

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR LEE'S SUMMIT FLEX SPACE LOCATED AT 60 SE THOMPSON DR, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2023-236 submitted by Kimley-Horn requesting approval of a preliminary development plan in District PI on land located at 60 Thompson Dr was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held public hearings for the consideration of the preliminary development plan on October 12, 2023, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 7, 2023, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved on the following described property:

All of Lot 3A, Decker Street Minor Plat, Lee's Summit, Jackson County, Missouri.

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the requirement for four-sided building architecture, to allow only the use of a metal panel system on the north elevation of the north building (Building B) as depicted on the building elevations included in the preliminary development plan dated September 12, 2023.
2. Development shall be in accordance with the preliminary development dated September 12, 2023, inclusive of the allowance of smooth-finished, corrugated architectural metal panel as a primary exterior building material as depicted on the building elevations contained therein.
3. A 5' sidewalk shall be constructed along the SE Thompson Dr frontage of the subject development. The City shall not issue any occupancy for the subject development until such time as the sidewalk is constructed and accepted by the City.

BILL NO. 23-208**ORDINANCE NO. 9781**

SECTION 3. Development shall be in accordance with the preliminary development plan dated September 12, 2023, appended hereto as Attachment A.

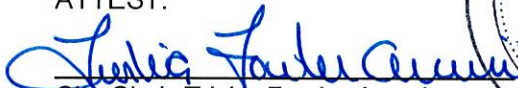
SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 14th day of November, 2023.

ATTEST:

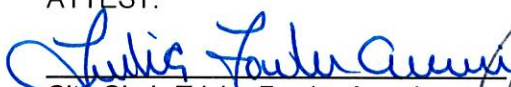

City Clerk Trisha Fowler Arcuri




Mayor William A. Baird

APPROVED by the Mayor of said city this 16th day of November, 2023.

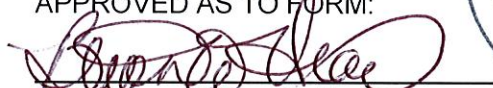
ATTEST:


City Clerk Trisha Fowler Arcuri




Mayor William A. Baird

APPROVED AS TO FORM:


City Attorney Brian W. Head

C004

GRAPHIC SCALE IN FEET
0 10 20 40



LEE'S SUMMIT
FLEX SPACE
50 SE THOMPSON DR
LEES SUMMIT, MISSOURI 64087

GRADING PLAN

Kimley-Horn
INCORPORATED
1000 N. GARDEN ST.
SUITE 200
LEES SUMMIT, MISSOURI 64087
PH: 816.221.1100
WWW.KIMLEY-HORN.COM

SCALE: AS SHOWN
DATE: 11/10/2011
PROJECT: LEE'S SUMMIT FLEX SPACE
SHEET: C004

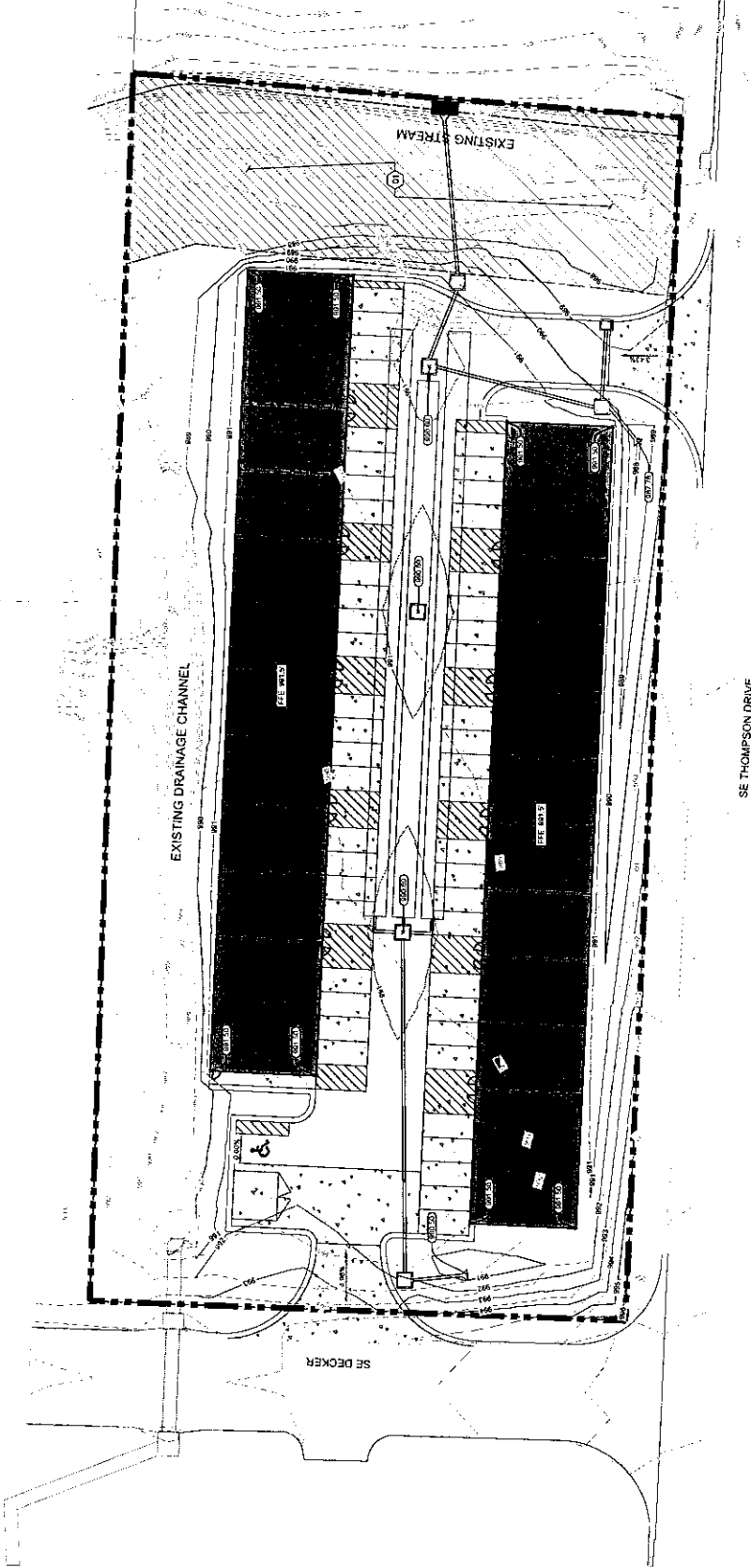
① SITE PLAN KEY NOTES

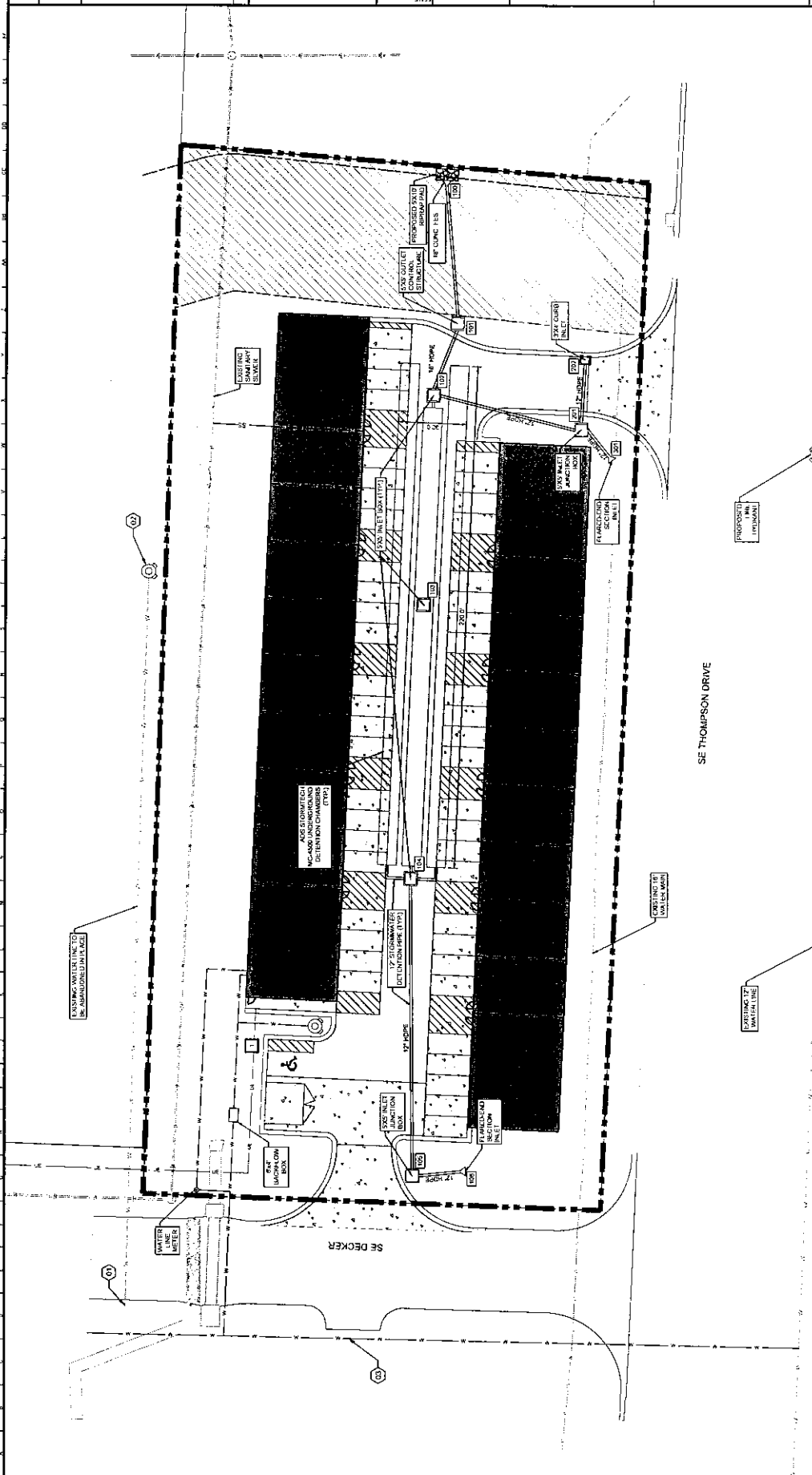
01 EXISTING RUBBLE SHALL BE HAILED AND DISPOSED OF PROPERLY ON SITE

LIMITS OF DISTURBANCE: 1.57 AC

GRADING LEGEND

111.5' ——— EXISTING CONTOUR
111.5' ——— PROPOSED CONTOUR
111.5' ——— SLOPE ARROW
111.5' ——— SLOPE ARROW





SITE PLAN KEY NOTES

- 01 INSTALL CONCRETE PLUG
02 REMOVE EXISTING 100 LITRUM AND INSTALL CONCRETE PLUG
WATERLINE TO BE INSTALLED BY ADJACENT PROJECT, IF NOT INSTALLED BY ADJACENT PROJECT, THIS DEVELOPMENT WILL INSTALL

PLANT SCHEDULE

COMMON / BOTANICAL NAME	QTY	CODE	COMMON / BOTANICAL NAME	QTY	CODE
DECIDUOUS TREES			COMMON / BOTANICAL NAME		
AS2	15	AS2	SUGAR CONE SUGAR MAPLE / ASH SACCHARUM SUGAR CONE		3' CAL
OC	8	OC	CORBISON SPINE™ OAK / QUERCUS ROBUR X ALBA CORBISONOT		3' CAL
UE	8	UE	ALLEE ACES WINKLE W/ LULUS PAMPOLIA TINKLE B™		3' CAL
COMMON / BOTANICAL NAME			COMMON / BOTANICAL NAME		
CK	7	CK	KOUKA DOGWOOD / CORNUS KOUKA		3' CAL
COMMON / BOTANICAL NAME			COMMON / BOTANICAL NAME		
AK	25	AK	LOW SCALF HEDDER BLACK CHOKERBERRY / ARDINA MELANOCARPUS UGONNAPHIE™		2' CAL
NO	22	NO	FIREPOWER DANCE / NAKSINA / NAKSINA DOMESTICA FIREPOWER		2' CAL
COMMON / BOTANICAL NAME			COMMON / BOTANICAL NAME		
JP	15	JP	SEA GREEN JAMPEN JAMPENUS X PETERMANA SEA GREEN		3' CAL
COMMON / BOTANICAL NAME			COMMON / BOTANICAL NAME		
TT	16,488 SF	TT	TURF TYPE TALL FESCUE / THROUGH TOLERANT FESCUE INLEND		500

LANDSCAPE SUMMARY

STREET FRONTAGE

REQUIRED 1 TREE PER 30 FEET OF FRONTAGE AND 1 SHRUB PER 20 FEET OF FRONTAGE

THOMPSON DRIVE

PROVIDED 15 TREES AND 23 SHRUBS

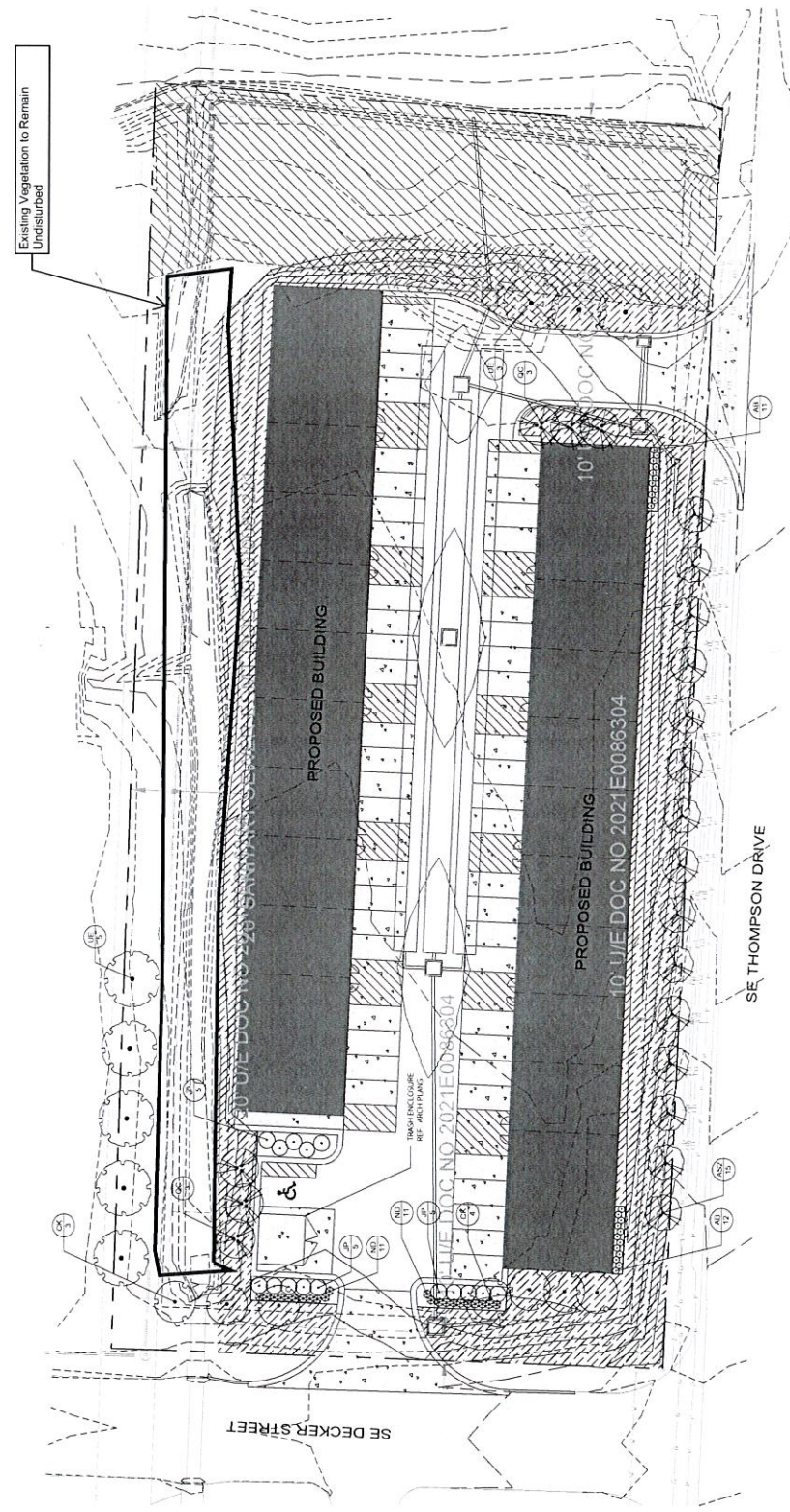
DECKER STREET

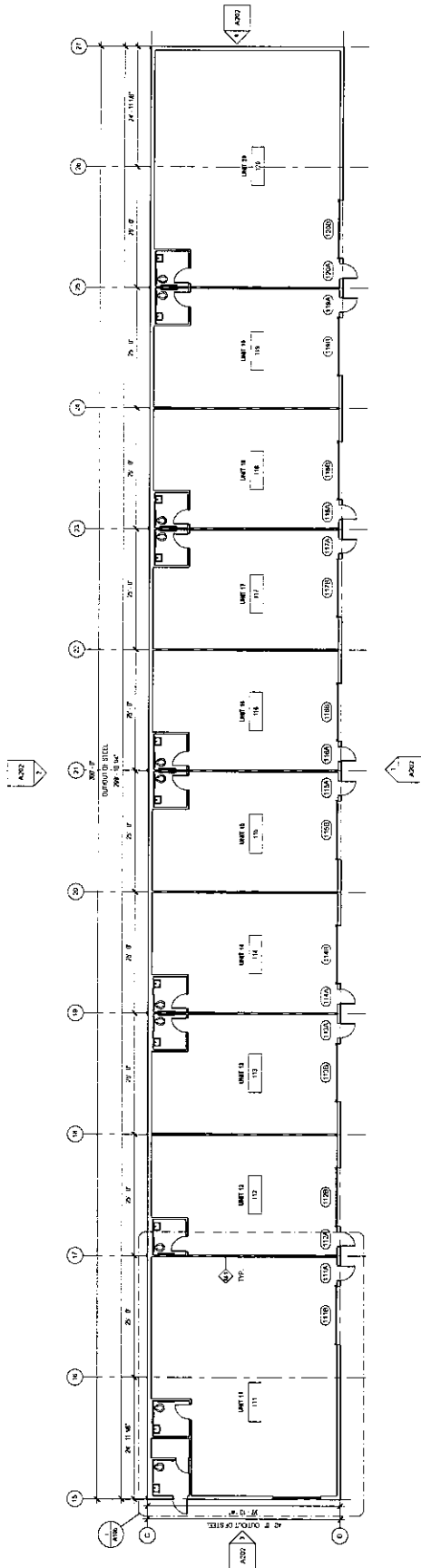
PROVIDED 14 TREES AND 27 SHRUBS

CHERRY AVENUE

REQUIRED 1 TREE AND 2 SHRUBS PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT AREA

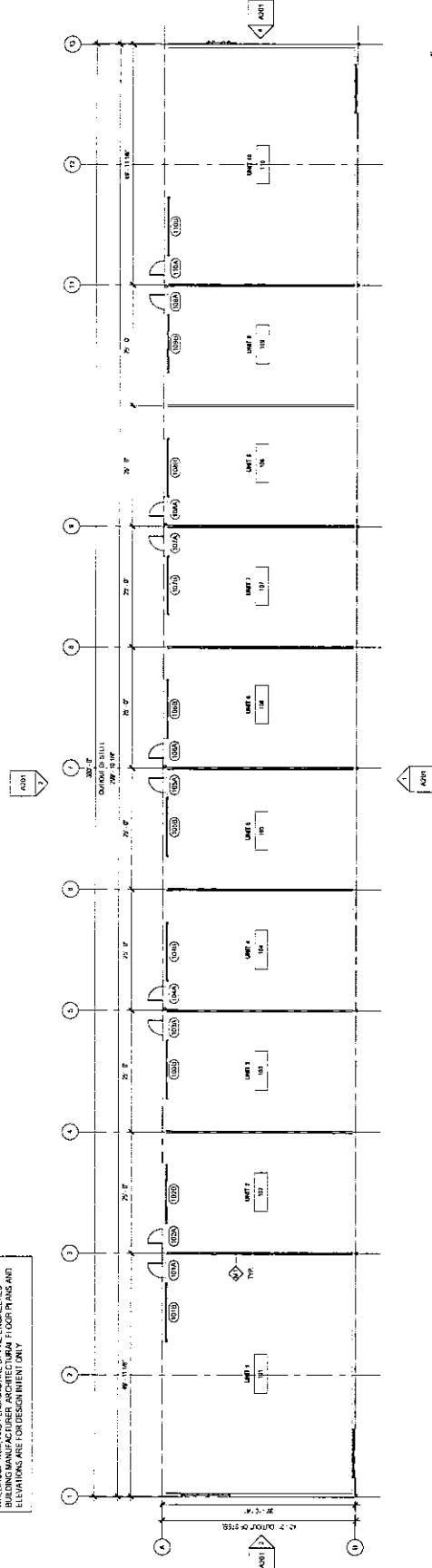
PROVIDED 14 TREES AND 27 SHRUBS



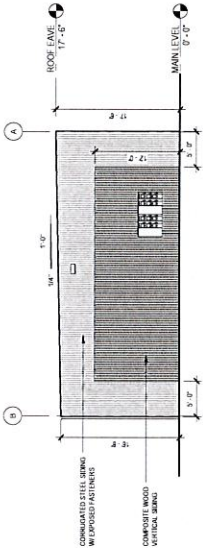
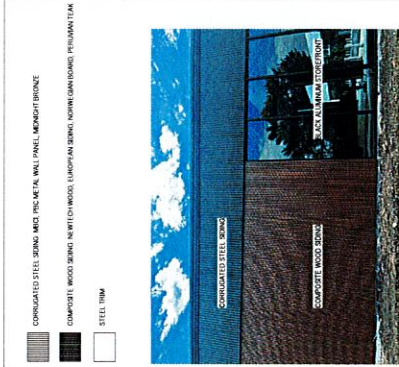


② FLOOR PLAN - BUILDING B
3/32" = 1'-0"

NOTE: BUILDING ENCLOSURE INCLUDING STRUCTURAL FRAME, EXTERIOR WALLS, ROOF, INSULATION, GUTTERS, DOWNSPOUTS, WALL/ROOF TRIM, AND FLASHING ARE BY PRE-ENGINEERED BUILDING MANUFACTURER. ARCHITECTURAL FLOOR PLANS AND ELEVATIONS ARE FOR DESIGN INTENT ONLY.



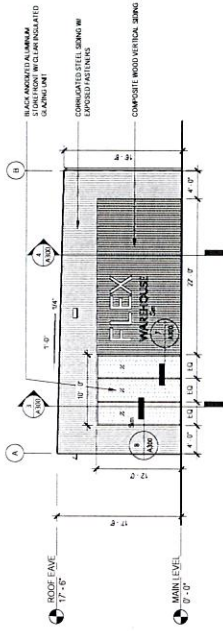
1 FLOOR PLAN - BUILDING A
3/32" = 1'-0"



2 ELEVATION - BUILDING A (EAST)
18' x 1'-0"

TOTAL WALL AREA 483 SF

- CORRUGATED STEEL SIDING 289 SF (44%)
- COMPOSITE WOOD SIDING 244 SF (50%)
- STEEL TRIM 50 SF (11%)



3 ELEVATION - BUILDING A (WEST)
18' x 1'-0"

FLEX SPACES

PROJECT: ALEXIA 2022
 LARS BURTON, MD 64260
 LARS BURTON, MD 64260
 LARS BURTON, MD 64260

SCHEMATIC DESIGN

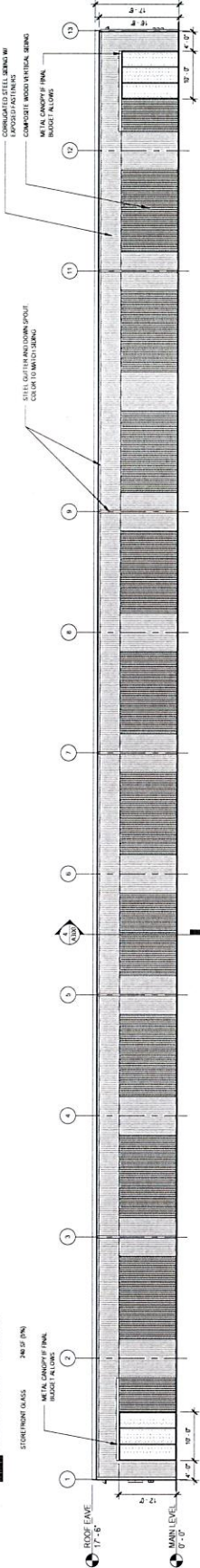
08.28.2023

NO.	DATE	DESCRIPTION
1	08.28.2023	SCHEMATIC DESIGN

six
twenty
one

- CORRUGATED STEEL SIDING 2,346 SF (44%)
- COMPOSITE WOOD SIDING 2,344 SF (44%)
- STEEL TRIM 246 SF (12%)

TOTAL WALL AREA 5,040 SF

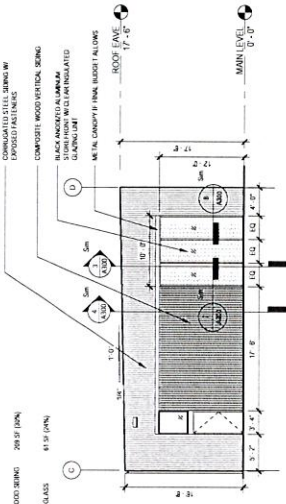


1 ELEVATION - BUILDING A (SOUTH)
30' x 1'-0"

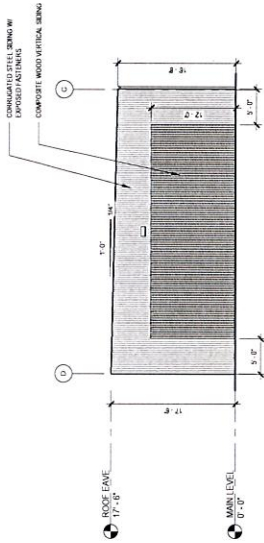
ELEVATIONS - BUILDING A

A201

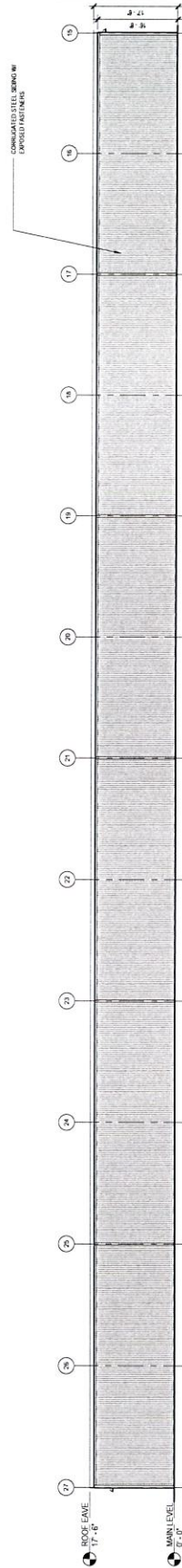
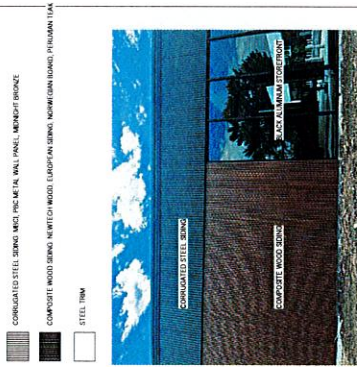
TOTAL WALL AREA 683 SF	CONCRETE STEEL SILING 314 SF (46%)
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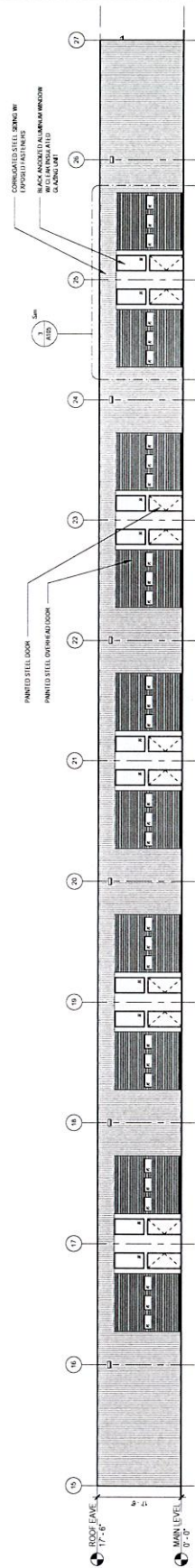
3 ELEVATION - BUILDING B (WEST)



4 ELEVATION - BUILDING B (EAST)
1/8" = 1'-0"



2 ELEVATION - BUILDING B (NORTH)
2028 - 4105



1 ELEVATION - BUILDING B (SOUTH)

