

AN ORDINANCE APPROVING A REZONING FROM DISTRICT PO (PLANNED OFFICE DISTRICT) TO RP-4 (PLANNED APARTMENT RESIDENTIAL DISTRICT) AND PRELIMINARY DEVELOPMENT PLAN FOR CLOVER COMMUNITIES LEE'S SUMMIT, ON APPROXIMATELY 7.04 ACRES OF LAND LOCATED AT 830, 840 & 900 NE DOUGLAS ST, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2023-120 submitted by Clover Communities Lee's Summit, LLC, requesting approval of a rezoning from PO (Planned Office District) to RP-4 (Planned Apartment Residential District) and preliminary development plan on land located at 830, 840 & 900 NE Douglas St, was referred to the Planning Commission to hold a public hearing; and

WHEREAS, the Unified Development Ordinance provides for the approval of a rezoning and preliminary development plan by the City following public hearings by the Planning Commission and City Council; and

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the rezoning and preliminary development plan on October 12, 2023, and rendered a report to the City Council recommending that the rezoning and preliminary development plan be approved; and

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 7, 2023, and rendered a decision to approve the rezoning and preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a rezoning and preliminary development plan is hereby approved on the following described property:

TRACT 1:

THE SOUTH 3 ACRES OF THE SOUTH HALF OF LOT 4, SUMMIT PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, MORE SPECIFICALLY DESCRIBED AS BEING ALL OF THE SOUTH 210.6 FEET OF LOT 4, SUMMIT PARK, EXCEPT THAT PART TAKEN OR USED FOR ROADS.

TRACT 2:

THE NORTH TWO ACRES OF THE SOUTH 1/2 OF LOT 4, SUMMIT PARK, A SUBDIVISION OF LAND IN JACKSON COUNTY, MISSOURI.

AND

THE NORTH 1/2 OF LOT 4, EXCEPT THE NORTH 3 ACRES THEREOF, IN SUMMIT PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

SECTION 2. That the following conditions of approval apply:

1. A modification of UDO Sec. 6.030, Table 6-2, Density, shall be granted to allow 19.6 units per acre for the RP-4 district instead of 12 units to the acre.
2. A modification of UDO Sec. 6.030, Table 6-2, Minimum Lot Size, shall be granted to allow a minimum lot size of 2393 sf. per unit for the RP-4 district instead of 3,500 sf. per unit.
3. A minimum of 0.046 in. (.46 mm) vinyl siding shall be used on the exterior of the structures.
4. Development shall be in accordance with the preliminary development plan dated August 28, 2023, and the elevations dated August 15, 2023.
5. Development shall be in accordance with the Transportation Impact Analysis by Erin Ralovo, PE, dated October 5, 2023.
6. The Developer shall execute a mutually satisfactory development agreement with the City, which addresses, at a minimum, road improvements recommend in the Transportation Impact Analysis dated October 15, 2023.

SECTION 3. That rezoning of the property from PO to district RP-4 shall be as depicted on the rezoning map included in the plan and development shall be in accordance with the preliminary development plan set dated August 28, 2023, appended hereto as Attachment A. Elevations, dated August 15, 2023, appended hereto as Attachment B.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

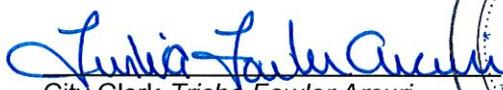
SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 14th day of November, 2023.



Mayor William A. Baird

ATTEST:



City Clerk Trisha Fowler Arcuri



APPROVED by the Mayor of said city this 16th day of November, 2023.



Mayor William A. Baird

ATTEST:



City Clerk Trisha Fowler Arcuri



APPROVED AS TO FORM:



City Attorney Brian Head



**REZONING AND PRELIMINARY
DEVELOPMENT PLANS**

**LEE'S SUMMIT SENIOR APARTMENTS
830-900 NE DOUGLAS STREET
LEE'S SUMMIT, MO**

OWNER:
JIM AND LINDA TUCKER, AS TRUSTEES OF THE
TUCKER FAMILY AND PHILIP T. AND LAMAR
TUCKER, AS TRUSTEES OF THE TUCKER FAMILY

APPLICANT/DEVELOPER:
CLOVER COMMUNITIES LEE'S SUMMIT LLC
348 HARRIS HILL ROAD
WILLIAMSVILLE, MO 64092
CONTACT: RUSSELL CAPLIN, DEVELOPMENT DIRECTOR
PHONE: 314-216-2110

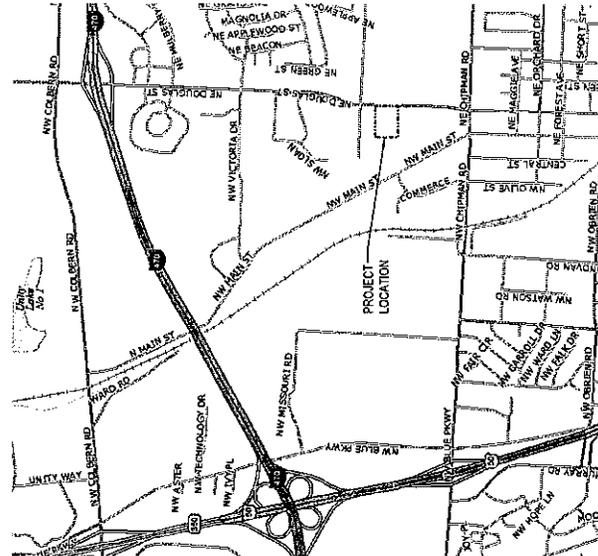
ENGINEER:
ERIC DANIEL, P.E.
C&S ENGINEERS, INC.
141 ELM STREET, SUITE 100
BUFFALO, NEW YORK 14203
716-447-1630

SURVEYOR:
PHELPS ENGINEERING, INC.
1770 N. WINCHESTER
OLATH, KANSAS 64061
913-393-1155

C&S PROJECT: F53.519.002

AUGUST 2023

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C&S COMPANIES
C&S Engineers, Inc.
 141 Elm Street, Suite 100
 Burlington, NJ 08016
 Phone: 762-947-1630
 Fax: 762-947-1454
 Professional Engineering
 Certificate No. 208028910



Eric J. Daniels, P.E.
 License No. 208028910
 Date: 08/28/2024

**LEE'S SUMMIT
 SENIOR APARTMENTS
 830-900 NE DOUGLAS STREET
 LEES SUMMIT, MO**

MARK	DATE	DESCRIPTION
		REVISIONS
		PROJECT NO.: F3370.002
		DATE: AUGUST 28, 2023
		DRAWN BY: S. SCHREIBER
		DESIGNED BY: E. DANIEL
		CHECKED BY: E. DANIEL

**REZONING
 MAP**

G-100

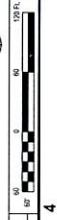


LEGAL DESCRIPTION

TRACT 1:
 THE SOUTH 1/2 OF THE SOUTH 1/4 OF LOT 4, SUMMIT PARK, A SUBDIVISION IN LEES SUMMIT, JACKSON COUNTY, MISSOURI, BEING THE SOUTH 1/2 OF THE SOUTH 1/4 OF LOT 4, SUMMIT PARK, LOTS 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 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989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

ZONING LEGEND

- R-4 (PLANNED APARTMENT RESIDENTIAL)
- PROPOSED R-4 (PLANNED RESIDENTIAL APARTMENT)
- PO (PLANNED OFFICE)
- R-1 (SINGLE FAMILY RESIDENTIAL)



A1 REZONING MAP
 DATE: 08/28/2024

C&S COMPANIES
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 141 Elm Street, Suite 100
 Portland, ME 04101
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 Certificate No. 260929910

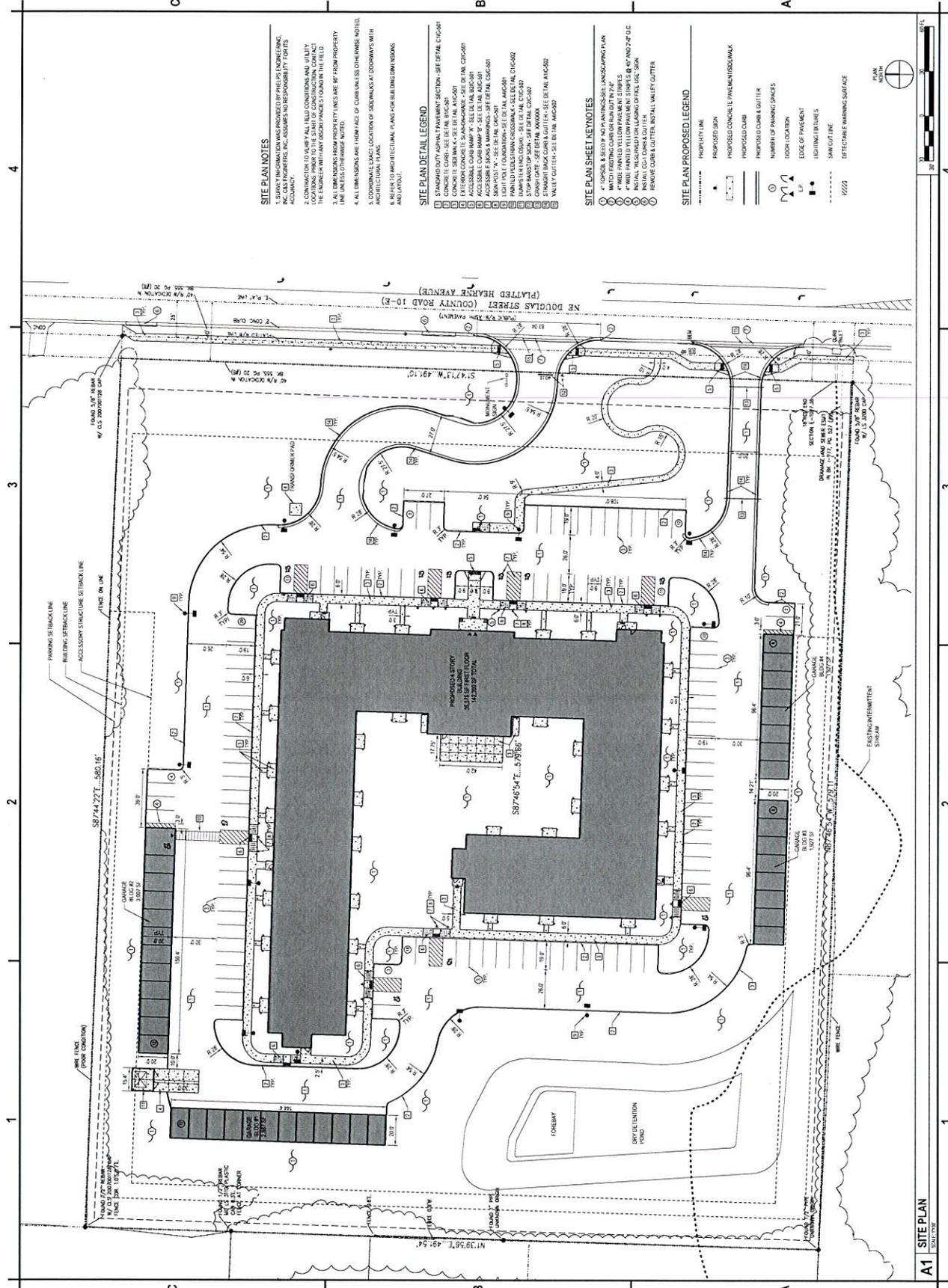


File: J. Danahy
 Project: C-102-300829
 Date: 09/26/2023

**LEE'S SUMMIT
 SENIOR APARTMENTS
 830-900 NE DOUGLAS STREET
 LEE'S SUMMIT, MO**

MARK	DATE	DESCRIPTION
		PREPARED
		PROJECT NO. 233731E
		PROJECT TITLE: SENIOR APARTMENTS
		DESIGNED BY: E. DANIEL
		CHECKED BY: E. DANIEL

SITE PLAN
 C-102



1 2 3 4

A B C

A1 SITE PLAN
 SCALE: 1"=20'

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 Fax: 716-847-1631
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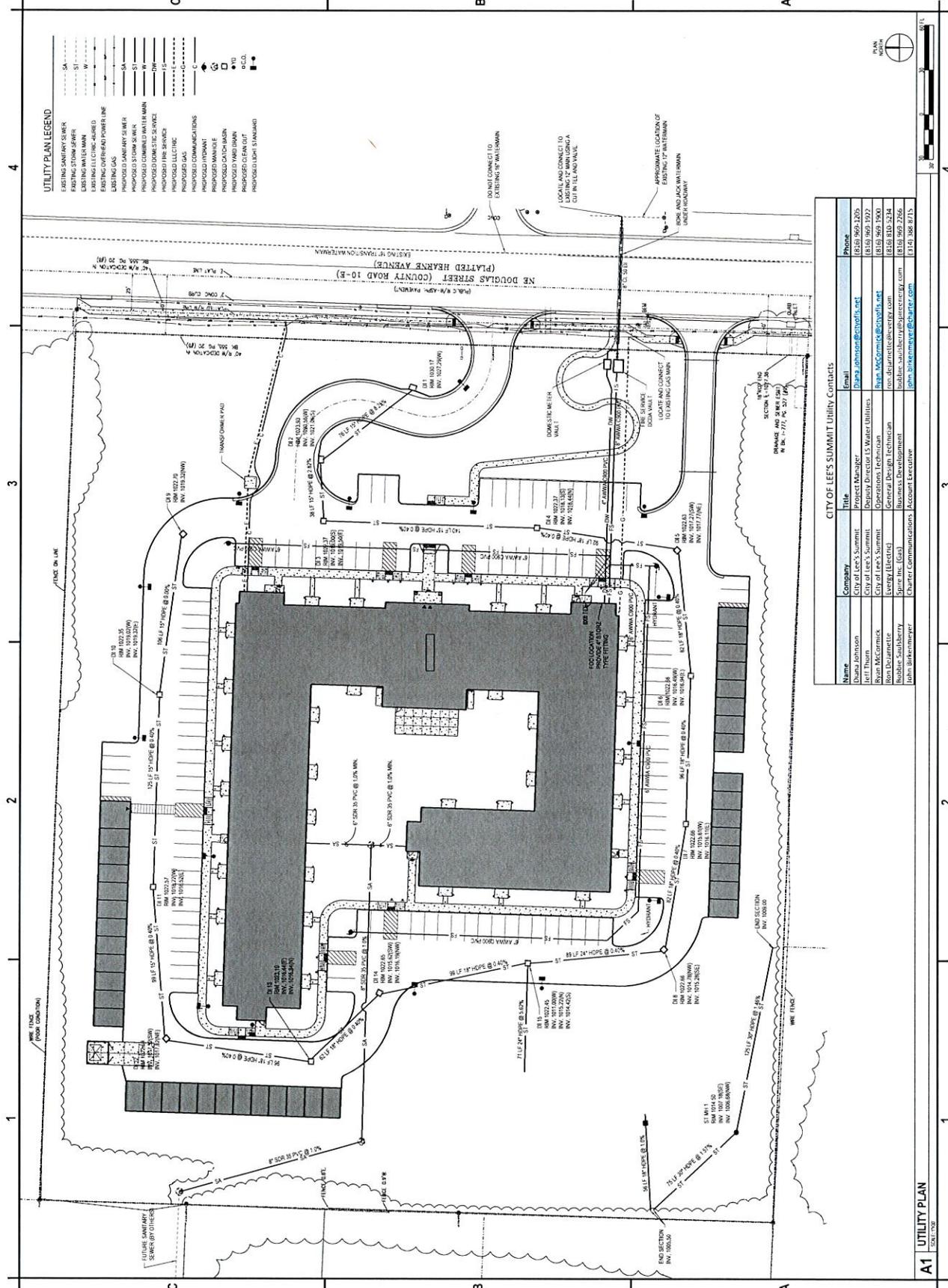
Eric J. Dinnley, P.E.
 License No. 70002028970
 Date: 09/28/2023

**LEE'S SUMMIT
 SENIOR APARTMENTS
 830-900 NE DOUGLAS STREET
 LEES SUMMIT, MO**

MARK	DATE	DESCRIPTION
PROJECT NO.	23-033	23-033
DRAWN BY	CG	CG
DESIGNED BY	E. DANNE	E. DANNE
CHECKED BY	E. DANNE	E. DANNE

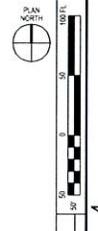
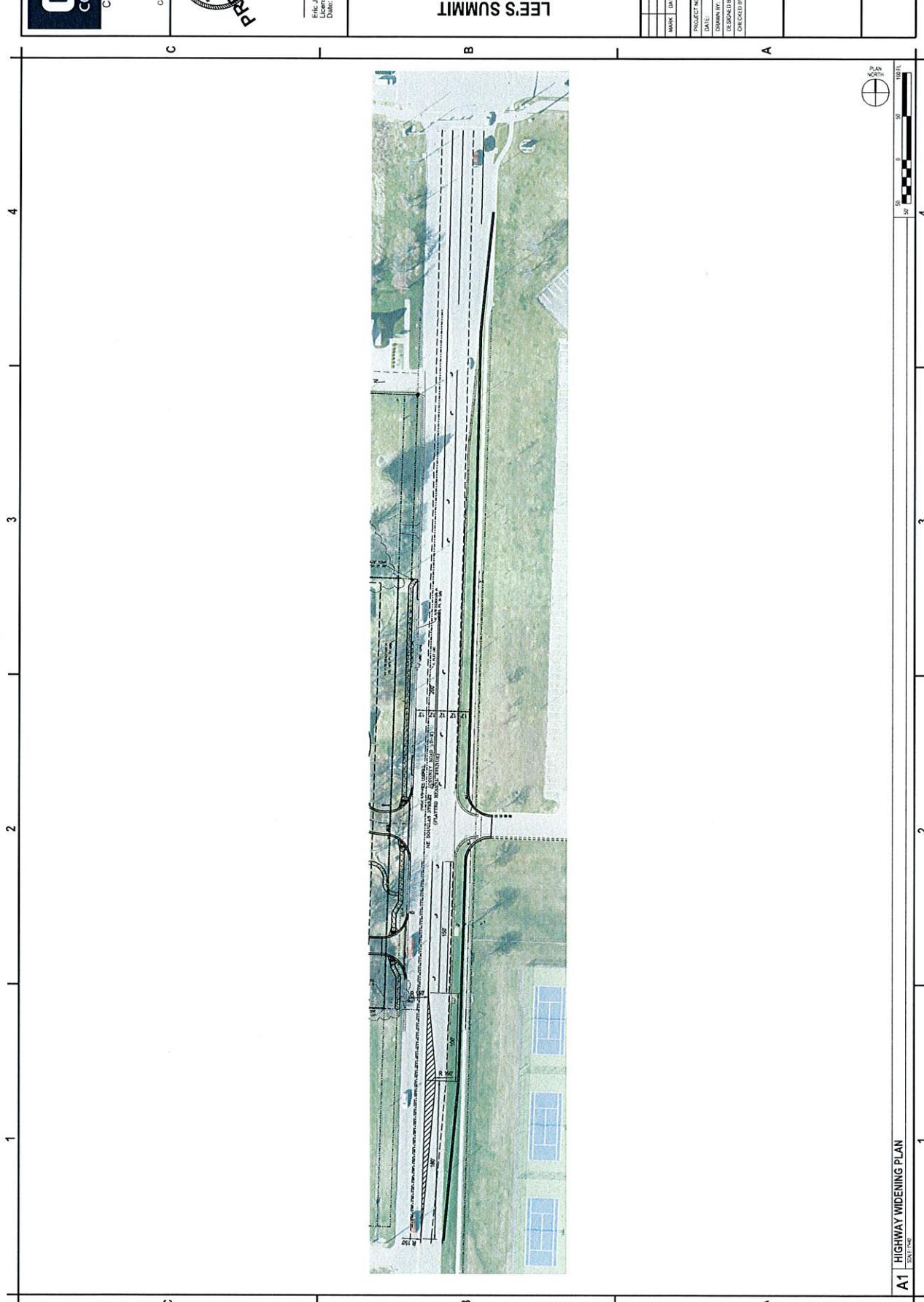
UTILITY PLAN

C-104



CITY OF LEE'S SUMMIT UTILITY CONTACTS

Name	Company	Title	Email	Phone
Eric J. Dinnley	C&S Engineers, Inc.	Project Manager	Eric.Dinnley@cs-engineers.com	(816) 869-1205
John Birkenmeier	City of Lee's Summit	City Engineer	John.Birkenmeier@leesummitmo.gov	(816) 869-1840
Ryan McCormick	City of Lee's Summit	Operations Technician	Ryan.McCormick@leesummitmo.gov	(816) 810-5244
Benjamin Salsbery	Spine Inc. (Gas)	Business Development	benjamin.salsbery@spineinc.com	(816) 869-2766
John Birkenmeier	Charter Communications	Account Executive	john.birkenmeier@charter.com	(314) 388-8715



A1 HIGHWAY WIDENING PLAN
SCALE

C&S COMPANIES
C&S Engineers, Inc.
 141 Elm Street, Suite 100
 Elm Street, Suite 100
 Providence, RI 02903
 Phone: 781-827-1630
 Fax: 781-827-1630
 www.ccs.com
 Professional Engineering
 Certificate No. 2608229910



E. J. Daniels, P.E.
 License No. 2608229910
 Date: 08/28/2023

**LEE'S SUMMIT
 SENIOR APARTMENTS
 830-900 NE DOUGLAS STREET
 LEE'S SUMMIT, MO**

NO.	DATE	DESCRIPTION
1		PRELIMINARY

PROJECT NO. 25370302
 DRAWN BY: E. DANIELS
 CHECKED BY: E. DANIELS
 DESIGNED BY: E. DANIELS

HIGHWAY
 WIDENING
 PLAN

C-108



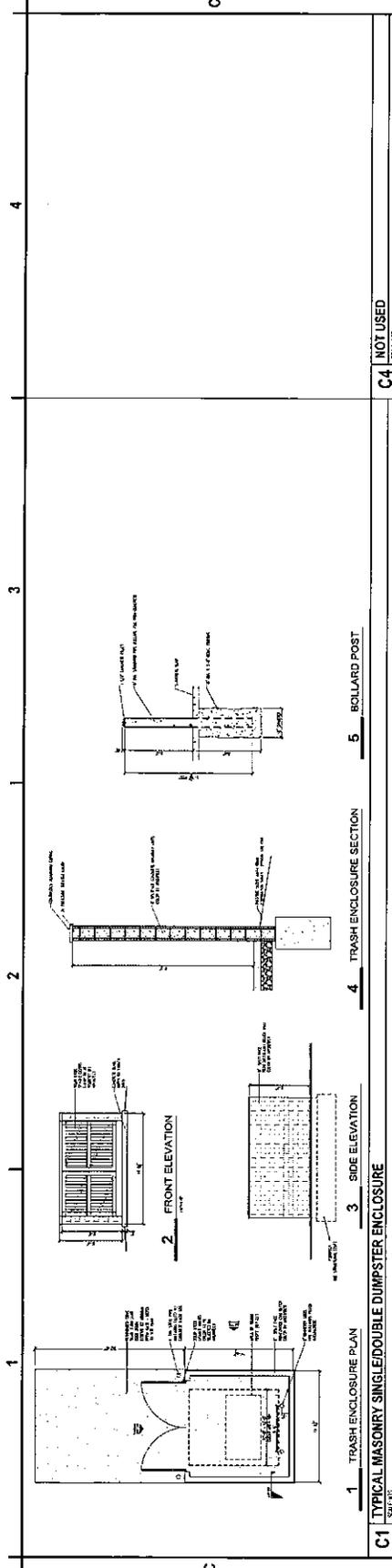
Fig. J. Daniel P. E.
 License No. 13000829
 Date: 08/28/2022

LEE'S SUMMIT
SENIOR APARTMENTS
830-900 NE DOUGLAS STREET
LEE'S SUMMIT, MO

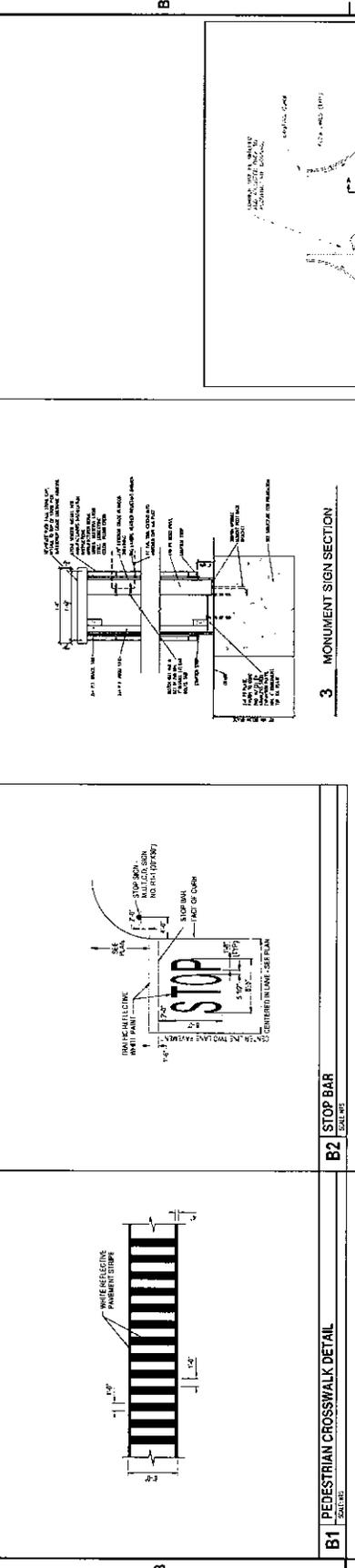
MARK	DATE	DESCRIPTION
		REVISIONS
		PROJECT NO. RESIDENCE
		DATE: AUGUST 22, 2022
		DESIGNED BY: S. SCHREIBER
		CHECKED BY: S. SCHREIBER
		DRAWN BY: S. SCHREIBER

SITE DETAILS

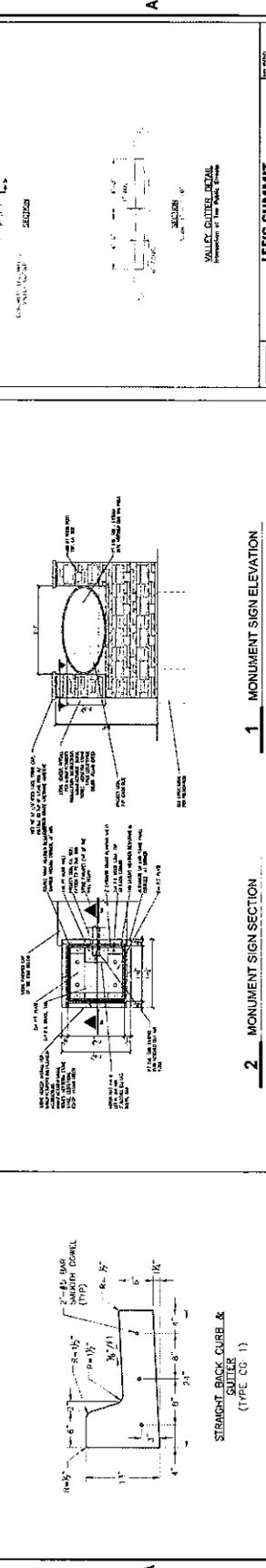
C-502



C1 TYPICAL MASONRY SINGLE DOUBLE DUMPSTER ENCLOSURE
 SCALE: 1/8" = 1'-0"

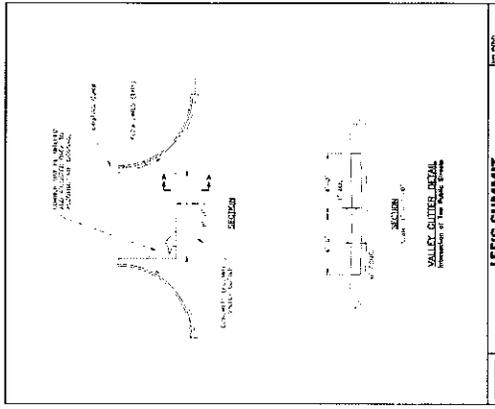


B1 PEDESTRIAN CROSSWALK DETAIL
 SCALE: 1/8" = 1'-0"



A1 STRAIGHT BACK CURB & GUTTER
 SCALE: 1/8" = 1'-0"

A2 MONUMENT SIGN SECTION AND ELEVATIONS
 SCALE: 1/8" = 1'-0"



A4 VALLEY GUTTER DETAIL
 SCALE: 1/8" = 1'-0"

IS LEE'S SUMMIT
 830-900 NE DOUGLAS STREET
 LEES SUMMIT, MO 64086
 VALLEY GUTTER DETAIL
 GEN-7
 DATE: 08/28/2022

1 2 3 4

C B A

C4 NOT USED SCALE: 1/8" = 1'-0"

A4 MANHOLE WALL CONNECTION SCALE: 1/8" = 1'-0"

C3 NOT USED SCALE: 1/8" = 1'-0"

A3 STANDARD SANITARY PRECAST MANHOLE SCALE: 1/8" = 1'-0"

C2 NOT USED SCALE: 1/8" = 1'-0"

A2 NOT USED SCALE: 1/8" = 1'-0"

B1 NOT USED SCALE: 1/8" = 1'-0"

B2 NOT USED SCALE: 1/8" = 1'-0"

A1 NOT USED SCALE: 1/8" = 1'-0"

C1 NOT USED SCALE: 1/8" = 1'-0"

B A

LEE'S SUMMIT SENIOR APARTMENTS 830-900 NE DOUGLAS STREET LEES SUMMIT, MO

PROJECT NO: C5531007
 DATE: 08/28/2023
 CHECKED BY: E. J. DUNN

LEES SUMMIT SENIOR APARTMENTS
 830-900 NE DOUGLAS STREET
 LEES SUMMIT, MO

PRELIMINARY

C&S COMPANIES
 C&S Engineers, Inc.
 141 Elm Street, Suite 100
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 Fax: 781-947-1830
 www.candse.com
 Professional Engineering
 Certificate No. 2006008910

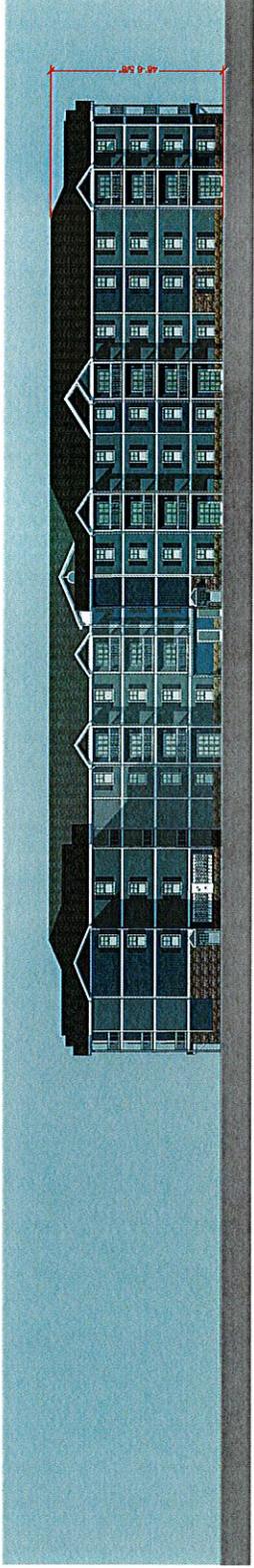
LEES SUMMIT MISSOURI
 STANDARD SANITARY PRECAST MANHOLE
 MANHOLE WALL CONNECTION
 SAN-5

LEES SUMMIT MISSOURI
 STANDARD SANITARY PRECAST MANHOLE
 SAN-2

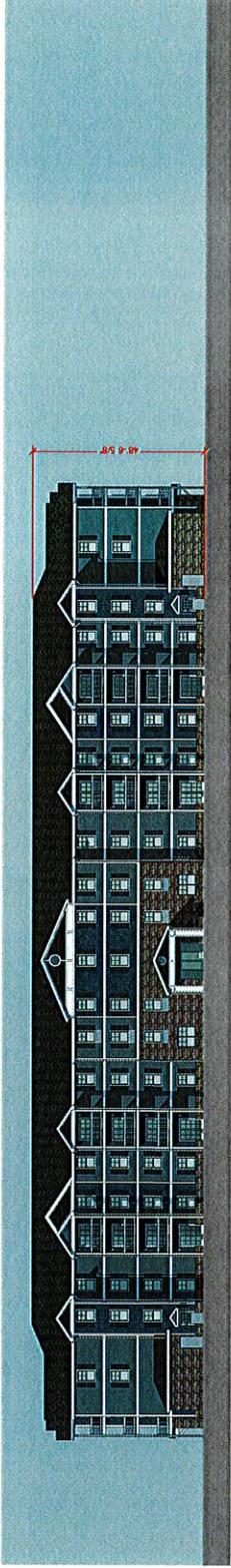
MANHOLE WALL CONNECTION
 SCALE: 1/8" = 1'-0"

STANDARD SANITARY PRECAST MANHOLE
 SCALE: 1/8" = 1'-0"

NOT USED SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/16"=1'



EAST ELEVATION (MAIN ENTRANCE)
SCALE 1/16"=1'

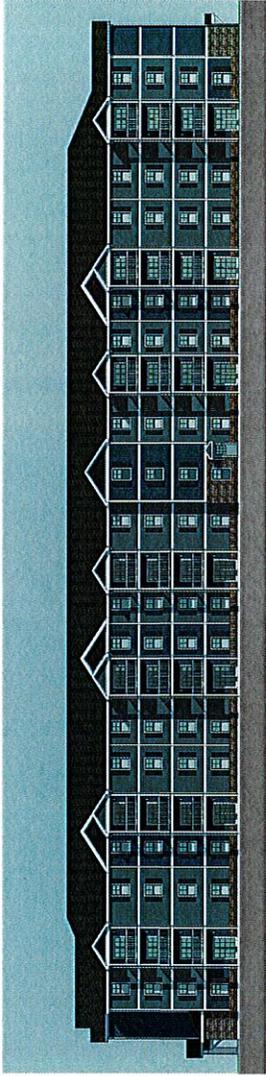


- ASPHALT SHINGLE ROOF - TAMKO, HERITAGE PREMIUM (AGE WOOD)
- VINYL SHAKE SIDING - CERTAINTED 9" STAGGERED ROUGH-SPLIT SHAKES (SABLE BROWN)
- VINYL SHUTTERS - MID AMERICA COMPONENTS, STANDARD LOUVER SHUTTER, COLOR BORDEAUX (167)
- VINYL TRIM AND ACCESSORIES - PVC BOARDS AND SHEET (WHITE)
- VINYL BOARD & BATTEN SIDING - CERTAINTED 7" ROUGH CEDAR SHIP LAP (PACIFIC BLUE)
- VINYL LAP SIDING - CERTAINTED MAINSTREET 4" WOODGRAIN DUTCH LAP (CASTLE STONE)
- STONE - VERSETTA, LEDGESTONE, PLUM CREEK #9005188E

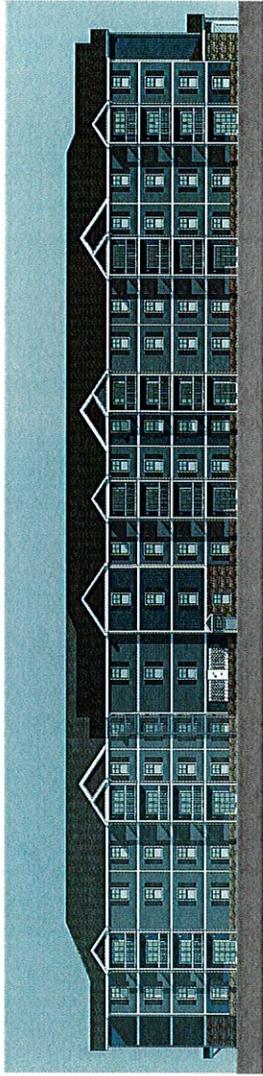
ENLARGED WEST ELEVATION
SCALE 3/16"=1'

CLOVER SENIOR LIVING, LEE SUMMIT, MO

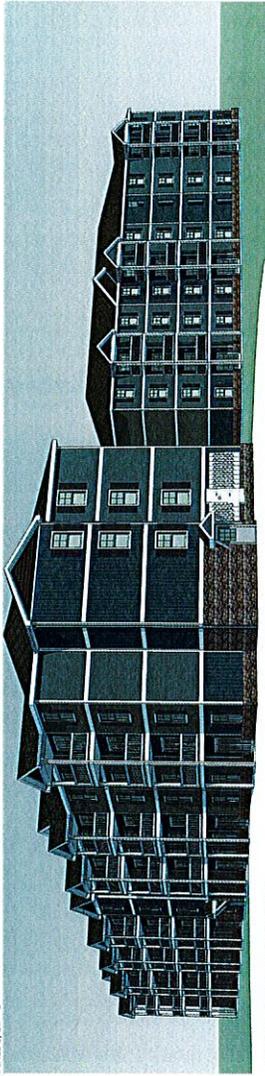
DATED: 15th AUGUST 2023



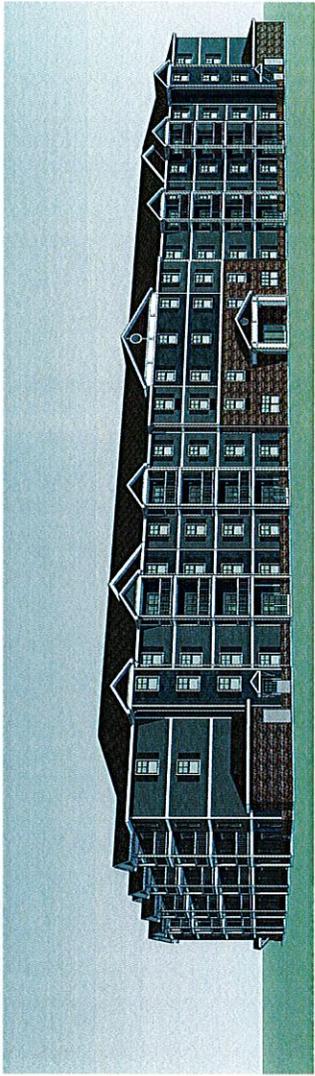
NORTH ELEVATION
SCALE 1/16"=1'



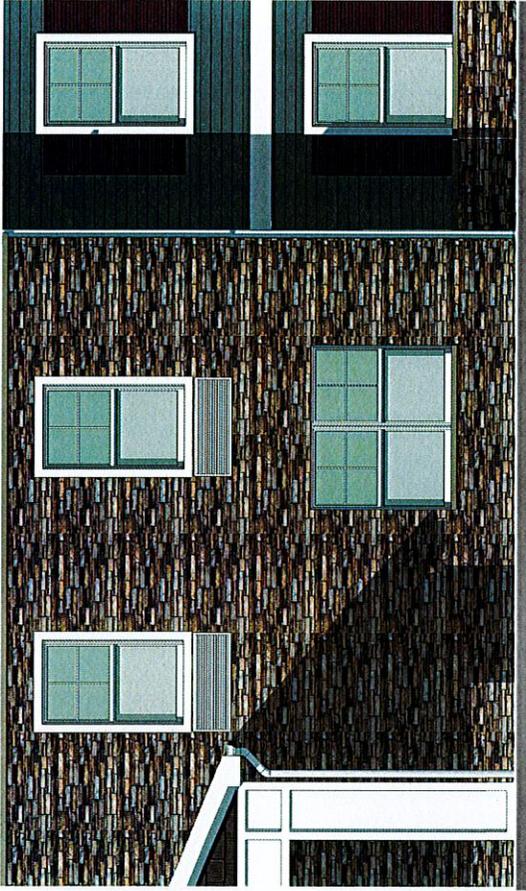
SOUTH ELEVATION
SCALE 1/16"=1'



VIEW FROM SOUTHEAST



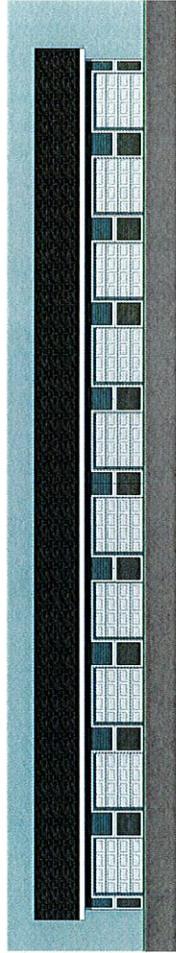
VIEW FROM NORTHWEST



PARTIAL ENLARGE VIEW
SCALE 1/2"=1'

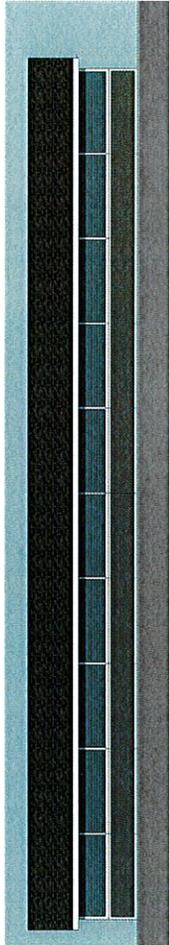


WEST CORE ENTRY VIEW
SCALE 1/16"=1'

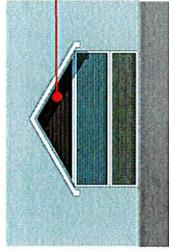


GARAGE FRONT ELEVATION
SCALE 1/8"=1'

NOTE: ELEVATIONS PROVIDED IS FOR A 10 CAR GARAGE ON SITE. OTHER GARAGES TO FOLLOW SAME EXTERIOR DETAIL AND FINISHES

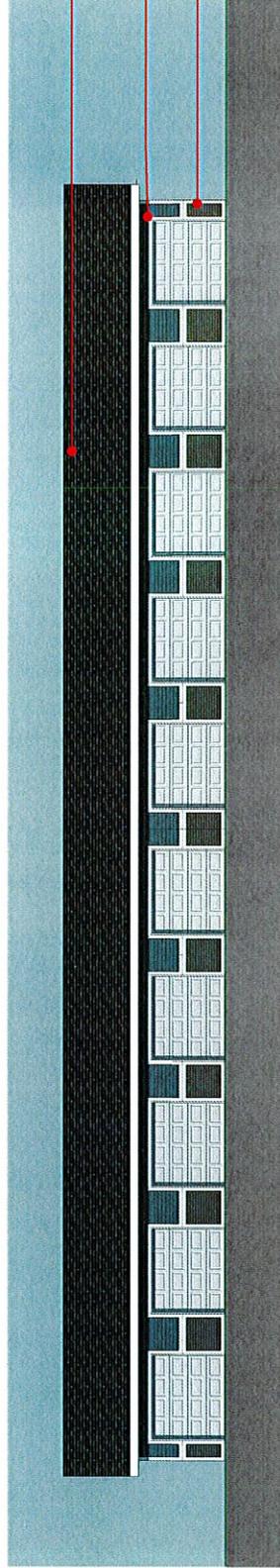


GARAGE REAR ELEVATION
SCALE 1/8"=1'



GARAGE SIDE ELEVATION (TYP)
SCALE 1/8"=1'

VINYL SHAKE SIDING - CERTAINTED
9" STAGGERED ROUGH-SPLIT SHAKES
(SABLE BROWN)



ENLARGED GARAGE ELEVATION
SCALE 3/16"=1'

ASPHALT SHINGLE ROOF - TANKO,
HERITAGE PREMIUM (AGE WOOD)

VINYL LAP SIDING - CERTAINTED
MAINSTREET 4" WOODGRAIN DUTCH
LAP (CASTLE STONE)

VINYL LAP SIDING - CERTAINTED
MAINSTREET 4" WOODGRAIN DUTCH
LAP (SABLE BROWN)

CLOVER SENIOR LIVING, LEE SUMMIT, MO

DATED: 15th AUGUST 2023