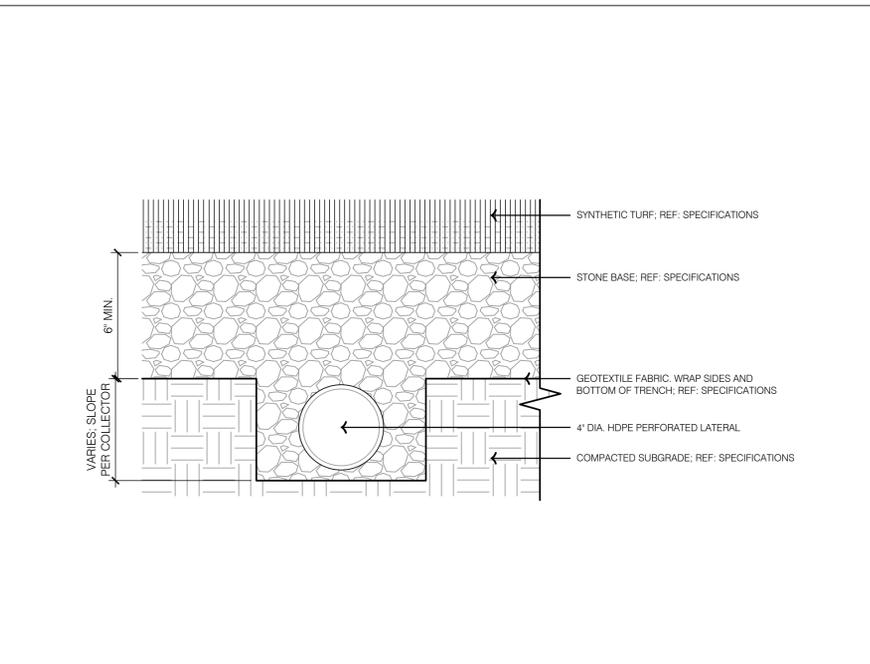
5 TYPICAL TURF COLLECTOR PIPE



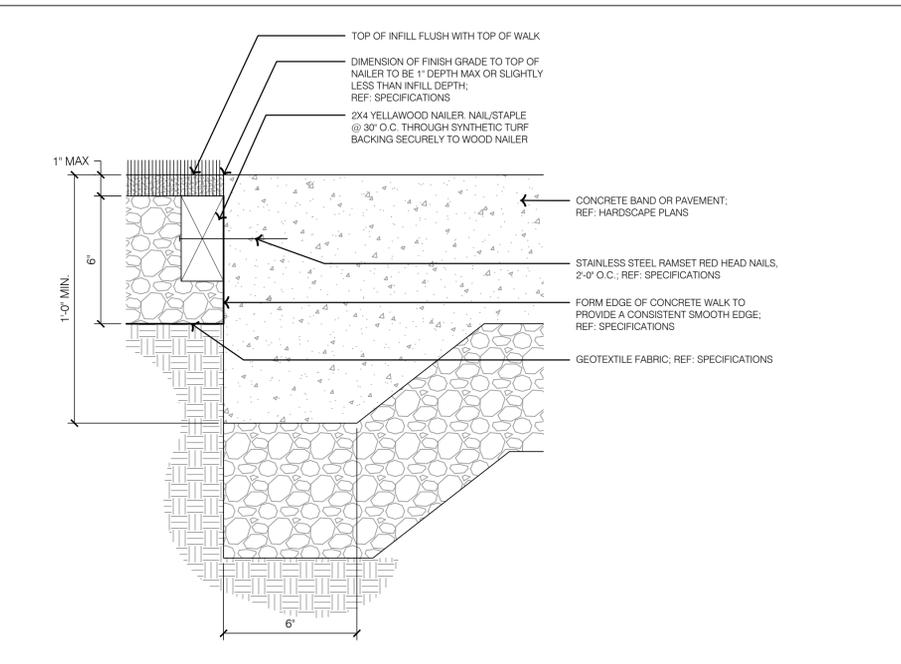
3 TYPICAL SYNTHETIC TURF



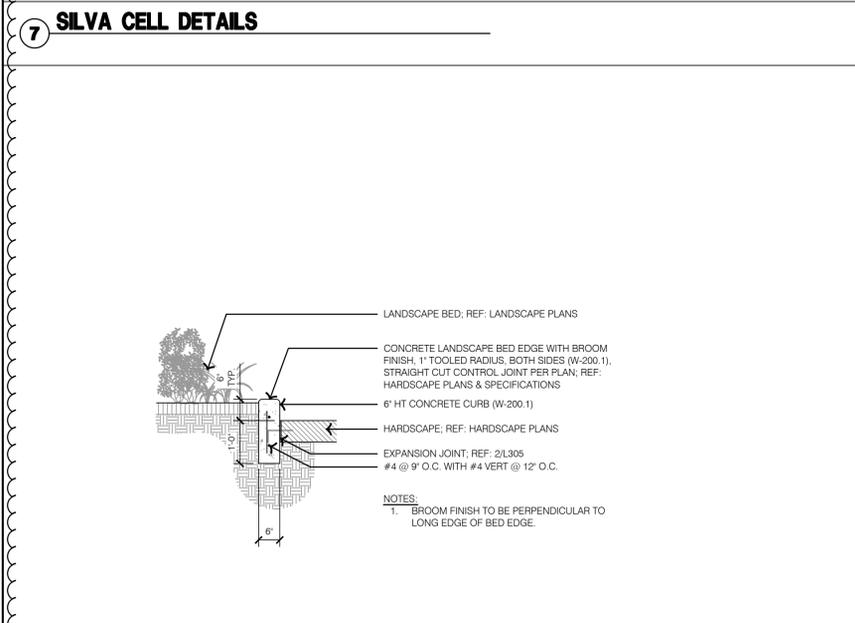
7 SILVA CELL DETAILS



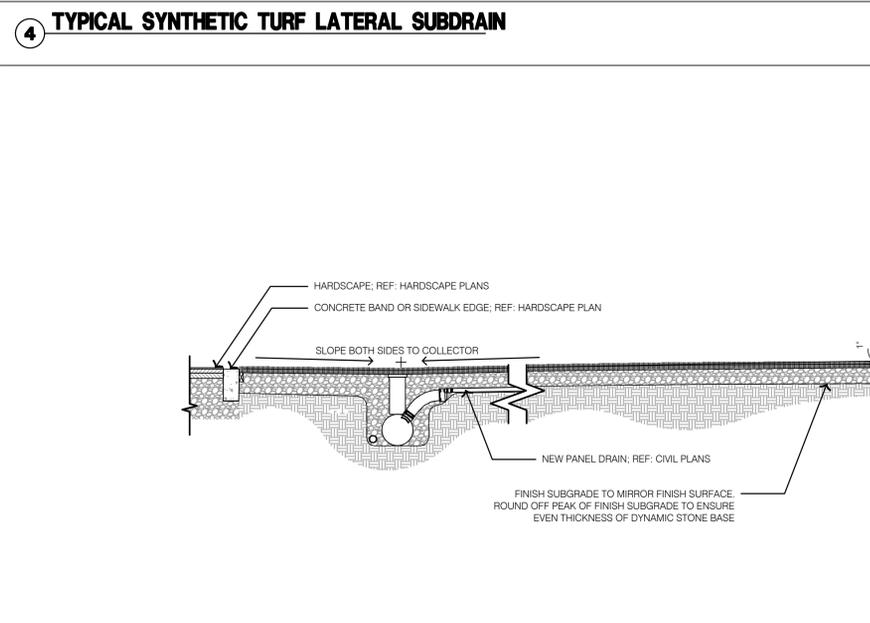
4 TYPICAL SYNTHETIC TURF LATERAL SUBDRAIN



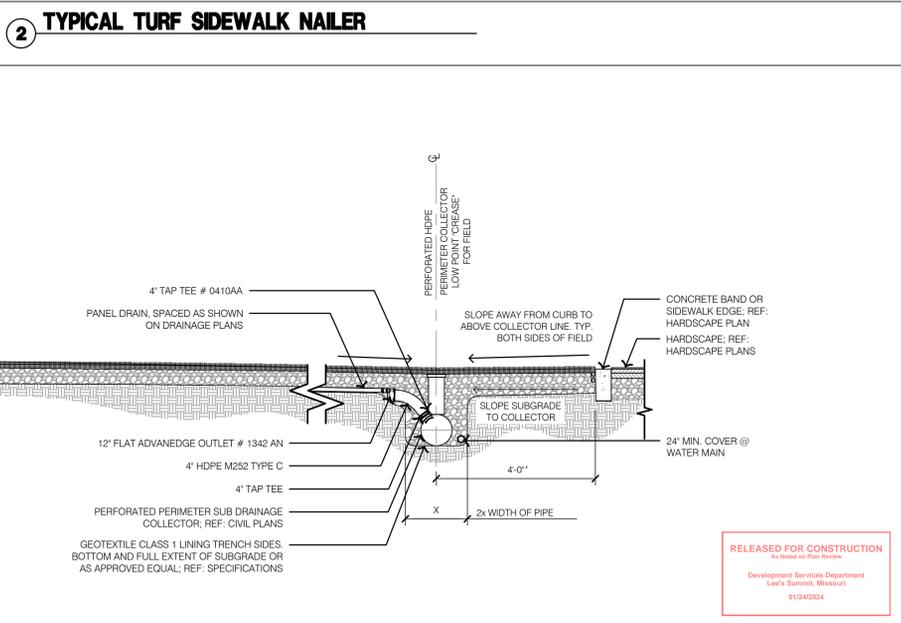
2 TYPICAL TURF SIDEWALK NAILER



6 TYPICAL CONCRETE BED EDGE



1 TYPICAL SYNTHETIC TURF SECTION DETAIL



1 TYPICAL SYNTHETIC TURF SECTION DETAIL

RELEASED FOR CONSTRUCTION
Development Services Department
Lee's Summit, Missouri
01/24/2024

HARDSCAPE DETAILS - PAVEMENT

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

2023

BY

REVISIONS DESCRIPTION

DATE

APPENDIX #

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	

olsson studio

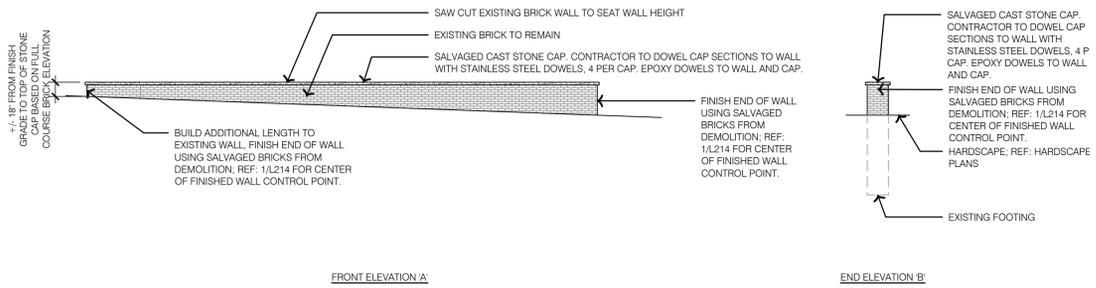
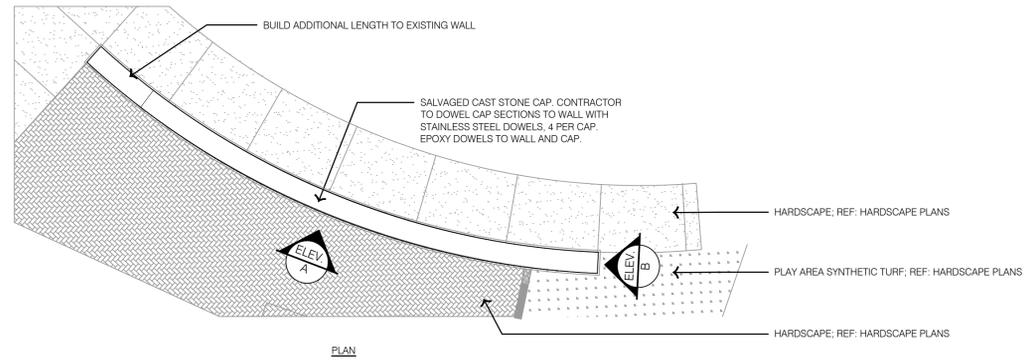
OLSSON - LANDSCAPE ARCHITECTURE
MO CERTIFICATE OF AUTHORITY # 2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816.842.8844
olsson-studio.com

STATE OF MISSOURI
KOREY P. SCHULZ
REGISTERED PROFESSIONAL ARCHITECT
NUMBER 002930065
12-22-2023

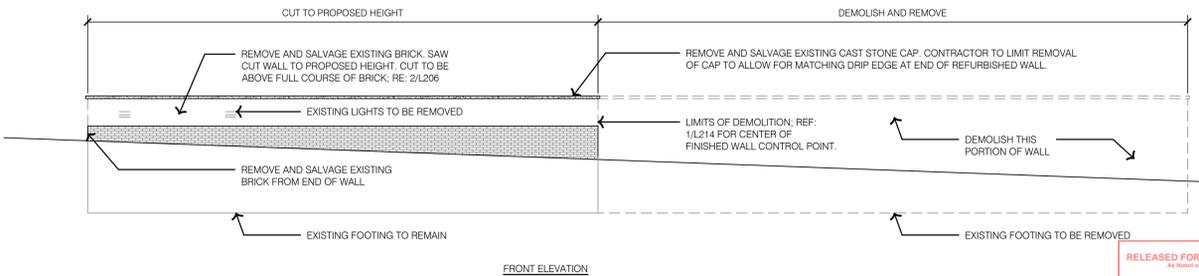
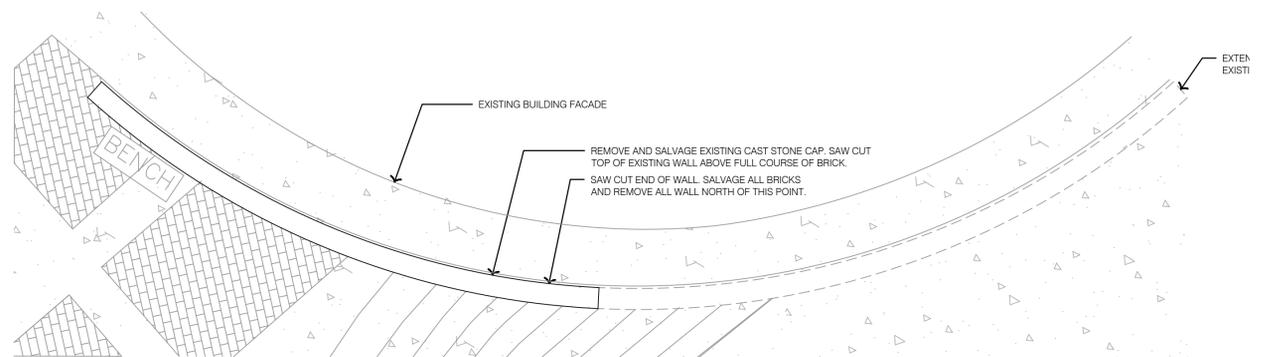
DWG: F:\2023\00001-00500\022-00393\40-design\AutoCAD\final\Sheet\Sheet\HSC_DTL01_02200393.dwg USER: kwehls
 DATE: Dec 21, 2023 11:41am XREFS: L_PTBK_02200393 DET-TYPICAL-HSC_02200393 L_PBASE_02200393 L_PPAIT_02200393 C_PBASE_ROAD_02200393 L_PBASE_ROWY_02200393



3 WALL 1 - PROPOSED PERSPECTIVE RENDERING



2 WALL 1 - PROPOSED



1 WALL 1 - EXISTING CONDITIONS

olsson studio



REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	

HARDSCAPE DETAILS - WALLS

LEE'S SUMMIT DOWNTOWN MARKET

GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

2023

drawn by: TST/GJEW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL01_02200393
 date: 12/22/2023

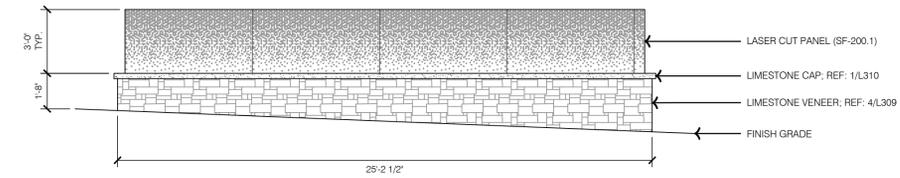
RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 0124-0024

SHEET L307

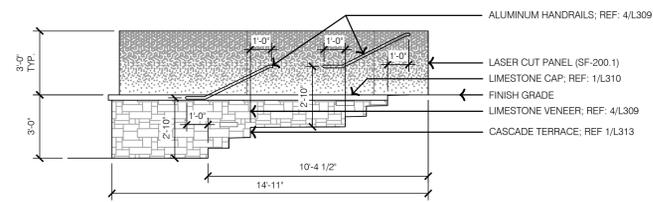
F:\2023\00001-00500\022-00393\40-Design\AutoCAD\final\plans\Sheets\OSTU\HSC_DTL01_02200393.dwg USER: kwehls
 DATE: Dec 21, 2023 11:42am XREFS: L_PTBK_02200393 DET-TYPICAL-HSC_02200393 L_PBASE_02200393 V_XBNDY_02200393 C_XBASE_02200393 L_PPATT_02200393 C_PBASE_ROAD_02200393 L_PBASE_RDWY_02200393



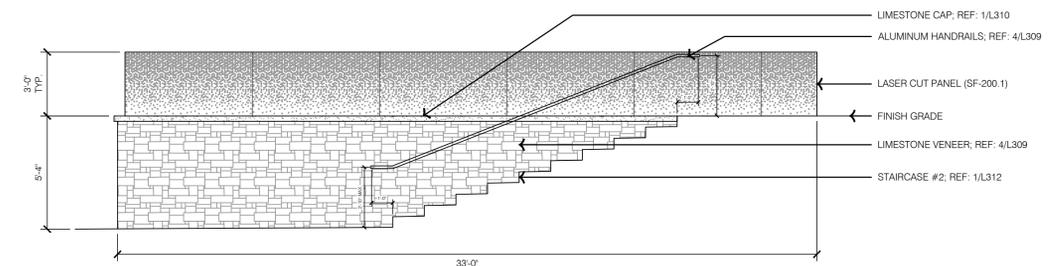
6 WALL TYPE 2 - PERSPECTIVE RENDERING



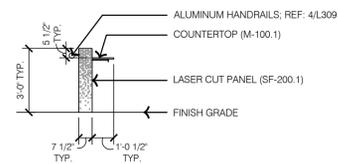
3 WALL TYPE 2 - ELEVATION 2



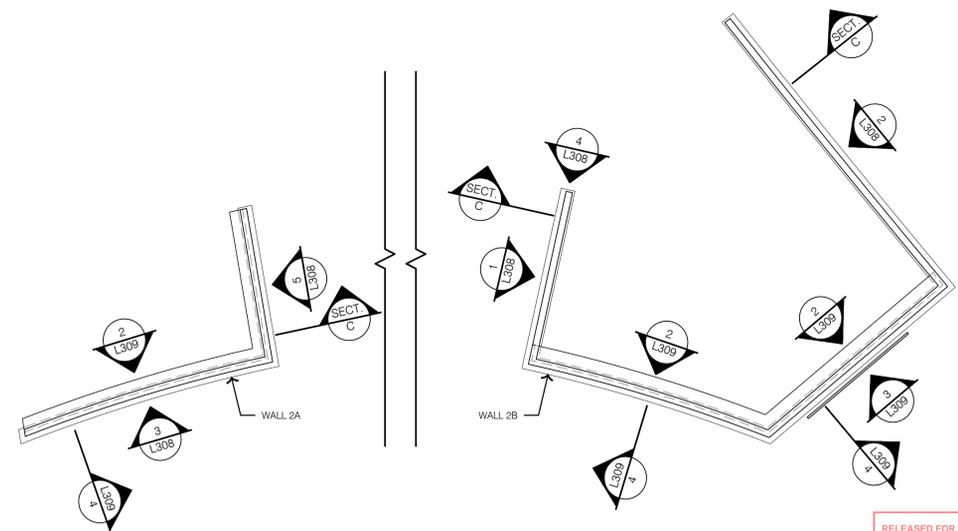
5 WALL TYPE 2 - ELEVATION 4



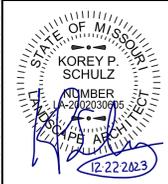
2 WALL TYPE 2 - ELEVATION 1



4 WALL TYPE 2 - ELEVATION 3



1 WALL TYPE 2 - LAYOUT



REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	

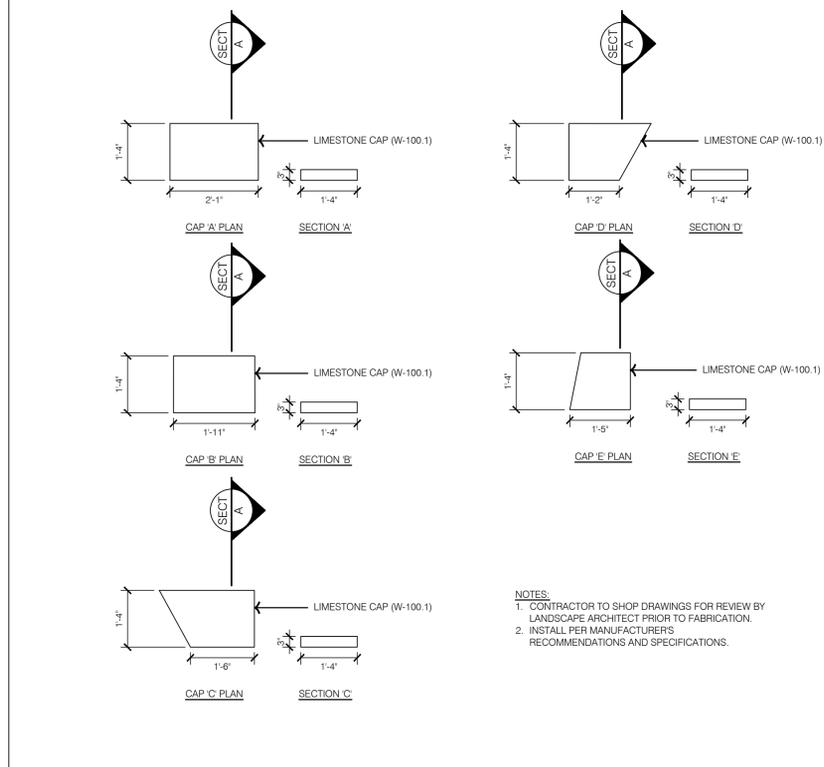
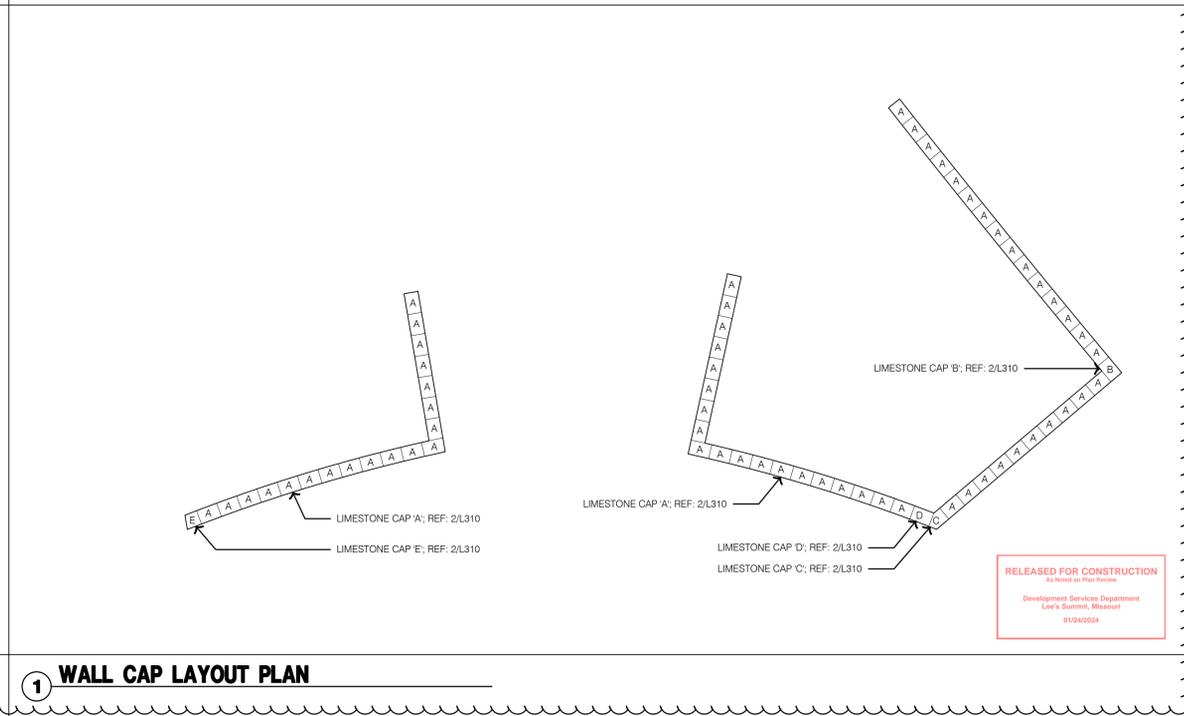
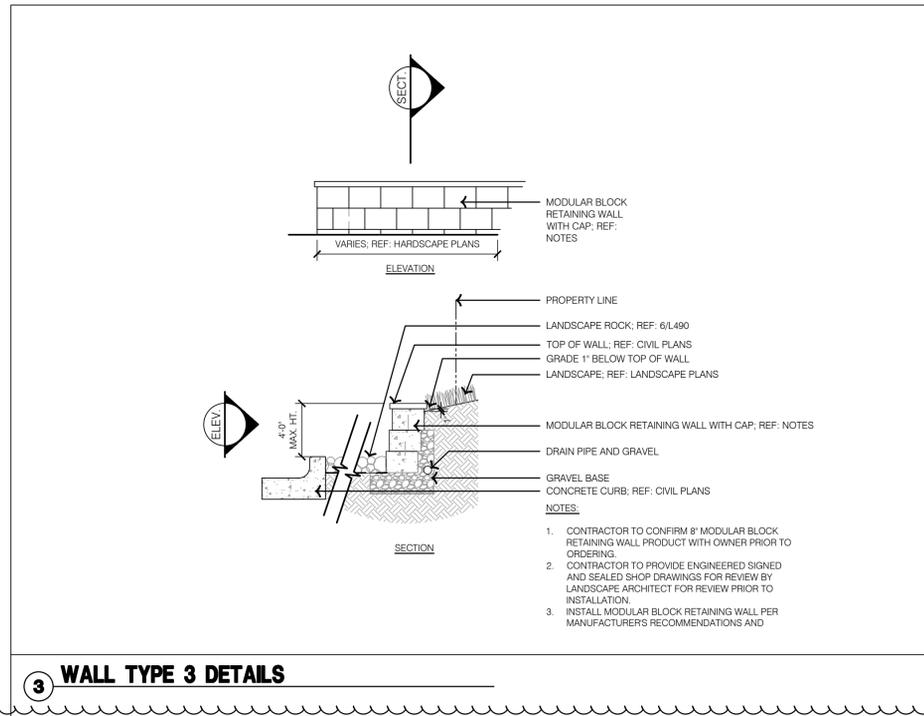
HARDCAPE DETAILS - WALLS
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing no.: HSC_DTL01_02200393
 date: 12/22/2023

RELEASED FOR CONSTRUCTION
 As noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 12/22/2023

SHEET
 L308

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844
 olsson-studio.com



NOTES:
 1. CONTRACTOR TO SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
 2. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MISSOURI CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

STATE OF MISSOURI
 KOREY P. SCHULZ
 ARCHITECT
 NUMBER 000000006
 EXPIRES 12/22/2023

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDED	

HARDSCAPE DETAILS - WALLS

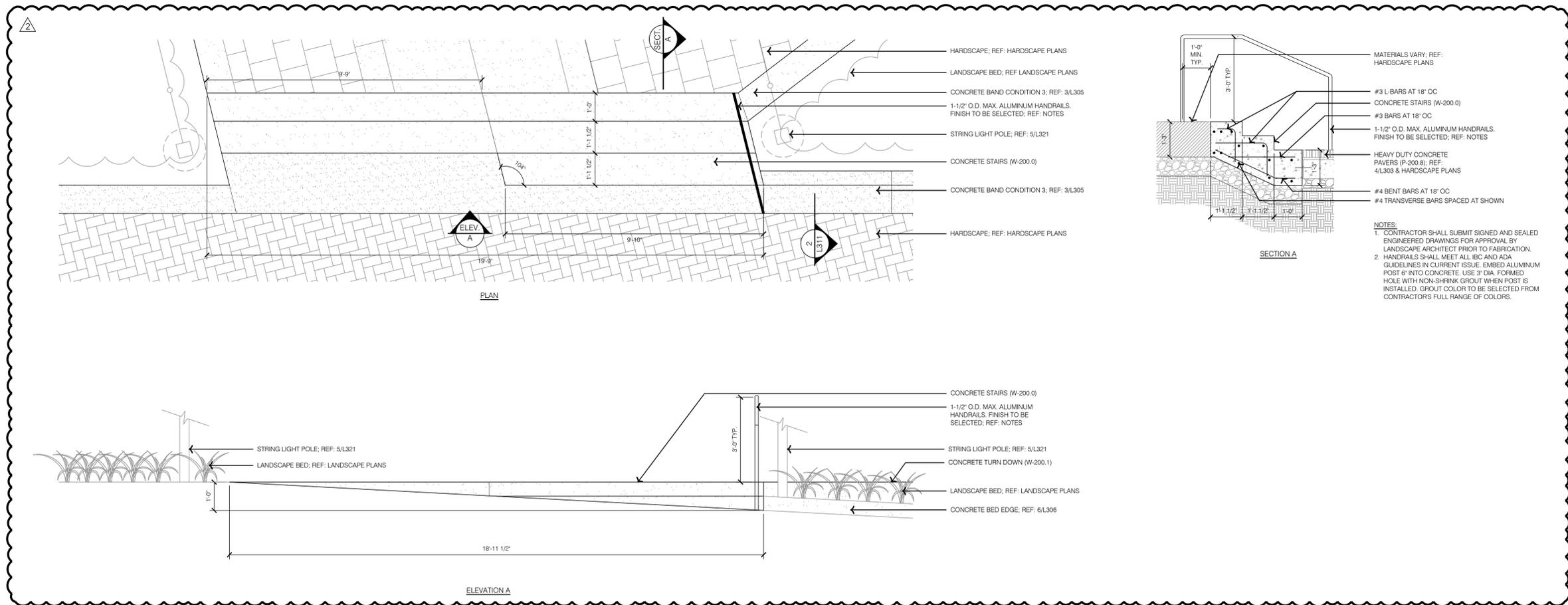
LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

2023

drawn by: TS/TGEW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL02_02200393
 date: 12/22/2023

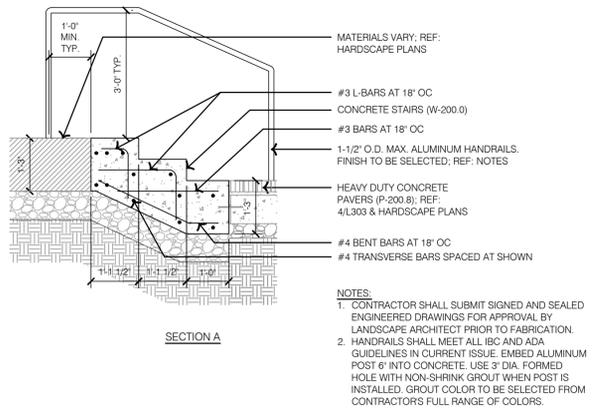
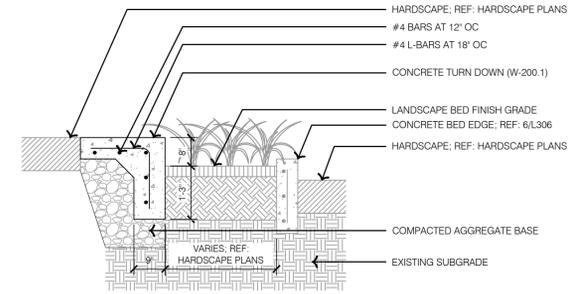
SHEET 1310

DWG: F:\2023\00001-00500\022-00393\40-design\AutoCAD\final\plans\Streets\OSTU\L_HSC_DTL02_02200393.dwg
 DATE: Jan 09, 2024 6:29pm
 USER: tswehlg
 XREFS: L_PTBLL_02200393 DET-TYPICAL-HSC_02200393



1 STAIRCASE 1 DETAILS

2 TYPICAL CONCRETE TURN DOWN



NOTES:
 1. CONTRACTOR SHALL SUBMIT SIGNED AND SEALED ENGINEERED DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
 2. HANDRAILS SHALL MEET ALL IBC AND ADA GUIDELINES IN CURRENT ISSUE. EMBED ALUMINUM POST 6\"/>

RELEASED FOR CONSTRUCTION
 As Shown on this Issue
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MISSOURI CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

STATE OF MISSOURI
 KOREY P. SCHULZ
 LICENSED PROFESSIONAL ENGINEER
 LICENSE NO. 202030001
 EXPIRES 01/11/2024

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	
2	01-11-2024	ADDENDUM #2	

REVISIONS

2023

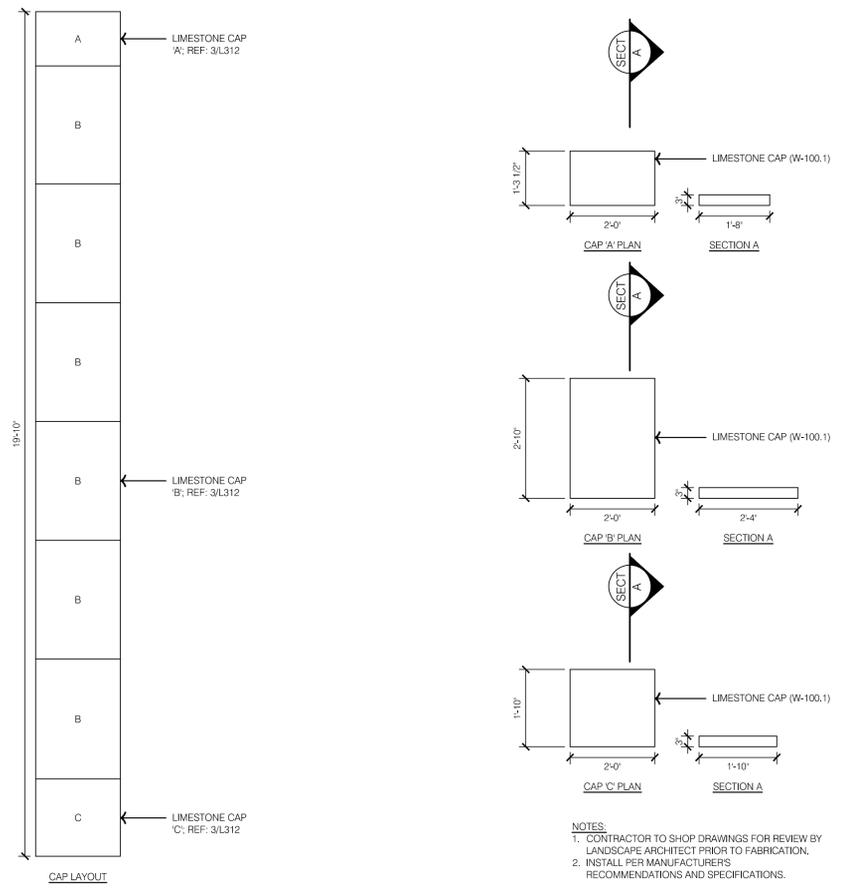
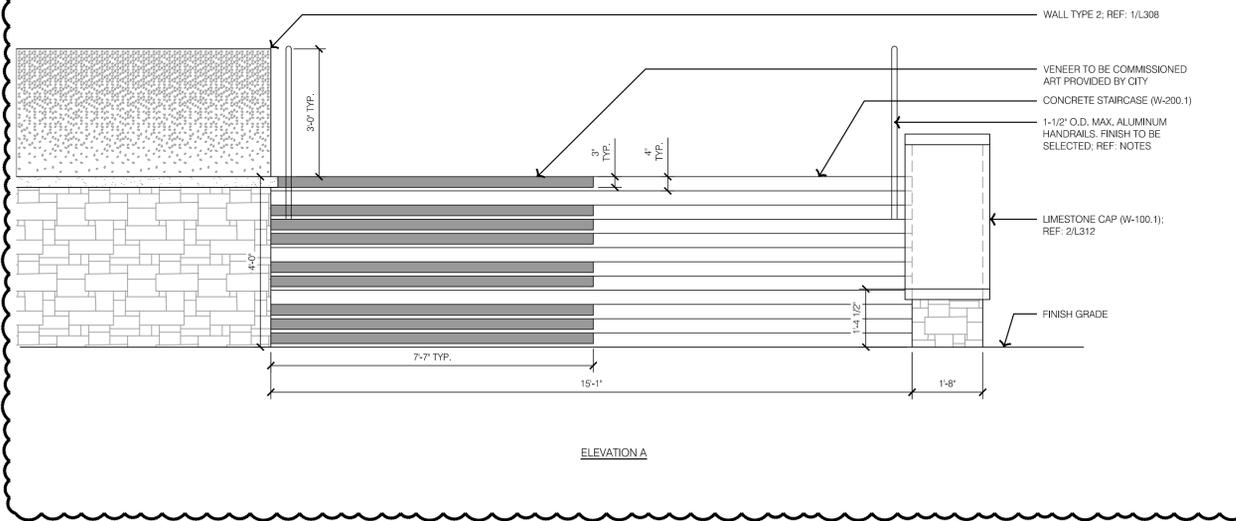
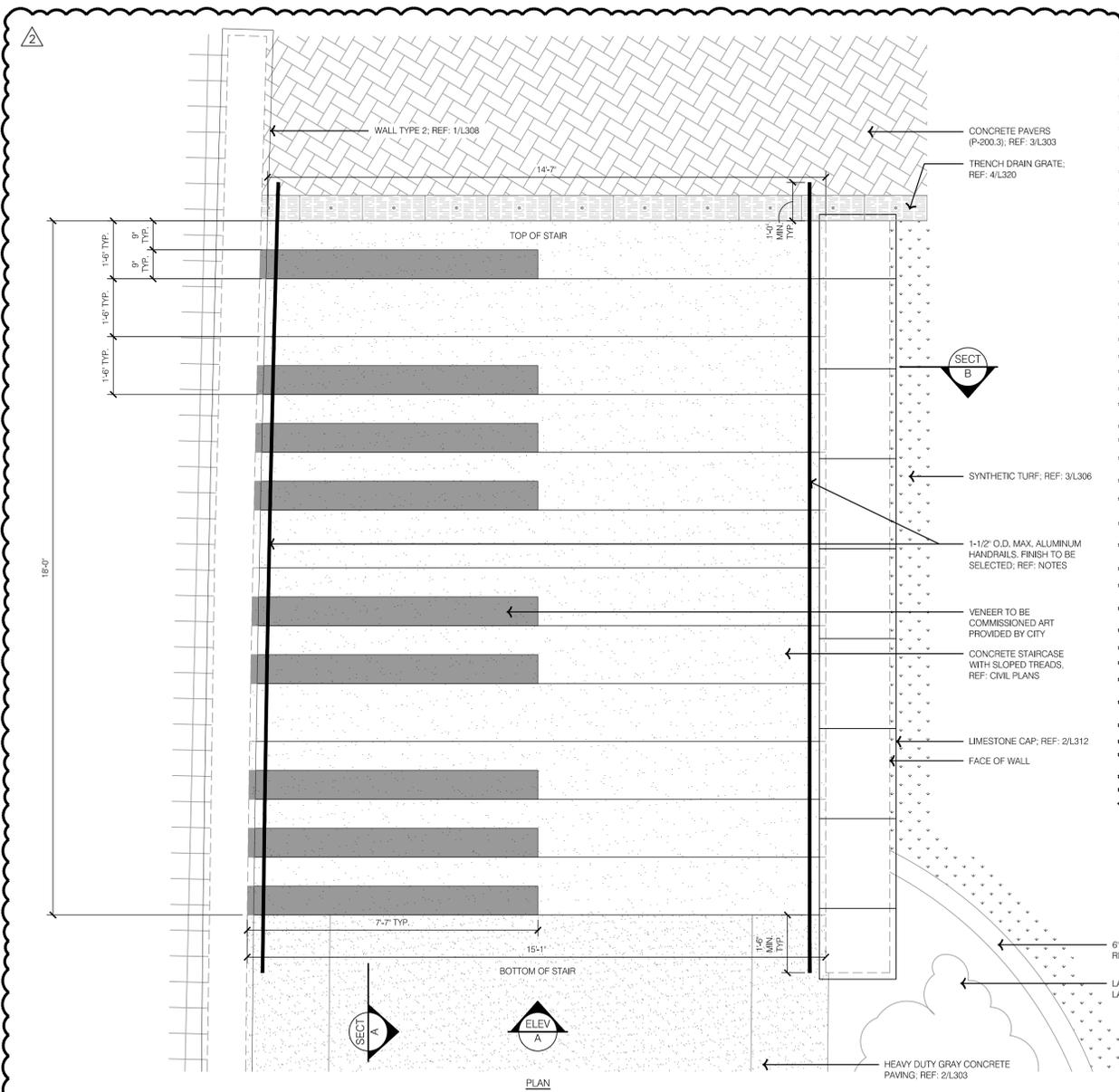
HARDSCAPE DETAILS - STAIRS

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

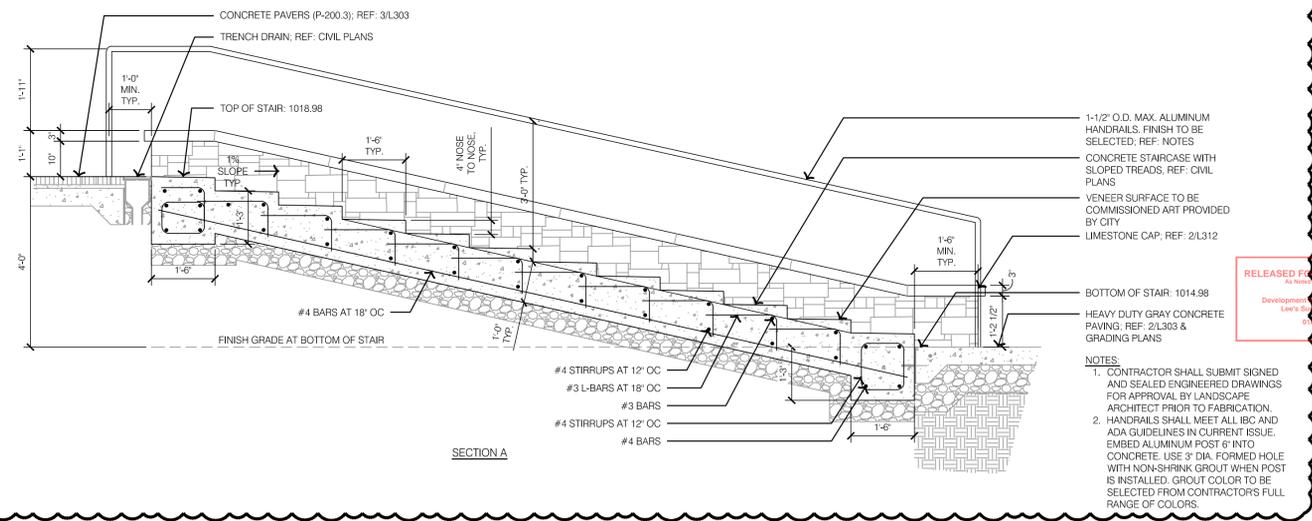
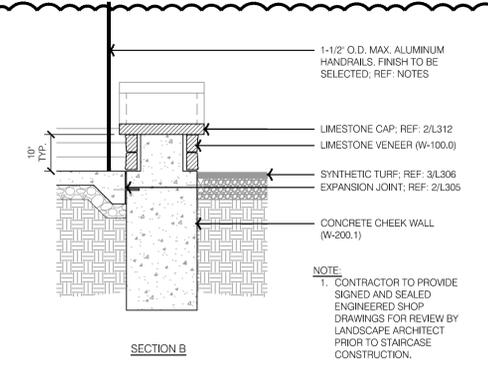
drawn by: TS/TGEW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL02_02200393
 date: 12/22/2023

SHEET
 L311

DWG: F:\2022\0001-00500\022-00393\40-Design\AutoCAD\Final Plans\Sheets\OSTU\L_HSC_DTL02_02200393.dwg
 DATE: Jan 11, 2024 9:50am
 USER: ewilson
 XREFS: L_TBL_C_02200393_DEF-TYPICAL-HSC_02200393



2 STAIRCASE 2 CAP DETAILS



1 STAIRCASE 2 DETAILS

NOTES:
 1. CONTRACTOR TO SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
 2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

STATE OF MISSOURI
 KOREY P. SCHULZ
 ARCHITECT
 01/11/2024

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	
2	01-11-2024	ADDENDUM #2	

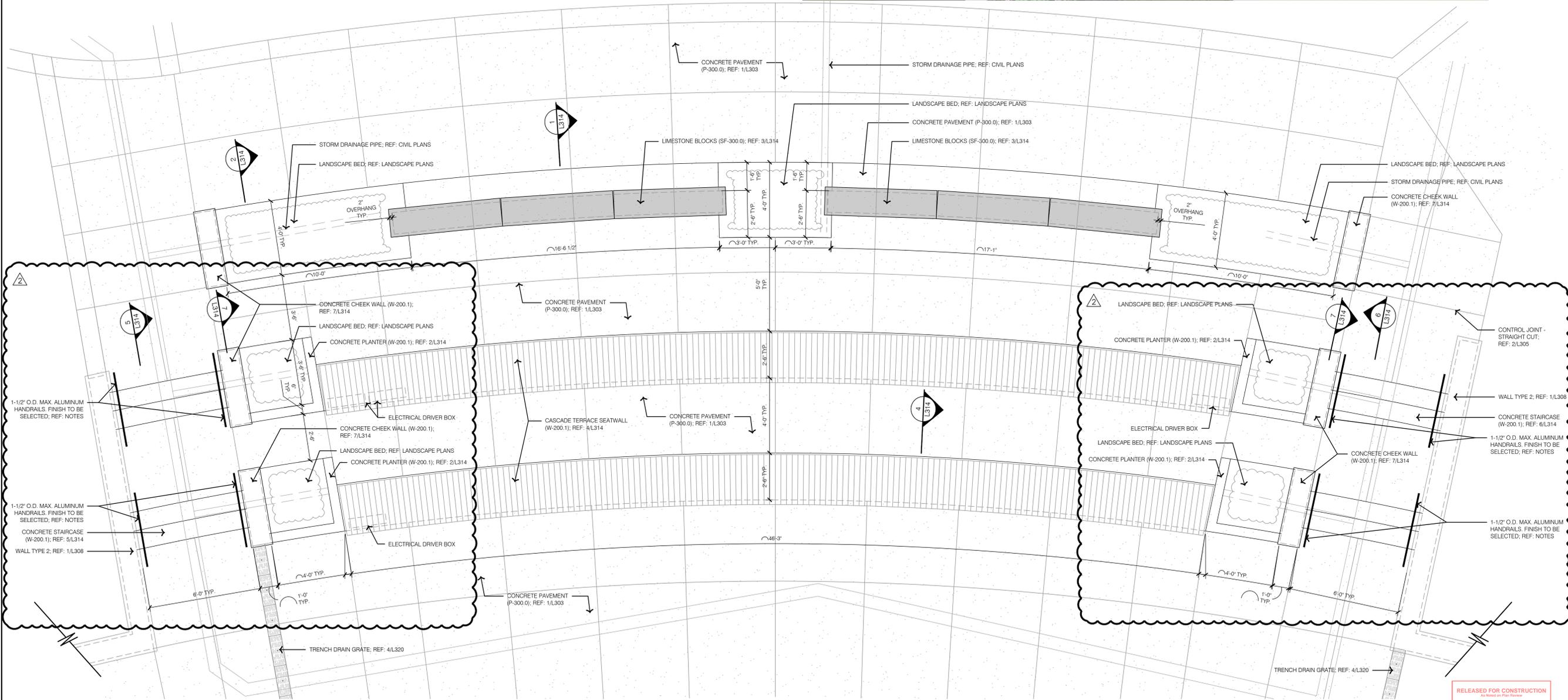
HARDSCAPE DETAILS - STAIRS
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

2023

drawn by: TS/STG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL02_02200393
 date: 12/22/2023

SHEET L312

DWG: F:\2024\00001-00500\022-00393\40-design\AutoCAD\final\plans\Summit\HSC_DTL03_02200393.dwg
 DATE: Jan 09, 2024 6:31pm
 USER: tswhldg
 DEF-TYPICAL-HSC_02200393



1 CASCADE TERRACE - LAYOUT

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 01/09/2024

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDENDUM #1
2	01-11-2024	ADDENDUM #2

BY	DATE

HARDSCAPE DETAILS - CASCADE TERRACE
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

2023

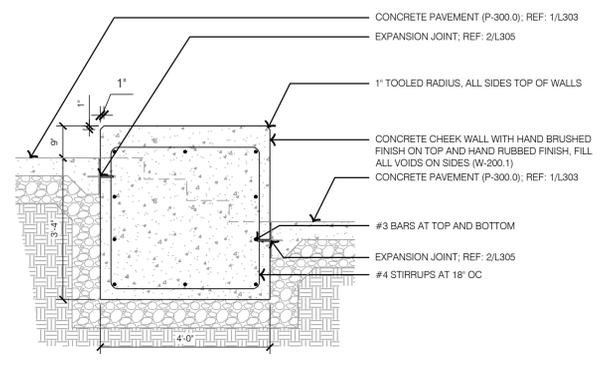
SHEET
 L313

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

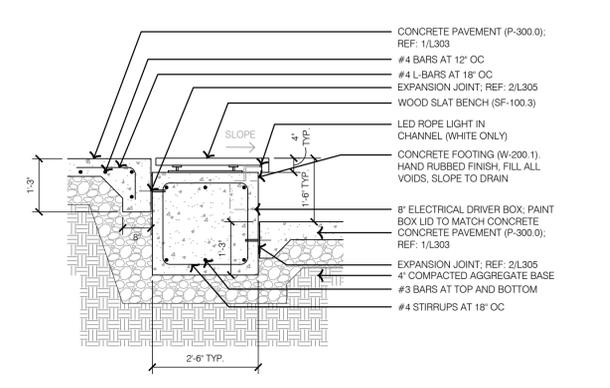
STATE OF MISSOURI
 KOREY P. SCHULZ
 LANDSCAPE ARCHITECT
 01112024

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL03_02200393
 date: 12/22/2023

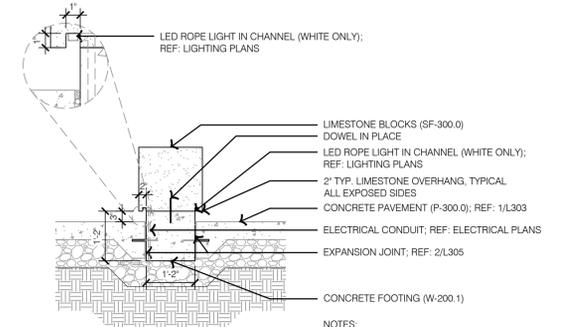
DWG: F:\2024\00001-00500\022-00393\40--design\AutoCAD\final\plans\Sheet\OSTU\L_HSC_DTL03_02200393.dwg
 DATE: Jan 09, 2024 6:32pm
 USER: tswehlo
 XREFS: L_PTBK_02200393 DET-TYPICAL-HSC_02200393



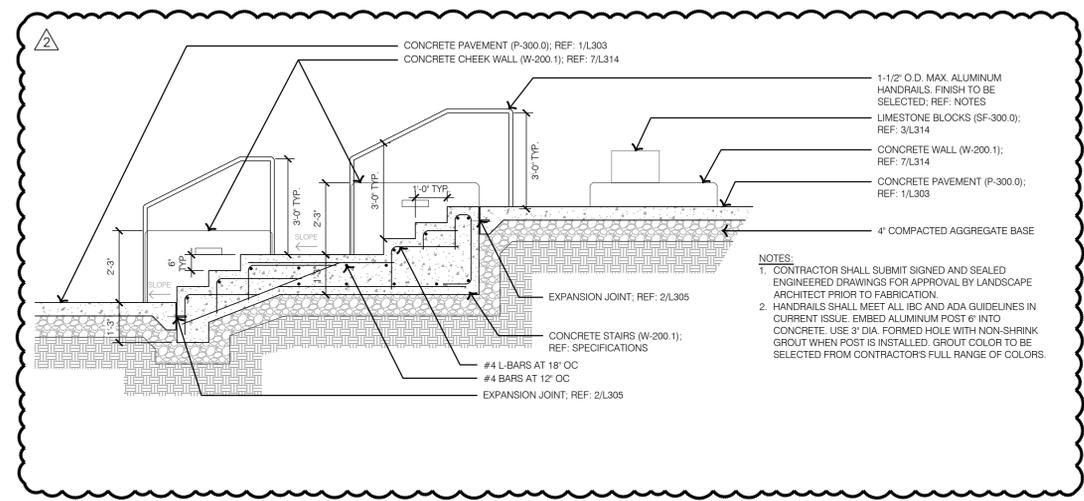
7 CASCADE TERRACE - CHEEK WALL SECTION



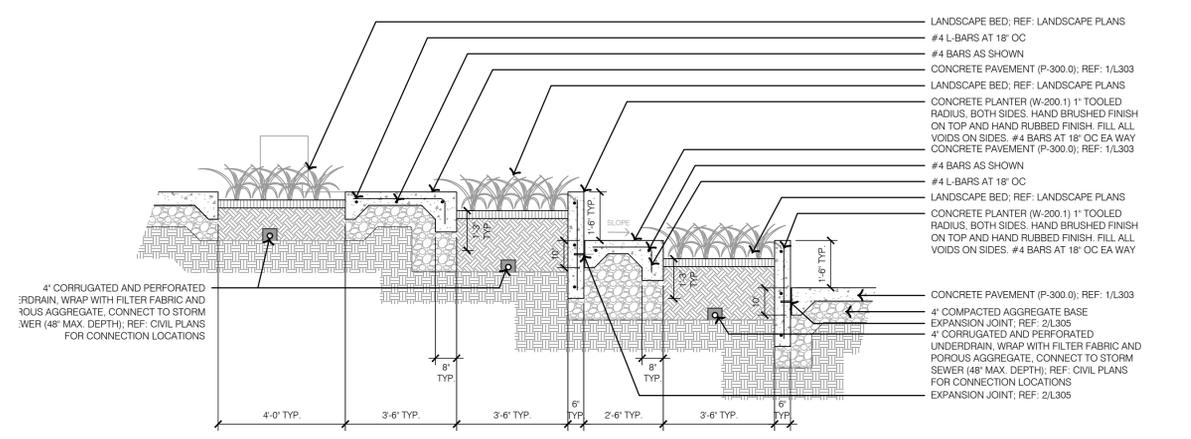
4 CASCADE TERRACE - SEATWALL SECTION



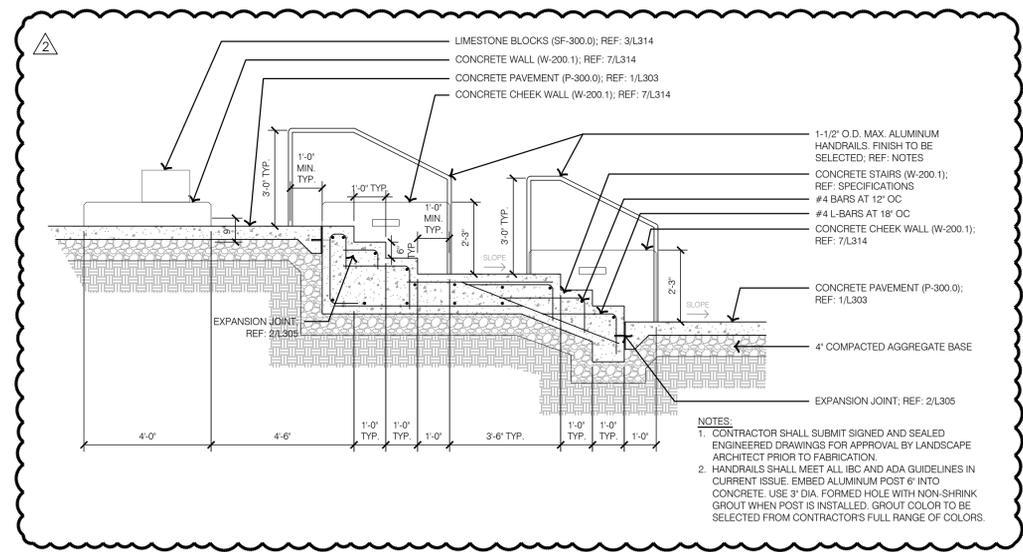
3 CASCADE TERRACE - LIMESTONE BLOCK



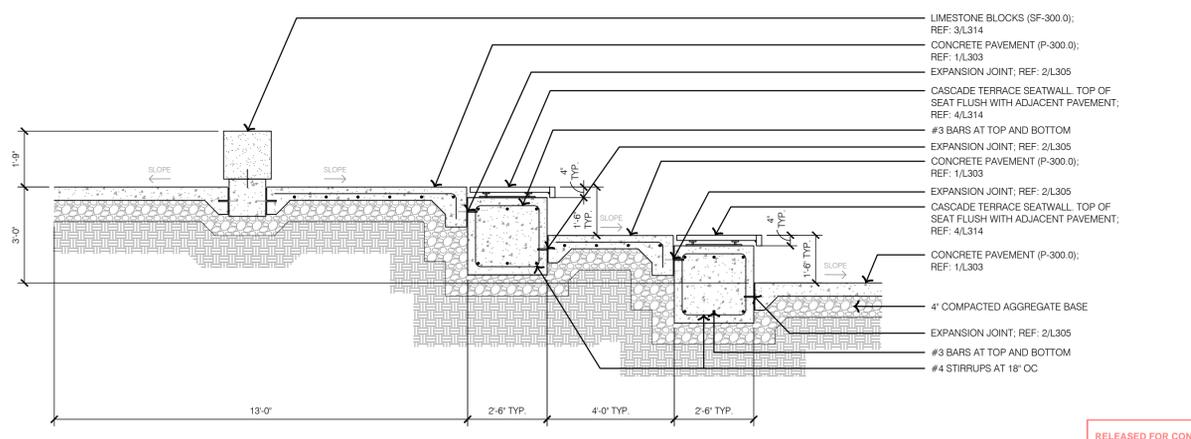
6 CASCADE TERRACE - STAIR SECTION



2 CASCADE TERRACE - SECTION



5 CASCADE TERRACE - STAIR SECTION



1 CASCADE TERRACE - SECTION

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844
 olsson-studio.com

STATE OF MISSOURI
 KOREY P. SCHULZ
 LANDSCAPE ARCHITECT
 LICENSE # 202030001
 01/11/2024

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	
2	01-11-2024	ADDENDUM #2	

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	
2	01-11-2024	ADDENDUM #2	

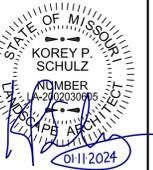
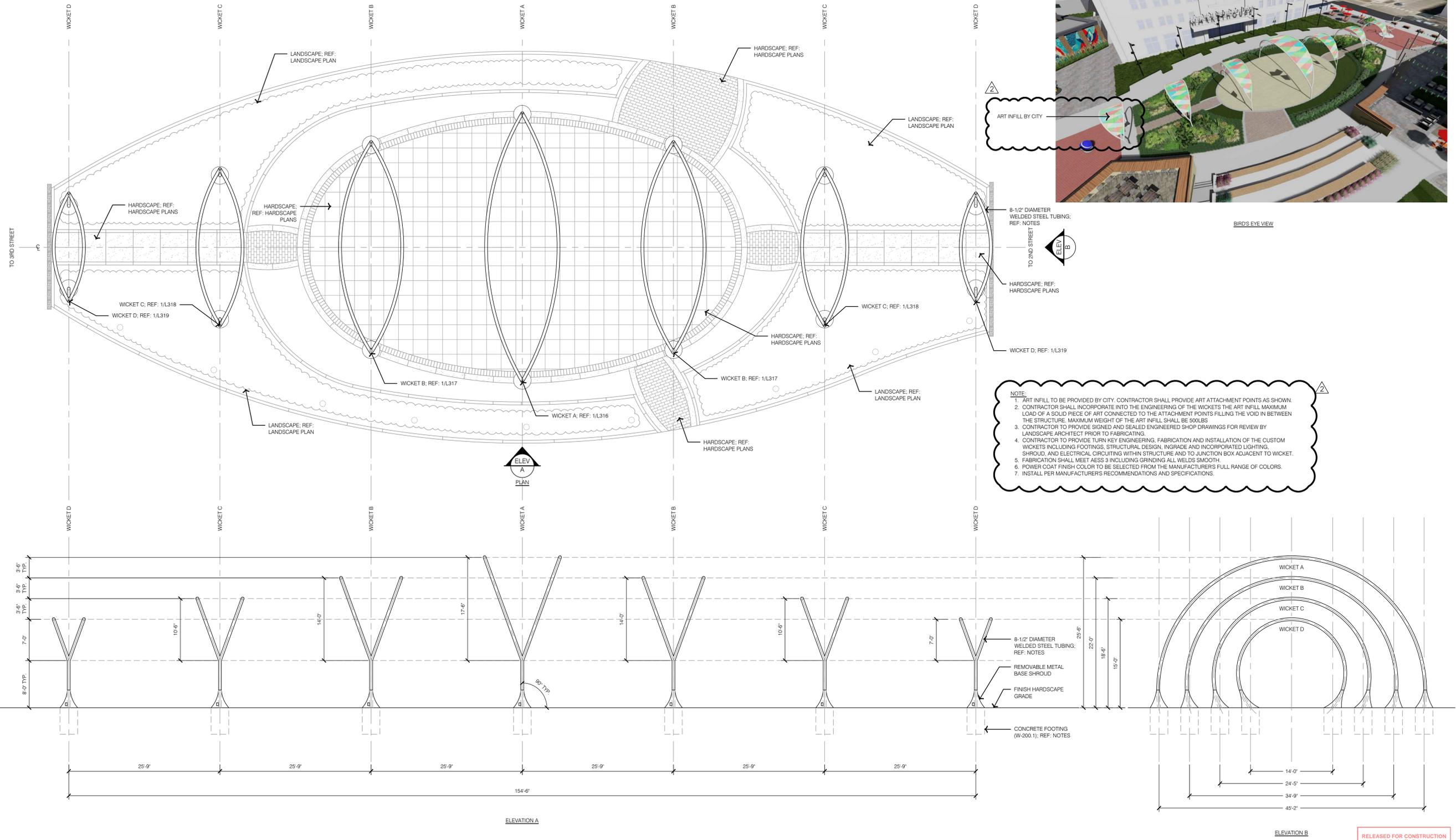
2023

HARDSCAPE DETAILS - CASCADE TERRACE

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024

1 WICKETS - OVERALL LAYOUT



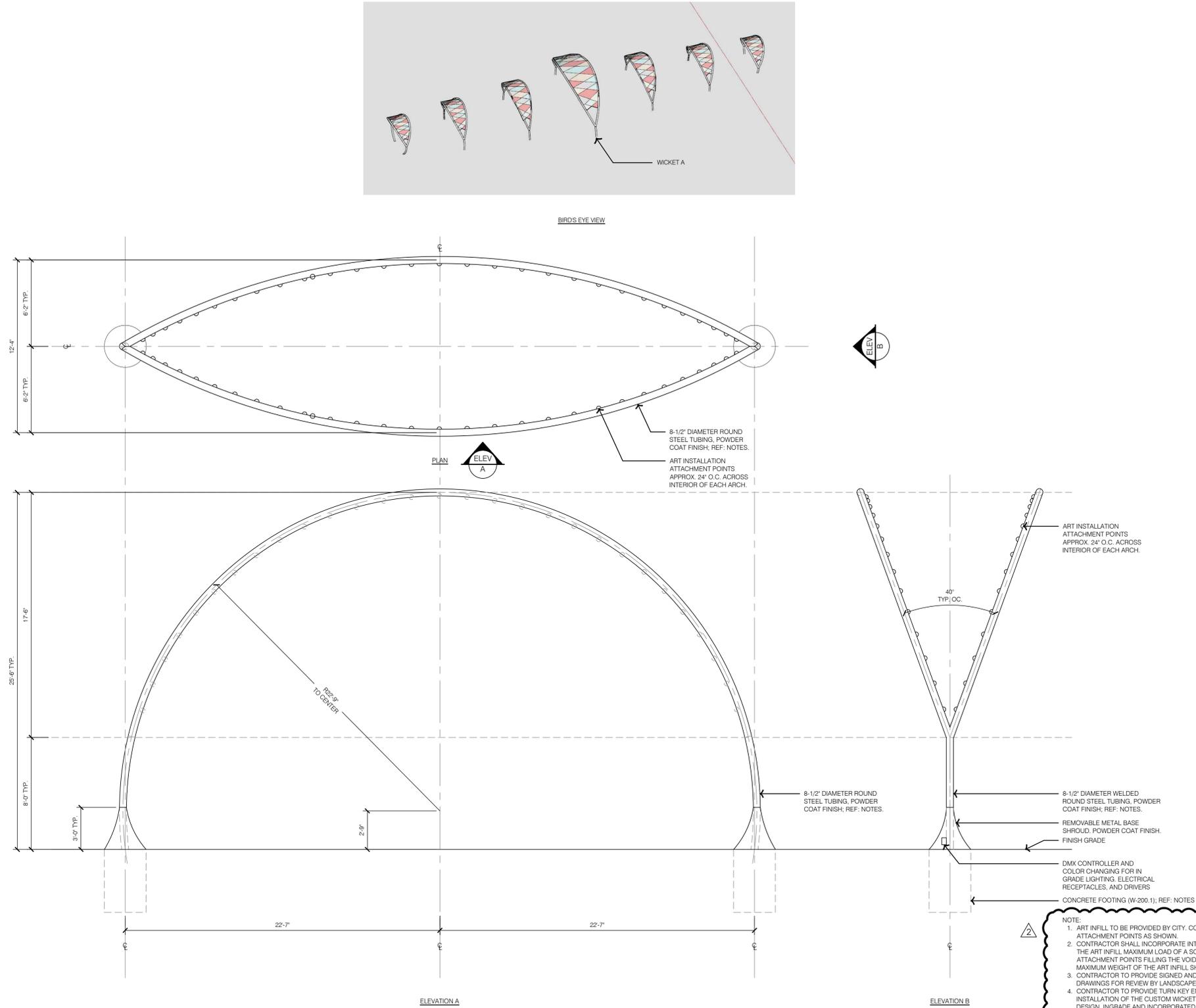
REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDENDUM #1
2	01-11-2024	ADDENDUM #2

BY	DATE	REVISIONS DESCRIPTION

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Lee's Summit, Missouri
 01/24/2024

drawn by: TS/TGW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL03_02200393
 date: 12/22/2023

1 WICKET A



NOTE:

- ART INFILL TO BE PROVIDED BY CITY. CONTRACTOR SHALL PROVIDE ART ATTACHMENT POINTS AS SHOWN.
- CONTRACTOR SHALL INCORPORATE INTO THE ENGINEERING OF THE WICKETS THE ART INFILL MAXIMUM LOAD OF A SOLID PIECE OF ART CONNECTED TO THE ATTACHMENT POINTS FILLING THE VOID IN BETWEEN THE STRUCTURE. MAXIMUM WEIGHT OF THE ART INFILL SHALL BE 500LBS
- CONTRACTOR TO PROVIDE SIGNED AND SEALED ENGINEERED SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO FABRICATING.
- CONTRACTOR TO PROVIDE TURN KEY ENGINEERING, FABRICATION AND INSTALLATION OF THE CUSTOM WICKETS INCLUDING FOOTINGS, STRUCTURAL DESIGN, IN-GRADE AND INCORPORATED LIGHTING, SHROUD, AND ELECTRICAL CIRCUITING WITHIN STRUCTURE AND TO JUNCTION BOX ADJACENT TO WICKET.
- FABRICATION SHALL MEET AESS 3 INCLUDING GRINDING ALL WELDS SMOOTH.
- POWER COAT FINISH COLOR TO BE SELECTED FROM THE MANUFACTURER'S FULL RANGE OF COLORS.
- INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

RELEASED FOR CONSTRUCTION
Development Services Department
Lee's Summit, Missouri
01/24/2024

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	
2	01-11-2024	ADDENDUM #2	

HARDSCAPE DETAILS - WICKETS

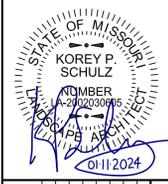
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

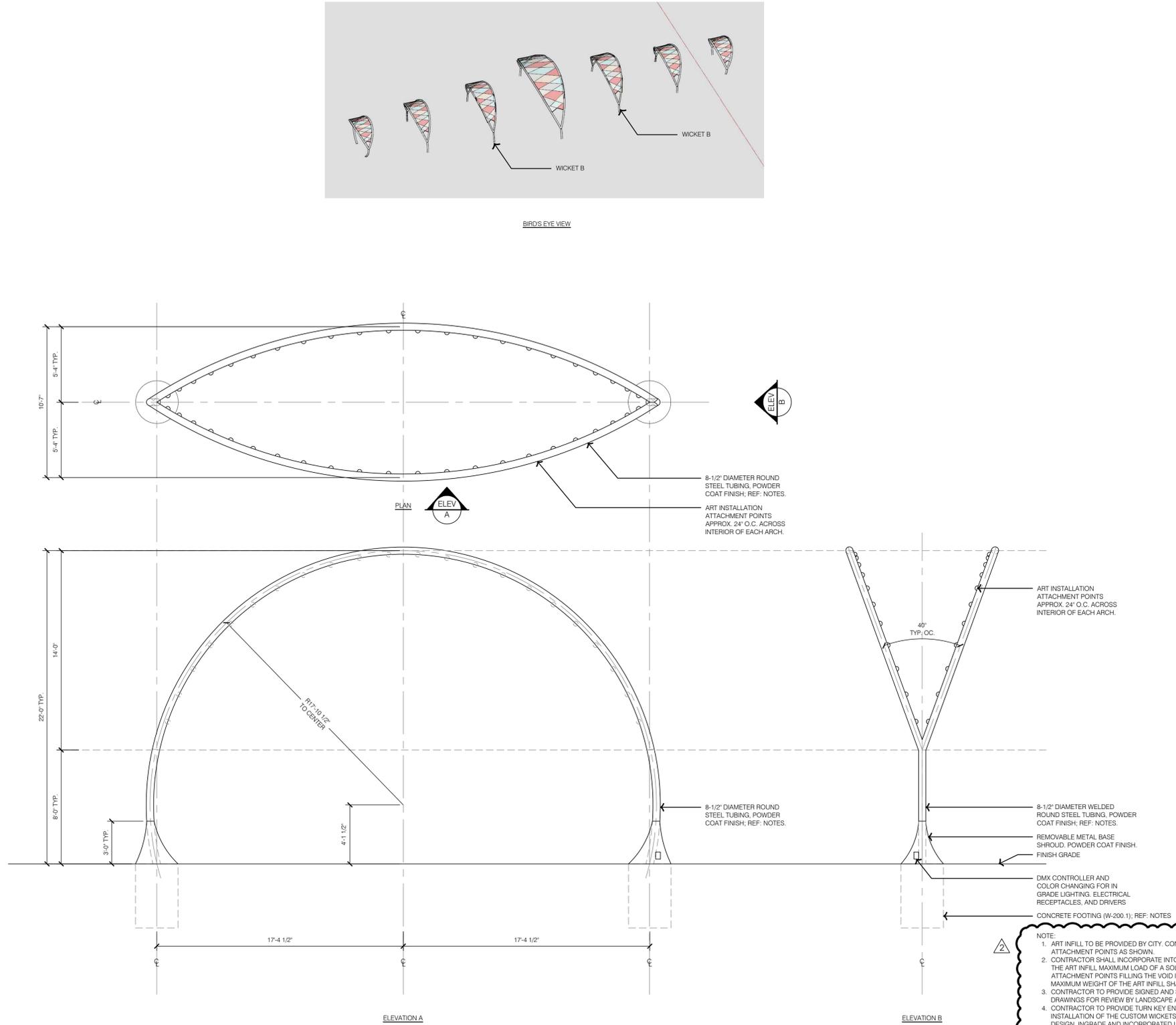
2023

drawn by: TS/TG/EW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing title: HSC_DTL03_02200393
date: 12/22/2023

SHEET
L316



1 WICKET B



NOTE:

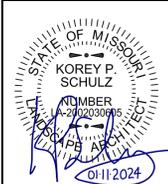
- ART INFILL TO BE PROVIDED BY CITY. CONTRACTOR SHALL PROVIDE ART ATTACHMENT POINTS AS SHOWN.
- CONTRACTOR SHALL INCORPORATE INTO THE ENGINEERING OF THE WICKETS THE ART INFILL MAXIMUM LOAD OF A SOLID PIECE OF ART CONNECTED TO THE ATTACHMENT POINTS FILLING THE VOID IN BETWEEN THE STRUCTURE. MAXIMUM WEIGHT OF THE ART INFILL SHALL BE 500LBS
- CONTRACTOR TO PROVIDE SIGNED AND SEALED ENGINEERED SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO FABRICATING.
- CONTRACTOR TO PROVIDE TURN KEY ENGINEERING, FABRICATION AND INSTALLATION OF THE CUSTOM WICKETS INCLUDING FOOTINGS, STRUCTURAL DESIGN, IN-GRADE AND INCORPORATED LIGHTING, SHROUD, AND ELECTRICAL CIRCUITING WITHIN STRUCTURE AND TO JUNCTION BOX ADJACENT TO WICKET.
- FABRICATION SHALL MEET AESS 3 INCLUDING GRINDING ALL WELDS SMOOTH.
- POWER COAT FINISH COLOR TO BE SELECTED FROM THE MANUFACTURERS FULL RANGE OF COLORS.
- INSTALL PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

RELEASED FOR CONSTRUCTION
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024

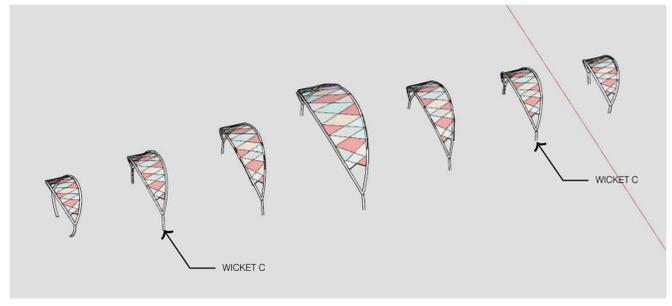
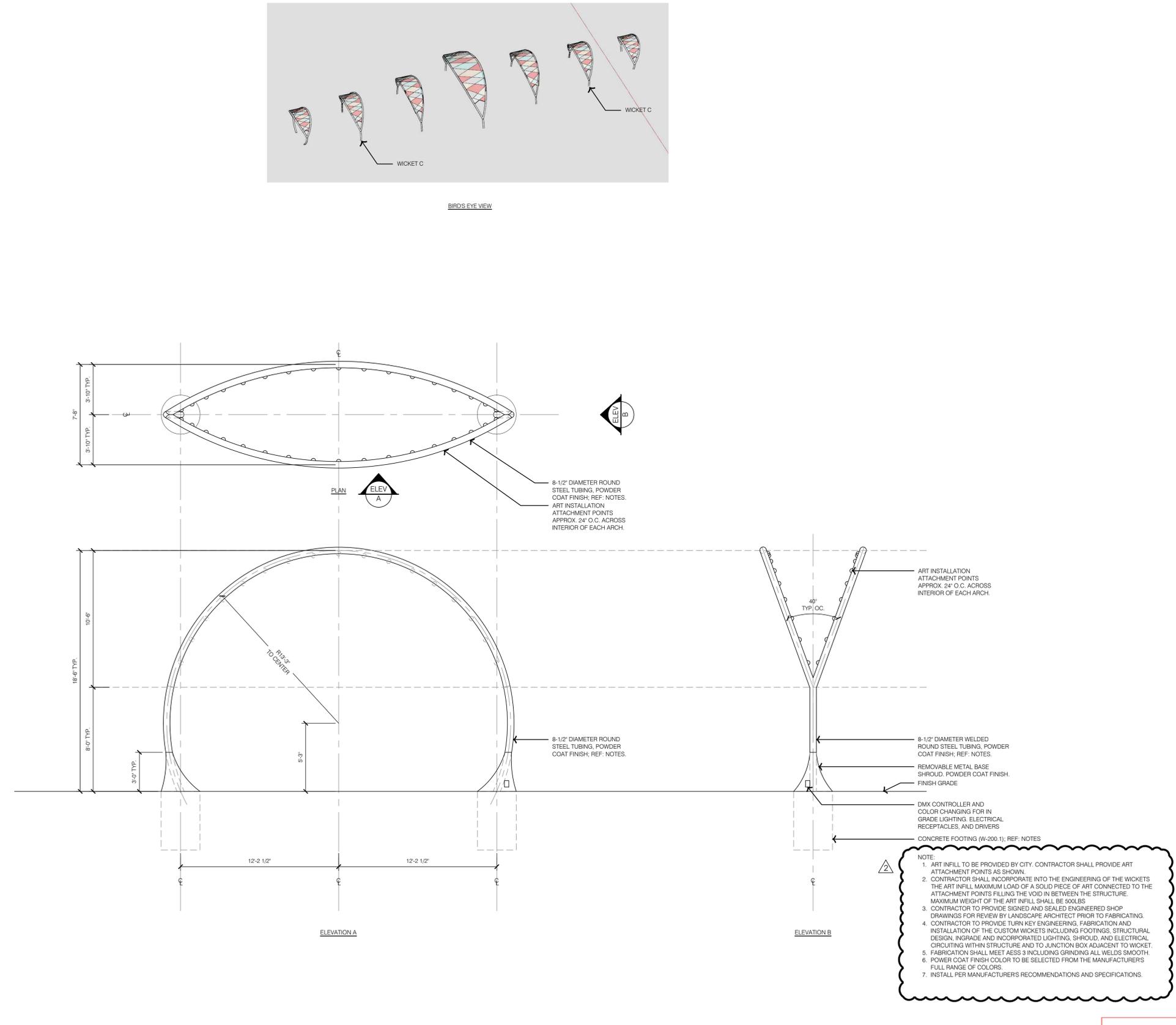
REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	
2	01-11-2024	ADDENDUM #2	

HARDSCAPE DETAILS - WICKETS
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI
 2023

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing no.: HSC_DTL04_02200393
 date: 12/22/2023



1 WICKET C



BIRDS EYE VIEW

NOTE:

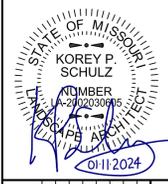
- ART INFILL TO BE PROVIDED BY CITY. CONTRACTOR SHALL PROVIDE ART ATTACHMENT POINTS AS SHOWN.
- CONTRACTOR SHALL INCORPORATE INTO THE ENGINEERING OF THE WICKETS THE ART INFILL MAXIMUM LOAD OF A SOLID PIECE OF ART CONNECTED TO THE ATTACHMENT POINTS FILLING THE VOID IN BETWEEN THE STRUCTURE. MAXIMUM WEIGHT OF THE ART INFILL SHALL BE 500LBS
- CONTRACTOR TO PROVIDE SIGNED AND SEALED ENGINEERED SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO FABRICATING.
- CONTRACTOR TO PROVIDE TURN KEY ENGINEERING, FABRICATION AND INSTALLATION OF THE CUSTOM WICKETS INCLUDING FOOTINGS, STRUCTURAL DESIGN, INGRADE AND INCORPORATED LIGHTING, SHROUD, AND ELECTRICAL CIRCUITING WITHIN STRUCTURE AND TO JUNCTION BOX ADJACENT TO WICKET.
- FABRICATION SHALL MEET AESS 3 INCLUDING GRINDING ALL WELDS SMOOTH.
- POWER COAT FINISH COLOR TO BE SELECTED FROM THE MANUFACTURERS FULL RANGE OF COLORS.
- INSTALL PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

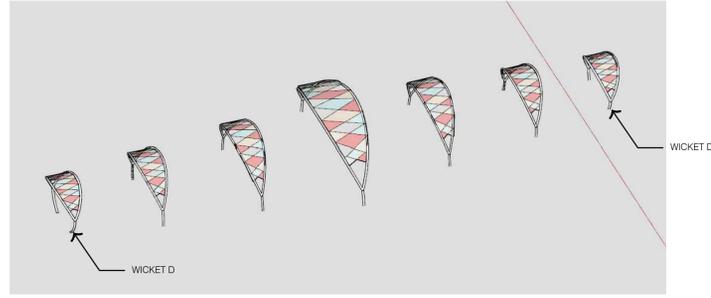
RELEASED FOR CONSTRUCTION
 As Noted on Plan
 Development Services Department
 Lee's Summit, Missouri
 01/09/2024

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDENDUM #1
2	01-11-2024	ADDENDUM #2

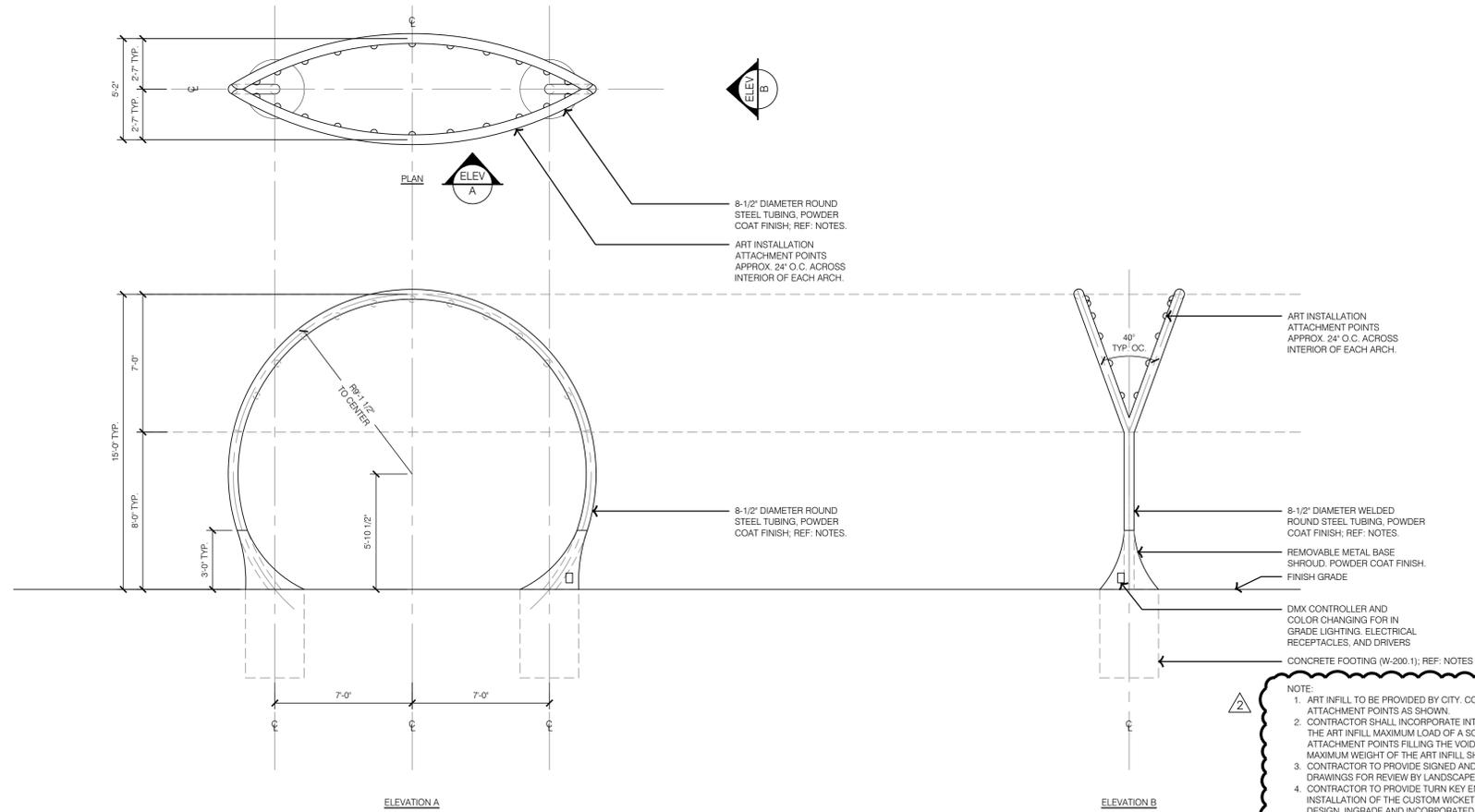
HARDSCAPE DETAILS - WICKETS	
LEE'S SUMMIT DOWNTOWN MARKET GREEN STREET - 2ND STREET TO 3RD STREET	
2023	REVISIONS

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL04_02200393
 date: 12/22/2023





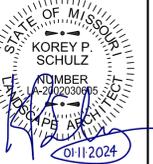
BIRDS EYE VIEW



NOTE:

- ART INFILL TO BE PROVIDED BY CITY. CONTRACTOR SHALL PROVIDE ART ATTACHMENT POINTS AS SHOWN.
- CONTRACTOR SHALL INCORPORATE INTO THE ENGINEERING OF THE WICKETS THE ART INFILL MAXIMUM LOAD OF A SOLID PIECE OF ART CONNECTED TO THE ATTACHMENT POINTS FILLING THE VOID IN BETWEEN THE STRUCTURE. MAXIMUM WEIGHT OF THE ART INFILL SHALL BE 500LBS
- CONTRACTOR TO PROVIDE SIGNED AND SEALED ENGINEERED SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO FABRICATING.
- CONTRACTOR TO PROVIDE TURN KEY ENGINEERING, FABRICATION AND INSTALLATION OF THE CUSTOM WICKETS INCLUDING FOOTINGS, STRUCTURAL DESIGN, IN GRADE AND INCORPORATED LIGHTING, SHROUD, AND ELECTRICAL CIRCUITING WITHIN STRUCTURE AND TO JUNCTION BOX ADJACENT TO WICKET.
- FABRICATION SHALL MEET AESS 3 INCLUDING GRINDING ALL WELDS SMOOTH.
- POWER COAT FINISH COLOR TO BE SELECTED FROM THE MANUFACTURERS FULL RANGE OF COLORS.
- INSTALL PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

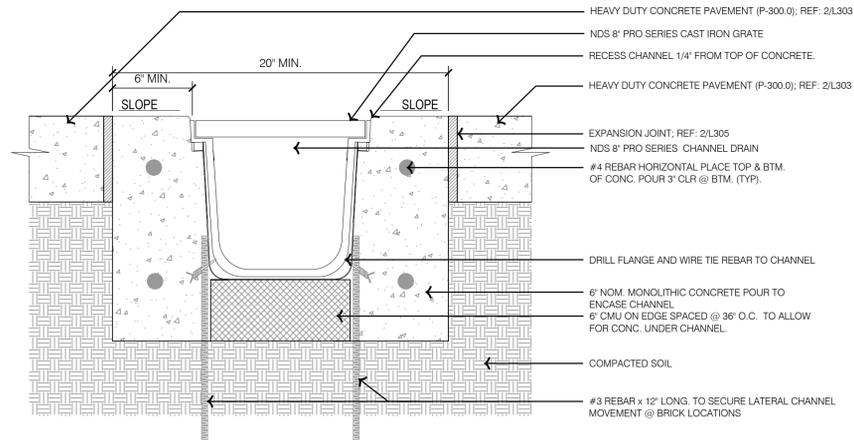
1 WICKET D



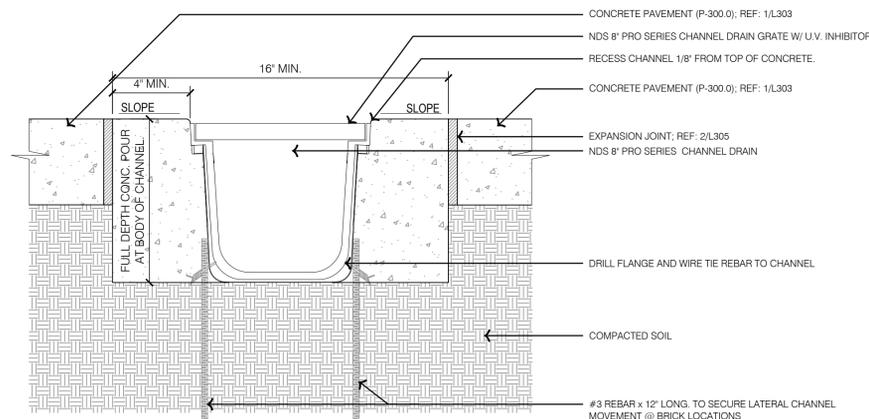
REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	
2	01-11-2024	ADDENDUM #2	

HARDSCAPE DETAILS - WICKETS		2023
LEE'S SUMMIT DOWNTOWN MARKET GREEN STREET - 2ND STREET TO 3RD STREET		
LEE'S SUMMIT, MISSOURI		
drawn by:	TS/TG/EW	
checked by:	DV	
approved by:	KPS	
QA/QC by:	BM	
project no.:	022-00393	
drawing title:	HSC_DTL04_02200393	
date:	12/22/2023	

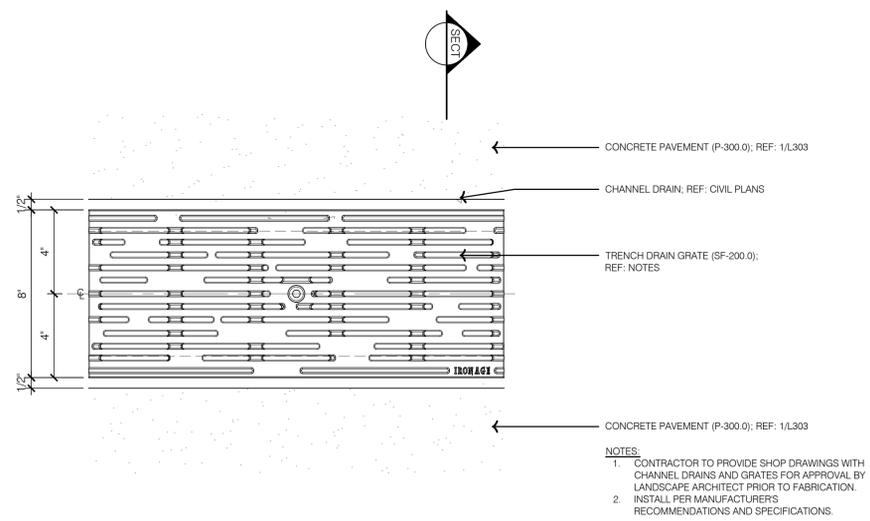
RELEASED FOR CONSTRUCTION
 As Shown on this Drawing
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024



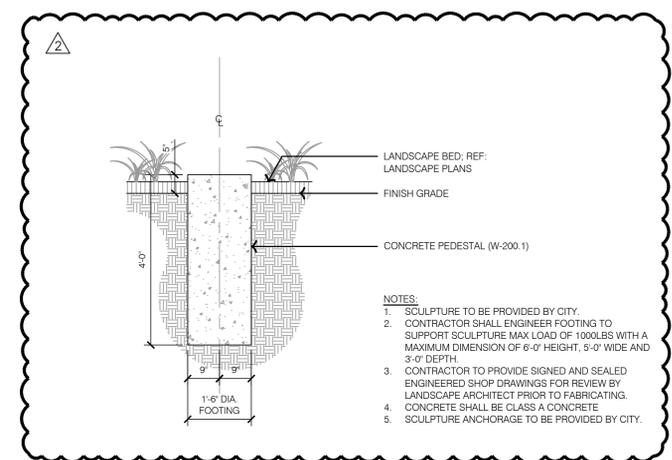
SECTION - HEAVY DUTY CONCRETE PAVEMENT



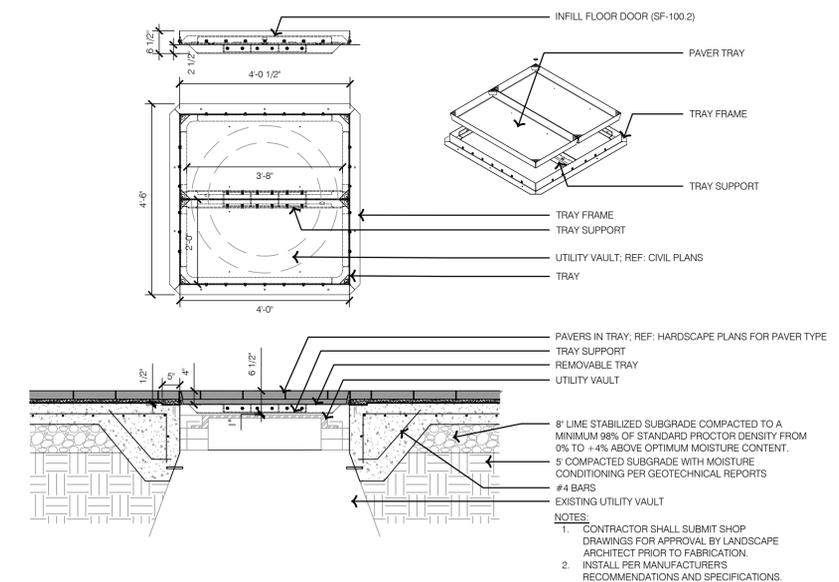
SECTION - STANDARD CONCRETE PAVEMENT



4 TYPICAL TRENCH DRAIN GRATE DETAIL



2 TYPICAL SCULPTURE PEDESTAL (PUBLIC ART)



1 TYPICAL INFILL FLOOR DOOR DETAIL

RELEASED FOR CONSTRUCTION
 As Noted on Plan
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024

OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844
 olsson-studio.com

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	
2	01-11-2024	ADDENDUM #2	

HARDSCAPE DETAILS - AMENITIES

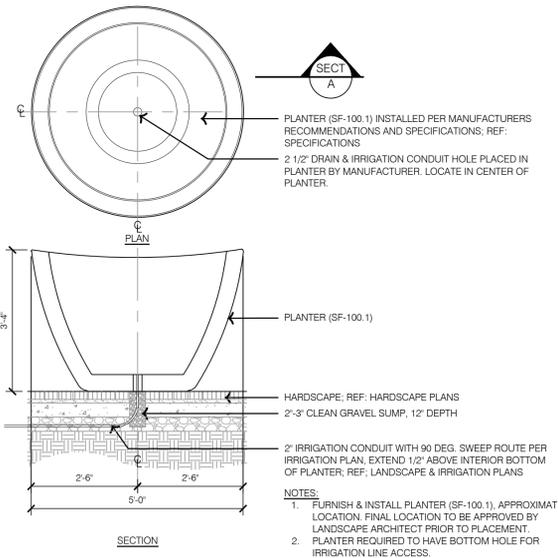
LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

REVISIONS

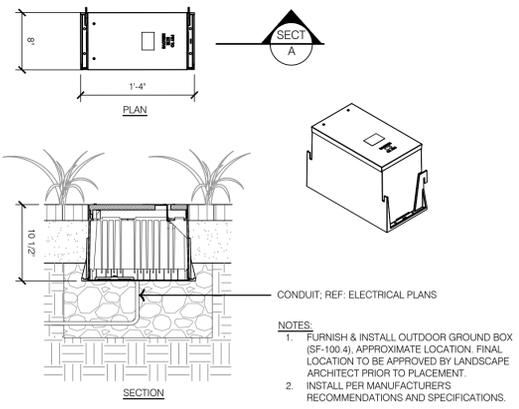
drawn by: TS/TGW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL04_02200393
 date: 12/22/2023

SHEET
 L320

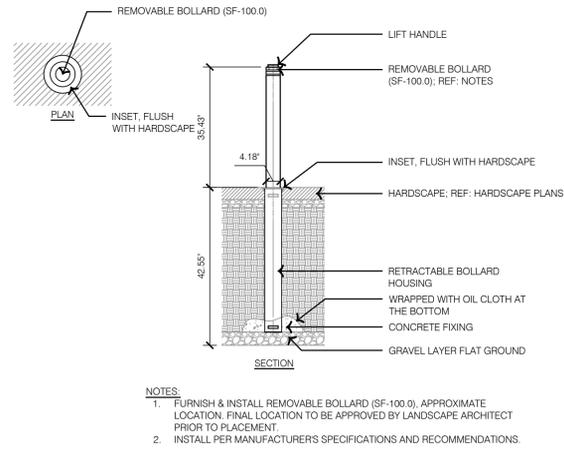
DWG: F:\2023\00001-00500\022-00393\40-design\AutoCAD\final\plans\Sheet\OSTUVA_HSC_DTL04_02200393.dwg
 DATE: Dec 21, 2023 11:52am
 USER: tswehlg
 XREFS: L_TBLK_02200393 DET-TYPICAL-HSC_02200393



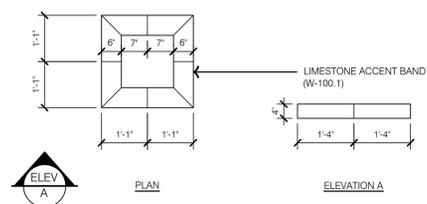
7 TYPICAL PLANTER



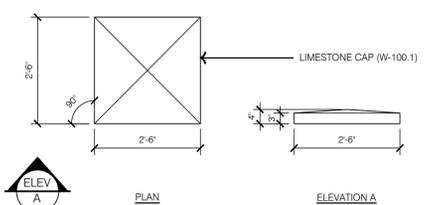
6 OUTDOOR GROUND BOX



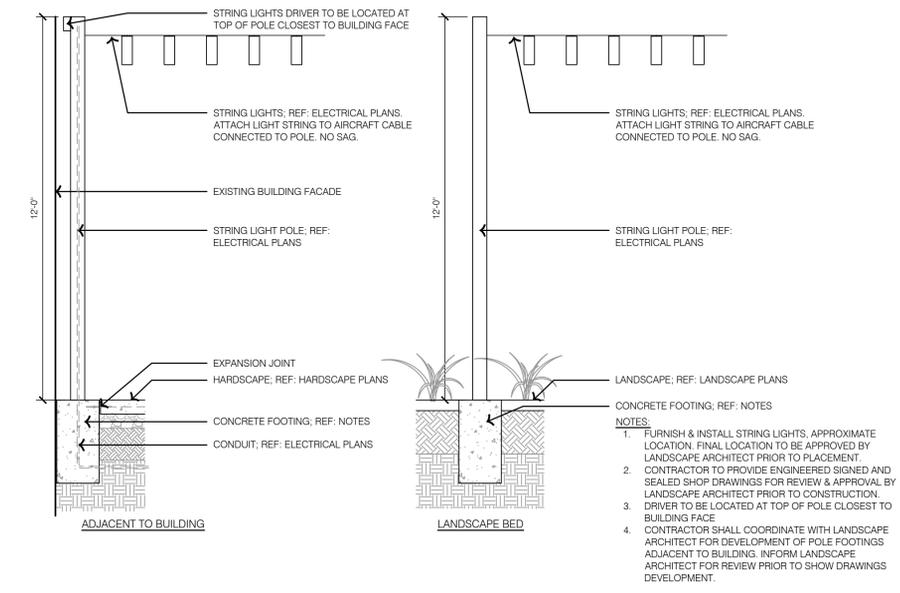
4 TYPICAL REMOVABLE BOLLARD



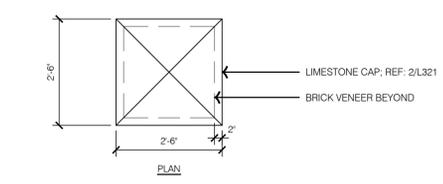
3 GATEWAY COLUMN ACCENT BAND



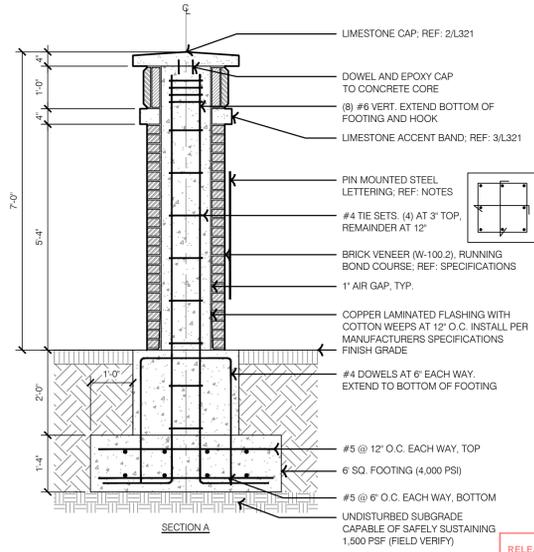
2 GATEWAY COLUMN CAP PLAN A



5 TYPICAL STRING LIGHT POLE



1 GATEWAY COLUMN DETAILS



olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

STATE OF MISSOURI
 KOREY P. SCHULZ
 ARCHITECT
 NUMBER 02200393
 EXPIRES 12-22-2023

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDENDUM #1

BY: _____

HARDSCAPE DETAILS - AMENITIES

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

2023

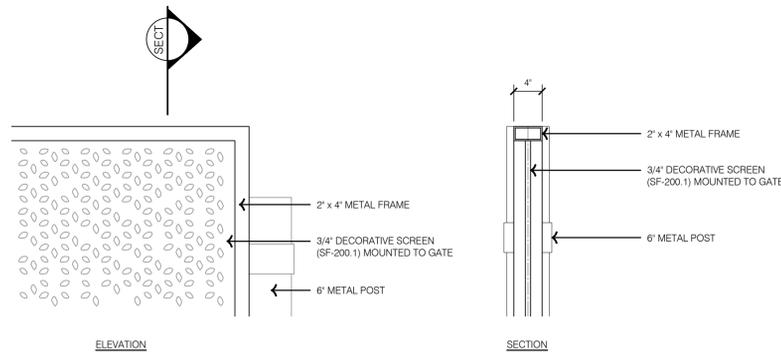
drawn by: TS/TGEW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL04_02200393
 date: 12/22/2023

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Professional Seals and Stamp
 Lee's Summit, Missouri
 01/24/2024

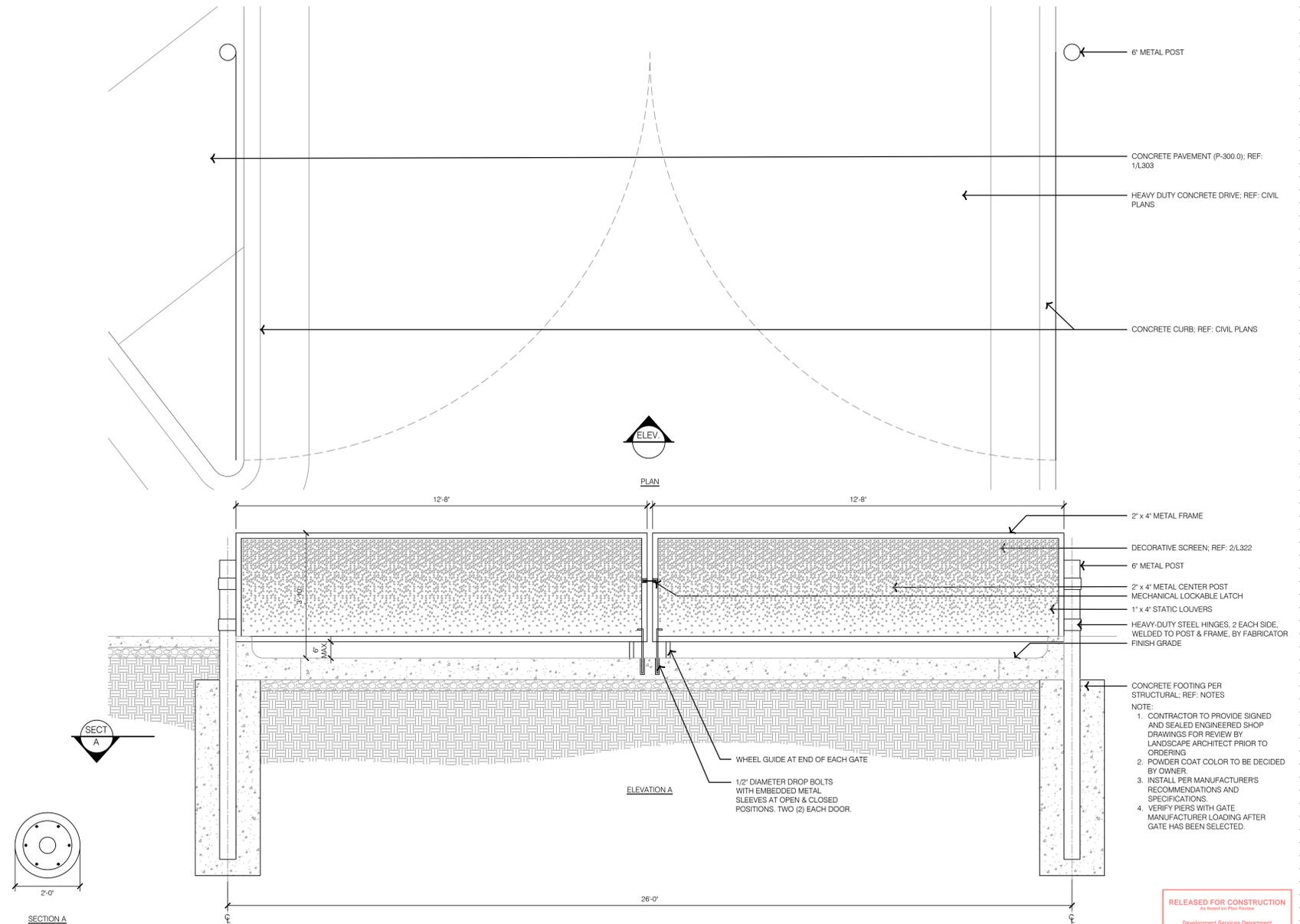
SHEET
 L321

DWG: F:\2023\00001-00500\022-00393\MO-Design\AutoCAD\final\plans\Sheet\OSTU\HSC_DTL04_02200393.dwg
 DATE: Dec 21, 2023 11:52am
 USER: tswhlg
 XREFS: L_PTBK_02200393 DET_TYPICAL_HSC_02200393

2 TYPICAL DECORATIVE SCREEN



1 GATE TYPE 1



- NOTE:
1. CONTRACTOR TO PROVIDE SIGNED AND SEALED ENGINEERED SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO ORDERING.
 2. POWDER COAT COLOR TO BE DECIDED BY OWNER.
 3. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
 4. VERIFY PIERS WITH GATE MANUFACTURER LOADING AFTER GATE HAS BEEN SELECTED.

RELEASED FOR CONSTRUCTION
 As Noted on This Drawing
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024

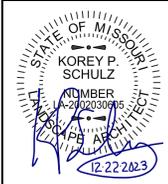
REV NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023		

ADDENDUM #	REVISIONS DESCRIPTION	BY

REVISIONS
2023

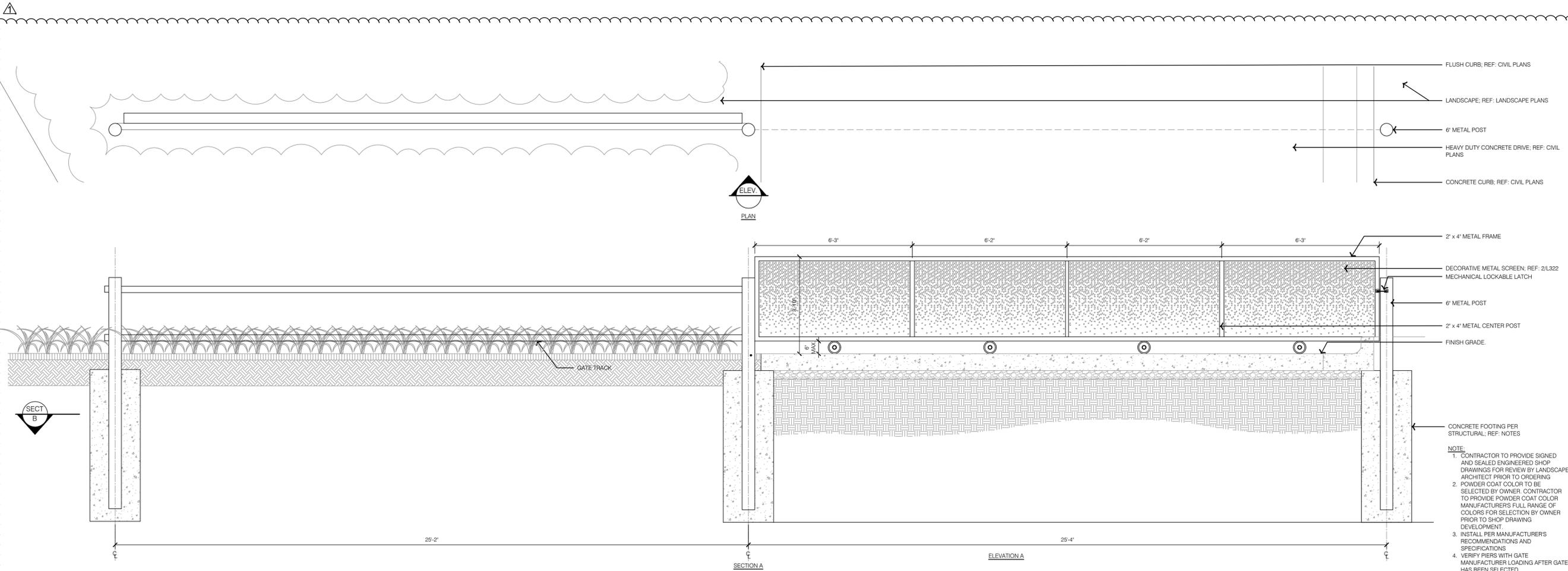
HARDSCAPE DETAILS - GATES
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL04_02200393
 date: 12/22/2023



olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844
 olsson-studio.com

DWG: F:\2023\00001-00500\022-00393\40-Design\AutoCAD\final\plans\Sheet\OSTU\HSC_DTL04_02200393.dwg
 DATE: Dec 21, 2023 11:53am
 USER: tswhlg
 XREFS: L_PTBK_02200393 DEL_TYPICAL_HSC_02200393



- NOTE:**
1. CONTRACTOR TO PROVIDE SIGNED AND SEALED ENGINEERED SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO ORDERING
 2. POWDER COAT COLOR TO BE SELECTED BY OWNER. CONTRACTOR TO PROVIDE POWDER COAT COLOR MANUFACTURER'S FULL RANGE OF COLORS FOR SELECTION BY OWNER PRIOR TO SHOP DRAWING DEVELOPMENT.
 3. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS
 4. VERIFY PIERS WITH GATE MANUFACTURER LOADING AFTER GATE HAS BEEN SELECTED.

RELEASED FOR CONSTRUCTION
 As Noted on Plan Revisions
 Lee's Summit, Missouri
 01/24/2024

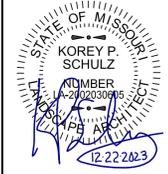
REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023		

HARDSCAPE DETAILS - GATES

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

2023

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: HSC_DTL04_02200393
 date: 12/22/2023

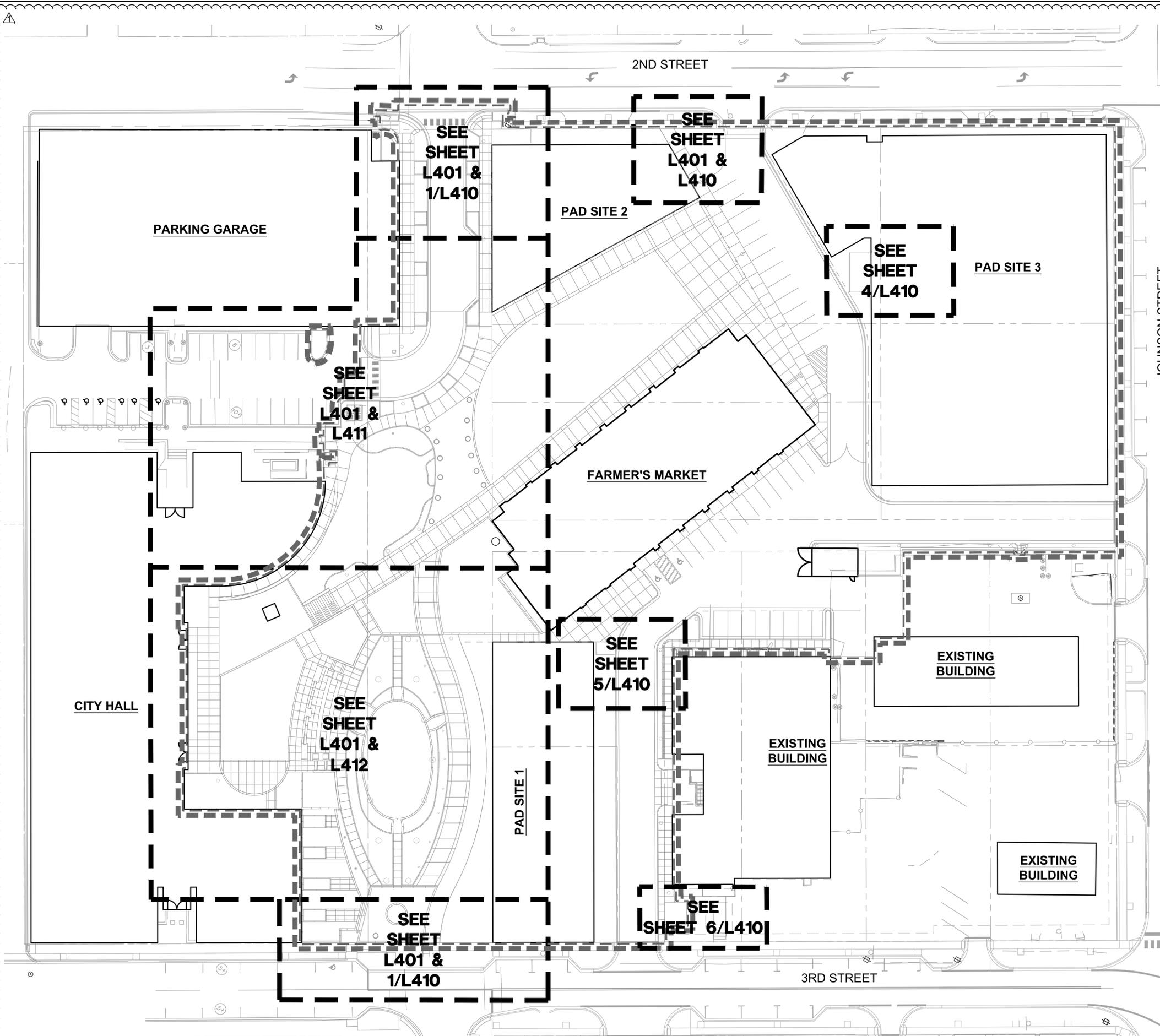


olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844
 olsson-studio.com

1 GATE TYPE 2

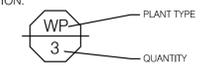
SHEET
L323

DWG: F:\2022\00001-00500\022-00393\40-Design\AutoCAD\Final Plans\Sheets\02200393.dwg
 DATE: Dec 21, 2023 11:16am
 XREFS: L_PTBK_02200393 V_XBASE_02200393 V_XBNDY_02200393
 USER: tpehzijsar
 L_ARCH_02200393
 L_ARCH_BLDG_RETAIL_02200393
 L_ARCH_BLDG_GARAGE_02200393
 L_ARCH_BLDG_HOTEL_02200393
 L_ARCH_BLDG_MARKET_02200393



LANDSCAPE GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
 - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DESCRIPTION.



1 OVERALL LANDSCAPE PLAN



RELEASED FOR CONSTRUCTION
 As Shown on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 01242024

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MISSOURI CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

STATE OF MISSOURI
 KOREY P. SCHULZ
 LANDSCAPE ARCHITECT
 NUMBER 02200393
 EXPIRES 12-22-2023

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDDENDUM #1

OVERALL LANDSCAPE PLAN

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET

2023

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM

project no.: 022-00393
 drawing no.: L_OVR01_02200393
 date: 12/22/2023

SHEET
L400

LANDSCAPING AND SCREENING REQUIREMENTS		
LEE'S SUMMIT, MISSOURI		
CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION		
SITE ZONED: CBD, CP-2, & TNZ, PROPOSED: CBD		
TOTAL PROPERTY: 5.11 ACRES (222,505 SQ FT)		
STREET FRONTAGE TREES:		
SEC. 8.790	ONE TREE PER 30 FEET OF STREET FRONTAGE, PUBLIC OR PRIVATE	
	TREES MAY BE CLUSTERED OR ARRANGED WITHIN THE SETBACK. A MIN. 20' LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF THE STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20'.	
	2ND STREET	
	TOTAL STREET FRONTAGE = N/A	
	(N/A / 30 = 0)	N/A
	JOHNSON STREET	
	TOTAL STREET FRONTAGE = N/A LF	
	(N/A / 30 = 0)	N/A
	3RD STREET	
	TOTAL STREET FRONTAGE = N/A LF	
	(N/A / 30 = 0)	N/A
	GREEN STREET	
	TOTAL STREET FRONTAGE = 470 LF	
	(470 / 30 = 15.67)	16 TREES
		10 TREES
OPEN YARD TREES:		
SEC. 8.790	ONE TREE PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT	
	TOTAL LOT AREA = 136,928.30 SQ FT	
	BUILDING FOOTPRINT = 36,591.36 SQ FT	
	136,928.30 - 36,591.36 SQ FT = 100,336.94 SQ FT	
	100,336.94 / 5,000 = 20.07 TREES	
	21 TREES	23 TREES
	LANDSCAPE TOTALS	
	37 TREES	33 TREES
STREET FRONTAGE SHRUBS:		
SEC. 8.790	ONE SHRUB PER 20 FEET OF STREET FRONTAGE	
	A MINIMUM 20 FEET WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.	
	2ND STREET	
	TOTAL STREET FRONTAGE = N/A LF	
	(N/A / 20 = 0)	N/A
	JOHNSON STREET	
	TOTAL STREET FRONTAGE = N/A LF	
	(N/A / 20 = 0)	N/A
	3RD STREET	
	TOTAL STREET FRONTAGE = N/A LF	
	(N/A / 20 = 0)	N/A
	GREEN STREET	
	TOTAL STREET FRONTAGE = 470 LF	
	(470 / 20 = 23.5)	24 SHRUBS
		98 SHRUBS
OPEN YARD SHRUBS:		
SEC. 8.790	TWO SHRUBS PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT	
	TOTAL LOT AREA = 136,928.30 SQ FT	
	BUILDING FOOTPRINT = 36,591.36 SQ FT	
	136,928.30 - 36,591.36 SQ FT = 100,336.94 SQ FT	
	100,336.94 / 5,000 = 20.07 x 2 = 40.13 SHRUBS	
	41 SHRUBS	475 SHRUBS
	LANDSCAPE TOTALS	
	65 SHRUBS	508 SHRUBS
PARKING LOT LANDSCAPING:		
SEC. 8.810	LANDSCAPE ISLANDS, STRIPS, OR OTHER PLANTING AREA SHALL BE AT LEAST FIVE PERCENT OF THE ENTIRE PARKING AREA	
	TOTAL PARKING LOT AREA: N/A SQ FT	
	TOTAL LANDSCAPE ISLAND AREA: N/A SQ FT	
	N/A / N/A = 0	N/A
		N/A
	OPEN AREAS NOT COVERED WITH OTHER MATERIALS SHALL BE COVERED WITH SOD.	

OVERSTORY PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES				
AR	ACER RUBRUM BRANDYWINE	BRANDYWINE MAPLE	6-8" CAL	B&B
GB	GINKGO BILOBA PNI 2720	PRINCETON SENTRY GINKGO	3" CAL	B&B
MS	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	3" CAL	B&B
UF	ULMUS FRONTALIS	FRONTIER ELM	5" CAL	B&B
ORNAMENTAL TREES				
SR	SYRINGA RETICULATA IVORY SILK	IVORY SILK JAPANESE TREE LILAC	3" CAL	B&B

UNDERSTORY PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
DECIDUOUS SHRUBS					
HY	HYDRANGEA ARBORESCENS ABETWO	INCREDIBLE HYDRANGEA	5 GAL	CONT.	
HB	HYDRANGEA PANICULATA LIVORO	BOBOW PANICLE HYDRANGEA	5 GAL	CONT.	
HQ	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	5 GAL	CONT.	
HF	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	5 GAL	CONT.	
HT	HYPERICUM KALIMANUM 'SMHKBP'	BLUES FESTIVAL® ST. JOHN'S WORT	5 GAL	CONT.	
PW	PHYSCARPUS OPULIFOLIUS 'SMHPMS'	SUMMER WINE® BLACK NINEBARK	5 GAL	CONT.	
SD	SPIRAEA X 'NCS2'	DOUBLE PLAY DODGE® SPIREA	5 GAL	CONT.	
SY	SYRINGA X 'SMNSDP'	BABY KIM® DWARF LILAC	5 GAL	CONT.	
EVERGREEN SHRUBS					
BG	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	5 GAL	CONT.	
CH	CEPHALOTAXUS HARRINGTONIA	PLUM YEW	5 GAL	CONT.	
JO	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL EASTERN RED CEDAR	5 GAL	CONT.	
TH	TAXUS X 'MEDIA HICKSII'	HICKS ANGIO-JAPANESE YEW	5 GAL	CONT.	
ORNAMENTAL GRASSES					
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	3 GAL	CONT.	
PS	PANICUM VIRGATUM 'SHEENANJOAH'	SHEENANJOAH SWITCH GRASS	3 GAL	CONT.	
PH	PENNISETUM ALOPECUROIDES 'HAMELIN'	HAMELIN FOUNTAIN GRASS	3 GAL	CONT.	
ST	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSIDE	3 GAL	CONT.	
PERENNIALS					
AL	ALLIUM X 'MILLENIUM'	MILLENIUM ORNAMENTAL ONION	1 GAL	CONT.	
HA	HOSTA X 'HALCYON'	HALCYON HOSTA	1 GAL	CONT.	
HO	HOSTA X 'MINUTEMAN'	MINUTEMAN HOSTA	1 GAL	CONT.	
ANNUALS					
ANN	ANNUALS		4" POT		12" o.c.
PERENNIALS					
CK	CAREX FLACCA 'BLUE ZINGER'	BLUE ZINGER SEDGE	1 GAL	CONT.	15" o.c.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	1 GAL	CONT.	18" o.c.
LV	LIRIOPE MUSCARI 'VARIEGATA'	VAREGATED LILY TURF	1 GAL	CONT.	18" o.c.
RS	RUIDBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR CONEFLOWER	1 GAL	CONT.	12" o.c.
VC	VINCA MINOR 'BOWLES'	BOWLES PERIWINKLE	1 GAL	CONT.	12" o.c.

olsson studio



REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDITION #1

LANDSCAPE & SCREENING REQUIREMENTS DATA

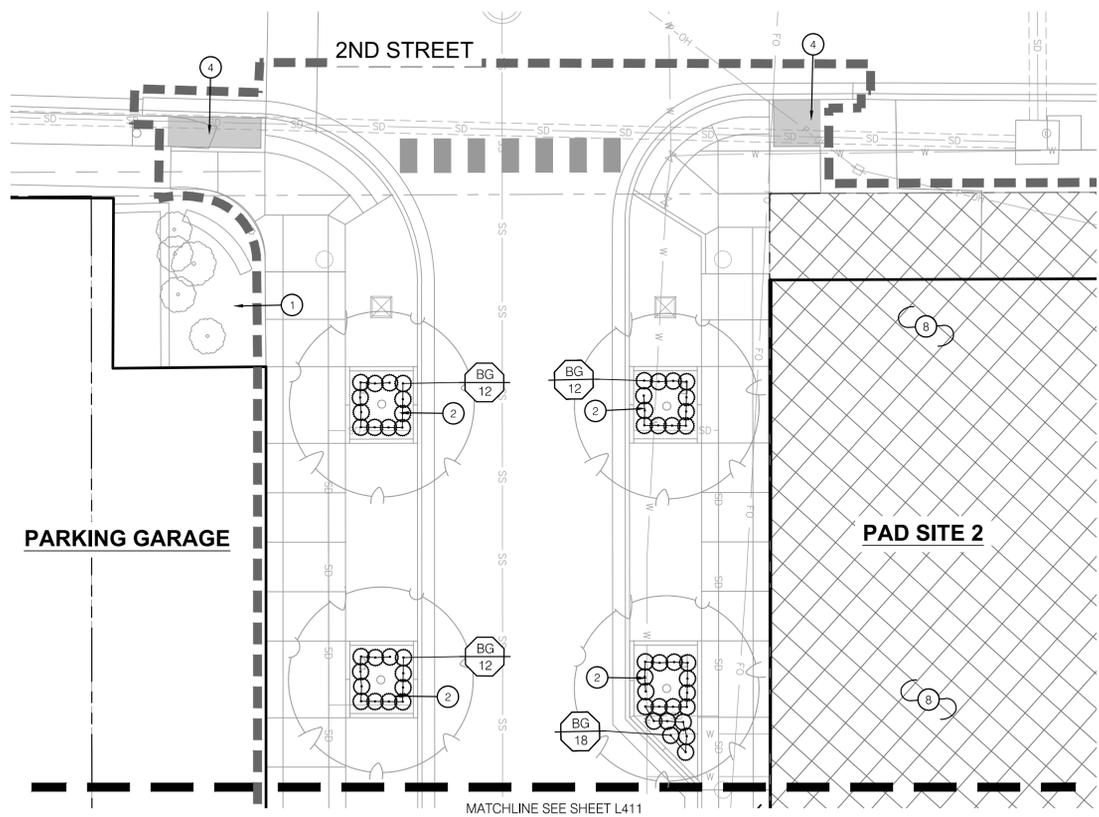
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET
LEE'S SUMMIT, MISSOURI

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing no.: L_LSC01_02200393
 date: 12/22/2023

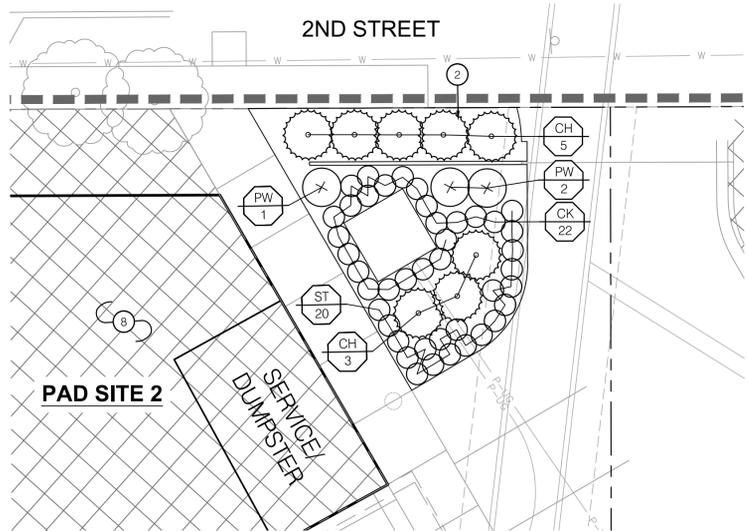
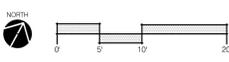
SHEET L402

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024

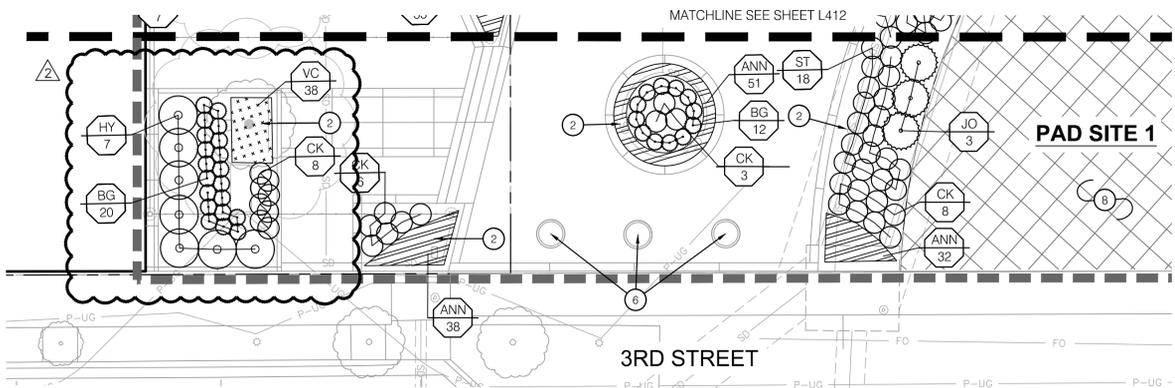
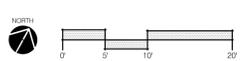
DWG: F:\2024\00001-00500\022-00393\40-Design\AutoCAD\Final Plans\Sheets\EST\1\LSC_UND01_02200393.dwg
 DATE: Jan 11, 2024 10:07am
 USER: ewilner
 C:\P\UTIL_02200393
 C:\BASE_02200393
 C:\PSURF_02200393
 C:\ARCH_BLDG_RETAIL_02200393
 C:\ARCH_BLDG_GARAGE_02200393
 L_ARCH_BLDG_HOT



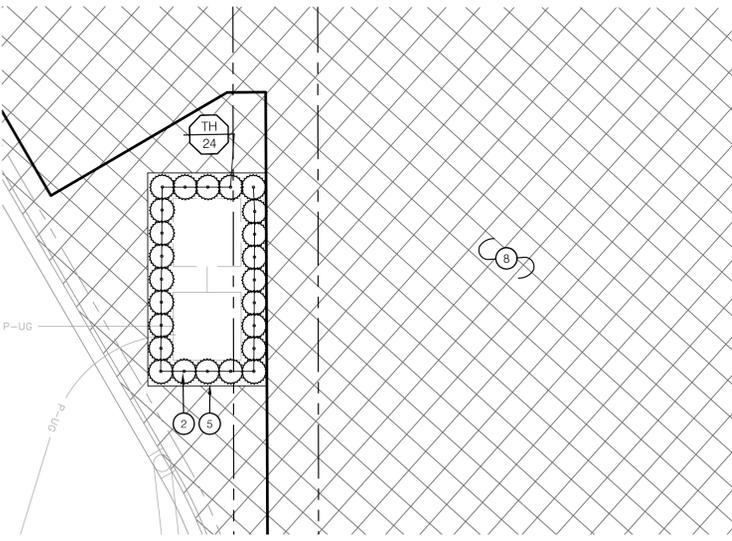
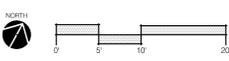
1 LANDSCAPE UNDERSTORY PLAN



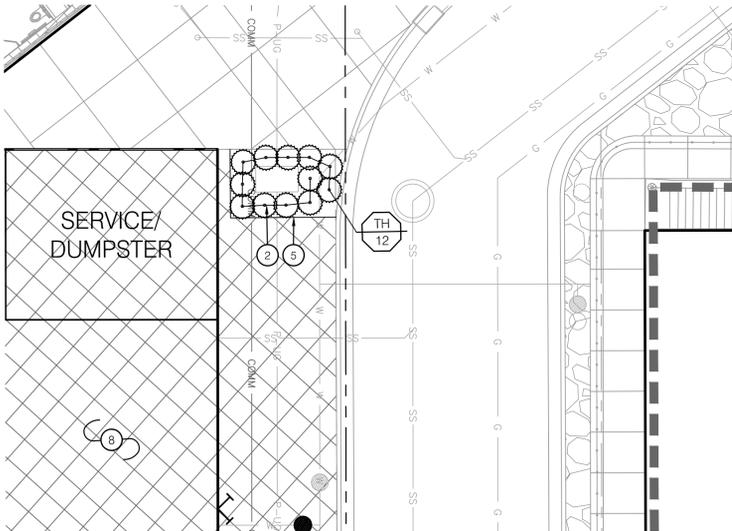
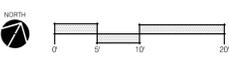
2 LANDSCAPE UNDERSTORY PLAN



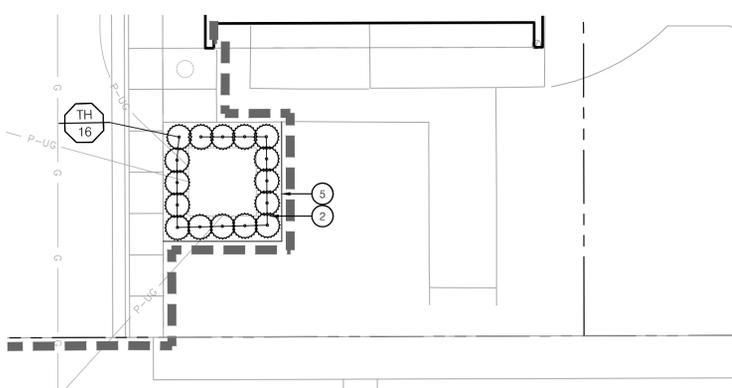
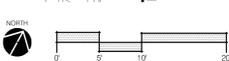
3 LANDSCAPE UNDERSTORY PLAN



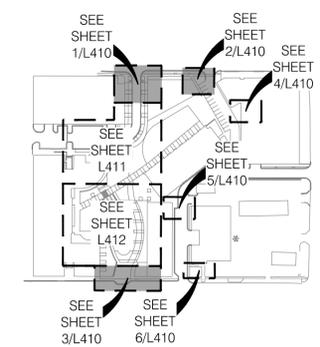
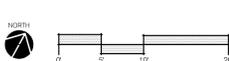
4 LANDSCAPE UNDERSTORY PLAN



5 LANDSCAPE UNDERSTORY PLAN



6 LANDSCAPE UNDERSTORY PLAN



KEYMAP

LANDSCAPE LEGEND:

- LIMITS OF CONSTRUCTION
- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCHLINE
- EXISTING TREE
- OVERSTORY TREE
- ORNAMENTAL TREE
- TURF TYPE FESCUE SOD
- TURF TYPE FESCUE SEED
- ANNUALS
- PERENNIALS

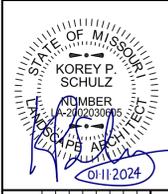
LANDSCAPE UNDERSTORY PLAN NOTES:

- 1 EXISTING PLANTING BED TO REMAIN
- 2 PLANTING BED WITH DOUBLE-GROUND HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, DETAILS, & SPECIFICATIONS
- 3 PLANTING BED WITH ROCK MULCH (SF-300.2); REF: LANDSCAPE GENERAL NOTES, DETAILS, & SPECIFICATIONS
- 4 AREA TO BE SODDED WITH TURF-TYPE FESCUE SOD; REF: SPECIFICATIONS
- 5 INSTALL STEEL BED EDGE; REF: 4/L490
- 6 PLANTER; REF: 7/L490
- 7 INSTALL LANDSCAPE DRAIN INLET; REF: CIVIL PLANS
- 8 AREA TO BE SEEDED WITH TURF TYPE FESCUE SEED; REF: SPECIFICATIONS

UNDERSTORY PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
DECIDUOUS SHRUBS				
HY	HYDRANGEA ARBORESCENS 'ARBETO'	INCREDIBALL® HYDRANGEA	5 GAL	CONT.
HB	HYDRANGEA PANICULATA 'LVOBO'	BOBO® PANICLE HYDRANGEA	5 GAL	CONT.
HQ	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	5 GAL	CONT.
HF	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	5 GAL	CONT.
HT	HYPERICUM KALMANUM 'SMHKB'	BLUES FESTIVAL® ST. JOHN'S WORT	5 GAL	CONT.
PW	PHYSCARPUS OPILOLOIUS 'SMNPM'	SUMMER WINE® BLACK NINEBARK	5 GAL	CONT.
SD	SPIRAEA X 'NCSX2'	DOUBLE PLAY DOOZIE® SPIREA	5 GAL	CONT.
SY	SYRINGA X 'SMNSDTP'	BABY KIM® DWARF LILAC	5 GAL	CONT.
EVERGREEN SHRUBS				
BG	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	5 GAL	CONT.
CH	CEPHALOTAXUS HARRINGTONIA	PLUM YEW	5 GAL	CONT.
JO	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL EASTERN REDCEDAR	5 GAL	CONT.
TH	TAXUS X MEDIA 'WICKSII'	WICKS ANGLo-JAPANESE YEW	5 GAL	CONT.
ORNAMENTAL GRASSES				
CR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	3 GAL	CONT.
PS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	3 GAL	CONT.
PH	Pennisetum alopecuroides 'HAMELN'	HAMELN FOUNTAIN GRASS	3 GAL	CONT.
ST	Sporobolus heterolepis 'TARA'	TARA PRAIRIE DROPSSEED	3 GAL	CONT.
PERENNIALS				
AL	ALLIUM X 'MILLENNIUM'	MILLENNIUM ORNAMENTAL ONION	1 GAL	CONT.
HA	HOSTA X 'HALCYON'	HALCYON HOSTA	1 GAL	CONT.
HO	HOSTA X 'MINUTEMAN'	MINUTEMAN HOSTA	1 GAL	CONT.
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
ANNUALS				
ANN	ANNUALS		4" POT	12" o.c.
PERENNIALS				
CB	CAREX FLACCA 'BLUE ZINGER'	BLUE ZINGER SEDGE	1 GAL	CONT.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.
LV	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	1 GAL	CONT.
RS	RUDBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR CONEFLOWER	1 GAL	CONT.
VC	VINCA MINOR 'BOWLES'	BOWLES PERIWINKLE	1 GAL	CONT.

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844
 olsson-studio.com



REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDENDUM #1
2	01-11-2024	ADDENDUM #2

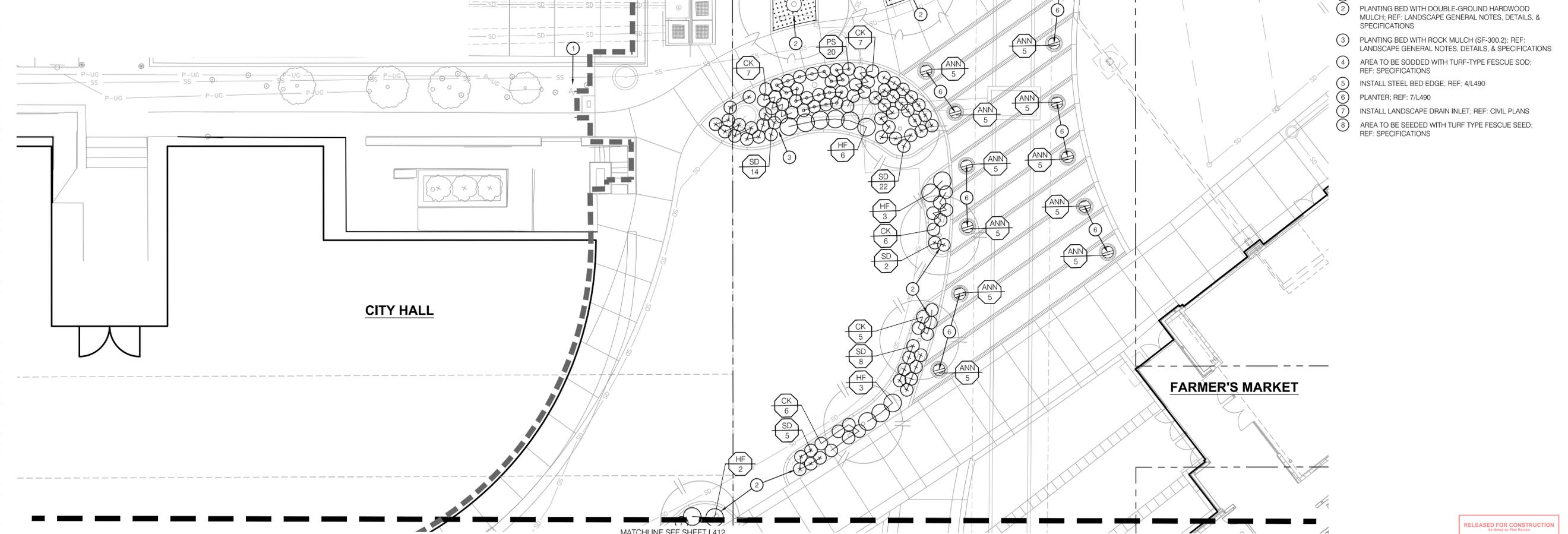
LANDSCAPE UNDERSTORY PLAN
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

F:\2024\0001-00500\022-00393\40-Design\AutoCAD\Final Plans\Sheets\OST\L\LSC_UND01_02200393.dwg
 DATE: Dec 21, 2023 11:23am XREFS: L_PTBK_02200393 V_XBNDY_02200393 C_PBASE_02200393 C_PURSE_02200393 A_PBASE_02200393 L_ARCH_BLDG_RETAIL_02200393 L_ARCH_BLDG_GARAGE_02200393 L_ARCH_BLDG_HOT

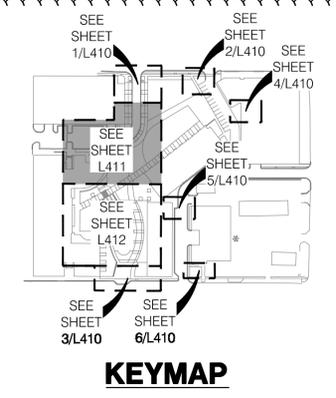
UNDERSTORY PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	
DECIDUOUS SHRUBS					
HY	HYDRANGEA ARBORESCENS 'ABETWO'	INCREDIBALL® HYDRANGEA	5 GAL	CONT.	
HB	HYDRANGEA PANICULATA 'LVOBO'	BOBO® PANICLE HYDRANGEA	5 GAL	CONT.	
HO	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	5 GAL	CONT.	
HF	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHNS WORT	5 GAL	CONT.	
HT	HYPERICUM KALMANIUM 'SMHKB'	BLUES FESTIVAL® ST. JOHNSWORT	5 GAL	CONT.	
PW	PHYSOCARPUS OPULENTIUS 'SMNPM'	SUMMBER WINE® BLACK NINEBARK	5 GAL	CONT.	
SD	SPIRAEA X 'NCSK'	DOUBLE PLAY DOOZIE® SPIREA	5 GAL	CONT.	
SY	'SPRINGA X 'SMNSDIP'	BABY KIM® DWARF LILAC	5 GAL	CONT.	
EVERGREEN SHRUBS					
BG	'BUJUS X 'GREEN GEM'	GREEN GEM BOXWOOD	5 GAL	CONT.	
CH	CEPHALOTYLUS HARRINGTONIA	PLUM YEW	5 GAL	CONT.	
JO	'JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL EASTERN REDCEDAR	5 GAL	CONT.	
TH	TAXUS X MEDIA 'HICKSII'	HICKS ANGLO-JAPANESE YEW	5 GAL	CONT.	
ORNAMENTAL GRASSES					
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	3 GAL	CONT.	
PS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	3 GAL	CONT.	
PH	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	3 GAL	CONT.	
ST	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSIDE	3 GAL	CONT.	
PERENNIALS					
AL	ALLIUM X 'MILLENIUM'	MILLENIUM ORNAMENTAL ONION	1 GAL	CONT.	
HA	HOSTA X 'HALCYON'	HALCYON HOSTA	1 GAL	CONT.	
HO	HOSTA X 'MINUTEMAN'	MINUTEMAN HOSTA	1 GAL	CONT.	
ANNUALS					
ANN	ANNUALS		4" POT	12" o.c.	
PERENNIALS					
CX	CAREX FLACCA 'BLUE ZINGER'	BLUE ZINGER SEDGE	1 GAL	CONT.	15" o.c.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	18" o.c.
LV	LIRIOPE MUSCARI 'VAREGATA'	VAREGATED LILYTURF	1 GAL	CONT.	18" o.c.
RS	RUIDECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR CONEFLOWER	1 GAL	CONT.	12" o.c.
VC	VINCA MINOR 'BOWLES'	BOWLES PERIWINKLE	1 GAL	CONT.	12" o.c.

CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
ANNUALS					
ANN	ANNUALS		4" POT		12" o.c.
PERENNIALS					
CX	CAREX FLACCA 'BLUE ZINGER'	BLUE ZINGER SEDGE	1 GAL	CONT.	15" o.c.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	18" o.c.
LV	LIRIOPE MUSCARI 'VAREGATA'	VAREGATED LILYTURF	1 GAL	CONT.	18" o.c.
RS	RUIDECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR CONEFLOWER	1 GAL	CONT.	12" o.c.
VC	VINCA MINOR 'BOWLES'	BOWLES PERIWINKLE	1 GAL	CONT.	12" o.c.



1 LANDSCAPE UNDERSTORY PLAN

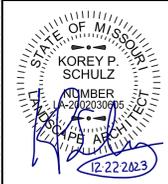


LANDSCAPE LEGEND:

- LIMITS OF CONSTRUCTION
- - - RIGHT OF WAY / PROPERTY LINE
- - - SHEET MATCHLINE
- EXISTING TREE
- OVERSTORY TREE
- ORNAMENTAL TREE
- ▨ TURF TYPE FESCUE SOD
- ▨ TURF TYPE FESCUE SEED
- ▨ ANNUALS
- ▨ PERENNIALS

- LANDSCAPE UNDERSTORY PLAN NOTES:**
- EXISTING PLANTING BED TO REMAIN
 - PLANTING BED WITH DOUBLE-GROUND HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, DETAILS, & SPECIFICATIONS
 - PLANTING BED WITH ROCK MULCH (SF-300.2); REF: LANDSCAPE GENERAL NOTES, DETAILS, & SPECIFICATIONS
 - AREA TO BE SODDED WITH TURF-TYPE FESCUE SOD; REF: SPECIFICATIONS
 - INSTALL STEEL BED EDGE; REF: 4/L490
 - PLANTER; REF: 7/L490
 - INSTALL LANDSCAPE DRAIN INLET; REF: CIVIL PLANS
 - AREA TO BE SEEDED WITH TURF TYPE FESCUE SEED; REF: SPECIFICATIONS

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844
 olsson-studio.com



REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023		

LANDSCAPE UNDERSTORY PLAN
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

2023

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing: LSC_UND01_02200393
 date: 12/22/2023

SHEET 1411

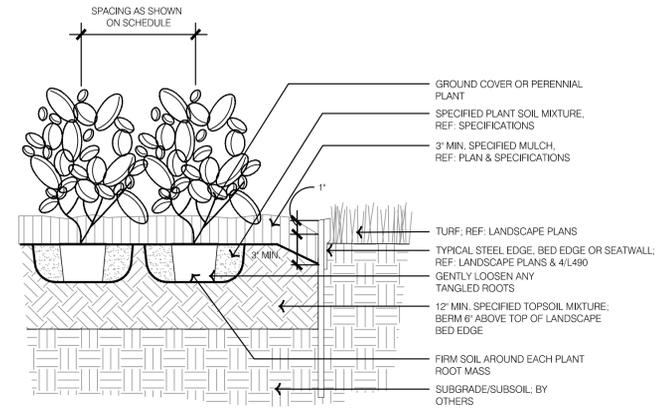
RELEASED FOR CONSTRUCTION
 As Issued on This Date
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024

USER: tgoetzinger

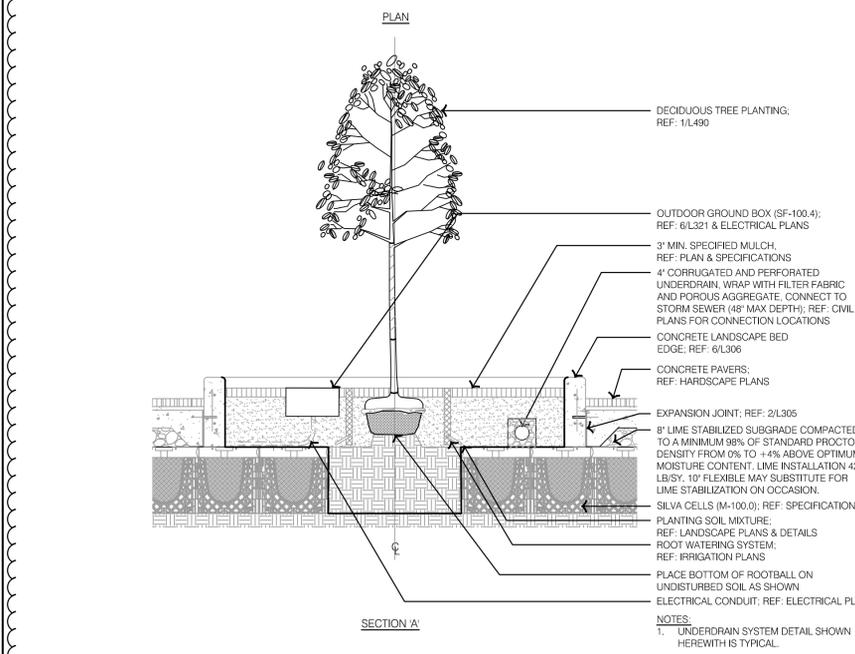
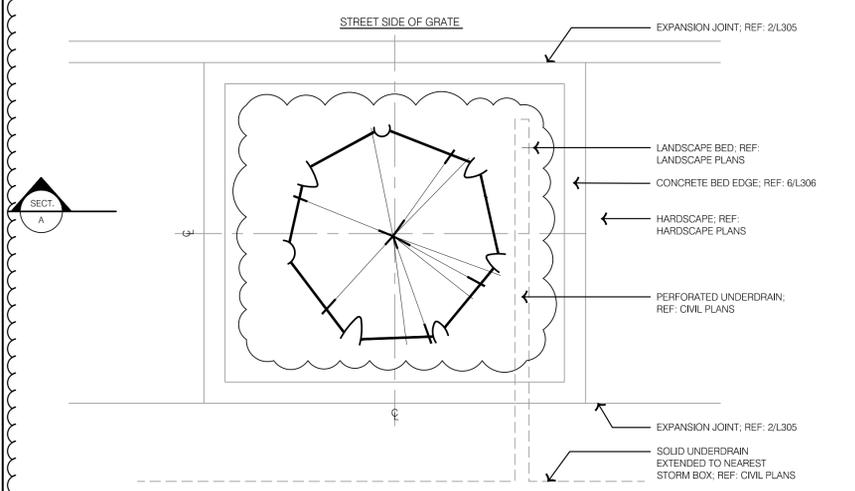
DWG: F:\2023\00001-00500\022-00393\40-Design\AutoCAD\Final Plans\Sheets\OSTU\LSC_DTL01_02200393.dwg
DATE: Dec 21, 2023 11:25am XREFS: L_PTB\LSC_02200393.DET TYPICAL_LSC_02200393



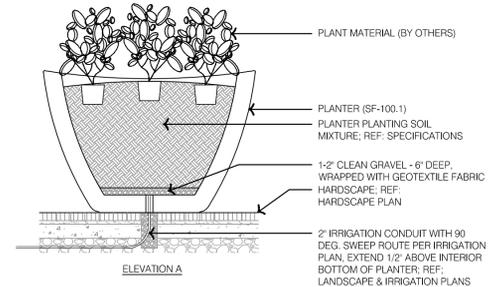
6 TYPICAL DECORATIVE ROCK MULCH



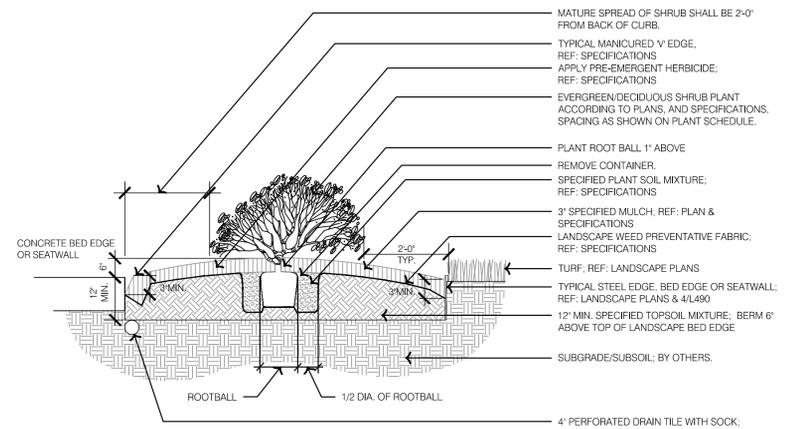
3 TYPICAL GROUNDCOVER AND PERENNIAL PLANTING DETAIL



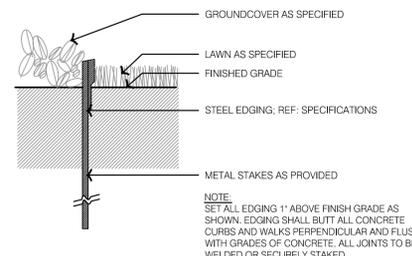
7 SILVA CELL PLANTER



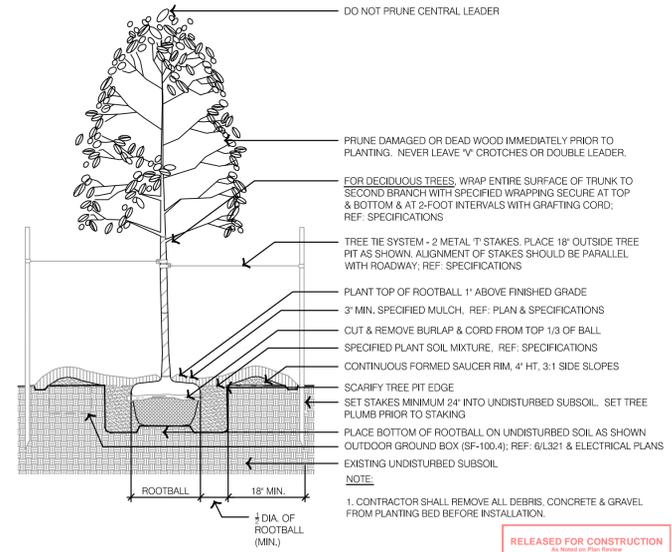
5 TYPICAL PLANTER



2 TYPICAL SHRUB PLANTING DETAIL



4 TYPICAL STEEL BED EDGE DETAIL



1 TYPICAL DECIDUOUS TREE PLANTING DETAIL

olsson studio
OLSSON - LANDSCAPE ARCHITECTURE
MO CERTIFICATE OF AUTHORITY # 2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816.842.8844
olsson-studio.com



REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDED #1	

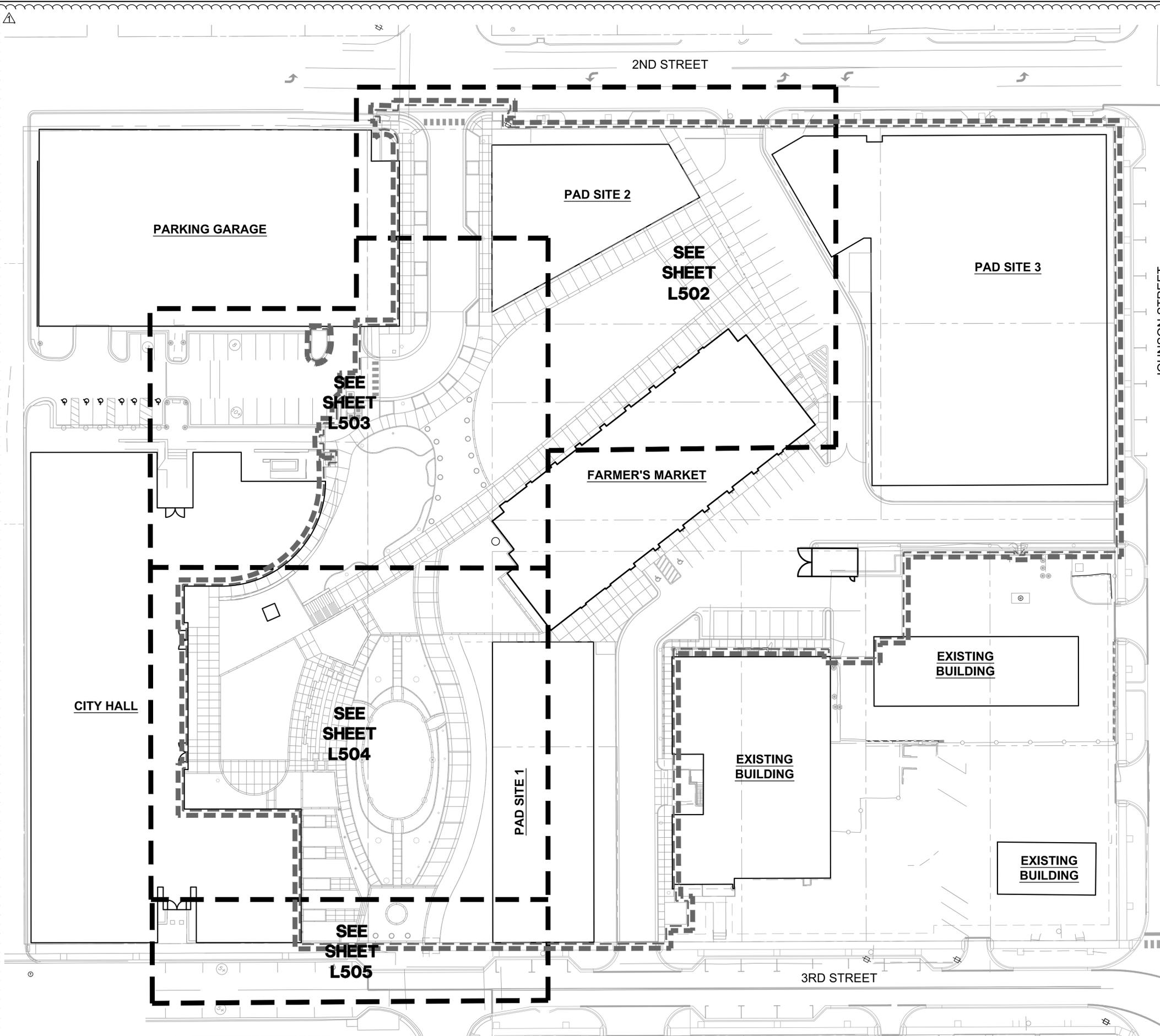
2023

LANDSCAPE DETAILS
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET
LEE'S SUMMIT, MISSOURI

SHEET L490

RELEASED FOR CONSTRUCTION
As Shown on This Drawing
Development Services Department
Lee's Summit, Missouri
01/24/2024

F:\2022\00001-00500\022-00393\40-design\AutoCAD\final\p\p\Streets\OSTU\L_OVR01_02200393.dwg USER: kenehls L_ARCH_02200393
 DATE: Dec 21, 2023 11:20am XREFS: L_PTBK_02200393 C_XBASE_02200393 V_XBNDY_02200393 L_ARCH_02200393 L_ARCH_BLDG_RETAL_02200393 L_ARCH_BLDG_GARAGE_02200393 L_ARCH_BLDG_HOTEL_02200393 L_ARCH_BLDG_MARKET_02200393



IRRIGATION GENERAL NOTES:

1. THIS DESIGN IS SHOWN IN A DIAGRAMMATIC FORM. ALL COMPONENTS ARE SHOWN FOR THE PURPOSE OF CLARIFICATION AND LEGIBILITY. ALL WORK SHALL CONFORM TO SPECIFICATIONS AND DETAILS INCLUDED IN THIS PACKAGE. IRRIGATION MAINLINE, LATERALS, CONTROL VALVES, SUB-METER, BACKFLOW PREVENTER AND OTHER IRRIGATION CONTROL EQUIPMENT SHALL BE INSTALLED IN LANDSCAPE BEDS OR TURF AREAS UNLESS CONTAINED IN PVC SLEEVING UNDER PAVEMENT OR OTHER HARDSCAPE AS INDICATED ON PLANS.
2. VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK.
3. CONTACT LANDSCAPE ARCHITECT AND COORDINATE ALL REVIEWS PRIOR TO COMMENCEMENT OF WORK.
4. IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AT ALL TAP LOCATIONS PRIOR TO THE INSTALLATION OF ANY COMPONENTS OF THE IRRIGATION SYSTEM. NOTIFY LANDSCAPE ARCHITECT IF THE MINIMUM REQUIREMENTS FOR FLOW AND PRESSURE NOTED IN THE IRRIGATION SCHEDULES CAN NOT BE MET.
5. CONTRACTOR SHALL INSTALL ALL IRRIGATION EQUIPMENT IN THE TURF AREAS AND PLANTING BEDS IN A MANNER SO AS TO CONFORM WITH THE VARIOUS DETAILS, PLAN NOTES AND SPECIFICATIONS FROM LANDSCAPE ARCHITECT AND MANUFACTURER.
6. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING TREES AND UTILITIES. THE CONTRACTOR SHALL VERIFY LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR DAMAGE TO TREES OR UTILITIES. FIELD ADJUST SPRINKLER LOCATIONS SO AS TO AVOID CONFLICTS WITH UTILITIES (FIRE HYDRANTS, TRANSFORMERS, ETC.).
7. PROTECT AT ALL TIMES THE WORK FROM DAMAGE AND THEFT. REPLACE ALL DAMAGED OR STOLEN PARTS AT CONTRACTOR'S EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER.
8. THE FINAL LOCATION AND EXACT POSITIONING OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
9. IRRIGATION CONTRACTOR RESPONSIBLE TO COORDINATE 110 ELECTRICAL SERVICE FOR CONTROLLER WITH BUILDING GENERAL CONTRACTOR. POWER SUPPLY CONNECTION BY IRRIGATION CONTRACTOR.
10. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. INSTALL PRS-DIAL PRESSURE REGULATING MODULES ON ALL VALVES OPERATING AT PRESSURES HIGHER THAN 5 PSI FROM OPERATION PSI AS STATED IN THE CONTROLLER SCHEDULES FOR EACH ZONE.
11. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWING WHEN IT IS OBVIOUS IN THE FIELD THAT WIND CONDITIONS, OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREAS DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED DURING DESIGN BRING SUCH OBSTRUCTIONS OR DIFFERENCE TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COSTS FOR ALL NECESSARY REVISIONS.
12. CONTRACTOR SHALL PLACE ALL ZONE CONTROL VALVES AND QUICK COUPLER VALVES IN LANDSCAPE BEDS, AS POSSIBLE. PLACE VALVE BOXES A MINIMUM OF 1'-0" FROM ANY PAVEMENT AND PARALLEL TO PAVEMENT EDGE. GROUPED VALVES TO BE EQUALLY SPACED.
13. ADJUST HEAD LOCATION IF SPRAY IS DETRIMENTAL TO OR BLOCKED BY TREE, SHRUB OR STRUCTURE, MAINTAINING EVEN COVERAGE OF PLANTED AREAS.
14. INSTALL ALL MAINLINES TO SLOPE AT 1% MINIMUM TO MANUAL DRAIN VALVES LOCATED AT LOW POINTS OF MAIN SYSTEM.
15. ALL SPRINKLER HEADS AND TURF ROTORS SHALL BE ADJUSTED SO THEY DO NOT SPRAY ONTO WALKS, RETAINING WALLS, BUILDINGS OR THE PLAZA AREAS.
16. THE IRRIGATION SYSTEM IS DESIGNED TO BE DRAINED AND BLOWN OUT WITH PRESSURIZED AIR PRIOR TO FREEZING TEMPERATURES IN FALL/WINTER. THE CONTRACTOR SHALL DRAIN AND BLOW OUT THE SYSTEM AS NECESSARY UNTIL SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BLOW OUT THE SYSTEM AND INSTRUCT THE OWNER ON THE PROCEDURES FOR THE FIRST FALL/WINTER FOLLOWING THE NOTICE OF SUBSTANTIAL COMPLETION.
17. THE CONTRACTOR SHALL PRESSURIZE AND MAKE OPERATIONAL THE SYSTEM IN THE SPRING, AFTER ALL CHANCES OF FREEZING TEMPERATURES PASSES, UNTIL NOTICE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL ALSO PRESSURIZE AND MAKE THE SYSTEM OPERATIONAL AND INSTRUCT THE OWNER ON PROCEDURES FOR THE FIRST SPRING FOLLOWING THE NOTICE OF SUBSTANTIAL COMPLETION.
18. CONTRACTOR SHALL INSTALL SLEEVES UNDER HARDSCAPE AT ALL POINTS WHERE IRRIGATION MAIN LINE AND LATERALS ARE LOCATED.
19. ALL IRRIGATION EQUIPMENT INCLUDING VALVES, MAINLINES AND LATERALS SHALL BE LOCATED ON THE OWNERS PROPERTY.

1 OVERALL IRRIGATION PLAN



RELEASED FOR CONSTRUCTION
As Noted on This Review
 Development Services Department
 Lee's Summit, Missouri
 91242924

olsson studio

OLSSON - LANDSCAPE ARCHITECTURE
 NO. CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDED #1

OVERALL IRRIGATION PLAN

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

REVISIONS

2023

drawn by: TS/TGEW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing no.: L_OVR01_02200393
 date: 12/22/2023

SHEET L500

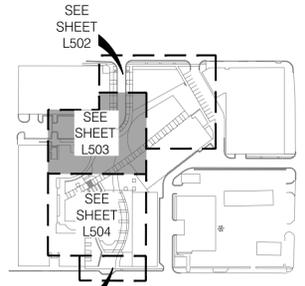
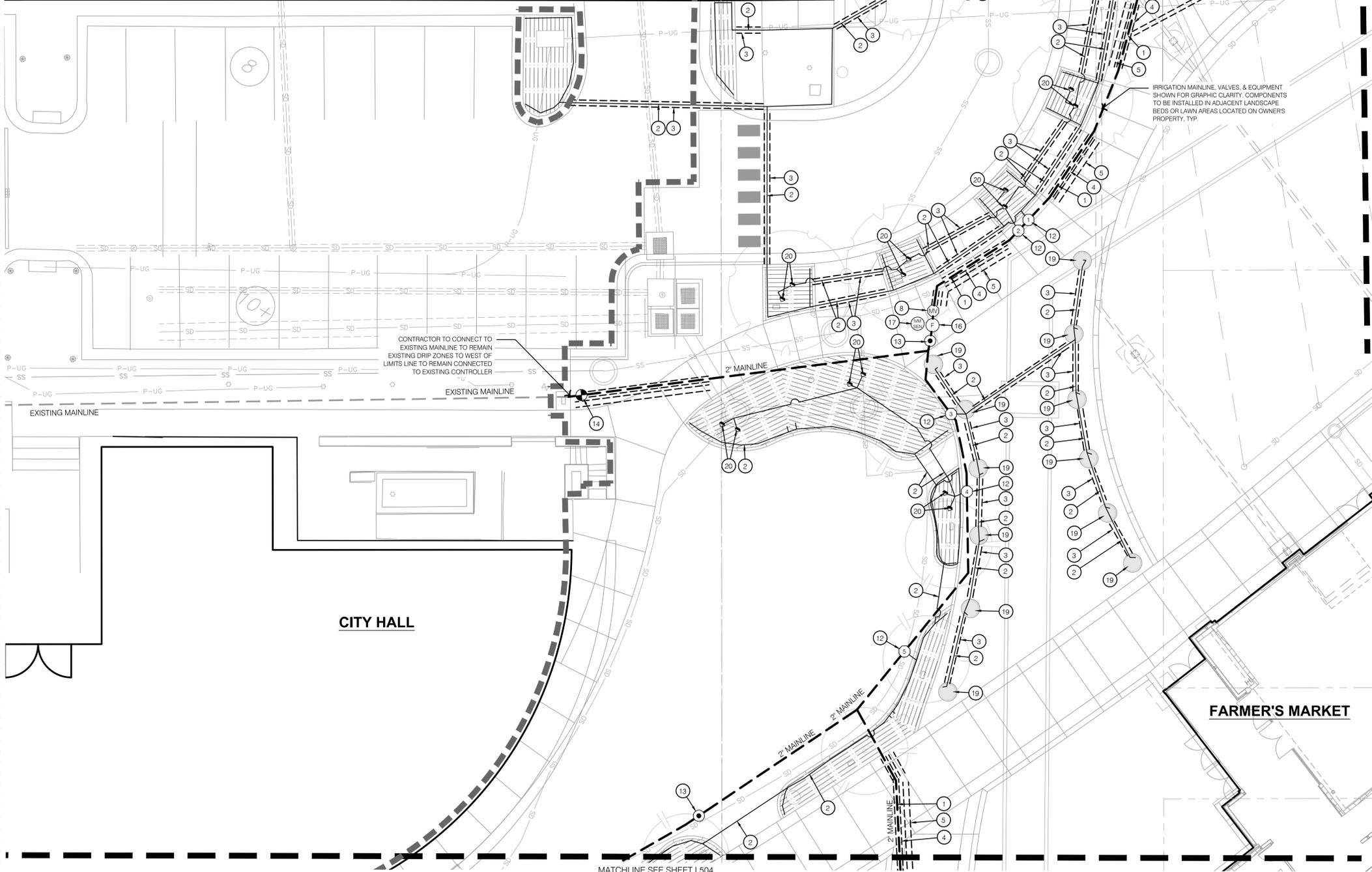
F:\2024\00001-00500\022-00393\40-design\AutoCAD\final C:\BASE_02200393 V_XBNDY_02200393 XREFS: L_PTBK_02200393 C_PUBK_02200393 A_PBASE_02200393 C_PSURF_02200393 L_ARCH_BLDG_GARAGE_02200393 L_ARCH_BLDG_RETAIL_02200393 L_ARCH_BLDG_HOTEL_02200393
 DWG: F:\2024\00001-00500\022-00393\40-design\AutoCAD\final C:\BASE_02200393 V_XBNDY_02200393 XREFS: L_PTBK_02200393 C_PUBK_02200393 A_PBASE_02200393 C_PSURF_02200393 L_ARCH_BLDG_GARAGE_02200393 L_ARCH_BLDG_RETAIL_02200393 L_ARCH_BLDG_HOTEL_02200393
 DATE: Dec 21, 2023 11:21am

IRRIGATION PLAN NOTES:

- 1 POTABLE WATER IRRIGATION MAINLINES TO BE 2" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591
- 2 POTABLE WATER IRRIGATION LATERALS TO BE 1" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591
- 3 POTABLE WATER IRRIGATION LATERAL SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 4 POTABLE WATER IRRIGATION MAINLINE SLEEVES SHALL BE 6" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 5 IRRIGATION CONTROL WIRE SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 6 IRRIGATION CONTROLLER SHALL BE RAIN BIRD ESP-LXIVM MODULAR SERIES WALL MOUNTED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ELECTRICAL SERVICE TO THE CONTROLLER LOCATION IS TO BE COORDINATED BY THE GENERAL CONTRACTOR AND PROVIDED BY ELECTRICAL CONTRACTOR. POWER HOOK-UP TO THE CONTROLLER BY IRRIGATION CONTRACTOR. INSTALL CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.; REF: 7/L591
- 7 IRRIGATION POINT OF CONNECTION. IRRIGATION CONTRACTOR SHALL CONNECT IRRIGATION MAINLINE TO WATER SUPPLY AS REQUIRED BY ALL CITY, COUNTY, OR STATE REGULATIONS. IRRIGATION TAP SHALL OCCUR AFTER METER AND BACKFLOW PREVENTER PROVIDED BY GENERAL CONTRACTOR. REF: 5/L591
- 8 2" RAIN BIRD MODEL MASTER VALVE CONNECTED TO POTABLE IRRIGATION MAINLINE AFTER IRRIGATION POINT OF CONNECTION, METER, AND BACKFLOW PREVENTER.; REF: 10/L590
- 9 IRRIGATION WATER METER; REF: SPECIFICATIONS
- 10 BACKFLOW PREVENTER; REF: SPECIFICATIONS
- 11 RAIN BIRD PE-IVM MODEL CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES. REFERENCE IRRIGATION SCHEDULE FOR SIZE, FLOW, AND PRESSURE REQUIREMENTS.; REF: 8/L590

- 12 RAIN BIRD XCZ-100-IVM-Q DRIP CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES.; REF: 9/L590
- 13 QUICK COUPLER VALVE LOCATED ON POTABLE WATER SHALL BE RAIN BIRD 44RC WITH YELLOW CAP LOCATED IN 10" ROUND VALVE BOX.; REF: 1/L591
- 14 INSTALL MANUAL GATE VALVE IN LOCATIONS INDICATED ON IRRIGATION MAINLINES. MANUAL GATE VALVE TO MATCH SIZE OF MAINLINE PIPE.; REF: 3/L591
- 15 RAIN BIRD SERIES FLOW SENSOR, PER SPECIFICATIONS; REF: 8/L590
- 16 RAIN BIRD RAIN/FREEZE SENSOR. INSTALLED PER SPECIFICATIONS. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT.; REF: 5/L591
- 17 IVM SENSOR DEVICE; REF: 5/L591
- 18 SURGE PROTECTOR. RAIN BIRD IVM-SD LINE SURGE PROTECTION PER SPECIFICATIONS; REF: 11/L590
- 19 PLANTER DRIPLINE LAYOUT; REF: 9/L591
- 20 RAINBIRD ROOT WATERING SYSTEM; REF: 2/L590
- 21 12"X12" PX STYLE QUAZITE JUNCTION BOX FOR IRRIGATION SYSTEM CONTROL WIRE. SUBMIT PRODUCT FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ORDERING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALIGN BOX TO HARDSCAPE AND JOINT SCORING.
- 22 TREE DRIPLINE LAYOUT; REF: 10/L591
- 23 IRRIGATION SYSTEM 2-WIRE COMMUNICATION TERMINUS. IRRIGATION CONTRACTOR SHALL TERMINATE MAINLINE AND CONTROL WIRE IN VALVE BOX. MAINLINE SHALL TERMINATE WITH MANUAL DRAIN VALVE. CONTROL WIRE SHALL TERMINATE WITH FIVE FEET OF CONTROL WIRE COILED IN VALVE BOX.

PARKING GARAGE



KEYMAP

IRRIGATION LEGEND:

- LIMITS OF CONSTRUCTION
- - - RIGHT OF WAY / PROPERTY LINE
- - - SHEET MATCHLINE
- FULL CIRCLE SPRAY HEAD; REF: 1/L590
- THREE QUARTER CIRCLE SPRAY HEAD; REF: 1/L590
- HALF CIRCLE SPRAY HEAD; REF: 1/L590
- ONE THIRD CIRCLE SPRAY HEAD; REF: 1/L590
- QUARTER CIRCLE SPRAY HEAD; REF: 1/L590
- ROOTWATERING SYSTEM; REF: 2/L590
- POTABLE WATER SERVICE LINE
- EXISTING MAINLINE
- MAINLINE, SIZE AS SHOWN; REF: 4/L591
- LATERAL PIPE, SIZE AS SHOWN; REF: 4/L591
- LANDSCAPE PLANTING BED DRIPLINE; REF: 3, 4, 5, 6, 7 & 9/L590
- PLANTER OR TREE DRIPLINE LAYOUT
- SCHEDULE 40 PVC SLEEVE
- IRRIGATION WATER METER; REF: SPECIFICATIONS
- BACKFLOW PREVENTER; REF: SPECIFICATIONS
- IRRIGATION POINT OF CONNECTION
- MASTER CONTROL VALVE
- ZONE CONTROL VALVE
- MANUAL GATE VALVE
- QUICK COUPLER VALVE
- FLOW SENSOR
- AUTOMATIC CONTROLLER
- RAIN/FREEZE SENSOR
- IVM - SENSOR DEVICE
- SURGE PROTECTOR
- MAINLINE / CONTROL WIRE TERMINUS
- CONTROL WIRE JUNCTION BOX



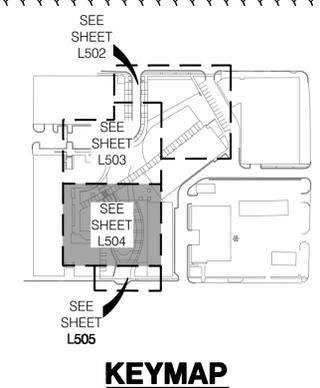
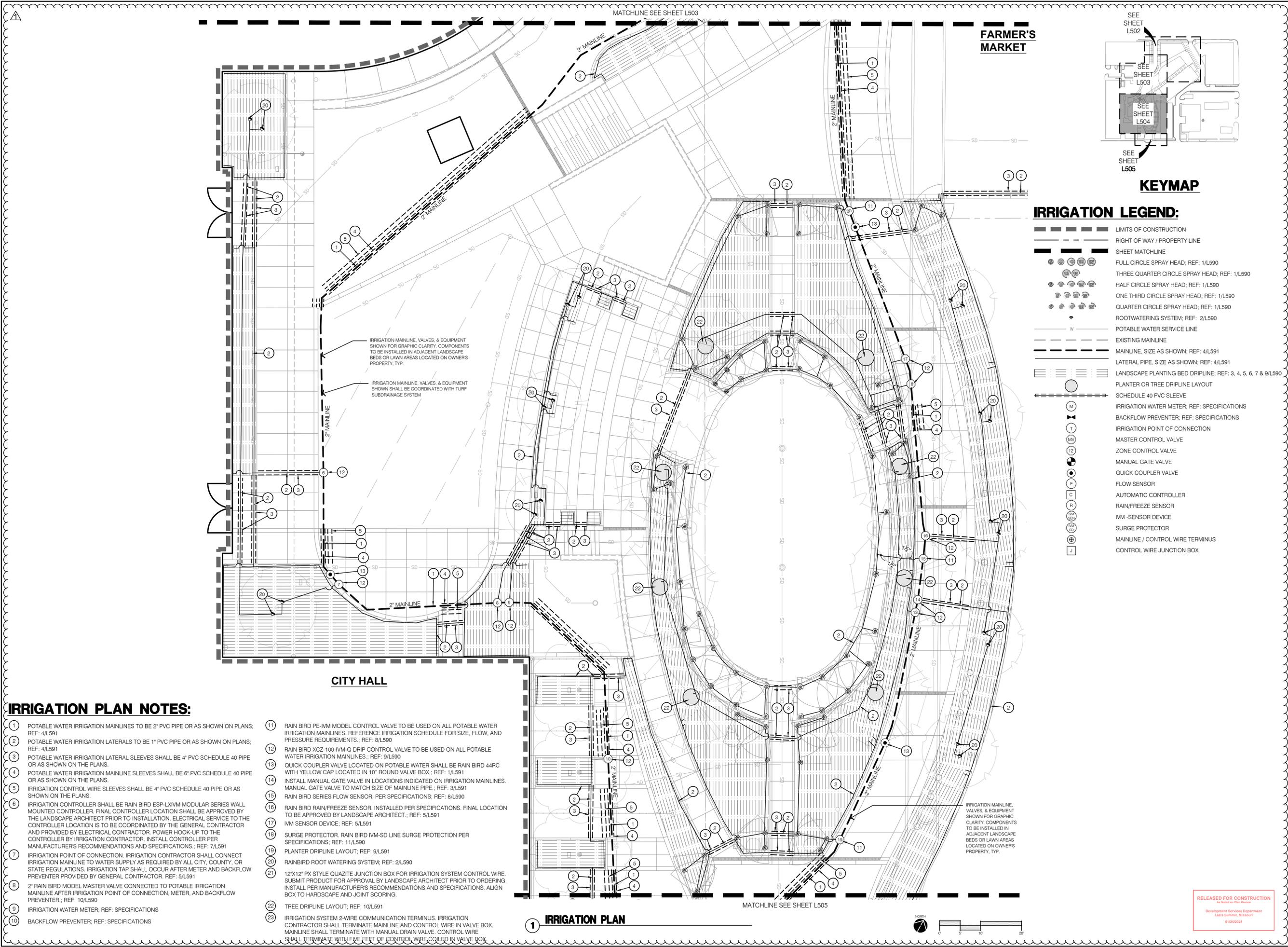
REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	

IRRIGATION PLAN
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing no.: L_IRR01_02200393
 date: 12/22/2023

RELEASED FOR CONSTRUCTION
 As shown on this drawing
 Development Services Department
 Lee's Summit, Missouri
 91242024

DWG: F:\2023\00001-00500\022-00393\MO-design\AutoCAD\final\A_Plane\Streets\OSTUA_IRR01_02200393.dwg
 DATE: Dec 21, 2023 11:21am
 USER: fevethis
 C:\PSURF_02200393
 A_PBASE_02200393
 C_PUTIL_02200393
 L_ARCH_BLDG_GARAGE_02200393
 L_ARCH_BLDG_RETAIL_02200393
 L_ARCH_BLDG_GARAGE_02200393
 L_ARCH_BLDG_HOT



- IRRIGATION LEGEND:**
- LIMITS OF CONSTRUCTION
 - - - RIGHT OF WAY / PROPERTY LINE
 - SHEET MATCHLINE
 - FULL CIRCLE SPRAY HEAD; REF: 1/L590
 - THREE QUARTER CIRCLE SPRAY HEAD; REF: 1/L590
 - HALF CIRCLE SPRAY HEAD; REF: 1/L590
 - ONE THIRD CIRCLE SPRAY HEAD; REF: 1/L590
 - QUARTER CIRCLE SPRAY HEAD; REF: 1/L590
 - ROOTWATERING SYSTEM; REF: 2/L590
 - POTABLE WATER SERVICE LINE
 - EXISTING MAINLINE
 - MAINLINE, SIZE AS SHOWN; REF: 4/L591
 - LATERAL PIPE, SIZE AS SHOWN; REF: 4/L591
 - LANDSCAPE PLANTING BED DRIPLINE; REF: 3, 4, 5, 6, 7 & 9/L590
 - PLANTER OR TREE DRIPLINE LAYOUT
 - SCHEDULE 40 PVC SLEEVE
 - IRRIGATION WATER METER; REF: SPECIFICATIONS
 - BACKFLOW PREVENTER; REF: SPECIFICATIONS
 - IRRIGATION POINT OF CONNECTION
 - MASTER CONTROL VALVE
 - ZONE CONTROL VALVE
 - MANUAL GATE VALVE
 - QUICK COUPLER VALVE
 - FLOW SENSOR
 - AUTOMATIC CONTROLLER
 - RAIN/FREEZE SENSOR
 - IVM - SENSOR DEVICE
 - SURGE PROTECTOR
 - MAINLINE / CONTROL WIRE TERMINUS
 - CONTROL WIRE JUNCTION BOX

- IRRIGATION PLAN NOTES:**
- 1 POTABLE WATER IRRIGATION MAINLINES TO BE 2" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591
 - 2 POTABLE WATER IRRIGATION LATERALS TO BE 1" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591
 - 3 POTABLE WATER IRRIGATION LATERAL SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
 - 4 POTABLE WATER IRRIGATION MAINLINE SLEEVES SHALL BE 6" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
 - 5 IRRIGATION CONTROL WIRE SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
 - 6 IRRIGATION CONTROLLER SHALL BE RAIN BIRD ESP-LXIVM MODULAR SERIES WALL MOUNTED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ELECTRICAL SERVICE TO THE CONTROLLER LOCATION IS TO BE COORDINATED BY THE GENERAL CONTRACTOR AND PROVIDED BY ELECTRICAL CONTRACTOR. POWER HOOK-UP TO THE CONTROLLER BY IRRIGATION CONTRACTOR. INSTALL CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.; REF: 7/L591
 - 7 IRRIGATION POINT OF CONNECTION. IRRIGATION CONTRACTOR SHALL CONNECT IRRIGATION MAINLINE TO WATER SUPPLY AS REQUIRED BY ALL CITY, COUNTY, OR STATE REGULATIONS. IRRIGATION TAP SHALL OCCUR AFTER METER AND BACKFLOW PREVENTER PROVIDED BY GENERAL CONTRACTOR. REF: 5/L591
 - 8 2" RAIN BIRD MODEL MASTER VALVE CONNECTED TO POTABLE IRRIGATION MAINLINE AFTER IRRIGATION POINT OF CONNECTION, METER, AND BACKFLOW PREVENTER.; REF: 10/L590
 - 9 IRRIGATION WATER METER; REF: SPECIFICATIONS
 - 10 BACKFLOW PREVENTER; REF: SPECIFICATIONS
 - 11 RAIN BIRD PE-IVM MODEL CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES. REFERENCE IRRIGATION SCHEDULE FOR SIZE, FLOW, AND PRESSURE REQUIREMENTS.; REF: 8/L590
 - 12 RAIN BIRD XCZ-100-IVM-Q DRIP CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES.; REF: 9/L590
 - 13 QUICK COUPLER VALVE LOCATED ON POTABLE WATER SHALL BE RAIN BIRD 44RC WITH YELLOW CAP LOCATED IN 10" ROUND VALVE BOX.; REF: 1/L591
 - 14 INSTALL MANUAL GATE VALVE IN LOCATIONS INDICATED ON IRRIGATION MAINLINES. MANUAL GATE VALVE TO MATCH SIZE OF MAINLINE PIPE.; REF: 3/L591
 - 15 RAIN BIRD SERIES FLOW SENSOR, PER SPECIFICATIONS; REF: 8/L590
 - 16 RAIN BIRD RAIN/FREEZE SENSOR. INSTALLED PER SPECIFICATIONS. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT.; REF: 5/L591
 - 17 IVM SENSOR DEVICE; REF: 5/L591
 - 18 SURGE PROTECTOR. RAIN BIRD IVM-SD LINE SURGE PROTECTION PER SPECIFICATIONS; REF: 11/L590
 - 19 PLANTER DRIPLINE LAYOUT; REF: 9/L591
 - 20 RAINBIRD ROOT WATERING SYSTEM; REF: 2/L590
 - 21 12"x12" PX STYLE QUAZITE JUNCTION BOX FOR IRRIGATION SYSTEM CONTROL WIRE. SUBMIT PRODUCT FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ORDERING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALIGN BOX TO HARDSCAPE AND JOINT SCORING.
 - 22 TREE DRIPLINE LAYOUT; REF: 10/L591
 - 23 IRRIGATION SYSTEM 2-WIRE COMMUNICATION TERMINUS. IRRIGATION CONTRACTOR SHALL TERMINATE MAINLINE AND CONTROL WIRE IN VALVE BOX. MAINLINE SHALL TERMINATE WITH MANUAL DRAIN VALVE. CONTROL WIRE SHALL TERMINATE WITH FIVE FEET OF CONTROL WIRE COILED IN VALVE BOX.

1 IRRIGATION PLAN

RELEASED FOR CONSTRUCTION
 As Shown on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 NO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

STATE OF MISSOURI
 KOREY P. SCHULZ
 LICENSE NUMBER 22293965
 12.22.2023

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDENDUM #1

BY _____

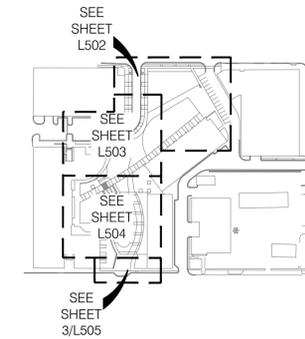
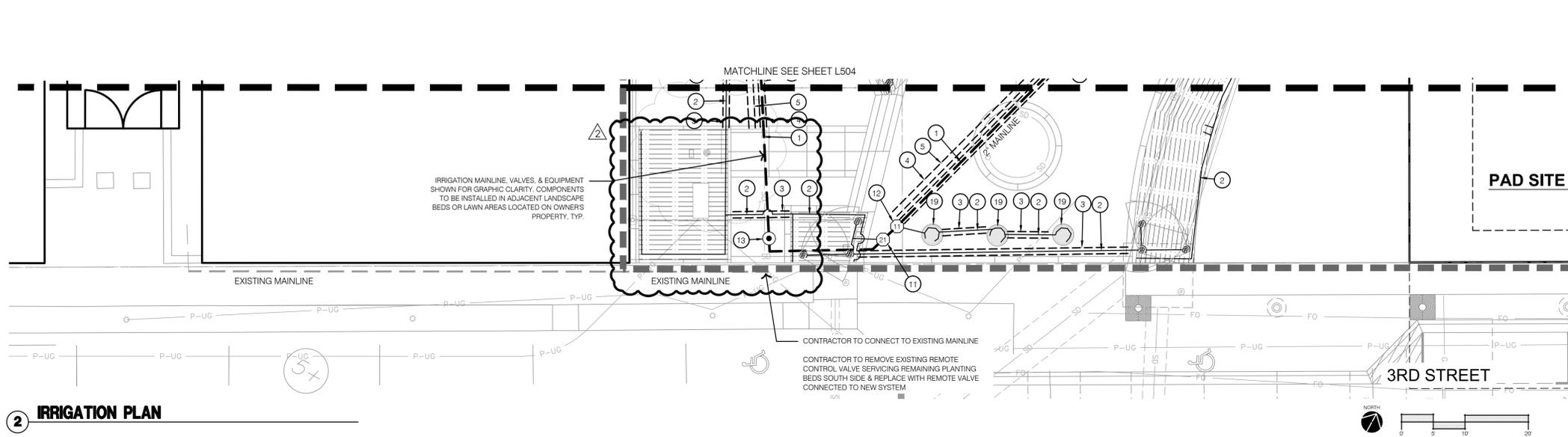
IRRIGATION PLAN

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

2023

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing no.: L_IRR01_02200393
 date: 12/22/2023

SHEET L504



KEYMAP

IRRIGATION LEGEND:

- LIMITS OF CONSTRUCTION
- - - RIGHT OF WAY / PROPERTY LINE
- - - SHEET MATCHLINE
- FULL CIRCLE SPRAY HEAD; REF: 1/L590
- ⊖ THREE QUARTER CIRCLE SPRAY HEAD; REF: 1/L590
- ◐ HALF CIRCLE SPRAY HEAD; REF: 1/L590
- ◑ ONE THIRD CIRCLE SPRAY HEAD; REF: 1/L590
- ⊙ QUARTER CIRCLE SPRAY HEAD; REF: 1/L590
- ⊙ ROOTWATERING SYSTEM; REF: 2/L590
- W — POTABLE WATER SERVICE LINE
- EXISTING MAINLINE
- MAINLINE, SIZE AS SHOWN; REF: 4/L591
- LATERAL PIPE, SIZE AS SHOWN; REF: 4/L591
- LANDSCAPE PLANTING BED DRIPLINE; REF: 3, 4, 5, 6, 7 & 9/L590
- PLANTER OR TREE DRIPLINE LAYOUT
- SCHEDULE 40 PVC SLEEVE
- ⊙ IRRIGATION WATER METER; REF: SPECIFICATIONS
- ⊙ BACKFLOW PREVENTER; REF: SPECIFICATIONS
- ⊙ IRRIGATION POINT OF CONNECTION
- ⊙ MASTER CONTROL VALVE
- ⊙ ZONE CONTROL VALVE
- ⊙ MANUAL GATE VALVE
- ⊙ QUICK COUPLER VALVE
- ⊙ FLOW SENSOR
- ⊙ AUTOMATIC CONTROLLER
- ⊙ RAIN/FREEZE SENSOR
- ⊙ IVM - SENSOR DEVICE
- ⊙ SURGE PROTECTOR
- ⊙ MAINLINE / CONTROL WIRE TERMINUS
- ⊙ CONTROL WIRE JUNCTION BOX

IRRIGATION PLAN NOTES:

- 1 POTABLE WATER IRRIGATION MAINLINES TO BE 2" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591
- 2 POTABLE WATER IRRIGATION LATERALS TO BE 1" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591
- 3 POTABLE WATER IRRIGATION LATERAL SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 4 POTABLE WATER IRRIGATION MAINLINE SLEEVES SHALL BE 6" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 5 IRRIGATION CONTROL WIRE SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 6 IRRIGATION CONTROLLER SHALL BE RAIN BIRD ESP-LXIVM MODULAR SERIES WALL MOUNTED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ELECTRICAL SERVICE TO THE CONTROLLER LOCATION IS TO BE COORDINATED BY THE GENERAL CONTRACTOR AND PROVIDED BY ELECTRICAL CONTRACTOR. POWER HOOK-UP TO THE CONTROLLER BY IRRIGATION CONTRACTOR. INSTALL CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.; REF: 7/L591
- 7 IRRIGATION POINT OF CONNECTION. IRRIGATION CONTRACTOR SHALL CONNECT IRRIGATION MAINLINE TO WATER SUPPLY AS REQUIRED BY ALL CITY, COUNTY, OR STATE REGULATIONS. IRRIGATION TAP SHALL OCCUR AFTER METER AND BACKFLOW PREVENTER PROVIDED BY GENERAL CONTRACTOR. REF: 5/L591
- 8 2" RAIN BIRD MODEL MASTER VALVE CONNECTED TO POTABLE IRRIGATION MAINLINE AFTER IRRIGATION POINT OF CONNECTION, METER, AND BACKFLOW PREVENTER.; REF: 10/L590
- 9 IRRIGATION WATER METER; REF: SPECIFICATIONS
- 10 BACKFLOW PREVENTER; REF: SPECIFICATIONS
- 11 RAIN BIRD PE-IVM MODEL CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES. REFERENCE IRRIGATION SCHEDULE FOR SIZE, FLOW, AND PRESSURE REQUIREMENTS.; REF: 8/L590
- 12 RAIN BIRD XCZ-100-IVM-Q DRIP CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES.; REF: 9/L590
- 13 QUICK COUPLER VALVE LOCATED ON POTABLE WATER SHALL BE RAIN BIRD 44RC WITH YELLOW CAP LOCATED IN 10" ROUND VALVE BOX.; REF: 4/L591
- 14 INSTALL MANUAL GATE VALVE IN LOCATIONS INDICATED ON IRRIGATION MAINLINES. MANUAL GATE VALVE TO MATCH SIZE OF MAINLINE PIPE.; REF: 3/L591
- 15 RAIN BIRD SERIES FLOW SENSOR, PER SPECIFICATIONS.; REF: 8/L590
- 16 RAIN BIRD RAIN/FREEZE SENSOR. INSTALLED PER SPECIFICATIONS. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT.; REF: 5/L591
- 17 IVM SENSOR DEVICE; REF: 5/L591
- 18 SURGE PROTECTOR. RAIN BIRD IVM-SD LINE SURGE PROTECTION PER SPECIFICATIONS; REF: 11/L590
- 19 PLANTER DRIPLINE LAYOUT; REF: 9/L591
- 20 RAINBIRD ROOT WATERING SYSTEM; REF: 2/L590
- 21 12"x12" PX STYLE QUARTZITE JUNCTION BOX FOR IRRIGATION SYSTEM CONTROL WIRE. SUBMIT PRODUCT FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ORDERING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALIGN BOX TO HARDSCAPE AND JOINT SCORING.
- 22 TREE DRIPLINE LAYOUT; REF: 10/L591
- 23 IRRIGATION SYSTEM 2-WIRE COMMUNICATION TERMINUS. IRRIGATION CONTRACTOR SHALL TERMINATE MAINLINE AND CONTROL WIRE IN VALVE BOX. MAINLINE SHALL TERMINATE WITH MANUAL DRAIN VALVE. CONTROL WIRE SHALL TERMINATE WITH FIVE FEET OF CONTROL WIRE COILED IN VALVE BOX.

2 IRRIGATION PLAN

olsson studio
 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

STATE OF MISSOURI
 KOREY P. SCHULZ
 ARCHITECT
 01/11/2024

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDENDUM #1
2	01-11-2024	ADDENDUM #2

BY _____

IRRIATION PLAN

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

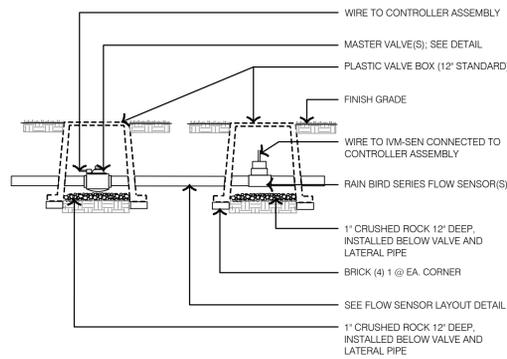
2023

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing no.: L_IRR01_02200393
 date: 12/22/2023

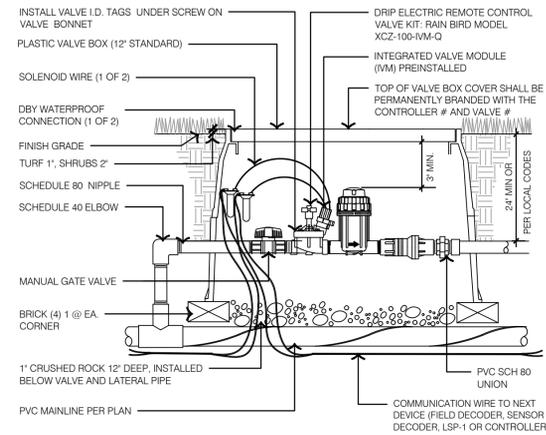
SHEET L505

RELEASED FOR CONSTRUCTION
 as noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 61242024

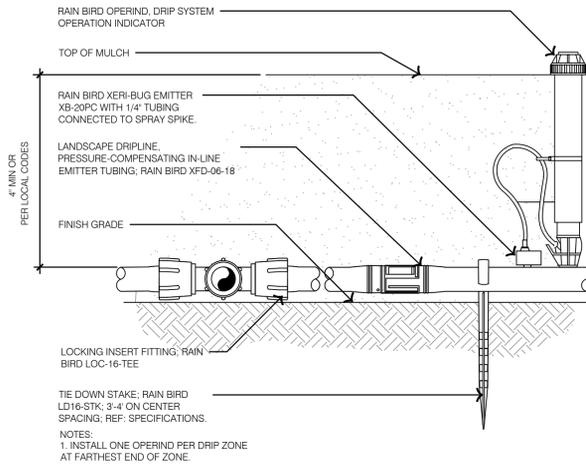
DWG: F:\2023\0001-00500\022-00393\40-design\AutoCAD\final\plans\Sheet\ASTU\IRR_DTL01_02200393.dwg
 DATE: Dec 21, 2023 11:24am
 USER: tswehla
 PROJECT: LPRR-02200393
 SHEET: LPRR-TYPICAL-IRR-02200393



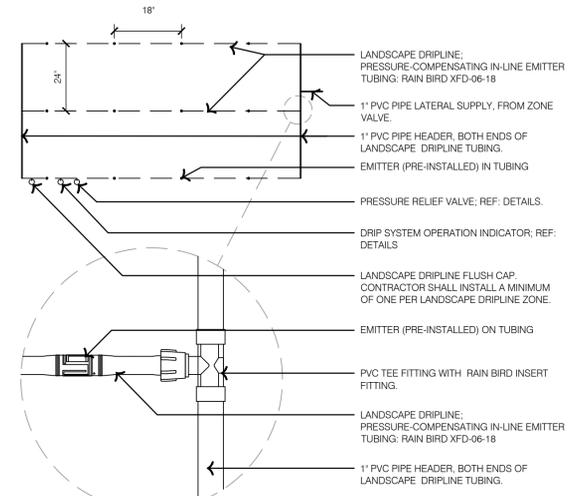
12 MASTER VALVE & FLOW SENSOR TYPICAL POTABLE WATER



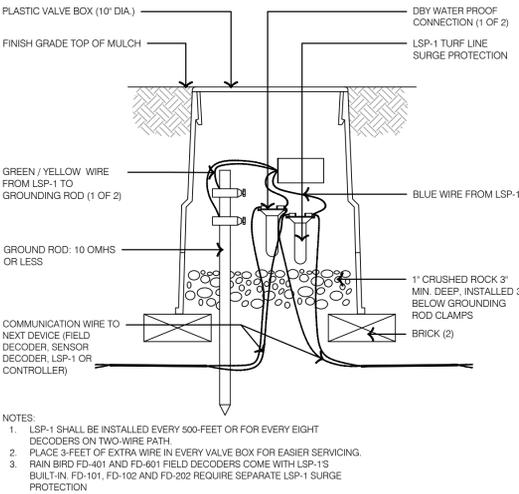
9 DRIP REMOTE CONTROL VALVE - POTABLE WATER



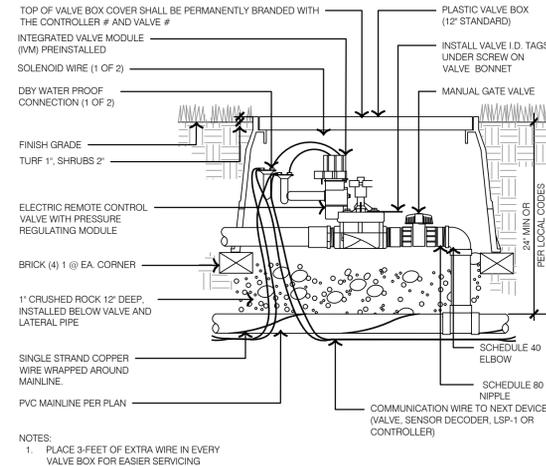
6 LANDSCAPE DRIPLINE CONNECTION - POTABLE WATER



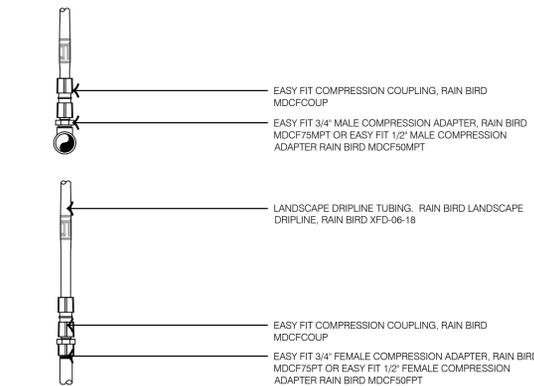
3 LANDSCAPE DRIPLINE LAYOUT TYPICAL - POTABLE WATER



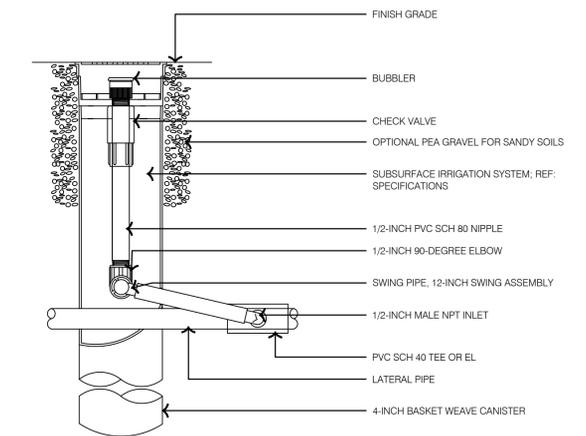
11 LINE SURGE PROTECTION



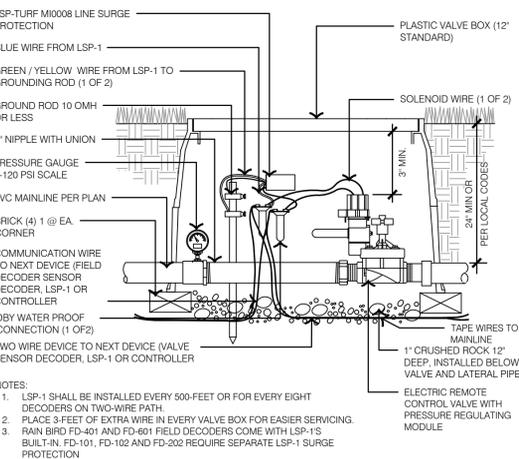
8 REMOTE CONTROL VALVE - POTABLE WATER



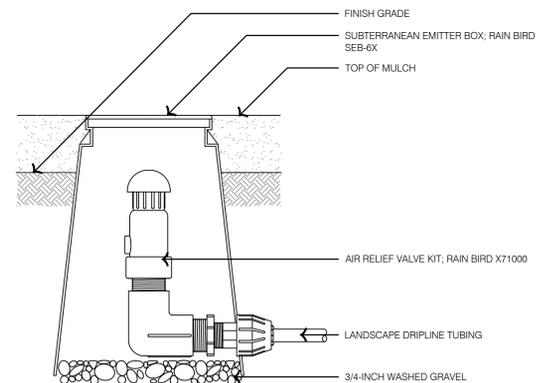
5 LANDSCAPE DRIPLINE EASY FIT COMPRESSION ADAPTERS POTABLE WATER



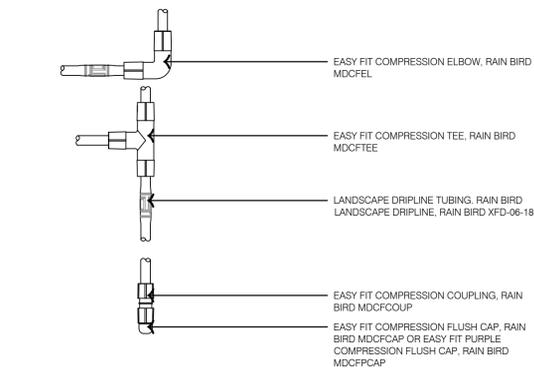
2 ROOT WATERING SYSTEM - POTABLE WATER



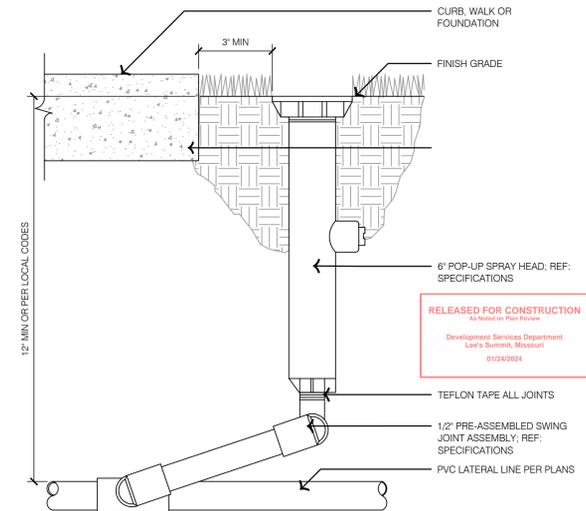
10 MASTER VALVE - POTABLE WATER



7 LANDSCAPE DRIPLINE AIR VALVE KIT - POTABLE WATER



4 LANDSCAPE DRIPLINE EASY FIT COMPRESSION FITTINGS POTABLE WATER



1 6 IN. POP-UP SPRAY HEAD - POTABLE WATER

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDENDUM #1

BY	DATE	REVISIONS DESCRIPTION

IRRIGATION DETAILS
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI
 2023

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing no: IRR_DTL01_02200393
 date: 12/22/2023

RELEASED FOR CONSTRUCTION
 As Issued in This Drawing
 Development Services Department
 Lee's Summit, Missouri
 912/492024

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	DESIGN PSI	TWO WIRE PATH
1	RAIN BRD XCZ-100-IVMO	1"	AREA FOR DRIFLINE	4.75	709.6 L.F.	40	RED
2	RAIN BRD PEB-PRS-D	1-1/2"	BUBBLER	11	22	30	RED
3	RAIN BRD XCZ-100-IVMO	1"	AREA FOR DRIFLINE	0.72	75.3 L.F.	40	RED
4	RAIN BRD PEB-PRS-D	1-1/2"	BUBBLER	3	6	30	RED
5	RAIN BRD XCZ-100-IVMO	1"	AREA FOR DRIFLINE	4.48	671.2 L.F.	40	RED
6	RAIN BRD XCZ-100-IVMO	1"	AREA FOR DRIFLINE	8.73	1,310 L.F.	40	RED
7	RAIN BRD PEB-PRS-D	1"	BUBBLER	2	4	30	RED
8	RAIN BRD PEB-PRS-D	1"	BUBBLER	3	6	30	RED
9	RAIN BRD XCZ-100-IVMO	1"	AREA FOR DRIFLINE	0.83	125.0 L.F.	40	BLUE
10	RAIN BRD XCZ-100-IVMO	1"	AREA FOR DRIFLINE	3.58	534.7 L.F.	40	BLUE
11	RAIN BRD XCZ-100-IVMO	1"	AREA FOR DRIFLINE	0.18	18.8 L.F.	40	BLUE
13	RAIN BRD XCZ-100-IVMO	1"	AREA FOR DRIFLINE	8.27	1,241 L.F.	40	BLUE
14	RAIN BRD XCZ-100-IVMO	1"	AREA FOR DRIFLINE	10.09	1,513 L.F.	40	BLUE
15	RAIN BRD PEB-IVM	1-1/2"	TURF SPRAY	20.26	35	30	BLUE
16	RAIN BRD PEB-PRS-D	1-1/2"	BUBBLER	5	10	30	BLUE
17	RAIN BRD XCZ-100-IVMO	1"	AREA FOR DRIFLINE	6.32	947.4 L.F.	40	BLUE
18	RAIN BRD XCZ-100-IVMO	1"	AREA FOR DRIFLINE	0.96	99.2 L.F.	40	BLUE
19	RAIN BRD PEB-IVM	1"	TURF SPRAY	3.99	15	30	BLUE
20	RAIN BRD PEB-IVM	1"	TURF SPRAY	6.86	21	30	BLUE
21	RAIN BRD PEB-IVM	1"	TURF SPRAY	1.65	6	30	BLUE

CRITICAL ANALYSIS

Generated: 2023-11-20 21:27

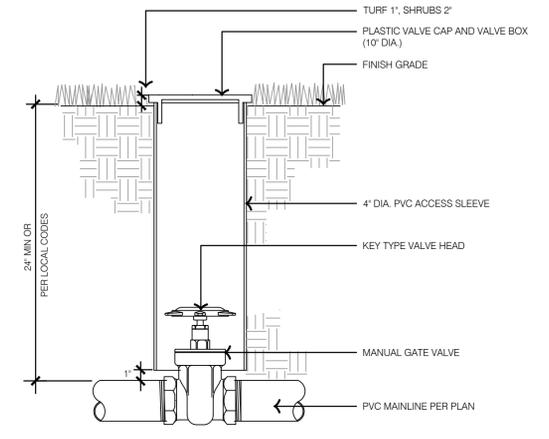
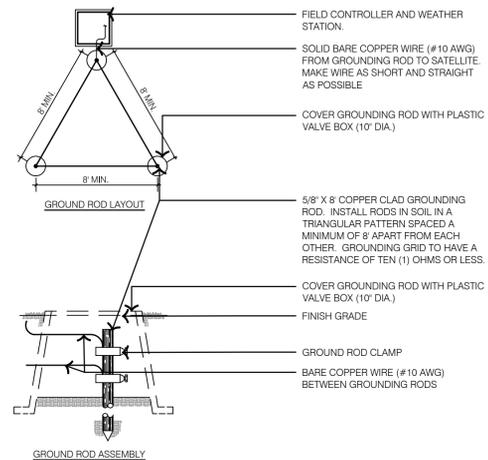
P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Point of Connection Size: 2"
Flow Available: 77.18 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 79 PSI
Pressure Available: 79 PSI

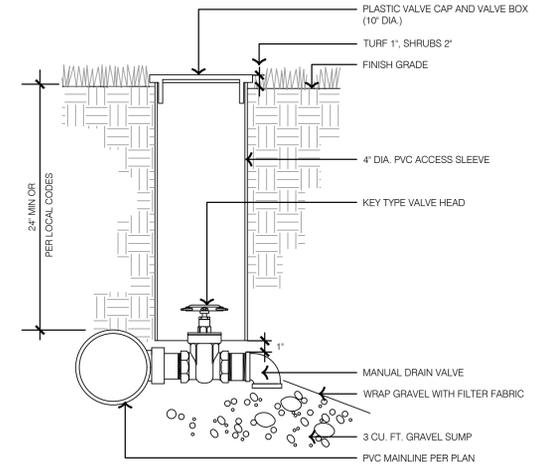
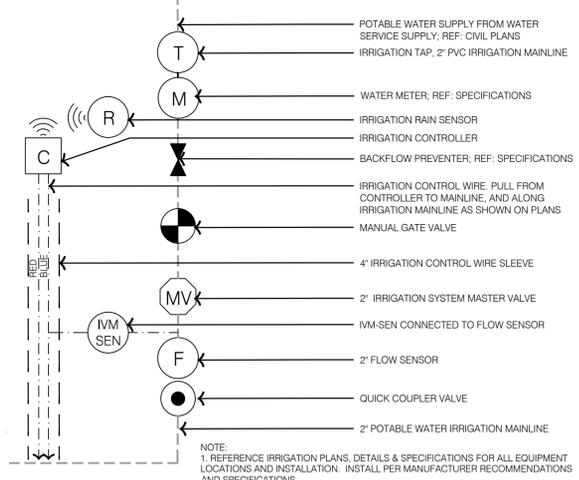
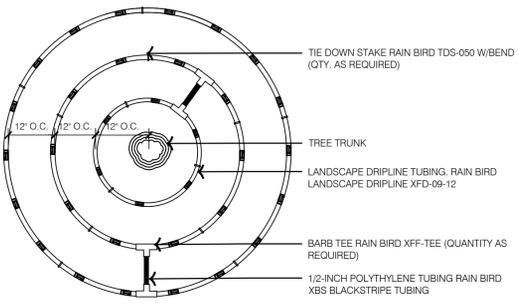
DESIGN ANALYSIS
Maximum Station Flow: 20.26 GPM
Flow Available at POC: 77.18 GPM
Residual Flow Available: 56.92 GPM

Critical Station: 14
Design Pressure: 40 PSI
Friction Loss: 0.56 PSI
Fittings Loss: 0.06 PSI
Elevation Loss: 0 PSI
Loss through Valve: 7.4 PSI
Pressure Req. at Critical Station: 48.0 PSI
Loss for Fittings: 0 PSI
Loss for Main Line: 0.19 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 12.3 PSI
Loss for Master Valve: 2.3 PSI
Critical Station Pressure at POC: 62.8 PSI
Pressure Available: 79 PSI
Residual Pressure Available: 16.2 PSI

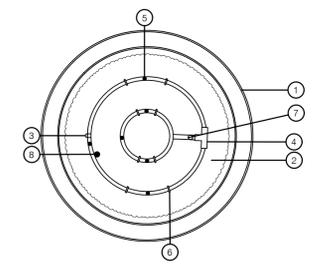


6 CONTROLLER GROUNDING GRID

3 MANUAL GATE VALVE - POTABLE WATER



- PLANTER IRRIGATION NOTES:
- PLANTER, REF: HARDSCAPE PLANS
 - ANNUAL PLANTINGS, REF: LANDSCAPE PLANS
 - LANDSCAPE DRIFLINE FLUSH CAP. CONTRACTOR SHALL INSTALL A MINIMUM OF ONE PER PLANTER.
 - EASY FIT COMPRESSION TEE RAIN BRD MICROTEE (QTY AS REQUIRED)
 - LANDSCAPE DRIFLINE. PRESSURE-COMPENSATING IN-LINE EMITTER TUBING, RAIN BRD XFD-06-12
 - TIE DOWN STAKE RAIN BRD TDS-050 W/BEND (QTY. AS REQUIRED)
 - IRRIGATION LATERAL
 - MICRO SPRAY WITH SPIKE

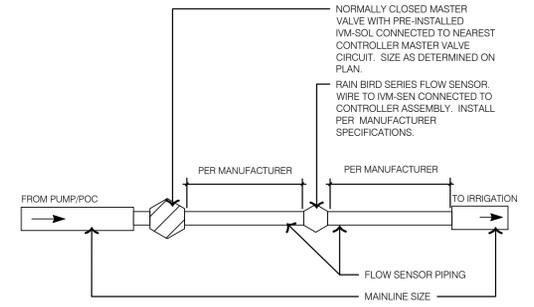
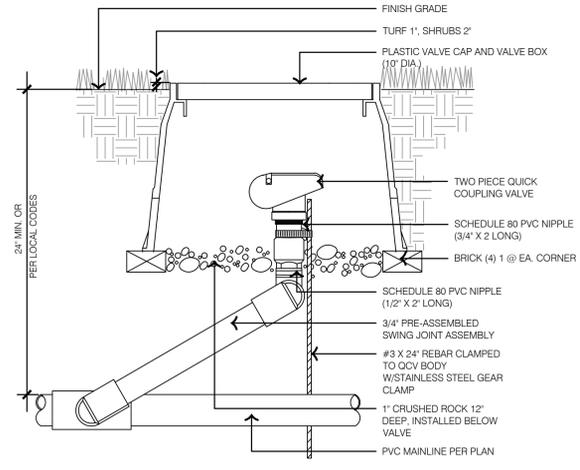
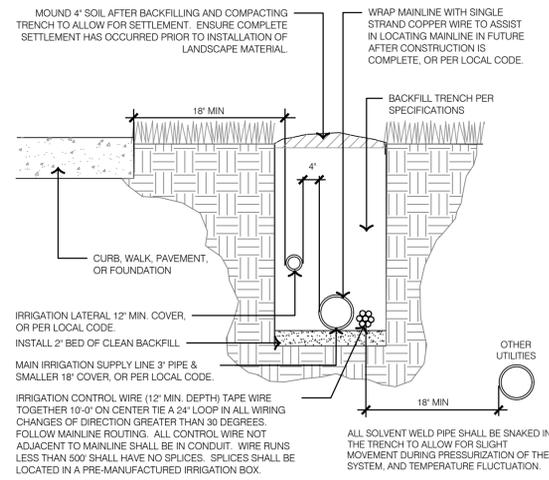
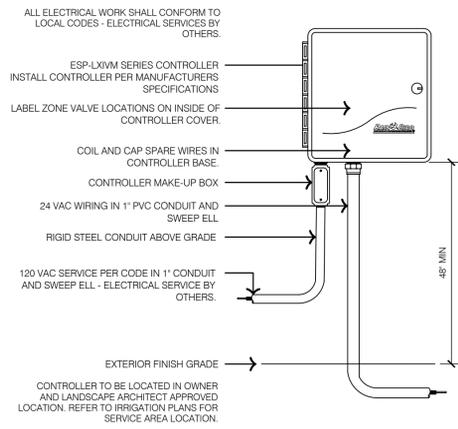


10 TYPICAL TREE DRIFLINE LAYOUT

5 TAP LAYOUT - POTABLE WATER

2 MANUAL DRAIN VALVE - POTABLE WATER

9 TYPICAL PLANTER DRIFLINE LAYOUT



FLOW SENSOR	SIZE	FLOW SENSOR PIPING SIZE
RAIN BRD FS100P	1"	1" PIPE
RAIN BRD FS150P	1 1/2"	1 1/2" PIPE
RAIN BRD FS200P	2"	2" PIPE
RAIN BRD FS300P	3"	3" PIPE
RAIN BRD FS400P	4"	4" PIPE

7 WALL MOUNTED AUTOMATIC IRRIGATION CONTROLLER

4 TRENCHING DETAIL - POTABLE WATER

1 QUICK COUPLER VALVE - POTABLE WATER

8 FLOW SENSOR TYPICAL LAYOUT - POTABLE WATER

DWG: F:\2023\00001-00500\022-00393\40-design\AutoCAD\final\plans\Sheets\OSTUA\IRR_DTL01_02200393.dwg USER: tsweha
 DATE: Dec 21, 2023 11:25am XREFS: L_PTBK_02200393 DET-TYPICAL_IRR_02200393 L_PRRG_02200393

olsson studio

OLSSON - LANDSCAPE ARCHITECTURE
MO CERTIFICATE OF AUTHORITY # 2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816.842.8844
olsson-studio.com

STATE OF MISSOURI

KOREY P. SCHULZ

REGISTERED PROFESSIONAL ENGINEER

NUMBER 02200393

EXPIRES 12-22-2023

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDED #1

IRRIATION DETAILS

LEE'S SUMMIT DOWNTOWN MARKET

GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

REVISIONS

2023

drawn by: TS/TGW

checked by: DV

approved by: KPS

QA/QC by: BM

project no.: 022-00393

drawing no: IRR_DTL01_02200393

date: 12/22/2023

RELEASED FOR CONSTRUCTION

As Noted on Plan Review

Development Services Department

Lee's Summit, Missouri

01/24/2024

SHEET

L591

ELECTRICAL SYMBOL LEGEND	
POWER DEVICES	
<ul style="list-style-type: none"> DUPLEX RECEPTACLE SINGLE RECEPTACLE FOUR PLEX RECEPTACLE DUPLEX RECEPTACLE, 6" ABOVE COUNTERTOP UNLESS OTHERWISE NOTED GFI GROUND FAULT DUPLEX RECEPTACLE DUPLEX RECEPTACLE ON EMERGENCY CIRCUIT FOUR PLEX RECEPTACLE ON EMERGENCY CIRCUIT WP GROUND FAULT DUPLEX RECEPTACLE WITH WHILE-IN-USE COVER USB DUPLEX RECEPTACLE WITH USB OUTLETS IG ISOLATED GROUND RECEPTACLE SPECIAL-PURPOSE OUTLET. LETTER DESIGNATES TYPE, SEE SPECIAL CONNECTION SCHEDULE FOR REQUIREMENTS WALL MOUNTED JUNCTION BOX CEILING MOUNTED JUNCTION BOX IN-GRADE JUNCTION BOX SURFACE RACEWAY WITH OUTLETS AS INDICATED ON PLANS PUSHBUTTON SWITCH COMBINATION PUSHBUTTON SWITCH MUSHROOM EMERGENCY SHUT-OFF SWITCH 	<ul style="list-style-type: none"> GROUND BOX DUPLEX RECEPTACLE POWER PEDESTAL AS INDICATED ON PLANS ELECTRICAL DISTRIBUTION PANEL RECESS MOUNT ELECTRICAL PANEL SURFACE MOUNT ELECTRICAL PANEL ELECTRICAL POWER TRANSFORMER DISCONNECT SWITCH PROVIDED WITH EQUIPMENT FUSED DISCONNECT SWITCH NON-FUSED DISCONNECT SWITCH COMBINATION MAGNETIC STARTER AND DISCONNECT SWITCH STARTERMOTOR CONTROLLER VFD VARIABLE FREQUENCY DRIVE ELECTRICAL MOTOR - SINGLE PHASE ELECTRICAL MOTOR - THREE PHASE RELAY BATTERY PACK MOTORIZED DAMPER
LIGHTING	
<ul style="list-style-type: none"> CEILING OR WALL-MOUNTED OCCUPANCY SENSOR CEILING OR WALL-MOUNTED PHOTO CELL LIGHTING CONTACTOR TIME CLOCK, AS INDICATED ON PLANS POST TOP LIGHT FIXTURE ON POLE, AS INDICATED ON PLANS AREA LIGHT FIXTURE ON POLE, AS INDICATED ON PLANS BOLLARD LIGHT FIXTURE, AS INDICATED ON PLANS 	<ul style="list-style-type: none"> SINGLE-POLE SWITCH DOUBLE-POLE SWITCH 3-WAY SWITCH 4-WAY SWITCH KEY SWITCH STREET LIGHT, AS INDICATED ON PLANS RECESSED IN GRADE UP LIGHT, AS INDICATED ON PLANS LANDSCAPE FLOOD LIGHT, AS INDICATED ON PLANS
CIRCUITRY	
<ul style="list-style-type: none"> —P-JG— EXISTING, NEW, OR DEMO POWER FEEDER BELOW GRADE - - - ITEM BELOW GRADE (NEW WORK) OR TO BE DEMOLISHED (DEMO) 	<ul style="list-style-type: none"> BRANCH CIRCUIT. 2#12 AND 1#12G IN 3/4" CONDUIT, UNLESS OTHERWISE NOTED

ABBREVIATIONS/MODIFIERS	
	SHEET NOTE TAG, LABEL INDICATES NOTE NUMBER
	FEEDER TAG
.	ABOVE COUNTER
A	AMPERE
AD	AUTOMATIC DAMPER
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHU	AIR HANDLING UNIT
AFCI	ARC FAULT CIRCUIT INTERRUPTER
ATS	AUTOMATIC TRANSFER SWITCH
C	CONDUIT
C/B	CIRCUIT BREAKER
CIR	CIRCUIT
CUH	CABINET UNIT HEATER
E	EXISTING DEVICES TO REMAIN
EF	EXHAUST FAN
EMT	ELECTRIC METALLIC TUBING
ER	NEW LOCATION OF EXISTING RELOCATED
EWC	ELECTRIC WATER COOLER
EWB	ELECTRIC WATER HEATER
FA	FIRE ALARM
FB	FLOOR BOX
FMC	FLEXIBLE METALLIC TUBING
GFI	GROUND FAULT INTERRUPTER
HD	HAND DRYER
IG	ISOLATED GROUND
MAU	MAKE-UP AIR UNIT
MD	MOTORIZED DAMPER
NF	NON-FUSED
NL	NIGHT LIGHT
NR	NEW TO REPLACE EXISTING
P	POLE
PE	PRIMARY ELECTRIC SERVICE
PTD	ELECTRIC PAPER TOWEL DISPENSER
PVC	POLYVINYL CHLORIDE CONDUIT
RE	REMOVE EXISTING
REF	ROOF EXHAUST FAN
RL	RELOCATE EXISTING
RMC	RIGID METALLIC CONDUIT
RR	REMOVE AND REPLACE ON NEW SURFACE
RTU	ROOFTOP UNIT
SD	SMOKE DAMPER
SE	SECONDARY ELECTRIC SERVICE
S&P	SPACE AND PROVISION
T	TELEPHONE SERVICE
TCP	TEMPERATURE CONTROL PANEL
TP	TAMPER PROOF
TV	TELEVISION
UGE	UNDERGROUND ELECTRICAL
VFC	VARIABLE FREQUENCY CONTROLLER
VFD	VARIABLE FREQUENCY DRIVE
W	WIRE
WG	WIRE GUARD
WP	WEATHERPROOF
XFMR	TRANSFORMER

- ### GENERAL NOTES
- A. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE ADOPTED ELECTRICAL CODE.
 - B. ELECTRICAL DESIGN HAS BEEN BASED ON THE INSTALLATION OF 90-DEGREE CONDUCTORS CONNECTED TO TERMINAL LUGS AND EQUIPMENT UL LISTED FOR A MINIMUM OF 75-DEGREES. CONDUCTORS TERMINATED ON EQUIPMENT WITH A LOWER RATING OR NO RATING SHALL HAVE CONDUCTOR SIZE INCREASED TO CONFORM TO THE ADOPTED ELECTRICAL CODE.
 - C. CONTACT ELECTRIC UTILITY AND ARRANGE FOR ELECTRICAL SERVICE AS INDICATED ON DRAWINGS. INCLUDE ALL COSTS, CHARGES, FEES, ETC. INCURRED BY UTILITY COMPANY INTO BID. PROVIDE ALL MATERIALS AS REQUIRED BY LOCAL AUTHORITIES FOR ELECTRIC SERVICE INSTALLATION. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
 - D. INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO TYPE AND LOCATION OF SAME AS MAY BE NECESSARY TO AVOID DAMAGE THERE OF.
 - E. FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY INTERFERENCE SHALL BE BROUGHT TO ATTENTION OF THE ARCHITECT AND ENGINEER FOR DIRECTION.
 - F. PLANS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED.
 - G. COOPERATE CLOSELY WITH ALL OTHER TRADES TO EXPEDITE CONSTRUCTION AND AVOID INTERFERENCES AND CONFLICTS. BEFORE ANY PIPING, CONDUIT, ETC. IS INSTALLED, IT SHALL BE COORDINATED CAREFULLY BETWEEN ALL TRADES.
 - H. GUARANTEE ALL EQUIPMENT, ACCESSORIES, AND MATERIAL FURNISHED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE AGAINST ALL DEFECTS.
 - I. ALL WIRING SHALL BE INSTALLED IN CONDUIT AND BE CONCEALED.
 - J. COORDINATE EQUIPMENT LOCATIONS AND ELECTRICAL CONNECTIONS FOR MECHANICAL AND PLUMBING EQUIPMENT.
 - K. ALL BRANCH CIRCUITS SHALL CONSIST OF (2) #10 AND (1)#10 EQUIPMENT GROUND IN 1" EMT CONDUIT, UNLESS OTHERWISE NOTED.
 - L. ALL ELECTRICAL RACEWAYS SHALL HAVE AN EQUIPMENT GROUND CONDUCTOR SIZED PER THE ADOPTED ELECTRICAL CODE.
 - M. MINIMUM CONDUIT SIZE SHALL BE 1/2" ABOVE GRADE AND 1" BELOW GRADE.
 - N. ALL EMPTY CONDUITS SHALL BE PROVIDED WITH A PULLSTRING.
 - O. COORDINATE INSTALLATION OF ELECTRICAL WORK WITH OTHER TRADES. INSTALL AT THE GREATEST POSSIBLE CLEARANCE FOR INSTALLATION OF OTHER TRADES. TRADES WITH REQUIRED SLOPES SHALL HAVE PLACEMENT PRIORITY. WHERE POSSIBLE RACEWAYS SHALL BE ROUTED THROUGH TRUSSES.
 - P. DEFINITIONS:
 - P.1. PROVIDE - CONTRACTOR SHALL FURNISH AND INSTALL
 - P.2. FURNISH - CONTRACTOR SHALL OBTAIN FOR OTHERS TO INSTALL.
 - P.3. INSTALL - CONTRACTOR IS RESPONSIBLE FOR ALL LABOR AND CONSTRUCTION EQUIPMENT NECESSARY TO SET IN PLACE, CONNECT, CALIBRATE.

Olsson - Civil Engineering
 Missouri Certificate of Authority #001692
 1301 Burlington Street
 North Kansas City, MO 64116
 TEL 816.361.1177
 www.olsson.com

DANNER
 NUMBER
 PE-2019031265

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM 1	

ELECTRICAL SYMBOLS

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MO

drawn by: _____ SH

checked by: _____ TB

approved by: _____ TB

QA/QC by: _____ TB

project no.: 022-00393

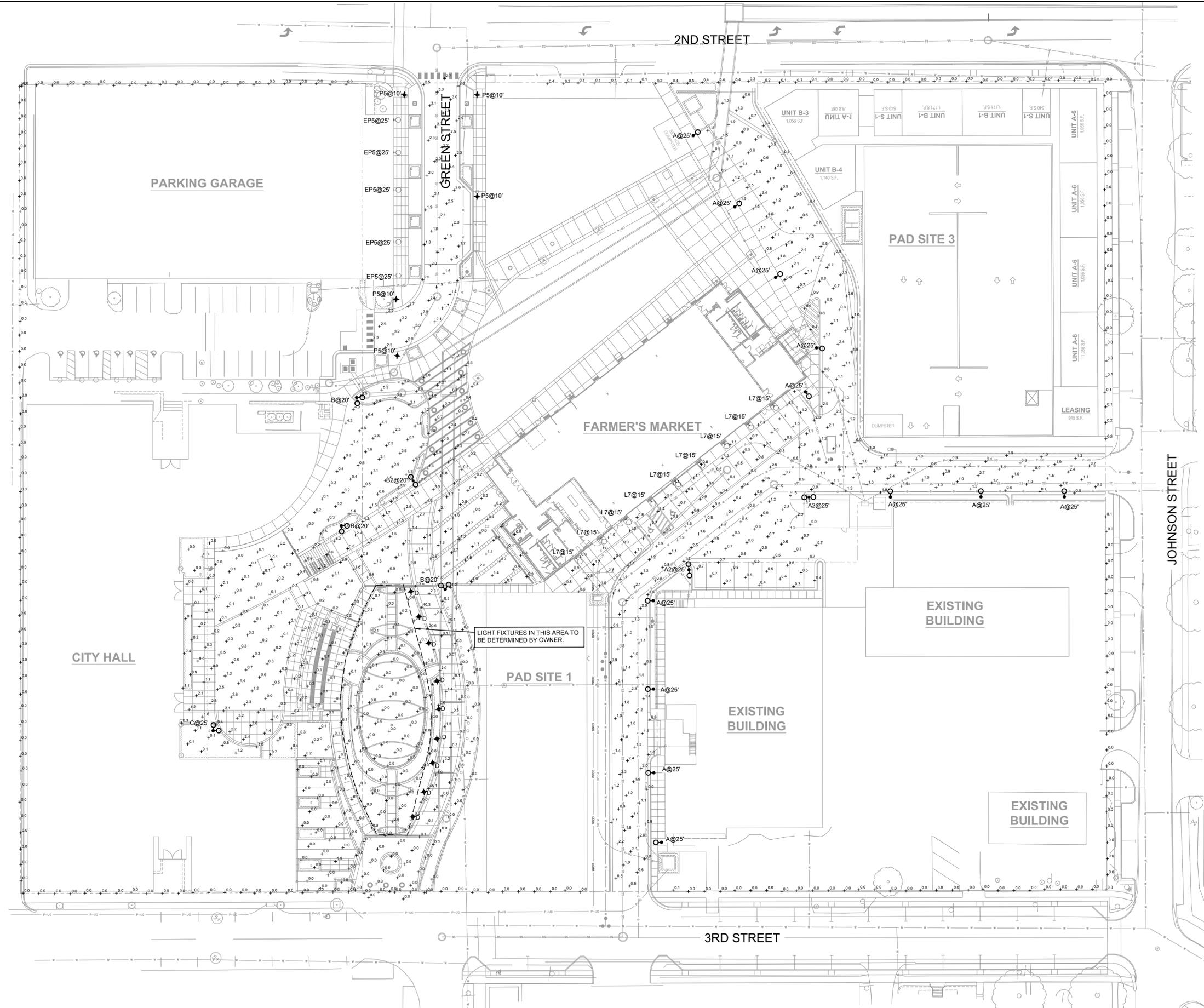
drawing no.: E_NGEN_02200393

date: 12/22/2023

2023

SHEET
E000

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 9/10/2024



LIGHT FIXTURES IN THIS AREA TO BE DETERMINED BY OWNER.

SITE LIGHTING PHOTOMETRICS PLAN
 SCALE: 1" = 30'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ALLEY	+	1.1 fc	2.9 fc	0.3 fc	9.7:1	3.7:1
GREEN STREET	+	2.3 fc	3.3 fc	1.2 fc	2.8:1	1.9:1
PROPERTY LINE	+	0.0 fc	0.5 fc	0.0 fc	N/A	N/A

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 9/12/2024

olsson
 Olsson - Civil Engineering
 Missouri Certificate of Authority #001692
 1301 Burlington Street
 North Kansas City, MO 64116
 TEL 816.361.1177
 www.ollson.com

Professional Engineer
 MISSOURI
 DANNER
 NUMBER
 PE-2019031265

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM 1	

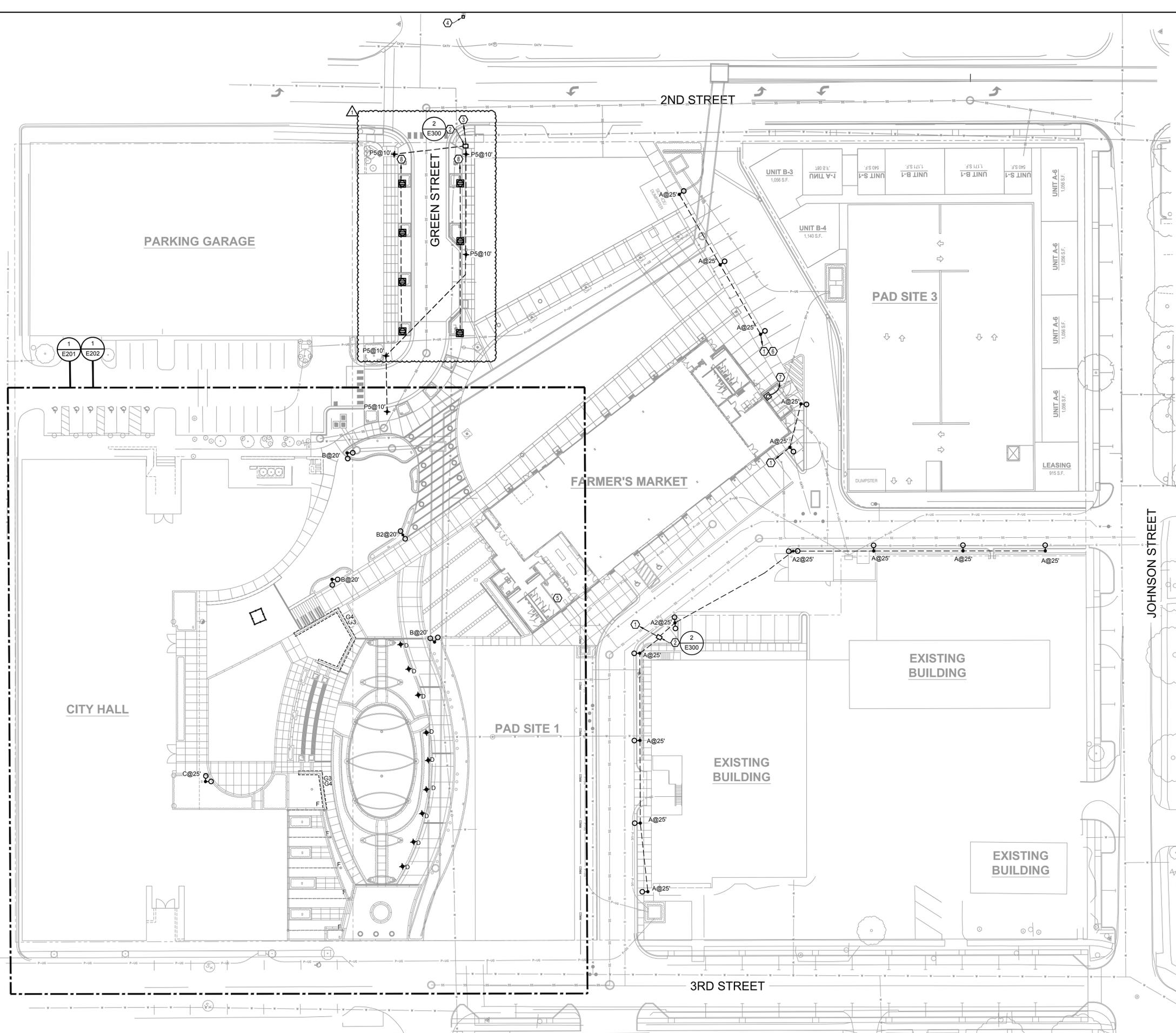
2023

SITE LIGHTING PHOTOMETRICS PLAN
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MO

drawn by: SH
 checked by: TB
 approved by: TB
 QA/QC by: TB
 project no.: 022-00393
 drawing no.: E_NSIT_02200393
 date: 12/22/2023

SHEET
 E100

DWG: F:\2022\00001-00500\022-00393\40-design\AutoCAD\final E:\PBASE_02200393 C:\P\T\T\02200393 XREFS: E_P\TBLK_02200393 C:\P\T\T\02200393 USER: ehschert
 DATE: Dec 21, 2023 9:23am L_ARCH_BLDG_GARAGE_02200393 L_ARCH_BLDG_HOTEL_02200393 L_ARCH_BLDG_MULTIFAMILY_02200393 C_XBASE_02200393



- ### GENERAL NOTES
- A. WHERE IN GROUND BOX DUPLEX RECEPTACLE SYMBOL IS SHOWN, PROVIDE LEGRAND# XB814C520CBK RECESSED GROUND BOX. ROUTE RECEPTACLE CIRCUIT TO A GFCI BREAKER. COORDINATE WITH INTERIOR BUILDING PANEL BOARD SUBMITTAL. REFER TO HARDSCAPE PLANS FOR EXACT LOCATION AND DETAILS. INSTALL 6 INCHES OF CA-5 CLEAN ROCK BELOW BOX FOR WATER TO DRAIN.
- ### SHEET KEYNOTES
- ROUTE EXTERIOR LIGHTING CIRCUITS TO INTERIOR PANELBOARD L2 IN FARMER'S MARKET BUILDING. EXTERIOR LIGHTING SHALL BE CONTROLLED BY TIMECLOCK. REFER TO INTERIOR BUILDING PLANS FOR EXACT LOCATION AND CONTROL SCHEME.
 - IN-GRADE JUNCTION BOX. REFER TO JUNCTION BOX DETAILS FOR ADDITIONAL INFORMATION. DETERMINE EXACT LOCATION AND QUANTITY.
 - ROUTE EXTERIOR LIGHTING CIRCUIT TO 20A/2P CIRCUIT BREAKER IN NEAREST STREET LIGHTING PEDESTAL. LIGHTING CIRCUIT SHALL BE ROUTED THROUGH EXISTING PHOTOCELL. PROVIDE CONTACTORS AS REQUIRED. BORE UNDER STREET.
 - APPROXIMATE LOCATION OF EXISTING STREET LIGHTING POWER PEDESTAL. FIELD VERIFY EXACT LOCATION.
 - APPROXIMATE LOCATION OF INTERIOR PANELBOARD L2 IN FARMER'S MARKET BUILDING.
 - PROVIDE 0-10V DIMMING CABLE FOR EXTERIOR LIGHTING CIRCUIT.
 - PROVIDE 120V POWER TO IRRIGATION CONTROLLER. REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION. ROUTE (2)-#12 AND (1)-#12 GROUND IN 1" CONDUIT TO 20A/1P CIRCUIT BREAKER IN NEAREST PANELBOARD IN FARMER'S MARKET BUILDING.
 - ROUTE RECEPTACLE HOMERUN TO 20A/1P CIRCUIT BREAKER IN EXISTING POWER PEDESTAL. RECEPTACLE SHALL BE CONTROLLED BY PHOTOCELL.

SITE LIGHTING PLAN
 SCALE: 1" = 30'-0"

olsson
 Olsson - Civil Engineering
 Missouri Certificate of Authority #001692
 1301 Burlington Street
 North Kansas City, MO 64116
 TEL 816.361.1177
 www.olsson.com

PROFESSIONAL ENGINEER

DANNER
 NUMBER
 PE-2019031265

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM 1	

SITE LIGHTING PLAN

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MO

2023

drawn by: _____ SH

checked by: _____ TB

approved by: _____ TB

QA/QC by: _____ TB

project no.: 022-00393

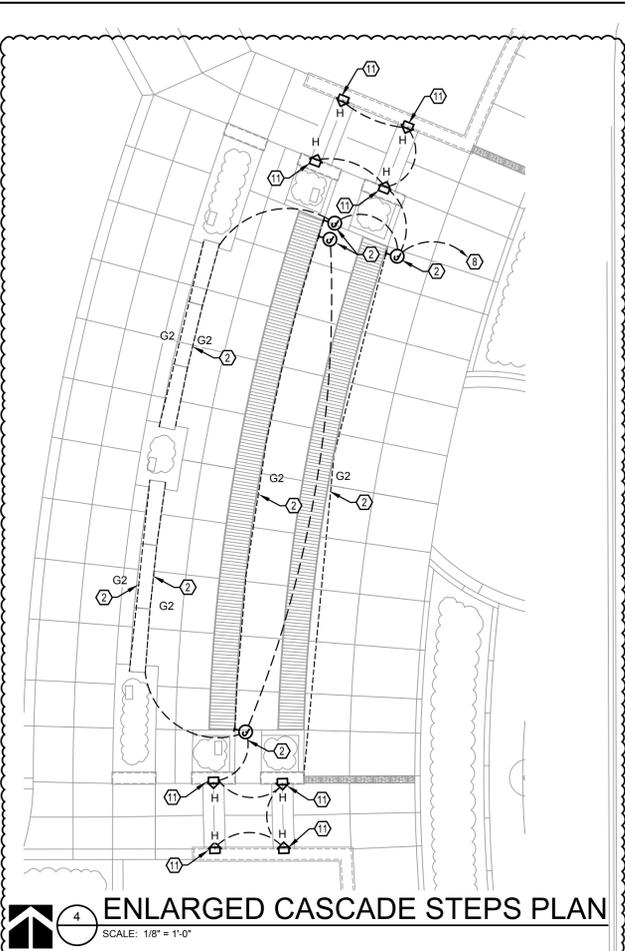
drawing no.: E_NSIT_02200393

date: 12/22/2023

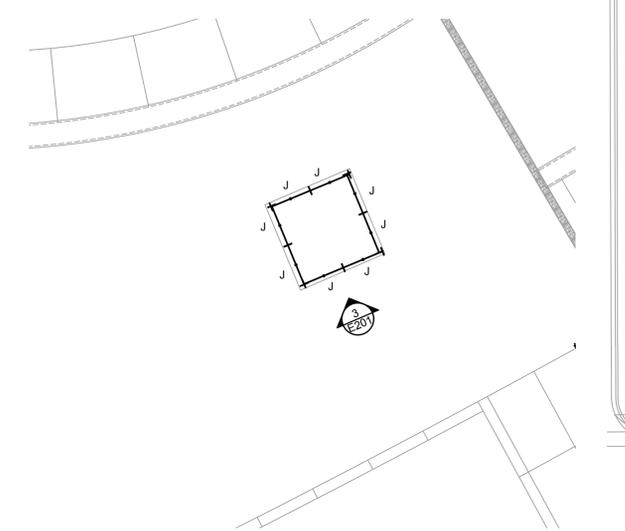
SHEET E200

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 01/24/2024

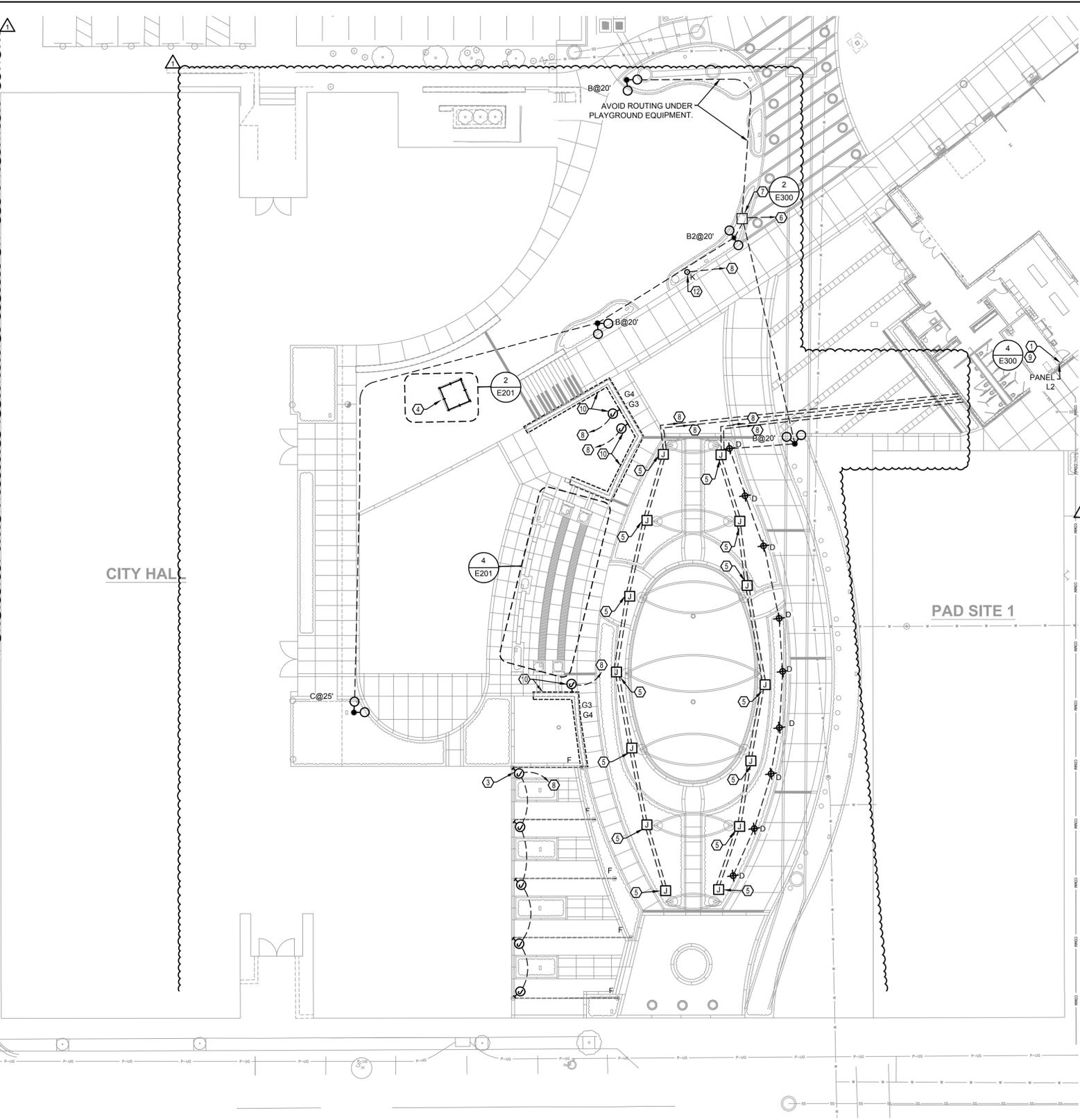
DWG: F:\2023\00001-00500\022-00393\40-Design\AutoCAD\final\plans\Streets\Mech\E_NSIT_02200393.dwg
 DATE: Dec 21, 2023 11:00am
 USER: L_ARCH_BLDG_RETAIL_02200393
 C_PJTIL_02200393
 E_PBASE_02200393
 L_ARCH_BLDG_GARAGE_02200393
 L_ARCH_BLDG_HOTEL_02200393
 L_ARCH_BLDG_MULTIFAMILY_02200393
 C_XBASE_02200393



4 ENLARGED CASCADE STEPS PLAN
SCALE: 1/8" = 1'-0"

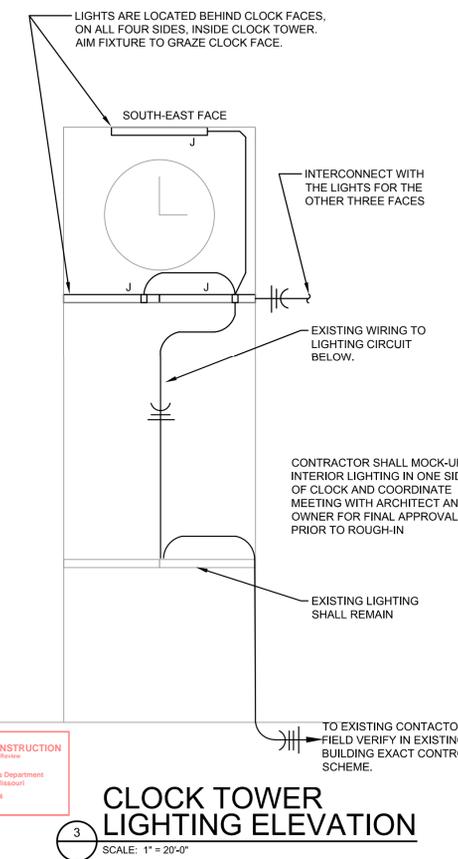


2 ENLARGED CLOCK TOWER PLAN
SCALE: 1/8" = 1'-0"



1 ENLARGED SITE LIGHTING PLAN
SCALE: 1" = 20'-0"

- SHEET KEYNOTES**
- APPROXIMATE LOCATION OF INTERIOR PANELBOARD IN FARMERS MARKET BUILDING.
 - LED ROPE MOUNTED IN ALUMINUM CHANNEL TO LANDSCAPE BENCH. REFER TO LANDSCAPE DRAWINGS/DETAILS FOR ADDITIONAL INFORMATION. BASIS OF DESIGN IS TO MOUNT DRIVER IN NEMA 3R ENCLOSURE AND RECESS IN CONCRETE SEAT WALL. BOX SHALL BE PAINTED TO MATCH SEAT WALL CONCRETE. PROVIDE ADDITIONAL BOXES FOR BLOCK SEAT LIGHTING AND ROUTE CONDUIT BELOW GRADE TO BLOCK SEAT.
 - MOUNT LOW VOLTAGE TRANSFORMER IN NEMA 3R ENCLOSURE FOR LED STRING LIGHTING ON TOP OF POLE. COORDINATE EXACT LOCATION WITH POLE MANUFACTURER. REFER TO LANDSCAPE DRAWINGS/DETAILS AND LIGHT FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION.
 - REPLACE EXISTING INTERNAL LIGHTING IN THE CLOCK TOWER WITH RGBW LED LIGHTING. VERIFY EXISTING VOLTAGE, WIRING, AND CONDUIT TO REMAIN TO BE REUSED PRIOR TO ORDERING NEW FIXTURE.
 - ROUTE (2) 2-1/2" CONDUITS WITH #10 WIRE AND TERMINATE IN-GRADE JUNCTION BOX FOR WICKET LIGHTING. PROVIDE DMX CABLING AND LINE TERMINATOR PER MANUFACTURER WIRING DIAGRAMS.
 - ROUTE CIRCUIT TO 20A/2P CIRCUIT BREAKER IN PANELBOARD L2. REFER TO LIGHTING CONTROL SEQUENCE FOR ADDITIONAL INFORMATION.
 - IN-GRADE JUNCTION BOX FOR ROUTING EXTERIOR LIGHTING CIRCUITS. REFER TO JUNCTION BOX DETAILS FOR ADDITIONAL INFORMATION. DETERMINE EXACT LOCATION AND QUANTITY.
 - ROUTE CIRCUIT TO 20A/1P CIRCUIT BREAKER IN PANELBOARD L2. REFER TO LIGHTING CONTROL SEQUENCE FOR ADDITIONAL INFORMATION.
 - PROVIDE MTS GRAPHICAL TOUCH SCREEN WITH FOUR POST EQUIPMENT RACK. EQUIPMENT RACK TO HAVE NETWORK SWITCH, (8) 4-PORT GATEWAYS, AND DMX OPTO-SPLITTER. PROVIDE ECHO ERP24-FT RELAY PANEL FOR ROUTING EXTERIOR LIGHTING AND RECEPTACLE CIRCUITS. REFER TO SITE LIGHTING CONTROL SCHEMATIC FOR ADDITIONAL INFORMATION AND LIGHTING SEQUENCES.
 - LED ROPE MOUNTED IN ALUMINUM CHANNEL TO UPPER BAR AND LOWER BAR PER LANDSCAPE DETAIL. FIXTURE TYPE G3 IS UPPER BAR AND TYPE G4 IS LOWER BAR. POWER SOURCES SHALL BE IN NEMA 3R ENCLOSURES MOUNTED WITHIN BAR WITH ACCESS PANEL. LED ROPE SHALL BE CONTINUOUS RUN WITH NO GAPS.
 - RECESSED STEP LIGHT TO BE MOUNTED IN CONCRETE WALL. REFER TO LANDSCAPE DETAILS AND SECTIONS FOR ADDITIONAL INFORMATION.
 - IN-GRADE LIGHT FIXTURE SHALL BE MOUNTED MINIMUM OF 3'-0" FROM LIGHT POLE AND AIMED AT FLAG.



3 CLOCK TOWER LIGHTING ELEVATION
SCALE: 1" = 20'-0"

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
01242024

olsson

Olsson - Civil Engineering
Missouri Certificate of Authority #001692
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177
www.olsson.com

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDENDUM 1

ENLARGED SITE LIGHTING PLAN

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MO

REVISIONS

2023

drawn by: SH

checked by: TB

approved by: TB

QA/QC by: TB

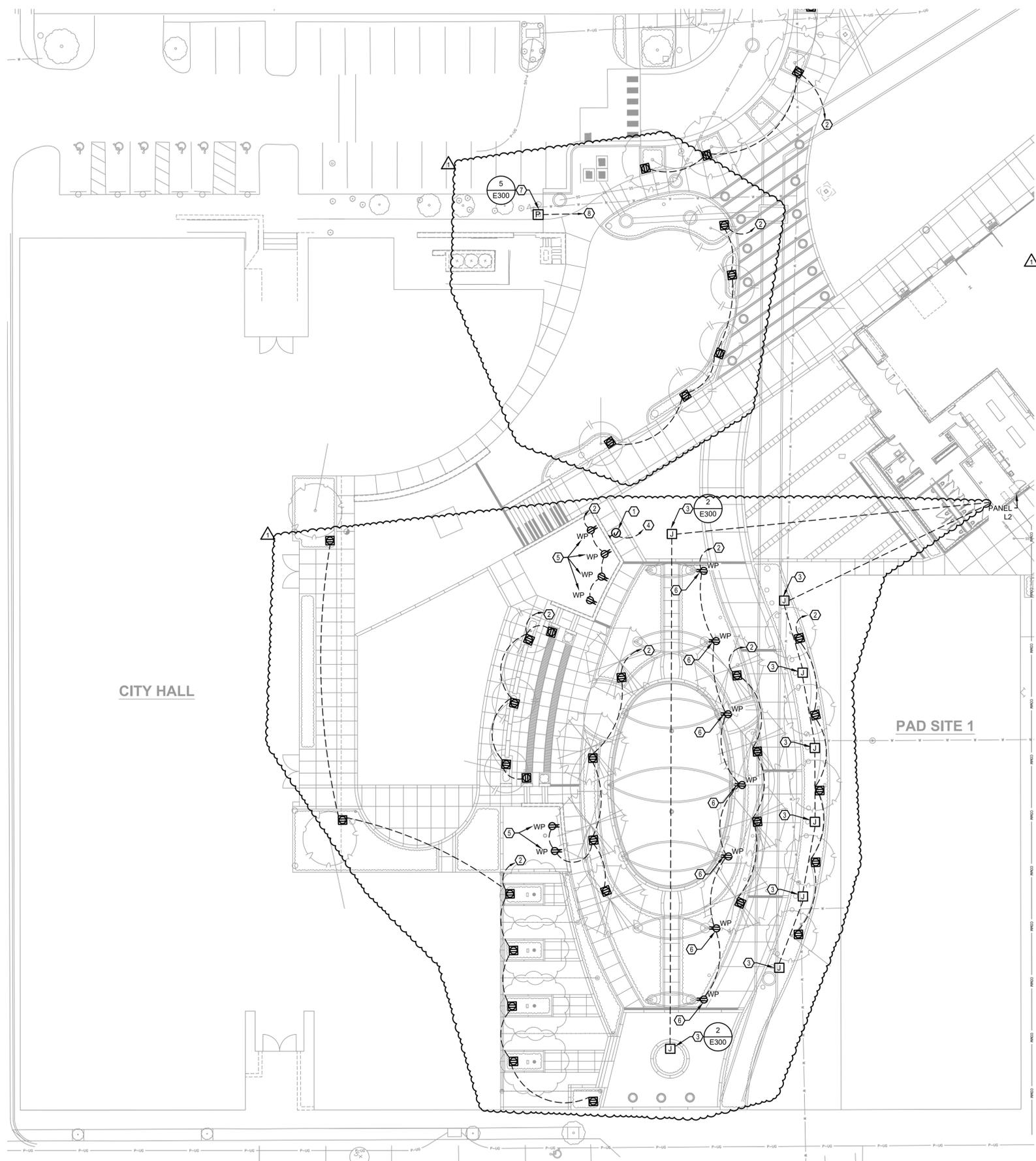
project no.: 022-00393

drawing no.: E_NSIT_02200393

date: 12/22/2023

SHEET

E201



GENERAL NOTES

A. WHERE IN GROUND BOX DUPLEX RECEPTACLE SYMBOL IS SHOWN, PROVIDE LEGRAND# XBB14C520CBK RECESSED GROUND BOX UNLESS OTHERWISE NOTED. ROUTE RECEPTACLE CIRCUIT TO A GFCI BREAKER. COORDINATE WITH INTERIOR BUILDING PANEL BOARD SUBMITTAL. REFER TO HARDSCAPE PLANS FOR EXACT LOCATION AND DETAILS. INSTALL 6 INCHES OF CA-5 CLEAN ROCK BELOW BOX FOR WATER TO DRAIN.

○ SHEET KEYNOTES

1. ROUTE 1" CONDUIT FOR POWER TO WALL MOUNTED SIGN. REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
2. ROUTE CIRCUIT TO 20A/1P CIRCUIT BREAKER IN PANEL L2. CIRCUIT SHALL BE ROUTED THROUGH TIME CLOCK. RECEPTACLE CIRCUITS SHALL BE ROUTED TO GFCI BREAKER.
3. ROUTE 1" EMPTY CONDUIT FOR POWER TO IN-GRADE JUNCTION BOX FOR SCULPTURE/ART FEATURE. STUB UP CONDUIT IN ELECTRICAL ROOM OF FARMER MARKET BUILDING AND CAP WITH PULL STRINGS.
4. ROUTE CIRCUIT TO 20A/1P CIRCUIT BREAKER IN PANEL L2. CIRCUIT SHALL BE ROUTED THROUGH TIME CLOCK.
5. REFER TO LANDSCAPE WALL DETAILS FOR LOCATION OF WEATHER RESISTANT RECEPTACLE WITH WHILE-IN-USE COVER MOUNTED TO BAR.
6. RECEPTACLE MOUNTED IN BASE OF WICKET.
7. PROVIDE OUTDOOR POWER PEDESTAL. REFER TO POWER PEDESTAL DETAIL FOR ADDITIONAL INFORMATION. COORDINATE FINAL PLACEMENT WITH CIVIL AND LANDSCAPE DRAWINGS PRIOR TO ROUGH-IN.
8. ROUTE (2)-#3 AND (1)-#8 GROUND IN 1-1/4" CONDUIT TO 75A/2P CIRCUIT BREAKER FOR POWER PEDESTAL.

ENLARGED SITE POWER PLAN
 SCALE: 1" = 20'-0"

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 9/24/2024

C:\BASE_02200393

L_ARCH_BLDG_MUL_FAMILY_02200393

L_ARCH_BLDG_HOTEL_02200393

L_ARCH_BLDG_GARAGE_02200393

L_ARCH_BLDG_RETAIL_02200393

L_ARCH_BLDG_FAMILY_02200393

L_ARCH_BLDG_FAMILY_02200393

L_ARCH_BLDG_FAMILY_02200393

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM 1	

REVISIONS
2023

ENLARGED SITE POWER PLAN

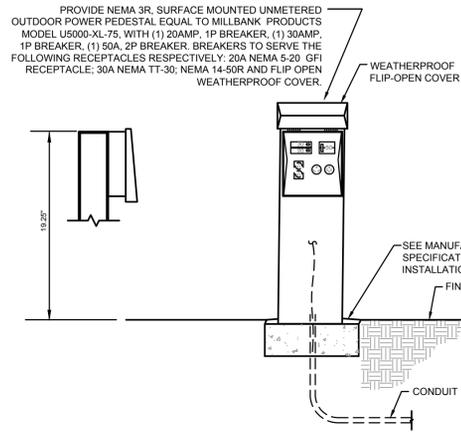
LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MO

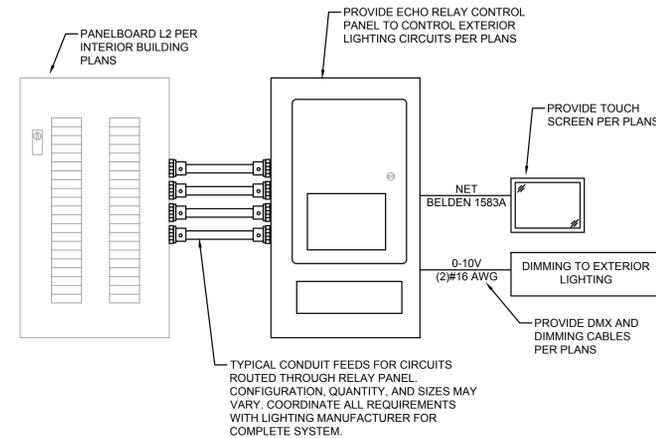
drawn by: _____ SH
 checked by: _____ TB
 approved by: _____ TB
 QA/QC by: _____ TB
 project no.: 022-00393
 drawing no.: E_NSIT_02200393
 date: 12/22/2023

SHEET E202

olsson
 Olsson - Civil Engineering
 Missouri Certificate of Authority #001692
 1307 Burlington Street
 North Kansas City, MO 64116
 TEL 816.361.1177
 www.olsson.com



5 POWER PEDESTAL DETAIL
SCALE: NOT TO SCALE



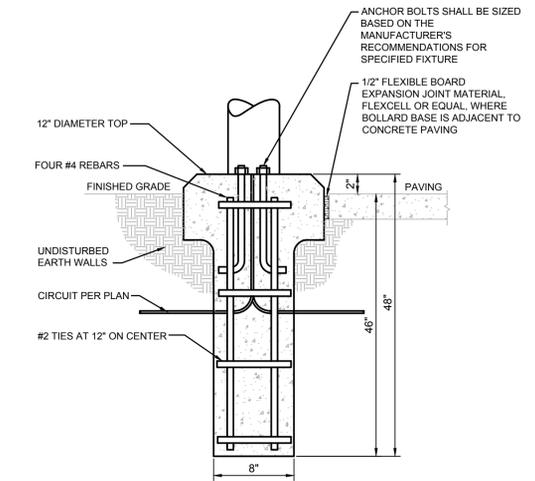
4 SITE LIGHTING CONTROL SCHEMATIC
SCALE: NOT TO SCALE

- GENERAL NOTES:**
- A. UNLESS NOTED OTHERWISE, ALL CONTROLS SHALL BE ON/OFF VIA TIME CLOCK. COORDINATE EXACT SCHEDULE WITH OWNER.
- SEQUENCE CONTROL OPERATION:**
- S1. EXTERIOR LIGHT POLE CIRCUITS (4-RELAY, 2-POLE CIRCUIT) WHERE SHOWN ON PLANS, ONE CIRCUIT SHALL HAVE MANUAL OVERRIDE DIMMING CONTROL.
 - S2. EXTERIOR TREE IN-GROUND RECEPTACLES (7-RELAY CIRCUIT).
 - S3. EXTERIOR LED ROPE BENCH AND STEP LIGHTS (1-RELAY CIRCUIT).
 - S4. EXTERIOR WICKET LIGHTING (4-RELAY CIRCUIT).
 - S5. EXTERIOR SIGN LIGHTING (1-RELAY CIRCUIT).
 - S6. EXTERIOR STRING LIGHTING (1-RELAY CIRCUIT).
 - S7. EXTERIOR BAR RECEPTACLES (1-RELAY CIRCUIT).
 - S8. EXTERIOR BAR LED ROPE LIGHTING (3-RELAY CIRCUIT).
 - S9. EXTERIOR WICKET RECEPTACLES (1-RELAY CIRCUIT).
 - S10. FLAG POLE IN-GRADE LIGHT (1-RELAY CIRCUIT).

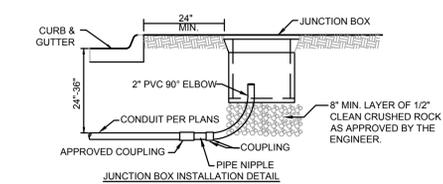
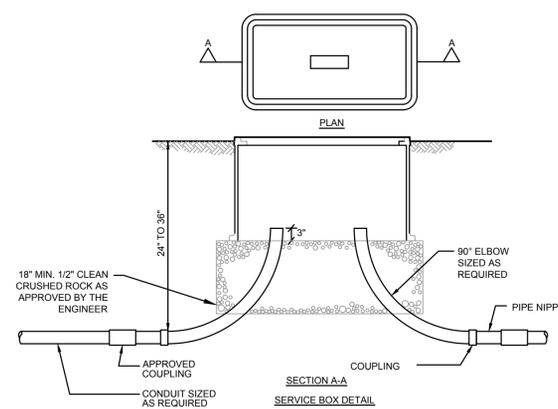
LIGHTING CONTROL SEQUENCE SCHEDULE

FIXTURE TYPE	DESCRIPTION	TIME CLOCK	PHOTOCELL	DIMMING	SEQUENCE OF OPERATION
A	POLE LIGHTS	X		0-10V	1
B	POLE LIGHTS	X		0-10V	1
C	POLE LIGHTS	X		0-10V	1
D	BOLLARD	X		0-10V	2
F	MESH LTG	X		DMX	2
G2	ROPE LIGHT	X		DMX	2
G3	ROPE LIGHT	X		DMX	2
G4	ROPE LIGHT	X		DMX	2
H	POLE LIGHTS	X		0-10V	1
P5	POLE LIGHTS	X		0-10V	1
J	LINEAR	X	X	DMX	3
K	IN-GRADE	X		0-10V	2

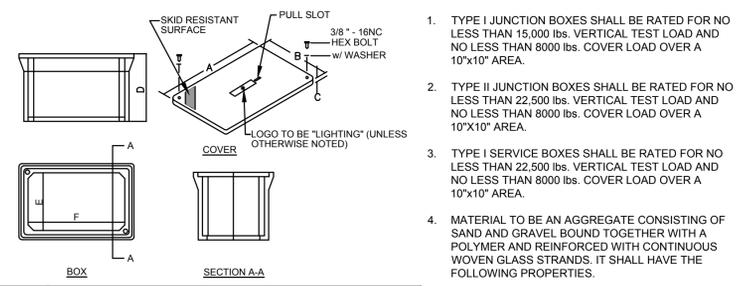
- SEQUENCE OF OPERATION:**
1. FIXTURE SHALL BE CONTROLLED BY TIME CLOCK. FIXTURE TO DIM TO 70% OUTPUT FROM MIDNIGHT TO 6 A.M.
 2. FIXTURE SHALL BE CONTROLLED BY TIME CLOCK. FIXTURE TO AUTOMATICALLY SHUT OFF AT 12 P.M.
 3. FIXTURE TO BE CONTROLLED BY EXISTING PHOTOCELL/TIME CLOCK.
- GENERAL NOTE:**
- TIME CLOCK SHALL BE CAPABLE OF BEING PROGRAMMED FOR 7 DAYS, SET FOR 7 DIFFERENT DAY TYPES PER WEEK. INCORPORATE AN AUTOMATIC HOLIDAY SETBACK FEATURE AND HAVE BACKUP PROGRAM CAPABILITIES.



3 BOLLARD BASE DETAIL
SCALE: NOT TO SCALE



- NOTE:**
1. ALL LOCATIONS LOCATIONS OF IN-GRADE BOXES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLACEMENT AND CONDUIT INSTALLATION.



TYPE	DIMENSION (IN.)					
	A	B	C	D	E	F
I-JUNCTION	12 7/8	12 7/8	3/4	12 3/4	9 3/4 - 10 1/2	9 3/4 - 10 1/2
II-JUNCTION	18 - 18 1/2	11 1/4 - 11 1/2	1 3/4 - 2	12	9 1/2 - 10 1/4	16 1/2 - 17 1/4
I-SERVICE	35 5/8	24	3	24	22 1/4	33 7/8
II-SERVICE	*27 5/8	30 1/8	3	24	22 1/8	45 5/8

*NOTE: THE TYPE II SERVICE BOX SHALL HAVE A TWO-PIECE OVERLAPPING COVER.

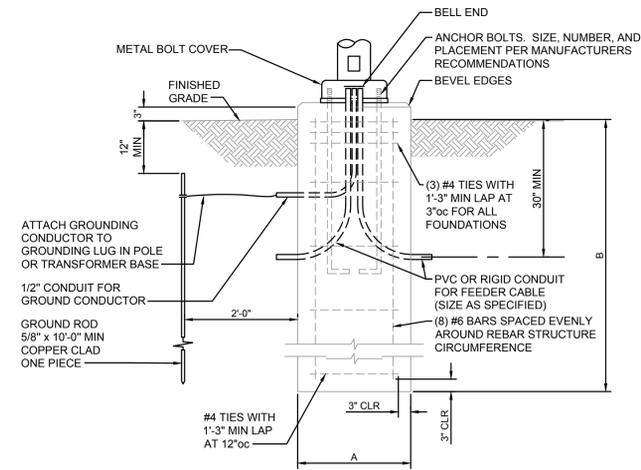
COMPRESSIVE STRENGTH-11,000 psi ASTM C-109

TENSILE STRENGTH-1,700 psi ASTM C-496

FLEXURAL STRENGTH-7,500 psi ASTM D-790 5.

ATTACH 1c #10 THINWALL STRANDED COPPER SYSTEM GROUND TO 1/2" x 8"-0" GROUND ROD IN SERVICE BOX. MULTIPLE #10 GROUND CABLES INTRODUCED AT SIGNAL POLES SHALL BE TERMINATED AT GROUND ROD WITH AN ADDITIONAL CLAMP.

2 FIBERGLASS REINFORCED POLYMER CONCRETE JUNCTION BOX DETAILS
SCALE: NOT TO SCALE



- FOUNDATION DESIGN LIMITATIONS**
- L1. THIS FOUNDATION WAS DESIGNED FOR A MINIMUM LATERAL SOIL DEFORMATION MODULUS OF 0.50 KSI.
 - L2. THIS FOUNDATION WAS DESIGNED FOR A MINIMUM LATERAL SOIL UNDRAINED SHEAR STRENGTH OF 0.50 KSF.
 - L3. THIS FOUNDATION WAS DESIGNED FOR A MAXIMUM ALLOWABLE LATERAL DEFLECTION OF 1/2 INCH OVERALL AT GRADE ELEVATION.
 - L4. THIS FOUNDATION WAS DESIGNED WITH AN ASSUMED DEPTH TO ROCK GREATER THAN TWENTY FEET FROM FINISHED GRADE.
 - L5. THIS FOUNDATION WAS DESIGNED WITH AN ASSUMED WATER TABLE LOCATED AT THE SOIL SURFACE.
 - L6. THIS FOUNDATION WAS NOT DESIGNED TO WITHSTAND THE EFFECTS OF SCOURING.
 - L7. IF CONDITIONS OTHER THAN THOSE SPECIFIED HEREIN ARE PRESENT AT THE SITE, INCLUDING NON-COHESIVE SOILS FOUND IN BORINGS, PLEASE CONTACT THE ENGINEER OF RECORD.

STRUCTURAL CONCRETE

CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF:

- ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
- ACI 302 - "RECOMMENDED PRACTICE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION"
- ACI 304 - "ACI MANUAL OF CONCRETE INSPECTION"
- ACI 311 - "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE"
- ACI 315 - "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"
- ACI 318 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
- ACI 347 - "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK"

ALL HOOKS SHALL BE "STANDARD" PER ACI SPECIFICATIONS.

- EARTHWORK**
- E1. THE CONTRACTOR MUST PROVIDE SURFACE DRAINAGE AND PUMPS TO PROTECT ALL EXCAVATION FROM FLOODING. FLOODING OF ANY EXCAVATION AFTER APPROVAL OF THE SUBGRADE WILL BE CAUSE FOR RE-PREPARATION OF THE SUBGRADE.
 - E2. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY WATER, FROST, OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUBGRADE BEFORE AND AFTER PLACING OF CONCRETE AND UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT STRUCTURE.
 - E3. REFER TO THE GEOTECH REPORT FOR SUBSURFACE CONDITIONS AND CONSTRUCTION CONSIDERATIONS.

LIGHT FOUNDATION DATA

MOUNTING HEIGHT	A	B
UP TO 30'	2'-0"	5'-0"

CONCRETE CLASS "KCMMB 4000"

HEAVY HEX GALVANIZED NUTS: (AASHTO M291, GR A)

FLAT WASHERS GALVANIZED: (AASHTO M293)

1 CONCRETE LIGHT POLE BASE
SCALE: NOT TO SCALE

- GENERAL NOTES**
- G1. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UNDERGROUND STRUCTURES AND UTILITIES BEFORE CONSTRUCTING NEW FOUNDATIONS.
 - G2. THE CONTRACTOR SHALL FOLLOW WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.
 - G3. EXCAVATE SHAFTS FOR DRILLED FOUNDATIONS TO INDICATED ELEVATIONS. REMOVE LOOSE DEBRIS, MATERIALS AND/OR MUCK TO MAKE BOTTOM SURFACES LEVEL WITHIN ACI 338.1 TOLERANCES.
 - G4. CONSTRUCTION TOLERANCES:
 - A. BOTTOM DIAMETER: MINUS ZERO, PLUS 6 INCHES, MEASURED IN ANY DIRECTION.
 - B. MAXIMUM VARIATION FROM PLUMB: 1:40.
 - C. MAXIMUM BOTTOM LEVEL: PLUS OR MINUS 2 INCHES.
 - G5. AT NO ADDITIONAL COST, CASE PIER SHAFTS AS NECESSARY. PROTECT EXCAVATED WALLS WITH TEMPORARY WATERTIGHT STEEL CASINGS OF SUFFICIENT LENGTH TO PREVENT WATER INTRUSION, CAVE-INS, DISPLACEMENT OF SURROUNDING EARTH, INJURY TO PERSONNEL AND DAMAGE TO CONSTRUCTION OPERATIONS. MAINTAIN EXCAVATIONS IN ESSENTIALLY DRY CONDITION, USING PUMPS WHERE NECESSARY. REMOVE WATER TO A MAXIMUM DEPTH OF 6 INCHES FROM EXCAVATED SHAFT PRIOR TO CONCRETE PLACEMENT.
 - G6. CONVEY CONCRETE FROM THE MIXER TO PLACE OF DEPOSIT BY BEST INDUSTRY METHODS THAT WILL PREVENT SEGREGATION AND LOSS OF MATERIAL. SIZE AND DESIGN THE EQUIPMENT FOR CONVEYING CONCRETE TO ENSURE UNIFORM, CONTINUOUS PLACEMENT OF CONCRETE. PLACE CONCRETE IN ACCORDANCE WITH ACI 318. PLACE CONCRETE IN A CONTINUOUS OPERATION AND WITHOUT SEGREGATION INTO DRY EXCAVATIONS WHENEVER POSSIBLE. USE ALL PRACTICABLE MEANS TO OBTAIN A DRY EXCAVATION BEFORE AND DURING CONCRETE PLACEMENT.
 - G7. WHEN PULLING CASING, MAINTAIN LEVEL OF CONCRETE ABOVE BOTTOM OF CASING GREATER OR EQUAL TO LEVEL OF GROUND KEEP BOTTOM OF CASING AT LEAST 10 FEET BELOW TOP OF CONCRETE. PREVENT IN-SITU MATERIALS FROM FALLING INTO AND MIXING WITH CONCRETE. PULL CASING IN SHORT SLOW VERTICAL LIFTS (ESSENTIALLY CONTINUOUS), MAINTAINING PLUMB ALIGNMENT AND SUFFICIENT HEAD OF CONCRETE.
 - G8. ALL CONCRETE SHALL BE CLASS KCMMB 4000
 - G9. ALL REINFORCING SHALL BE STRUCTURAL GRADE 60 PER ASTM-A615 AND HAVE AT LEAST 3" OF CONCRETE COVER.
 - G10. ANCHOR BOLTS ARE TO BE FURNISHED BY THE FOUNDATION CONTRACTOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PLACE ALL REBAR SO AS TO NOT INTERFERE WITH ANCHOR BOLTS.
 - G11. ALL ABOVE GRADE FOUNDATION SURFACES SHALL BE STEEL TROWEL FINISHED UNLESS OTHERWISE NOTED.
 - G12. EACH PIER FOUNDATION SHALL BE CONSTRUCTED IN A SINGLE CONTINUOUS POUR.
 - G13. NO EXCAVATION OR VIBRATION-INDUCING ACTIVITIES ARE ALLOWED WITHIN 3 PIER DIAMETERS OF A SUBJECT PIER UNTIL AT LEAST 24 HOURS HAVE ELAPSED SINCE THE TIME OF CONCRETE PLACEMENT. COVER ALL EXCAVATIONS BETWEEN OPERATIONS. REMOVE FOREIGN AND LOOSE MATERIAL FROM APPROVED EXCAVATION.
 - G14. THE CONTRACTOR SHALL PROVIDE ALL MEASURES AND PRECAUTIONS NECESSARY TO PREVENT DAMAGE AND/OR SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE THE PROJECT LIMITS DURING EXCAVATION AND FOUNDATION CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS CAUSED BY CONSTRUCTION TECHNIQUES IS THE RESPONSIBILITY OF THE CONTRACTOR.

RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri
01/24/2024

olsson
Olsson - Civil Engineering
Missouri Certificate of Authority #001692
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177
www.olson.com

PROFESSIONAL ENGINEER
DANNER
NUMBER
PE-2019031265

BY: _____
DATE: 12-22-2023
REV. NO. 1
REVISIONS DESCRIPTION: ADDENDUM 1

2023

SITE LIGHTING DETAILS
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET
LEE'S SUMMIT, MO

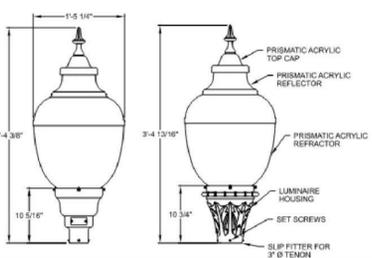
drawn by: SH
checked by: TD
approved by: TD
QA/QC by: TD
project no.: 022-00393
drawing no.: E_NDET_02200393
date: 12/22/2023

SHEET
E300

USER: shostert
 DWG: F:\2023\00001-00500\022-00393\MO--design\AutoCAD\final plans\Sheets\MECH\E_NDET_02200393.dwg
 DATE: Dec 22, 2023 8:37am
 XREFS: E_PBLK_02200393



Notes	Type
-------	------



Maximum weight - 37 lbs
 Maximum effective projected area - 2.19 sq. ft.

AWDE3
 Acrylic Washington Postlite Standard LED3



SPECIFICATIONS

General Description

The Acrylic Washington Postlite Standard LED3 is designed for use with traditional applications fitting 3" tenon post. The large acorn-shaped luminaire, while reminiscent of the 1920's, contains a powerful, stalk-mounted Chip-On-Solder LED platform with a precision optical system that maximizes post spacings while maintaining uniform illumination.

Mechanical Specifications

The luminaire housing shall: • Be heavy grade A360 cast aluminum (aluminum with <1% copper) • IP65 rated housing, provides enclosure for the electrical module • Mount to slip-fitter that will accept 3" high by 2-7/8" to 3-1/8" O.D. pole tenon • Provide four uniquely designed stainless steel spring clips, enclosed in a clear polyvinyl chloride sleeve and adjusted by 1/4-20 hex-head bolts that securely cradle the prismatic acrylic refractor. The same 1/4-20 bolts also support the decorative rib and banding assembly. The finish shall: • Utilize a polyester power coat paint to ensure maximum durability • Rigorous multi-stage pre-treating and painting process yields a finish that achieves a scribe creaseage rating of 8 (per ASTM D1654) after over 5,000 hours exposure to salt fog chamber (operated per ASTM B117) on standard and RAL finish options. • RAL (RALxxxxSDCR) paint colors are Super Durable Corrosion Resistant, 80% gloss.

Electrical Specifications

The driver shall meet the following requirements: • Certified by UL or CSA for wet locations • A factory programmable electronic driver with 0-10V dimming control leads • LEDs shall have a minimum of 70 CRI and available in 2700K, 3000K, 4000K, and 5000K CCT • The electrical system shall be designed to meet ANSI/IEEE C62.41.2 and shall offer a 10kV/5kA surge protection, fail off, as standard with an upgradable 20kV/10kA surge protection, fail off with indicator light, option • Lumen output can be customized prior to manufacturing by way of FDPDx Options • The electrical components are mounted on an aluminum plate that is removable with minimum use of tools.

Optical Specifications

The optical system is IP66 rated and consists of a precisely molded thermal resistant acrylic refractor and top reflector mounted within the decorative acrylic optic. The top reflector redirects over 50% of the upward light into the controlling refractor while allowing a soft up-light component to define the traditional acorn shape of the luminaire. The lower refractor uses precisely molded prisms to maximize the pole spacings while maintaining uniform illumination. Two refractors are available, designed for IES type III and V distributions.

Control Options

The control options shall include, but not limited to, the following: • Three (3) choices of button-style photocell kits that, specified to match voltage requirements, 120V, 208-277V, and 347V, and colored to match housing color (no 480V options).

Certification and Standards

• Luminaire shall be UL or CSA listed. • Suitable for operation in an ambient temperature up to 40°C / 105°F per UL or CSA certification • LM79 compliant • DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

Buy American Act

This product is assembled in the USA and meets the Buy American(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

Warranty - 5 Years Limited

This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

Acuity Brands | Holophane | One Lithonia Way, Conyers, GA 30012 | Phone: 866-HOLOPHANE | www.holophane.com | Page 1 of 7
 techsupport@acuitybrands.com © 2020-2023 Acuity Brands Lighting, Inc. All rights reserved. Rev: 08/09/23 Specifications
 Customer to change without notice.

Olivo Medio LED Universal Mount



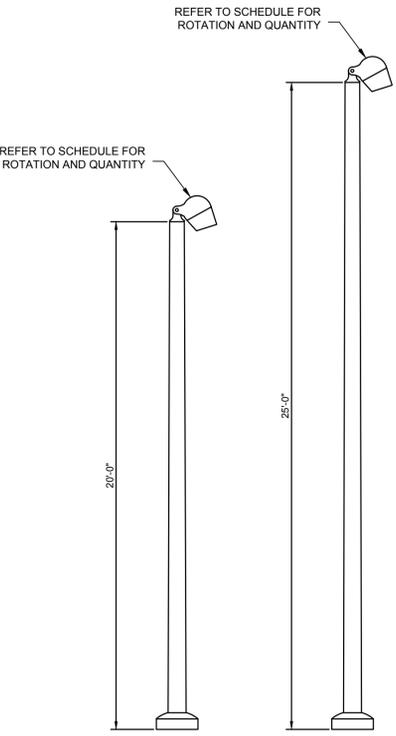
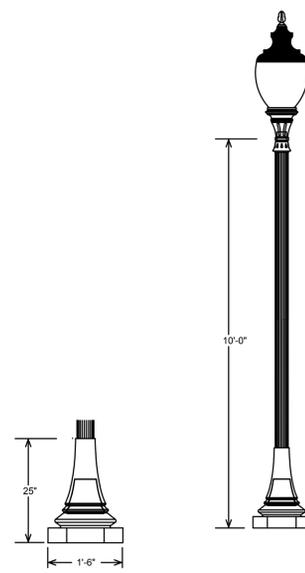
Order Code: OLML _____ Pole Order Code: _____ Series Height Finish Options

Series	OLML Olivo Medio LED
Optics	S09 Spot, 90° S20 Spot, 20° F40 Flood Medium, 41° F80 Flood, 78° ASYM Asymmetric (no SLH or SLV option)
Mounting	U Universal T1 Single Pole Top
Light Engine	2G350 15W / 132lm 22W / 191lm 31W / 263lm 40W / 344lm 2G105
CCT	27* 2700K 301 3000K 35* 3500K 40 4000K 50* 5000K
Finish	WH White BK Black BL Matte Black BZ Bronze SV Silver SP Specify Premium Color
Voltage	UNV 120-277V 120V 208V 240V 277V
Options	DS2 Dark Sky On TB Option DM Dimming, 0-10V SLH Spread Lens Horizontal (fixed) SLV Spread Lens Vertical (fixed) HL503.5 High-low mounting low output 50% HX4 Micro Hexwell (optional) CF Color Filter (optional)

Product Modifications: Please list modification requirements for review by factory.

Approvals: _____ Date: _____

Selux Corporation © 2023. T 845-834-1400, 800-735-8927, F 845-834-1401, www.selux.us
 In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specification sheets found at www.selux.us are the most recent versions and supersede all other printed or electronic versions.



LIGHT POLE/FIXTURE DETAILS
 SCALE: NOT TO SCALE

LIGHTING FIXTURE SCHEDULE

SYMBOL	TYPE	DESCRIPTION	MANUFACTURER AND MODEL	LAMPS	LUMENS	COLOR TEMP / CRI	DRIVER / BALLAST	VOLTAGE / WATTAGE	LOCATION
○	A	SINGLE HEAD AND DOUBLE HEAD LED FLOOD LIGHT, ASYMMETRIC DISTRIBUTION WITH 40 DEGREE TILT ON 25'-0" POLE AND CONCRETE BASE.	SELUX# OLML-ASM-T1-2G105-35-BK-U-DM-SLH POLE: O-AT635-25-BK	LED	3671	3500K / 80	0-10V DIMMING	MVOLT 46W 92W	STREET
○	A2	SEE NOTE A AND B BELOW.	OLML-ASM-C2-2G105-35-MK-U-DM POLE: AT524-25-BK						
○	B	LED DOUBLE HEAD FLOOD LIGHT WITH 40 DEGREE TILT ON 20'-0" POLE AND CONCRETE BASE.	SELUX# OLML-F40-C2-U-2G105-35-BK-U-DM-SLH POLE: O-AT535-20-BK	LED	3794	3500K / 80	0-10V DIMMING	MVOLT 92W	PEDESTRIAN WALKWAY
○	B2	SEE NOTE A AND B BELOW.	OLML-F40-C2A-U-2G105-35-BK-U-DM-SLH POLE: O-AT535-20-BK						
○	C	LED DOUBLE HEAD FLOOD LIGHT WITH 40 DEGREE TILT ON 25'-0" POLE AND CONCRETE BASE.	SELUX# OLML-F40-C2-U-2G105-35-BK-U-DM-SLH POLE: O-AT535-25-BK	LED	3794	3500K / 80	0-10V DIMMING	MVOLT 92W	PEDESTRIAN WALKWAY
⊕	D	4.5" DIA. x 31.5" LED BOLLARD WITH ALUMINUM FINISH.	LOUIS POULSEN# FLINDT#1000162762	LED	784	4000K / 80	0-10V DIMMING	MVOLT 15W	PEDESTRIAN WALKWAY
---	F	LED MESH LIGHTING WITH ACRYLIC CYLINDER 2'-0" O.C. RGBW COLOR CHANGING.	CARL STAHL# X-LED-DOT-B-RGB POLE: KW INDUSTRIES# RSP12-4-0-11-BLK-BC-OTC-WPRP-58HH POWER SUPPLY: X-LED-PS-6	LED		3500K / 80	0-10V DIMMING	24VOLT 1.5W/FT	ABOVE SEATING
---	G2	LED ROPE LIGHT WITH WHITE FROSTED LENS MOUNTED IN FLEXIBLE ALUMINUM CHANNEL. PROVIDE 24V HLV192 POWER SUPPLY IN NEMA 3R ENCLOSURE.	KELVIX# PL27K-WR-24 CHANNEL: CH-409-SWH-CP-EC LV DRIVER: HLV192	LED	148LM/FT	2700K / 80	0-10V DIMMING	24VOLT 2W/FT	BENCHES
---	G3	LED ROPE LIGHT WITH FROSTED LENS MOUNTED IN FLEXIBLE ALUMINUM CHANNEL. PROVIDE 24V HLV192 POWER SUPPLY IN NEMA 3R ENCLOSURE.	KELVIX# RGBW-3-WR-24V CHANNEL: LV DRIVER: HLV192 DMX DECODER: DMXD-4C-5A-WP	LED	131LM/FT	3000K / 80	0-10V DIMMING	24VOLT 2W/FT	BAR(TOP)
---	G4	LED ROPE LIGHT WITH FROSTED LENS MOUNTED IN FLEXIBLE ALUMINUM CHANNEL. PROVIDE 24V HLV192 POWER SUPPLY IN NEMA 3R ENCLOSURE.	KELVIX# RGBW-1-WR-24V CHANNEL: LV DRIVER: HLV192 DMX DECODER: DMXD-4C-5A-WP	LED	426LM/FT	3000K / 80	0-10V DIMMING	24VOLT 8W/FT	BAR (LOWER)
▷	H	RECESSED FLUSH LED WALL LIGHT WITH WHITE FINISH.	WE-EF# ST1134LED-190-9009-RAL9016-190-9031	LED	178	3000K / 80	0-10V DIMMING	MVOLT 6W	STEPS
⊕	PS	LED PEDESTRIAN POST TOP ON 10'-0" POLE AND CONCRETE BASE, BLACK FINISH.	HALOPHANE# AWDE3-P30-40K-MVOLT-MS-AL5-BK-FNT-TBK 20KV-UJA POLE: PSA-10-4C018D-C03-BK-ABG-GRD	LED	8,000	4000K / 80	0-10V DIMMING	MVOLT 61W	PEDESTRIAN WALKWAY
⊕	J	4" LINEAR LED LUMINAIRE WITH RGBW COLOR CHANGING AND BLACK FINISH.	GRIVEN# PDL4MC-RGBW30K-DMX/RDM-C-UNV-WB-BL	LED	2,500	3000K / 80	0-10V DIMMING	MVOLT 74W	CLOCK TOWER
○	K	1 1/2" DIA. INGROUND LED LUMINAIRE WITH TUNABLE FINISH.	WE-EF# ETC140-GB-TW	LED	4,080	3000K / 80	0-10V DIMMING	MVOLT 30W	FLAG POLE

NOTES:
 A. PROVIDE ALL COMPONENTS TO MAKE A COMPLETE ASSEMBLY. THIS WOULD INCLUDE, BUT NOT BE LIMITED TO, ARM, MOUNTING BRACKETS, POLE BASE COVER, ANCHOR BOLTS, TEMPLATE, BASE, HAND HOLE, SEPARATE CIRCUIT OUTLET, ETC.
 B. PROVIDE CONCRETE BASE, PER DETAIL.
 C. NO EQUALS SHALL BE ALLOWED FOR THIS FIXTURE, UNLESS APPROVED BY OWNER.

Specification sheet 1/3
FLINDT BOLLARD

Project name: _____
 Project type: _____
 Notes: _____

Design
 Designer: Flindt

Product description
 Recently crafted bronze post with a curved surface that is gently illuminated. Top section conceals downward facing LEDs that are positioned for wide distribution. Two horizontal connection lines underline the three parts of the bollard. A lead increases the visibility of the connection line. Available in two heights, 43.3 IN and 31.5 IN. Available in three different mounting methods: with an 1 1/2 inch base plate and visible anchor bolts, with internally hidden anchor bolts, or direct burial in soil or gravel. Part of a family.

Mounting options: Direct burial, outer flange, or hidden anchor bolts. Flange includes 5/8 anchor bolts 21" x 1 1/2" long. Grounded Steel. To be set in concrete pad on 0 1/2" concrete with 0 1/2" hole circle at 90°. Flange and flange includes 5/8 anchor bolts 1 1/2" x 1 1/2" long. Grounded Steel. To be set in concrete pad on 0 1/2" hole circle, not fully exposed. Flange Flange includes horizontally 1/2".

Dimension	Color	Mounting	Light source	Lumen	Voltage Frequency
31.5 IN	Corten color	Post with flange unit	LED 3000K	707	120-277V/60Hz
43.3 IN	Natural paint aluminum	Post with base plate	LED 4000K	757	
		Post without burial		752	
				784	

Variant options

Specification notes
 a. Direct burial mounting only available with 43.3" size.

louis poulsen © Louis Poulsen 2019 louispoulsen.com

olsson
 Olsson - Civil Engineering
 Missouri Certificate of Authority #001692
 1301 Burlington Street
 North Kansas City, MO 64116
 TEL 816.361.1177
 www.olsson.com

PROFESSIONAL ENGINEER
 III
 DANNER
 NUMBER
 PE-2019031265

BY: _____
 REVISIONS DESCRIPTION
 ADENDUM 1
 DATE 12-22-2023
 REV NO. 1

SITE LIGHTING DETAILS
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MO
 2023

drawn by: SH
 checked by: TD
 approved by: TD
 QA/QC by: TD
 project no.: 022-00393
 drawing no.: E_NDET_02200393
 date: 12/22/2023

SHEET E301

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 01/04/2024

SECTION 260000 ELECTRICAL

1. GENERAL CONDITIONS:

- A. THIS CONTRACTOR SHALL INSPECT THE SITE WHERE THIS WORK IS TO BE PERFORMED AND FULLY FAMILIARIZE HIMSELF WITH ALL CONDITIONS RELATED TO THIS PROJECT.
- B. THIS CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMANENT AND TEMPORARY PERMITS AND LICENSES AND SHALL MAKE ALL DEPOSITS AND PAY ALL FEES REQUIRED FOR THE PERFORMANCE OF WORK UNDER THIS SECTION OTHER THAN THOSE DEPOSITS OR FEES WHICH ARE FULLY REFUNDABLE TO THE OWNER.
- C. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF ALL SYSTEMS AND COMPONENTS COVERED UNDER THIS SECTION. WHERE LOCAL CONDITIONS NECESSITATE A REARRANGEMENT, THE CONTRACTOR SHALL PREPARE, AND SUBMIT FOR APPROVAL, DRAWINGS OF THE PROPOSED REARRANGEMENT. THIS CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISH CONDITIONS AFFECTING ALL OF HIS WORK AND SHALL ARRANGE SUCH WORK ACCORDINGLY, FURNISHING SUCH FITTINGS AND ACCESSORIES AS MAY BE REQUIRED TO MEET SUCH CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- D. THIS CONTRACTOR SHALL VERIFY ALL DIMENSIONS. DRAWINGS SHALL NOT BE SCALED TO DETERMINE DIMENSIONS.
- E. SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY AND WHAT IS CALLED FOR IN ONE SHALL BE AS BINDING AS IF CALLED FOR BY BOTH.
- F. FURNISH LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED AS SHOWN ON THE DRAWINGS AND SPECIFIED IN DIVISION 15.
- G. ALL WORK SHALL BE COMPLETE AND SHALL BE LEFT IN OPERATING CONDITION.
- H. INCLUDE ALL PARTS AND LABOR WHICH ARE INCIDENTAL AND NECESSARY FOR A COMPLETE AND OPERABLE INSTALLATION EVEN THOUGH NOT SPECIFICALLY MENTIONED IN THE CONTRACT DOCUMENTS.
- I. REQUEST INSPECTIONS AS REQUIRED BY REGULATING AGENCIES AND/OR REGULATIONS. PAY ALL CHARGES FOR INSPECTIONS BY REGULATING AGENCIES OF INSTALLATIONS OF PLANS SPECIFICATIONS.
- J. PROVIDE THE OWNER WITH A CERTIFICATE OF FINAL INSPECTION AND APPROVAL BY ENFORCEMENT AUTHORITIES.
- K. FURNISH: TO OBTAIN, COORDINATE, SUBMIT THE NECESSARY DRAWINGS, DELIVER TO THE JOB SITE IN NEW CONDITION READY FOR INSTALLATION, UNLOAD AND UNPACK, AND GUARANTEE.
- L. INSTALL: TO RECEIVE AT THE JOB SITE, STORE, ASSEMBLE, ERECT, SET IN PLACE, ANCHOR, APPLY, FINISH, PROTECT, CLEAN, TEST, START-UP, AND MAKE READY FOR OWNER'S USE.
- M. PROVIDE: TO FURNISH AND INSTALL.
- N. PROVIDE NEW MATERIAL AND EQUIPMENT, UNLESS NOTED OTHERWISE. PROTECT EQUIPMENT AND MATERIAL FROM DAMAGE, DIRT AND THE WEATHER.
- O. THE ENGINEER RESERVES THE RIGHT TO REJECT MATERIAL OR WORKMANSHIP NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, BEFORE OR AFTER INSTALLATION, AT NO ADDITIONAL COST TO THE OWNER.
- P. REFINISH ALL ELECTRICAL EQUIPMENT DAMAGED DURING SHIPPING, INSTALLATION AND/OR PRIOR TO FINAL ACCEPTANCE TO ITS ORIGINAL CONDITION. REMOVE ALL RUST, PRIME, AND PAINT PER MANUFACTURER'S RECOMMENDATIONS FOR FINISH EQUAL TO ORIGINAL.
- Q. PROTECT OPENINGS AND EQUIPMENT FROM OBSTRUCTION, BREAKAGE, MISUSE, DAMAGE OR BLEMISHES. PROTECT MATERIALS AND EQUIPMENT IMMEDIATELY UPON RECEIPT AT THE JOB SITE OR IMMEDIATELY AFTER THEY HAVE BEEN REMOVED FROM THEIR SHIPPING CONTAINERS. UNLESS NOTED OTHERWISE, KEEP THEM CLEAN AND UNMAYED UNTIL FINAL ACCEPTANCE OF THE ENTIRE PROJECT BY THE OWNER. WHEN A PORTION OF THE BUILDING IS OCCUPIED BY THE OWNER BEFORE SUBSTANTIAL COMPLETION OF THE ENTIRE PROJECT, MAKE ARRANGEMENTS TO TRANSFER RESPONSIBILITY FOR PROTECTION AND HOUSEKEEPING FOR THE OCCUPIED PORTION.
- R. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ELECTRICAL EQUIPMENT, MATERIALS OR WORK UNTIL FINAL ACCEPTANCE OF THE ENTIRE PROJECT BY THE OWNER.
- S. KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL OR RUBBISH, CAUSED BY HIS EMPLOYEES OR WORK, AT ALL TIMES. REMOVE RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIALS FROM AND ABOUT THE BUILDING, AND LEAVE WORK AREAS "BROOM CLEAN" OR ITS EQUIVALENT DAILY. CLEAN ELECTRICAL EQUIPMENT AND REMOVE TEMPORARY IDENTIFICATION.
- T. OPERATE EQUIPMENT AND SYSTEMS IN ALL THEIR OPERATING MODES, TO VERIFY PROPER OPERATION, PRIOR TO FINAL FIELD OBSERVATION AND OWNER INSTRUCTIONS. PREPARE A PRE-INSPECTION REPORT AND SUBMIT TO THE ENGINEER AND OWNER FOR REVIEW.
- U. TEST ALL INSTALLED ELECTRICAL EQUIPMENT AND CABLES REQUIRED BY CONSTRUCTION DOCUMENTS ACCORDING TO THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE INTERNATIONAL ELECTRICAL TESTING ASSOCIATION, INC. (NETA). IF ACCEPTABLE PERFORMANCE OF ANY TEST IS NOT ACHIEVED, MAKE THE NECESSARY CORRECTIONS AND THE TEST SHALL BE REPEATED UNTIL ACCEPTABLE PERFORMANCE IS ACHIEVED. PROVIDE WRITTEN REPORTS OF ALL TESTS, WITH FAILURES IDENTIFIED, TO ENGINEER.
- V. FULLY INSTRUCT THE OWNER'S DESIGNATED PERSONNEL IN THE OPERATION OF EACH ELECTRICAL SYSTEM AT THE TIME IT IS PUT INTO SERVICE. PROVIDE INSTRUCTION USING COMPETENT INSTRUCTORS AND FACTORY TRAINED PERSONNEL.
- W. CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND/OR RECOMMENDATIONS.
- X. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT INDICATED AND/OR REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM. A FORM INDICATING ALL SHOP DRAWINGS TO BE PROVIDED AS PART OF THE PROJECT SHALL BE SUBMITTED FOR REVIEW BY THE ENGINEER PRIOR TO ANY SHOP DRAWING SUBMITTAL REVIEW.
- Y. THIS SPECIFICATION SHALL INCORPORATE ALL PROJECT REQUIREMENTS AND RESPONSIBILITIES INDICATED WITHIN THE FRONT-END OF THE PROJECT MANUAL.

2. LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES:

- A. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION CODES, THE NATIONAL ELECTRICAL SAFETY CODE, LOCAL BUILDING CODE, AND ALL APPLICABLE LOCAL LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES. SHOULD ANY WORK SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN BE OF LOWER STANDARD, THE CONTRACTOR SHALL REFER THE POINTS IN QUESTION TO THE ENGINEER FOR APPROVAL.

3. SCOPE OF WORK:

- A. WORK UNDER THIS SECTION SHALL CONSIST OF FURNISHING ALL LABOR, MATERIAL AND ASSOCIATED SERVICES REQUIRED TO COMPLETELY CONSTRUCT AND LEAVE ALL SYSTEMS OPERATIONAL AS SHOWN ON THE

DRAWINGS AND HEREIN DESCRIBED.

- B. ALL WORK PERFORMED UNDER THIS SECTION SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER.

4. MATERIALS AND EQUIPMENT REVIEW:

- A. AS SOON AS POSSIBLE AFTER THE AWARD OF THE CONTRACT, THIS CONTRACTOR SHALL SUBMIT FOR REVIEW SHOP DRAWINGS FOR ALL EQUIPMENT TO BE FURNISHED FOR THIS PROJECT. SUBMITTALS SHALL HIGHLIGHT THE MANUFACTURER'S NAME, MODEL NUMBER, DESCRIPTIVE ENGINEERING DATA AND ALL NECESSARY INFORMATION AS TO FINISH, MATERIAL GAUGES AND ACCESSORIES.
- B. ALL PORTIONS OF THE SHOP DRAWINGS THAT ARE INTENDED TO BE REVIEWED SHALL BE HIGHLIGHTED. ANY PORTION NOT CALLED OUT SHALL BE ASSUMED TO BE EXCLUDED FROM THE JOB.

5. GUARANTEE:

- A. THIS CONTRACTOR SHALL GUARANTEE COMPLETE SYSTEM OPERATION AND THAT THE APPARATUS FURNISHED AND INSTALLED WILL BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS AND WILL GIVE SATISFACTORY SERVICE. THE CONTRACTOR AGREES TO REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY PART OF THE INSTALLATION WHICH PROVES OR BECOMES DEFECTIVE WITHIN ONE YEAR AFTER THE SYSTEM IS ACCEPTED.

6. COORDINATION:

- A. THIS CONTRACTOR SHALL EXAMINE ALL ARCHITECTURAL, MECHANICAL, STRUCTURAL AND OTHER DRAWINGS RELATED TO THIS PROJECT, AND IT SHALL BE HIS RESPONSIBILITY TO COORDINATE THE ELECTRICAL WORK WITH OTHER TRADES.

7. AS-BUILT DRAWINGS:

- A. THIS CONTRACTOR SHALL PREPARE COMPLETE AS-BUILT DRAWINGS OF ALL ELECTRICAL SYSTEMS AND TURN OVER TO THE ENGINEER REVISED ELECTRONIC CAD FILES.
- B. THIS CONTRACTOR SHALL PREPARE AND SUBMIT TO THE OWNER'S REPRESENTATIVE FIVE BOUND SETS OF MANUFACTURER'S LITERATURE FOR ALL EQUIPMENT TO BE INSTALLED ON THIS PROJECT SHOWING ALL DETAILS OF EQUIPMENT, REPLACEMENT PART DATA AND MAINTENANCE INSTRUCTIONS.

8. EXCAVATION:

- A. ALL EXCAVATION AND BACKFILL REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK SHALL BE THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LAYOUT AND THE ESTABLISHMENT OF ALL LINES AND LEVELS REQUIRED FOR THE EXECUTION OF THE WORK.
- C. WHEN SERVICES ARE TO BE RUN SIDE-BY-SIDE, A COMMON TRENCH MAY BE USED PROVIDING THE REQUIRED VERTICAL AND HORIZONTAL SEPARATION BETWEEN THE VARIOUS SERVICES ARE MAINTAINED AND PROVIDING THE METHODS OF BEDDING AND BACKFILL MEET THE APPROVAL OF THE ENGINEER. CONTRACTORS INVOLVED SHALL MAKE THEIR OWN AGREEMENT AS TO THE SHARING OF THE COST OF THE COMMON TRENCHING AND BACKFILL WORK.
- D. LOCATE EXISTING UNDERGROUND UTILITIES IN AREAS OF EXCAVATION WORK. SHOULD UNCHARTED, OR INCORRECTLY CHARTED, PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONSULT UTILITY ENGINEER IMMEDIATELY FOR DIRECTIONS. COOPERATE WITH OWNER AND UTILITY COMPANIES IN KEEPING RESPECTIVE SERVICES AND FACILITIES IN OPERATION. REPAIR DAMAGED UTILITIES TO SATISFACTION OF UTILITY OWNER.

9. EXTERIOR AND FOUNDATION WALLS:

- A. ALL PIPING THROUGH EXTERIOR OR FOUNDATION WALLS SHALL PASS THROUGH SCHEDULE 40 GALVANIZED STEEL SLEEVES WHICH SHALL BE LARGE ENOUGH TO ALLOW FOR CAULKING MATERIAL. NO SLEEVES ARE PERMITTED THROUGH CONCRETE STRUCTURAL MEMBERS. ALL SLEEVES SHALL BE COORDINATED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

10. FLOORS:

- A. ALL PIPING THROUGH FLOORS SHALL BE PROVIDED WITH SCHEDULE 40 GALVANIZED STEEL PIPE SLEEVES, EXTENDING 2 INCHES ABOVE FLOOR.

11. CUTTING:

- A. ALL CUTTING OF EXISTING CONCRETE FLOORS/SLABS ON GRADE IN THE INTERIOR OF THE BUILDING SHALL BE PERFORMED BY "SAW CUTTING".

12. PATCHING:

- A. ON CONCRETE, PATCH THE OPENING WITH CONCRETE, FINISHED SMOOTH WITH ADJACENT SURFACES.

13. IDENTIFICATION OF SWITCHES AND APPARATUS:

- A. ALL CABINETS, SAFETY SWITCHES, AND OTHER APPARATUS USED FOR OPERATION AND CONTROL OF CIRCUITS, APPLIANCES, AND EQUIPMENT UNDER THIS CONTRACT SHALL BE PROPERLY IDENTIFIED BY MEANS OF ENGRAVED PLASTIC PLATES BLACK WITH WHITE LETTERS.

14. GROUNDING:

- A. ALL FEEDERS AND BRANCH CIRCUITS SHALL CONTAIN GROUND WIRES.
- B. ALL CONDUCTORS, MOTOR FRAMES, RACEWAYS, CABINETS, ETC., THAT REQUIRE GROUNDING SHALL BE GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE, THOSE OF THE SERVING UTILITY AND LOCAL AUTHORITIES HAVING JURISDICTION.

15. CONDUIT:

- A. ALL ELECTRICAL POWER WIRING, INCLUDING LOW VOLTAGE WIRING, SHALL BE INSTALLED IN CONDUIT AS HEREIN SPECIFIED. NO CONDUIT OR TUBING OF LESS THAN 3/4 INCH NOMINAL SIZE SHALL BE USED.
- B. UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 AS MANUFACTURED BY CARLON OR APPROVED EQUAL. ALL CONDUITS SHALL BE INSTALLED WITH MINIMUM 36" INCH COVER.
- C. CONDUIT INSTALLED ABOVE GROUND EXTERIOR SHALL BE GALVANIZED RIGID STEEL AS MANUFACTURED BY THE ALLIED TUBE AND CONDUIT CORPORATION OR APPROVED EQUAL. CONDUIT SHALL BE SHERARDIZED OR HOT-DIP GALVANIZED INSIDE AND OUTSIDE INCLUDING ENDS AND THREADS AND ENAMELED OR LACQUERED INSIDE IN ADDITION TO GALVANIZING.
- D. WHEN PVC CONDUITS PENETRATE CONCRETE FLOOR CONSTRUCTION, CONTRACTOR SHALL USE RIGID STEEL ELBOWS AND EXTENSION. PVC CONDUIT/FITTINGS SHALL NOT BE PERMITTED TO BE EXPOSED ABOVE THE FLOOR.
- E. THIN WALL TUBING SHALL BE REPUBLIC "ELECTRUNITE E.M.T." OR APPROVED EQUAL. SHALL BE INSTALLED INDOORS.

- F. ALL FITTINGS SHALL BE OF THE COMPRESSION TYPE AND SHALL BE WATERTIGHT.
- G. CONDUIT FOR INTERIOR WIRING, IN GENERAL, SHALL BE THINWALL TUBING UNLESS OTHERWISE NOTED.
- H. RACEWAYS SHALL BE CONTINUOUS FROM OUTLET TO OUTLET AND FITTING TO FITTING. A RUN OF CONDUIT BETWEEN OUTLETS OR FITTINGS SHALL NOT CONTAIN MORE THAN THE EQUIVALENT OF FOUR QUARTER-BENDS INCLUDING THOSE BENDS LOCATED IMMEDIATELY AT THE OUTLET OR FITTING. THE RADIUS OF BENDS SHALL NEVER BE SHORTER THAN THAT OF THE CORRESPONDING TRADE ELBOW. THE SYSTEM SHALL BE COMPLETE WITH OUTLETS, DISTRIBUTION BOXES, ETC., SMOOTH INSIDE AND MECHANICALLY SECURE IN PLACE. APPROVED STRAPS, HANGERS, OR SUPPORTS SHALL BE USED TO SECURE CONDUITS IN PLACE. CONDUITS SHALL, IN GENERAL, BE SUPPORTED AT INTERVALS NOT EXCEEDING 10'-0" AND WITHIN 3'-0" OF EACH OUTLET BOX, JUNCTION BOX, CABINET OR FITTING.
- I. CONDUITS SHALL BE PROTECTED DURING CONSTRUCTION; PLUG AND KEEP CLEAN AND DRY. CONDUIT ENDS SHALL BE BUTTED IN CENTERS OF COUPLINGS. NO CRACKS OR FLATTENED SECTIONS WILL BE PERMITTED AT BENDS OR ELSEWHERE. ALL ENDS OF CONDUIT SHALL BE REAMED TO REMOVE ROUGH EDGES. RUNNING THREADS WILL NOT BE PERMITTED.
- J. CONDUITS SHALL BE CONCEALED WITHIN THE WALLS, CEILINGS, AND FLOORS WHERE POSSIBLE AND UNLESS OTHERWISE NOTED. EXPOSED CONDUIT SHALL BE RUN PARALLEL TO OR AT RIGHT ANGLES WITH THE BUILD-ING LINES.

18. WIRE AND CABLE:

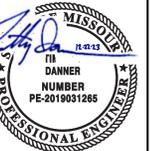
- A. WIRE AND CABLE SHALL BE AMERICAN INSULATED WIRE CORP., GENERAL CABLE CORP., SENATOR WIRE AND CABLE CORP. SOUTH WIRE OR APPROVED EQUAL, OF SIZES AS SHOWN ON THE DRAWINGS OR HEREIN SPECIFIED.
- B. ALL CONDUCTORS SHALL BE COPPER.
- C. NO. 10 AWG AND SMALLER CONDUCTORS SHALL BE SOLID WITH INSULATION AND NO. 8 AWG AND LARGER CONDUCTORS SHALL BE STRANDED WITH TYPE THIN/THWN INSULATION EXCEPT THAT CONDUCTORS WITHIN 3 INCHES OF LIGHT FIXTURE BALLASTS SHALL HAVE RHH, THHN, OR EQUAL INSULATION RATED FOR 90 DEGREES C. APPLICATION.

19. WIRING DEVICES:

- A. WET-LOCATION, WEATHERPOOF COVER PLATES: NEMA 250, COMPLYING WITH TYPE 3R, EXTRA DUTY, RATED "WHILE-IN-USE" WEATHER-RESISTANT, DIE-CAST ALUMINUM WITH LOCKABLE COVER.

olsson

Olsson - Civil Engineering
Missouri Certificate of Authority #001692
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177
www.olsson.com



REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM 1	

SITE LIGHTING SPECIFICATIONS

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET
LEE'S SUMMIT, MO

2023

REVISIONS

drawn by: _____ SH
checked by: _____ TD
approved by: _____ TD
QA/QC by: _____ TD
project no.: 022-00393
drawing no.: E_NDET_02200393
date: 12/22/2023

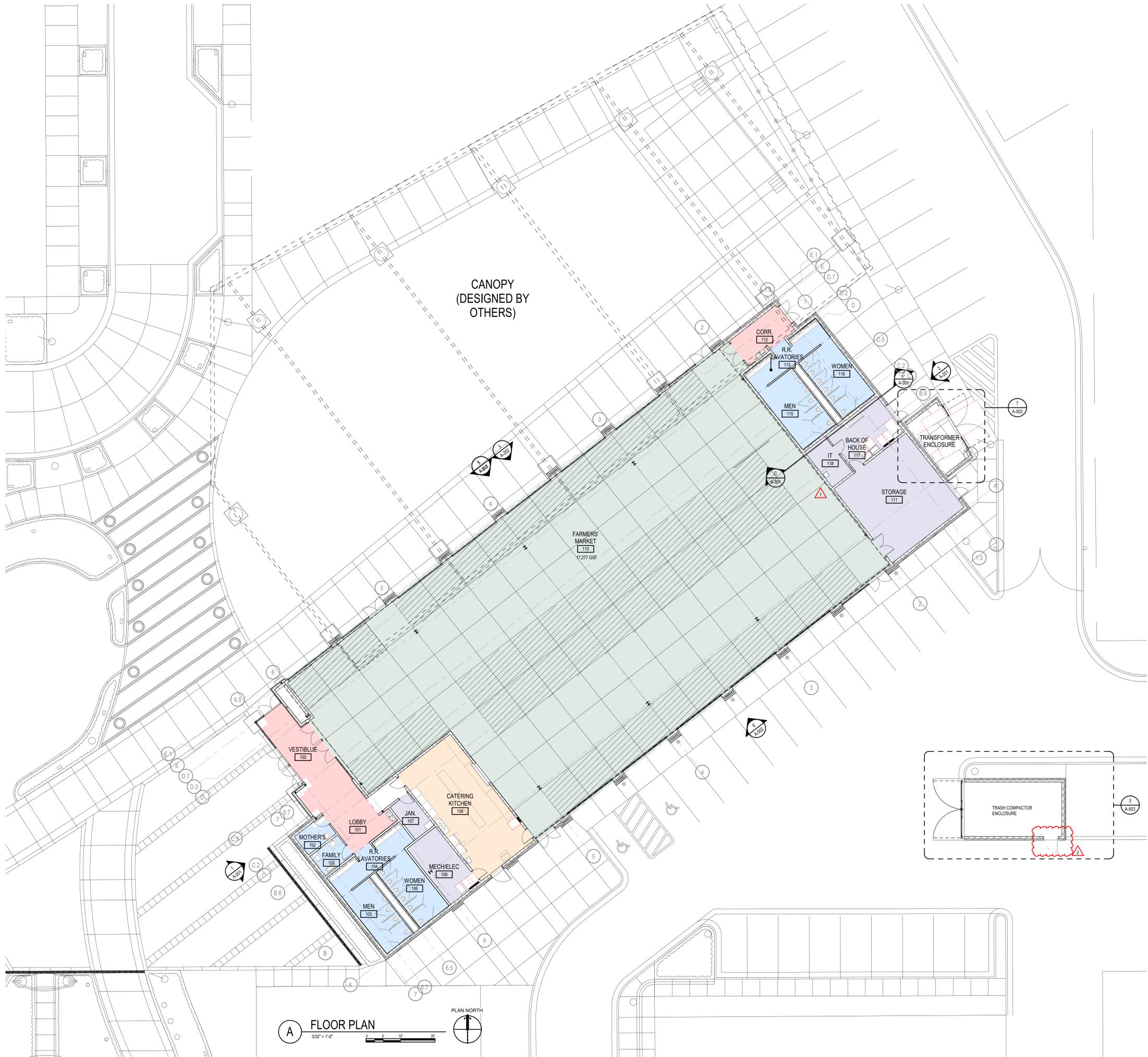
RELEASED FOR CONSTRUCTION
Development Services Department
Lee's Summit, Missouri
01/24/2024

SHEET
E401

CITY OF LEE'S SUMMIT
LEE'S SUMMIT - MARKET PLAZA
 LEE'S SUMMIT, MO

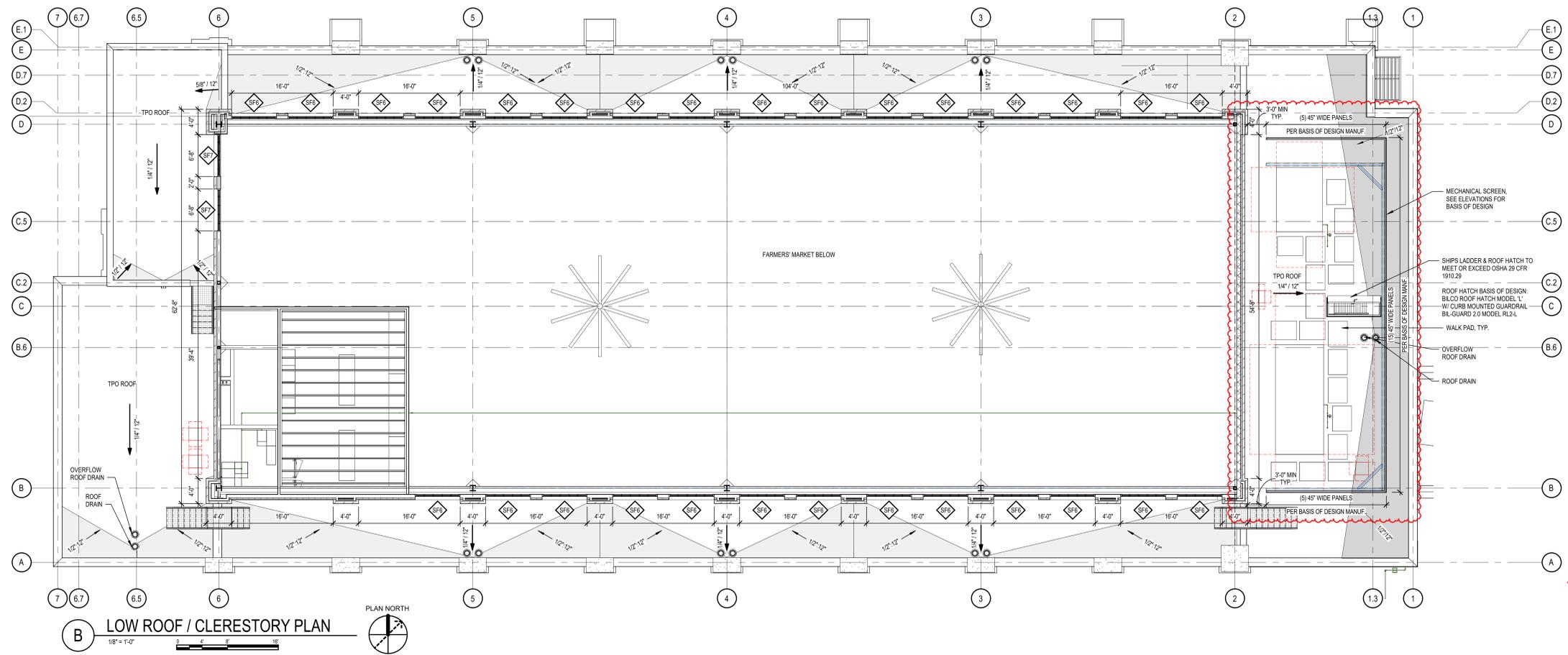
2	ADDENDUM 2	01/11/24
1	ADDENDUM 1	12/22/23
	DESCRIPTION	DATE
PROJECT NO:	1822SR1006	
STATUS:	PERMIT SET	
DATE:	11/01/2023	
DRAWN BY:	B. VINCENT	
CHECKED BY:	C. PRUNTE	

© GLMV Architecture, Inc.
 All work herein is the property of GLMV Architecture, Inc. and is not to be copied or used in any way without the express written consent of GLMV Architecture, Inc.

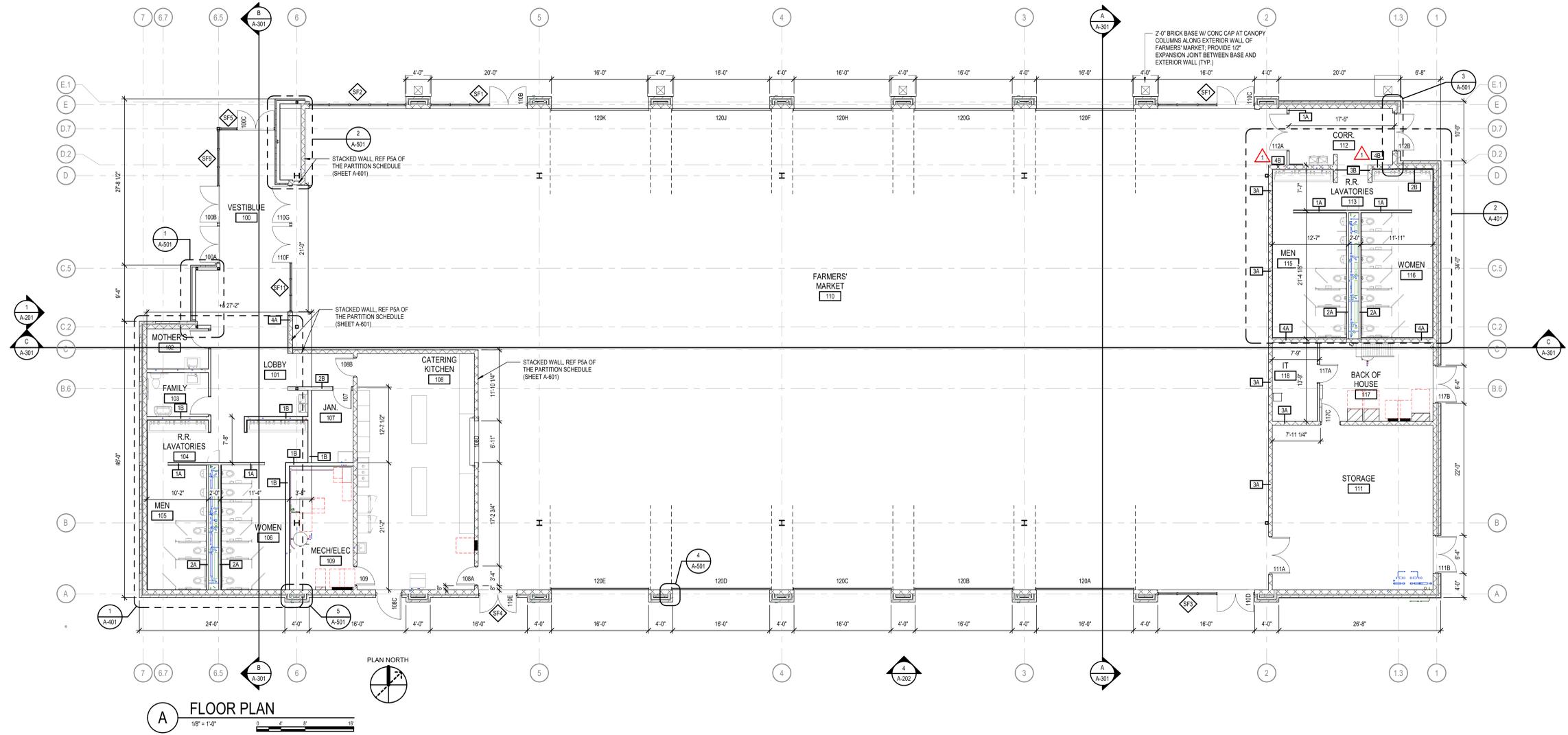


A FLOOR PLAN
 3/32" = 1'-0"
 PLAN NORTH

PLOT DATE: 1/10/2024 2:04:25 PM
 FILE PATH: \\adobe\cadd\cadd\1822SR1006_Lee's Summit Market Plaza_Single Story.rvt



B LOW ROOF / CLERESTORY PLAN
1/8" = 1'-0"



A FLOOR PLAN
1/8" = 1'-0"

CITY OF LEE'S SUMMIT
LEE'S SUMMIT - MARKET PLAZA
LEE'S SUMMIT, MO

2	ADDENDUM 2	01/11/24
1	ADDENDUM 1	12/22/23
1	DESCRIPTION	DATE
PROJECT NO:	1822SR1006	
STATUS:	PERMIT SET	
DATE:	11/01/2023	
DRAWN BY:	B. VINCENT	
CHECKED BY:	C. PRUNETTE	

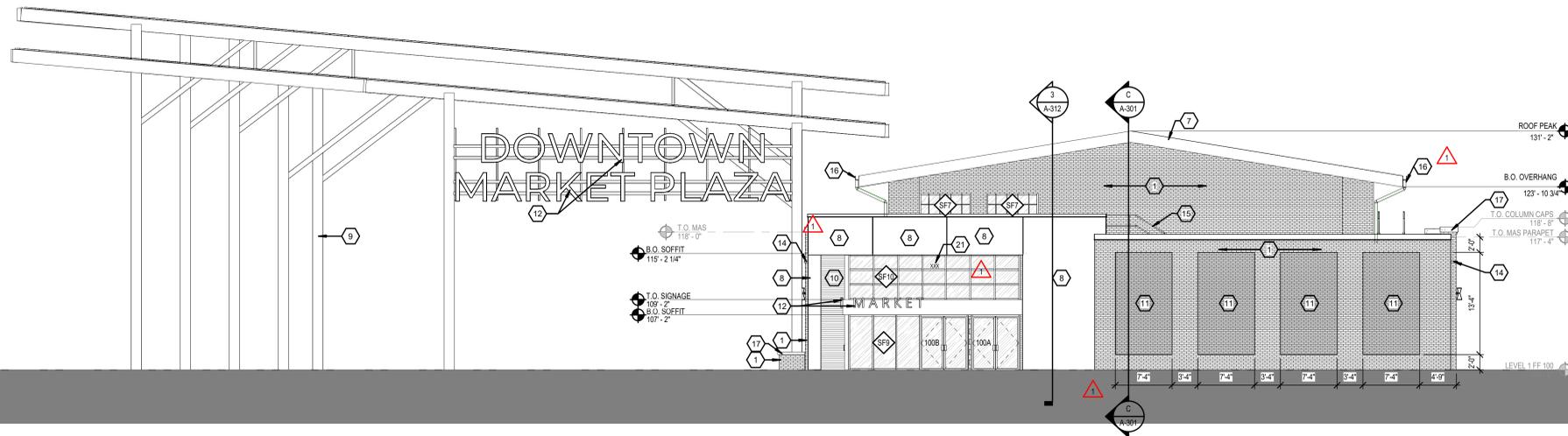
© GLMV Architecture, Inc.
All work herein is the property of GLMV Architecture.
No work is to be copied or used in any way without
the express written consent of GLMV Architecture, Inc.

ARCHITECTURAL
FLOOR PLAN

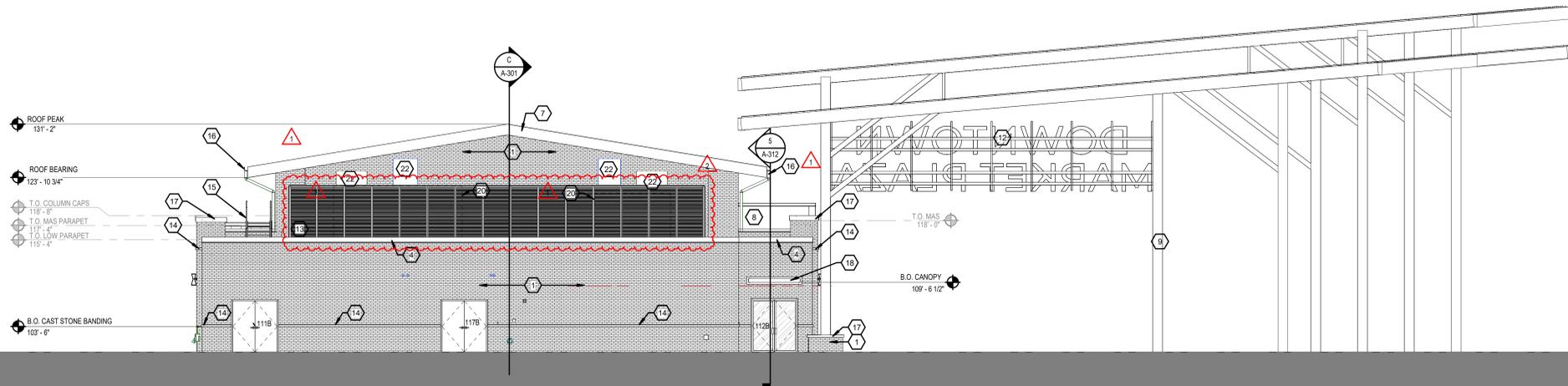
RELEASED FOR CONSTRUCTION
Development Services Department
Lee's Summit, Missouri
91240024

PLOT DATE: 11/02/2023 12:04:27 PM
 FILE PATH: \\admsrv1\caddocs\1762592\1006_Lee's Summit Market Plaza - Single Story.rvt

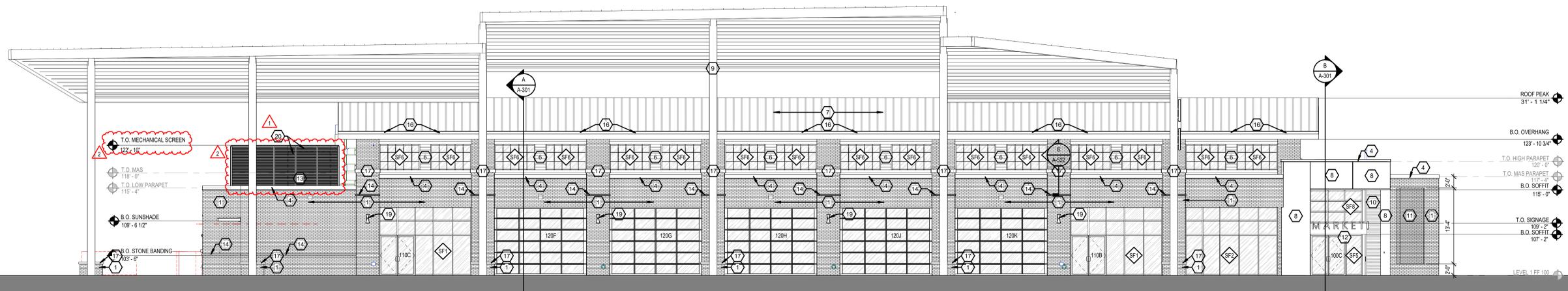
ELEVATION KEYNOTES	
NUMBER	MATERIAL
1	BRICK - MODULAR BERWICK BLEND
2	STOREFRONT SYSTEM - DARK BRONZE
3	STOREFRONT - DARK BRONZE
4	PRE MANUFACTURED CONTINUOUS CLEAT COPING CAP
5	OVERHEAD GARAGE DOOR
6	FIBER CEMENT PANEL - BASIS OF DESIGN NICHHA, RIBBED, INDIGO
8	STANDING SEAM METAL ROOF BACKLIT TRANSPIRENT BASIS OF DESIGN MOZ DESIGNS BACKLIT METAL PANEL (CUSTOM); LASER CUT - SKYLINE PATTERN; CLASSIC ELECTRIC RED FOC
10	PAINTED STEEL - DARK BRONZE
11	EXTRUDED ALUMINUM - LIGHT CHERRY WOOD GRAIN CHANGEABLE ART INSTALLATION - BRICK ACCENT
13	SIGNAGE - INTERNALLY ILLUMINATED CHANNEL LETTERS MECHANICAL SCREEN - BASIS OF DESIGN: CITYSCAPES ENVISSOR PERIMETER WALL; LOUVER; ACRYLIC CAP ABS; STACKED 52" PANELS; 3-SIDED SYSTEM; STACKED PANEL W/3" FLAT BAND; DARK BRONZE
15	CAST STONE BANDING
16	PREFAB STAIR, REF SPECS
17	PREFINISHED 6"x6" MTL GUTTER & 4" DOWNSPOUTS; PROVIDE SPLASH BLOCKS AT BOTTOM OF DOWNSPOUTS
18	CAST STONE COLUMN CAP
19	PREFABRICATED CANOPY
20	EXTERIOR WALL SCONCE, REF ELEC.
21	RTU - REF MECH
22	ADDRESS SIGNAGE - 4" MIN VINYL ARABIC NUMBERS, MIN. STROKE WIDTH OF 0.5"; APPEARANCE AND ADDRESS CONTINGENT ON CITY APPROVAL REQ.
22	MECHANICAL RECTANGULAR DUCT



1 **SOUTHWEST ELEVATION**
1/8" = 1'-0"



2 **NORTHEAST ELEVATION**
1/8" = 1'-0"



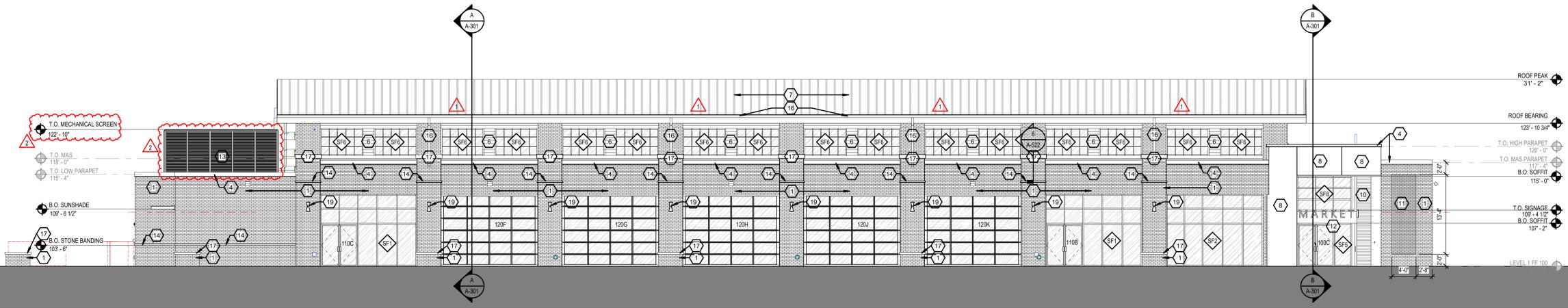
3 **NORTHWEST ELEVATION**
1/8" = 1'-0"

CITY OF LEE'S SUMMIT
LEE'S SUMMIT - MARKET PLAZA
LEE'S SUMMIT, MO

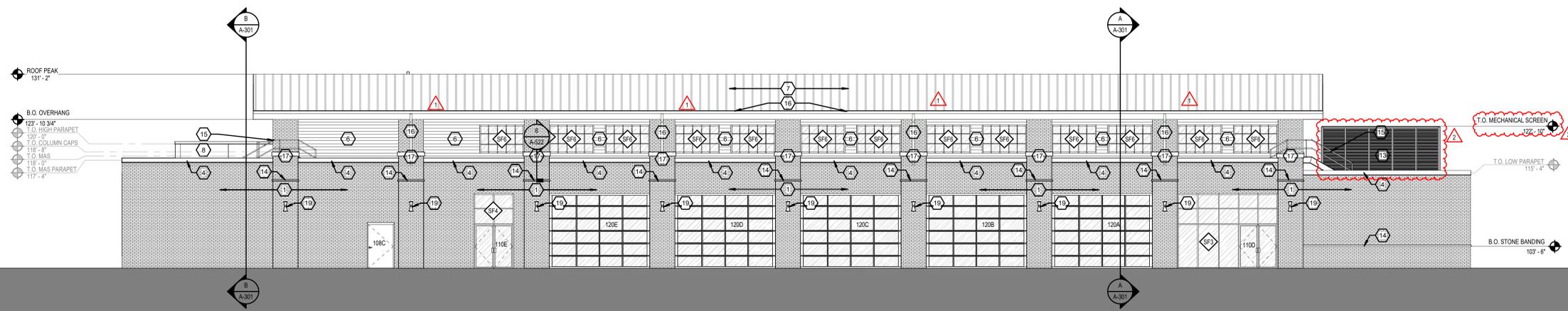
2 ADDENDUM 2 01/11/24
1 ADDENDUM 1 12/22/23
DESCRIPTION DATE
PROJECT NO: 1822SR21006
STATUS: PERMIT SET
DATE: 11/01/2023
DRAWN BY: B.VINCENT
CHECKED BY: C. PRUNTE

RELEASED FOR CONSTRUCTION
Development Services Department
Lee's Summit, Missouri
91503024

EXTERIOR ELEVATIONS



3 NORTHWEST ELEVATION W/O CANOPY
1/8" = 1'-0"



4 SOUTHEAST ELEVATION W/O CANOPY
1/8" = 1'-0"

ELEVATION KEYNOTES	
NUMBER	MATERIAL
1	BRICK - MODULAR BERWICK BLEND
2	STOREFRONT SYSTEM - DARK BRONZE
3	STOREFRONT - DARK BRONZE
4	PRE MANUFACTURED CONTINUOUS CLEAT COPING CAP
5	OVERHEAD GARAGE DOOR
6	FIBER CEMENT PANEL - BASIS OF DESIGN NICHHA; RIBBED; INDIGO
7	STANDING BEAM METAL ROOF
8	BACK LIT RAINTSCREEN - BASIS OF DESIGN MOZ DESIGNS BACKLIT METAL PANEL (CUSTOM) LASER CUT - SKYLINE PATTERN; CLASSIC ELECTRIC RED FOG
9	PANED STEEL - DARK BRONZE
10	EXTRUDED ALUMINUM - LIGHT CHERRY WOOD GRAIN
11	CHANGABLE ART INSTALLATION - BRICK ACCENT
12	SIGNAGE - INTERNALLY ILLUMINATED CHANNEL LETTERS
13	MECHANICAL SCREEN - BASIS OF DESIGN: CITYSCAPES ENVISOR PERIMETER WALL; LOUVER; ACRYLIC CAP ABS; STACKED 8" PANELS, 3-SIDED SYSTEM; STACKED PANEL W/3" FLAT BAND; DARK BRONZE
14	CAST STONE PEGS
15	PREFAB STAIR, REF SPECS
16	PREFINISHED 6"X6" METAL GUTTER & 4" DOWNSPOUTS. PROVIDE SPLASH BLOCKS AT BOTTOM OF DOWNSPOUTS
17	CAST STONE COLUMN CAP
18	PREFABRICATED CANOPY
19	EXTERIOR WALL SIGNAGE, REF ELEC.
20	RTU - REF MECH
21	ADDRESS SIGNAGE - 4" MIN VINYL ARABIC NUMBERS, MIN. STROKE WIDTH OF 0.5". APPEARANCE AND ADDRESS CONTINGENT ON CITY APPROVAL REQ.
22	MECHANICAL RECTANGULAR DUCT

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
01/24/2024

CITY OF LEE'S SUMMIT
LEE'S SUMMIT - MARKET PLAZA
LEE'S SUMMIT, MO

EXTERIOR ELEVATIONS

A-202