BILL NO. 23-222 **ORDINANCE NO. 9811**

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR CHICK-FIL-A LOCATED AT 690 NW BLUE PARKWAY, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2023-221 submitted by Chick-fil-A, Inc. requesting approval of a preliminary development plan in District CP-2 on land located at 690 NW Blue Pkwy was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held public hearings for the consideration of the preliminary development plan on October 26, 2023, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 21, 2023, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved on the following described property:

All of Lot 28, Summit Fair, Lots 28-30, Lee's Summit, Jackson County, Missouri.

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the minimum 20' parking lot setback from right-of-way, to allow a 7.6' parking lot setback from the NW Blue Pkwy right-of-way.
2. Development shall be in accordance with the preliminary development plan uploaded September 22, 2023.

SECTION 3. Development shall be in accordance with the preliminary development plan dated September 12, 2023, appended hereto as Attachment A.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 5th day of December, 2023.

Mayor *William A. Baird*

ATTEST:

City Clerk *Trisha Fowler Arcuri*

APPROVED by the Mayor of said city this 8th day of December, 2023.

Mayor *William A. Baird*

ATTEST:

City Clerk *Trisha Fowler Arcuri*

APPROVED AS TO FORM:

City Attorney *Brian W. Head*

SUMMIT FAIR FSU

STORE #2859

SITE PLAN DOCUMENTS

690 NW BLUE PARKWAY
CITY OF LEE'S SUMMIT
COUNTY OF JACKSON
STATE OF MISSOURI

LEGEND

- PROP. FDC
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. BOX INLET
- EX. BOX INLET
- EX. POWER POLE
- EX. TREE
- EX. LIGHT POLE
- EX. CABLE T.V. LINE
- PROP. ELECTRIC LINE
- EX. ELECTRIC LINE
- PROP. GAS LINE
- EX. GAS LINE
- PROP. TELEPHONE LINE
- EX. TELEPHONE LINE
- PROP. SANITARY SEWER
- PROP. SANITARY LATERAL
- EX. SANITARY SEWER
- PROP. STORM SEWER
- PROP. ROOF DRAIN
- EX. STORM SEWER
- PROP. WATER LINE
- PROP. WATER SERVICE
- EX. WATER LINE
- EX. FENCE
- EX. CURB
- PROP. CURB

UTILITY CONTACTS

PLANNING
CITY OF LEE'S SUMMIT DEPARTMENT OF PLANNING & DEVELOPMENT
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
ROBERT G. MCKAY
816-969-1601
robert.mckay@cityofls.net

ZONING
CITY OF LEE'S SUMMIT DEPARTMENT OF PLANNING & DEVELOPMENT
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
CHRISTINA ALEXANDER
816-969-1607
Christina.alexander@cityofls.net

FIRE DEPARTMENT
CITY OF LEE'S SUMMIT FIRE DEPARTMENT
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
JIM EDEN
816-969-1303
jim.eden@cityofls.net

SANITARY SEWER/WATER SERVICE/STORM DRAINAGE/FLOOD CONTROL
CITY OF LEE'S SUMMIT DEPARTMENT OF PUBLIC WORKS
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
DAVID G. LOHE
816-969-1814
david.lohe@cityofls.net

GAS SERVICE
MISSOURI GAS ENERGY
BOBBIE SAUSSBERRY
816-969-2266
bobbie.saussberry@sug.com

ELECTRIC SERVICE
KCP & L
1300 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
DOUG DAVIN
816-347-4320
doug.davin@kcpl.com

TELEPHONE
AT&T
HOLLY GRUBER
913-383-4853
hg1753@att.com

BENCHMARKS

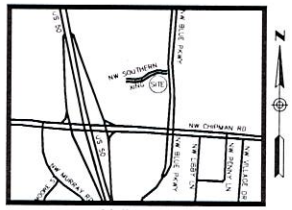
TBM #1 – PK NAIL ELEVATION = 1018.68
TBM #2 – PK NAIL ELEVATION = 1018.19
TBM #3 – PK NAIL ELEVATION = 1018.46

As-built Type	Required Yes	Required No	Horizontal	Vertical	Required before Certificate of Occupancy Yes	Required before Certificate of Occupancy No	Signed and Sealed Survey Required Yes	Signed and Sealed Survey Required No
Sanitary Service	☐	☐	☐	☐	☐	☐	☐	☐
Storm Sewer	☐	☐	☐	☐	☐	☐	☐	☐
Storm Water BMP's	☐	☐	☐	☐	☐	☐	☐	☐
Water Service	☐	☐	☐	☐	☐	☐	☐	☐
Full Site	☐	☐	☐	☐	☐	☐	☐	☐

GENERAL NOTES

1. THE CONSTRUCTION OF THIS PROJECT SHALL BE GOVERNED BY THE MISSOURI DEPARTMENT OF TRANSPORTATION (MODOT) CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITION, THE MODOT STANDARD CONSTRUCTION DRAWINGS, AND THE CITY ENGINEERS AND STANDARD CONSTRUCTION DRAWINGS.
2. ALL DISTURBED GREEN AREAS SHALL BE TOP DRESSED AND RE-SEEDED.
3. CALL MISSOURI ONE CALL, 811, 48 HOURS PRIOR TO CONSTRUCTION.
4. ALL STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) SMOOTH LINED PIPE MEETING AASHTO M294 (UNLESS OTHERWISE STATED), TYPE S MAY BE USED.
5. EARTHWORK AND SITE PREPARATION SHALL BE AS SPECIFIED IN THE SOILS REPORT.
6. ELECTRICAL CONDUIT SHALL BE AS REQUIRED BY THE POWER COMPANY.
7. TELEPHONE CONDUIT SHALL BE AS REQUIRED BY THE PHONE COMPANY.
8. GAS SERVICE SHALL BE AS REQUIRED BY THE GAS COMPANY.
9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IN THE ENGINEERING AND BUILDING DEPARTMENTS.
10. ROOF DRAINS MUST BE CONNECTED DIRECTLY TO THE STORM SEWER.
11. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SILTATION CONTROL MEASURES NECESSARY TO PREVENT SILT FROM LEAVING THE SITE.
12. THE CONTRACTOR IS RESPONSIBLE FOR LEGAL REMOVAL OF DEMOLITION MATERIAL AND DEBRIS.
13. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITION, OR BETTER.
14. ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
15. PRICES BID PER FOOT FOR ALL PIPES IS COMPLETE IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS.
16. TEMPORARY SOIL EROSION AND SEDIMENT CONTROL WILL BE REQUIRED IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT ENGINEERING DEPARTMENT.
17. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY ENGINEER AND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING WORK TO ARRANGE FOR INSPECTION.
18. ALL STORM SEWER RUN DISTANCES ARE FROM CENTERLINE TO CENTERLINE OF MANHOLES OR CATCH BASINS. ALL PIPE INVERT ELEVATIONS GIVEN AT MANHOLES ARE AT CENTERLINE OF MANHOLE. ALL STORM SEWER INLETS AND MANHOLES ARE TO HAVE TOP ELEVATIONS.
19. A 12 INCH. MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
20. A 4 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
21. A 10 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF THE WATER MAIN PIPE TO THE OUTSIDE EDGE OF THE SANITARY SEWER PIPE OR FORCE MAIN PIPE.
22. AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL SANITARY SEWER OR FORCE MAIN PIPE.
23. ALL SANITARY SEWERS SHALL CONSIST OF PVC SDR-35 MEETING ASTM D-3034 WITH JOINTS CONFORMING TO ASTM D-3212 UNLESS OTHERWISE NOTED.

MISSOURI ONE CALL SYSTEM



LOCATION MAP
NOT TO SCALE
LATITUDE N 38°55'38" (38.9272)
LONGITUDE W 94°24'04" (-94.4011)

PREPARED FOR:
APPLICANT/OWNER: CHICK-FIL-A, INC.
5200 BUFFINGTON RD.
ATLANTA, GEORGIA 30349-2998
CONTACT: JOHN ROMANELLO
PHONE: (404) 765-8000
EMAIL: John.Romanello@cfacorp.com

PREPARED BY:

GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0228 Fax 330-836-5782
CONTACT: GARY R. ROUSE, P.E.
EMAIL: grouse@gbcdesign.com

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

FLOOD ZONE DESIGNATION: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO.29095C0417G, WITH A MAP REVISED DATE OF JANUARY 20, 2017, IN CITY OF LEE'S SUMMIT, JACKSON COUNTY IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

LAND DESCRIPTION

LOT 28, MINOR PLAT OF SUMMIT FAIR, LOTS 28, 29 AND 30, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, RECORDED FEBRUARY 9, 2010, AS DOCUMENT NO.2010E0012640, IN PLAT BOOK 131 AT PAGE 66.

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Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0228 Fax 330-836-5782

STATE OF MISSOURI
JAMES R. BURNS
NUMBER PE-2003027200
PROFESSIONAL ENGINEER
9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

REVISION SCHEDULE
NO. DATE DESCRIPTION

GBC PROJECT #	43215A
PRINTED FOR	Permit
DATE	9/23/23
DRAWN BY	BAW

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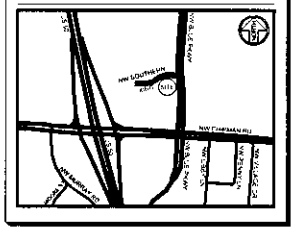
SHEET
TITLE SHEET

Permit

SHEET NUMBER
C-000

LOCATION MAP NTS



CLIENT INFORMATION

GBC DESIGN, INC.
555 WHITE POND DRIVE
AKRON, OH 44320

SITE ADDRESS

690 NW BLUE PKWY.
LEE'S SUMMIT, MO 64086

PARKING COUNT

REGULAR SPACES	84
HANDICAP SPACES	3
TOTAL SPACES	87

SITE UTILITIES

CITY OF LEE'S SUMMIT
(WATER, STORM SEWER)
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
816-969-1800

MISSOURI GAS LINE HOT
(NATURAL GAS)
816-756-5457

KANSAS CITY POWER & LIGHT
(ELECTRICITY)
888-471-5275

AT&T
(TELE PHONE)
800-464-7928

Time Warner
(CABLE TV)
816-358-8831

COMCAST
(CABLE TV)
816-933-3400

PLANNING AND DEVELOPMENT DEPARTMENT
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
816-969-1800

OWNER INFORMATION

THE CHICK-FIL-A INC. PROPERTY
PARCEL 51-100-04-20-00-00-000
RECORDED IN DOC. 2012K0027112
LOT 28 OF THE MINOR PLAT OF SUMMIT FAIR, LOTS 28, 29 AND 30, A SUBDIVISION LOCATED IN SECTION 28, TOWNSHIP 48 NORTH, RANGE 32 WEST, AND RECORDED AS DOCUMENT 2010E0012940, CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

LAND DESCRIPTION:

LOT 28, MINOR PLAT OF SUMMIT FAIR, LOTS 28, 29 AND 30, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI ACCORDING TO THE RECORDED PLAT THEREOF, RECORDED FEBRUARY 8, 2010 AS DOCUMENT NO 2010E0012940, IN PLAT BOOK 151 AT PAGE 88.

BOUNDARY NOTE:

THIS SURVEY IS A REPRESENTATION OF THE CHICK-FIL-A INC PROPERTY (RECORDED IN DOC. 2012K0027112) ALTA/NSPS SURVEY CONDUCTED BY SCHMICK ASSOCIATES, INC. ON FEBRUARY 27, 2012. EASEMENTS SHOWN HEREON ARE TAKEN FROM SAID ALTA/NSPS SURVEY.

A TITLE UPDATE CONDUCTED BY FIDELITY NATIONAL TITLE, WITH A DATE OF MAY 4, 2012, WAS PROVIDED TO THIS SURVEYOR, SPECIFICALLY STATING CONTAINS OIL AND GAS LEASE NEAR COMPANY, IN FAVOR OF KOPEL GREATER MISSOURI OPERATIONS COMPANY, RECORDED ON APRIL 19, 2012 IN BOOK/INSTRUMENT NO. 2012E0081514.

PRELIMINARY, NOT FOR RECORDING OR TRANSFER

YOUNG - HOBBS AND ASSOCIATES
1202 CROSSLAND AVE.
CLARKSVILLE, TN 37040
PHONE 931-645-2524
FAX 931-645-2768

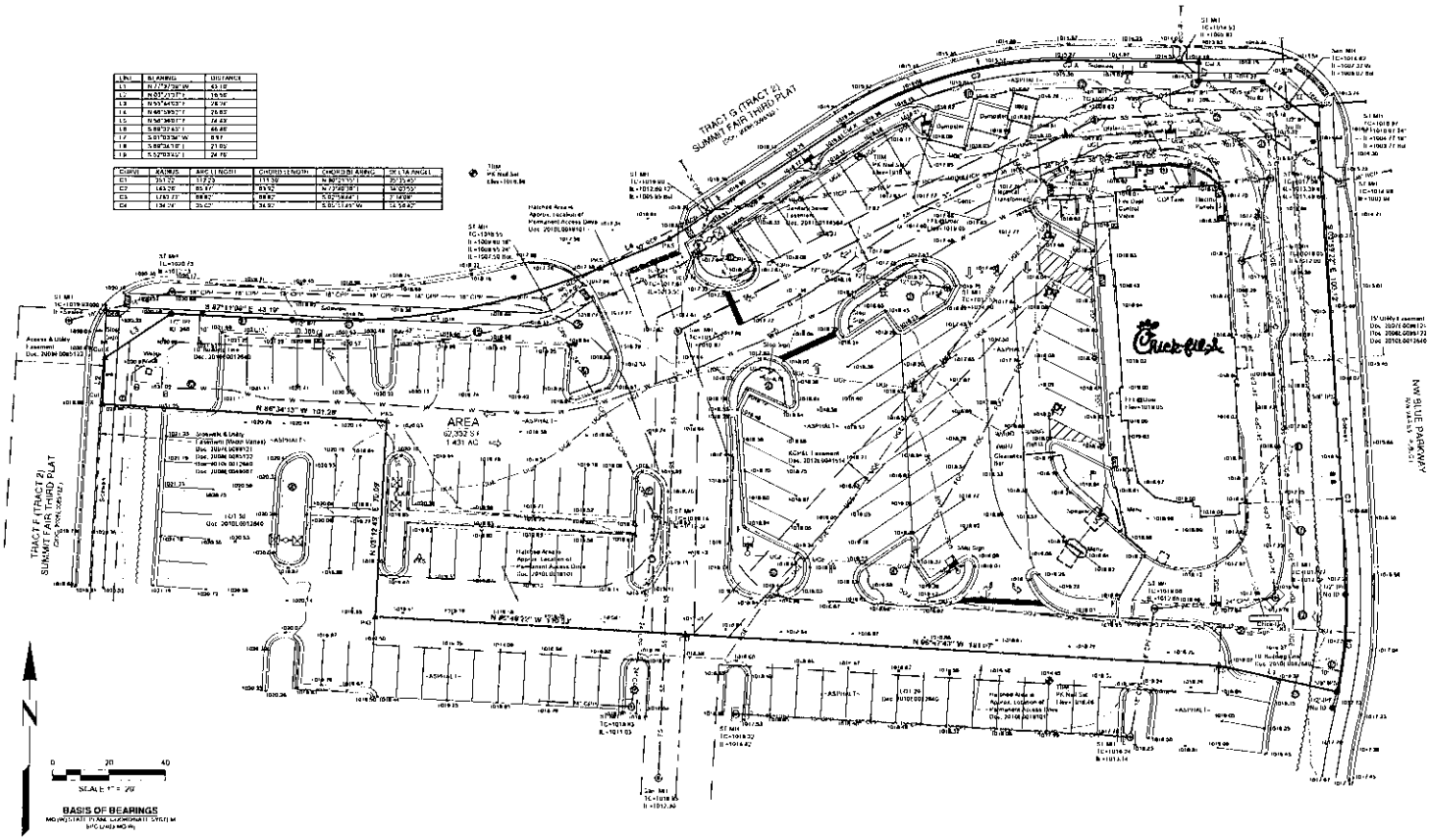
YHA PROJECT #	10320
DATE FIELD	8/1/2012
DATE OFFICE	8/2/12
CHECKED BY	JMH

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
561 White Pond Dr.
Akron, OH 44320-1123
Fax 330-836-5321
Phone 330-836-0028

LINE	BEARING	DISTANCE
L1	N 07°57'58" W	43.18'
L2	N 85°20'37" E	19.56'
L3	N 57°45'57" E	28.16'
L4	N 48°30'57" E	26.82'
L5	N 56°38'17" E	24.49'
L6	S 88°37'43" E	46.48'
L7	S 07°53'36" W	8.91'
L8	S 88°34'15" E	21.95'
L9	S 52°39'51" E	24.78'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	30.00'	31.73'	31.38'	N 38°25'51" E	60°35'40"
C2	163.26'	40.57'	40.52'	N 73°08'18" E	14°23'52"
C3	1,010.73'	88.82'	88.82'	S 82°54'44" E	5°02'48"
C4	134.74'	35.07'	34.97'	S 80°13'41" W	14°54'27"


TRACT G (TRACT 2) SUMMIT FAIR THIRD PLAT
TRACT F (TRACT 2) SUMMIT FAIR THIRD PLAT
NW BLUE PARKWAY
AREA
62,332 SF
1.431 AC
N 88°22'19" W 101.29'
N 88°22'19" W 181.07'
N 01°12'19" E 50.00'
S 88°34'15" W 101.29'
S 88°34'15" W 43.19'
Chick-fil-A
Access & Utility Easement
Doc. 2009K0065122
Sidewalk & Utility Easement (Water Valve)
Doc. 2009K0069121
Doc. 2009K0069122
Doc. 2009K0069123
Doc. 2009K0069124
Doc. 2010E0012940
Doc. 2010E0012940
Doc. 2010E0012940

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

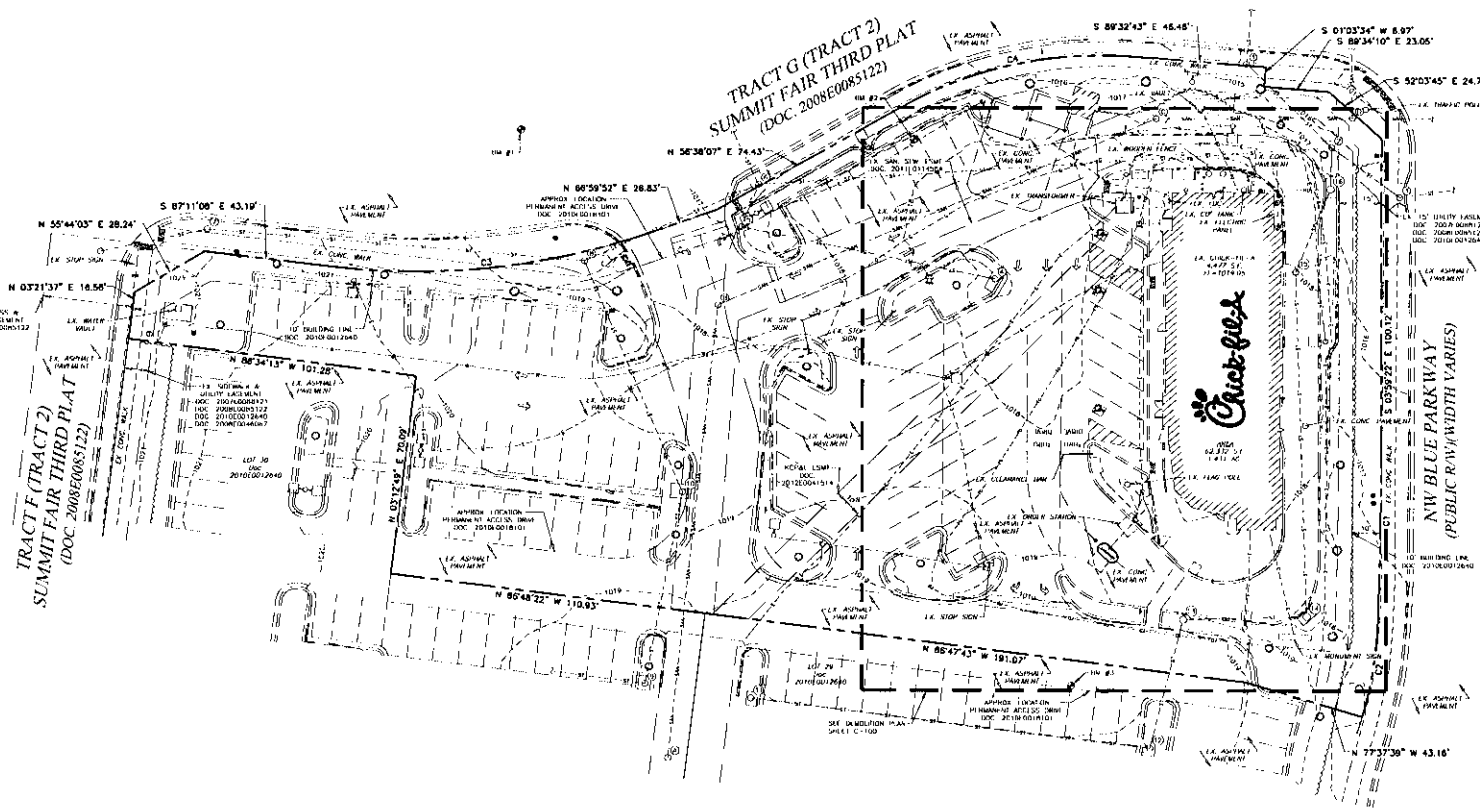
FLOOD ZONE DESIGNATION: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO 29095C0417G, WITH A MAP REVISED DATE OF JANUARY 20, 2017, IN CITY OF LEE'S SUMMIT, JACKSON COUNTY IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THIS PROPERTY IS LOCATED

LEGEND

- EX. FIRE HYDRANT
- EX. VALVE
- EX. MANHOLE
- EX. CATCH BASIN
- EX. BOX INLET
- EX. LIGHT POLE
- EX. DECORATIVE LAMP
- EX. POWER POLE
- EX. TREE
- EX. TELEPHONE LINE
- EX. ELECTRIC LINE
- EX. OVERHEAD WIRE
- EX. GAS LINE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATER LINE
- EX. CURB

N

SCALE: 1" = 20'



EXISTING STORM SEWER STRUCTURE SCHEDULE

1. EX. CURB INLET M.H.
   TOP: 1014.53
   INV: 1010.85, 18" N
   INV: 1010.85, 18" SE
2. EX. STM M.H.
   TOP: 1016.97
   INV: 1004.72, 18" NW
   INV: 1003.72, 36" SW
   INV: 1003.72, 36" W
   INV: 1010.92, 24" S
3. EX. CURB INLET M.H.
   TOP: 1014.98
   INV: 1002.94, 36" NW
   INV: 1002.94, 36" E
4. EX. CATCH BASIN
   TOP: 1017.55
   INV: 1014.40, 12" W
5. EX. CURB INLET M.H.
   TOP: 1017.83
   INV: 1013.31, 12" E
   INV: 1013.31, 12" W
6. EX. CURB INLET M.H.
   TOP: 1015.80
   INV: 1012.00, 12" S
   INV: 1005.80, 18" E
   INV: 1006.13, 24" NW
   INV: 1005.95, 30" SW
7. EX. STM M.H.
   TOP: 1006.73
   INV: 1012.13, 18" W
   INV: 1012.13, 18" E
8. EX. STM M.H.
   TOP: 1016.55
   INV: 1006.90, 18" W
   INV: 1007.50, 30" N
   INV: 1008.90, 24" SE
9. EX. CURB INLET M.H.
   TOP: 1018.83
   INV: 1014.03, 24" W
   INV: 1014.03, 24" N
10. EX. CURB INLET M.H.
    TOP: 1019.14
    INV: 1010.24, 24" S
    INV: 1010.24, 24" NW
11. EX. CATCH BASIN
    TOP: 1018.32
    INV: 1014.42, 15" E
12. EX. CURB INLET M.H.
    TOP: 1015.24
    INV: 1013.14, 15" W
    INV: 1013.14, 18" N
13. EX. CURB INLET M.H.
    TOP: 1019.06
    INV: 1012.06, 18" S
    INV: 1012.06, 24" E
14. EX. CURB INLET M.H.
    TOP: 1017.77
    INV: 1012.12, 24" W
    INV: 1012.12, 24" N
15. EX. STM M.H.
    TOP: 1018.00
    INV: 1012.00, 24" S
    INV: 1012.00, 24" N
16. EX. CURB INLET M.H.
    TOP: 1017.58
    INV: 1011.48, 24" S
    INV: 1011.48, 24" N
    INV: 1013.58, 8" W

EXISTING SANITARY SEWER STRUCTURE SCHEDULE

A. EX. SAN. M.H.
   TOP: 1016.05
   INV: 1012.10, 8" N
B. EX. SAN. M.H.
   TOP: 1017.52
   INV: 1010.07, 8" S
   INV: 1010.07, 8" NE
C. EX. SAN. M.H.
   TOP: 1018.41
   INV: 1006.65, 8" SW
   INV: 1006.65, 8" E
D. EX. SAN. M.H.
   TOP: 1014.82
   INV: 1007.32, 8" W
   INV: 1006.02, 8" S
   INV: 1006.02, 8" N

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1128
Phone 330-836-0228 Fax 330-836-0782

STATE OF MISSOURI
LICENSED PROFESSIONAL ENGINEER
9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

REVISIONS SCHEDULE
NO. DATE DESCRIPTION

GBC PROJECT #: 4321M
PRINTED ON: 9-22-23
DATE: 8/31/23
DRAWN BY: RAW

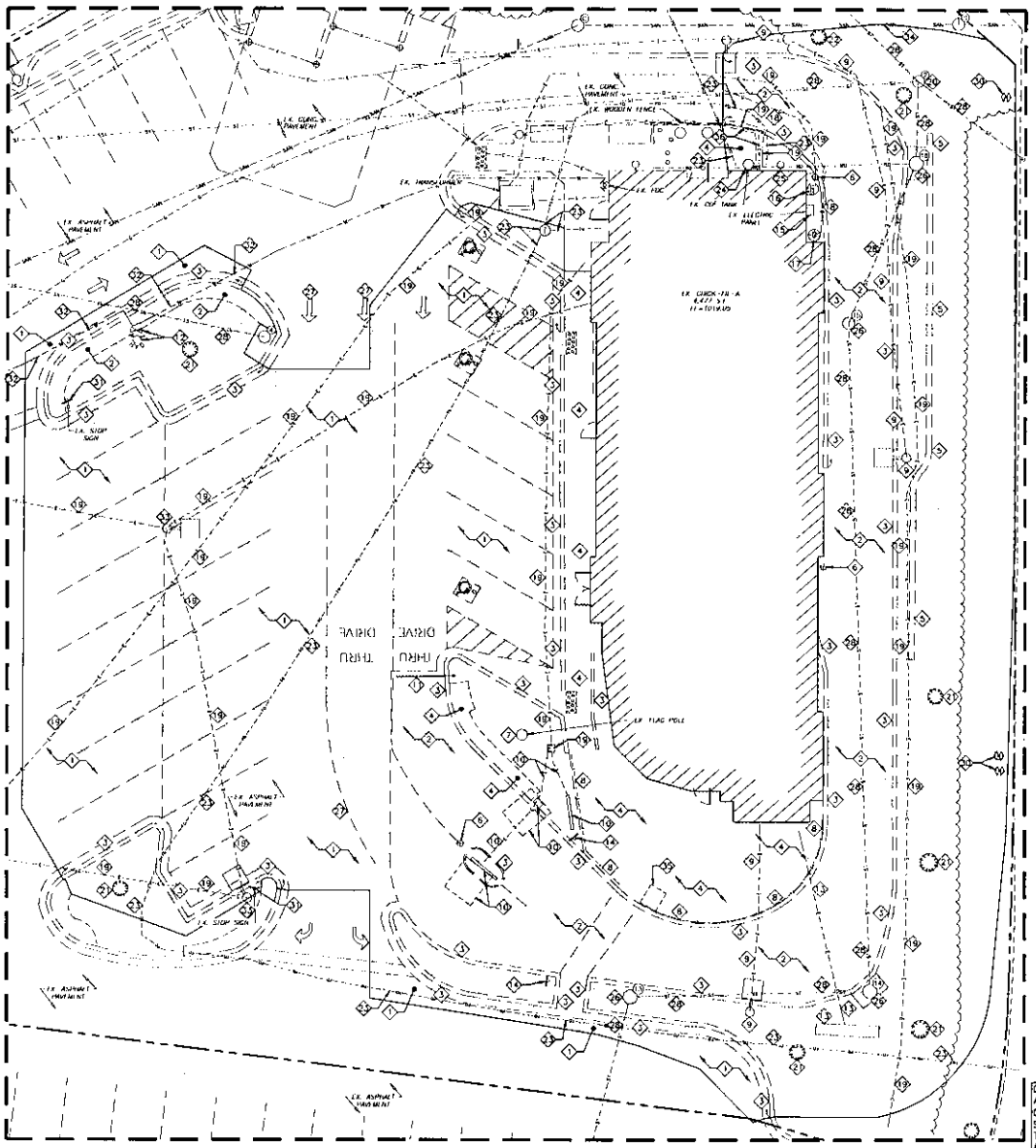
Permit

SHEET: EXISTING CONDITIONS PLAN

SHEET NUMBER: C-100

DEMOLITION NOTES

1. EXISTING ASPHALT PAVEMENT TO BE SAWCUT FULL DEPTH AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
2. EXISTING CONCRETE PAVEMENT TO BE SAWCUT AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
3. EXISTING CONCRETE CURB TO BE SAWCUT AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
4. EXISTING CONCRETE SIDEWALK TO BE SAWCUT AT NEAREST JOINT AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
5. EXISTING WALL TO BE REMOVED
6. EXISTING BOLLARD TO BE REMOVED
7. EXISTING FLAG POLE TO BE REMOVED
8. EXISTING RAILING TO BE REMOVED
9. EXISTING LIGHT POLE & ASSOCIATED UTILITIES TO BE RELOCATED
10. EXISTING ORDER STATION & ASSOCIATED UTILITIES TO BE REMOVED
11. EXISTING CLEARANCE BAR TO BE REMOVED
12. EXISTING HYDRANT ASSEMBLY TO BE RELOCATED
13. EXISTING MONUMENT SIGN & ASSOCIATED UTILITIES TO BE RELOCATED
14. EXISTING SIGN TO BE REMOVED
15. EXISTING UTILITY PANEL TO REMAIN
16. EXISTING ELECTRIC METER TO REMAIN
17. EXISTING GAS METER TO REMAIN
18. EXISTING GAS SERVICE TO REMAIN
19. EXISTING ELECTRIC TO REMAIN
20. EXISTING STORM STRUCTURE TO REMAIN. CONTRACTOR TO ADJUST TO PROPOSED CONDITIONS SHOWN ON SHEETS C-300, C-301, AND C-302
21. EXISTING TREE TO BE REMOVED
22. EXISTING TREE TO REMAIN
23. EXISTING COMMUNICATIONS TO REMAIN
24. EXISTING CO2 TANK TO REMAIN
25. EXISTING DOWNSPOUT TO REMAIN
26. EXISTING STORM STRUCTURE TO REMAIN. CONTRACTOR TO MODIFY CURB INLET TO CATCH BASIN FRAME & GRATE AND ADJUSTED TO PROPOSED CONDITIONS SHOWN ON SHEETS C-300, C-301, AND C-302
27. EXISTING PAINT STRIPING TO BE BLACKED OUT AS NEEDED FOR NEW LAYOUT
28. EXISTING STORM SEWER TO REMAIN
29. EXISTING STORM STRUCTURE TO REMAIN. CONTRACTOR TO REPLACE SOLID MANHOLE COVER WITH HEAVY DUTY OPEN GRATE COVER.
30. EXISTING IRRIGATION TO REMAIN
31. EXISTING SIGN TO REMAIN
32. EXISTING WATER LINE TO REMAIN
33. EXISTING LIGHT POLE TO REMAIN
34. EXISTING SANITARY SEWER TO REMAIN
35. EXISTING CASH STATION TO BE REMOVED
36. EXISTING WOODEN FENCING TO BE REMOVED AND REPLACED



N

SCALE: 1" = 10'

LEGEND

- EX. FIRE HYDRANT
- EX. VALVE
- EX. MANHOLE
- EX. CATCH BASIN
- EX. BOX INLET
- EX. LIGHT POLE
- EX. DECORATIVE LAMP
- EX. POWER POLE
- EX. TREE
- EX. TELEPHONE LINE
- EX. ELECTRIC LINE
- EX. OVERHEAD WIRE
- EX. GAS LINE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATER LINE
- EX. CURB
- EX. UNKNOWN UTILITY
- AREA OF DEMOLITION INCLUDING PAVEMENT REMOVAL, BUILDINGS, CONCRETE, SIGNS, LIGHT POLES, UTILITY SERVICES, FENCES, TREES, ETC.

LIMITS OF DISTURBANCE = 0.50 AC

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

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STATE OF MISSOURI
ALLAN K. WILEY
NUMBER
PROFESSIONAL ENGINEER
9-22-23

CHICK-FIL-A
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CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

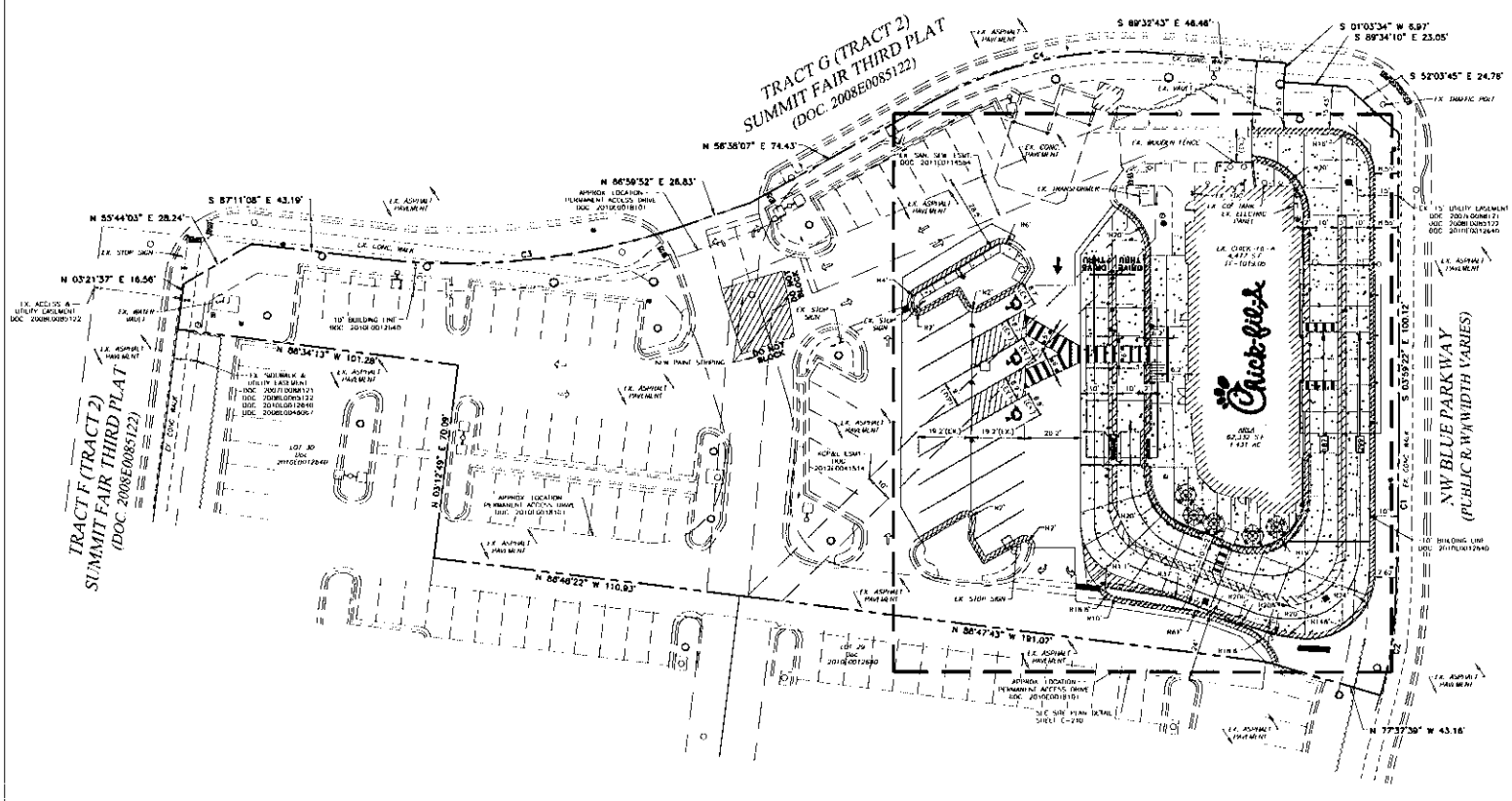
REVISION SCHEDULE
NO. DATE DESCRIPTION

GBC PROJECT # 4221.04
PRINT FILE CON Permit
DATE 09.22.23
DRAWN BY AKW

SHEET DEMOLITION PLAN

Permit

SHEET NUMBER C-110



SCALE: 1" = 20'

LEGEND

- PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. BOX INLET
- EX. LIGHT POLE
- PROP. LIGHT POLE
- PROP. ACCESSIBLE RAMP – RAMP IS NOT TO BE SCORED OR GROOVED
- EX. CURB
- PROP. CURB & GUTTER
- PROP. ASPHALT PAVEMENT
- PROP. CONCRETE PAVEMENT/WALK

TOTAL PARCEL SIZE: 1.4310 AC.

REQUIRED SETBACKS

	BUILDING	LANDSCAPE
FRONT (CUME GARDEN)	15'	0'
LEFT SIDE (ENTRANCE DRIVE)	10'	0'
RIGHT SIDE (NW BLUE PARKWAY)	15'	20'
REAR (NW SOUTHERN WING)	20'	20'

PARKING SUMMARY:

REQUIREMENT: 1 SPACE PER 3 SEATS

TOTAL PARKING SPACES REQUIRED (PROPOSED CONDITIONS):
92 SEATS / 3 = 1 SPACE = 30.7
= 31 SPACES

EXISTING PARKING SPACES PROVIDED:
REGULAR SPACES = 64
ACCESSIBLE SPACES = 3
TOTAL = 67

PROPOSED PARKING SPACES PROVIDED:
REGULAR SPACES = 56
ACCESSIBLE SPACES = 3
TOTAL = 59

EXISTING AREA TABULATION

IMPERVIOUS AREA
BUILDINGS = 4,477 S.F.
ASPHALT PAVEMENT = 31,620 S.F.
CONCRETE PAVEMENT = 13,240 S.F.
SUBTOTAL = 49,337 S.F. (79.15%)

PERVIOUS AREA
LANDSCAPE/PLANTING = 12,995 S.F. (20.85%)

TOTAL AREA = 62,332 S.F. (1.43 AC.)

NEW DEVELOPMENT AREA TABULATION

IMPERVIOUS AREA
BUILDINGS = 4,477 S.F.
ASPHALT PAVEMENT = 28,871 S.F.
CONCRETE PAVEMENT = 19,015 S.F.
SUBTOTAL = 52,363 S.F. (84.01%)

PERVIOUS AREA
LANDSCAPE/PLANTING = 9,969 S.F. (15.99%)

TOTAL AREA = 62,332 S.F. (1.43 AC.)

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	66.82'	1763.77'	2°14'08"	34.41'	66.80'	S 02°38'44" E
C2	35.02'	134.24'	14°56'43"	17.61'	34.92'	S 05°11'45" W
C3	142.23'	251.22'	25°35'45"	57.07'	141.00'	N 80°21'15" E
C4	89.17'	1412.16'	3°40'15"	44.58'	89.02'	N 77°40'38" E

FLOOD ZONE DESIGNATION: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO 29095C0341G, WITH A MAP REVISED DATE OF JANUARY 20, 2017, IN CITY OF LEE'S SUMMIT, JACKSON COUNTY, IN THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

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STATE OF MISSOURI
ALLAN R. WILEY
NUMBER PE-2001020184
PROFESSIONAL ENGINEER
9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

REVISION SCHEDULE
NO. DATE DESCRIPTION

GBC PROJECT # 49215A
DRAWN BY Author
DATE 09/23/23
LICENSED BY DATE

Permit

SHEET
SITE PLAN

SHEET NUMBER
C-200

NOTE: FOR CONCRETE PAVEMENT CONSTRUCTION – SEE JOINTING DETAILS 9, 10, 11, & 12 ON SHEET C-402

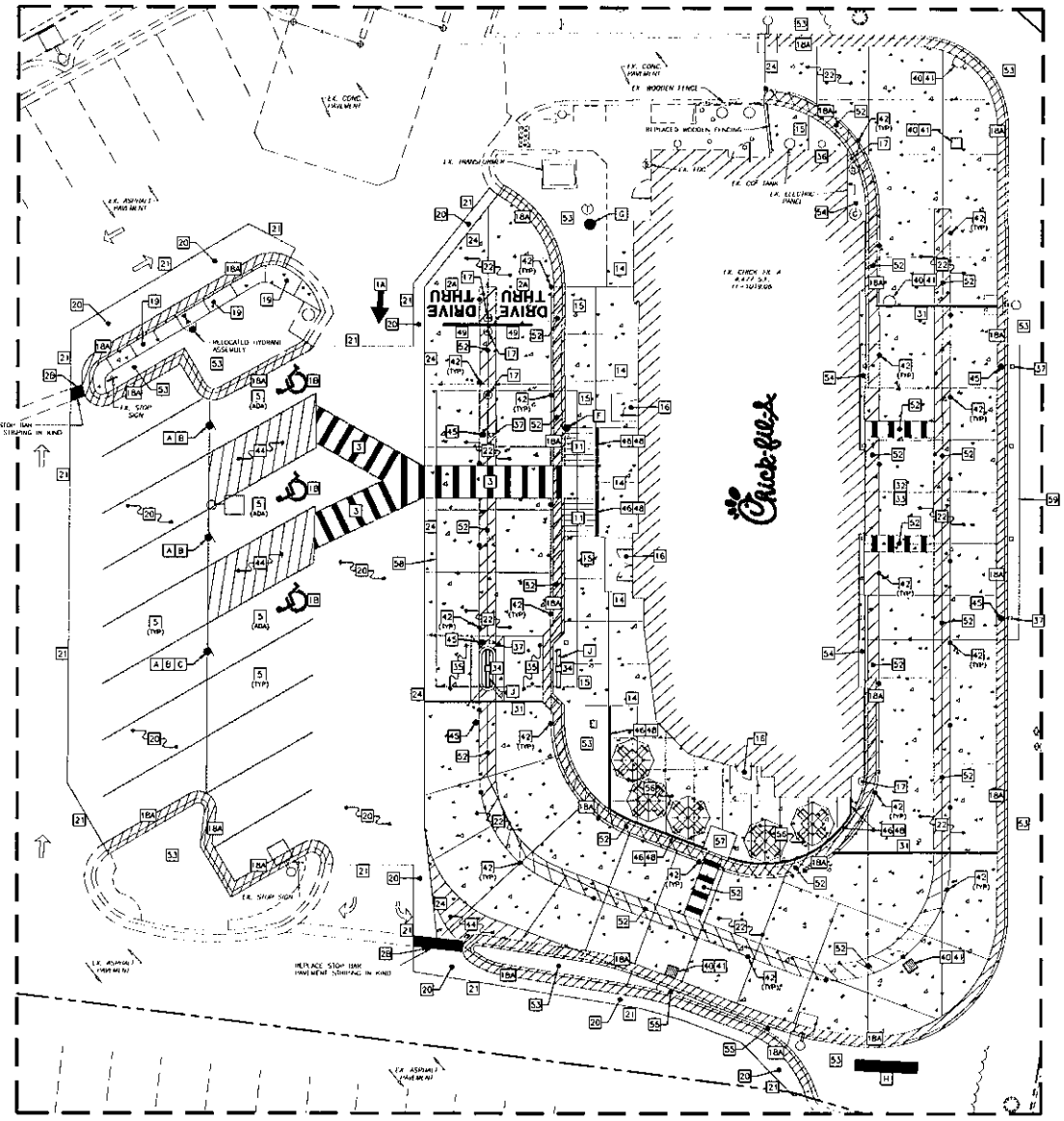
SITE PLAN DESIGN NOTES & KEY PLAN

1A	PAINTED DIRECTIONAL ARROW	DETAIL 1A/C-400
1B	PAINTED ACCESSIBILITY PARKING SYMBOL	DETAIL 1B/C-400
2A	PAINTED DRIVE-THRU GRAPHIC	DETAIL 2A/C-400
2B	PAINTED STOP BAR GRAPHIC	DETAIL 2B/C-400
3	CROSSWALK MARKING	DETAIL 3/C-400
4	MULTI-LANE ORIENTATION GRAPHICS	DETAIL 4/C-400
5	STANDARD OR ACCESSIBLE PARKING STALL PER CODE	DETAIL 5/C-400
6	NON-FLASHING WHITE LIGHT	DETAIL 6/C-400
7	TEN FEET WIDE FIELD	DETAIL 7/C-400
8	CURB RAMP W/ HIGH HAND & SIDES (RAISED AREAS)	DETAIL 8/C-400
9	CURB RAMP W/ FLARED SIDES (ON SIDEWALK)	DETAIL 9/C-400
10	RETURNED CURB ACCESSIBLE RAMP	DETAIL 10/C-400
11	SIDEWALK ACCESSIBLE RAMP	DETAIL 1/C-401
12	DETECTABLE WARNING DETAIL	DETAIL 2/C-401
13	FINICAL ADA RAMP W/ HANDRAIL	DETAIL 3/C-401
14	CONCRETE SIDEWALK	DETAIL 4/C-401
15	CONCRETE SIDEWALK W/ CURB & GUTTER	DETAIL 5/C-401
16	ENTRY DOOR FROST SLAB DETAIL	DETAIL 6/C-401
17	CONCRETE BOLLARD	DETAIL 7/C-401
18	CONCRETE CURB & GUTTER	DETAIL 8/C-401
18A	SPALLING CURB & GUTTER	
18B	CATCHING CURB & GUTTER	
18C	DEPRESSED SPALLING CURB & GUTTER	
18D	DEPRESSED CATCHING CURB & GUTTER	
18E	SPALLING GUTTER SECTION AT ACCESSIBLE RAMP	
18F	CATCHING GUTTER SECTION AT ACCESSIBLE RAMP	
18G	MOUNTABLE CURB & GUTTER	
19	LANDSCAPE & IRRIGATION PROTECTOR	DETAIL 9/C-401
20	TYPICAL HMAC PAVEMENT SECTION	DETAIL 1/C-402
21	BUTT JOINT	DETAIL 2/C-402
22	CONCRETE PAVEMENT DRIVE-THRU LANE	DETAIL 3/C-402
23	CONCRETE APRON AT HEAVY ENCLOSURE	DETAIL 4/C-402
24	PAVEMENT EDGE DETAIL (START AND END OF DRIVE-THRU LANES)	DETAIL 5/C-402
25	CONCRETE PAVEMENT SECTIONS	DETAIL 6/C-402
26	THICKENED LONGITUDINAL CONTRACTION JOINT	DETAIL 7/C-402
27	THICKENED LONGITUDINAL HINGED CONSTRUCTION JOINT	DETAIL 8/C-402
28	CONTRACTION JOINT	DETAIL 9/C-402
29	KEYED CONSTRUCTION JOINT	DETAIL 10/C-402
30	LONGITUDINAL BUTT JOINT	DETAIL 11/C-402
31	EXPANSION JOINT	DETAIL 12/C-402
32	DRIVE-THRU PLAN – FLUSH WITH FFE	DETAIL 1/C-403
33	DRIVE-THRU ISOMETRIC	DETAIL 2/C-403
34	DRIVE-THRU ORDER POINT ISLAND	DETAIL 3/C-403
35	MENU BOARD LOOP DETECTION SYSTEM	DETAIL 4/C-403
36	BUILDING DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM)	DETAIL 5/C-403
37	CANOPY DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM)	DETAIL 6/C-403
38	SCHEDULED MULTI USE ENCLOSURE (REFER TO ARCH PLANS FOR ADDITIONAL DETAILS)	DETAIL 1/C-403
39	CLEAN-OUT (OUTSIDE OF BUILDING)	DETAIL 8/C-403
40	THICKENED PAVEMENT @ STRUCTURES	DETAIL 9/C-403
41	STORM STRUCTURE WEEP HOLE DETAILS	DETAIL 10/C-403
42	YELLOW SAFETY POST	DETAIL 1/C-404
43	BIKE RACK	DETAIL 2/C-404
44	PAVEMENT STRIPING AREA	DETAIL 3/C-404
45	STORM SEWER CLEANOUT	DETAIL 4/C-404
46	THICKENED SLAB EDGE AT RAILING CORE-DRILLS	DETAIL 5/C-404
47	CONCRETE FLUME	DETAIL 6/C-404
48	ALUMINUM HANDRAIL (REFER TO ARCH PLANS)	
49	DRIVE-THRU CLEARANCE BAR (REFER TO SIGNAGE PACKAGE)	
50	UNLOAD TRAY	
51	TRANSFORMER	
52	STRIPING PER CHICK-FIL-A DUAL FLEX LANE REQUIREMENTS	
53	LANDSCAPED AREA	
54	4" THICK CONCRETE STRIP BETWEEN BUILDING & BACK OF CURB	
55	4" THICK CONCRETE STRIP BETWEEN CURBS	
56	TYPICAL LOCATION FOR OUTDOOR TABLES (REFER TO ARCH PLANS)	
57	CONCRETE PAD FOR OPTIONAL CASH STATION	
58	FREE-STANDING ORDER POINT CANOPY	
59	FREE-STANDING OUTSIDE MEAL DELIVERY CANOPY	

SIGN LEGEND

** CONTRACTOR TO REFER TO THE SIGNAGE PACKAGE FOR PLACEMENT AND SPECIFICATIONS OF ALL SIGNS **

A	ACCESSIBLE PARKING SIGN (SEE SIGNAGE PACKAGE) #7-B, 12"x18" (TYP.)
B	ACCESSIBLE PARKING FINE SIGN (SEE SIGNAGE PACKAGE) 6"x12" (TYP.)
C	"VAN ACCESSIBLE" SIGN (SEE SIGNAGE PACKAGE) #7-BF, 6"x12" (TYP.)
D	"DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE) R5-1; 24"x24" (TYP.)
E	STOP SIGN (SEE SIGNAGE PACKAGE) R1-1; 30"x30" (TYP.)
F	DFA PEDESTRIAN CROSSING SIGN (SEE SIGNAGE PACKAGE)
G	RELOCATED FLAG POLE
H	RELOCATED DFA MONUMENT SIGN
J	DIGITAL DRIVE-THRU MENU BOARDS



SCALE 1" = 10'

LEGEND

- PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. BOX INLET
- EX. LIGHT POLE
- PROP. LIGHT POLE
- PROP. ACCESSIBLE RAMP – RAMP IS NOT TO BE SCORED OR GROOVED
- EX. CURB
- PROP. CURB & GUTTER
- PROP. ASPHALT PAVEMENT
- PROP. CONCRETE PAVEMENT/WALK

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

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STATE OF OHIO
ALLAN R. WILEY
E-34080
REGISTERED
PROFESSIONAL ENGINEER
9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

REVISION SCHEDULE
NO. DATE DESCRIPTION

DIRECTORY CT #: 42315A
PRINTED FOR: Permit
DATE: 9/20/23
DRAWN BY: GMW

SHEET
SITE PLAN DETAIL

Permit

SHEET NUMBER
C-210

GRADING & UTILITY NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. ALL PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO: GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
4. DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
5. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS, AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
7. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
8. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
9. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT, ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
10. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
11. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
12. PAVEMENT SHALL BE SAW-CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
13. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
14. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE ALONG ALL PLANADS, GUTTERS, AND CURBS; 1.00% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
15. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
16. IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
17. CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
18. CONDITION OF EXISTING UNDERGROUND STORAGE TO BE DETERMINED PRIOR TO START OF CONSTRUCTION. AS DETERMINED BY INSPECTION OF EXISTING SYSTEM CLEANING MAY BE REQUIRED PRIOR TO START OF CONSTRUCTION. REPORT CONDITION TO PROJECT ENGINEER IN ADDITION TO MODIFICATION TO OUTLET PIPE OTHER ADJUSTMENTS TO SYSTEM MAY BE REQUIRED BASED ON CONDITION OF SYSTEM.

LEGEND

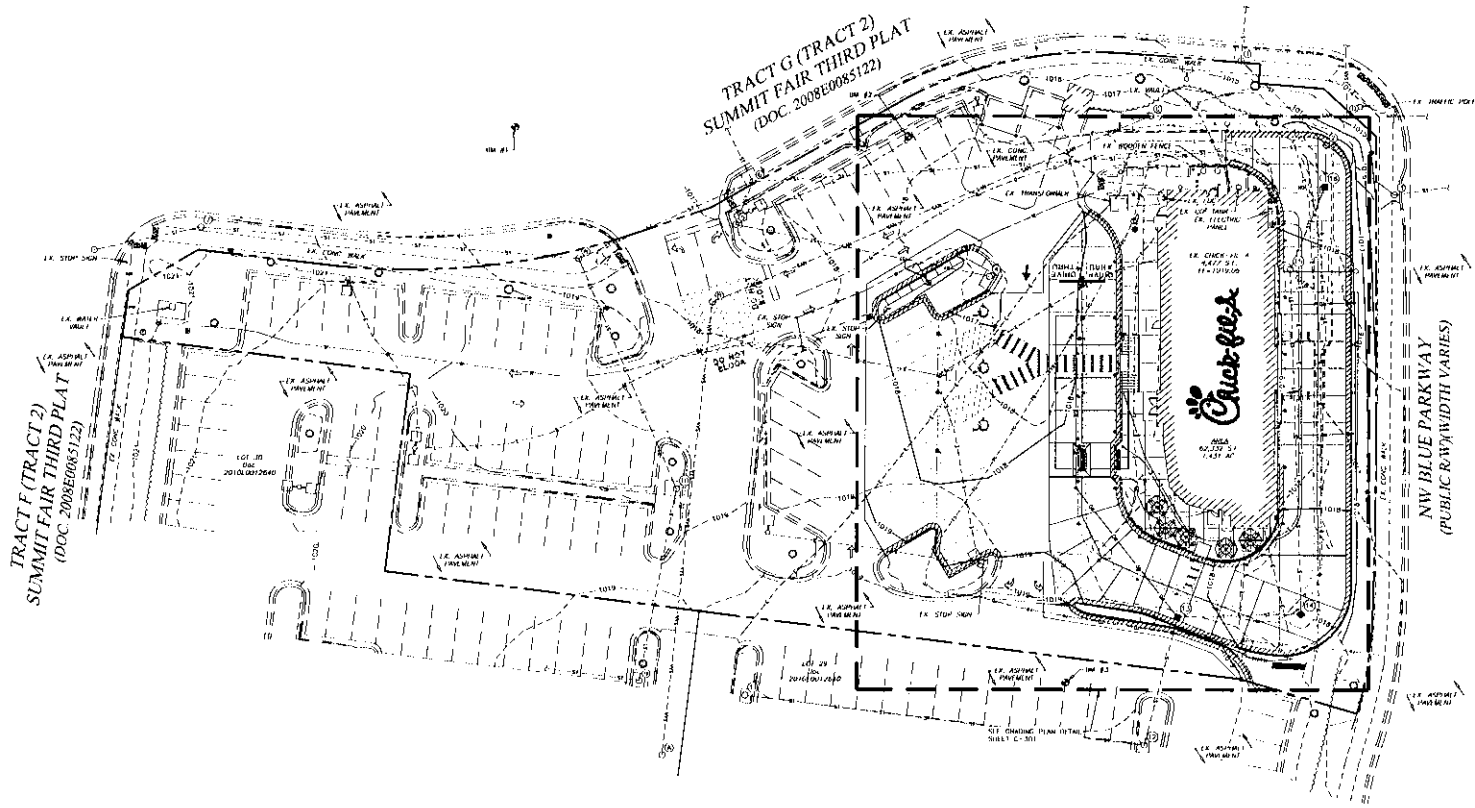
- PROP. FDC
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. INLET
- 1000.00 — EX. GRADE
- 100.00 / 99.00 — PROP. TOP OF CURB ELEV. / PROP. BOTTOM OF CURB ELEV.
- 99.00 — PROP. FINISHED ELEVATION
- 100.00 / 99.00 — PROP. TOP OF WALL ELEV. / PROP. BOTTOM OF WALL ELEV.
- POSITIVE DRAINAGE
- EX. STORM SEWER
- PROP. STORM SEWER
- EX. CURB
- PROP. CURB & GUTTER
- PROP. CONTOURS
- 1000 — EX. CONTOURS
- 1000.00 (MEL) — MEET EXISTING ELEVATION

N

SCALE: 1" = 20'

EXISTING STORM SEWER STRUCTURE SCHEDULE

1. EX. CURB INLET M.H.
   TOP: 1014.25
   INV: 1009.83, 18" N
   INV: 1009.83, 18" SE
2. EX. STM. M.H.
   TOP: 1016.97 (EX.)
   TOP: 1011.00 (PROP.)
   INV: 1004.72, 18" NW
   INV: 1003.72, 36" SE
   INV: 1003.72, 36" W
   INV: 1016.97, 24" S
3. EX. CURB INLET M.H.
   TOP: 1014.99
   INV: 1002.94, 30" NW
   INV: 1002.94, 30" E
4. EX. CATCH BASIN
   TOP: 1017.55
   INV: 1014.40, 12" W
5. EX. CURB INLET M.H.
   TOP: 1017.67
   INV: 1013.51, 12" S
   INV: 1013.51, 12" N
6. EX. CURB INLET M.H.
   TOP: 1016.80
   INV: 1012.80, 12" S
   INV: 1008.95, 36" E
   INV: 1008.95, 24" NW
   INV: 1008.95, 30" SW
7. EX. STM. M.H.
   TOP: 1020.13
   INV: 1012.13, 18" W
   INV: 1012.13, 18" E
8. EX. STM. M.H.
   TOP: 1010.55
   INV: 1009.85, 18" W
   INV: 1002.95, 30" NE
   INV: 1009.95, 24" SW
9. EX. CURB INLET M.H.
   TOP: 1018.83
   INV: 1013.03, 24" W
   INV: 1013.03, 24" N
10. EX. CURB INLET M.H.
    TOP: 1015.14
    INV: 1010.24, 24" S
    INV: 1010.24, 24" NW
11. EX. CATCH BASIN
    TOP: 1018.55
    INV: 1014.40, 15" E
12. EX. CURB INLET M.H.
    TOP: 1018.24
    INV: 1013.14, 18" W
    INV: 1013.14, 18" N
13. EX. CURB INLET M.H.
    PROP. CATCH BASIN
    TOP: 1019.09 (EX.)
    TOP: 1019.30 (PROP.)
    INV: 1012.65, 18" S
    INV: 1012.65, 24" E
14. EX. CURB INLET M.H.
    PROP. CATCH BASIN
    TOP: 1017.77 (EX.)
    TOP: 1017.96 (PROP.)
    INV: 1012.32, 24" W
    INV: 1012.32, 24" N
15. EX. STM. M.H.
    TOP: 1018.05 (EX.)
    TOP: 1018.46 (PROP.)
    INV: 1012.06, 24" S
    INV: 1012.06, 24" N
16. EX. CURB INLET M.H.
    PROP. CATCH BASIN
    TOP: 1017.58 (EX.)
    TOP: 1017.39 (PROP.)
    INV: 1011.48, 24" S
    INV: 1011.48, 24" N
    INV: 1013.16, 6" W



FLOOD ZONE DESIGNATION: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATION OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP (FIRM) DIGITAL, WITH A MAP REVISED DATE OF JANUARY 20, 2017 IN CITY OF LEE'S SUMMIT, JACKSON COUNTY, MO. THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
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STATE OF MISSOURI
ALLAN R. WILEY
NUMBER E-24000
REGISTERED PROFESSIONAL ENGINEER
9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

GBC PROJECT # 43215A
DRAWN BY: [illegible]
CHECKED BY: [illegible]
DATE 9/23/23
DRAWN BY SAW

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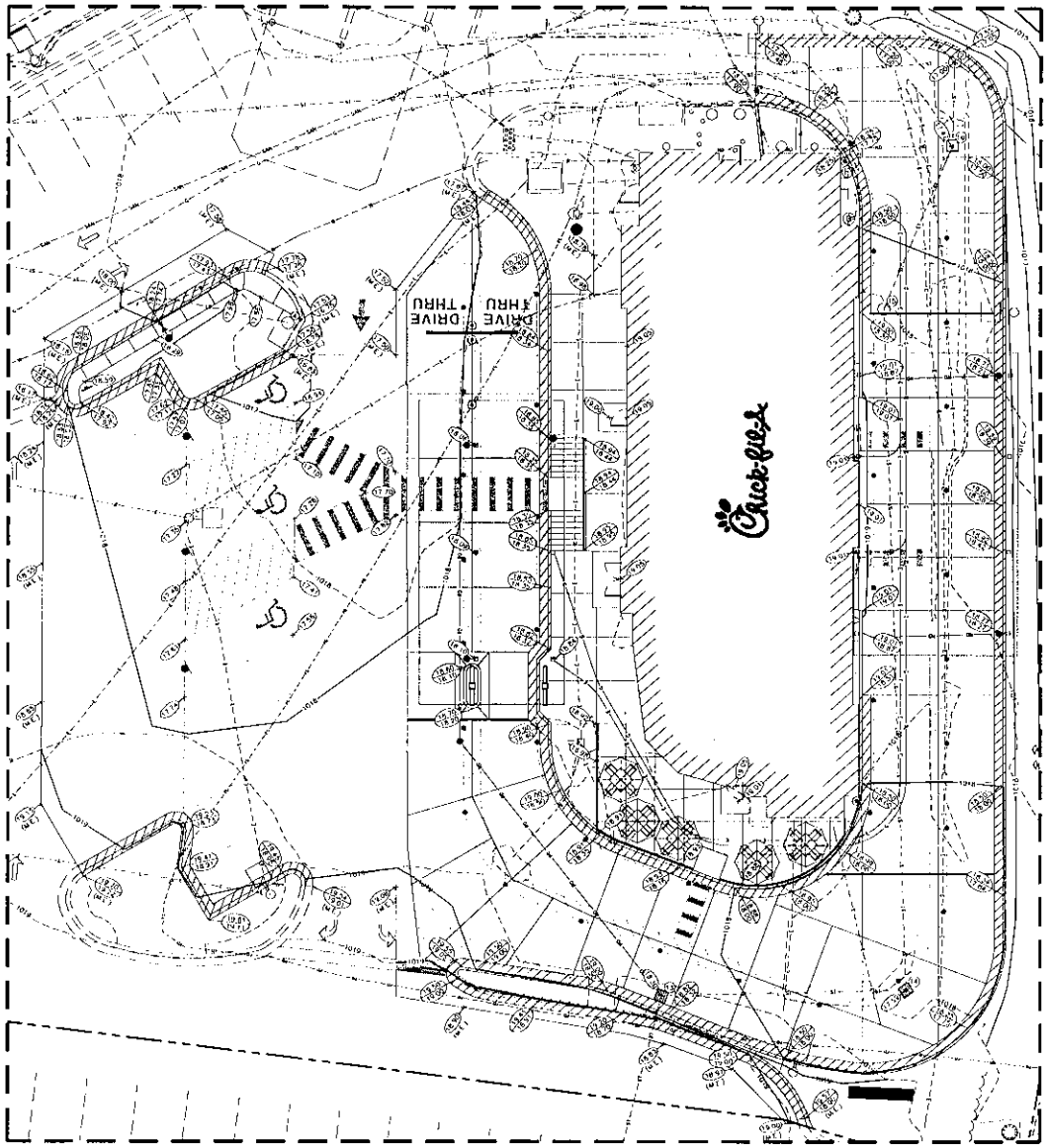
SHEET
GRADING PLAN

Permit

SHEET NUMBER
C-300



N

SCALE: 1" = 10'

LEGEND

	PROP. FDC
	EX. FIRE HYDRANT
	PROP. VALVE
	EX. VALVE
	PROP. MANHOLE
	EX. MANHOLE
	PROP. INLET
	EX. INLET
1000.00	EX. GRADE
100.00 / 99.00	PROP. TOP OF CURB ELEV. / PROP. BOTTOM OF CURB ELEV.
100.00	PROP. FINISHED ELEVATION
100.00 / 100.00	PROP. TOP OF WALL ELEV. / PROP. BOTTOM OF WALL ELEV.
	POSITIVE DRAINAGE
51	EX. STORM SEWER
51	PROP. STORM SEWER
	EX. CURB
	PROP. CURB & GUTTER
980	PROP. CONTOURS
980	EX. CONTOURS
(MET.)	MEET EXISTING ELEVATION

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

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STATE OF MISSOURI
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CHICK-FIL-A

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FSU# 02859

REVISION SCHEDULE
NO. DATE DESCRIPTION

GBC PROJECT # 43219A
PRINT LOCATION Plans
DATE 8/30/23
DRAWN BY EMW

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SHEET
GRADING PLAN DETAIL

Permit

SHEET NUMBER
C-301

PROJECT DESCRIPTION

THE SITE IS AN EXISTING CHICK-FIL-A RESTAURANT AND IS BEING DISTURBED TO MODIFY THE PARKING LOT AND DRIVE RING. AREA OF DISTURBANCE IS APPROXIMATELY 0.50 ACRES.

SCHEDULE OF CONSTRUCTION ACTIVITY

THE CONTRACTOR SHALL IMPLEMENT ALL EROSION CONTROL MEASURES PRIOR TO OTHER CONSTRUCTION ACTIVITY. ALL EROSION CONTROL MEASURES MUST REMAIN FUNCTIONAL UNTIL THE SITE HAS BEEN STABILIZED UNLESS OTHERWISE STATED ON THE PLAN. SEE SEQUENCE OF CONSTRUCTION ACTIVITIES SHT C-310 AND SWPPP REPORT.

EROSION CONTROL NOTES

EROSION CHANNELS AND PERIMETER CONTROLS SHALL BE IMPLEMENTED AS A FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPHILL AREAS ARE STABILIZED. DMP'S SHOULD BE CLEANED OUT ONCE CAPACITY HAS BEEN REDUCED BY 40 %.

EROSION CONTROL BLANKETS WITH MATTING WILL BE USED ON DITCHES GREATER THAN 1:3:1 AND ALL OTHER SLOPES GREATER THAN 4 % GRADE.

CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL.

NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.

ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF JOPLIN, MO.

OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS.

CONTRACTOR IS RESPONSIBLE TO PICK UP/DISPOSE OF ANY LITTER, CONSTRUCTION DEBRIS AND/OR CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER PRIOR TO ANTICIPATED STORM EVENTS OR WIND EVENTS AS FORECASTED BY LOCAL WEATHER.

DUST SUPPRESSANTS ARE REQUIRED AS NEEDED.

OFF SITE VEHICLE TRACKING SEDIMENT SHALL BE MINIMIZED. CONSTRUCTION VEHICLES ARE LIMITED TO THE CONSTRUCTION ACCESS ROAD NOTED ON THE PLAN.

REGULAR INSPECTION AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. PROVIDED WILL BE NAME OF INSPECTOR, MAJOR DISCREPANCIES, DATES OF INSPECTION AND CORRECTIVE MEASURES TAKEN.

SILT FENCES ARE TO BE INSTALLED IN FRONT OF STORM INLETS AND FILL AREAS BEFORE STARTING CONSTRUCTION PER MANUFACTURER'S RECOMMENDATIONS.

SILT FENCES ARE TO BE CONSTRUCTED ON THE OUTSIDE OF ALL STOCK PILES.

ALL EROSION CONTROL MEASURES TO BE MAINTAINED BY CONTRACTOR UNTIL PROJECT COMPLETION AND THEN REMOVED.

SEDIMENT TO BE REMOVED FROM SILT FENCE AS NECESSARY AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

ANY DE-WATERING ACTIVITY SHALL INCLUDE A DIRT BAG OR SIMILAR BAG AT THE END OF PUMPING DISCHARGE LINE PRIOR TO ENTERING INTO THE STORM SEWER.

EXISTING MAX SLOPE TO OUTFALL = 25.0%
EXISTING MIN SLOPE TO OUTFALL = 1.0%

POST-CONSTRUCTION MAX SLOPE TO OUTFALL = 33.3%
POST-CONSTRUCTION MIN SLOPE TO OUTFALL = 1.0%

PRE CONSTRUCTION RUNOFF COEFFICIENT = 0.61
POST CONSTRUCTION RUNOFF COEFFICIENT = 0.89

PRE CONSTRUCTION IMPERVIOUS AREA = 44,337 S.F. (79.15%)
POST CONSTRUCTION IMPERVIOUS AREA = 52,363 S.F. (94.61%)

RECEIVING WATER

EXISTING TOPOGRAPHY: CURRENTLY THE SITE IS A CHICK-FIL-A RESTAURANT

INSPECT OUTFALLS AND THE SITE BASED ON THE INSPECTIONS REVISE SWPPP AS APPROPRIATE

THERE IS NO INDUSTRIAL/NON-CONSTRUCTION DISCHARGE ASSOCIATED WITH THIS PROJECT

TEMPORARY SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND ON STOCKPILES. PERMANENT SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE COMPLETED AND/OR CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. SEED AREAS THAT SHOW SIGNS OF EROSION.

OFFSITE ACCUMULATION OF SEDIMENT WILL BE REMOVED. IF IT IS A STREAM IS REACHED, CONTACT WATER POLLUTION CONTROL FIRST.

NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS, OR BY BURYING, BURNING, OR BURNING WASTES. IF ANY TOXIC DESCRIBED WILL DISPOSED OF, CONTRACTOR SHALL CONTACT CITY OF JOPLIN TO DETERMINE PROPERLY LOCAL RECYCLE LOCATION.

CONTRACTOR TO KEEP WASHOUT, UNWANTED CONCRETE, AND SOIL WASTE THEY FROM CONTAMINATION WHICH MAY LEACH CONTAMINANTS TO WATERS OF THE STATE.

ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF.

OPEN BURNING IS NOT ALLOWABLE.

CONTRACTOR TO MAINTAIN A RAIN GUAGE ON SITE OR NEARBY REFERENCE FOR RECORDS. INSPECTIONS OF THE SITE MUST BE COMPLETED PER WPC FUNDAMENTALS OF EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) COURSE.

REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES UPON FINAL STABILIZATION. REMOVAL OF SEDIMENT IN THE DRAIN INLET DESTINATION DEVICES ACCORDING TO STATE AND LOCAL REGULATIONS.

SEQUENCE OF CONSTRUCTION ACTIVITY

THE CONTRACTOR SHALL IMPLEMENT ALL OF THE FOLLOWING EROSION CONTROL MEASURES, IN THE ORDER STATED, PRIOR TO OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES AND STORM WATER POLLUTION PREVENTION PLAN. ALL EROSION CONTROL MEASURES MUST REMAIN FUNCTIONAL UNTIL THE SITE HAS BEEN STABILIZED.

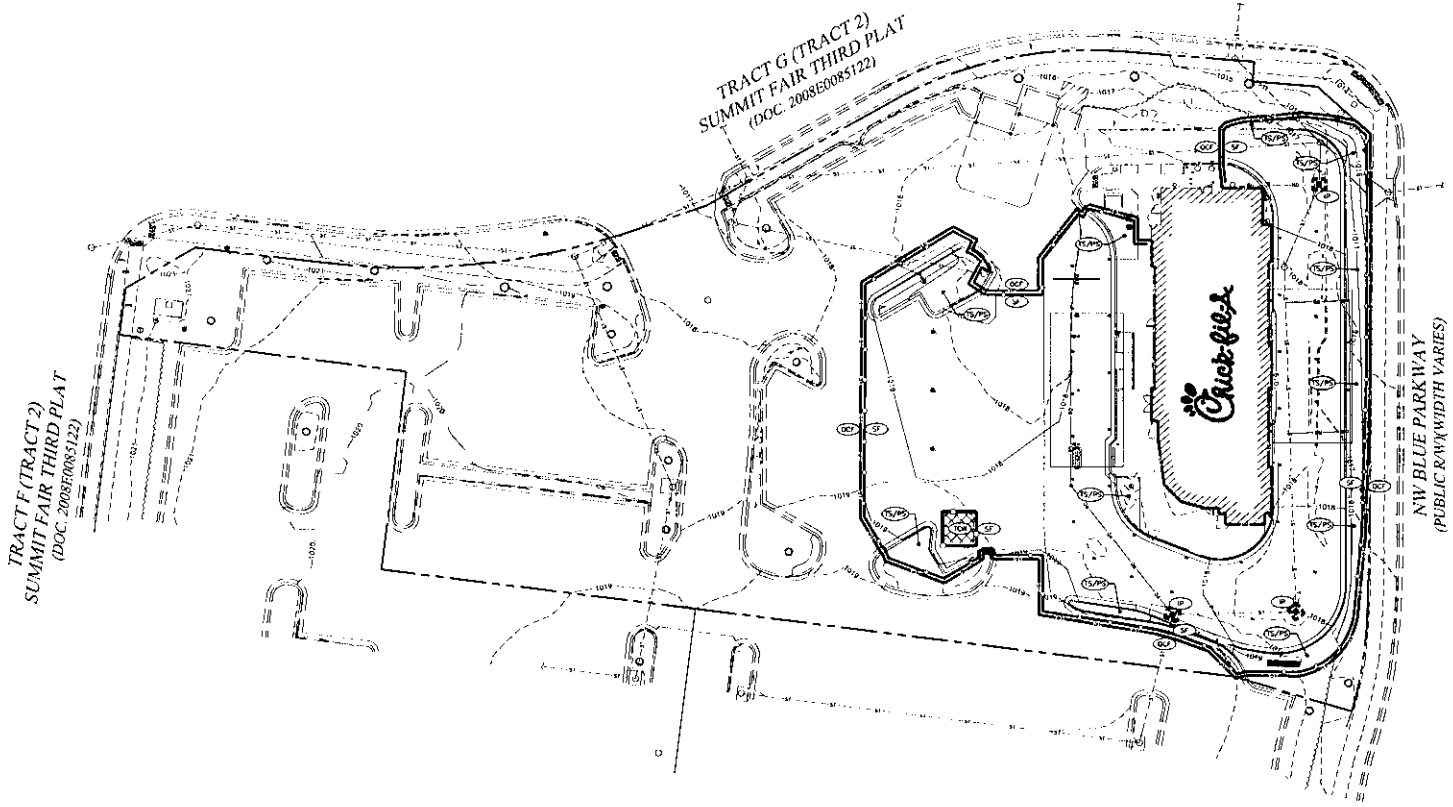
1. BEFORE CONSTRUCTION, EVALUATE, MARK, AND PROTECT IMPORTANT TREES
2. CLEAR AREAS FOR CONSTRUCTION ENTRANCE AND SILT FENCE
3. INSTALL CONSTRUCTION ENTRANCE
4. POST SWPPP PLAN, DMP
5. INSTALL EROSION CONTROL FENCES AND OTHER PERIMETER CONTROLS AROUND CONSTRUCTION AREA BEFORE CONSTRUCTION ACTIVITIES BEGIN
6. INSTALL PROTECTION MEASURES AROUND EXISTING INLETS
7. BEGIN DEMOLITION AND EARTHWORK
8. COMPLETE THE CUT AND FILLS ON THE SITE. INSTALL CHECK DAMS OR STABILIZE THE SLOPES WITH EROSION CONTROL BLANKETS AS NEEDED
9. INSTALL STAGING AREAS, MATERIAL STORAGE AREAS, FUEL STATIONS, AND CONCRETE WASHOUT
10. INSTALL INLET FILTER PROTECTION AS INLETS ARE INSTALLED
11. CONTINUE SITE EXCAVATION, GRADING, AND GRADING ACTIVITIES. ANY AREA LEFT DORMANT FOR MORE THAN 15 DAYS MUST BE TEMPORARILY SEEDED
12. FINISH MASS EARTHWORK
13. COMPLETE ASPHALT PAVING
14. POUR CURBS AND FINISH
15. COMPLETE FINAL SEEDING AND LANDSCAPING AND STABILIZE ALL DISTURBED AREAS
16. MAINTAIN ALL EROSION AND SEDIMENT CONTROL PRACTICES UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED
17. REMOVE SEDIMENT FROM STORMWATER MANAGEMENT SYSTEM, INLETS AND REGRADE SITE AS NEEDED

LEGEND

- PROP MANHOLE
- EX. MANHOLE
- PROP INLET
- EX. INLET
- EX STORM SEWER
- PROP STORM SEWER
- EX CURB
- PROP CURB & GUTTER
- PROP CONTOURS
- EX. CONTOURS
- SF — SILT FENCE/FILTER SOCK
- DCF — LIMITS OF CONSTRUCTION TO BE DESIGNATED BY ORANGE CONSTRUCTION FENCE WHEN NOT ADJACENT TO SILT FENCE
- IP — INLET PROTECTION
- TS/PS — TEMPORARY SEEDING & MULCHING/ PERMANENT SEEDING & MULCHING- SEE LANDSCAPE PLAN L-100
- TCW — TEMPORARY CONCRETE WASH-OUT AREA

LIMITS OF DISTURBANCE = 0.50 AC.

SCALE: 1" = 20'



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STATE OF MISSOURI
ALLAN R. WILEY
NUMBER E-34010
PROFESSIONAL ENGINEER
9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

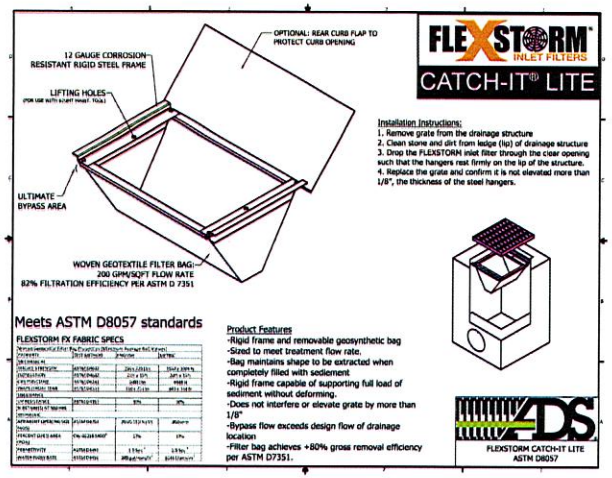
REVISION SCHEDULE
NO. DATE DESCRIPTION

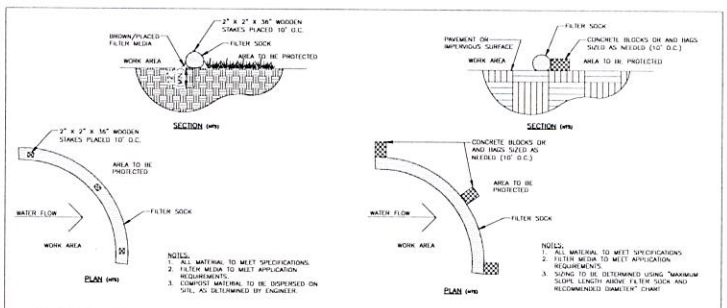
GBC PROJECT # 43255A
PRINTED FOR Permit
DATE 8/29/23
DRAWN BY GBC

SHEET
STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

Permit

SHEET NUMBER
C-310





FILTER SOCK DETAIL

(NOT TO SCALE)

1. MATERIALS – COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF A PARTICLES RANGING FROM 3/8" TO 2".
2. FILTER SOCKS SHALL BE 3 OR 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" KNITTED MESH NETTING MATERIAL FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.

INSTALLATION:

3. FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MIDSLOPE.
4. FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
5. FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATED FLOW SITUATIONS OR IN RUNOFF CHANNELS.

MAINTENANCE:

6. ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN. MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
7. REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE PRACTICE.
8. WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
9. REMOVAL – FILTER SOCKS WILL BE DISPOSED ON SITE WHEN NO LONGER REQUIRED IN SUCH AS WAY AS TO FACILITATE AND NOT OBSTRUCT SEEDINGS.

Maximum Slope Length Above Filter Sock and Recommended Diameter

Slope	Ratio (H:V)	8"	12"	18"	24"
0% - 2%	50% - 200%	125	250	300	350
10% - 20%	50:1 - 10:1	100	125	200	250
2% - 10%	10:1 - 5:1	75	100	150	200
20% - 33%	5:1 - 2:1		50	75	100
>50%	>2:1		25	50	75

FILTER SOCK ON PAVEMENT DETAIL

(NOT TO SCALE)

TEMPORARY SEEDING

TEMPORARY SEEDING SPECIES SELECTION			
SEEDING DATES	SPECIES	LB/1000 FT.^{2}	PER ACRE
MARCH 1 TO AUGUST 15	OATS TALL FESCUE ANNUAL RYEGRASS	3 1 1	4 BUSHEL 40 LB. 40 LB.
	PERENNIAL RYEGRASS TALL FESCUE ANNUAL RYEGRASS	1 1 1	40 LB. 40 LB. 40 LB.
AUGUST 16 TO NOVEMBER 1	RYE TALL FESCUE ANNUAL RYEGRASS	3 1 1	2 BUSHEL 40 LB. 40 LB.
	WHEAT TALL FESCUE ANNUAL RYEGRASS	3 1 1	2 BUSHEL 40 LB. 40 LB.
	PERENNIAL RYEGRASS TALL FESCUE ANNUAL RYEGRASS	1 1 1	40 LB. 40 LB. 40 LB.
NOVEMBER 1 TO SPRING SEEDING	USE MULCH ONLY, SODDING PRACTICES OR DORMANT SEEDING.		

NOTE: OHEV APPROVED SEED SPECIES MAY BE SUBSTITUTED

1. STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION-SITE.
2. TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR MORE. THESE IDLE AREAS SHOULD BE SEEDED AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEEDED WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
3. THE SEEDBED SHALL BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.
4. SOIL AMENDMENTS---APPLICATIONS OF TEMPORARY VEGETATION SHALL ESTABLISHED ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDICT THE NEED FOR LIME AND FERTILIZER.
5. SEEDING METHOD---SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

MULCHING TEMPORARY SEEDING

1. APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT AREAS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
2. MATERIALS.

STRAW---IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN APPLIED AT 2 TONS/AC. OR 90 LB. / 1,000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQ. FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION.

HYDROSEEDERS---IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB. / AC. OR 46 LB. /1,000 SQ. FT.

OTHER---OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS / AC.

3. STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.
ANCHORING METHODS:

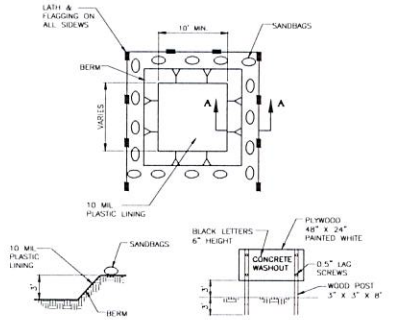
MECHANICAL---A DISK, CRIMPER OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICAL ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY BE LEFT LONGER THAN 6 IN.

MULCH NETTINGS---NETTINGS SHALL BE USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MADE BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.

ASPHALT EMULSION---ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160 GAL. / AC.

SYNTHETIC BINDERS---SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA-TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.

WOOD-CELLULOSE FIBRE---WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB. /AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. / 100 GAL.



SECTION A–A
N.T.S.

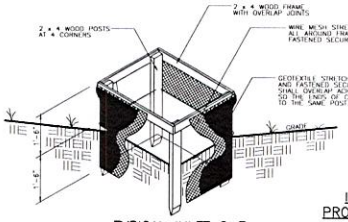
CONCRETE WASHOUT SIGN DETAIL
(OR EQUIVALENT)
N.T.S.

1. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AS SHOWN ON THE DETAIL WITH A MINIMUM LENGTH AND MINIMUM WIDTH OF 10'.
3. LATH AND FLAGGING SHALL BE COMMERCIAL TYPE.
4. PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
5. A SIGN SHALL BE INSTALLED ADJACENT TO WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
6. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT PROCEDURES.
7. WASHOUT OF CONCRETE TRUCKS SHALL BE PERFORMED IN DESIGNATED AREAS ONLY.
8. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
9. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
10. CONCRETE WASTES SHALL BE ALLOWED TO HARDEN THEN BROKEN UP, REMOVED, AND PROPERLY DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATION ON A REGULAR BASIS.
11. WHEN TEMPORARY WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF.

TEMP. CONCRETE WASHOUT FACILITY
(BELOW GRADE)
N.T.S.

SILT FENCE

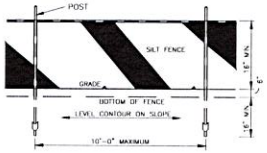
1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.
2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4-IN. CONSTRUCTION-GRADE LUMBER. THE 2-BY-4-IN. POSTS SHALL BE DRIVEN 1 FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4-IN. FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 8 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
5. GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 40-SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
6. BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-IN. LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
7. A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 8 INCHES HIGHER THAN THE TOP OF THE FRAME.



TYPICAL INLET SILT FENCE DETAIL
NO SCALE

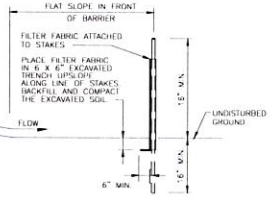
INLET PROTECTION NOTE

1. THE TYPICAL INLET SILT FENCE DETAIL SHALL REMAIN IN PLACE UNTIL PAVEMENT IS ESTABLISHED.
2. ONCE PAVEMENT HAS BEEN INSTALLED, THE SILT FENCE DETAIL SHALL BE REPLACED WITH THE "IN-TRACT" SEDIMENT CONTROL DEVICE AS MANUFACTURED BY ACE ENVIRONMENTAL CONTROL INC. OR APPROVED EQUAL.
3. SILT SACK MUST REMAIN IN PLACE UNTIL THE SITE HAS BEEN SEEDED & STABILIZED.



SILT FENCE DETAIL
NO SCALE

JOINING SECTIONS OF SILT FENCE DETAIL
NO SCALE



SILT FENCE SECTION
NO SCALE

FABRIC PROPERTIES	VALUES	TEST METHOD
GRAB TENSILE STRENGTH	90 LB. MINIMUM	ASTM D 1682
MULLEN BURST STRENGTH	190 PSI MINIMUM	ASTM D 3786
SLURRY FLOW RATE	0.3 GAL./MIN./FT^2 MAXIMUM	ASTM D 3786
EQUIVALENT OPENING SIZE	40-80	US STD. SIEVE CW-02215
ULTRAVIOLET RADIATION STABILITY	90% MINIMUM	ASTM-G-26

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0225 Fax 330-836-5782

STATE OF OHIO
CARY R. BUNN
NUMBER
PROFESSIONAL ENGINEER
9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

GBC PROJECT #	43215A
PRINTED FOR	Permit
DATE	8/23/23
DRAWN BY	BAW

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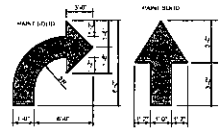
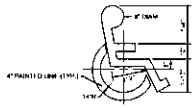
SHEET
SWPPP DETAILS

Permit

SHEET NUMBER
C-320



1A C-400 DIRECTIONAL ARROW
NOT TO SCALE



1B C-400 ACCESSIBILITY SYMBOL
NOT TO SCALE

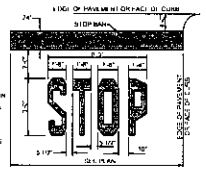
NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE TAB SC-400).
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS OTHERWISE INDICATED BY THE GENERAL CONTRACTOR. (SHOULD THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THOSE CODES SHALL GOVERN.

1 C-400 PAVEMENT MARKINGS - 1
NOT TO SCALE

2A C-400 DRIVE-THRU
NOT TO SCALE

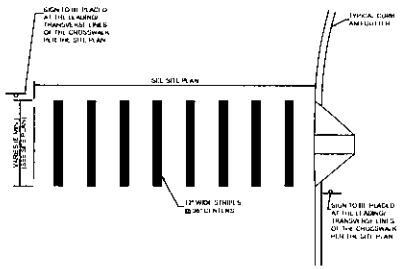
NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS.
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE. UNLESS OTHERWISE INDICATED BY THE GENERAL CONTRACTOR. (SHOULD THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THOSE CODES SHALL GOVERN.

NOTE:
IF STOP SIGN IS PROPOSED, "STOP" LETTERING GRAPHIC IS NOT REQUIRED.



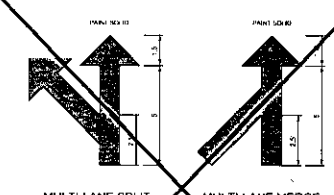
2B C-400 STOP BAR
NOT TO SCALE

2 C-400 PAVEMENT MARKINGS - 2
NOT TO SCALE



NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE TAB SC-400).
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT AND YELLOW REFLECTIVE PAINT ON CONCRETE.

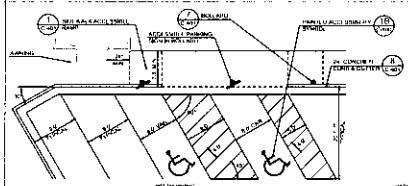
3 C-400 CROSSWALK MARKINGS
NOT TO SCALE



MULTI-LANE SPLIT MULTI-LANE MERGE

NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE TAB SC-400).
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

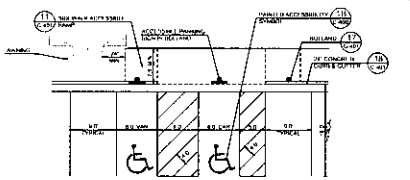
4 C-400 MULTI-LANE DIRECTIONAL GRAPHICS
NOT TO SCALE



"90" PARKING STALL CAN ONLY BE USED DUE TO THE MINIMUM SITE CONDITIONS. NO CURB.

NOTES:
1. ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 1.5% IN SLOPE IN ANY DIRECTION. (SEE ADA CODE SECTION 502 FOR ADDITIONAL INFORMATION).
2. PARKING STALL DIMENSIONS SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY'S AND ADA STANDARDS. SEE SITE PLAN FOR COMPLETE DIMENSIONAL LAYOUT.
3. GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS FOR DETAILS.
4. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
5. CONTRACTOR SHALL USE WHITE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
6. ACCESSIBLE PARKING AND AISLE SHALL BE STRIPPED FOR CLEAR THAT IT IS IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
7. ADJACENT STOPS TO BE INSTALLED (WHEN PARKING IS ADJACENT TO SIDEWALK).
8. ALL SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WITH HANDICAPS REPLACEMENT FOR USE ON A RAMP.
9. ALL DIMENSIONS ARE TO CENTER OF STRIPE UNLESS OTHERWISE NOTED.
10. STRIPING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

5 C-400 PARKING STALL LAYOUT AND STRIPING
NOT TO SCALE



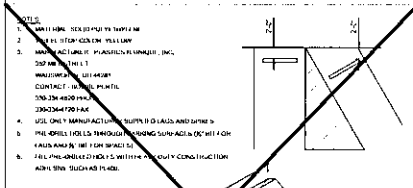
PARKING LOT STRIPING SPECIFICATIONS

STANDARDS
1. ALWAYS FOLLOW ALL APPLICABLE GOVERNING AUTHORITY'S STANDARDS.
2. SURFACE SHOULD BE CLEAN, DRY, AND FREE FROM LOOSE DIRT FURTHERMORE, REMOVE ALL OIL, DUST, GREASE, DIRT, AND OTHER FOREIGN MATERIAL. TO ENSURE ADEQUATE ADHESION, DO NOT APPLY WHEN AMBIENT AIR TEMPERATURE IS BELOW 40°F.
3. APPLY THE PAVEMENT MARKING OF THE PROPER ALKYD ZONE MARKING PAINT ACCORDING TO ADEQUATE FOR SPECIFIED LOW TEMPERATURE MARKING PAINT. USE THE FOLLOWING DETAILS AS A GUIDE. ACTUAL SETTINGS DEPEND ON ATMOSPHERE NOT CONSISTENT AT THE TIME OF APPLICATION.

APPLIED
- PAINT SIGNAL: 1000-2100 PSI
- HOSE: 25 ft
- TIP: 0.013-0.017"
- TIP SIZE: 60 mm
- AIR DIRECTION: ONLY IF THERE IS SUPPLY, UP TO 10 PSI ON WHEEL PAINTING HOSE

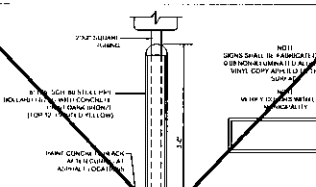
CONVENTIONAL
- GUN: HOSES 25 FEET LONG OR LONGER
- FLUID NOZZLE: #68
- AIR NOZZLE: INTERNAL MIX #704
- ATOMIZATION PRESSURE: 40-60 PSI
- FLUID PRESSURE: 40-70 PSI
- AIR DIRECTION: ONLY IF THERE IS SUPPLY, UP TO 10 PSI ON WHEEL PAINTING HOSE

- THE NORMAL TIMING, WHICH SHOULD BE SET AT ROUGHLY 10 TO 15 MINUTES, IS ADJUSTED AND REALLY TO ALL PAINT PER MANUFACTURER'S WRITTEN INSTRUCTIONS. MAKE THOROUGHLY FILM MANUFACTURER'S CLEANING INSTRUCTIONS BEFORE ADJUSTING IN APPLIED AND UNTIL AND INSTRUCTIONS ARE WRITTEN. MAINTAIN THE SPECIFICATION OF ADJUSTING IN PAINT THROUGHOUT THE APPLICATION PROCESS. MAKE THOROUGHLY FLUSHING STRIPING ON POWER AGITATION IS ONLY APPLICABLE WHEN SPECIFIED. SET UP 450-500 LINEAR FEET OF STANDARD STRIPE PER GALLON APPLIED. THEREFORE, AT 70 DEGREES F AND 30% RELATIVE HUMIDITY, PAINT PER UNIT WEIGHT PER GALLON AS FOLLOWS:
- GENERAL CONTRACTOR NOTE: STRIPE THE LOT 45 DAYS AFTER PAVING.



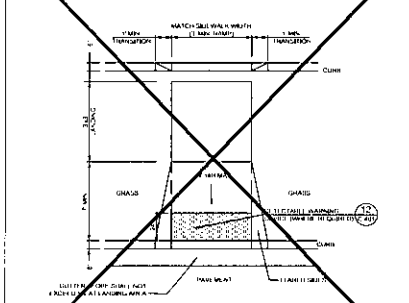
NOTE:
WHEEL STOPS ONLY TO BE USED WHEN NO OTHER PRACTICAL OPTION EXISTS.

6 C-400 SOLID PLASTIC WHEEL STOP
NOT TO SCALE

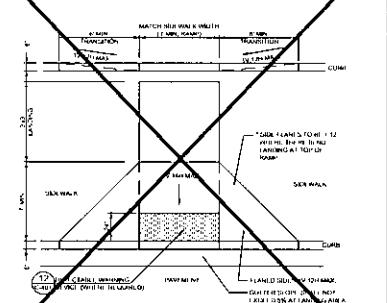


NOTE:
SIGNS SHALL BE FABRICATED AND SUPPLIED NONRESTRICTED ALUMINUM WITH VINYL COPY APPLIED WITH THE FIRST SURFACE.

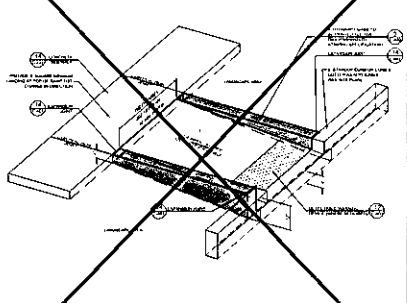
7 C-400 BOLLARD MOUNTED SIGN
NOT TO SCALE



8 C-400 CURB RAMP w/ SHORT FLARED SIDES
NOT TO SCALE



9 C-400 CURB RAMP w/ FLARED SIDES
NOT TO SCALE



10 C-400 RETURNED CURB RAMP
NOT TO SCALE

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665 White Pond Dr. Akron, OH 44320-1128
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STATE OF OHIO
NICHOLAS R. PIERSON
PE 2003-0070
PROFESSIONAL ENGINEER
9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

REVISION SCHEDULE
NO. DATE DESCRIPTION

GBC PROJECT NO. #
PRINT ID HOME
DATE
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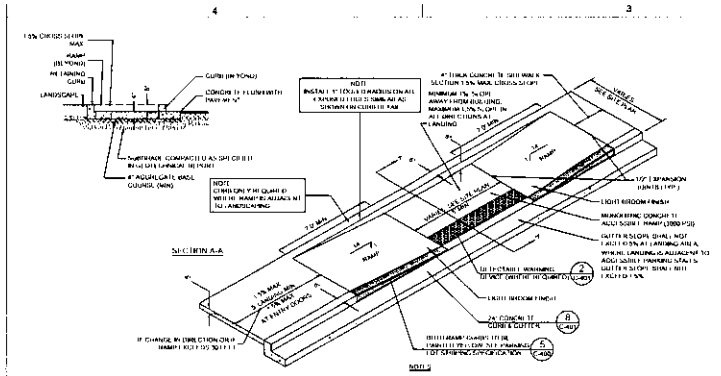
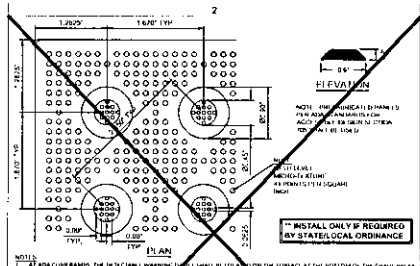
SHEET
CHICK-FIL-A SITE DETAILS

Permit

SHEET NUMBER
C-400

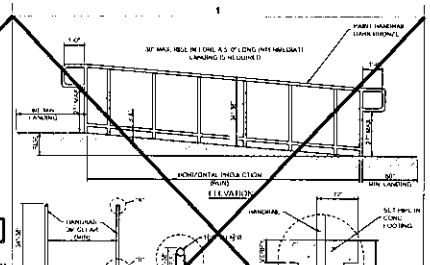


1 SIDEWALK ACCESSIBLE RAMP
C-401 NOT TO SCALE

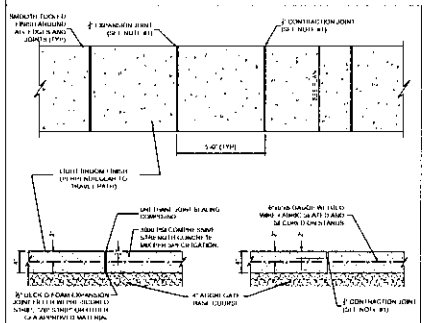


** INSTALL ONLY IF REQUIRED BY STATE/LOCAL ORDINANCE

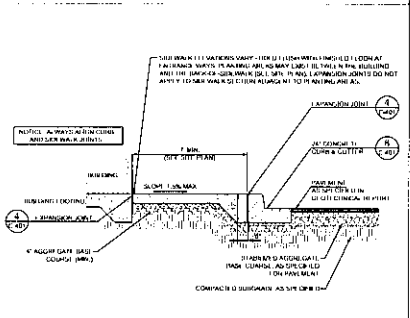
2 DETECTABLE WARNING DEVICE
C-401 NOT TO SCALE



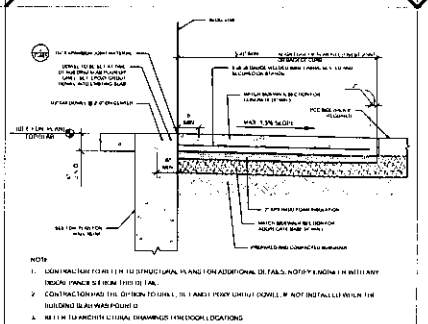
3 TYPICAL ADA RAMP & HANDRAIL
C-401 NOT TO SCALE



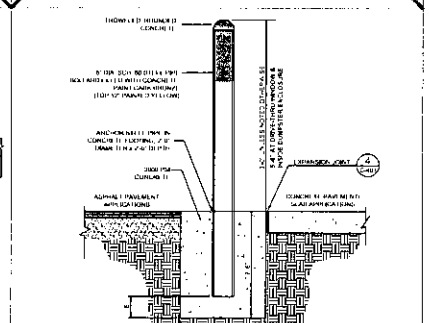
4 CONCRETE SIDEWALK
C-401 NOT TO SCALE



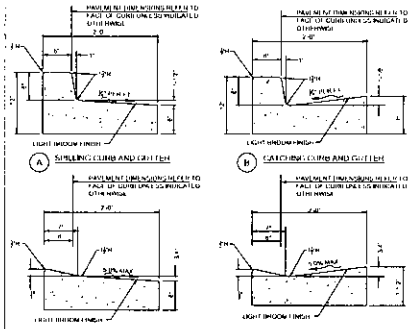
5 CONCRETE SIDEWALK w/ CURB & GUTTER
C-401 NOT TO SCALE



6 ENTRY DOOR FROST SLAB DETAIL
C-401 NOT TO SCALE

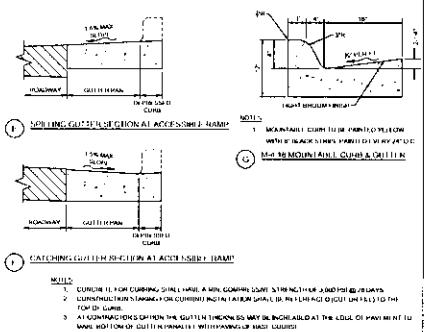


7 CONCRETE BOLLARD
C-401 NOT TO SCALE

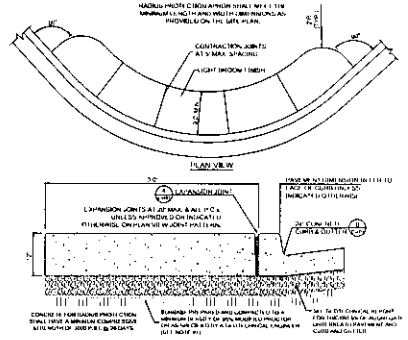


A SPILLING CURB AND GUTTER
B CATCHING CURB AND GUTTER
C DEPRESSED SPILLING CURB AND GUTTER
D DEPRESSED CATCHING CURB AND GUTTER

8 CONCRETE CURB & GUTTER
C-401 NOT TO SCALE



E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP
F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP
G M-18 MOUNTABLE CURB & GUTTER



9 LANDSCAPE & IRRIGATION PROTECTOR
C-401 NOT TO SCALE

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5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
845 White Pond Dr.
Akron, OH 44320-1128
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STATE OF MISSOURI
JASON M. KEMPER
PROFESSIONAL ENGINEER
9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

REVISION SCHEDULE
NO. DATE DESCRIPTION

GBC PROJECT # 41215A
DRAWN BY CH Permit
DATE 8/23/23
CHECKED BY JMK

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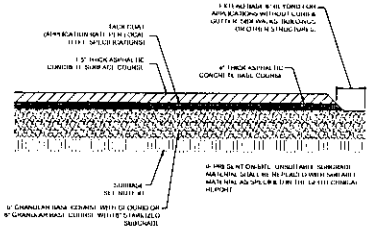
SHEET
CHICK-FIL-A SITE DETAILS

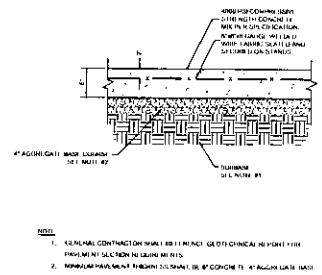
Permit

SHEET NUMBER
C-401



1 TYPICAL HMAC PAVEMENT SECTION
C-402 NOT TO SCALE

2 BUTT JOINT
C-402 NOT TO SCALE



3 CONCRETE PAVEMENT DRIVE-THRU LANE
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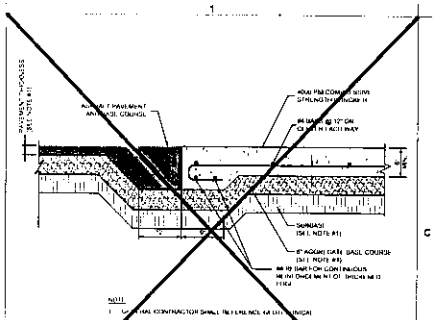

4 CONCRETE APRON AT TRASH ENCLOSURE
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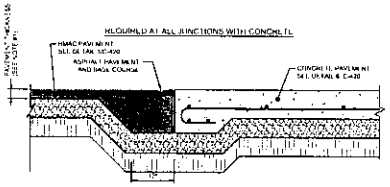
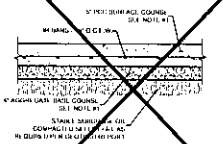


5 PAVEMENT EDGE DETAIL
(START & END OF DRIVE-THRU LANES)
C-402 NOT TO SCALE



6 CONCRETE PAVEMENT
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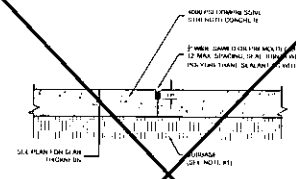
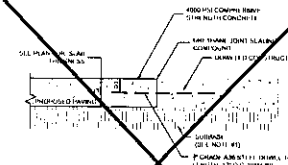
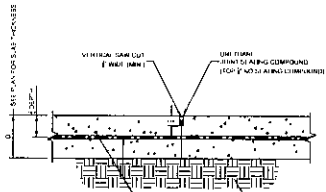


7 TRANSVERSE AND
LONGITUDINAL CONTRACTION JOINT
C-402 NOT TO SCALE



8 TRANSVERSE AND
LONGITUDINAL DOWELED CONSTRUCTION JOINT
C-402 NOT TO SCALE

THESE DETAILS APPLY TO CONCRETE PAVED LOTS



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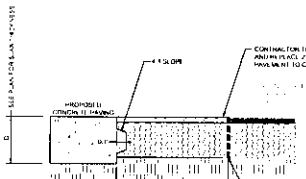

10 KEYED CONSTRUCTION JOINT
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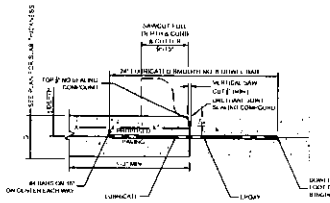

11 LONGITUDINAL BUTT JOINT
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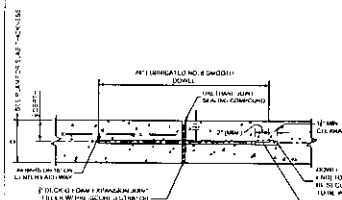

12 EXPANSION JOINT
C-402 NOT TO SCALE

Chick-fil-A
5200 Buffington Road
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GBC DESIGN, INC.
665 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-8288 Fax 330-836-5782

9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

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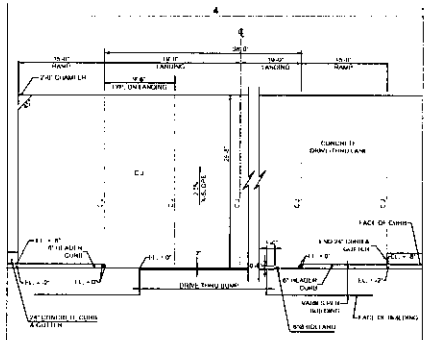
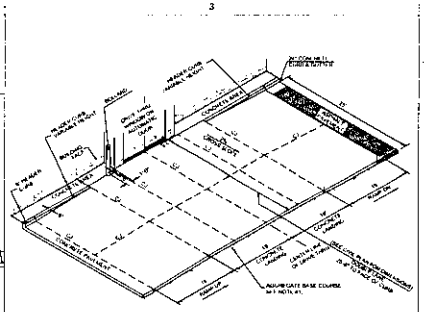
SHEET
CHICK-FIL-A SITE DETAILS

Permit

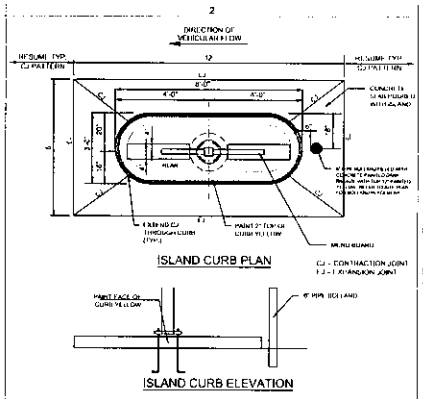
SHEET NUMBER
C-402



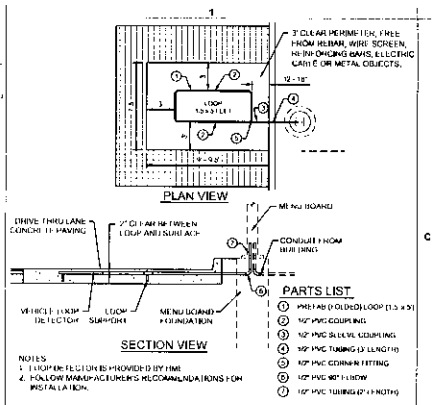
1 DRIVE-THRU PLAN - FLUSH WITH FFE
C-403 NOT TO SCALE



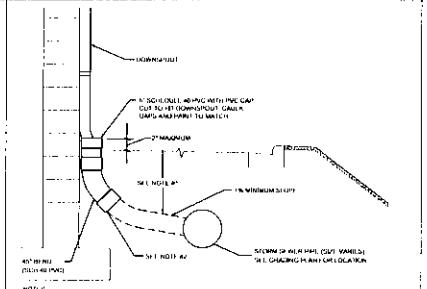
2 DRIVE-THRU ISOMETRIC
C-403 NOT TO SCALE



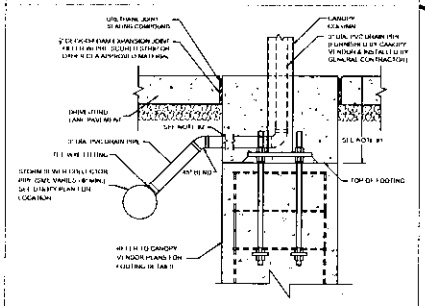
3 DRIVE-THRU ORDER POINT ISLAND
C-403 NOT TO SCALE



4 MENU BOARD LOOP DETECTION SYSTEM
C-403 NOT TO SCALE



5 BUILDING DOWNSPOUT CONNECTION
C-403 NOT TO SCALE



6 CANOPY DOWNSPOUT CONNECTION
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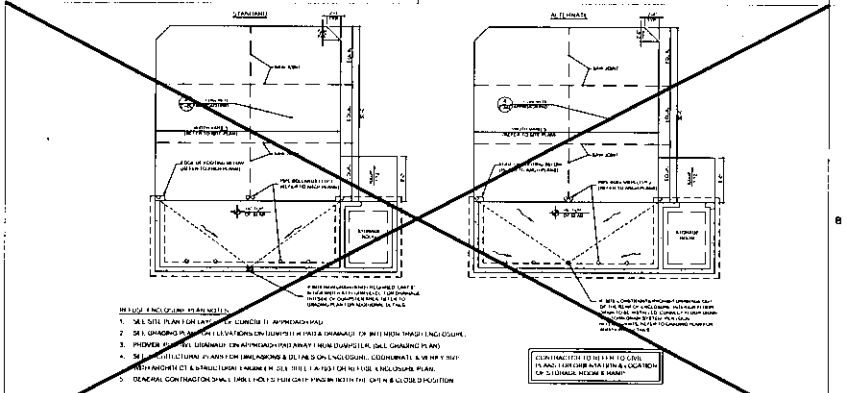
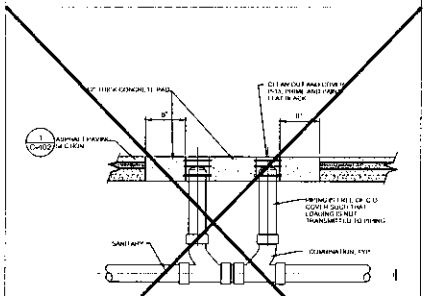
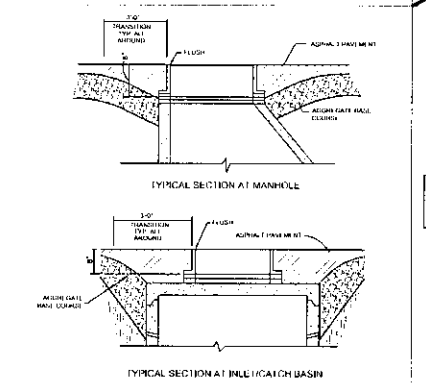


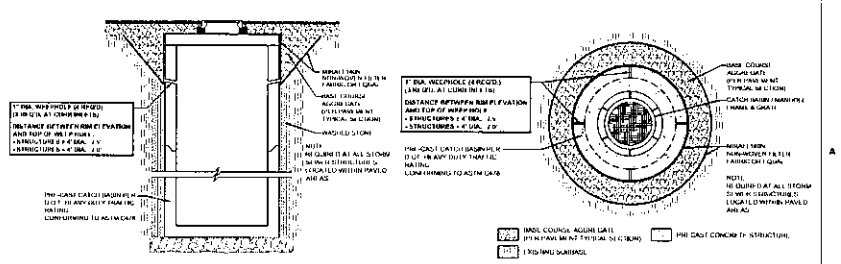
7 SCREENED REFUSE ENCLOSURE
C-403 NOT TO SCALE



8 CLEAN-OUT (OUTSIDE OF BUILDING)
C-403 NOT TO SCALE



9 THICKENED PAVEMENT @ STRUCTURES
C-403 NOT TO SCALE



10 STORM STRUCTURE WEEP HOLE DETAILS
C-403 NOT TO SCALE

Chick-fil-A
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9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

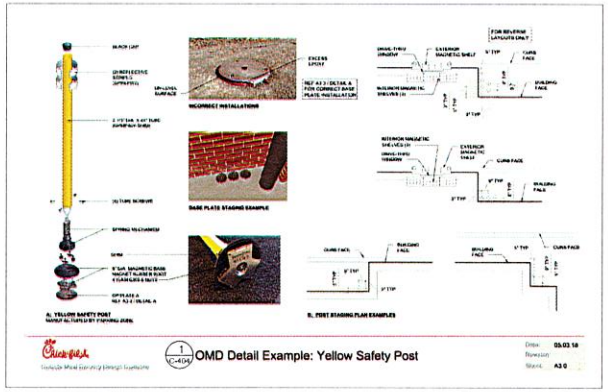
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

GBC PROJECT # 43858
PRINTED BY Thomas
DATE 8/23/23
DRAWN BY Gary

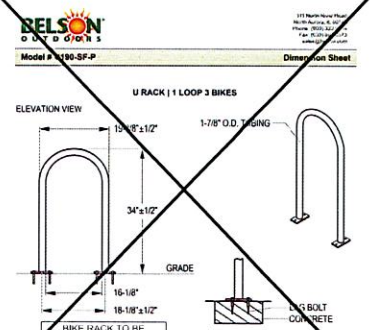
SHEET
CHICK-FIL-A SITE DETAILS

Permit

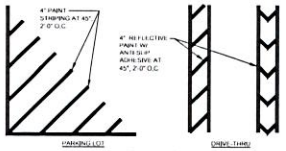
SHEET NUMBER
C-403



1 C-404 OMD Detail Example: Yellow Safety Post

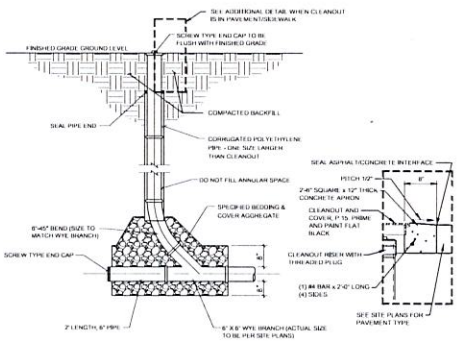


2 C-404 BIKE RACK FOR TWO BIKES
NOT TO SCALE

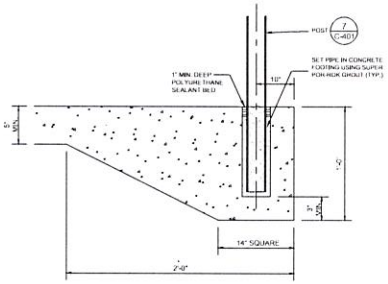


3 C-404 PAVEMENT STRIPING
NOT TO SCALE

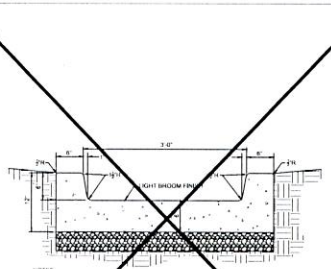
NOTES
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS.
2. CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
3. CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
4. STRIPING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR



4 C-404 STORM SEWER CLEANOUT DETAIL
NOT TO SCALE

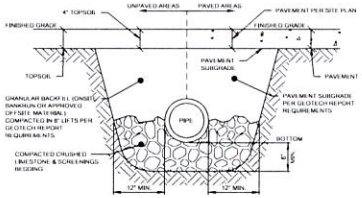


THICKENED SLAB EDGE AT RAILING CORE-DRILLS
5 C-404 NOT TO SCALE

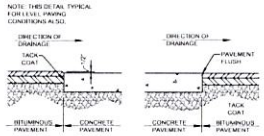


NOTES
1. CONTRACTION JOINTS AT 10'-0" O.C. TOOLED 3/4" (1/3 TO 1/4 DEPTH), 1" OR MAX. DEPTH WHICHEVER IS GREATER. EXPANSION JOINTS AT 40'-0" O.C. AND ALL P.C.'s UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN. SEE JOINT PATTERN.
2. CONCRETE FLUME CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.

6 C-404 CONCRETE FLUME
NOT TO SCALE



7 C-404 UTILITY TRENCH DETAIL
NOT TO SCALE



TYPICAL ASPHALT/CONCRETE INTERFACE DETAILS
8 C-404 NOT TO SCALE

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0225 Fax 330-836-0228

STATE OF MISSOURI
LARRY R. BURNS
NUMBER PE-2004037
PROFESSIONAL ENGINEER
9-22-23

CHICK-FIL-A
SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

GBC PROJECT #	43215A
PRINTED FOR	Permit
DATE	9/23/23
DRAWN BY	SAW

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SHEET
CHICK-FIL-A SITE DETAILS

Permit

SHEET NUMBER
C-404

UTILITY LAYOUT NOTES

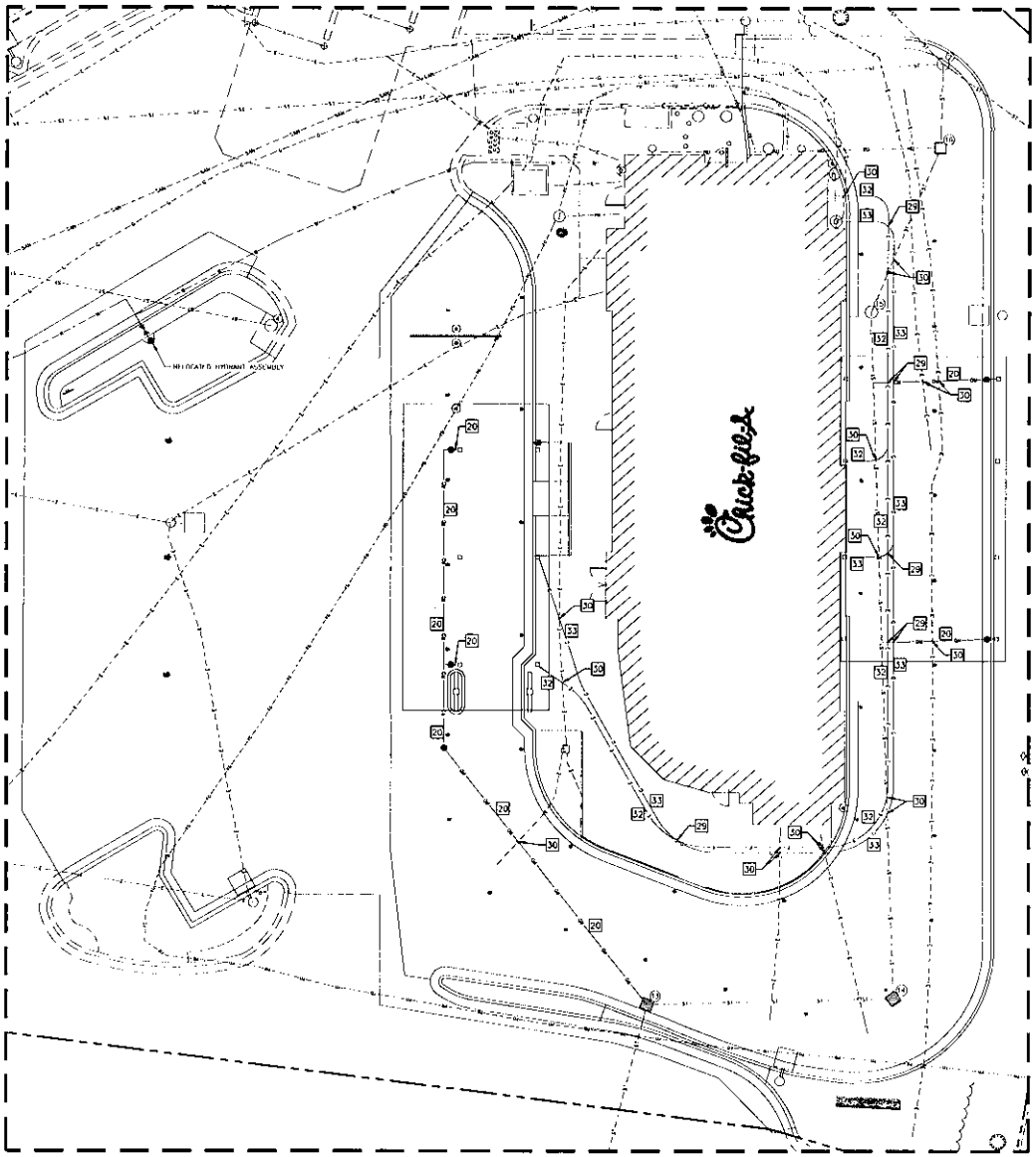
20 INSTALL 6" SCHEDULE 40 PVC ROOF DRAIN PIPE DRAIN INCLUDING ALL NECESSARY FITTINGS. CONNECT TO 6" ROOF DRAIN. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.

29 PROPOSED UTILITY CROSSING–CONTRACTOR TO MAINTAIN REQUIRED CLEARANCES

30 EXISTING UTILITY CROSSING. CONTRACTOR TO VERIFY EXACT ELEVATIONS OF THE EXISTING UTILITY PRIOR TO THE START OF CONSTRUCTION. REPORT ANY CONFLICTS WITH PROPOSED UTILITIES TO GBC DESIGN, INC. PRIOR TO THE START OF CONSTRUCTION OF THE PROPOSED UTILITY. CONTRACTOR TO MAINTAIN REQUIRED CLEARANCES.

32 INSTALL ELECTRIC SERVICE TO CANOPY (REFER TO MEP PLANS). INSTALL TRENCHING AND 2-2" SCHEDULE 40 PVC CONDUITS PER MEP SPECIFICATIONS. SITE CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR.

33 INSTALL GAS SERVICE TO CANOPY (REFER TO MEP PLANS). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.



LEGEND

- EX. FIRE HYDRANT
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. BOX INLET
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. CURB
- PROP. CURB & GUTTER
- EX. CABLE T.V. LINE
- PROP. CABLE T.V. LINE
- PROP. ELECTRIC LINE
- EX. ELECTRIC LINE
- EX. FIBER OPTIC LINE
- PROP. GAS LINE
- EX. GAS LINE
- PROP. TELEPHONE LINE
- EX. TELEPHONE LINE
- PROP. SANITARY SEWER
- PROP. SANITARY LATERAL
- PROP. SANITARY LATERAL VENT
- EX. SANITARY SEWER (PRIVATE)
- PROP. STORM SEWER
- PROP. ROOF DRAIN
- EX. STORM SEWER
- PROP. FIRE WATER LINE
- PROP. DOMESTIC WATER LINE
- PROP. FIRE WATER SERVICE
- PROP. WATER MAIN
- PROP. IRRIGATION SERVICE

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

Chick-fil-A
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9-22-23

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SUMMIT FAIR FSU
CUSTOM PROJECT SOLUTIONS
690 NW BLUE PARKWAY
LEE'S SUMMIT, MO 64086

FSU# 02859

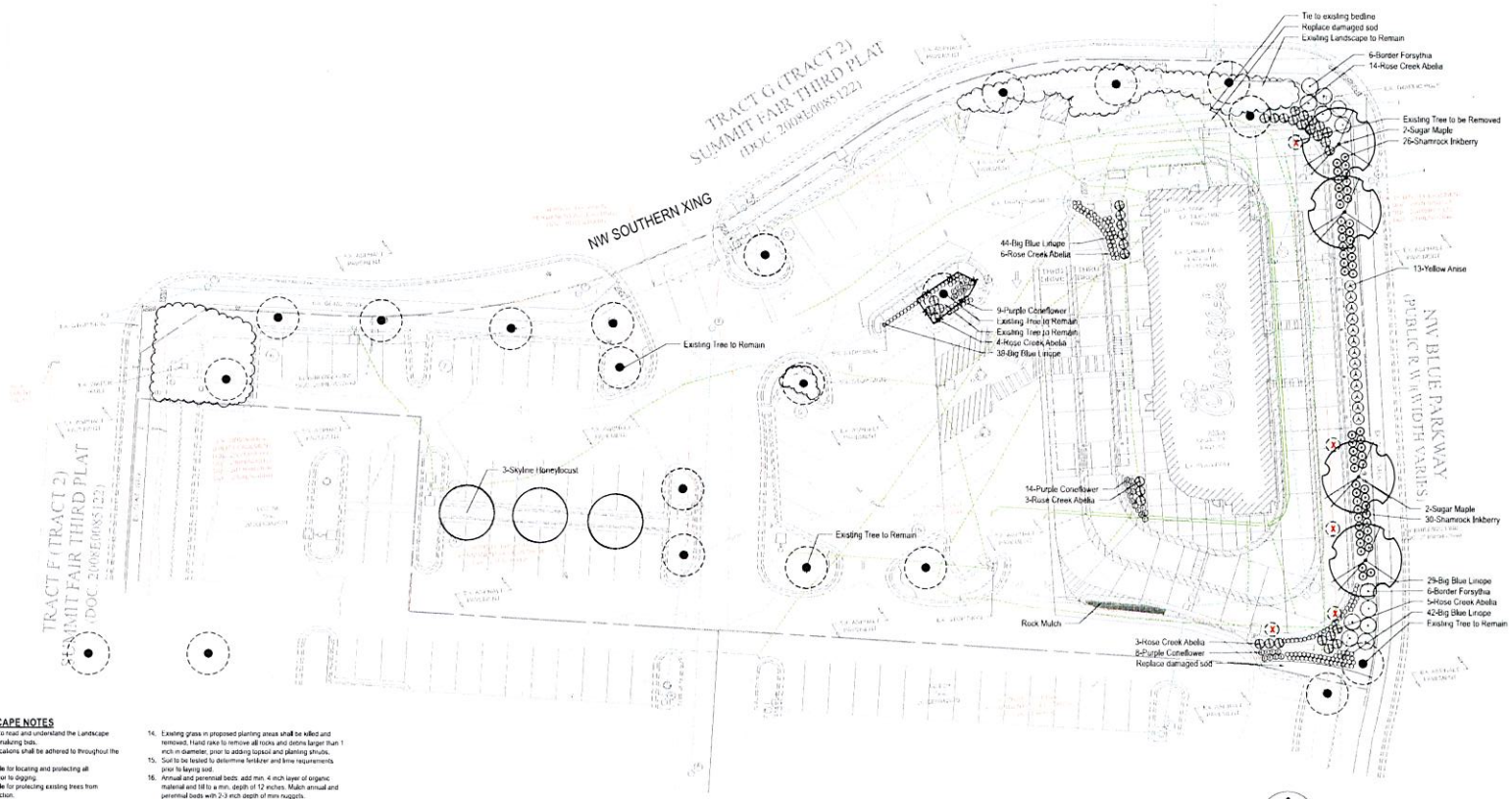
REVISION SCHEDULE
NO DATE DESCRIPTION

GBC PROJ CT #: 43255A
PRINTS DFOM: Permit
DATE: 9/23/23
DRAWN BY: DAN

SHEET: UTILITY PLAN

Permit

SHEET NUMBER: PS-100



MIDWEST LANDSCAPE NOTES

1. Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
2. Contractor is responsible for locating and protecting all underground utilities prior to digging.
3. Contractor is responsible for protecting existing trees from damage during construction.
4. All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
5. All tree protection areas to be protected from sedimentation.
6. All tree protection fencing to be inspected daily, and repaired or replaced as needed.
7. No parking, storage or other construction activities are to occur within tree protection areas.
8. All planting areas shall be cleaned of construction debris (ie, concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
9. General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
10. In all parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" berm height above island curbing, refer to landscape specifications and landscape island detail.
11. Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, mig/kich, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions. work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
12. Any deviations from the approved set of plans are to be approved by the Landscape Architect.
13. Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
14. Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
15. Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
16. Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
17. All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch. Rock Mulch to be provided around the building as shown and called out on the landscape plan. all other planting beds are to be mulched with double shredded hardwood mulch.
18. Planting holes to be dug a minimum of twice the width of the root ball for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
19. Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched, see Landscape Details.
20. Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentions to be repaired.
21. Water thoroughly twice in first 24 hours and apply mulch immediately.
22. The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
23. Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
24. Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
25. Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
26. Remove stakes and guying from all trees after one year from planting.

LANDSCAPE REQUIREMENTS

A. FRONTAGE LANDSCAPE

REQUIRED	1. (1) tree per 30 LF and (1) shrub per 20 LF of street frontage		
	NW Blue Pkwy: 205 LF / 30 LF x 1 tree	=	7 street trees required
	205 LF / 20 LF x 1 shrub	=	10 shrubs required
	NW Southern Xing: 456 LF / 30 LF x 1 tree	=	15 street trees required
	456 LF / 20 LF x 1 shrub	=	23 shrubs required
PROVIDED	1. NW Blue Pkwy: 3 tree existing, 4 sugar maple	=	7 street trees provided
	56 inkberry, 13 anise	=	69 shrubs provided
	NW Southern Xing: 10 tree existing	=	10 street trees existing
	23 shrubs existing	=	23 shrubs existing

B. INTERIOR LANDSCAPING

REQUIRED	1. (1) tree and (2) shrubs per 5,000 SF of area excluding building footprint		
	(62,330 SF - 4,477 SF of building) / 5,000 SF x 1 tree	=	12 trees required
	(62,330 SF - 4,477 SF of building) / 5,000 SF x 2 shrubs	=	23 shrubs required
PROVIDED	1. 8 tree existing, 3 honeylocust	=	11 trees provided
	23 shrubs existing	=	23 shrubs existing

C. PARKING LANDSCAPE

REQUIRED	1. 5% of parking area to be landscape area		
	40,449 SF x 5%	=	2,022 SF of landscape area required
PROVIDED	1. Landscape area	=	7,500 SF of landscape area provided

PLANT LIST

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
	Trees			
4	Acer saccharum 'Legacy'	Sugar Maple	3" Cal, 12' Hgt.	B & B
3	Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	3" Cal, 12' Hgt.	B & B
	Shrubs			
35	Abelia x chinensis 'Rose Creek'	Rose Creek Abelia	3 Gal.	
12	Forsythia x intermedia	Border Forsythia	3 Gal.	
56	Ilex glabra 'Shamrock'	Shamrock Inkberry	3 Gal.	
13	Illicium parviflorum	Yellow Anise	3 Gal.	
	Groundcovers			
31	Echinacea purpurea	Purple Coneflower	1 Gal.	Plant 24" O.C.
154	Liriope muscari 'Big Blue'	Big Blue Liriope	1 Gal.	Plant 18" O.C.
	Other			
73	Rock Mulch	Rock Mulch	SF.	See Specifications

IRRIGATION SYSTEM RETROFIT

1. Existing irrigation system shall be retrofitted to include 100% cover to all newly created landscaped areas.
2. Sprays and rotors shall be utilized on all sod and seedded areas.
3. Drip irrigation shall be utilized on all planting beds, shrubs, trees, and groundcover.
4. The Contractor shall be responsible to ensure new and existing irrigation components, and the system as a whole, are in proper working order.
5. Add valves, sprays, rotors, drip, and/or replace zones as needed to achieve proper coverage as required.
6. Only Hunter products shall be utilized
7. Mainline shall be 1.5" Cl.S.200 PVC.
8. Lateral lines shall be 1" Cl.S.200 PVC
9. Rain / freeze sensor shall be installed
10. Prior to final completion, the Irrigation Contractor shall perform a walk-thru inspection with the Owner, or Owners Representative.

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FSU# 02859

REVISION SCHEDULE
NO. DATE BY DESCRIPTION

MLD PROJECT #	2023214
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DRAWN BY	KCN

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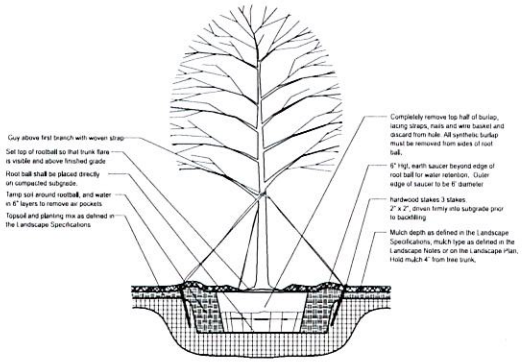
SHEET
Landscape Plan

PERMIT

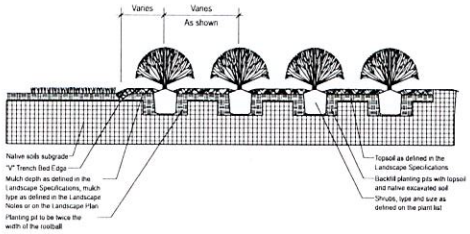
SHEET NUMBER
L-100



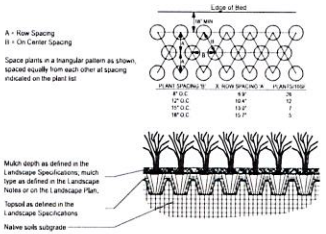
NOTE

1. Hole to be twice the width of the rootball.
2. Do not heavily prune tree at planting. Prune only crossover limbs, broken or dead branches. Do not remove the terminal buds of branches that extend to the edge of the crown.
3. Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4" away from trunk.
4. Remove Guy Wires and Staking when warranty period has expired (after one year).

1 **TREE PLANTING & STAKING**
SCALE: NTS



2 **SHRUB BED PLANTING DETAIL**
SCALE: NTS

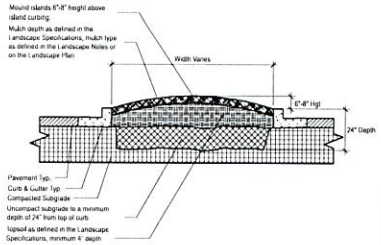


PLANT SPACING "B"	X ROW SPACING "A"	PLANTS/1000
8" O.C.	6.9"	26
12" O.C.	10.4"	12
15" O.C.	13.0"	7
18" O.C.	15.7"	5

NOTE

1. Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
2. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
3. Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

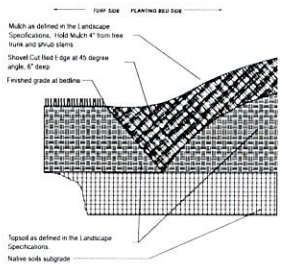
3 **GROUNDCOVER PLANTING DETAIL**
SCALE: NTS



NOTE

1. Clean construction debris from within landscape island areas (ie. concrete, rocks, rubble, building materials, ect), prior to installing topsoil and plant material.
2. Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum bermed 6"-8" height above island curbing.
3. Install plant material as per the Landscape Plan.
4. Install plant material as per tree, shrub and ground cover planting details, and as defined in the Landscape Specifications.
5. Install mulch or sod as specified on the Landscape Plan, and as defined in the Landscape Specifications.

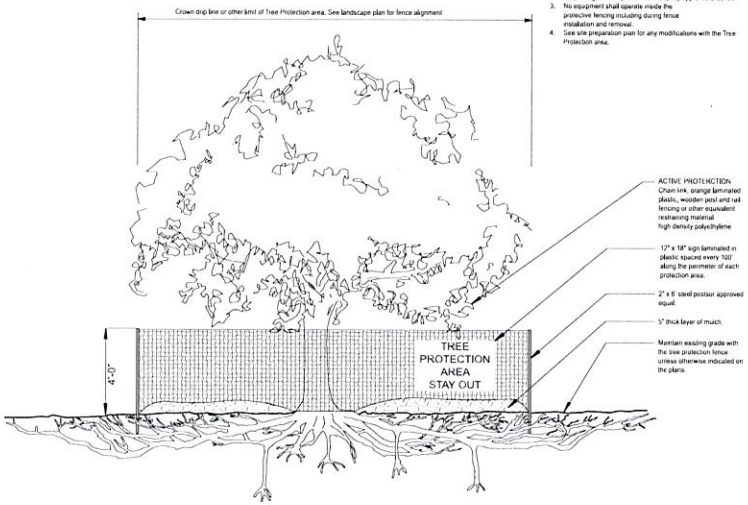
4 **PARKING ISLAND DETAIL**
SCALE: NTS



5 **"V" TRENCH BED EDGING**
SCALE: NTS

Notes

1. See notes for additional tree protection requirements.
2. No pruning shall be performed except by approved arborist.
3. No equipment shall operate inside the protective fencing including during fence installation and removal.
4. See site preparation plan for any modifications with the Tree Protection area.



6 **TREE PROTECTION FENCING DETAIL**
SCALE: NTS

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REVISION SCHEDULE
NO. DATE BY DESCRIPTION

MLD PROJECT #	2023216
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SHEET
Landscape Details

PERMIT

SHEET NUMBER
L-101

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION
Provide trees, shrubs, ground covers, sod, and annuals/perennials as shown and specified on the landscape plan. The work includes:
1. Soil preparation.
2. Trees, shrubs, ground covers, and annuals/perennials.
3. Planting mixes.
4. Top Soil, Mulch and Planting accessories.
5. Maintenance.
6. Decorative stone.

Related Work:
1. Irrigation System.

QUALITY ASSURANCE
Plant names indicated, comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.

Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock". A plant shall be dimensioned as it stands in its natural position.

All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

Nursery Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional cost, and providing that the larger plants will not be cut back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% are of the minimum size indicated and 75% are of the maximum size indicated.

Before submitting a bid, the Contractor shall have investigated the sources of supply and be satisfied that they can supply the listed plants in the size, variety and quality as specified. Failure to take this precaution will not relieve the Contractor from their responsibility for furnishing and installing all plant materials in strict accordance with the Contract Documents without additional cost to the Owner. The Landscape Architect shall approve any substitutes of plant material, or changes in plant material size, prior to the Landscape Contractor submitting a bid.

DELIVER, STORAGE AND HANDLING
Take all precautions customary in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray deciduous plants in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock. Protect all plants from drying out. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to the Landscape Architect. Water heeled-in plantings daily. No plant shall be bound with rope or wire in a manner that could damage or break the branches. Cover plants transported on open vehicles with a protective covering to prevent wind burn.

PROJECT CONDITIONS
Protect existing utilities, paving, and other facilities from damage caused by landscape operations.

A complete list of plants, including a schedule of sizes, quantities, and other requirements are shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.

The irrigation system will be installed prior to planting. Locate, protect and maintain the irrigation system during planting operations. Repair irrigation system components damaged during planting operations, at the Contractor's expense. Refer to the irrigation specifications, irrigation plan and irrigation details.

Do not begin landscape accessory work before completion of final grading or surfacing.

WARRANTY
Warrant plant material to remain alive, be healthy and in a vigorous condition for a period of 1 year after completion and final acceptance of entire project.

Replace, in accordance with the drawings and specifications, all plants that are dead or, are in an unhealthy, or unsightly condition, and have lost their natural shape due to dead branches, or other causes due to the Contractor's negligence. The cost of such replacement(s) is at the Contractor's expense. Warrant all replacement plants for 1 year after installation.

Warranty shall not include damage, loss of trees, plants, or ground covers caused by fires, floods, freezing rains, lightning storms, winds over 75 miles per hour, winter kill caused by extreme cold, severe winter conditions not typical of planting area, and/or acts of vandalism or negligence on a part of the Owner.

Remove and immediately replace all plants, found to be unsatisfactory during the initial planting installation.

Maintain and protect plant material, lawns, and irrigation until final acceptance is made.

ACCEPTANCE
Inspection of planted areas will be made by the Owner's representative.
1. Planted areas will be accepted provided all requirements, including maintenance, have been complied with and plant materials are alive and in a healthy, vigorous condition.

Upon acceptance, the Contractor shall commence the specified plant maintenance.

CODES, PERMITS AND FEES
Obtain any necessary permits for this Section of Work and pay any fees required for permits.

The entire installation shall fully comply with all local and state laws and ordinances, and with all established codes applicable thereto, also as depicted on the landscape and irrigation construction set.

PART 2 - PRODUCTS

MATERIALS
Plants: Provide typical of their species or variety; with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun scald injuries, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces. Plants held on storage will be rejected if they show signs of growth during the storage period.
1. Balled and plants wrapped with burlap, to have firm, natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock". Cracked or mushroomed balls, or signs of circling roots are not acceptable.
2. Container- grown stock: Grown in a container for sufficient length of time for the root system to have developed to hold its soil together, firm and whole.
   a. No plants shall be loose in the container.
   b. Container stock shall not be pot bound.
3. Plants planted in rows shall be matched in form.
4. Plants larger than those specified in the plant list may be used when acceptable to the Landscape Architect.
   e. If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant.
5. The height of the trees, measured from the crown of the roots to the top of the top branch, shall not be less than the minimum size designated in the plant list.
6. No pruning wounds shall be present with a diameter of more than 1" and such wounds must show vigorous bark on all edges.
7. Evergreen trees shall be branched to the ground or as specified in plant list.
8. Shrubs and small plants shall meet the requirements for spread and height indicated in the plant list.
   a. The measurements for height shall be taken from the ground level to the height of the top of the plant and not the longest branch.
   b. Single stemmed or thin plants will not be accepted.
   c. Side branches shall be generous, well-twigged, and the plant as a whole well-bushed to the ground.
   d. Plants shall be in a moist, vigorous condition, free from dead wood, bruises, or other root or branch injuries.

ACCESSORIES
Topsoil: Shall be Fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, roots, sticks, and other foreign materials, with acidity range of between pH 6.0 and 6.8.

Note: All planting areas shall be cleaned of construction debris (ie. Concrete, rubble, stones, building material, etc.) prior to adding and spreading of the top soil.
1. *Soil Areas:* Spread a minimum 4" layer of top soil and rake smooth.
2. *Planting bed areas:* Spread a minimum 4" layer of top soil and rake smooth.
3. *Landscape Islands/Medians:* Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum berm 6"-8" height above island curbing.
4. *Annual/Perennial bed areas:* Add a minimum of 4" organic matter and till to a minimum 12" depth.

Mulch: Type selected dependent on region and availability; see landscape plans for type of mulch to be used. Hold mulch 4" from tree trunks and shrub stems.
1. Hardwood: (color) dark brown, 6 month old well rotted double shredded native hardwood bark mulch not larger than 4" in length and ½" in width, free of wood chips and sawdust. Install mulch to a minimum depth of 3".
2. Pine Straw: Pine straw to be fresh harvest, free of debris, bright in color. Bales to be wired and lightly bound. Needles to be dry. Install minimum depth of 3".
3. River Rock: (color) light gray to buff to dark brown, washed river rock, 1" – 3" in size. Install in shrub beds to an even depth of 3". Weed control barrier to be installed under all rock mulch areas. Use caution during installation not to damage plant material.
4. Mini Nuggets: Install to a minimum depth of 2"-3" at all locations of annual and perennial beds. Lift the stems and leaves of the annuals and carefully spread the mulch to avoid injuring the plants. Gently brush the mulch off the plants.

Guying/Staking:
1. Arborite: Green (or white) staking and guying material to be flat, woven, polypropylene material, ¾" wide 900 lb. break strength. Arborite shall be fastened to stakes in a manner which permits tree movement and supports the tree.
2. Remove Guying/Staking after one year from planting.

Tree Wrap: Tree wraps should be used on young, newly planted thin-barked trees (Cherry, Crabapple, Honey Locust, Linden, Maple, Mountain Ash, Plum) that are most susceptible to sun scald/Sunburn. Standard waterproofed tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe Draft paper weighing not less than 30 lbs. per ream, cemented together with asphalt. Wrap the tree in the fall and leave the wrap in place throughout the winter and early spring. Tree wraps are temporary and no longer needed once trees develop corky bark.

PART 3 – EXECUTION

INSPECTION
Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve top soil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.

PREPARATION
Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.

Locate plants as indicated on the plans or as approved in the field after staking by the Landscape Contractor. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations until alternate plant locations have been selected and approved by the Landscape Architect; spacing of plant material shall be as shown on the landscape plan.

Excavate circular plant pits with vertical sides, except for plants specifically indicated to be planted in beds. Provide shrub pits at least 12" greater than the diameter of the root system and 24" greater for trees. Depth of pit shall accommodate the root system. Provide undisturbed sub grade to hold root ball at nursery grade as shown on the drawings.

INSTALLATION
Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set plant material 2" – 3" above the finish grade. No filling will be permitted around trunks or stems. Backfill the pit with topsoil mix and excavated material. Do not use frozen or muddy mixtures for backfilling. Form a ring of soil around the edge of each planting pit to retain water.

After balled and wrapped in burlap plants are set, muddle planting soil mixture around bases of balls and fill all voids.
1. Remove all burlap, ropes, and wires from the top 1/3 of the root ball

Space ground cover plants in accordance with indicated dimensions. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants. Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

Mulching:
1. Mulch tree and shrub planting pits and shrub beds with required mulching material (see landscape plan for mulch type); depth of mulch as noted above. Hold mulch back 4" away from tree trunks and shrub stems. Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.

Decorative Stone: (where indicated on landscape plan)
1. Install weed control barrier over sub-grade prior to installing stone. Lap 6" on all sides.
2. Place stone without damaging weed barrier.
3. Arrange stones for best appearance and to cover all weed barrier fabric.

Wrapping, guying, staking:
1. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before wrapping.
2. Wrapping:
   a. Wrap trunks of all young newly planted trees known to have thin bark. Wrap spirally from bottom to top with specified tree wrap and secure in place.
   b. Overlap ½ the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.
   c. Secure tree wrap in place with twine wound spirally downward in the opposite direction, tied around the tree in at least 3 places in addition to the top and bottom.
   d. Wrap the trees in the fall and leave the wrap in place throughout the winter and early spring.
   d. Tree wraps are temporary and no longer needed once the trees develop corky bark.
3. Staking/Guying:
   a. Stake/guy all trees immediately after lawn sodding operations and prior to acceptance.
   b. Stake deciduous trees 2" caliper and less. Stake evergreen trees under 7'-0" tall.
      1. Stakes are placed in line with prevailing wind direction and driven into undisturbed soil.
      2. Ties are attached to the tree, usually at the lowest branch.
   c. Guy deciduous trees over 2" caliper. Guy evergreen trees 7'-0" tall and over.
      1. Guy wires to be attached to three stakes driven into undisturbed soil, with one stake placed in the direction of the prevailing wind.
      2. Ties are attached to the tree as high as practical.
      3. The axis of the stake should be at 90 degree angle to the axis on the pull of the guy wire.
4. **Remove all guying and staking after one year from planting.**

Pruning:
1. Prune deciduous trees and evergreens only to remove broken or damaged branches.

WORKMANSHIP
During landscape/irrigation installation operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of installation operations, all excess materials, equipment, debris and waste material shall be cleaned up and removed from the site; unless provisions have been granted by the owner to use on-site trash receptacles. Sweep parking and walks clean of dirt and debris. Remove all plant tags and other debris from lawns and planting areas.

Any damage to the landscape, the structure, or the irrigation system caused by the landscape contractor shall be repaired by the landscape contractor without charge to the owner.

MAINTENANCE
Contractor shall provide maintenance until work has been accepted by the Owner's Representative.

Maintenance shall include mowing, fertilizing, mulching, pruning, cultivation, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants and lawns free of insects and disease.
1. Re-set settled plants to proper grade and position. Restore planting saucer and adjacent material and remove dead material.
2. repair guy wires and stakes as required. Remove all stakes and guy wires after 1 year.
3. Correct defective work as soon as possible after deficiencies become apparent and weather and season permit.
4. Water trees, plants and ground cover beds within the first 24 hours of initial planting, and not less than twice per week until final acceptance.

LANDSCAPE MAINTENANCE SPECIFICATIONS

The Contractor shall provide as a separate bid, maintenance for a period of 1 year after final acceptance of the project landscaping. The Contractor must be able to provide continued maintenance if requested by the Owner or provide the name of a reputable landscape contractor who can provide maintenance.

STANDARDS
All landscape maintenance services shall be performed by trained personnel using current, acceptable horticultural practices.

All work shall be performed in a manner that maintains the original intent of the landscape design.

All chemical applications shall be performed in accordance with current county, state and federal laws, using EPA registered materials and methods of application. These applications shall be performed under the supervision of a Licensed Certified applicator.

APPROVALS
Any work performed in addition to that which is outlined in the contract shall only be done upon written approval by the Owner's Representative (General Manager of the restaurant).

All seasonal color selections shall be approved by the General Manager prior to ordering and installation.

SOIL TESTING
The maintenance contractor shall perform soil tests as needed to identify imbalances or deficiencies causing plant material decline. The owner shall be notified of the recommendation for approval, and the necessary corrections made at an additional cost to the owner.

Acceptable Soil Test Results

	Landscape Trees and Shrubs	Turf
pH Range	5.0-7.0	6.0-7.0
Organic Matter	+1.0%	+2.5%
Magnesium (Mg)	100+lbs./acre	100+lbs./acre
Phosphorus (P2O5)	150+lbs./acre	150+lbs./acre
Potassium (K2O)	120+lbs./acre	120+lbs./acre
Soluble salts/ Conductivity	Not to exceed 900ppm/1.9 mmhos/cm in soil; not to exceed 1400 ppm/2.9 mmhos/cm in high organic mix	Not to exceed 750ppm/0.75 mmhos/cm in soil; not to exceed 2000 ppm/2.0 mmhos/cm in high organic mix

For unusual soil conditions, the following optional tests are recommended with levels not to exceed:

Boron	3 pounds per acre
Manganese	50 pounds per acre
Potassium (K2O)	450 pounds per acre
Sodium	20 pounds per acre

WORKMANSHIP
During landscape maintenance operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of maintenance operations, all debris and waste material shall be cleaned up and removed from the site, unless provisions have been granted by the owner to use on-site trash receptacles.

Any damage to the landscape, the structure, or the irrigation system caused by the maintenance contractor, shall be repaired by the maintenance contractor without charge to the owner.

TURF

GENERAL CLEAN UP
Prior to mowing, all trash, sticks, and other unwanted debris shall be removed from lawns, plant beds, and paved areas.

MOWING
Warm season grasses (i.e. Bermuda grass) shall be maintained at a height of 1" to 2" during the growing season.

Cool season grasses, including blue grass, tall fescue, perennial ryegrass, etc., shall be maintained at a height of 2" to 3" in spring and fall. From June through September, mowing height shall be maintained at no less than 3".

The mowing operation includes trimming around all obstacles, raking excessive grass clippings and removing debris from walks, curbs, and parking areas. Caution: Weed eaters should NOT be used around trees because of potential damage to the bark.

EDGING
Edging of all sidewalks, curbs and other paved areas shall be performed once every other mowing. Debris from the edging operations shall be removed and the areas swept clean. Caution shall be used to avoid flying debris.

LIMING & FERTILIZING
A soil test shall be taken to determine whether an application of limestone in late fall is necessary. If limestone is required, the landscape contractor shall specify the rate, obtain approval from the owner and apply it at an additional cost. A unit price for liming of turf shall accompany the bid based on a rate of 50 pounds per 1000 square feet.

Fertilizer shall be applied in areas based on the existing turf species.

LAWN WEED CONTROL: HERBICIDES
Selection and proper use of herbicides shall be the landscape contractor's responsibility. All chemical applications shall be performed under the supervision of a Licensed Certified Applicator. Read the label prior to applying any chemical.

INSECT & DISEASE CONTROL FOR TURF
The contractor shall be responsible for monitoring the site conditions on each visit to determine if any insect pest or disease problems exist. The contractor shall identify the insect pest or disease, as well as the host plant, and then consult the most current edition of the Cooperative Extension Service's "Commercial Insecticide Recommendation for Turf" for control. The licensed applicator shall be familiar with the label provided for the selected product prior to application.

Inspection and treatment to control insect pests shall be included in the contract price.

TREES, SHRUBS, & GROUND COVER

PRUNING
All ornamental trees, shrubs and ground cover shall be pruned when appropriate to remove dead or damaged branches, develop the natural shapes. Do not shear trees or shrubs. If previous maintenance practice has been to shear and ball, then a natural shape will be restored gradually.

Pruning Guidelines:
1. Prune those that flower before the end of June immediately after flowering. Flower buds develop during the previous growing season. Fall, winter or spring pruning would reduce the spring flowering display.
2. Prune those that flower in summer or autumn in winter or spring before new growth begins, since these plants develop flowers on new growth.
3. Delay pruning plants grown for ornamental fruits, such as cotoneasters, pyracanthas and viburnums.
4. Hollies and other evergreens may be pruned during winter in order to use their branches for seasonal decoration. However, severe pruning of evergreens should be done in early spring only.
5. Broadleaf evergreen shrubs shall be hand-pruned to maintain their natural appearance after the new growth hardens off.
6. Hedges or shrubs that require shearing to maintain a formal appearance shall be pruned as required. Dead wood shall be removed from sheared plants before the first shearing of the season.
7. Conifers shall be pruned, if required, according to their genus.
   A. Yews, junipers, hemlocks, arborvitae, and false-cypress may be pruned after new growth has hardened off in late summer. If severe pruning is necessary, it must be done in early spring.
   B. Firs and spruces may be lightly pruned in late summer, fall, or winter after completing growth. Leave side buds. Never cut central leader.
   C. Pines may be lightly pruned in early June by reducing candles.
8. Groundcover shall be edged and pruned as needed to contain it within its borders.
9. Thinning: Remove branches and water sprouts by cutting them back to their point of origin on parent stems. This method results in a more open plant, without stimulating excessive growth. Thinning is used on crepe myrtle, lilacs, viburnums, smoke bush, etc.
10. Renewal pruning. Remove oldest branches of shrub at ground, leaving the younger, more vigorous branches. Also remove weak stems. On overgrown plants, this method may be best done over a three-year period. Renewal pruning may be used on abelia, forsythia, deutzia, spiraea, etc.

Plants overhanging passageways and parking areas and damaged plants shall be pruned as needed.

Shade trees that cannot be adequately pruned from the ground shall not be included in the Maintenance Contract. A certified arborist under a separate contract shall perform this type of work.

SPRING CLEANUP
Plant beds shall receive a general cleanup before fertilizing and mulching. Cleanup includes removing debris and trash from beds and cutting back herbaceous perennials left standing through winter, e.g. ornamental grasses, Sedum Autumn Joy.

FERTILIZING
For trees, the rate of fertilization depends on the tree species, tree vigor, area available for fertilization, and growth stage of the tree. Mature specimens benefit from fertilization every 3 to 4 years; younger trees shall be fertilized more often during rapid growth stages.

The current recommendation is based on the rate of 1000 square feet of area under the tree to be fertilized. For deciduous trees, 2 to 6 pounds of Nitrogen per 1000 square feet; for narrow-leaf evergreens, 1 to 4 pounds of Nitrogen per 1000 square feet; for broadleaf evergreens, 1 to 3 pounds of Nitrogen per 1000 square feet.

Shrubs and groundcover shall be top-dressed with compost 1" deep, or fertilized once in March with 10-6-4 analysis fertilizer at the rate of 3 pounds per 100 square feet of bed area. Ericaceous material shall be fertilized with an ericaceous fertilizer at the manufacturer's recommendation rate. If plants are growing poorly, a soil sample should be taken.

MULCHING
Annually, all tree and shrub beds will be prepared and mulched, to a minimum depth of 3" with quality mulch to match existing. Bed preparation shall include removing all weeds, cleaning up said bed, edging and cultivating decayed mulch into the soil. Debris from edging is to be removed from beds where applicable. If deemed necessary, a pre-emergent herbicide may be applied to the soil to inhibit the growth of future weeds.

Organically maintained gardens shall not receive any pre-emergent herbicides. Mulch in excess of 4" will be removed from the bed areas. SPECIAL CARE shall be taken in the mulching operation not to over-mulch or cover the base of trees and shrubs. This can be detrimental to the health of the plants.

WEEDING
All beds shall be weeded on a continuous basis throughout the growing season to maintain a neat appearance at all times.

Pre-emergent (soil-applied) and post-emergent (foliar-applied) herbicides shall be used where and when applicable and in accordance with the product's label.

INSECT & DISEASE CONTROL: TREES, SHRUBS & GROUNDCOVER

The maintenance contractor shall be responsible for monitoring the landscape site on a regular basis. The monitoring frequency shall be monthly except for growing season, which will be every other week. Trained personnel shall monitor for plant damaging insect activity, plant pathogenic diseases and potential cultural problems in the landscape. The pest or cultural problem will be identified under the supervision of the contractor.

For plant damaging insects and mites identified in the landscape, the contractor shall consult and follow the recommendations of the most current edition of the state Cooperative Service publication on insect control on landscape plant material.

Plant pathogenic disease problems identified by the contractor that can be resolved by pruning or physical removal of damaged plant parts will be performed as part of the contract. For an additional charge, plant pathogenic diseases that can be resolved through properly timed applications of fungicides shall be made when the owner authorizes it.

If the contractor notes an especially insect-or disease-prone plant species in the landscape, he/she will suggest replacement with a more pest-resistant cultivar or species that is consistent with the intent of the landscape design.

NOTE: For identification of plant-damaging insects and mites, a reference textbook that can be used is *Insects that feed on Trees and Shrubs* by Johnson and Lyon, Comstock Publishing Associates. For plan pathogenic diseases, two references are suggested: *Scouting and Controling Woody Ornamental Diseases in Landscapes and Nurseries*, authorized by Gary Moorman, published by Penn State College of Agricultural Sciences, and *Diseases of Trees and Shrubs* by Sinclair and Lyon, published by Comstock Publishing Press.

TRASH REMOVAL
The maintenance contractor shall remove trash from all shrub and groundcover beds with each visit.

LEAF REMOVAL
All fallen leaves shall be removed from the site in November and once in December. If requested by the owner, the maintenance contractor, at an additional cost to the owner shall perform supplemental leaf removals.

WINTER CLEAN-UP
The project shall receive a general clean-up once during each of the winter months, i.e., January, February, and March.

Clean-up includes:
- Cleaning curbs and parking areas
- Removing all trash and unwanted debris
- Turning mulch where necessary
- Inspection of grounds

SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS

The installation of perennials, annuals, and bulbs, unless specified herein, shall be reviewed with the owner, and, if accepted, installed and billed to the owner.

SEASONAL COLOR MAINTENANCE

Perennialization of Bulbs:
1. After flowering, cut off spent flower heads.
2. Allow leaves of daffodils and hyacinths to remain for six weeks after flowers have faded. Cut off at base.
3. Allow leaves of other bulbs to yellow naturally and then cut off at base.
4. Apply fertilizer after flowering in spring, possibly again in fall. Apply 10-10-10 at the rate of 2 pounds per 1000 square feet, or top-dress with compost 1" deep. Fall fertilization with a bulb fertilizer or mulching with 1" of compost is optional.

Flower Rotation:
1. Bulbs: Remove the entire plant and bulb after flowers have faded or at the direction of the owner, and install new plants if included in contract.
2. Summer Annuals or Fall Plants:
   a. Dead heading: Pinch and remove dead flowers on annuals as necessary.
   b. Fertilizing Summer Annuals: Fertilize using one or two methods. Apply a slow-release fertilizer in May following manufacturer's recommendations. A booster such as 10-10-10 may be necessary in late summer. Or, apply liquid fertilizations of 20-20-20 water-soluble fertilizers, not to exceed 2 pounds of 20-20-20 per 100 gallons of water, monthly; or mulch with compost 1" deep.
   c. Removal: If fall plants are to be installed, summer annuals shall be left in the ground until the first killing frost and then removed, unless otherwise directed by the owner.

Perennials:
1. After initial installation, if a time-released fertilizer has been incorporated during plant installation, no more fertilizer need be applied the first growing season.
2. The following year:
   a. Fertilize perennials with a slow-release fertilizer or any 50% organic fertilizer, or bulb perennials with compost 1" deep.
   b. Cut all deciduous perennials flush to the ground by March 1, if this was not done the previous fall, to allow new growth to develop freely.
   c. Mulch the perennial bed once in early spring at 1"-2" depth. If soil is bared in late fall, re-mulch lightly after ground is frozen to protect perennials.
   d. Inspect for insect or disease problems on perennials. Monitor and control slugs on hostas and ligularias. Powdery mildew on phlox, monardas, and asters can be prevented with properly timed fungicides or use of disease-resistant varieties.
   e. Weed perennial bed as specified in "WEEDING" above.
   f. Prune branching species to increase density. Cut only the flowering stems after blooming. Do not remove the foliage.
3. The following fall cut back deteriorating plant parts unless instructed to retain for winter interest, e.g. Sedum Autumn Joy and ornamental grasses.
4. Long-term Care:
   a. Divide plants that overcrowd the space provided. Divide according to the species. Some need frequent dividing, e.g. asters and yarrow every two years; other rarely, if ever, e.g. peonies, hosta, and astilbe.
   b. For detailed information regarding the care of specific perennials, refer to *All About Perennials by Ortho, Perennials: How to Select, Grow and Enjoy* by Pamela Harper and Frederick McGourty, Hp Books Publisher, *Herbaceous Perennial Plants: A Treatise on their Identification, Culture and Garden Attributes* by Allan Armitage, Stipes Pub LLC.

SUMMARY OF MAINTENANCE

LAWN MAINTENANCE
1. Soil analysis performed annually to determine pH. If pH does not fall within specified range, adjust according to soil test recommendations.
2. Maintain proper fertility and pH levels of the soil to provide an environment conducive to turf vitality for cool season grasses
3. Mow warm and cool season on a regular base and as season and weather dictates. Remove no more than the top 1/3 of just blade. Clippings on paved and bed areas will be removed.
4. Aerate warm season turf areas to maintain high standards of turf appearance.
5. Apply pre-emergent to turf in two applications in early February and early April to extend barrier.
6. Apply post emergent as needed to control weeds.
7. Mechanically edge curbs and walks.
8. Apply non-selective herbicide, to mulched bed areas and pavement and remove excess runners to maintain clean defined beds.

TREE, GROUNDCOVER, AND SHRUB BED MAINTENANCE
1. Prune shrubs, trees and groundcover to encourage healthy growth and create a natural appearance.
2. Mulch to be applied in February/March with a half rate in late summer to top dress.
3. Apply pre-emergent herbicides in February and April.
4. Manual weed control to maintain clean bed appearance.
5. Apply fungicides and insecticides as needed to control insects and disease.
6. Ornamental shrubs, trees and groundcovers to be fertilized three (3) times per year with a balanced material (January/February, April/May, and October/November)
7. Edge all mulched beds.
8. Remove all litter and debris.

GENERAL MAINTENANCE
1. Remove all man-made debris, blow edges.
2. Inspect grounds on a monthly basis and schedule inspection with Unit Operator.

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REVISION SCHEDULE
NO. DATE BY DESCRIPTION

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Landscape & Maintenance Specifications

SHEET NUMBER
L-102