

NO OIL OR GAS WELLS ARE LOCATED WITHIN PROJECT LIMITS. INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, GEOLOGICAL SURVEY GEOSCIENCES TECHNICAL RESOURCE ASSESSMENT TOOL (GEOSTRAT).

FLOOD CERTIFICATION:

THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM THE 1% ANNUAL CHANCE FLOOD" AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 29095C0409G, REVISION DATE JANUARY 20, 2017.



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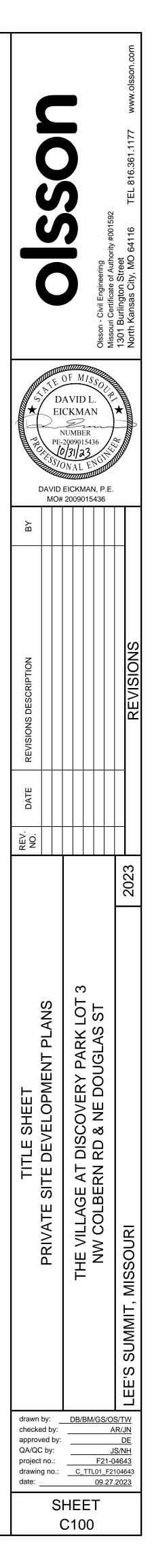
PRIVATE SITE DEVELOPMENT PLANS

PROPERTY DESCRIPTION

LOT 3 OF DISCOVERY PARK ZONE 1: DISCOVERY PARK ZONE 1 IS DESCRIBED AS:

A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 30 TOWNSHIP 48 NORTH, RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER SECTION; THENCE SOUTH 01°37'50" WEST, ON THE WEST LINE OF SAID QUARTER SECTION, 853.75 FEET TO A POINT ON THE SOUTHEAST LOT LINE OF LOT 1, LEE'S SUMMIT ROAD PUMP STATION, A SUBDIVISION RECORDED IN BOOK I 51 AT PAGE 90 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE, AND THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE NORTH 50*41'15" EAST, ON SAID SOUTHEAST LOT LINE, 59.22 FEET; THENCE LEAVING SAID LOT LINE, SOUTH 45*00'00" EAST, 889.18 FEET; THENCE NORTH 90°00'00" EAST, 195.68 FEET; THENCE SOUTH 01°27'27" WEST, 62.94 FEET; THENCE SOUTH 88'32'29" EAST, 375.74 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE DOUGLAS STREET AS ESTABLISHED BY DOCUMENT NUMBER 2015E0017982 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE ON SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 01°27'31" WEST, 1,114.58 FEET; THENCE SOUTH 46°40'17" WEST, 35.22 FEET TO THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF NE COLBURN ROAD AS ESTABLISHED BY A SURVEY PROVIDED BY HAMILTON STERRETT AND DOOLEY, PROJECT NUMBER 99021; THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE NORTH 88°06'56" WEST, 730.85 FEET; THENCE WESTERLY ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF NORTH 87'33'04" WEST WITH A RADIUS OF 2,904.93 FEET, A CENTRAL ANGLE OF 10'06'02" AND AN ARC DISTANCE OF 512.10 FEET TO THE SOUTHWEST CORNER OF THE SAID NORTHEAST QUARTER; THENCE NORTH 01'37'22" EAST, ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 1,328.05 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SAID NORTHEAST QUARTER; THENCE CONTINUING ON THE SAID WEST LINE, NORTH 01.37'50" EAST, 473.96 FEET TO THE POINT OF BEGINNING. CONTAINING 1,717,197 SQUARE FEET OR 39.42 ACRES, MORE OR LESS.

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1.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT	1	ТН
	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE PLANS IN THEIR POSSESSION ARE THE MOST CURRENT VERSION ISSUED, ARE FULLY COORDINATED WITH ALL SUBCONTRACTORS, AND PRESENT ON SITE AT ALL TIMES. CURRENT PLANS PREPARED BY OLSSON MAY BE OBTAINED AT THE DIRECTION OF OLSSON'S CLIENT. DIRECT REQUESTS TO OLSSON MAY REQUIRE ADDITIONAL AUTHORIZATIONS, AGREEMENTS,		WC PU PR CO
2.	AND/OR FEES. PLEASE CONTACT THE ENGINEER FOR INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEVIATIONS		FR OF
3.	FROM THESE PLANS UNLESS WRITTEN APPROVAL FROM ENGINEER, OWNER, AND DEVELOPER. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION	3.	IN AN GR A.
4.	AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL		
	PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING QUANTITIES AND ITEMS OF WORK.		
	THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE THE WORK SHOWN IN THE PLANS.		В.
6.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES, AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.		
7.	THE CONTRACTOR SHALL NOT ENGAGE IN ACTIVITIES THAT MAY ENCROACH ON WATERS OF THE U.S., INCLUDING WETLANDS, UNTIL ANY NECESSARY PERMITS MAY BE OBTAINED. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL CONDITIONS DESCRIBED IN THE PERMIT.		C. D.
8.	THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, THE SAFETY OF ALL PERSONS INCLUDING VISITORS AND THE GENERAL PUBLIC, AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY THROUGHOUT THE PROJECT AND NOT BE LIMITED BY WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE		E. TH
9.	CONTRACTOR'S SAFETY MEASURES. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL UTILITY COMPANIES AND OBTAIN ANY RELEVANT INFORMATION. NOTIFY ENGINEER OF ANY	5.	RE CO AL AR
10.	DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY	6.	AL TH AL
	CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S	<u>SF</u>	PR 10F
11.	EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF	1.	DA
	ADJACENT PROPERTIES AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE DURING CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES.		SH TH CC IN TO
12.	PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER TO PERFORM A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.		BE OF NC SU
RE	FERENCES		EA DR VE
1.	ARCHITECTURAL AND STRUCTURAL ELEMENTS SHOWN IN THESE PLANS ARE FOR REFERENCE ONLY. CONTRACTORS AND SURVEYORS SHALL REFERENCE THEIR RESPECTIVE PLANS FOR DESIGN INFORMATION.		A.
2.	THE CONTRACTOR SHALL ADHERE TO THE SITE PREPARATION AND FILL RECOMMENDATIONS IN THE GEOTECHNICAL ENGINEERING REPORT ON DISCOVERY PARK LOT 3 DATED AUGUST 10TH, 2023. THE STANDARDS AND SPECIFICATIONS OF LEE'S SUMMIT, MO SHALL ALSO APPLY AND TAKE PRECEDENCE WHEN STRICTER THAN THE GEOTECHNICAL REPORT.		В. С.
3.	UNLESS EXPLICITLY DESCRIBED OTHERWISE WITHIN THESE PLANS THE FOLLOWING SHALL APPLY; A. ALL CONSTRUCTION, INCLUDING THOSE LISTED BELOW, SHALL CONFORM TO THE LATEST CODES AND ORDINANCES OF LEE'S SUMMIT, MO.		D. E.
	 B. ALL CONSTRUCTION IN MoDOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST SPECIFICATIONS ADOPTED BY U.S. DEPARTMENT OF TRANSPORTATION AND MoDOT. C. ALL TRAFFIC CONTROL SIGNAGE SHALL CONFORM WITH THE 	2.	
	CURRENT EDITION OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). D. ALL UTILITY EXTENSIONS AND CONSTRUCTION SHALL CONFORM		NC A. B.
	 TO THE STANDARDS AND SPECIFICATIONS OF THE UTILITY COMPANIES E. ALL EXTERIOR PAVEMENT (PCC, ASPHALT, ETC.) SHALL BE IN CONFORMANCE WITH THE SPECIFICATIONS OF LEE'S SUMMIT, MO AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. 		C. D. E.
4.	THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE DELIVERY MANAGER AND COORDINATING ANY MAILBOXES THAT MAY BE DISTURBED. FAILURE TO DO SO MAY SUBJECT THE CONTRACTOR TO PROSECUTION BY THE FEDERAL GOVERNMENT.	<u>EF</u> 1.	CO CO CO GR
EX	ISTING CONDITIONS		A EV CO
1.	THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE PROJECT AREA.	2.	со
2.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING THEIR OWN INVESTIGATIONS AND MAKING THEIR OWN ASSUMPTIONS REGARDING SITE SURFACE AND SUBSURFACE CONDITIONS. THIS INCLUDES THE LOCATION AND CONSISTENCY OF ANY EXISTING		MA ME AL BE
	ROCK LAYERS UNDERLYING THE PROJECT SITE. CONTACT THE ENGINEER REGARDING ANY DISCREPANCIES THAT MAY AFFECT THE ABILITY TO CONSTRUCT FROM THESE PLANS AS DESIGNED.	3.	AT AD INS WI
3.	EXISTING CONDITIONS WERE DETERMINED THROUGH A VARIETY OF METHODS THAT MAY INCLUDE SURVEY, AERIAL IMAGERY, AVAILABLE RECORDS, GIS DATA, ETC. SUBSURFACE CONDITIONS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES AND OTHER SITE IMPROVEMENTS PRESENT ON SITE. THE CONTRACTOR	4.	CO TH SC
	A LEAST AND AND A LINE AND A RECENT ON ONE, THE CONTINACTOR		RE CC

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- ITRACTOR SHALL INSTALL TRAFFIC CONTROL WHILE IN THE PUBLIC RIGHT-OF-WAY AS SHOWN IN SEPARATE STREET IMPROVEMENT PLANS. IF PLANS ARE NOT CONTRACTOR SHALL COORDINATE AND PROVIDE S TO THE SATISFACTION OF THE RIGHT-OF-WAY OWNER.
- ITRACTOR SHALL PROTECT ALL TREES OVER 3" CALIPER AMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OWNER, UNLESS SHOWN OTHERWISE ON THESE PLANS.
- ION TO THE CONDITIONS OF THE GEOTECHNICAL REPORT A MINIMUM THE CONTRACTOR SHALL PERFORM THE AS FOLLOWS:
- CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND PPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS E OCCUPIED BY BUILDING AND PAVING. STRIPPING ING TOPSOIL AND ORGANIC MATTER SHALL BE TO A IUM DEPTH OF 6 INCHES. TOPSOIL FOR REPLACEMENT ON ES MAY BE STOCKPILED ON SITE IN AREAS DESIGNATED HE OWNER. CONTRACTOR SHALL REMOVE EXCESS PPINGS AND EXCESS EXCAVATION WITHIN 30 DAYS OF PLETION OF GRADING OPERATIONS.
- AS TO RECEIVE FILL AND AREAS CUT TO SUBGRADE LEVEL BE SCARIFIED AND THE TOP 8-INCH DEPTH PACTED TO 95% STANDARD PROCTOR DENSITY. THE RADE SHALL BE PROOF ROLLED WITH A MODERATELY Y LOADED DUMP TRUCK OR SIMILAR APPROVED STRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL ITIONS. ANY UNSUITABLE AREAS SHALL BE UNDERCUT REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL RIAL CAN BE APPLIED.
- SHALL BE PLACED IN MAXIMUM OF 8 INCH LIFTS. OIL SHALL BE PLACED TO A MINIMUM DEPTH OF 6 ES OVER ALL AREAS DISTURBED BY THE WORK. LARGE ES, STICKS AND LUMPS SHALL BE REMOVED OR BROKEN AND THE TOPSOIL SHALL BE LEVELED AND RAKED. ALL JRBED AREAS SHALL BE LANDSCAPED PER LANDSCAPE S OR SHALL BE SEEDED, FERTILIZED, MULCHED, WATERED MAINTAINED UNTIL HARDY GRASS GROWTH IS BLISHED.
- RACTOR SHALL PROVIDE COMPACTION TEST RESULTS AS IRED.
- ITRACTOR SHALL DISPOSE ALL WASTE MATERIAL IG FROM THE PROJECT OFF-SITE AND IN STRICT IANCE WITH ALL LOCAL CODES AND ORDINANCES.
- HOLES, CATCH BASINS, UTILITY VALVES AND METER PITS BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED. NOT JSTMENTS ARE INDICATED IN THE PLANS.
- ITRACTOR SHALL STREET SWEEP OR OTHERWISE CLEAN ESS ROUTES TO THE SITE AT CONCLUSION OF THE

WINGS

- ITRACTOR SHALL SUBMIT SHOP DRAWING A MINIMUM OF 7 RIOR TO THE REQUESTED DATE OF APPROVAL. ENGINEER EVIEW SHOP DRAWINGS OR SAMPLES CONFORMANCE WITH IGN FOR THIS PROJECT AS DESCRIBED IN THE PLANS. THE TOR SHALL BE RESPONSIBLE FOR ERRORS OR OMISSIONS DRAWINGS. THE ENGINEER'S REVIEW SHALL NOT EXTEND S OR METHODS OF CONSTRUCTION. CONTRACTOR SHALL ONSIBLE FOR ANY VARIATION FROM THE REQUIREMENTS CONTRACT DOCUMENTS UNLESS CONTRACTOR HAS ENGINEER OF EACH SUCH VARIATION AT THE TIME OF ON, AND OBTAINED ENGINEER'S WRITTEN APPROVAL OF CH VARIATION. PRIOR TO SUBMITTING EACH SHOP OR SAMPLE, CONTRACTOR SHALL HAVE REVIEWED AND
- FIELD MEASUREMENTS, QUANTITIES, DIMENSIONS, SPECIFIED ORMANCE CRITERIA, INSTALLATION REQUIREMENTS, RIALS, CATALOG NUMBERS AND SIMILAR INFORMATION RESPECT THERETO;
- MATERIALS WITH RESPECT TO INTENDED USE, ICATION, SHIPPING, HANDLING, STORAGE, ASSEMBLY AND ALLATION PERTAINING TO THE PERFORMANCE OF THE
- NFORMATION RELATIVE TO MEANS, METHODS, TECHNIQUES, ENCES AND PROCEDURES OF CONSTRUCTION AND SAFETY AUTIONS AND PROGRAMS INCIDENT THERETO;
- RACTOR SHALL ALSO HAVE REVIEWED AND COORDINATED SHOP DRAWING OR SAMPLE WITH OTHER SHOP MINGS AND SAMPLES, AND WITH THE REQUIREMENTS OF WORK AND THE CONTRACT DOCUMENTS. SUBMITTED SHOP DRAWINGS SHALL BEAR A STAMP OR
- CIFIC WRITTEN INDICATION AND SIGNATURE THAT TRACTOR HAS FULLY COMPLETED THE ABOVE TASKS.
- RAWINGS AS DESCRIBED ABOVE ARE REQUIRED FOR, BUT TED TO, THE FOLLOWING: STORM SEWER STRUCTURES TO BE INSTALLED WITH THIS
- FCT.
- SANITARY SEWER STRUCTURES TO BE INSTALLED WITH PROJECT. SITE FENCING AND RAILING INCLUDING ANY GATES.
- LANDSCAPE AND RETAINING WALLS.
- ITEMS IN THESE PLANS THAT ALLOW FOR AN "APPROVED
- L" ALTERNATIVE.

CONTROL

- TOR SHALL CONSIDER ANY EROSION AND/OR SEDIMENT SHOWN IN THIS PLAN SET. THE SWPPP, SEPARATE MASS AND SITE DISTURBANCE. OR ANY RELATED PLAN SET AS JM REQUIREMENT. CONTRACTOR IS RESPONSIBLE FOR ING SITE CONDITIONS AND INSTALLING ANY ADDITIONAL S AS NECESSARY.
- TOR IS RESPONSIBLE FOR INSTALLATION AND ANCE OF ALL EROSION AND SEDIMENT CONTROL S AND PRACTICES THROUGHOUT THE PROJECT. ANY AND S ASSOCIATED WITH EROSION CONTROL VIOLATIONS WILL CONTRACTOR'S RESPONSIBILITY.
- TIME DURING CONSTRUCTION THE CITY MAY REQUIRE IAL EROSION/SILTATION CONTROL MEASURES TO BE D. WHEN REQUIRED SUCH MEASURES SHALL BE INSTALLED 8 HOURS OF HOURS OF NOTICE (VERBAL OR WRITTEN).
- CTOR SHALL INSPECT ALL EROSION CONTROL DEVICES PER RMWATER POLLUTION PREVENTION PLAN (SWPPP) E. ALL COSTS ASSOCIATED WITH REPAIR OR ALLATION, INCLUDING RELATED INCIDENTALS, WILL BE THE TOR'S RESPONSIBILITY.

- 5. ALL DISTURBED AREAS SHALL BE LANDSCAPED, SEEDED OR SODDED, AS SHOWN ON THE LANDSCAPE PLAN.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED WITH A HEALTHY STAND OF PERMANENT VEGETATION. AREAS DISTURBED BY DEVICE REMOVAL SHALL BE IMMEDIATELY STABILIZED. SEED BLENDS OR SOD SHALL MATCH WHAT WAS USED IN AREAS SURROUNDING DISTURBANCE.
- PRIOR TO LEAVING THE SITE THE CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, FLUMES, PIPES, GUTTERS, ETC. ARE CLEANED OUT AND WORKING PROPERLY.

GRADING

- 1. THE CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE TO FINISH GRADE, SURFACE OF PAVEMENT, TOP OF CURBS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT PAVEMENT DEPTH FROM ELEVATIONS SHOWN.
- 2. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
- 3. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.
- 4. SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT, LIP OF CURB, OR FINISHED GRADE UNLESS OTHERWISE INDICATED. (SEE LEGEND)

SITE PLAN

- ALL PAVEMENT DIMENSIONS ARE TO BACK OF CURB. OR EDGE OF PAVEMENT WHERE NO CURB IS PRESENT, UNLESS OTHERWISE NOTED.
- INSTALLED PAVEMENT SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS. INSTALLED CURB & GUTTER SHALL MATCH EXISTING CURB & GUTTER IN SIZE AND TYPE OR CONTRACTOR SHALL INCLUDE A TRANSITION FROM NEW TO EXISTING OF NO LESS THAN 5' AS MEASURED ALONG BACK OF CURB.
- 3 ALL ASPHALT PAVING, IF PROPOSED, SHALL BE IN CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT ON DISCOVERY PARK LOT 3 DATED AUGUST 10TH, 2023. WHERE NOT COVERED BY THE ABOVE, ASPHALT PAVING SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF MODOT.
- 4. ALL PCC PAVING, IF PROPOSED, SHALL BE IN CONFORMANCE WITH LOCAL CODES AND ORDINANCES AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT ON DISCOVERY PARK LOT 3 DATED AUGUST 10TH, 2023. WHERE NOT COVERED BY THE ABOVE, PCC PAVING SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF MoDOT.
- 5. CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED AS FOLLOWS (REFER TO HARDSCAPE PLANS FOR SPECIFIC TREATMENT OF THESE AREAS):
- A. CONTROL JOINTS SPACED AS SHOWN IN THESE PLANS OR AT INTERVALS NOT GREATER THAN 1.5x PANEL WIDTH OR 12 FEET (WHICHEVER IS SMALLER).
- B. CONTROL JOINTS SHALL BE TOOLED OR SAWCUT TO 1/4 THE SLAB THICKNESS. LOCAL STANDARDS AND SPECIFICATIONS SHALL TAKE PRECEDENCE WHERE MORE STRICT THAN THOSE LISTED HERE.
- C. CONSTRUCTION JOINTS PLACED AT THE END OF EACH POUR AND WHEN PAVING OPERATIONS ARE SUSPENDED FOR 30 MINUTES OR MORE.
- D. ISOLATION JOINTS PLACED WHERE THE PAVEMENT ABUTS THE BUILDING, DRAINAGE STRUCTURES AND OTHER FIXED STRUCTURES. CONSTRUCTED WITH A 1/2" NON-EXTRUDING FILLER. CLOSED-CELL FOAM RUBBER OR A BITUMEN-TREATED FIBER-BOARD. AND WITH A THICKENED EDGE. INCREASED BY 20 PERCENT, TAPERED TO THE REGULAR THICKNESS IN 5 FFFT
- E. ALL EXPANSION JOINTS SHALL BE FILLED AND SEALED WITH A PLASTIC JOINT SEALANT MATERIAL.
- 6. ACCESSIBLE PARKING
- A. STALLS SHALL BE SIGNED WITH CITY/ADA APPROVED SIGN AND CONSTRUCTED IN STRICT ACCORDANCE WITH CITY/ADA CODES AND ORDINANCES.
- B. ACCESSIBLE PARKING STALLS SHALL NOT EXCEED 2.00 PERCENT IN ANY DIRECTION. ACCESSIBLE SIDEWALKS HAVE A MAXIMUM CROSS SLOPE OF 2 PERCENT AND A MAXIMUM LONGITUDINAL SLOPE OF 5 PERCENT.
- C. STALLS SHALL BE MARKED BY THE INTERNATIONAL HANDICAPPED SYMBOL AT INDICATED PARKING SPACES. USE A SUITABLE TEMPLATE THAT WILL PROVIDE A PAVEMENT MARKING WITH SHARP EDGES AND ENDS.
- 7. PAVEMENT MARKINGS SHALL NOT BE APPLIED UNTIL LAYOUT. COLORS AND PLACEMENT HAVE BEEN VERIFIED WITH THE ARCHITECT AND ENGINEER, THE INSTALLED PAVEMENT IS ALLOWED TO AGE AS RECOMMENDED BY THE MANUFACTURER (MINIMUM OF 24 HOURS), AND THE PAVEMENT SURFACE HAS BEEN SWEPT AND CLEANED.
- 8. PAVEMENT MARKINGS SHALL INCLUDE TRAFFIC LANES, PARKING BAYS, AREAS RESTRICTED TO HANDICAPPED PERSONS, CROSSWALKS, AND OTHER DETAIL PAVEMENT MARKINGS SHOWN IN THESE PLANS.
- 9. ALL PARKING LOT STRIPING SHALL BE SINGLE LINE 4" WIDE WHITE STRIPES UNLESS OTHERWISE INDICATED WITHIN THESE PLANS. ALL ROAD STRIPING SHALL BE AS INDICATED WITHIN THESE PLANS.
- 10. CURBS AT FIRE LANES AS DESIGNATIONS BY THE FIRE MARSHAL SHALL BE PAINTED OR OTHERWISE INDICATED PER CITY OF CITY CODES AND ORDINANCES.
- 11. PAINT FOR MARKING PAVEMENT SHALL CONFORM TO FEDERAL HIGHWAY MARKING STANDARDS (FHMS) AND CITY OF LEE'S SUMMIT CODES AND ORDINANCES. USE FLAT BLACK, WHITE, OR YELLOW AS DIRECTED WITHIN PLANS OR IN CONFORMANCE WITH THE FHMS. UNLESS OTHERWISE SPECIFIED USE LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH FS TT-P-1952 WITH DRYING TIME OF LESS THAN 45 MINUTES.
- 12. APPLY ALL MARKINGS USING APPROVED MECHANICAL EQUIPMENT (WITH PROVISIONS FOR CONSTANT AGITATION OF PAINT), CAPABLE OF APPLYING THE MARKING WIDTHS AS SHOWN AND A MINIMUM WET FILM THICKNESS OF 15 MILS. USE PNEUMATIC SPRAY GUNS FOR HAND APPLICATION OF PAINT. ALL PAINTING EQUIPMENT AND OPERATIONS SHALL BE UNDER THE CONTROL OF EXPERIENCED TECHNICIANS THOROUGHLY FAMILIAR WITH EQUIPMENT AND MATERIALS AND MARKING LAYOUTS.

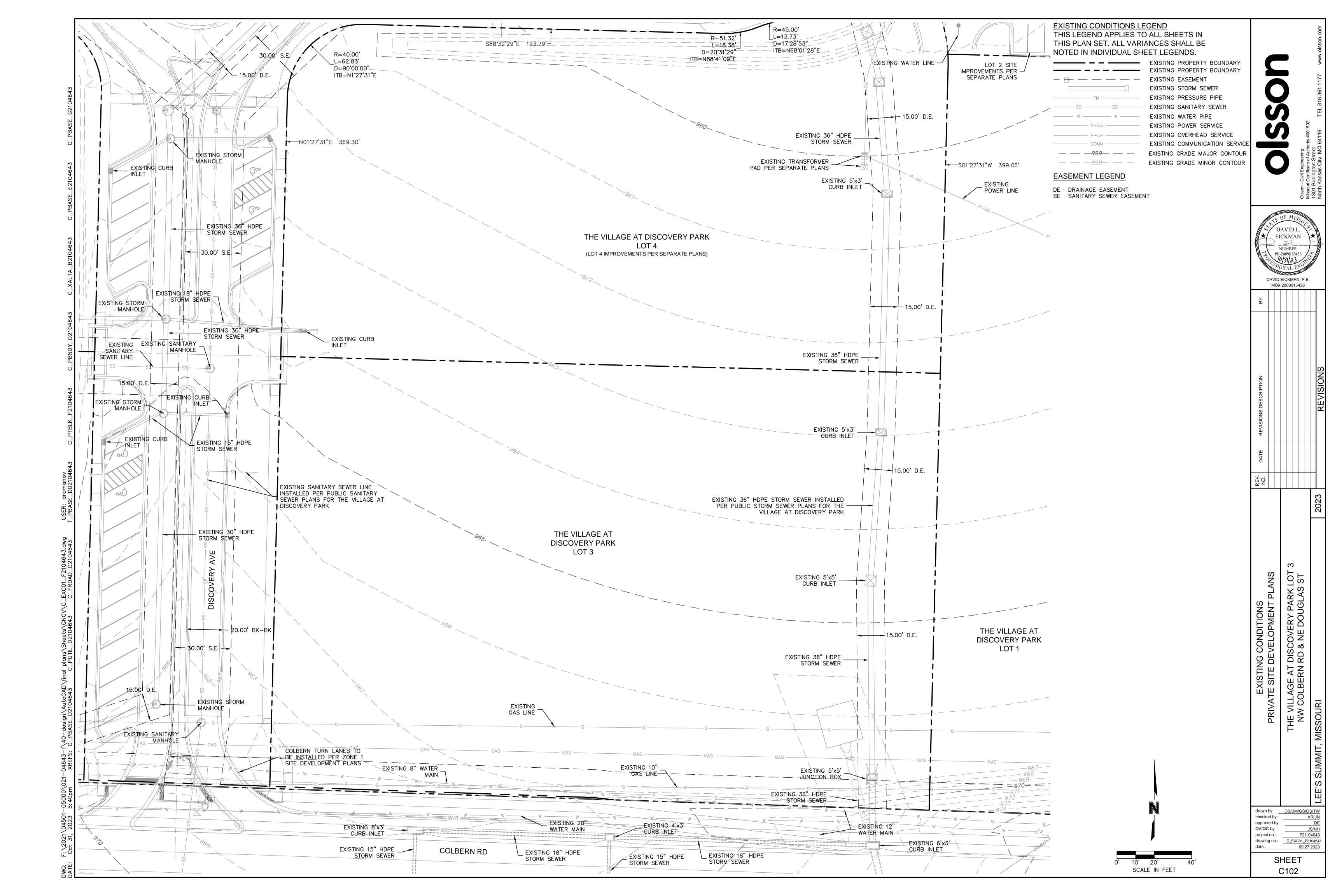
WATER MAIN

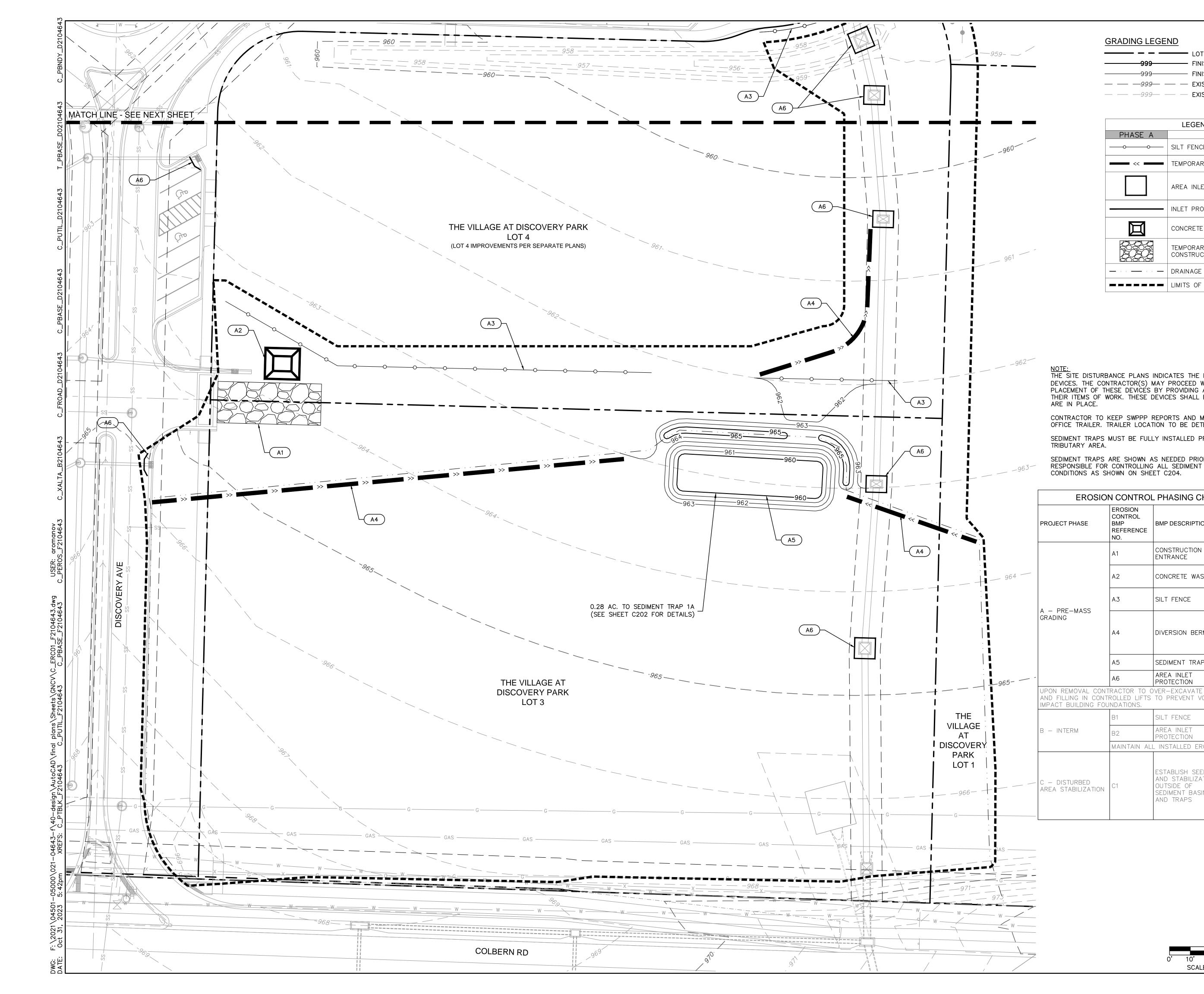
- 1. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE CONSTRUCTION WITH UTILITY OWNER.
- 2. ALL PIPE LENGTHS ARE CALCULATED LINEARLY FROM CENTER OF FITTING OR WALL OF VAULT.
- 3. COORDINATES ARE PROVIDED ALONG PIPE CENTERLINE. ADDITIONAL COORDINATES PROVIDED ARE PER LOCAL CODES AND ORDINANCES OR AS AN AID WHEN ORIENTING INSTALLATIONS.
- 4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF WATER.
- 5. WATER PIPE TRENCHES SHALL BE CONSTRUCTED SUCH THAT UNDISTURBED EXISTING SOIL OR FILL COMPACTED TO 95% PROCTOR DENSITY IS AT A DEPTH THAT IS 18" ABOVE TOP OF PROPOSED PIPE.
- 6. ALL PRIVATE WATER LINES SHALL BE A MINIMUM OF 48 INCHES AND MAXIMUM OF 60 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN UNLESS OTHERWISE NOTED.
- 7. IF AN AS-BUILT OF A WATER LINE IS REQUIRED OR EXPECTED THE CONTRACTOR SHALL NOT BACKFILL THE TRENCH UNTIL AN AS-BUILT SURVEY IS CONDUCTED.
- 8. DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR AND AS REQUIRED BY THE UTILITY OWNER.
- 9. ALL EXISTING FIRE HYDRANTS ON SITE OR IN THE RIGHT-OF-WAY BETWEEN PROPERTY AND ROADWAY SHALL BE REPAINTED PER LOCAL CODES AND ORDINANCES.
- 10. TRACING TAPE SHALL BE INSTALLED ALONG ALL NON-METALLIC SURFACES OR AS DIRECTED BY LOCAL CODES AND ORDINANCES.

DRY UTILITY

- PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE CONSTRUCTION WITH UTILITY OWNER.
- 2. ALL ON-SITE WIRING AND CABLES SHALL BE PLACED UNDERGROUND AND WITHIN CONDUIT UNLESS OTHERWISE SPECIFIED IN THESE PLANS. IF NOT SPECIFIED, ALL CONDUIT SHALL BE IN CONFORMANCE WITH UTILITY OWNER STANDARDS AND SPECIFICATIONS.
- 3. TELEPHONE AND COMMUNICATION SERVICE ROUTING AND CONDUITS, IF SHOWN AT ALL, ARE SUGGESTED ALIGNMENTS ONLY. CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AS REQUIRED BY MEP AND RELATED PLANS AS WELL AS SERVICE PROVIDER PRIOR TO PAVEMENT INSTALLATION.
- 4. ALL CONDUIT SHALL BE SCHEDULE 40 PVC PIPE AND SIZED PER MEP PLANS OR AS NOTED. CONDUIT SHALL BE SUFFICIENTLY FLEXIBLE TO ALLOW IT TO CONFORM TO MINOR CHANGES IN TRENCH DIRECTION OR ELEVATION. ALL OTHER BENDS SHALL BE MADE USING PRE-FORMED SWEEPS.

	うつう	Olsson - Civil Engineering Missouri Certificate of Authority #001592	1301 Burlington Street North Kansas City, MO 64116 TEL 816.361.1177 www.olsson.com
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GENERAL NOTES PRIVATE SITE DEVELOPMENT PLANS	THE VILLAGE AT DISCOVERY PARK LOT 3	NW COLBERN RD & NE DOUGLAS ST	EE'S SUMMIT, MISSOURI 2023
drawn by: checked by: approved by QA/QC by: project no.: drawing no date:	:	F21-(FL01_F2 09.27	S/TW AR/JN DE IS/NH 04643

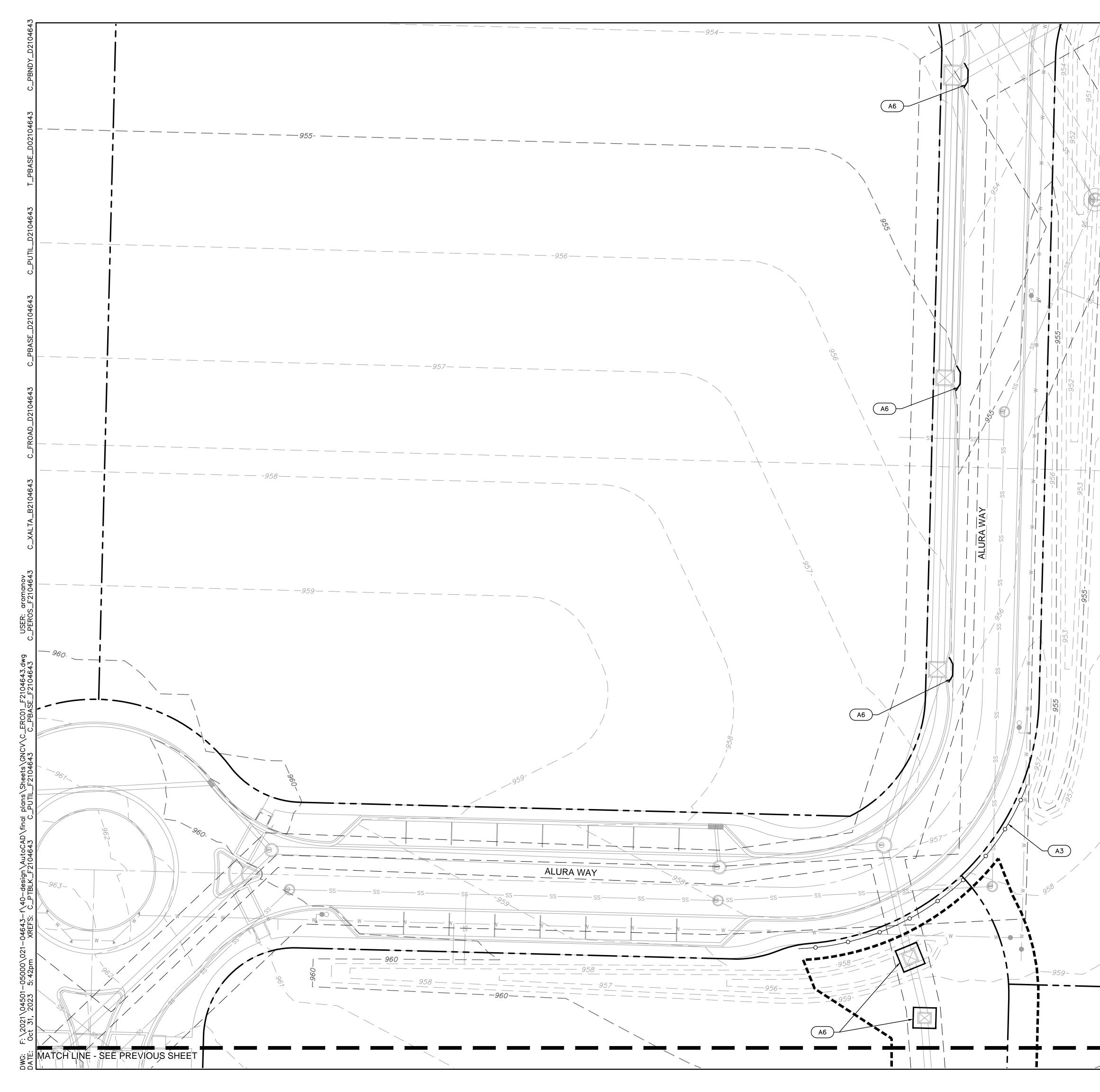




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PHASE	EROSION CONTROL BMP REFERENCE	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES:	REV. NO.			+
	NO. A1	CONSTRUCTION ENTRANCE	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING				2023
	A2	CONCRETE WASHOUT	D	ANY OTHER ACTIVITIES ON SITE INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING				20
				ANY OTHER ACTIVITIES ON SITE				
-MASS	A3	SILT FENCE	D	ESC-03, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE INSTALL PER APWA DETAIL				
	A4	DIVERSION BERM	D	ESC-05, AND CONTRACTOR SHALL ADJUST AS NECESSARY THROUGHOUT CONSTRUCTION TO ENSURE SEDIMENT REMAINS CONTROLLED ON SITE.	(SE A)	ANS	LOT 3 S ST	
	A5	SEDIMENT TRAP	D	INSTALL PER APWA DETAIL ESC-08	\triangleleft		ARK GLAS	
	A6	AREA INLET PROTECTION		INSTALL PER APWA DETAIL ESC-07 PS, FULLY REMOVING ALL SILT,	N (P	MEN	RY P DUO	
ING IN CONT				SIVE SETTLING THAT COULD	PLAN	LOPMENT	DISCOVERY PARK RD & NE DOUGLAS	
	B1	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03	SOL	EVEL	DSCO D & I	
	B2	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC-07	ONTE	E DE	AT DI RN RI	
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10' 20' SCALE IN FEET



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THE SITE DISTURBANCE PLANS INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.

CONTRACTOR TO KEEP SWPPP REPORTS AND MDNR PERMIT IN THE ON-SITE CONSTRUCTION OFFICE TRAILER. TRAILER LOCATION TO BE DETERMINED BY CONTRACTOR SEDIMENT TRAPS MUST BE FULLY INSTALLED PRIOR TO ANY SITE DISTURBANCE WITHIN THE TRIBUTARY AREA.

SEDIMENT TRAPS ARE SHOWN AS NEEDED PRIOR TO DISTURBING THE SITE. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING ALL SEDIMENT RUNOFF DURING TRANSITION TO FINAL CONDITIONS AS SHOWN ON SHEET C204.

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		A2	CONCRETE WASHOUT	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE			
/		A3	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE			
	A – PRE–MASS GRADING	A4	DIVERSION BERM	D	INSTALL PER APWA DETAIL ESC-05, AND CONTRACTOR SHALL ADJUST AS NECESSARY THROUGHOUT CONSTRUCTION TO ENSURE SEDIMENT REMAINS CONTROLLED ON SITE.	CONT'D) ANS	LOT 3 S ST	
		A5	SEDIMENT TRAP	D	INSTALL PER APWA DETAIL ESC-08	A L	PARK I JGLAS	
		A6	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC-07	(PHASE PMENT	Y PA	
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10' 20' SCALE IN FEET drawn by: DB/BM/GS/OS/TW checked by: AR/JN approved by: DE QA/QC by: JS/NH project no.: F21-04643 drawing no.: C_ERC01_F2104643 date: 09.27.2023

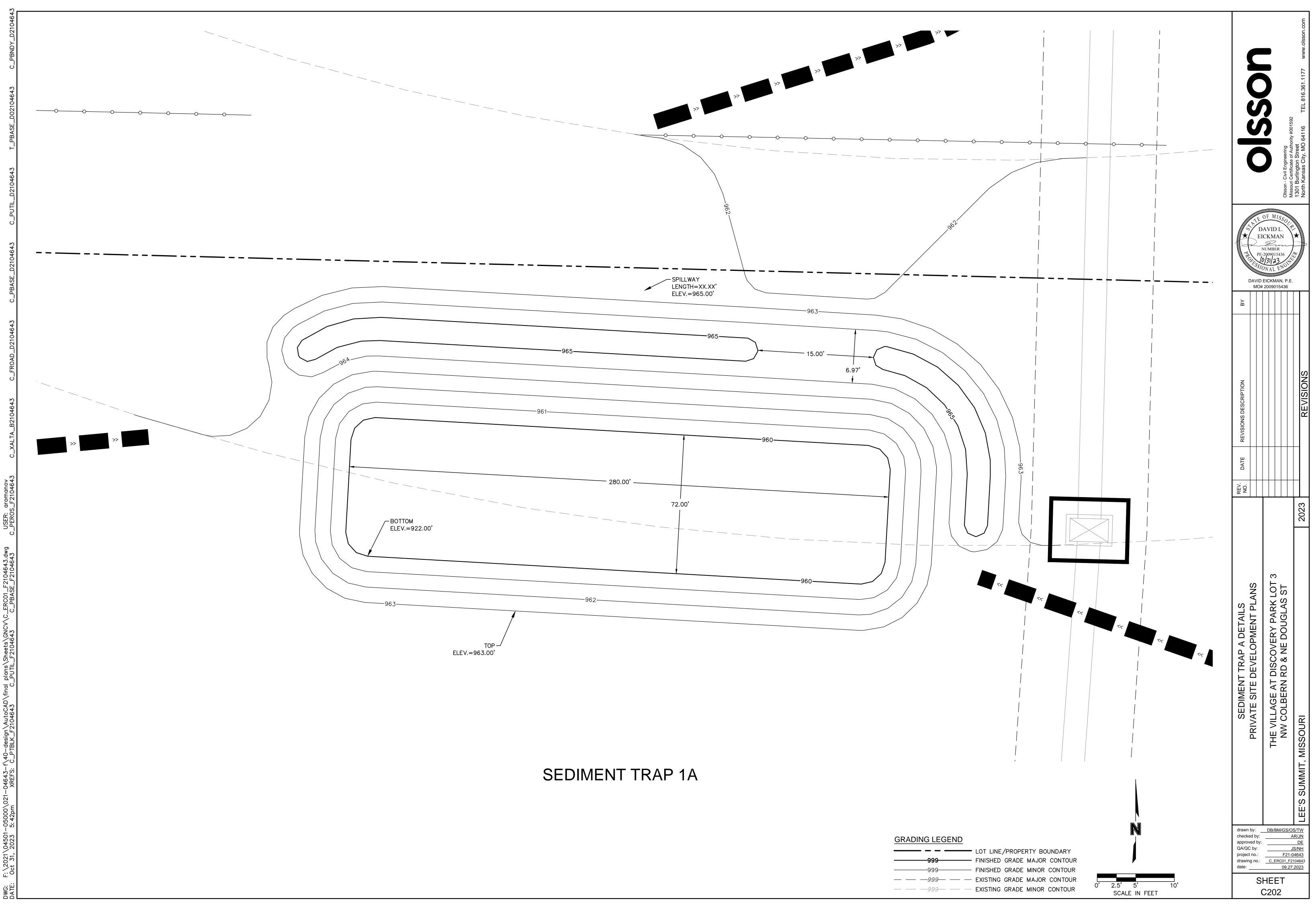
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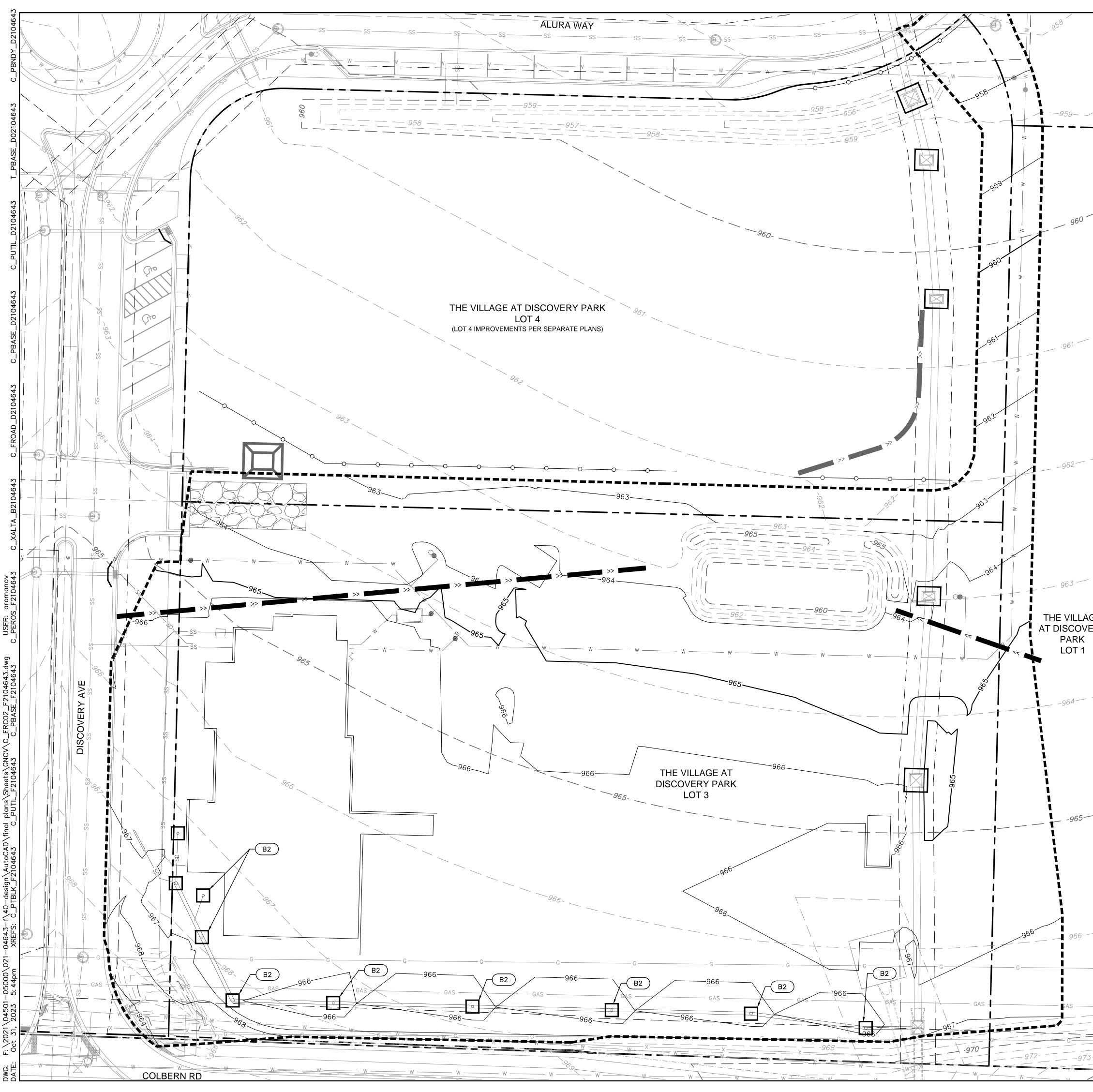
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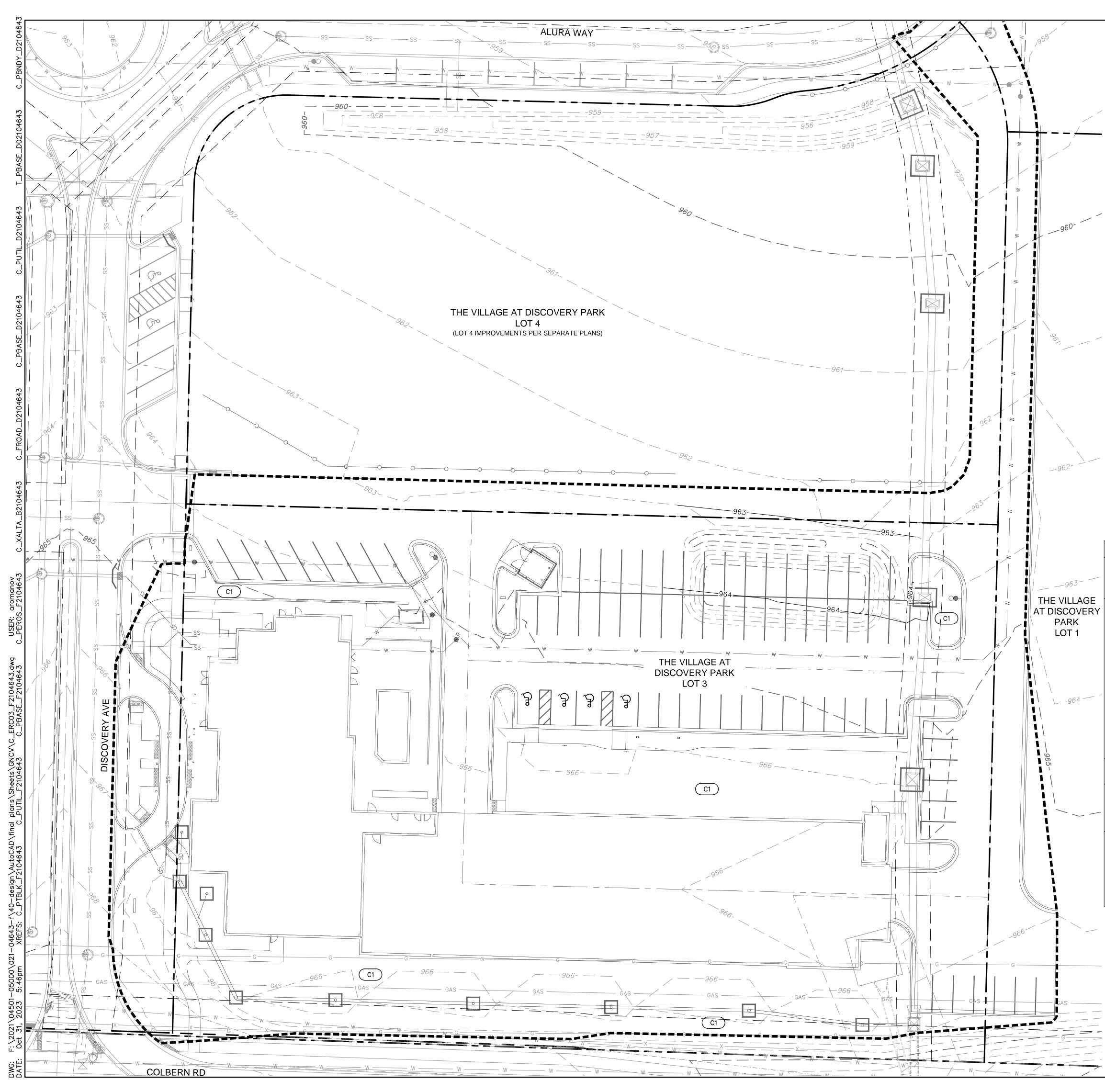
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		INLE	ET PROTEC	CTION		C		Olsson - Civil Engineering Missouri Certificate of Authority #001592	1301 Burlington Street North Kansas City, MO
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10' 20' SCALE IN FEET

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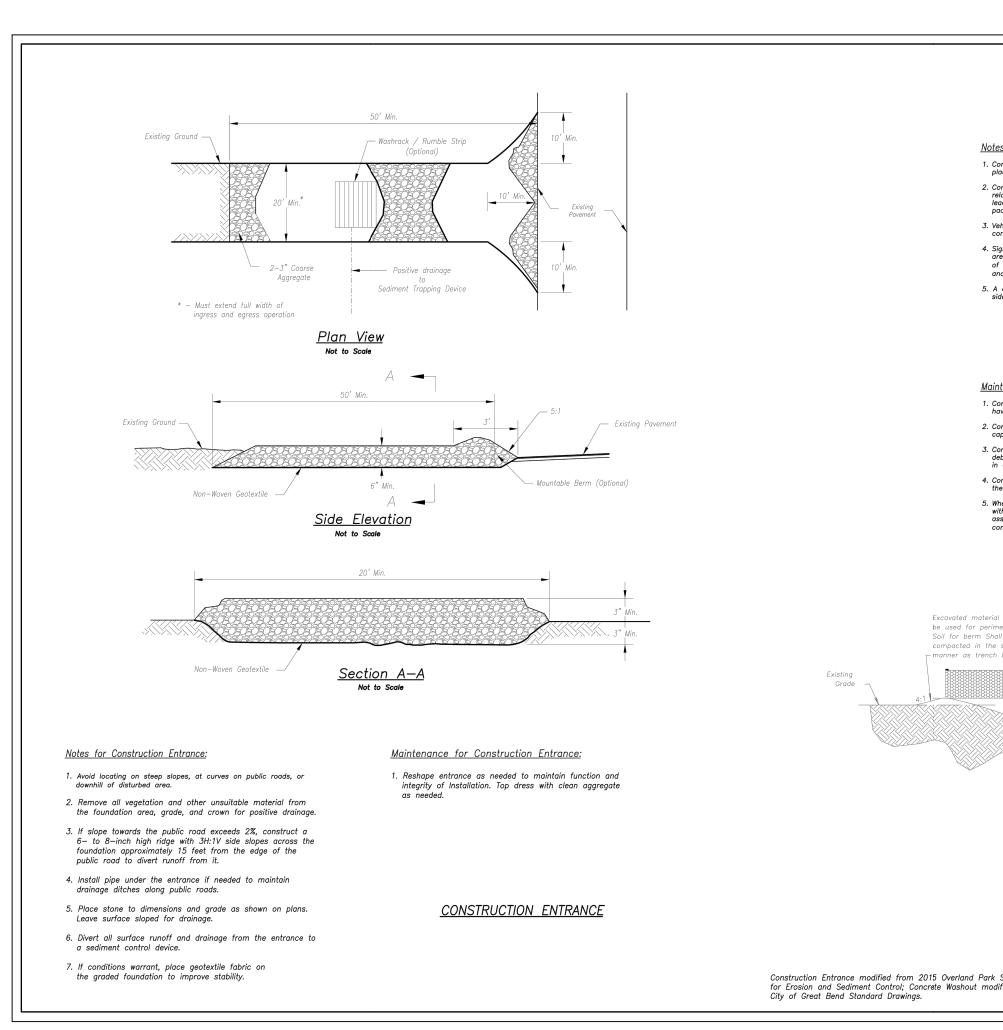
 QA/QC by:
 JS/NH

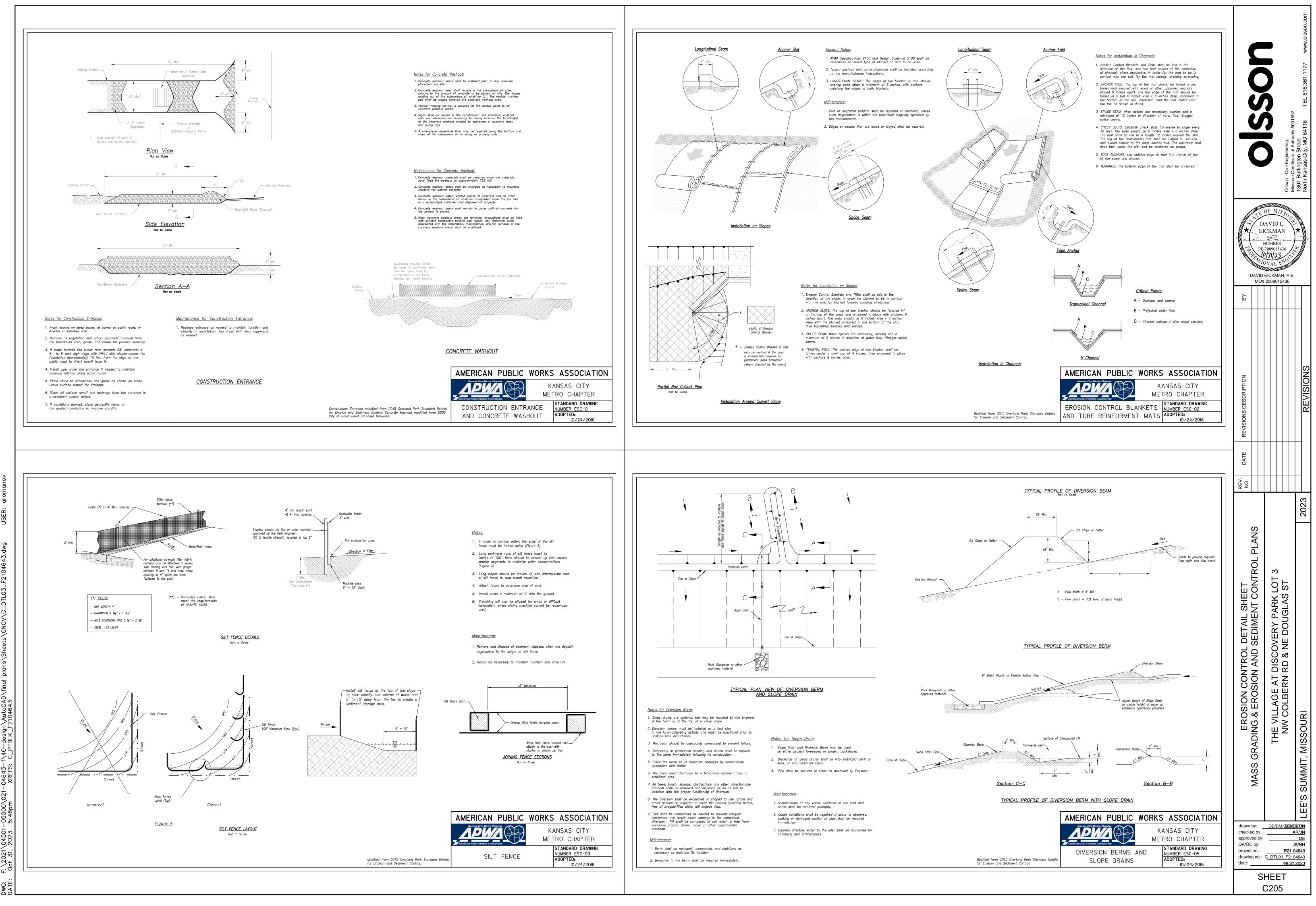
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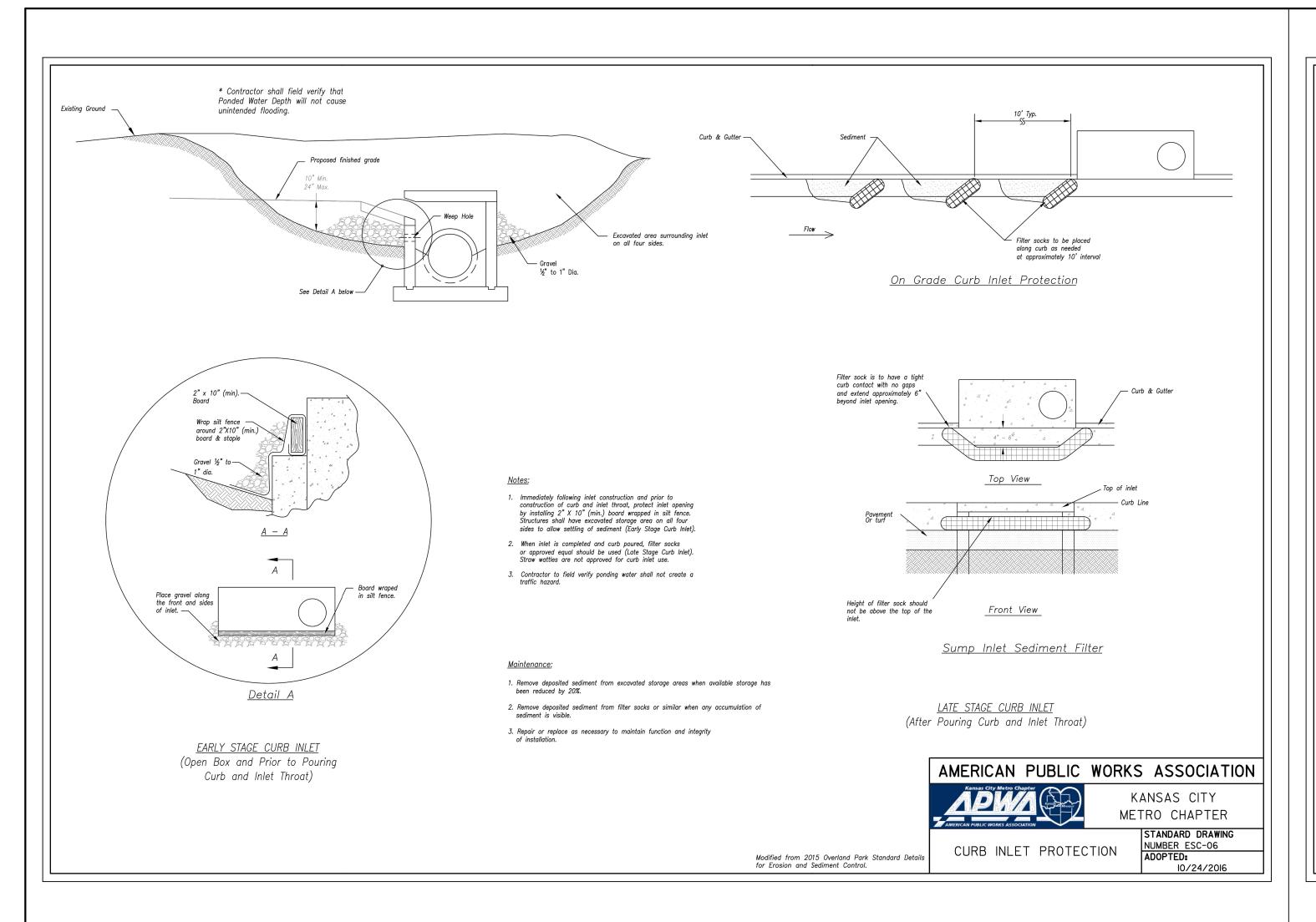
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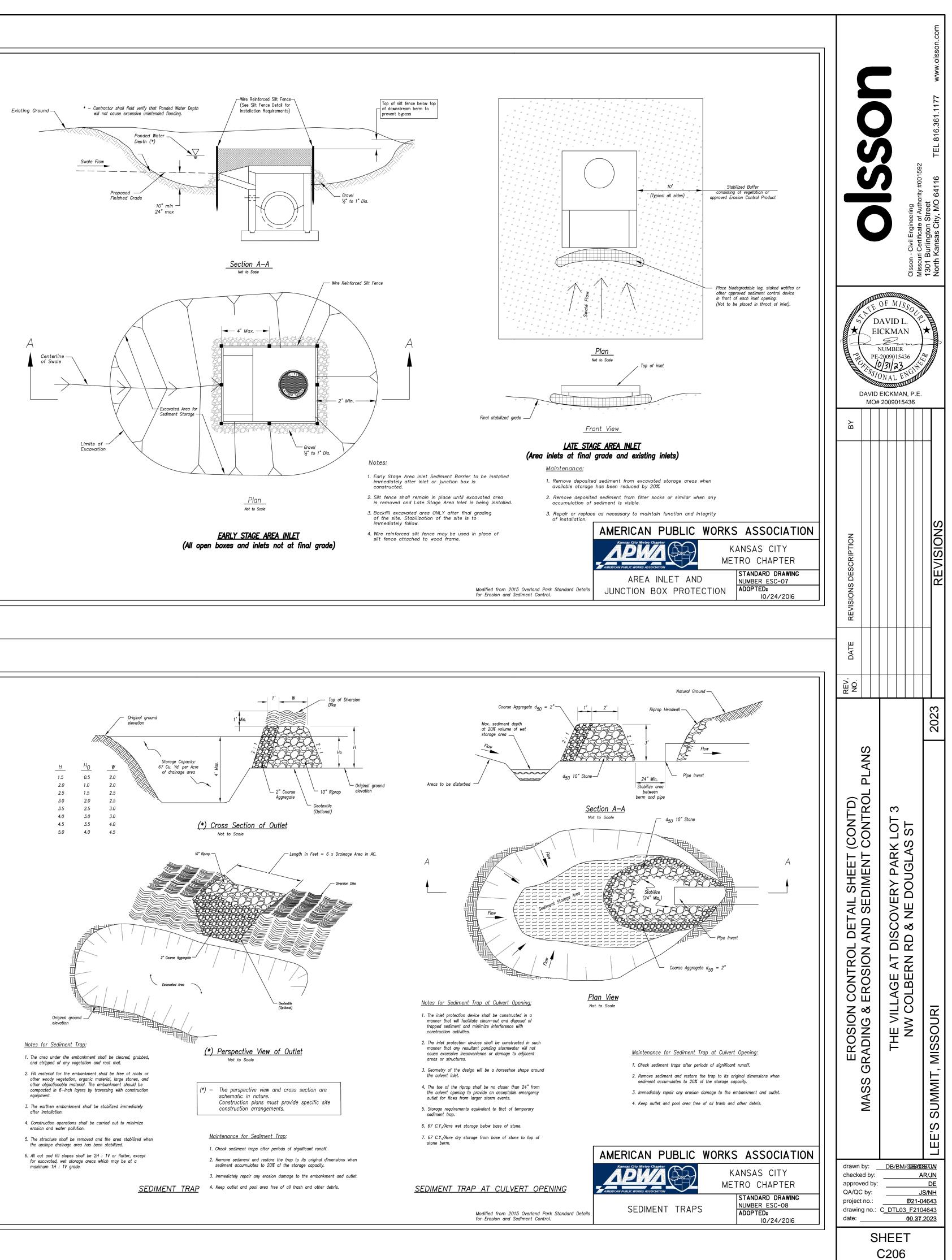
> SHEET C204

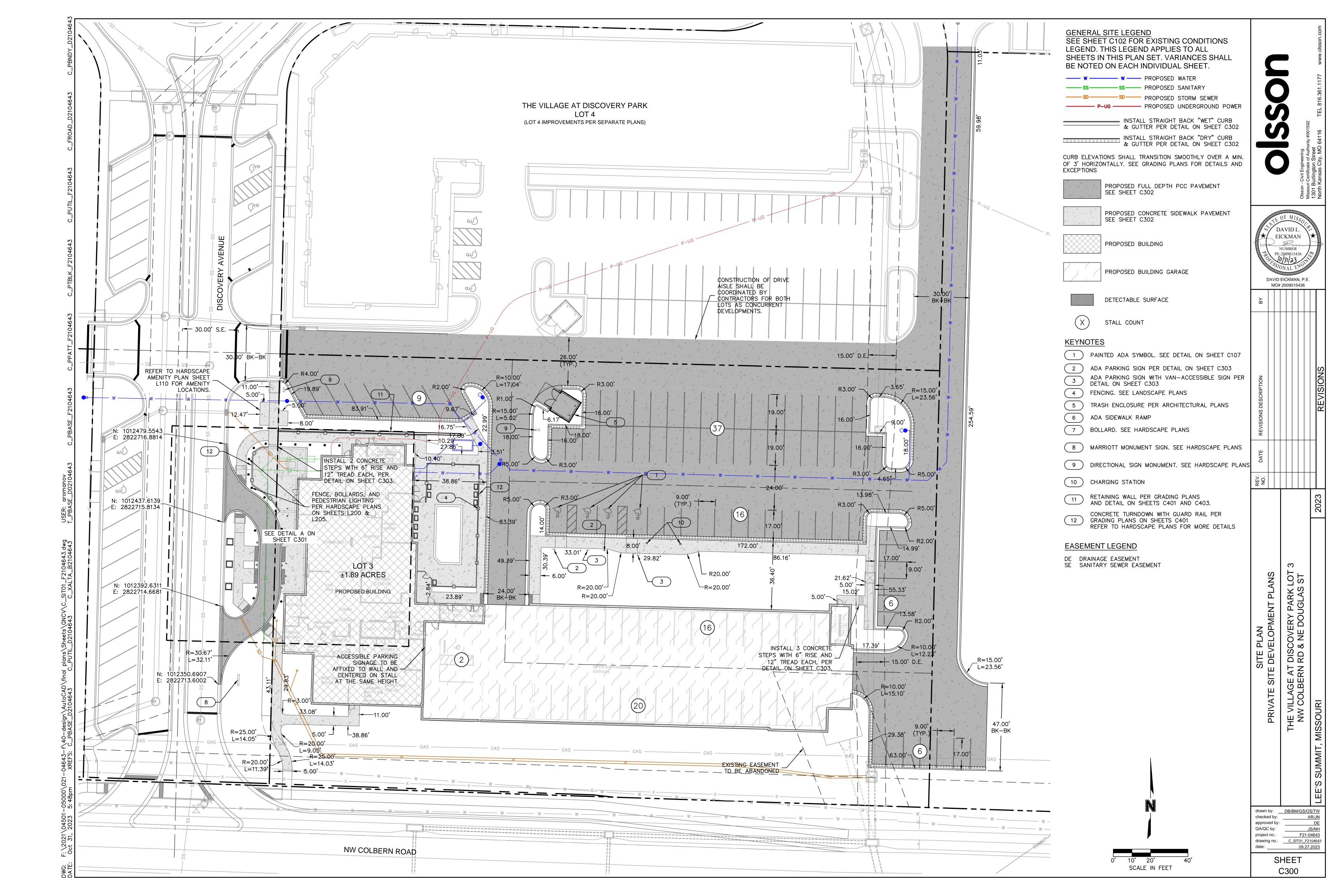


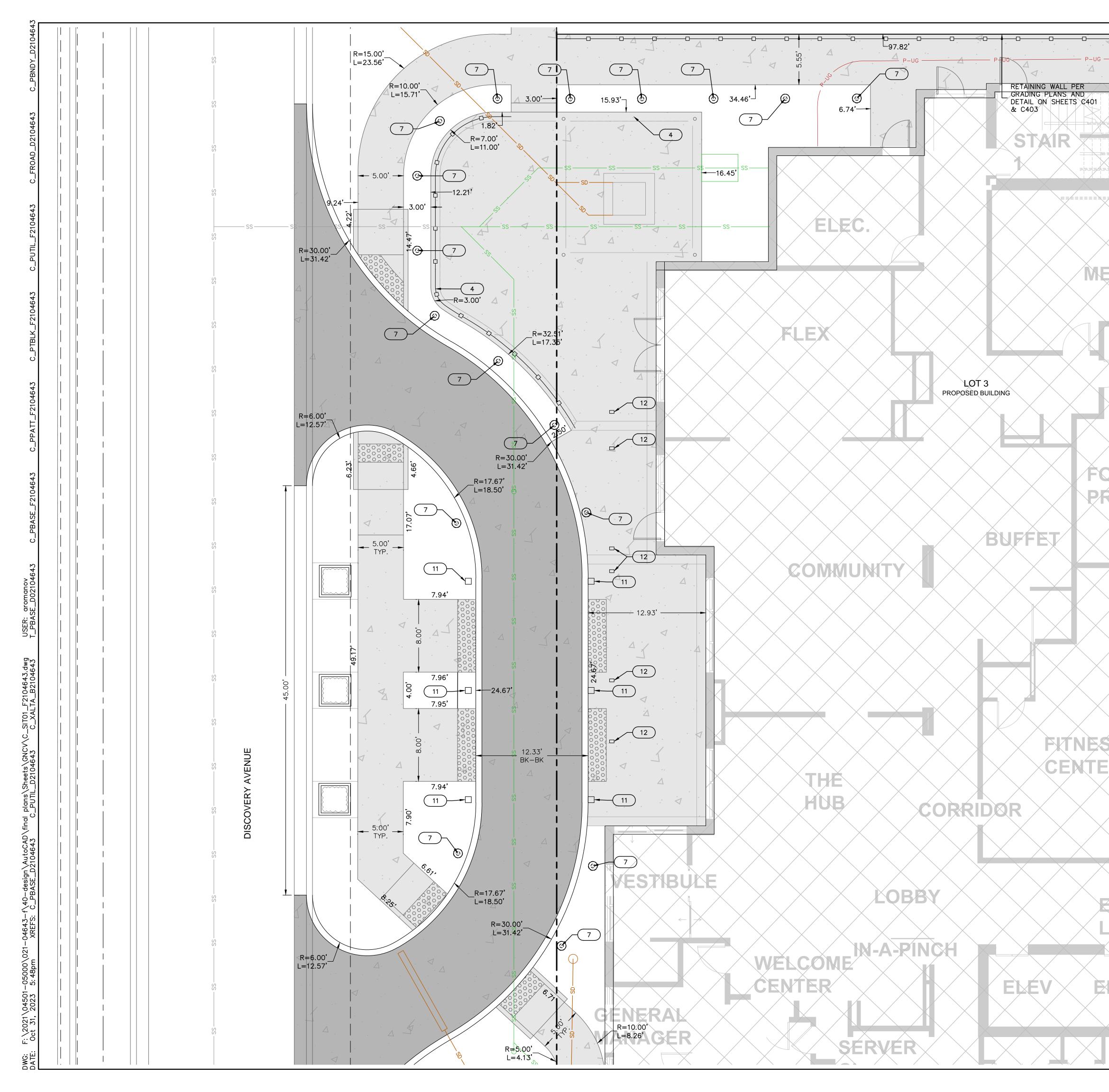




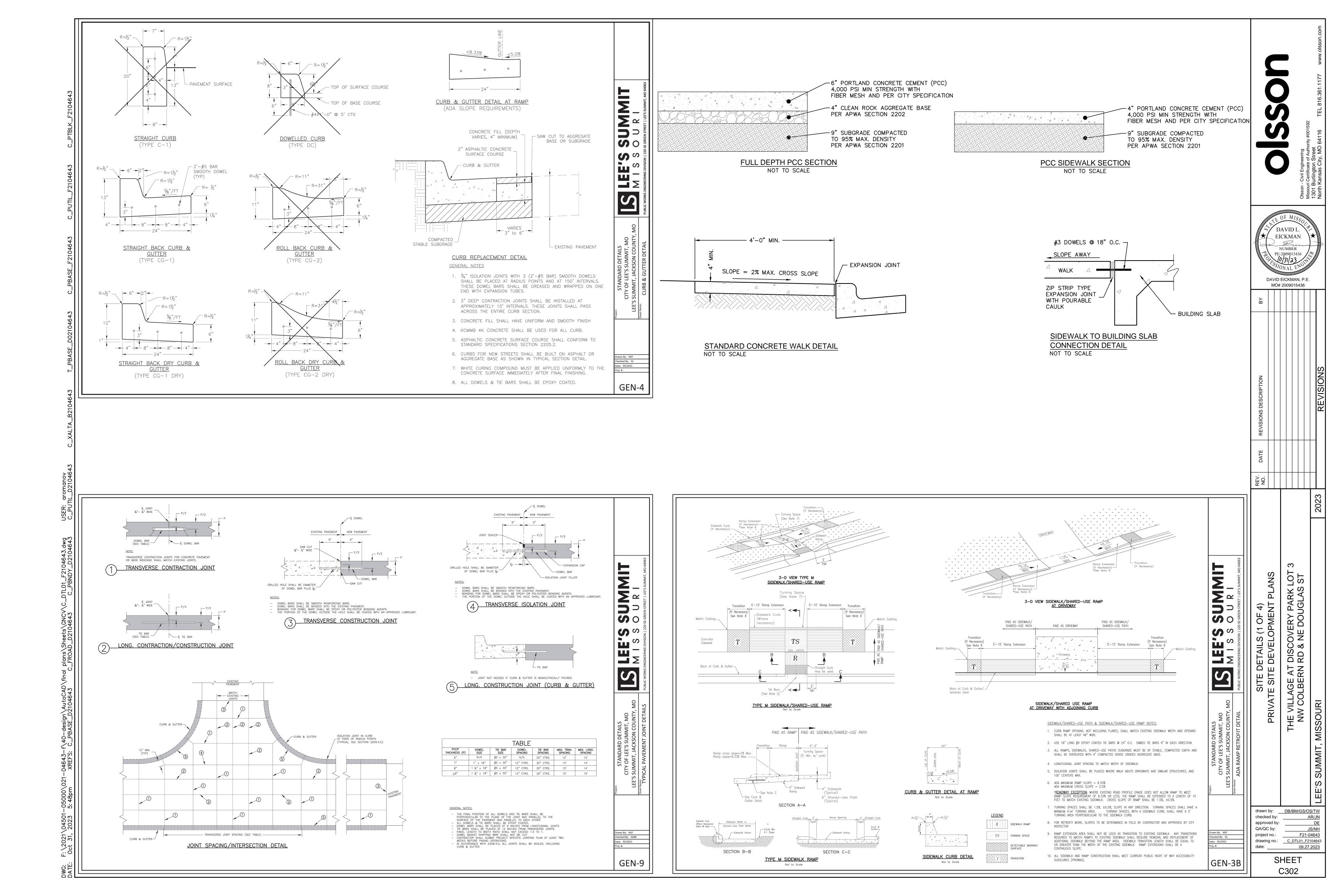


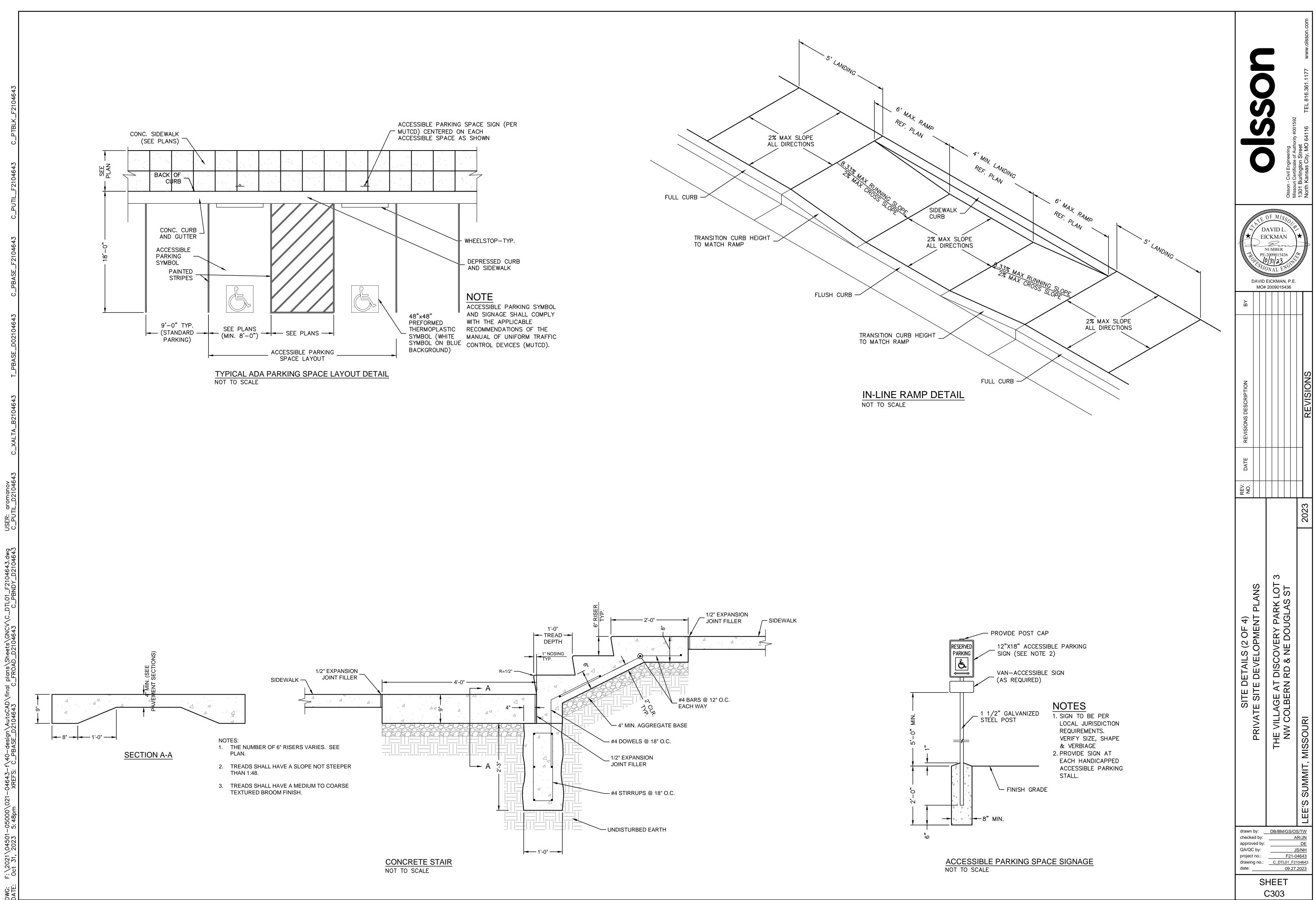


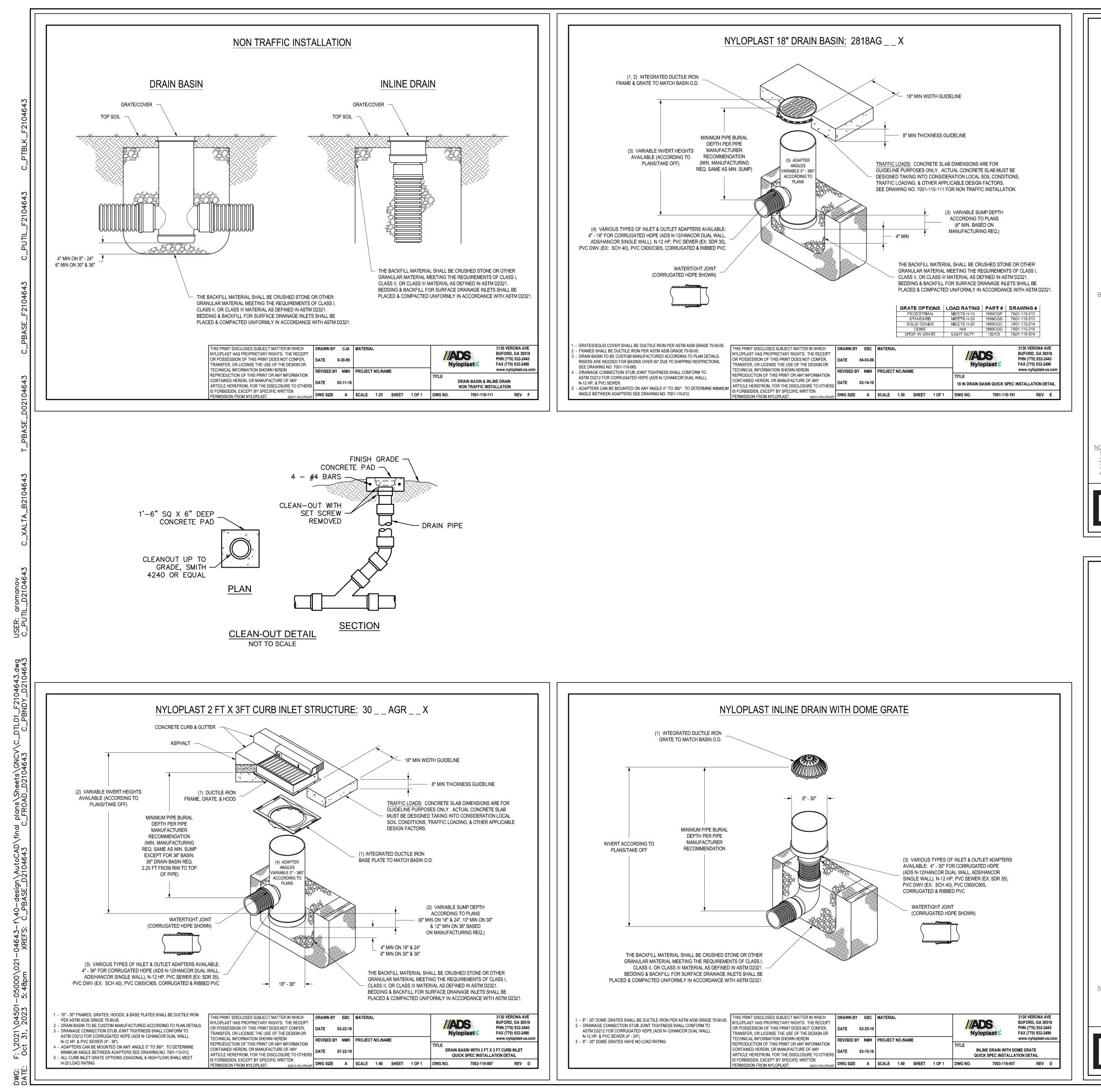




P-UG PROPOSED UNDERGROUND POWER INSTALL STRAIGHT BACK "WET" CURB & GUTTER PER DETAIL ON SHEET C302 URB ELEVATIONS SHALL TRANSITION SMOOTHLY OVER A MIN. OF 3' HORIZONTALLY. SEE GRADING PLANS FOR DETAILS AND EXCEPTIONS PROPOSED FULL DEPTH PCC PAVEMENT SEE SHEET C302 PROPOSED FULL DEPTH PCC PAVEMENT SEE SHEET C302 PROPOSED BUILDING PROPOSED BUILDING PROPOSED BUILDING GARAGE STALL COUNT KEYNOTES 1 PAINTED ADA SYMBOL. SEE DETAIL ON SHEET C107 2 ADA PARKING SIGN PER DETAIL ON SHEET C303		Olsson - Civil Engineering Missouri Certificate of Authority #0015	
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<section-header></section-header>	SITE PLAN (CONT'D) PRIVATE SITE DEVELOPMENT PLANS	THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST	LEE'S SUMMIT, MISSOURI
0' 2.5' 5' 10' SCALE IN FEET			<u>R/JN</u> <u>DE</u> <u>S/NH</u> 104643



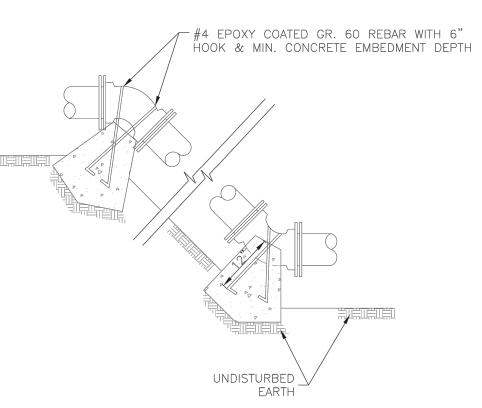




BOND BREAKER (TYP. ALL BLOCKS)		REQUIRED CON	CRETE BEARING	g area (squa	re feet – sf)			
6 6/27 8/7 4/3 4/3 4/3 10 13 13/5 10/0 5/3 4/3 4/3 11 13/1 13/5 10/0 5/3 4/3 4/3 4/3 11/1 12/5 13/1 12/5 19/6 10/3 6/6 5/3 4/3 4/3 11/1 11/2 11/3 11/3 11/3 12/5 13/3 6/6 5/3 14/3 1/4/3 14/3 1/4/3 14/			90 BEND	45 BEND	22.5 BEND	11.25 BEND			
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20 HIST. JI. 40.1 20.4 10.3 24 HIST. JI. HIST. JI. 29.4 14.8 OUTRED CONCRETE BLOCKS (1Y?) UNDISTURSED EATH UNDISTURSED EATH UNDISTURSED FATH UNDISTURSED FAT									
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1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT. 2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING. 3. BEARING AREA MUST BE AGAINST UNDISTURBED SOIL. 4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE. Date: 01/2016 Drawn By: JN	BOND BREAKE	ER (TYP. ALL BLOCKS)				DND BREAKER			DAVID MO#
	 ALL BENDS MEGA LUG BEARING A 	S MAY BE USED ONLY IN REA MUST BE AGAINST UN	CONJUNCTION WIT	H CONCRETE THRU	IST BLOCKING.	D FOR RESTRAINT.		XIPTION	
			LEE'S S	UMMIT	•			DESC	
PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 WAT-1 HORIZONTAL THRUST BLOCK WAT-1			MISS	SOURI					
HORIZONTAL THRUST BLOCK								,ISIC	
		Н	ORIZONTAL	THRUST BLO	СК		AI-1	REV	

REQUIRED	CONCRETE	VOLUME	(CUBIC	FEET	—	CF)
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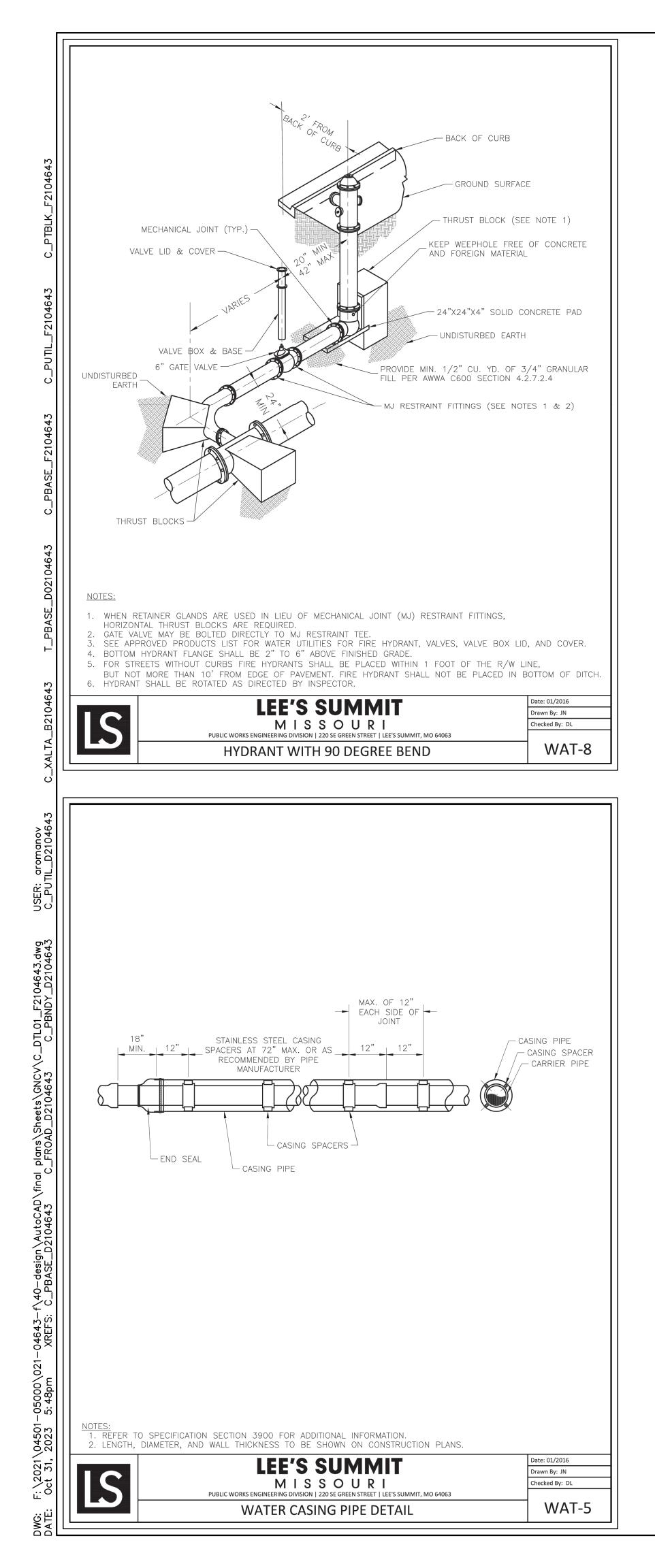
NOM. DIA.	180	90	45	22.5	11.25
(INCHES)	TEE, PLUG	BEND	BEND	BEND	BEND
6	50.5	71.4	38.6	19.7	9.9
8	89.8	126.9	68.7	35.0	17.6
10	140.2	198.3	107.3	54.7	27.5
12	202.0	REST. JT.	154.6	78.8	39.6
14	REST. JT.	REST. JT.	210.4	107.3	53.9
16	REST. JT.	REST. JT.	REST. JT.	140.1	70.4
18	REST. JT.	REST. JT.	REST. JT.	177.3	89.1
20	REST. JT.	REST. JT.	REST. JT.	REST. JT.	110.0
24	REST. JT.	REST. JT.	REST. JT.	REST. JT.	158.4

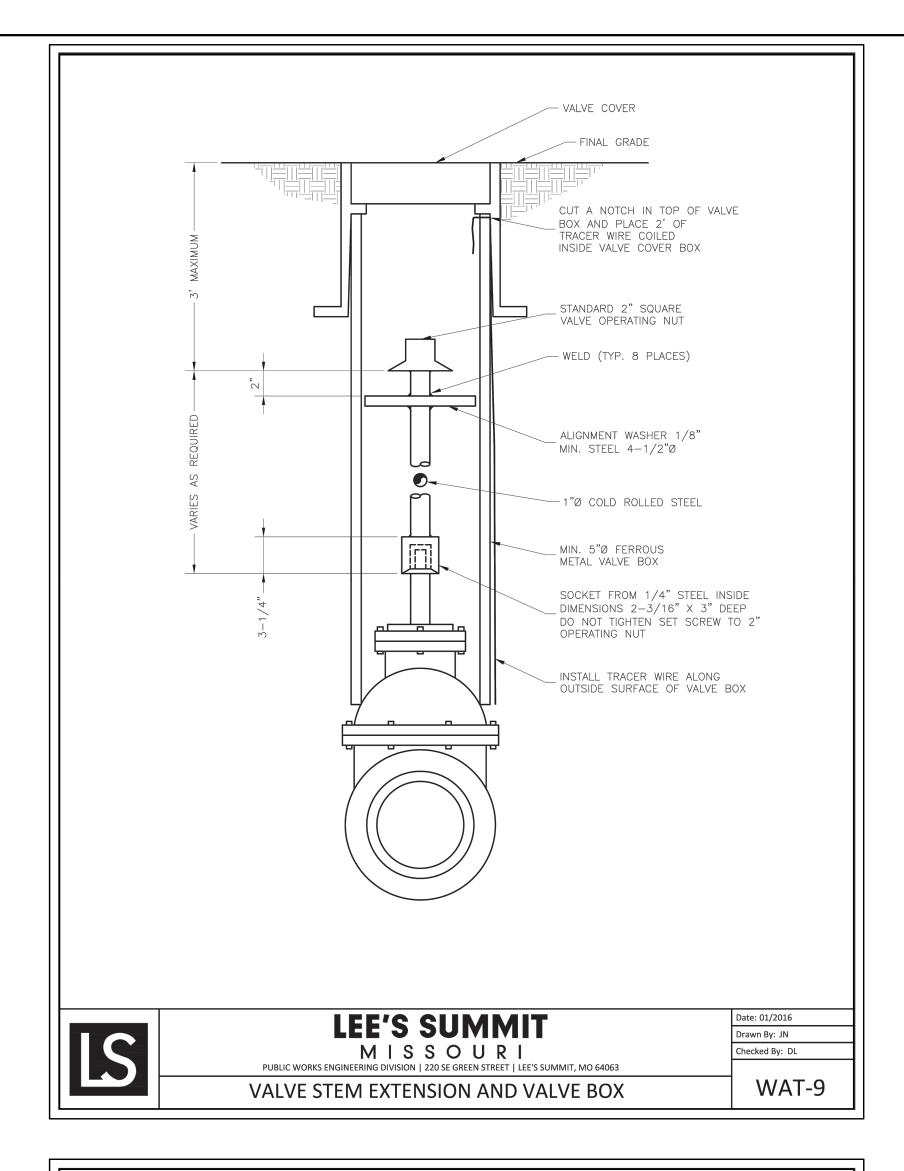


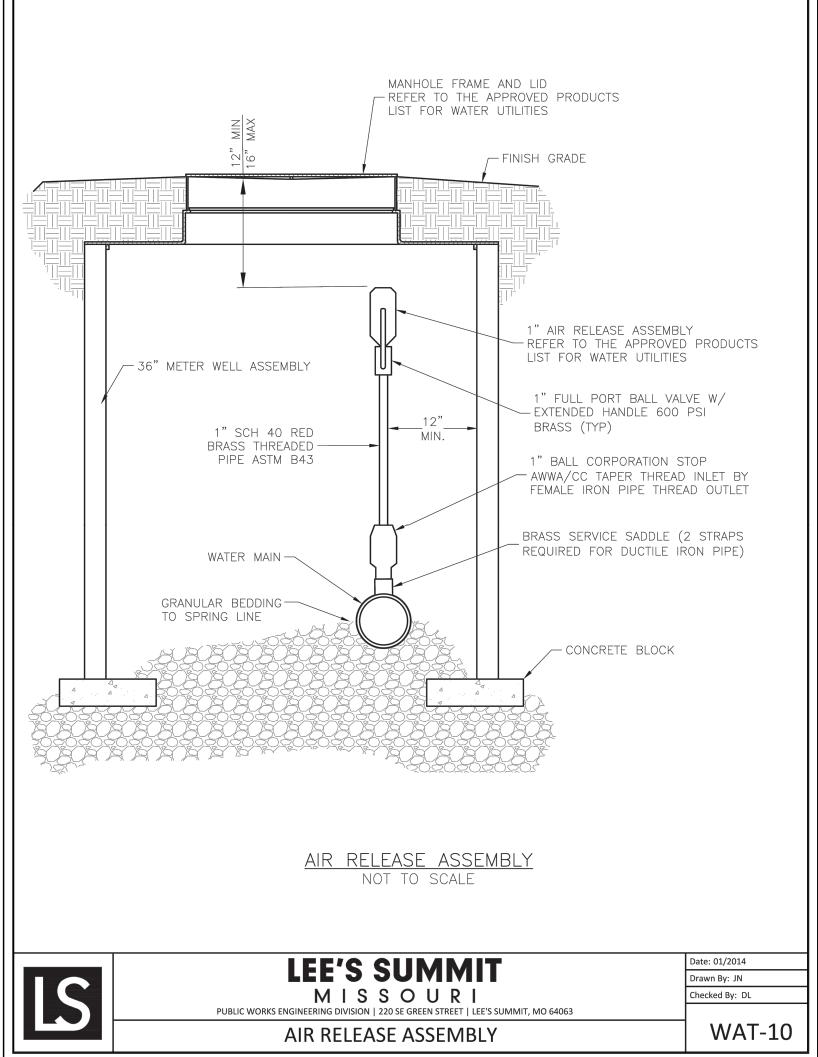
		Cheeked Buy DI
C		Drawn By: JN
	LEE'S SUMMIT	Date: WAT-2
4. DO NOI	COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.	
	MUST BE AGAINST UNDISTURBED SOIL.	
	UGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.	
1. ALL BEN	NDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR F	RESTRAINT.
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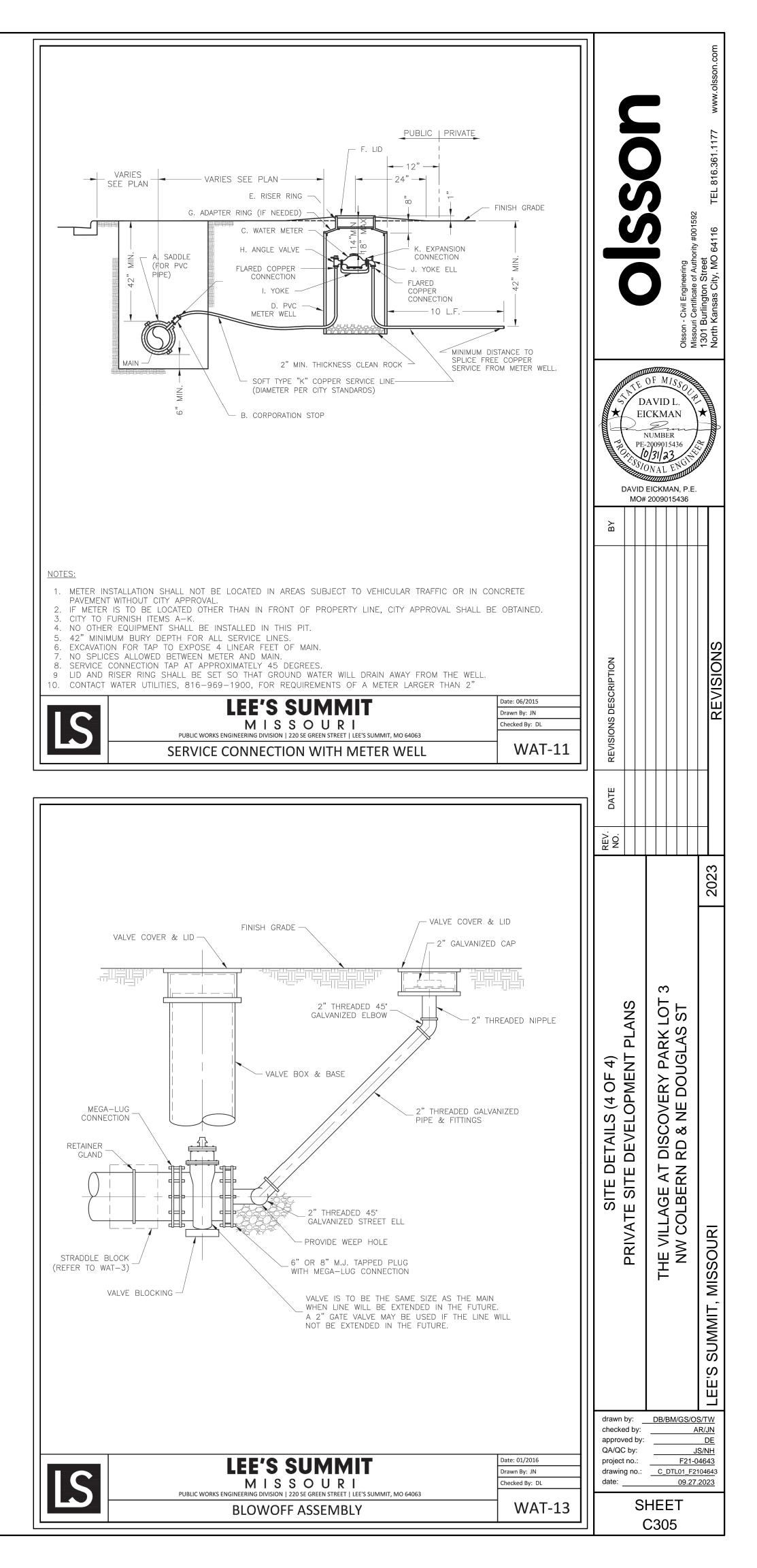
C	LEE'S SUMMIT	Drawn By: JN Checked By: DL
	PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	
	VERTICAL THRUST BLOCK	WAT-2

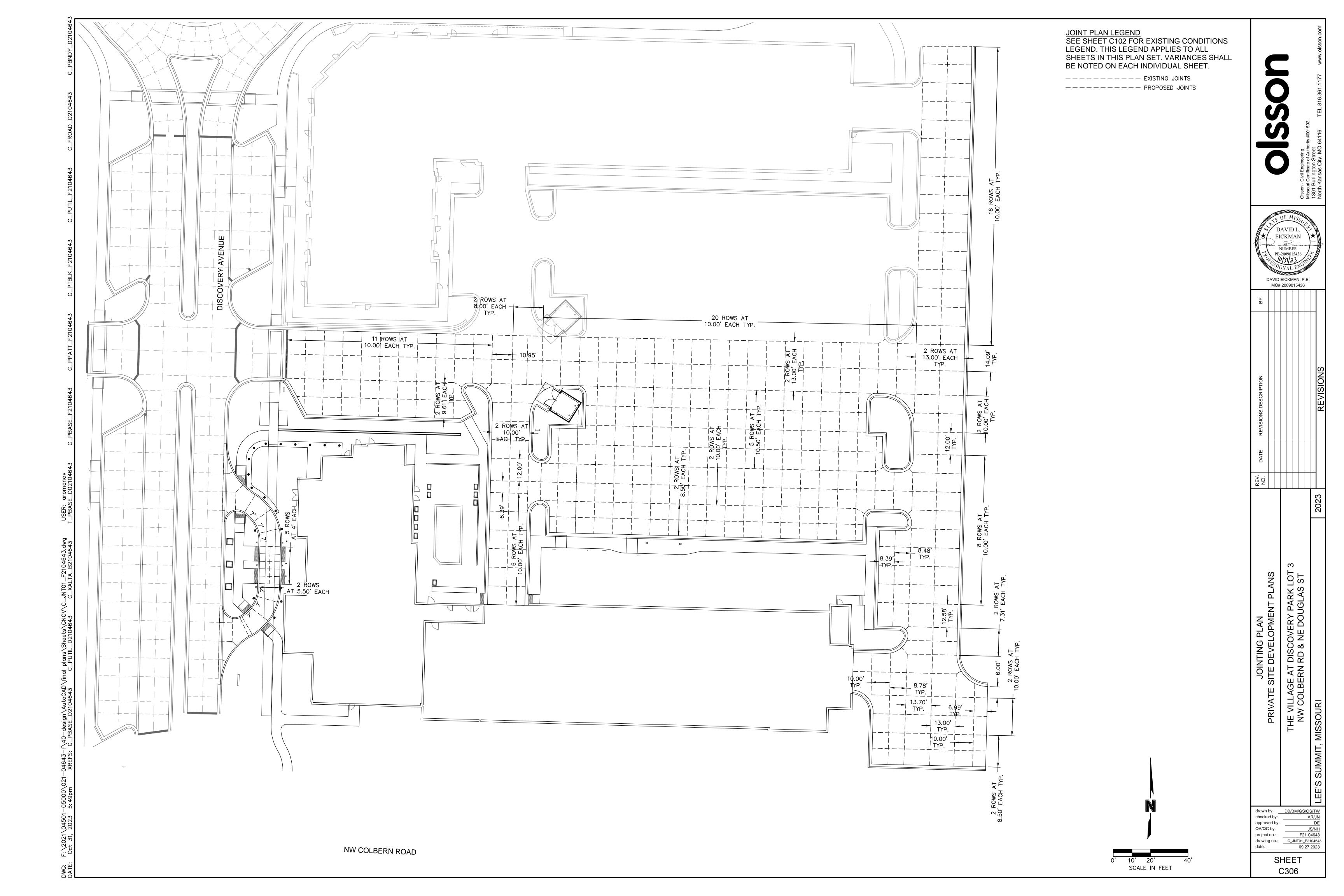
			1301 Burlington Street North Kansas City, MO 64116 TEL 816.361.1177 www.olsson.com
	CKMAN	, P.E.	*
BY			
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			2023
SITE DETAILS (3 OF 4) PRIVATE SITE DEVELOPMENT PLANS	THE VILLAGE AT DISCOVERY PARK LOT 3	NVV COLBERN RU & NE DOUGLAS ST	LEE'S SUMMIT, MISSOURI
drawn by: checked by: approved by: QA/QC by: project no.: drawing no.: date:	C_DTL	A J: F21-0	5/TW R/JN DE 5/NH 4643 04643
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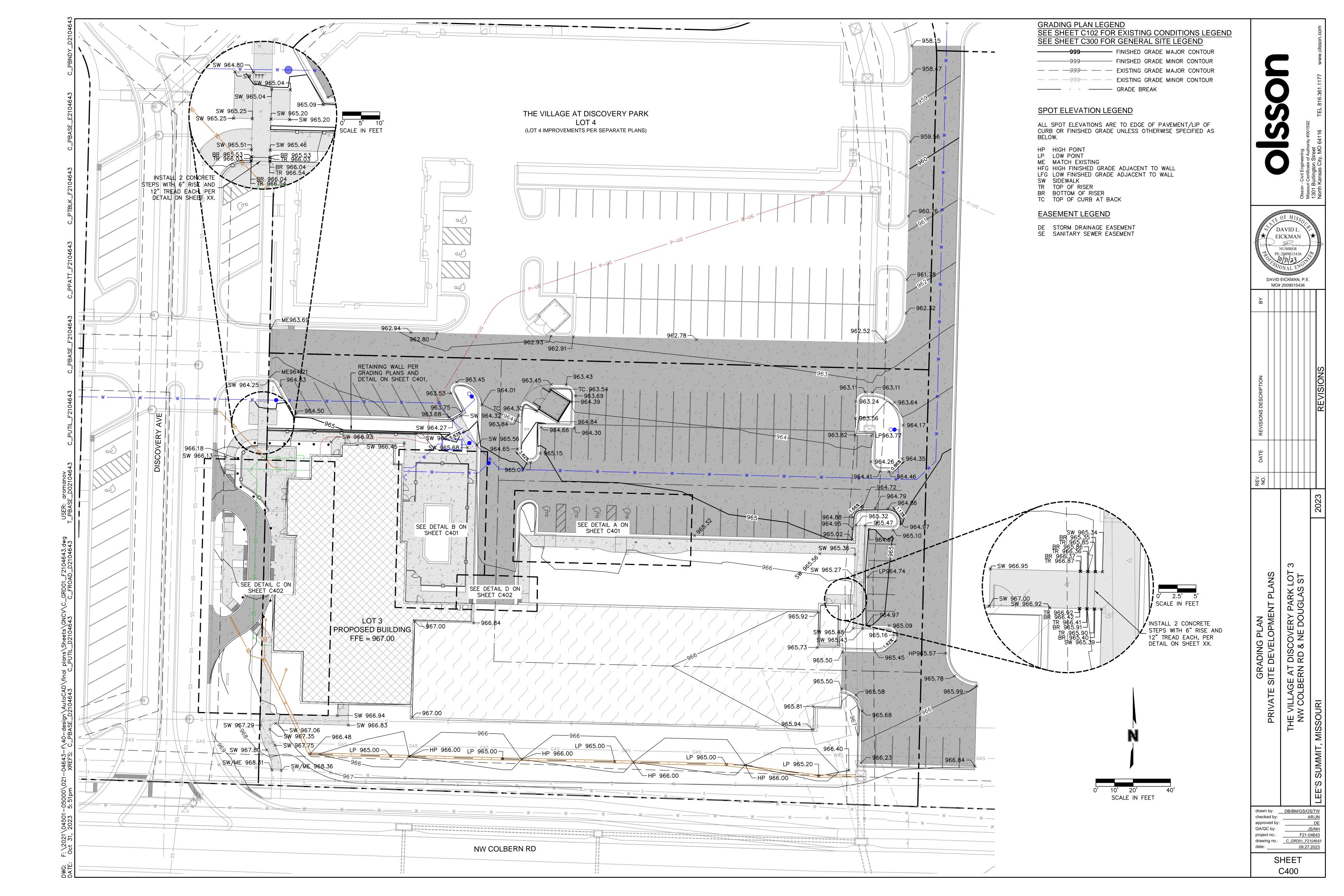


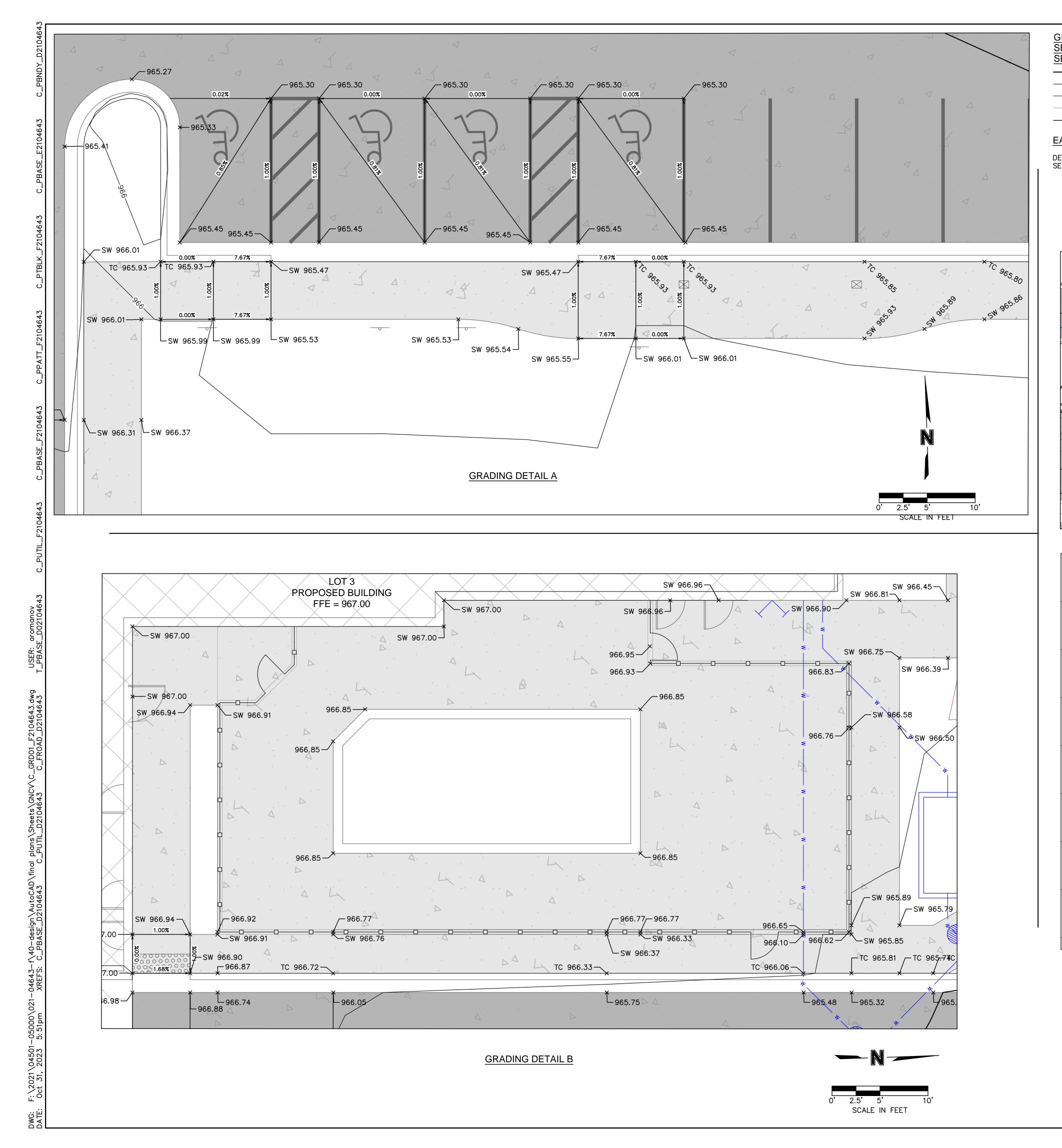


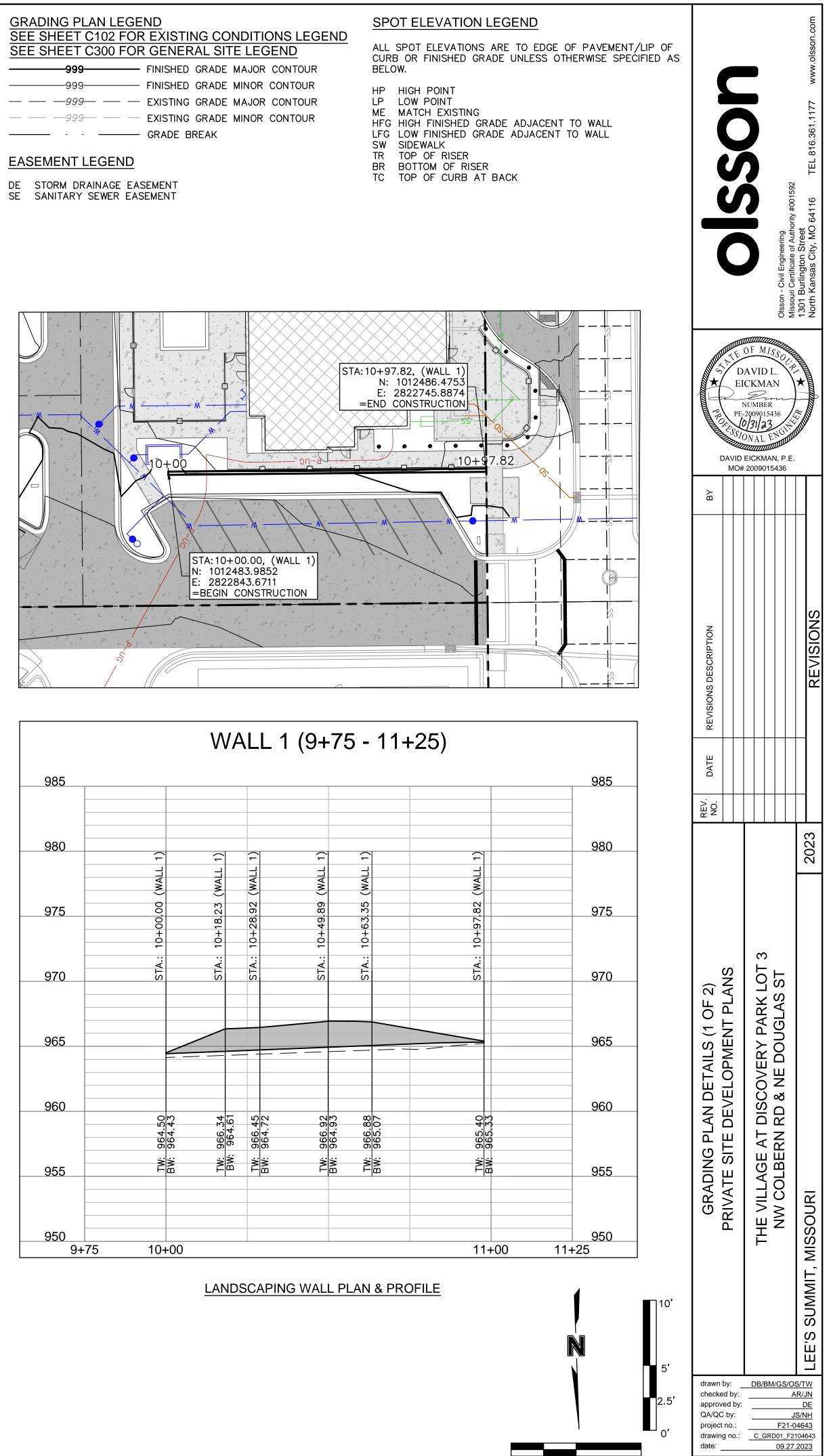


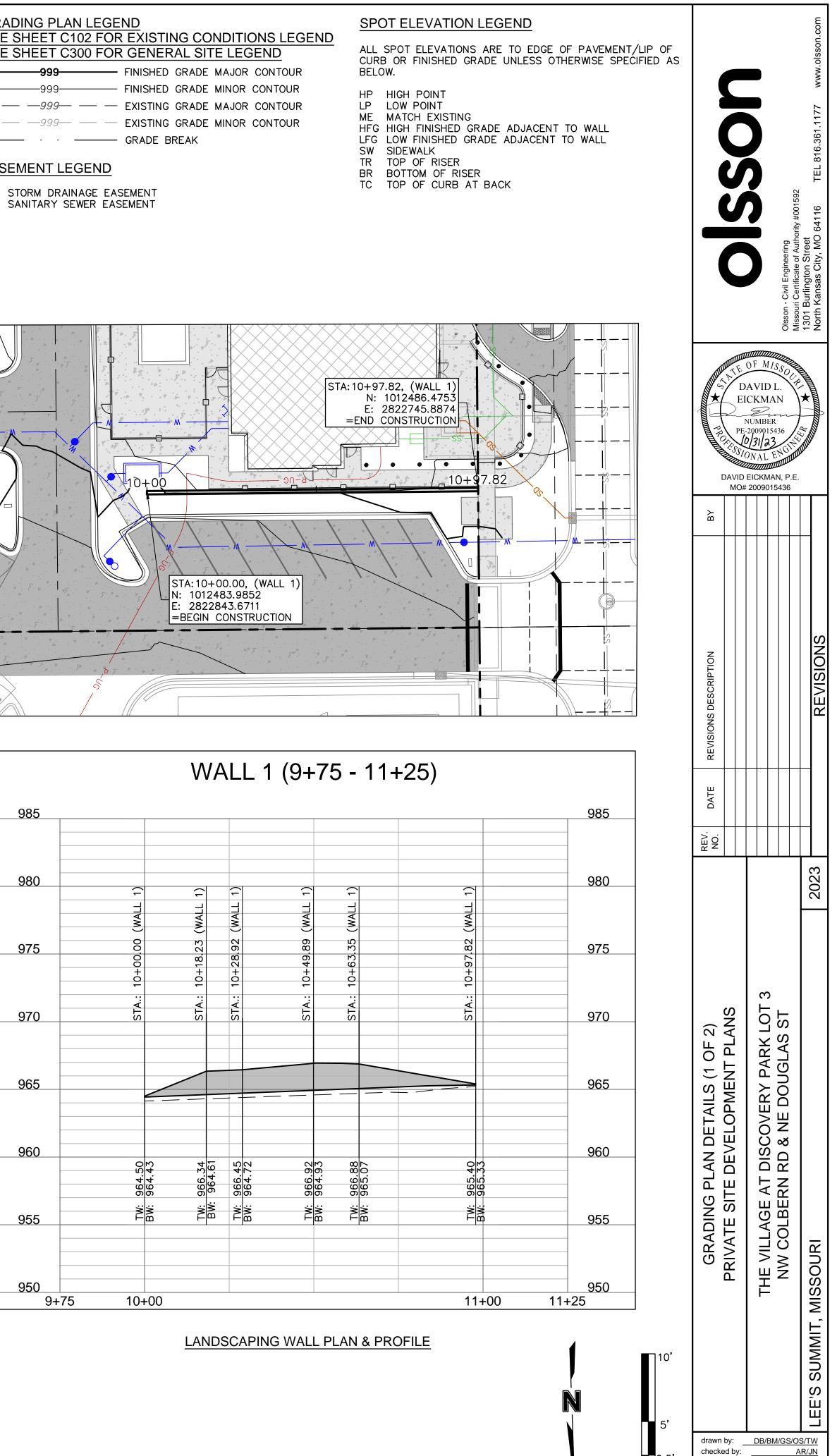






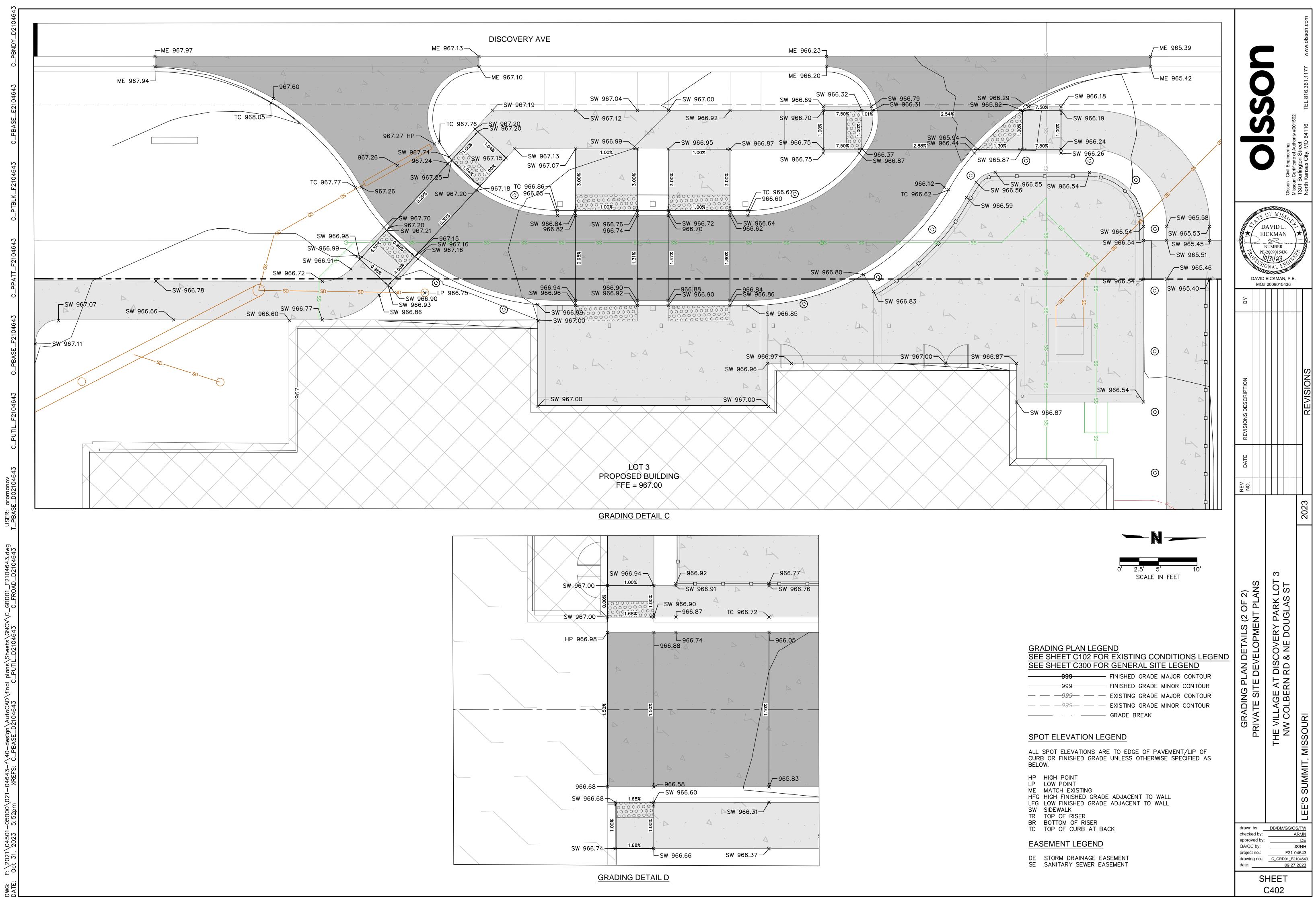




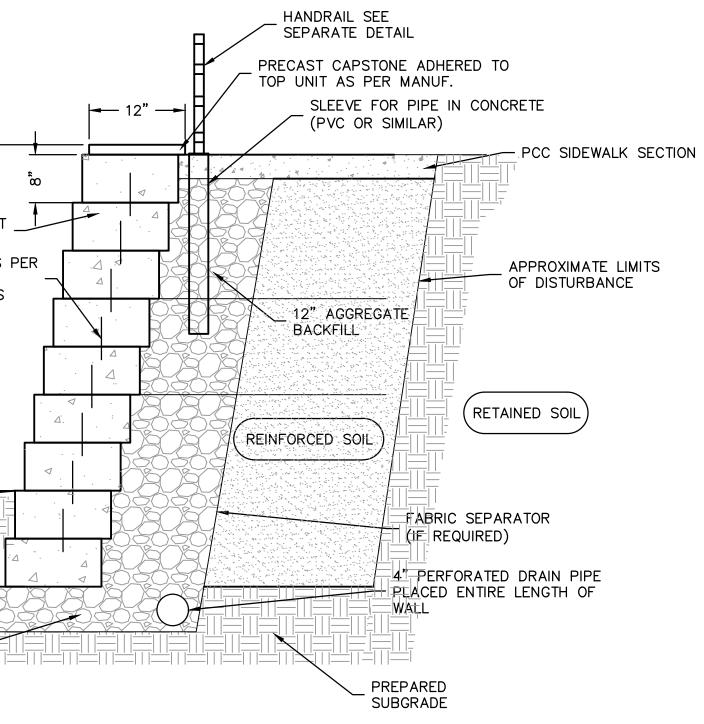


10' 20' SCALE IN FEET

SHEET C401



C_PTBLK_F2104643			
С_РUTIL_F2104643			
C_PBASE_F2104643			
T_PBASE_D02104643			
C_XALTA_B2104643		DESIGN HEIGHT	8"X12" PRECAST _ CONC. UNITS DOWEL UNITS AS PI MANUF. AND PIN FABRIC TO UNITS
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\C_DTL02_F2104643.dwg C_PBNDY_D2104643		6" BAS	ÅGGREGATE
\final plans\Sheets\GNCV C_FR0AD_D2104643			
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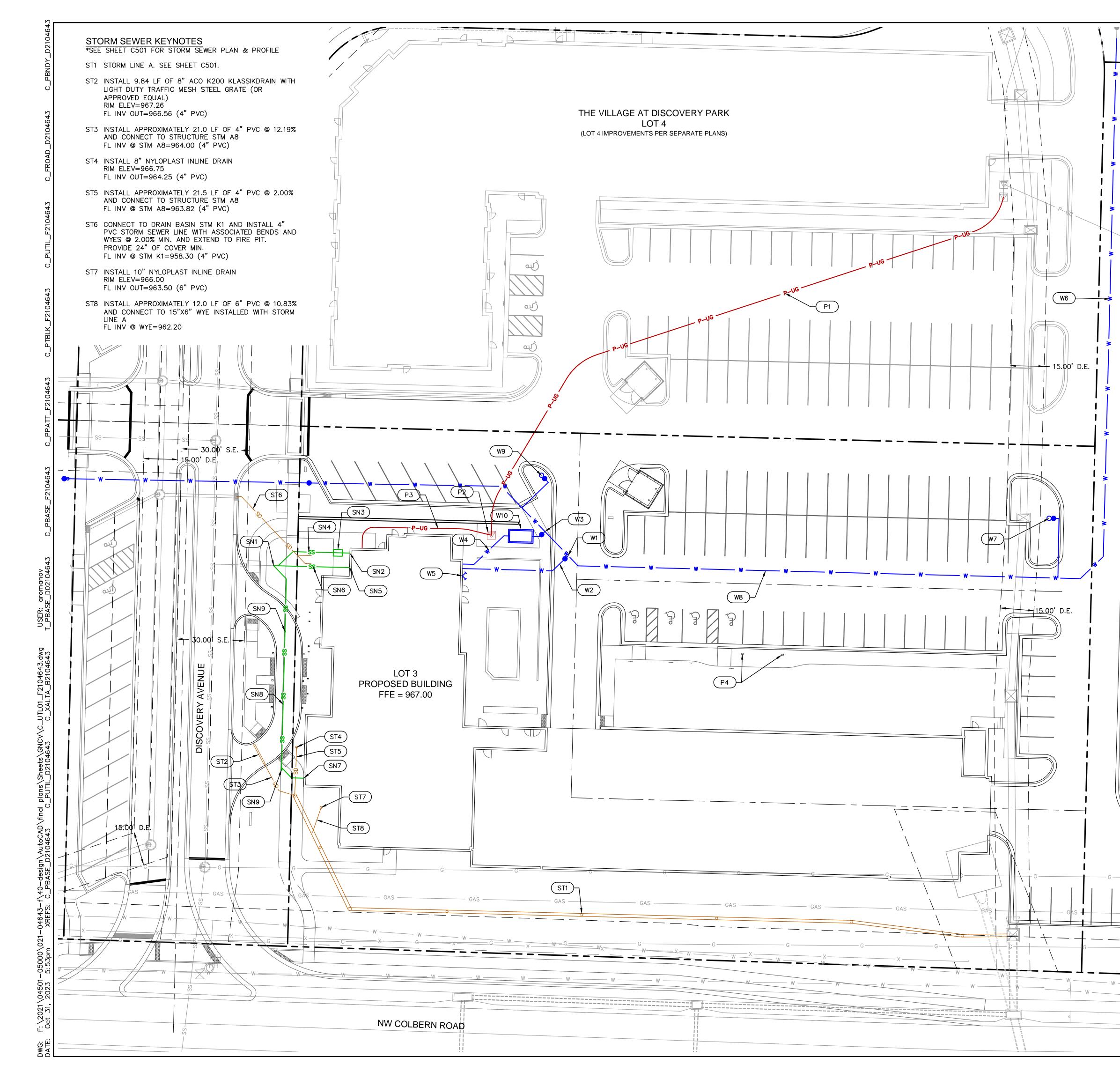


RETAINING WALL DETAIL

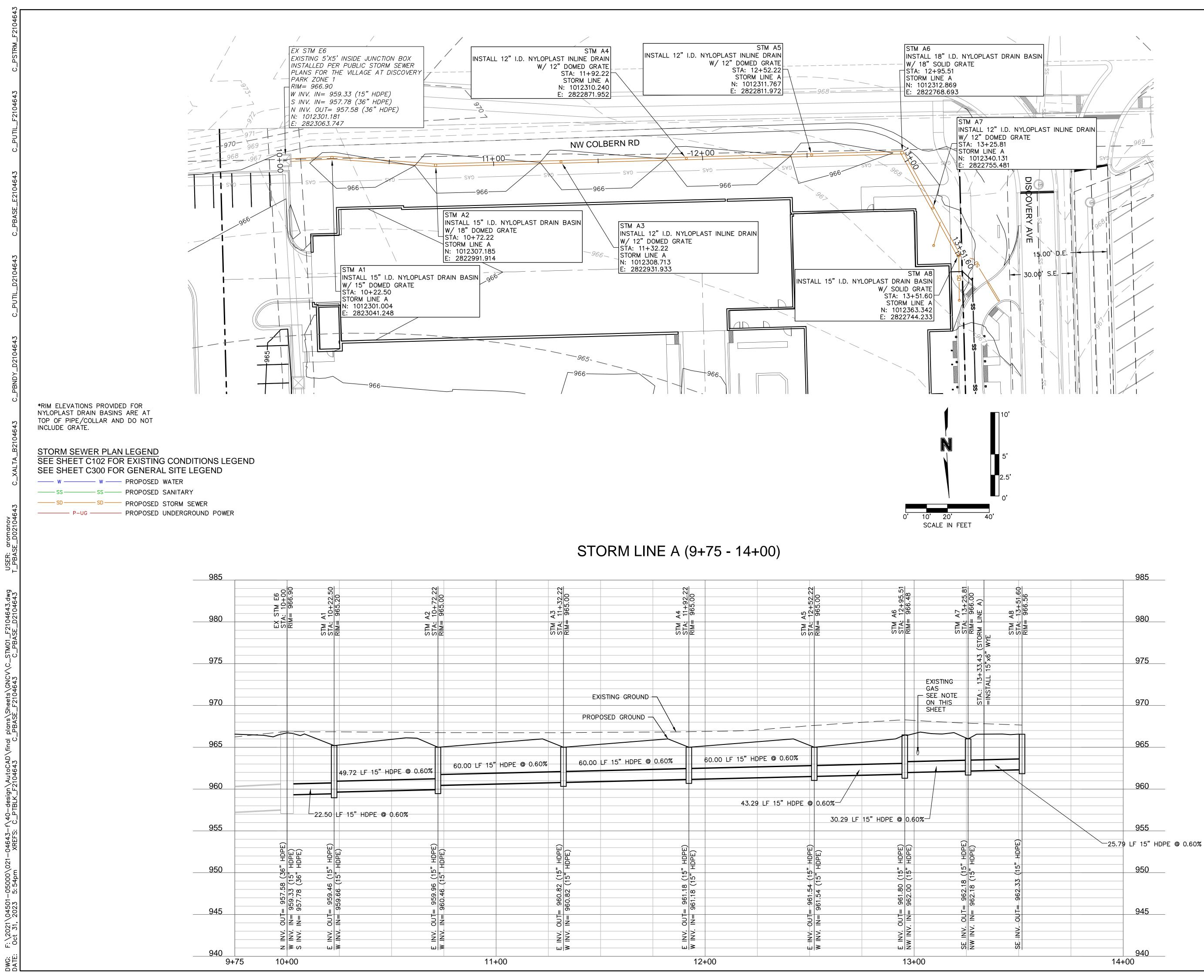
RETAINING WALL NOTES

- 1. MANUFACTURER, COLOR AND TYPE OF THE WALL SHALL BE COORDINATED WITH THE ARCHITECT AND THE OWNER. THE DETAILS PROVIDED HERE ARE FOR GENERAL GUIDANCE ONLY. THE WALL SHALL BE "DESIGN-BUILD" PROVIDED COMPLETE IN-PLACE BY THE CONTRACTOR.
- 2. THE WALL SHALL BE DESIGNED BY THE INSTALLER ACCORDING TO THE WALL UNIT MANUFACTURER'S DESIGN CRITERIA. THE DESIGN SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER AS A SHOP DRAWING FOR REVIEW. ALL DESIGN CALCULATIONS AND DESIGN CRITERIA, (ANGLE OF FRICTION, SOIL WEIGHT, ETC.), SHALL BE SUBMITTED WITH THE SHOP DRAWING. ALL DESIGN MUST BE SEALED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF KANSAS.
- FACTORS OF SAFETY SHALL BE AS FOLLOWS:
 1.5 AGAINST REINFORCEMENT GRID PULLOUT OR RUPTURE
 1.5 AGAINST EXTERNAL SLIDING FAILURE
 2.0 AGAINST OVERTURNING
- 4. THE DESIGN, DIMENSIONS, AND MATERIAL SHOWN IN THIS DETAIL ARE GENERAL IN NATURE. THE AGGREGATE MATERIALS, GEOGRID SYSTEM, AND INSTALLATION SHALL BE AS WALL UNIT MANUFACTURER'S REQUIREMENTS.
- 5. SEE SPECIFICATIONS FOR MATERIAL SELECTION AND OTHER REQUIREMENTS.
- 6. WALL DESIGN SHALL INCLUDE GLOBAL STABILITY.
- 7. RETAINING WALL SHALL PROVIDE POSITIVE INTERLOCKING BETWEEN BLOCKS AND GRID.

				Olsson - Civil Engineering	Missouri Certificate of Authority #001592	1301 Burlington Street	North Kansas City, MO 64116 TEL 816.361.1177 www.olsson.com
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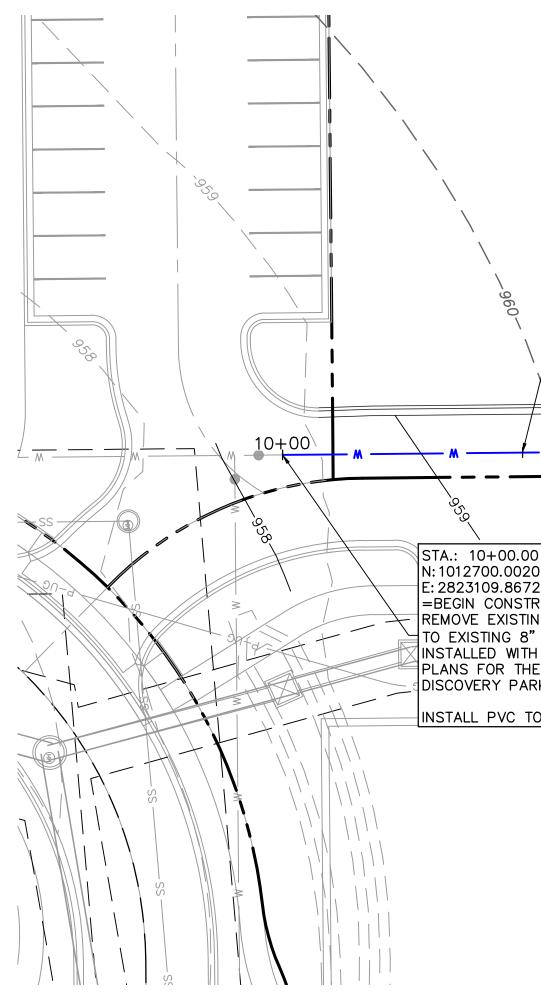
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PF CONTINUE ADD. PROCESSING	P-UC	PULL WIRE. P3 APPROXIMATELY 24 L.F. OF UNDERGROUND CONDUIT FOR ELECTRIC SERVICE PER EVERGY STANDARDS AND		Olsson Missour	1301 E North I
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WS COORDINATE THE LOCATION OF THE FIRE DEPARTMENT CONNECTION WITH THE ARCHITECT Image: Connection with the ARCHITECT W6 INSTALL 5" PVC WATER LINE A. SEE SHEETS COORD-COOL Image: Cool Image: Cool W7 INSTALL 5" PVC WATER LINE A. SEE SHEETS COORD-COOL Image: Cool Image: Cool W6 INSTALL 5" PVC WATER LINE A. SEE SHEETS COORD-COOL Image: Cool Image: Cool W6 INSTALL 5" PVC WATER LINE A. SEE SHEETS COORD-COOL Image: Cool Image: Cool W6 INSTALL 5" PVC WATER LINE A. SEE SHEETS COORD-COOL Image: Cool Image: Cool W6 INSTALL 5" WATER LINE A. SEE SHEETS Image: Cool Image: Cool W6 INSTALL 5" PVC GOOD Image: Cool Image: Cool Image: Cool W6 INTEL 5" PVC GOOD Image: Cool Image: Cool Image: Cool Image: Cool SW1 INSTALL 5" PVC GOOD Image: Cool Image: Co		DOMESTIC SERVICE LINE TO THE BUILDING. REFER TO			
W7 NSTALL FRE HYDRANT, SEE SHEET C600. W8 NSTALL FRE HYDRANT, SEE SHEET C601. W10 NSTALL FRE HYDRANT, SEE SHEET C601. SANTARY SEWER KEYNOTES SN1 SN1 CONNECT TO EXSTING 8" SANTARY SEWER LATERAL INSTALL 9 FME WILL PREVENCE TO SANTARY SEWER EXTENSION 1. HINTALL 9 FW0 FG0D WSTE CONNECTION AT THE BUILDING FLINK SEG TO MEP PLANS FOR CONNECT TO MEP PLANS FOR CONNECT TO SANTARY SERVEC LINE INSTALL APPROXIMATELY 34.5 LF. OF 4" PVC FOOD WSTE INFO MOL SERVICE LINE INSTALL SANTARY SERVEC CONNECTION AT THE BUILDING FLINK TO SANTARY SERVER TO FLINKING OF SANTARY SERVER TO FLINKING OF SANTARY SERVER TO FLINKING OF SANTARY SERVER TO TO SANTARY SERVER CLINE INSTALL SANTARY SERVER CLINE 01.000 SANTARY SERVER SERVICE LINE 01.000 SANTARY SERVER CLINE 01.000 SANTARY SERVER LINE 01.000 SANTARY SERVER SERVICE LINE 01.0000 SANTARY SERVER SERVICE L			NOIT		SIONS
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SNI CONNECT TO EXISTING 8' SANITARY SEWER LATERAL INSTALLED WITH PUBLIC SANITARY SEWER LATERAL INSTALL BY 8' WYE FLINV & END OF STUB=961.62 SN2 4' PVC FOOD WASTE CONNECTION AT THE BUILDING FLINV @ BLDG=964.00 SN3 INSTALL GRASE INTERCEPTOR. REFER TO MEP PLANS FOR MORE DETAILS ON THE INTERCEPTOR. FLINV @ BLDG=964.00 SN3 INSTALL ORASE INTERCEPTOR. REFER TO MEP PLANS FOR MORE DETAILS ON THE INTERCEPTOR. FLINV @ BLDG=964.00 SN3 INSTALL ORASE INTERCEPTOR. REFER TO MEP PLANS FOR MORE DETAILS ON THE INTERCEPTOR. FLINV @ BLDG=964.50 SN4 INSTALL APPROXIMATELY 34.5 LF. OF 4" PVC FOOD WASTE LINE @ 2.00% MIN, 7.00% MAX AND CONNECT TO 3"X4" WYE. REFER TO PLUMBING PLANS FOR CONTINUATION OF SERVICE LINE INSDE THE BUILDING. SN5 8" PVC SANITARY SERVICE CONNECTION AT THE BUILDING SN7 8" PVC SANITARY SERVER CONNECTION AT THE BUILDING SN8 INSTALL APPROXIMATELY 104.0 LF. OF 8" PVC SN8 INSTALL APPROXIMATELY 104.0 LF. OF 8" P		W10 INSTALL 3" WATER METER VAULT	DATE		
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SN9 INSTALL SANITARY SEWER CLEANOUT GAS GAS GAS M W W W W O' 10' 20' 40' SCALE IN FEET		SANITARY SERVICE LINE @ 1.00% AND CONNECT TO 8"X8" WYE. REFER TO PLUMBING PLANS FOR CONTINUATION OF SANITARY SEWER SERVICE LINE		IE VILLAG NW COLE	OURI
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Comment F21-04643 0' 10' 20' 40' SCALE IN FEET SHEET	W W W		approved by:		DE
SCALE IN FEET SHEET	COMMP		project no.: drawing no.:	F21-0 C_UTL01_F21	04643 104643

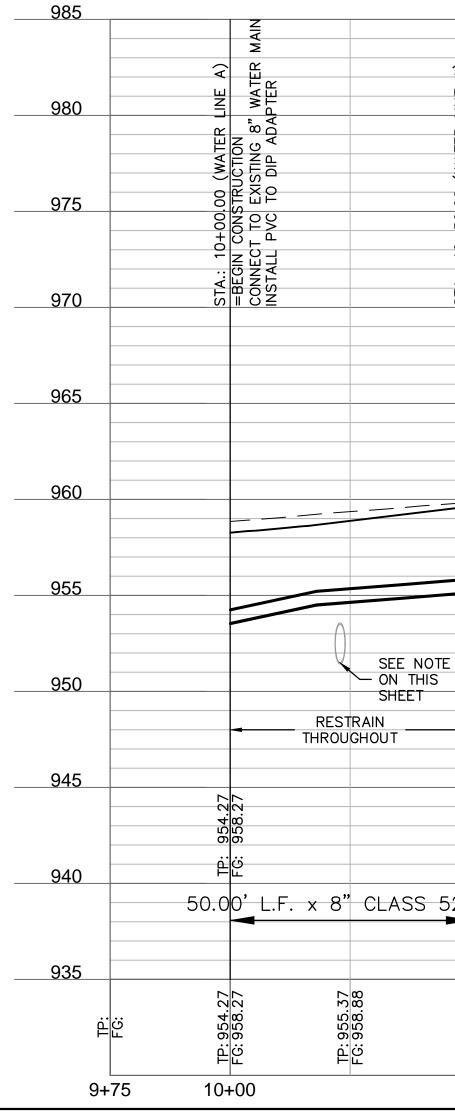


	STM A3 STA: 11+32.22 RIM= 965.00	STM A4 STA: 11+92.22 RIM= 965.00	STM A5 STA: 12+52.22 RIM= 965.00	STM A6 STA: 12+95.51 RIM= 966.48 STM A7 STM A7 STA: 13+25.81 RIM= 966.00 RIM= 966.00
	EXISTING GROUND			EXISTING GAS SEE NOTE ON THIS SHEET
50.00 LF 15" HDPE @ 0.60%	60.00 LF 15" HDPE @	0.60% 60.00 LF 1	15" HDPE @ 0.60% 43.29 LF 15" HDPE @ 0.60% 30.29 LF	15" HDPE @ 0.60%
	OUT= 960.82 (15" HDPE) IN= 960.82 (15" HDPE) IN= 960.82 (15" HDPE)	OUT= 961.18 (15" HDPE) IN= 961.18 (15" HDPE)	0011= 961.54 (15" HDPE) 961.54 (15" HDPE) 961.54 (15" HDPE)	961.80 (15" HDPE) 962.00 (15" HDPE) 962.00 (15" HDPE) = 962.18 (15" HDPE) 962.18 (15" HDPE)
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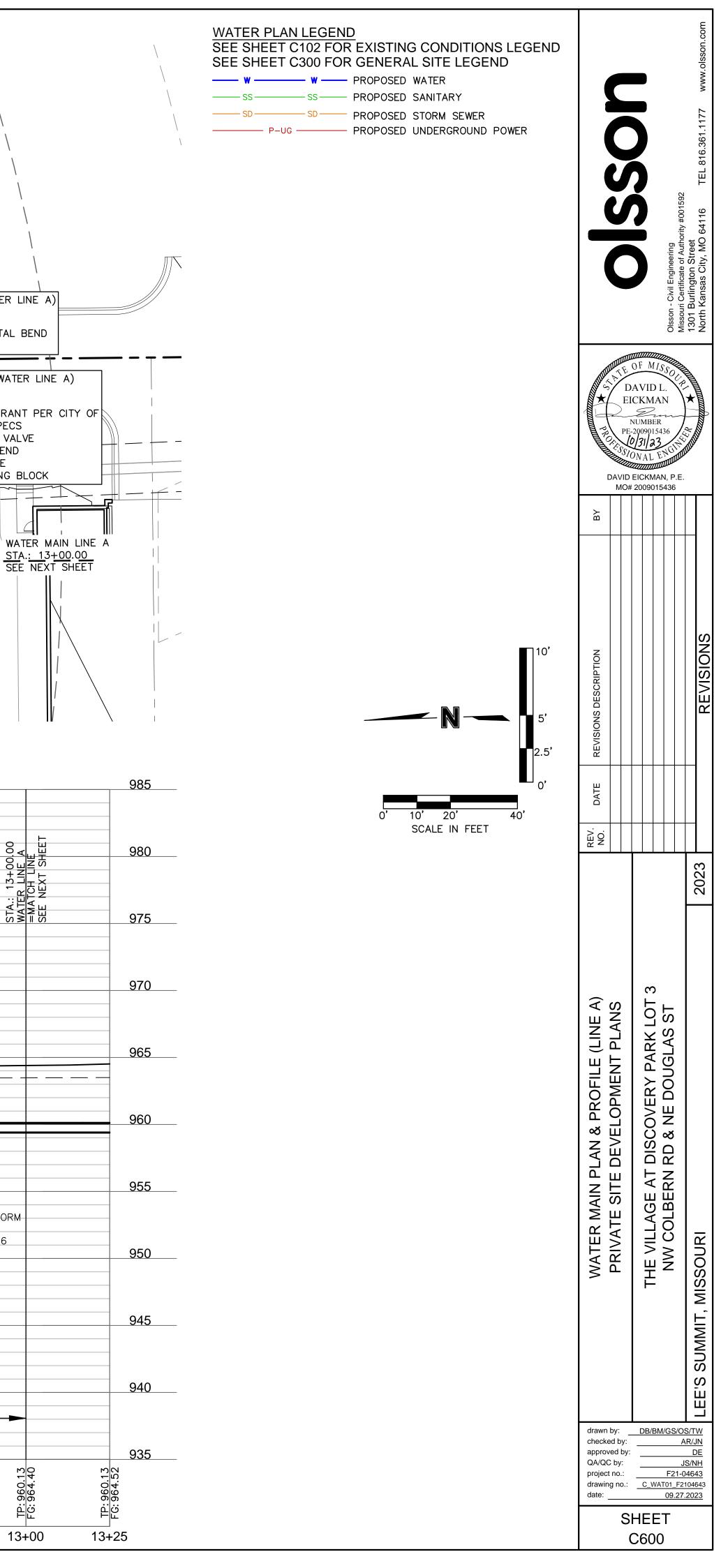
		Missouri Engineering Missouri Certificate of Authority #001592 1301 Burlington Street North Kansas City, MO 64116 TEL 816.361.1177 www.olsson.com
DAVIE	OF <i>MISS</i> OAVID L. ICKMAN NUMBER -2009015436 0 31 23 ONAL EN EICKMAN, # 200901543	P.E.
REV. DATE REVISIONS DESCRIPTION BY		REVISIONS
		2023
STORM SEWER PLAN & PROFILE (LINE A) PRIVATE SITE DEVELOPMENT PLANS	THE VILLAGE AT DISCOVERY PARK LOT 3	LEE'S SUMMIT, MISSOURI
drawn by: checked by: approved by QA/QC by: project no.: drawing no.: date:	: F C_STM0^	S/OS/TW AR/JN DE JS/NH 21-04643 1_F2104643 9.27.2023
	C501	

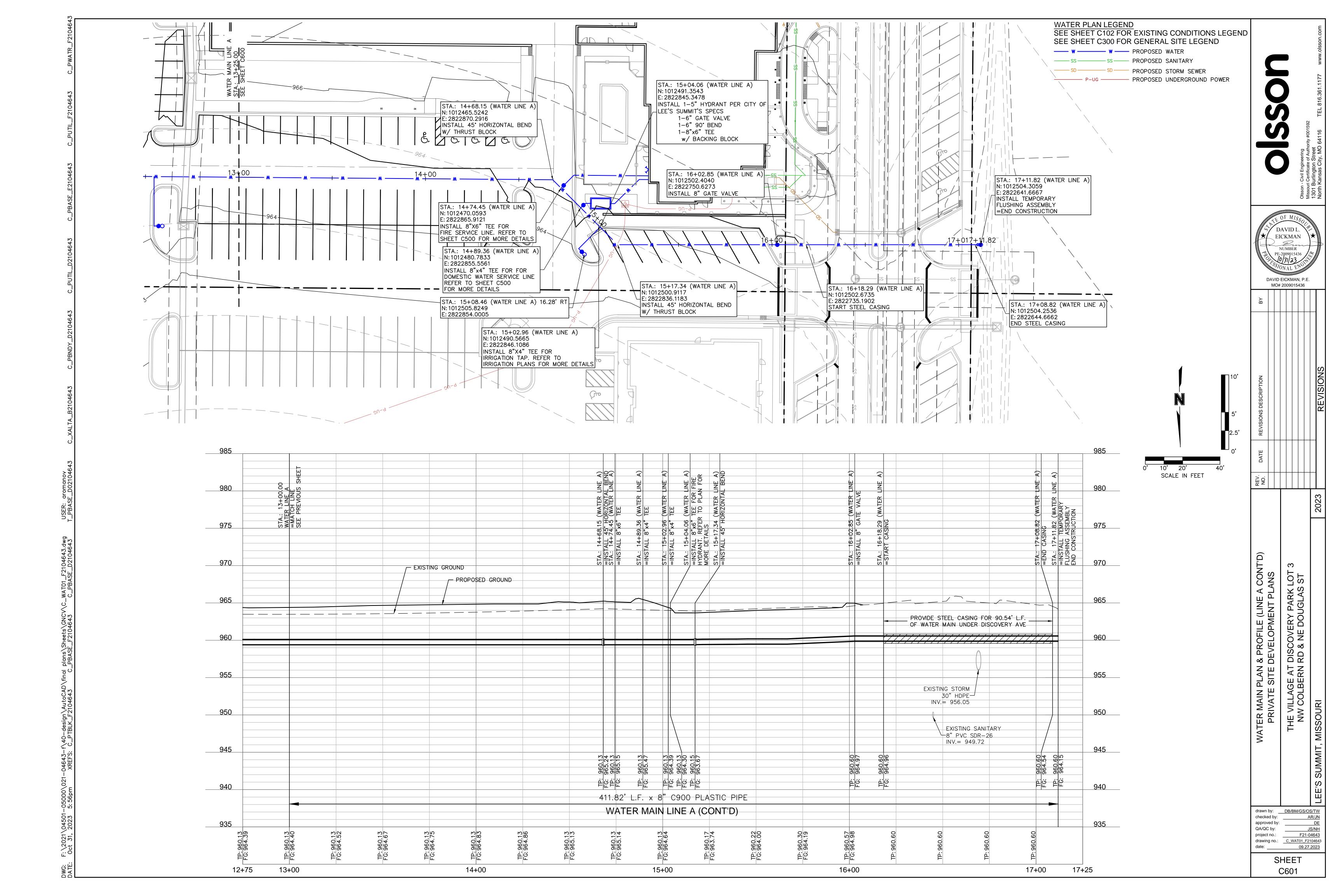
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C_PWATR_F2104643	
C_PUTIL_F2104643	
C_PBASE_E2104643	
C_PUTIL_D2104643	
C_PBNDY_D2104643	
C_XALTA_B2104643	<u>NOTE:</u> APPROXIMATE LOCATION OF FUTURE STORM SEWER EXTENSION TO SERVE LOT 1 SHOWN ON THE PROFILE FOR REFERENCE ONLY
USER: aromanov T_PBASE_D02104643	
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	STA.: 10+49.97 (WATER LINE A) N: 1012650.0436	`962	N: 1012469 E: 282310	4.0020				
20 72 TRU TING 8"F THF HE ARK	(WATER LINE A)	M M STA.: 12+14.04 (W N: 1012486.6554 E: 2823079.8572	W/ THRUS	12+00 0 0 0 0 0 0 0 0 0 0 0 0 0	00 06 06 07 0 0 0 0 0 0 0 0 0 0 0 0 0 0		N: 1012459. E: 2823093 INSTALL 45 W/ THRUST STA.: 1 N: 10124 E: 28230 INSTALL LEE'S S	.7490 5° HORIZONTAL
STA.: 10+50,00 (WATER LINE A)		EXISTING GROUND -				I STA.: 12+30.42 (WATER LINE A) =INSTALL 45' HORIZONTAL BEND STA.: 12+44.62 (WATER LINE A) =INSTALL 45' HORIZONTAL BEND	STA.: 12+54.58 (WATER LINE A) =INSTALL 8"x6" TEE FOR FIRE HYDRANT. REFER TO PLAN FOR MORE DETAILS MORE DETAILS	STA.: 13+000.00
Ļ			50.00' L.F.	x 8" C900	PLASTIC PIF	FG: 960.13 FG: 960.13 FG: 960.13 FG: 960.13 FG: 964.83 FG: 964.83	TP: 960.13	XISTING STORN 36" HDPE NV.= 954.96
	LD: 022.00 LD: 02		ER MAIN L	FG: 963.38 FG: 963.38 TP: 960.08	TP: 960.13		FG: 964.66 TP: 960.13	EC: 964.39

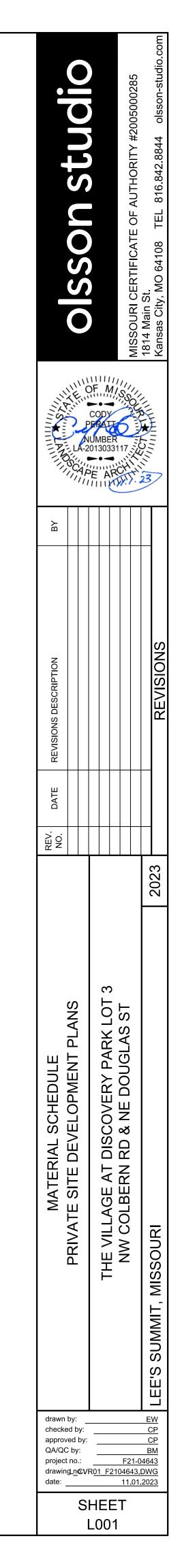


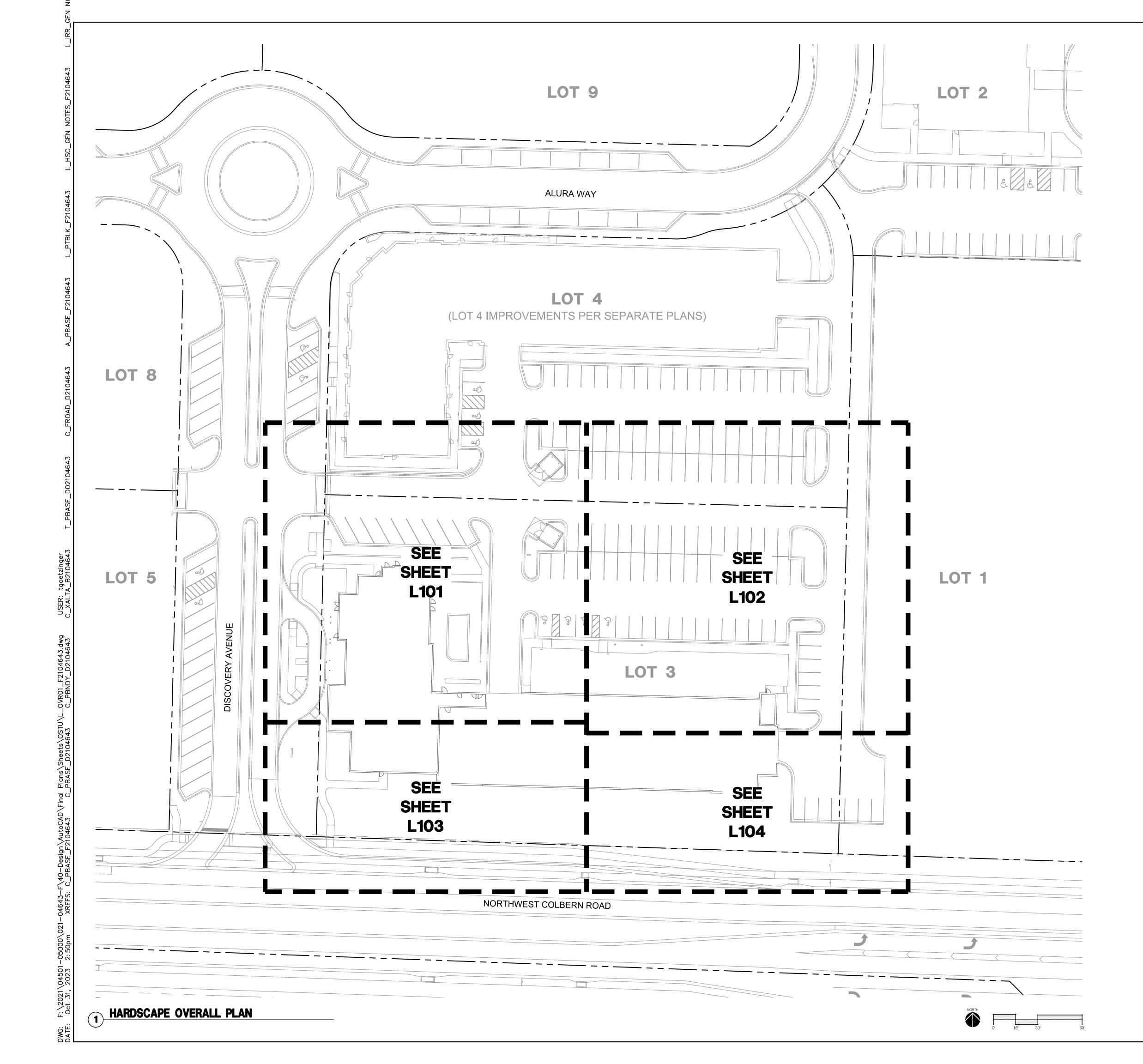


MATERIAL SCHEDULE:

KEY	MATERIAL NAME	MANUFACTURER/SUPPLIER	COLLECTION	COMMENTS	CONTACT
	LOT 3				
	PAVING				
	CAST-IN-PLACE				
P-100.1	GRAY CONCRETE	N/A	N/A		
P-100.2	STAMPED INTEGRAL COLOR CONCRETE	BOMANITE	N/A	COLORATION SYSTEMS - INTEGRAL COLOR, COLOR: SIERRA ROSE, COLOR RELEASE: PAINTED DESERT, MEDIUM ASHLAR SLATE STAMP PATTERN	DAN KROESEN 816.861.1234
P-100.3	POOL DECK CONCRETE WITH TOPPING	MORTEX MATERIALS	N/A	KOOL DECK CONCRETE TOPPING, 3/16" COLOR: ADOBE BUFF	BOB MILLER 410.610.9401
	MANUFACTURED				
P-200.1	FIRE GLASS	HOUSE OF ROCKS	AMERICAN SPECIALITY GLASS	GRAY FIRE GLASS, SIZE: MEDIUM	ADAM BURKIEWICZ 913.432.599
	NATURAL STONE				
P-300.1	DECORATIVE ROCK	STURGIS MATERIALS	N/A	MEDIUM JACKS 2-4"	TJ JACKSON 913.208.5023
	CLADDING				
	VENEER & CAP				
W-100.1	BAR COUNTERTOP	COSENTINO	DEKTON	THICKNESS: 2 CM, COLOR: TRILIUM	MICHAEL VAN OS +34.606.258.4
W-100.2	EXTERIOR CLADDING	COSENTINO	DEKTON	THICKNESS: 12 MM, COLOR: KERANIUM	MICHAEL VAN OS +34.606.258.4
W-100.3	FIRE PIT CAP	COSENTINO	DEKTON	THICKNESS: 12 MM, COLOR: TRILIUM	MICHAEL VAN OS +34.606.258.4
	FENCING/RAILING				
F-100.1	POOL FENCE	C.R. LAURENCE	N/A	MATCH STERLING DULA BASIS OF DESIGN, ALLUMINUM TUBING, FINISH: FLUROPOLUMER (PVDF) 70% RESIN, 2 COAT-SYSTEM COMPLYING WITH AAMA 2605, COLOR: DARK BRONZE	CR LAURENCE COMPANY 800.421.6144
F-100.2	GUARDRAIL	C.R. LAURENCE	N/A	MATCH STERLING DULA BASIS OF DESIGN, ALLUMINUM TUBING, FINISH: FLUROPOLUMER (PVDF) 70% RESIN, 2 COAT-SYSTEM COMPLYING WITH AAMA 2605, COLOR: DARK BRONZE	CR LAURENCE COMPANY 800.421.6144
	SITE FURNISHINGS PRIVATE				
SF-100.1	DINING CHAIR	BROWN JORDAN	OSCAR	PRODUCT NUMBER: 5490-2200, FABRIC COLOR: BLACK GREY, FRAME COLOR: TEXTURED PEWTER, CORD COLOR: COAL	TAYLOR FORTUNE 636.227.9699
SF-100.1	LOUNGE CHAIR	BROWN JORDAN	OSCAR	PRODUCT NUMBER: 5490-6000, FABRIC COLOR: BLACK GREY, FRAME COLOR: TEXTURED PEWTER, CORD COLOR: COAL	TAYLOR FORTUNE 636.227.969
SF-100.3	BAR STOOL	BROWN JORDAN	OSCAR	PRODUCT NUMBER: 5490-3600, FABRIC COLOR: BLACK GREY, FRAME COLOR: TEXTURED PEWTER, CORD COLOR: COAL	TAYLOR FORTUNE 636.227.969
SF-100.4	CHAISE LOUNGE	TROPITONE	SOUTH BEACH	PRODUCT NUMBER: 240532, FABRIC COLOR: PEACOCK, FRAME COLOR: GRAPHITE	GLEN KUOPUS 972.839.3538
SF-100.5	DINING TABLE	TROPITONE	AMICI	PRODUCT NUMBER: 691936-28, 36" ROUND KD DINING TABLE, COLOR: GRAPHITE	GLEN KUOPUS 972.839.3538
SF-100.6	DINING UMBRELLA TABLE	TROPITONE	AMICI	PRODUCT NUMBER: 691936U-28, 36" ROUND KD DINING UMBRELLA TABLE, COLOR: GRAPHITE	GLEN KUOPUS 972.839.3538
SF-100.7	SIDE TABLE	BROWN JORDAN	OSCAR	PRODUCT NUMBER: 5493-1700-KN, FABRIC COLOR: BLACK GREY, FRAME COLOR: TEXTURED PEWTER, CORD COLOR: COAL	TAYLOR FORTUNE 636.227.9699
SF-100.8	TRASH RECEPTACLE - PRIVATE	TROPITONE	RADIUS	PRODUCT NUMBER: 3B2189, 46" X 24.75" X 24.75", COLOR: BRIGHT BLACK, SURFACE MOUNT	GLEN KUOPUS 972.839.3538
SF-100.9	UMBRELLA	TROPITONE	PORTOFINO II	PRODUCT NUMBER: BQH008MS, 8' HEXAGON MANUAL LIFT, FABRIC COLOR: SPECTRUM GRAPHITE, FRAME COLOR: GRAPHITE, BASE: PRODUCT NUMBER: CFA24R2F CEMENT FILLLED ALUMINUM BASE 24" ROUND, 2" POLE FREE STANDING GRAPHITE COLOR	GLEN KUOPUS 972.839.3538
SF-100.10	PLANTER - FRONT ENTRY	LANDSCAPE FORMS / KORNEGAY DESIGNS	ASPECT	ASP-30, SANDSTONE COLOR	STACY ERNST 816.678.2004
SF-100.11	PLANTER - ACCENT	TOURNESOL	WILSHIRE	PRODUCT NUMBER: WR-362430, 36" X 24" X 30", DRAIN HOLE, POWDERCOAT COLOR: TEXTURED PEWTER, CORD COLOR: COAL	HEATHER HUFFER 510.240.6844
SF-100.12	TOWEL BIN	TEXACRAFT	N/A	PRODUCT NUMBER: M1600RTB, FABRIC COLOR: PEWTER MESH 921, FRAME COLOR: BRONZE BRZ	HEATHER PITTMAN 800.313.505
SF-100.13	TOWEL RACK	TEXACRAFT	NEXUS	PRODUCT NUMBER: M77041, FABRIC COLOR: ROSEWOOD WEAVE	HEATHER PITTMAN 800.313.505
SF-100.14	CABANA	TROPITONE	N/A	PRODUCT NUMBER: NS008A238, 8' SQUARE WITH FABRIC CURTAINS (NO VENT), FINISH: GRAPHITE, COVER FABRIC COLOR: SPECTRUM GRAPHITE, CURTAIN FABRIC COLOR: CANVAS GRAPHITE	GLEN KUOPUS 972.839.3538
SF-100.15	GRILL ASSEMBLY	WEBER	SUMMIT	S-660 BUILT-IN GAS GRILL, 43" X 31" X 51"	WEBER-STEVEN PRODUCTS LL 800.446.1071
SF-100.16	FIRE PIT ASSEMBLY	HEARTH PRODUCTS CONTROL CO.	SQUARE FLAT INSERT	PRODUCT NUMBER: 18FSSEI-SQ-NG/24VAC, 18" INSERT, 12" BURNER, ELECTRONIC IGNITION ON OFF, 24 VAC, NATURAL GAS	HPC FIRE INSPIRED 937.436.980
	STREETSCAPE				
SF-200.1	BENCH - STREETSCAPE	ANOVA	AIRI STIX	6' CONTOUR BENCH, TEXTURED BLACK COLOR, SURFACE MOUNTED	BOB EVANS 314.495.8357
SF-200.2	TRASH RECEPTACLE - STREETSCAPE	ANOVA	AIRI STIX	45-GALLON WITH SIDE DOOR, TEXTURED BLACK COLOR	BOB EVANS 314.495.8357
L-100.1	DECORATIVE BOLLARD			POLE MOUNT, 5" DIA. ROUND SHAFT, MATTE BLACK COLOR	AMANDA SCOTT 781.572.7981
L-100.2	STRING LIGHTS		LITESPHERE ADAPT 2.0	WIRE: BLACK, SPACING: 12" O.C., LED COLOR: 3000K, GLOBE: GINA	DOUG HARWOOD 913.232.6124
1 400 5	STRING LIGHT POLE	KW INDUSTRIES	RSP	RSP-15, 15' HEIGHT, POWDERCOAT COLOR: BLACK	KATE WIMER 913.488.6444
L-100.3 L-100.4	LED CHANNEL LIGHT	KELVIX	DL SERIES	PRODUCT: DIRECT VIEW 200 (OUTDOOR) CHANNEL PRODUCT: CH-607, FROSTED LENS	KATE WIMER 913.488.6444

DWG: F: \2021\04501-05000\021-04643-F\40-Design\AutoCAD\Final Plans\Sheets\0STU\L_CVR01_F2104643.dwg USER: ewilson DATE: 0ct 31, 2023 3:15pm XREFS: L_PTBLK_F2104643

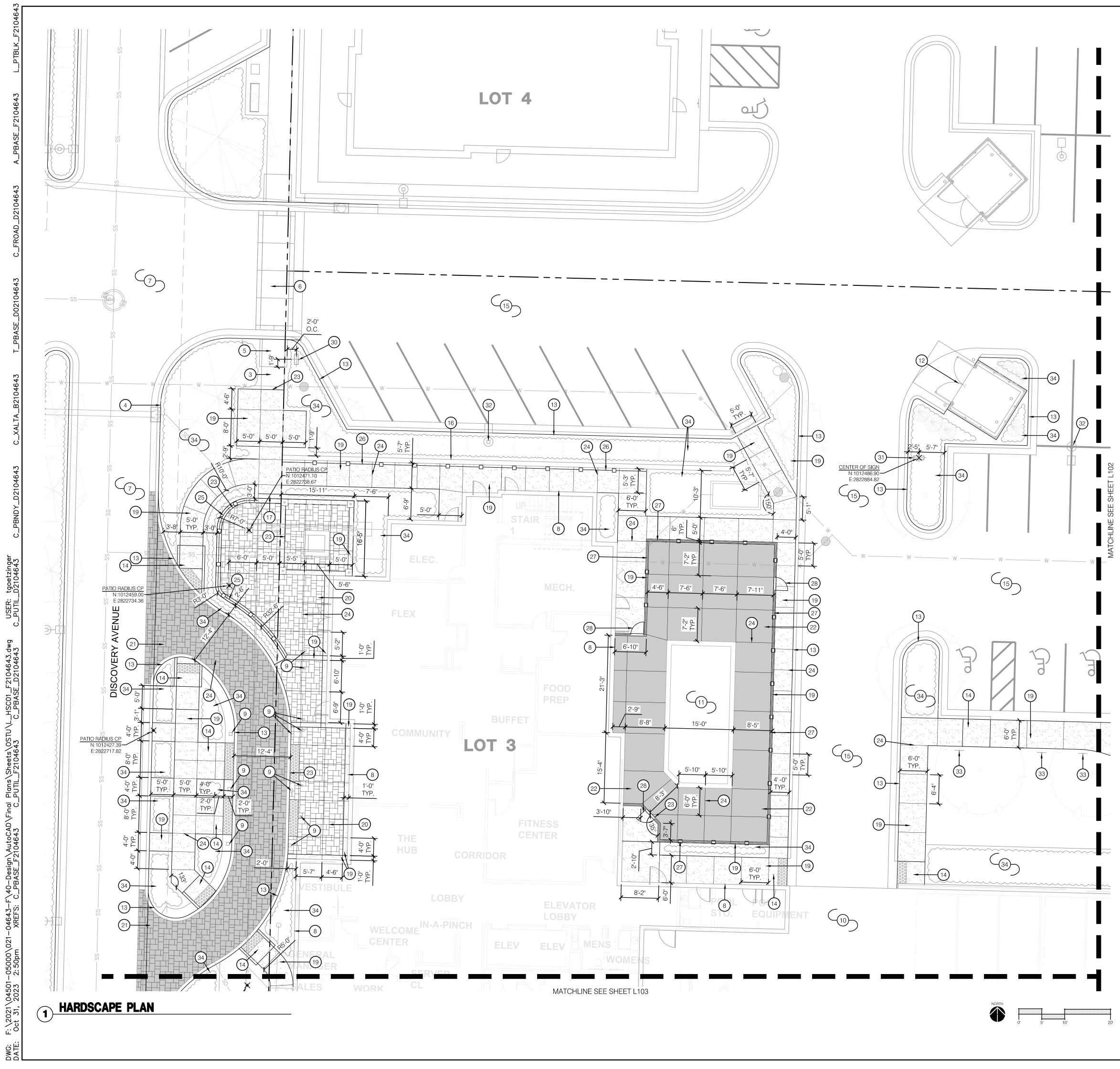


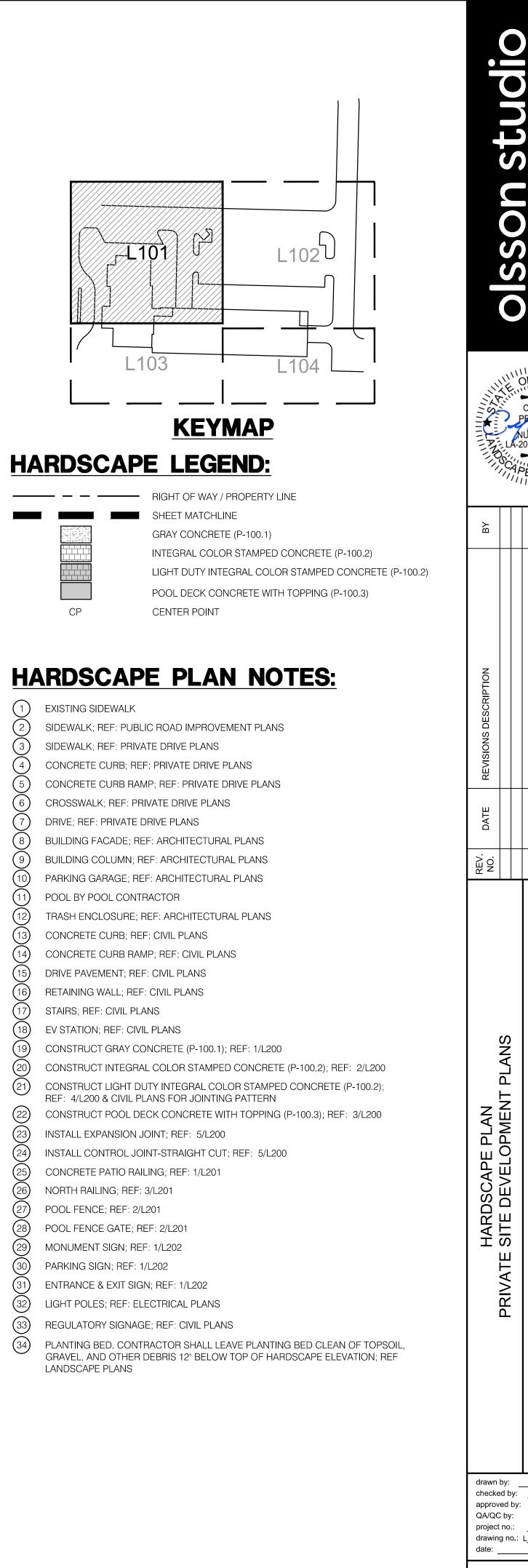


HARDSCAPE GENERAL NOTES:

- 1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
- 2. THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE UTILITY INFORMATION IS NOT MEANT TO BE ALL INCLUSIVE. THE CONTRACTOR SHALL NOTIFY MISSOURI ONE CALL (811) BEFORE THE START OF ANY EXCAVATION WORK. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION TO PROVIDE NON-INTERRUPTION OF SERVICE, TO ENSURE PROPER CLEARANCES, AND TO AVOID DAMAGE THERETO.
- 3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO, AND ACCEPT THE SITE CONDITIONS TO BE ENCOUNTERED.
- 5. WHERE THE NEW IMPROVEMENTS ABUT EXISTING IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING THE ELEVATION OF THE EXISTING IMPROVEMENTS UNLESS OTHERWISE NOTED.
- 6. THE CONTRACTOR SHALL PROVIDE A SECURE SITE TO PROTECT VEHICLES AND PEDESTRIANS FROM ACCIDENTAL FALLS AND HARM FROM THE CONSTRUCTION PROCESS.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR DE-WATERING CONSTRUCTION AREAS IN ORDER TO PERMIT CONTINUATION OF THE WORK. ANY WATER ACCUMULATION SHALL BE REMOVED BY PUMPING.
- 8. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OR MATERIALS AS SHOWN IN THESE PLANS. CONTRACTOR SHALL ACCOMMODATE ALL SLOPE AND GRADE CONDITIONS IN THEIR CALCULATION OF MATERIAL QUANTITIES FOR ALL WORK SHOWN ON THESE PLANS.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DURING CONSTRUCTION OPERATIONS. OWNER SHALL APPROVE MEASURES USED TO ALLOW TENANTS AND SHOPPERS PROPER ACCESS DURING CONSTRUCTION.
- 10. CONTRACTOR SHALL TAKE CARE TO CREATE SMOOTH UNIFORM FINISH GRADES IN ALL AREAS.
- 11. SLOPES SHALL BE MADE WITH A 4 TO 1 MAXIMUM GRADE FOR MAINTENANCE PURPOSES, UNLESS OTHERWISE NOTED.
- 12. CONTRACTOR SHALL MATCH GRADES AT EXISTING IMPROVEMENTS.
- 13. ALL SPOT ELEVATIONS SHOWN ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- 14. CONTRACTOR SHALL ADJUST ALL VALVE BOXES, MANHOLE RING COVERS, AND OTHER UTILITY APPURTENANCES TO MATCH FINISH GRADE ELEVATIONS.
- 15. TURF & SHRUB BED AREAS SHALL BE GRADED AS NECESSARY TO ALLOW A 2% SLOPE TO INLET LOCATIONS AND SWALES.
- 16. ALL WORK CONSTRUCTED UNDER THESE PLANS SHALL MEET SLOPE REQUIREMENTS PER THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, THE 2012 TAS STANDARDS FOR ACCESSIBLE DESIGN, AND INTERNATIONAL BUILDING CODE IN CURRENT USAGE. MAXIMUM 5% RUNNING SLOPE AND MAXIMUM 2% CROSS SLOPE FOR SIDEWALKS.
- 17. ALL WORK CONSTRUCTED UNDER THESE PLANS SHALL HAVE A MINIMUM OF A 1% SLOPE. LANDSCAPE BEDS AND TURF AREAS SHALL HAVE A MINIMUM OF A 2% SLOPE.
- 18. CHANGES IN LEVEL SHALL NOT BE GREATER THAN 1/4" AND A MAXIMUM OF 1/2" ARE ALLOWED WITH A BEVELED SLOPE NOT STEEPER THAN 1:2.

HARDSCAPE OVERALL PLAN Revisions description Image: Mail of the i
HARDSCAPE OVERALL PLAN REV. DATE REVISIONS DESCRIPTION PRIVATE SITE DEVELOPMENT PLANS MO. DATE REVISIONS DESCRIPTION THE VILLAGE AT DISCOVERY PARK LOT 3 MO MO MO THE VILLAGE AT DISCOVERY PARK LOT 3 MO MO MO NW COLBERN RD & NE DOUGLAS ST 2023 2023 MO SUMMIT, MISSOURI 2023 MO REVISIONS
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HARDSCAPE OVERALL PLAN PRIVATE SITE DEVELOPMENT PLANS THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST SUMMIT, MISSOURI 2023
HARDSCAPE OVERALL PLAN PRIVATE SITE DEVELOPMENT PLANS THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST SUMMIT, MISSOURI



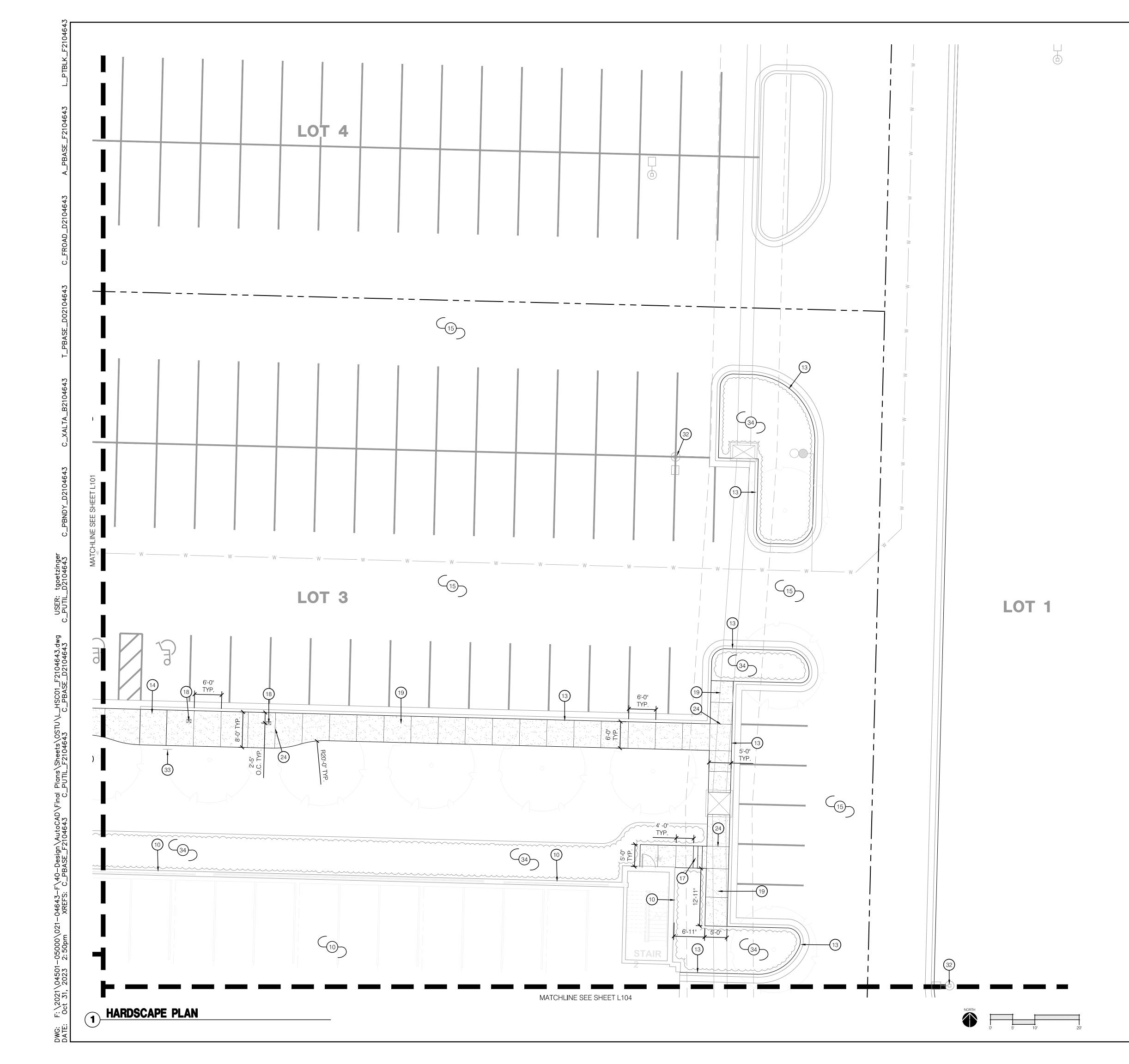


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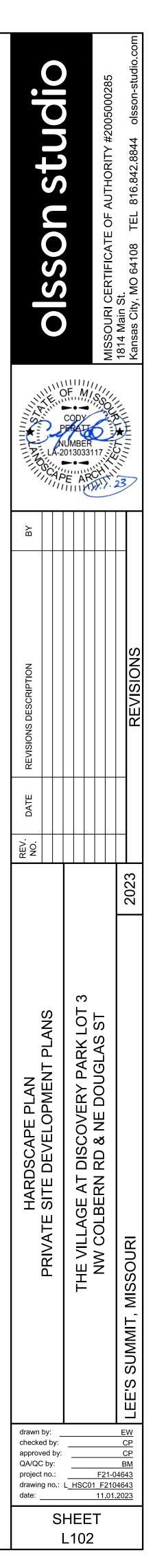
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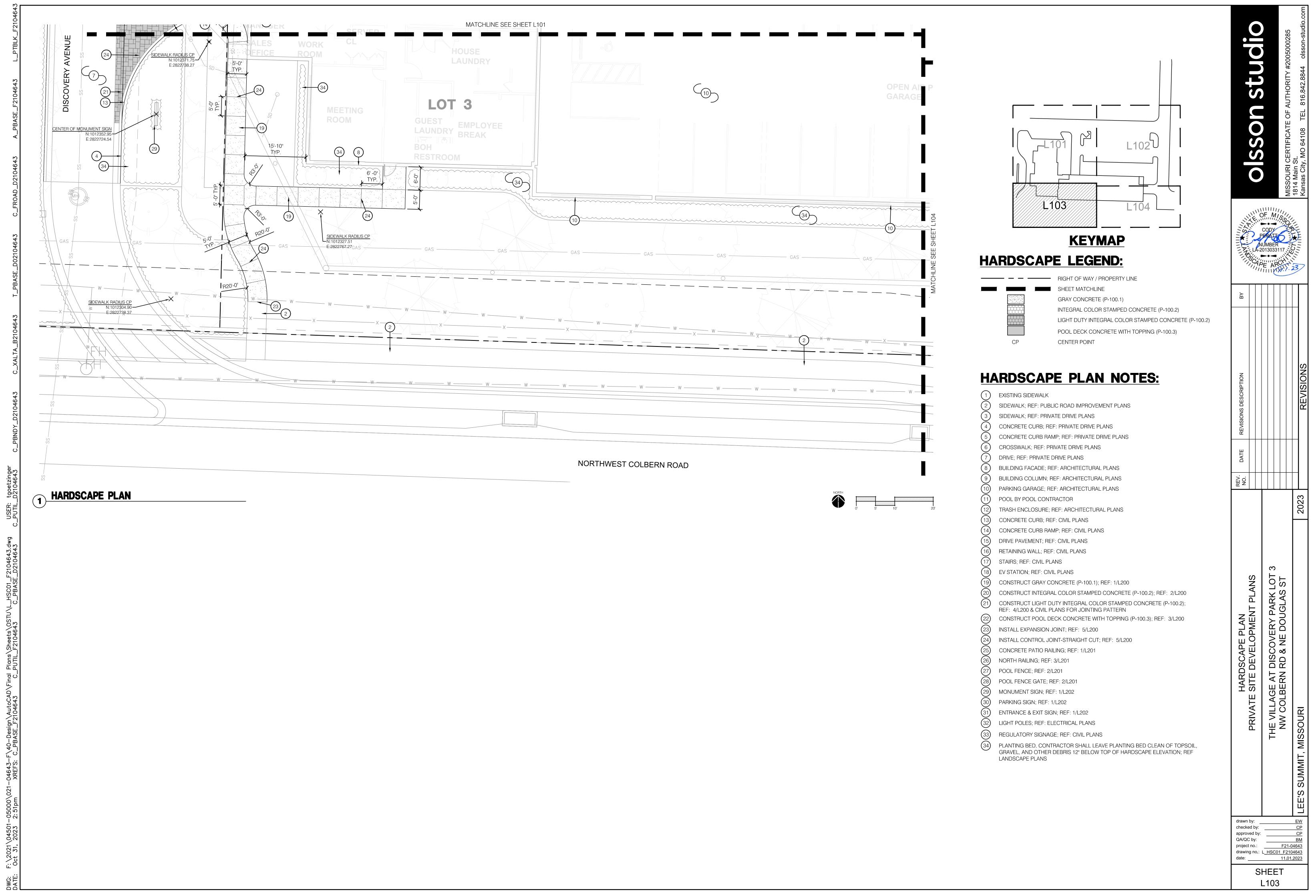
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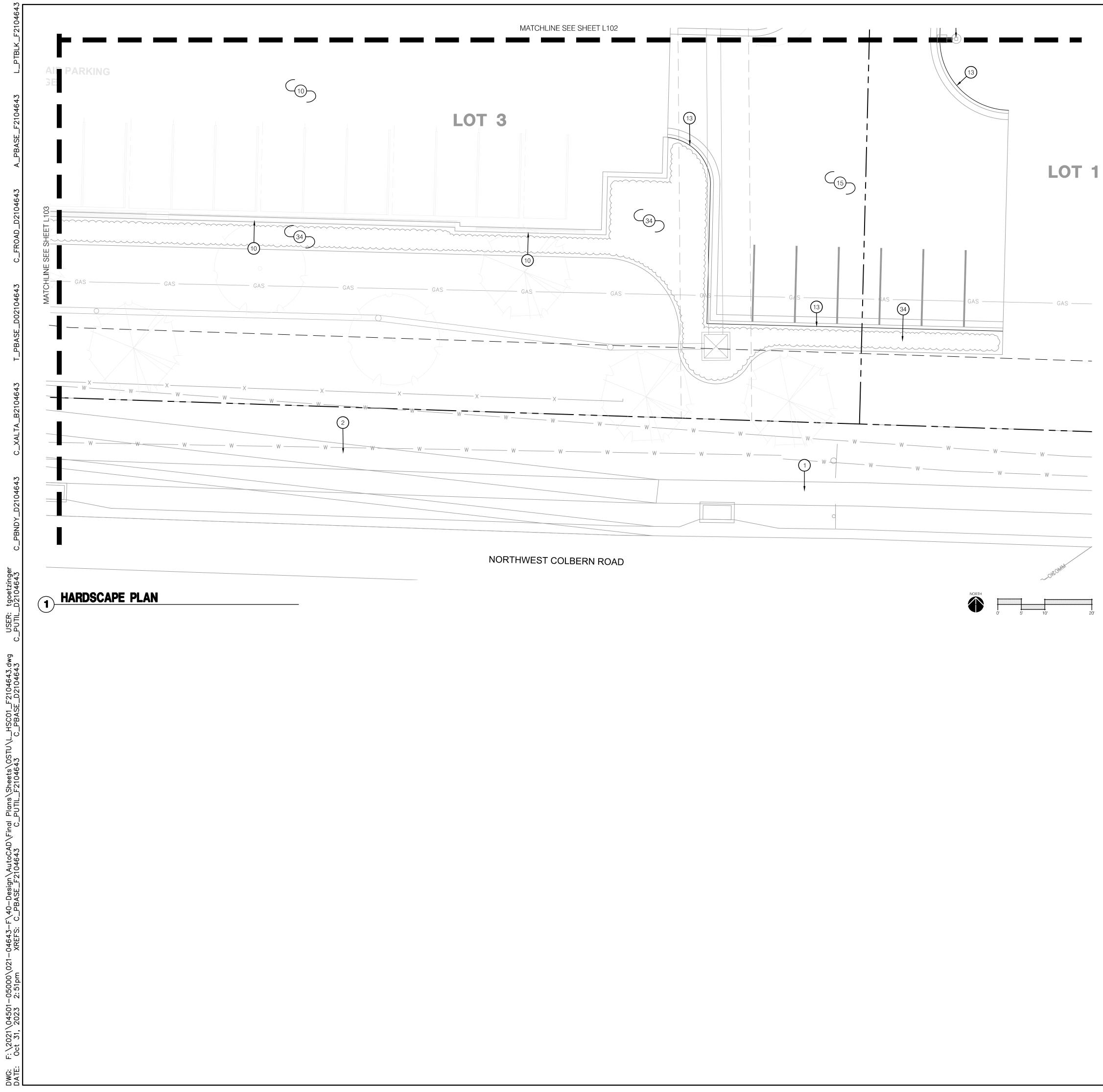
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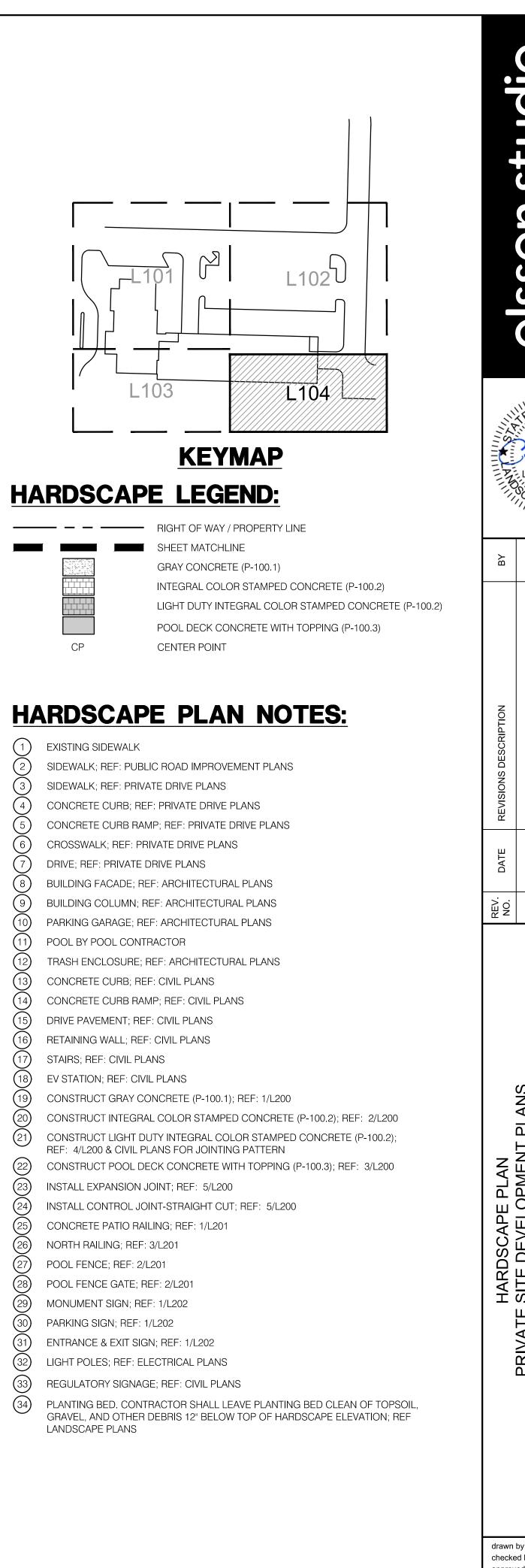












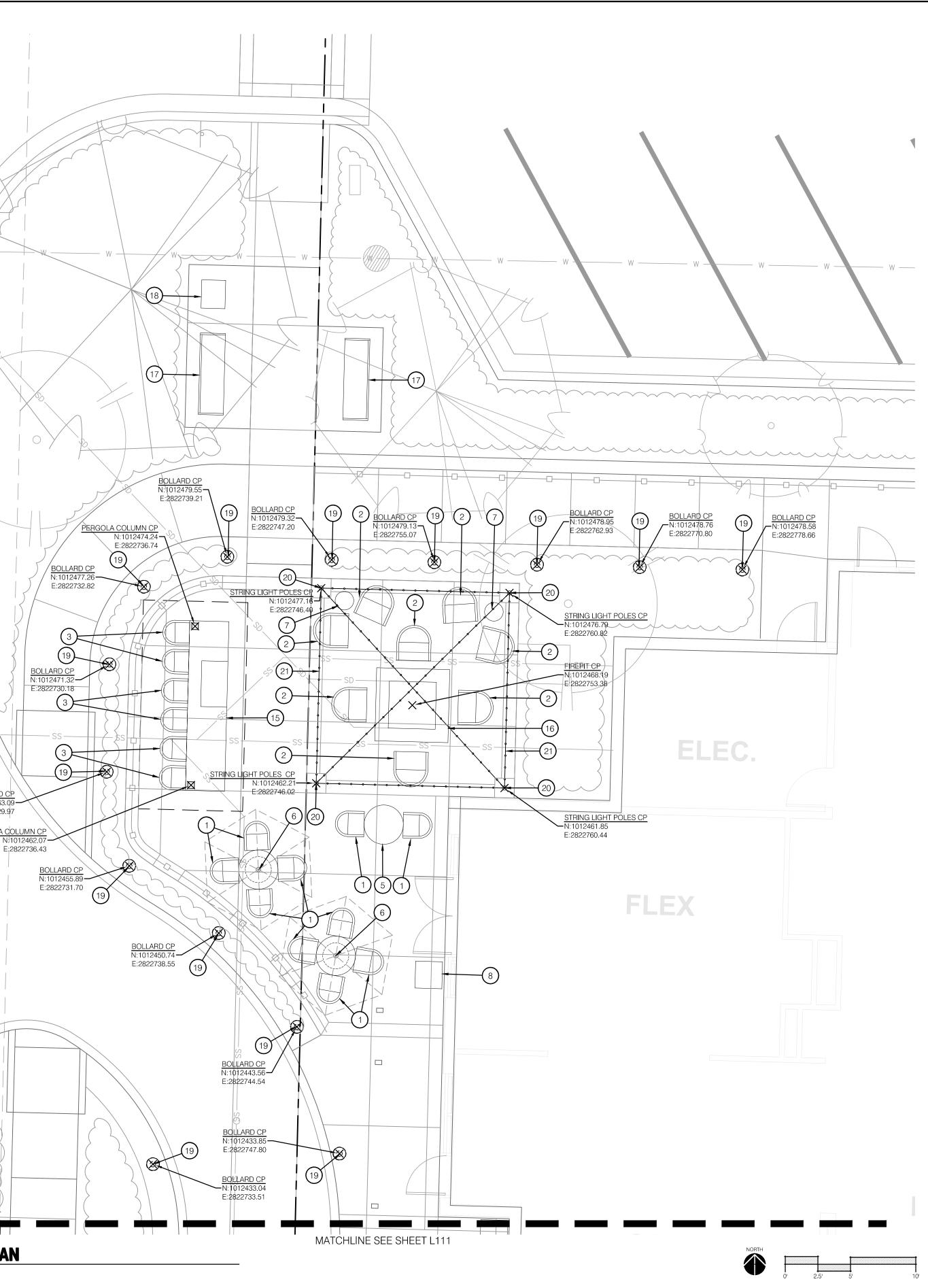
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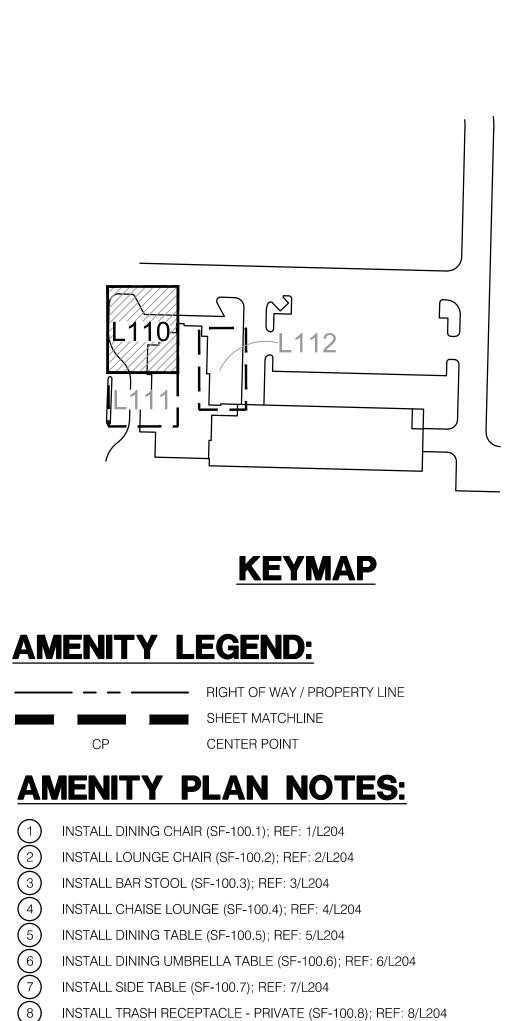
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> SHEET L104





INSTALL UMBRELLA (SF-100.9); REF: 9/L204

INSTALL TOWEL BIN (SF-100.12); REF: 12/L204

INSTALL CABANA (SF-100.14); REF: 2/L205

INSTALL FIRE PIT (SF-100.16); REF: 9/L205

ADA LIFT BY POOL CONTRACTOR

INSTALL TOWEL RACK (SF-100.13); REF: 1/L205

12**)**

í14**)**

22

INSTALL PLANTER - FRONT ENTRY (SF-100.10); REF: 10/L204

INSTALL PLANTER - ACCENT (SF-100.11); REF: 11/L204

INSTALL BAR & GRILL STATION (SF-100.15); REF: 2/L203

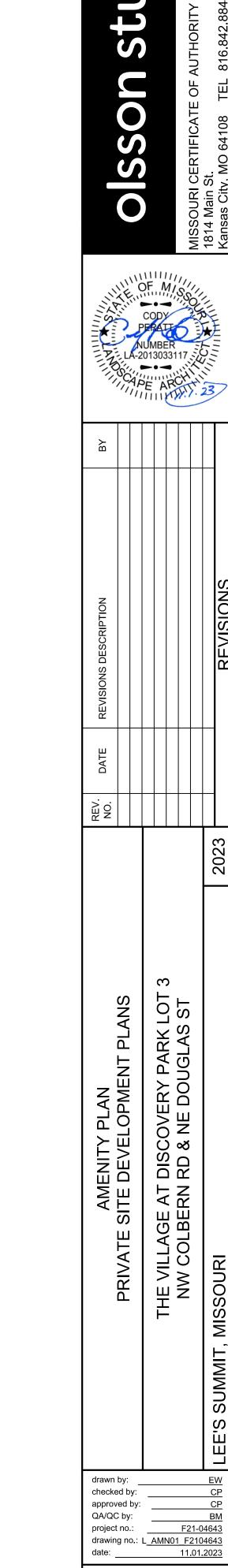
INSTALL BENCH - STREETSCAPE (SF-200.1); REF: 3/L205

INSTALL STRING LIGHTS (L-100.2); REF: LIGHTING PLANS

INSTALL DECORATIVE BOLLARD (L-100.1); REF: 5, 6, & 7/L205

INSTALL TRASH RECEPTACLE (SF-200.2); REF: 4/L205

INSTALL STRING LIGHT POLE (L-100.3); REF: 8/L205



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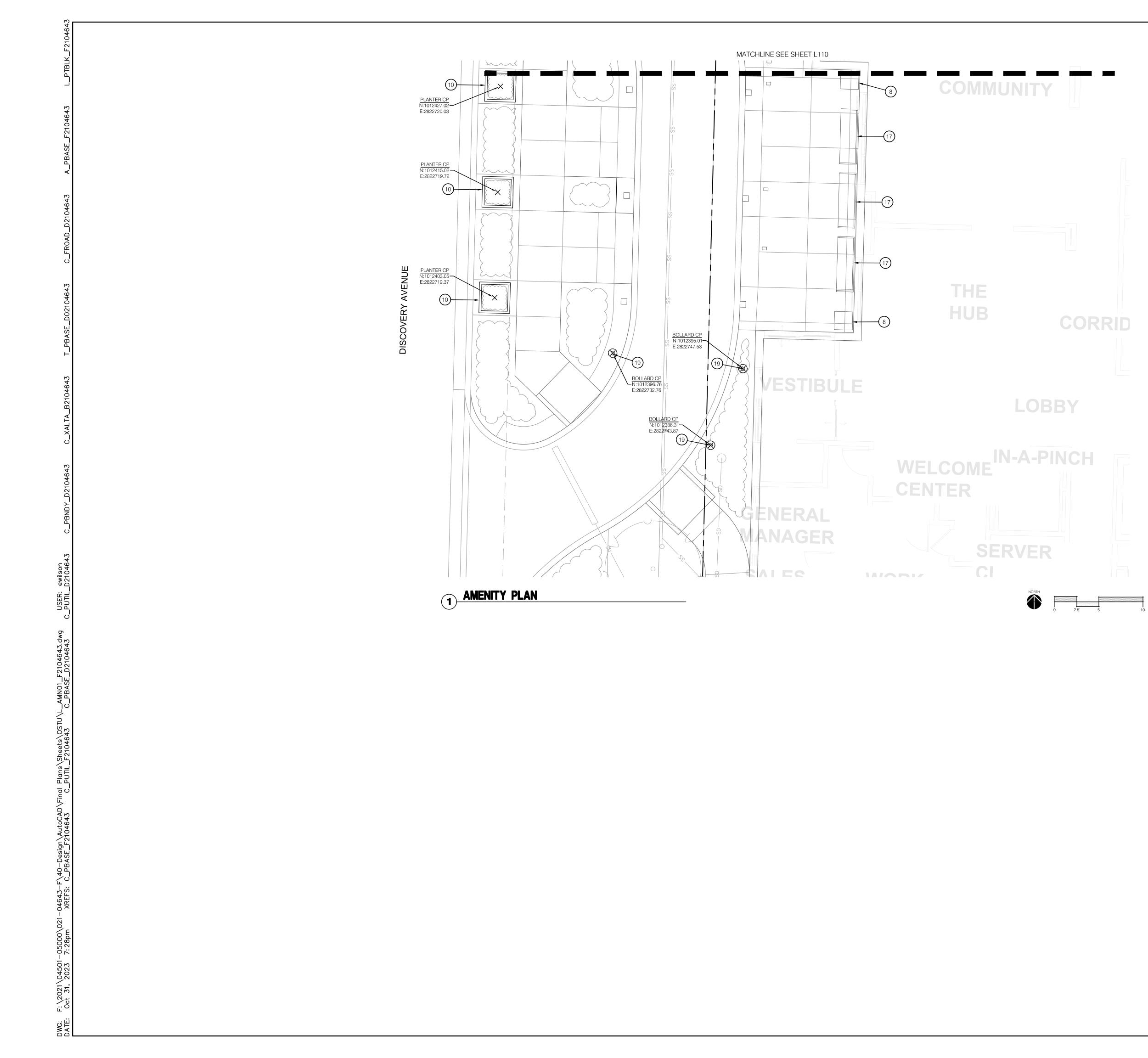
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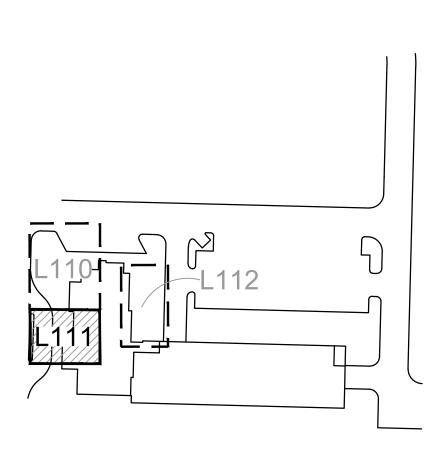
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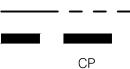
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KEYMAP

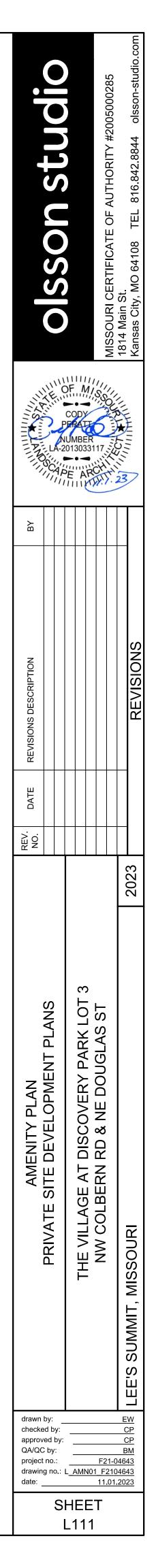
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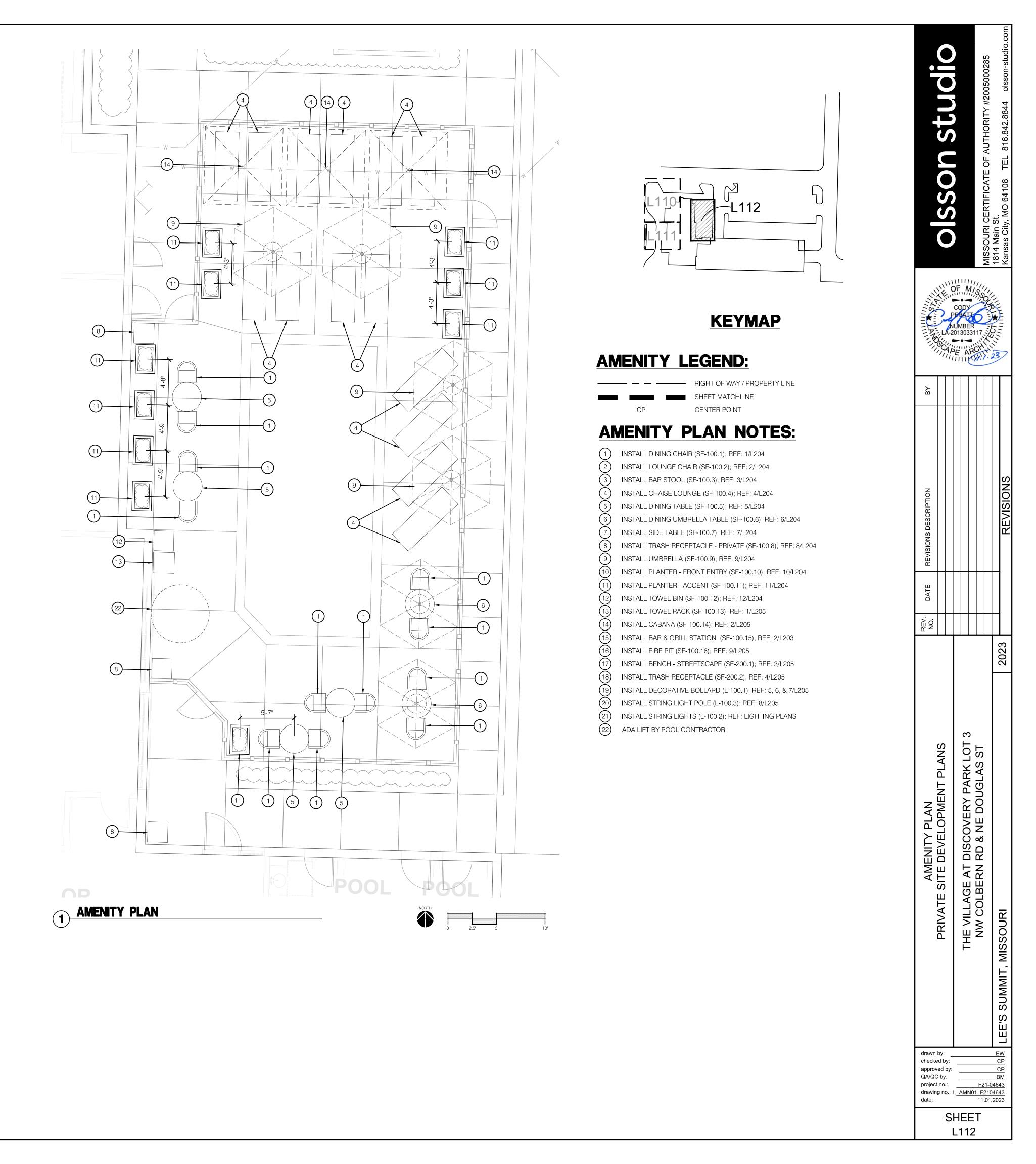
RIGHT OF WAY / PROPERTY LINE
SHEET MATCHLINE
CENTER POINT

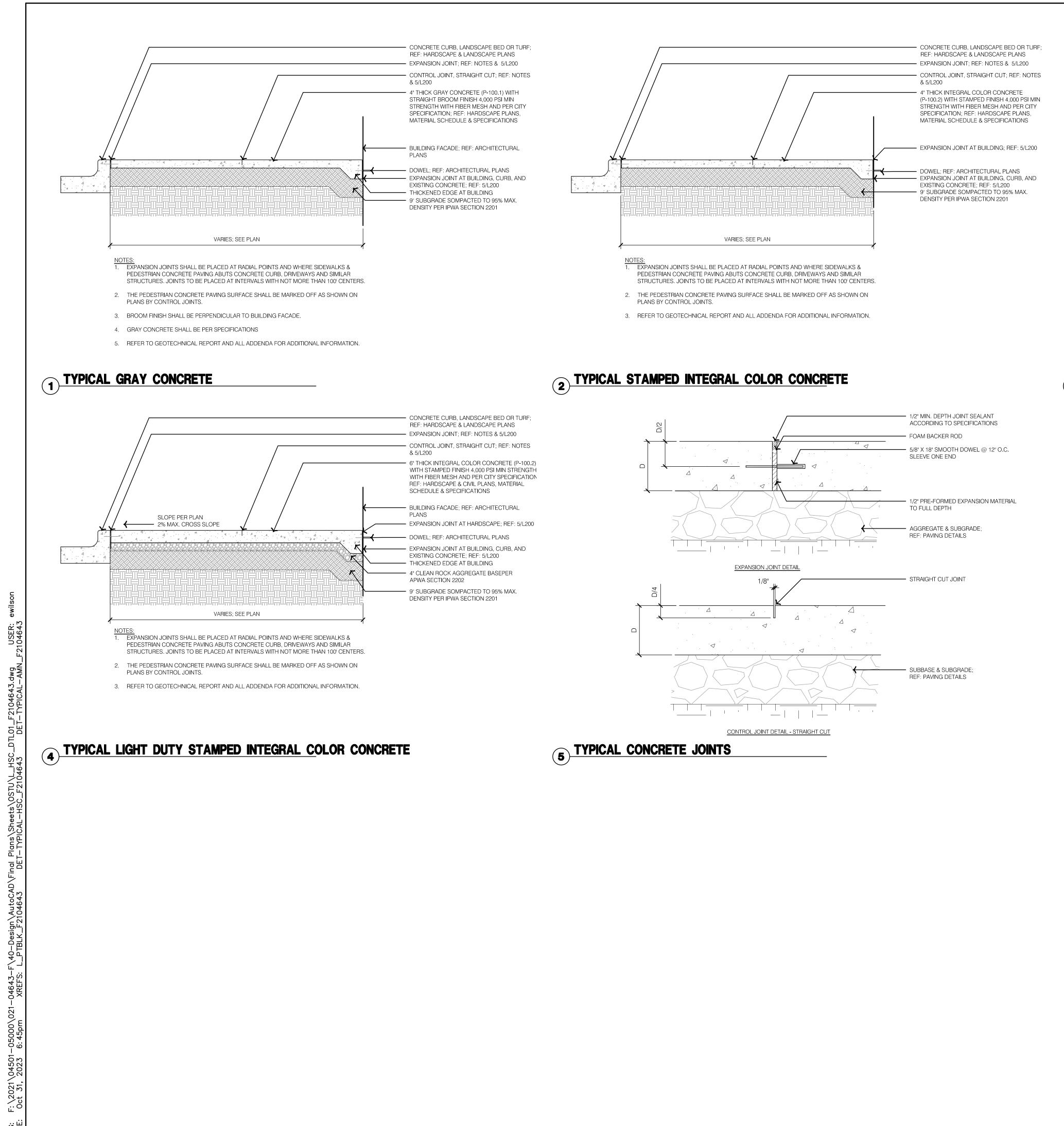
AMENITY PLAN NOTES:

$\left(1\right)$	INSTALL DINING CHAIR (SF-100.1); REF: 1/L204
2	INSTALL LOUNGE CHAIR (SF-100.2); REF: 2/L204
3	INSTALL BAR STOOL (SF-100.3); REF: 3/L204
$\overline{4}$	INSTALL CHAISE LOUNGE (SF-100.4); REF: 4/L204
5	INSTALL DINING TABLE (SF-100.5); REF: 5/L204
6	INSTALL DINING UMBRELLA TABLE (SF-100.6); REF: 6/L204
7	INSTALL SIDE TABLE (SF-100.7); REF: 7/L204
8	INSTALL TRASH RECEPTACLE - PRIVATE (SF-100.8); REF: 8/L204
9	INSTALL UMBRELLA (SF-100.9); REF: 9/L204
10	INSTALL PLANTER - FRONT ENTRY (SF-100.10); REF: 10/L204
(11)	INSTALL PLANTER - ACCENT (SF-100.11); REF: 11/L204
(12)	INSTALL TOWEL BIN (SF-100.12); REF: 12/L204
(13)	INSTALL TOWEL RACK (SF-100.13); REF: 1/L205
14	INSTALL CABANA (SF-100.14); REF: 2/L205
(15)	INSTALL BAR & GRILL STATION (SF-100.15); REF: 2/L203
(16)	INSTALL FIRE PIT (SF-100.16); REF: 9/L205
(17)	INSTALL BENCH - STREETSCAPE (SF-200.1); REF: 3/L205
18	INSTALL TRASH RECEPTACLE (SF-200.2); REF: 4/L205
(19)	INSTALL DECORATIVE BOLLARD (L-100.1); REF: 5, 6, & 7/L205
20	INSTALL STRING LIGHT POLE (L-100.3); REF: 8/L205
21)	INSTALL STRING LIGHTS (L-100.2); REF: LIGHTING PLANS
22	ADA LIFT BY POOL CONTRACTOR

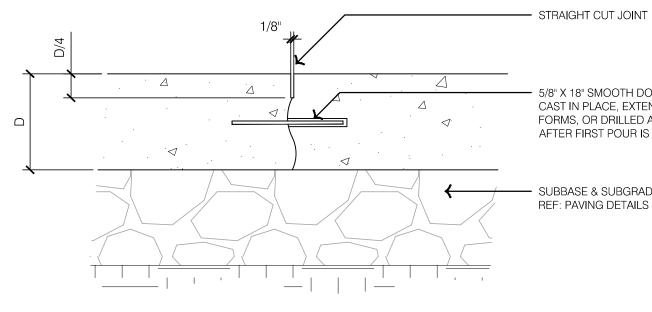


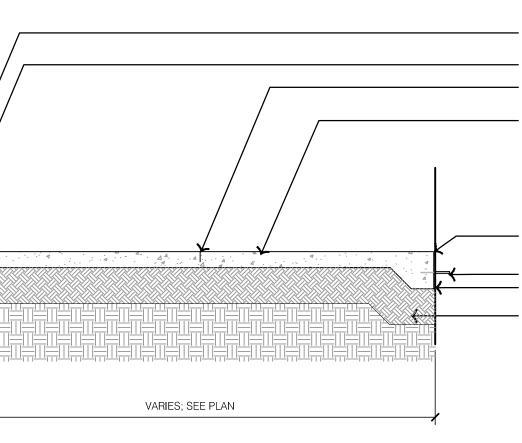
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A_PBASE_F2104643	
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T_PBASE_D02104643	
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3 TYPICAL POOL DECK CONCRETE WITH TOPPING





- CONCRETE CURB, LANDSCAPE BED OR TURF; REF: HARDSCAPE & LANDSCAPE PLANS - EXPANSION JOINT; REF: NOTES & 5/L200 CONTROL JOINT, STRAIGHT CUT; REF: NOTES & 5/L200

- 4" THICK GRAY CONCRETE (P-100.1) WITH KOOL DECK CONCRETE TOPPING (P-100.3).4,000 PSI MIN STRENGTH WITH FIBER MESH AND PER CITY SPECIFICATION INSTALL TOPPING PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS; REF: HARDSCAPE PLANS, MATERIAL SCHEDULE & SPECIFICATIONS - EXPANSION JOINT AT BUILDING; REF: 5/L200

— DOWEL; REF: ARCHITECTURAL PLANS

- EXPANSION JOINT AT BUILDING, CURB, AND EXISTING CONCRETE; REF: 5/L200 - 9" SUBGRADE SOMPACTED TO 95% MAX. DENSITY PER IPWA SECTION 2201

1. EXPANSION JOINTS SHALL BE PLACED AT RADIAL POINTS AND WHERE SIDEWALKS & PEDESTRIAN CONCRETE PAVING ABUTS CONCRETE CURB, DRIVEWAYS AND SIMILAR STRUCTURES. JOINTS TO BE PLACED AT INTERVALS WITH NOT MORE THAN 100' CENTERS. 2. THE PEDESTRIAN CONCRETE PAVING SURFACE SHALL BE MARKED OFF AS SHOWN ON PLANS BY CONTROL JOINTS.

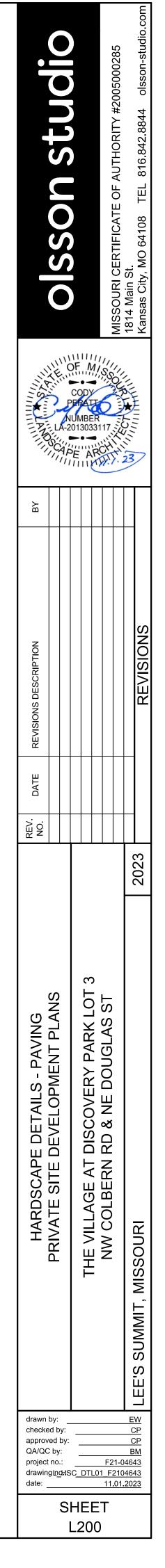
3. BROOM FINISH SHALL BE PERPENDICULAR TO BUILDING FACADE.

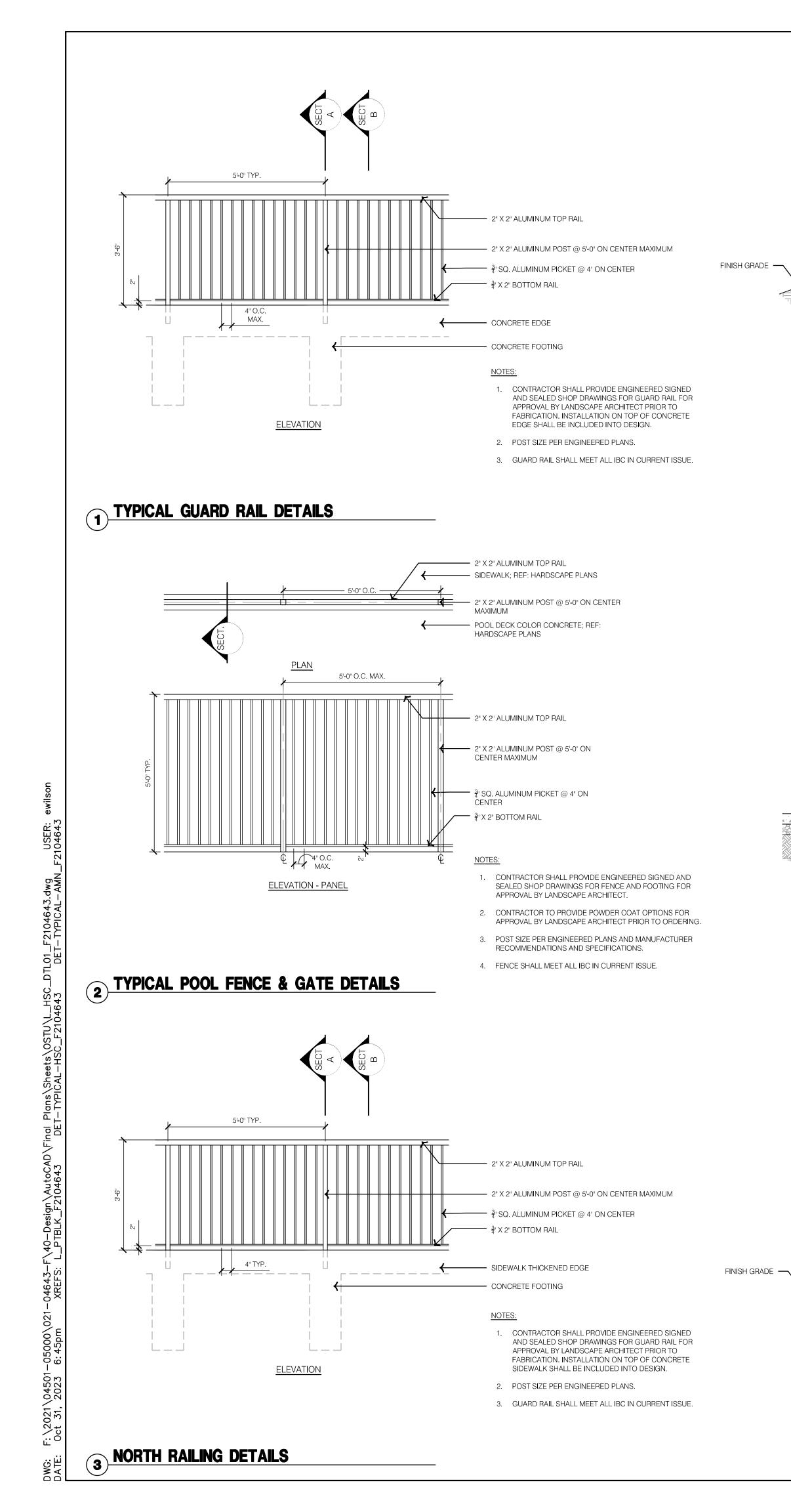
4. REFER TO GEOTECHNICAL REPORT AND ALL ADDENDA FOR ADDITIONAL INFORMATION.

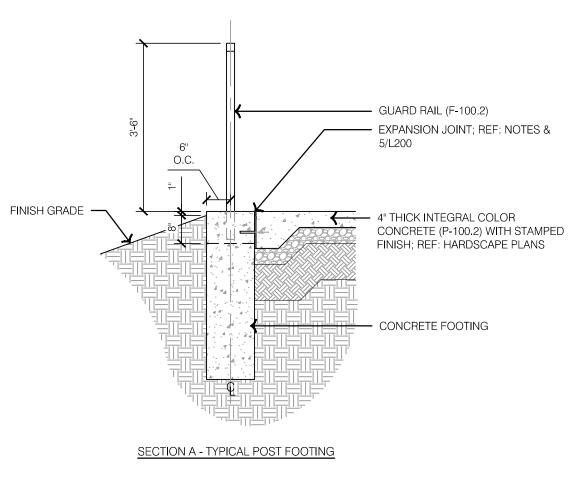
CONSTRUCTION JOINT DETAIL (COLD JOINT)

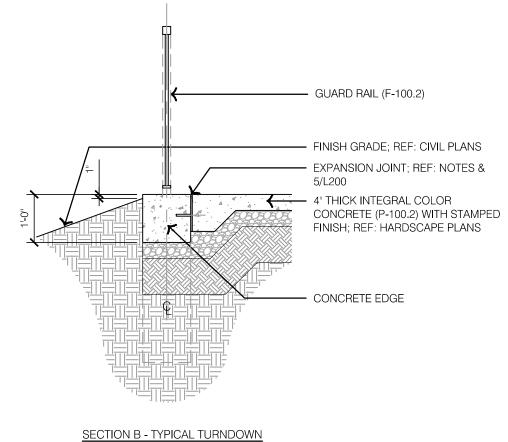
- 5/8" X 18" SMOOTH DOWEL @ 12" O.C. CAST IN PLACE, EXTENDING THROUGH FORMS, OR DRILLED AND INSERTED AFTER FIRST POUR IS MADE

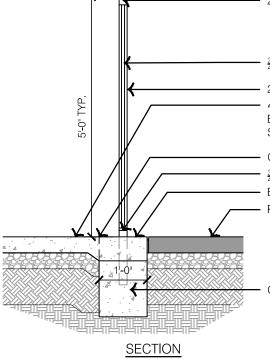
 SUBBASE & SUBGRADE; REF: PAVING DETAILS







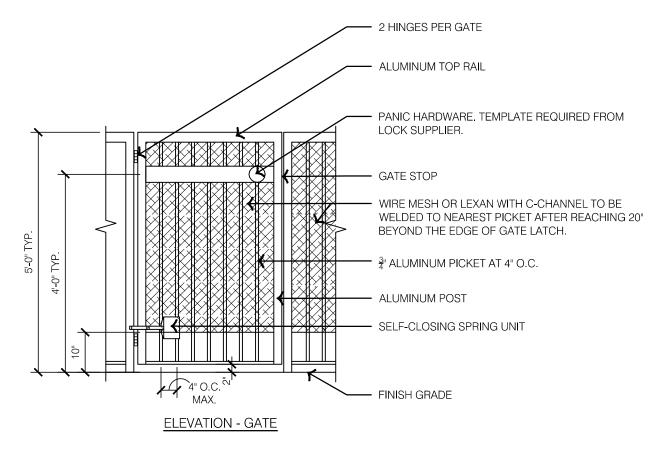


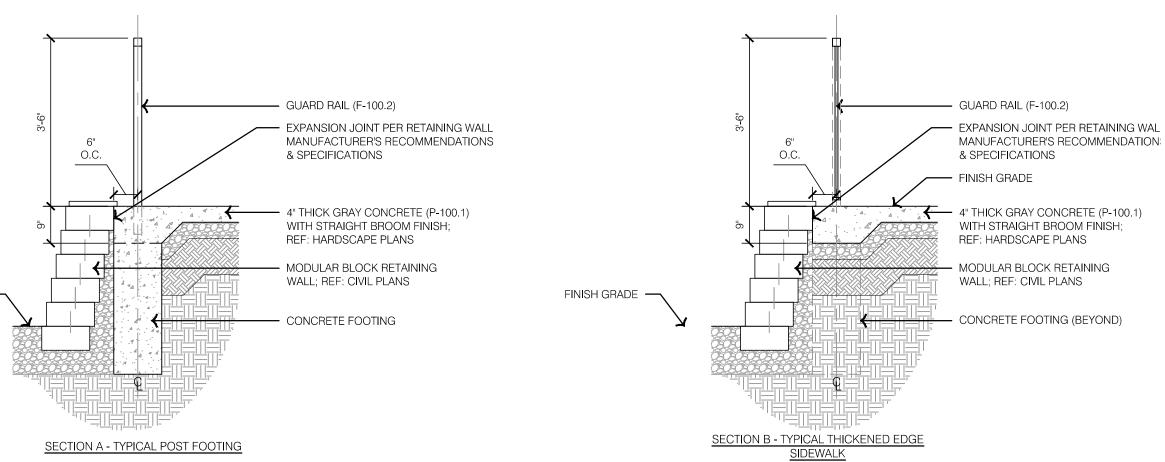


2" X 2" ALUMINUM TOP RAIL

- $-\frac{3}{4}$ " SQ. ALUMINUM PICKET @ 4" ON CENTER
- 2" X 2" ALUMINUM POST @ 5'-0" ON CENTER MAXIMUM - 4" THICK GRAY CONCRETE (P-100.1) WITH STRAIGHT
- BROOM FINISH; REF: HARDSCAPE PLANS, MATERIAL SCHEDULE & SPECIFICATIONS
- $\frac{3}{4}$ " X 2" BOTTOM RAIL
 - EXPANSION JOINT; REF: NOTES & 5/L200 POOL DECK; REF: HARDSCAPE PLANS

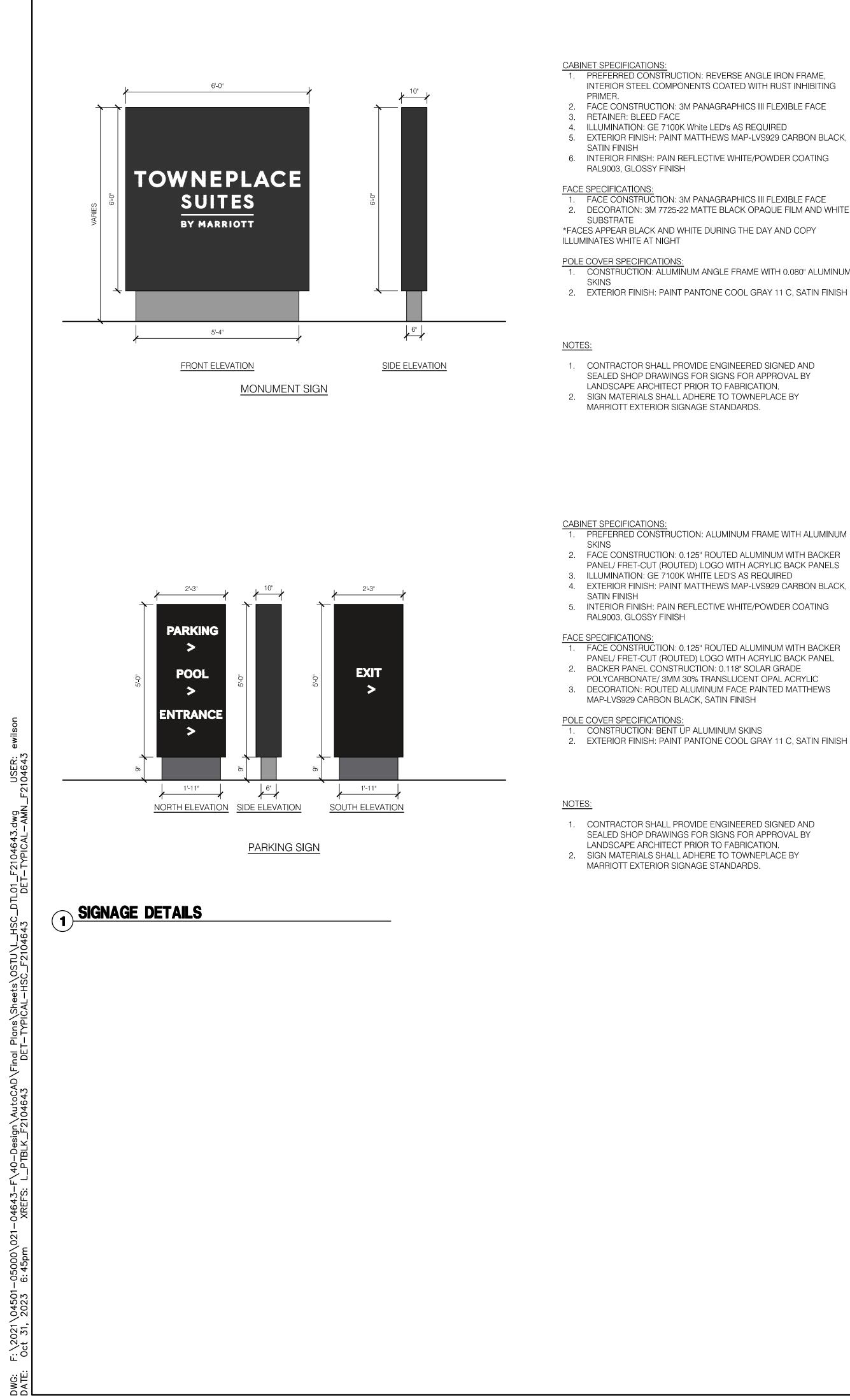
- CONCRETE FOOTING





		MISSOURI CERTIFICATE OF AUTHORITY #2005000285	Kivia 1814 Main St. Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com
		117 -	
BY			
REVISIONS DESCRIPTION			REVISIONS
. DATE			
REV. NO.			2023
HARDSCAPE DETAILS - FENCING PRIVATE SITE DEVELOPMENT PLANS	THE VILLAGE AT DISCOVERY PARK LOT 3	NW COLBERN RD & NE DOUGLAS ST	LEE'S SUMMIT, MISSOURI
	by:		EW CP CP BM 4643 4643
date:	SHEE L20 ⁷		<u>2023</u>

----- PANIC HARDWARE. TEMPLATE REQUIRED FROM



1. PREFERRED CONSTRUCTION: REVERSE ANGLE IRON FRAME, INTERIOR STEEL COMPONENTS COATED WITH RUST INHIBITING

2. FACE CONSTRUCTION: 3M PANAGRAPHICS III FLEXIBLE FACE

6. INTERIOR FINISH: PAIN REFLECTIVE WHITE/POWDER COATING

1. FACE CONSTRUCTION: 3M PANAGRAPHICS III FLEXIBLE FACE 2. DECORATION: 3M 7725-22 MATTE BLACK OPAQUE FILM AND WHITE

*FACES APPEAR BLACK AND WHITE DURING THE DAY AND COPY

1. CONSTRUCTION: ALUMINUM ANGLE FRAME WITH 0.080" ALUMINUM 2. EXTERIOR FINISH: PAINT PANTONE COOL GRAY 11 C, SATIN FINISH

1. CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR SIGNS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION. 2. SIGN MATERIALS SHALL ADHERE TO TOWNEPLACE BY

2'-3" ENTRANCE EXIT < 1'-11" 6" 1'-11" NORTH ELEVATION SIDE ELEVATION SOUTH ELEVATION

ENTRANCE & EXIT SIGN

1. PREFERRED CONSTRUCTION: ALUMINUM FRAME WITH ALUMINUM

2. FACE CONSTRUCTION: 0.125" ROUTED ALUMINUM WITH BACKER PANEL/ FRET-CUT (ROUTED) LOGO WITH ACRYLIC BACK PANELS 3. ILLUMINATION: GE 7100K WHITE LED'S AS REQUIRED 4. EXTERIOR FINISH: PAINT MATTHEWS MAP-LVS929 CARBON BLACK,

5. INTERIOR FINISH: PAIN REFLECTIVE WHITE/POWDER COATING

1. FACE CONSTRUCTION: 0.125" ROUTED ALUMINUM WITH BACKER PANEL/ FRET-CUT (ROUTED) LOGO WITH ACRYLIC BACK PANEL 2. BACKER PANEL CONSTRUCTION: 0.118" SOLAR GRADE POLYCARBONATE/ 3MM 30% TRANSLUCENT OPAL ACRYLIC 3. DECORATION: ROUTED ALUMINUM FACE PAINTED MATTHEWS

2. EXTERIOR FINISH: PAINT PANTONE COOL GRAY 11 C, SATIN FINISH

1. CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR SIGNS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION. 2. SIGN MATERIALS SHALL ADHERE TO TOWNEPLACE BY

CABINET SPECIFICATIONS

- 1. PREFERRED CONSTRUCTION: ALUMINUM FRAME WITH ALUMINUM SKINS
- 2. FACE CONSTRUCTION: 0.125" ROUTED ALUMINUM WITH BACKER PANEL/ FRET-CUT (ROUTED) LOGO WITH ACRYLIC BACK PANELS
- 3. ILLUMINATION: GE 7100K WHITE LED'S AS REQUIRED 4. EXTERIOR FINISH: PAINT MATTHEWS MAP-LVS929 CARBON BLACK,
- SATIN FINISH 5. INTERIOR FINISH: PAIN REFLECTIVE WHITE/POWDER COATING RAL9003, GLOSSY FINISH

FACE SPECIFICATIONS:

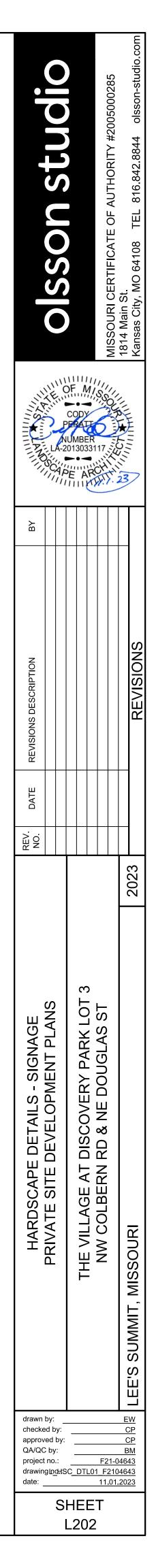
- 1. FACE CONSTRUCTION: 0.125" ROUTED ALUMINUM WITH BACKER
- PANEL/ FRET-CUT (ROUTED) LOGO WITH ACRYLIC BACK PANEL 2. BACKER PANEL CONSTRUCTION: 0.118" SOLAR GRADE
- POLYCARBONATE/ 3MM 30% TRANSLUCENT OPAL ACRYLIC 3. DECORATION: ROUTED ALUMINUM FACE PAINTED MATTHEWS MAP-LVS929 CARBON BLACK, SATIN FINISH

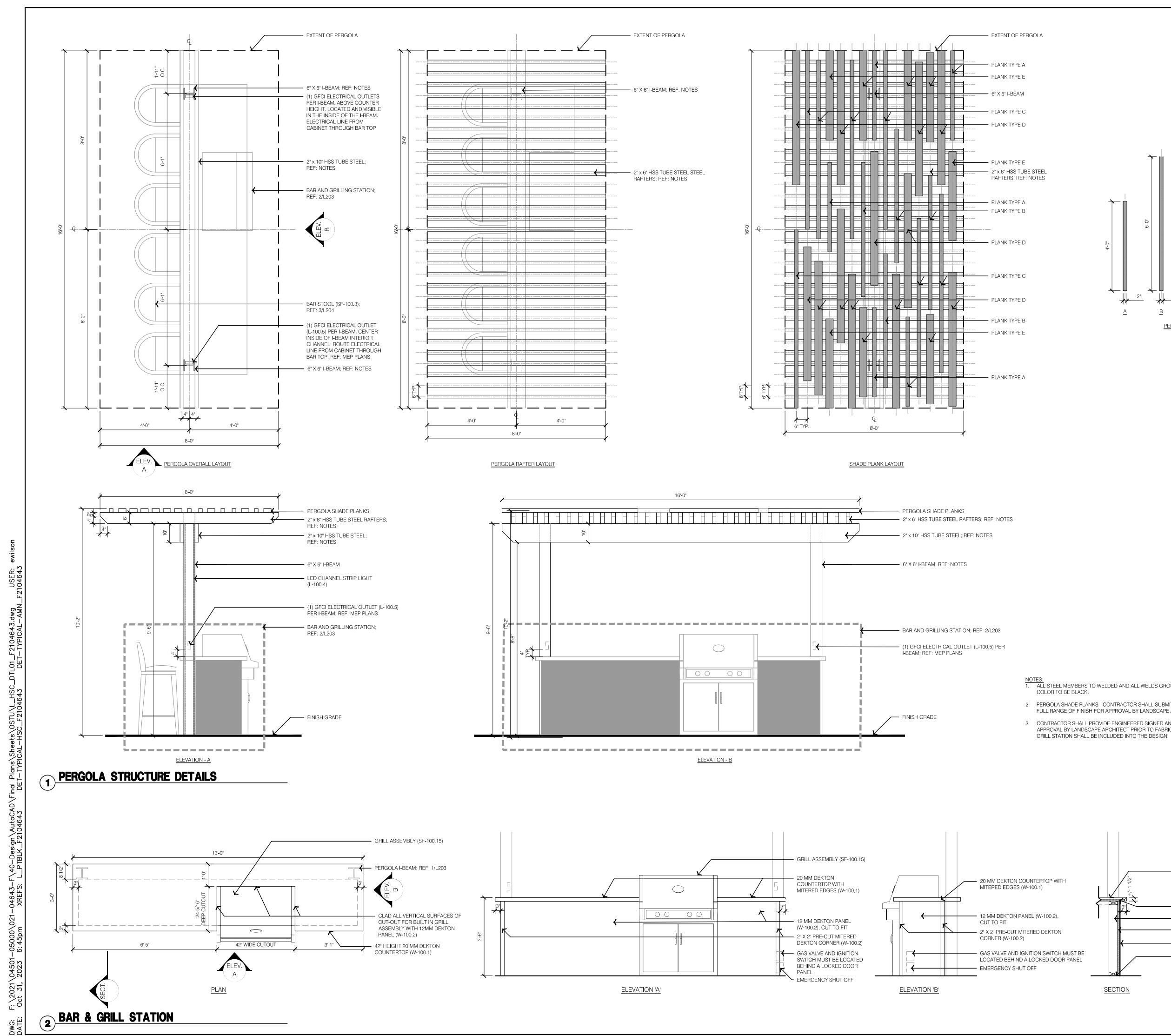
POLE COVER SPECIFICATIONS:

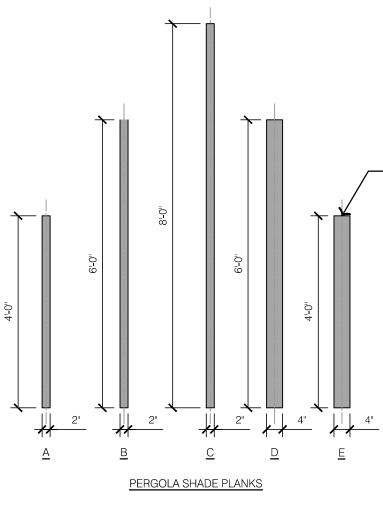
1. CONSTRUCTION: BENT UP ALUMINUM SKINS 2. EXTERIOR FINISH: PAINT PANTONE COOL GRAY 11 C, SATIN FINISH

NOTES:

- 1. CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR SIGNS FOR APPROVAL BY
- LANDSCAPE ARCHITECT PRIOR TO FABRICATION. 2. SIGN MATERIALS SHALL ADHERE TO TOWNEPLACE BY MARRIOTT EXTERIOR SIGNAGE STANDARDS.







— ALUMINUM EXTRUSIONS WITH SOLID END CAPS. FINISH TO BE ARTIFICIAL WOOD FIBER. ATTACHED WITH HIDDEN FASTENERS; REF: NOTES

PLANK SIZES A - 2" x 2" x 4' B - 2" x 2" x 6' C - 2" x 2" x 8' D - 2" x 4" x 6' E - 2" x 4" x 4'

NOTES: 1. ALL STEEL MEMBERS TO WELDED AND ALL WELDS GROUND SMOOTH. POWDER COAT

2. PERGOLA SHADE PLANKS - CONTRACTOR SHALL SUBMIT SAMPLES FROM MANUFACTURERS FULL RANGE OF FINISH FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.

3. CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION. INSTALLATION OF BAR &

- 20 MM DEKTON COUNTERTOP WITH MITERED EDGES (W-100.1)

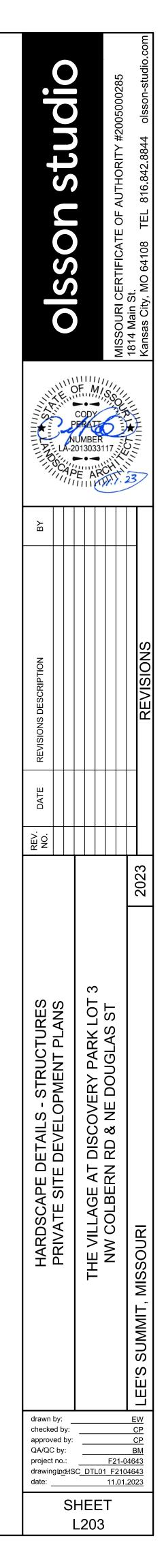
- - P.T. WOOD FRAMING ----- 1/2" CEMENT BOARD —— 12 MM DEKTON PANEL (W-100.2)
- WOOD FRAMING & PAVEMENT

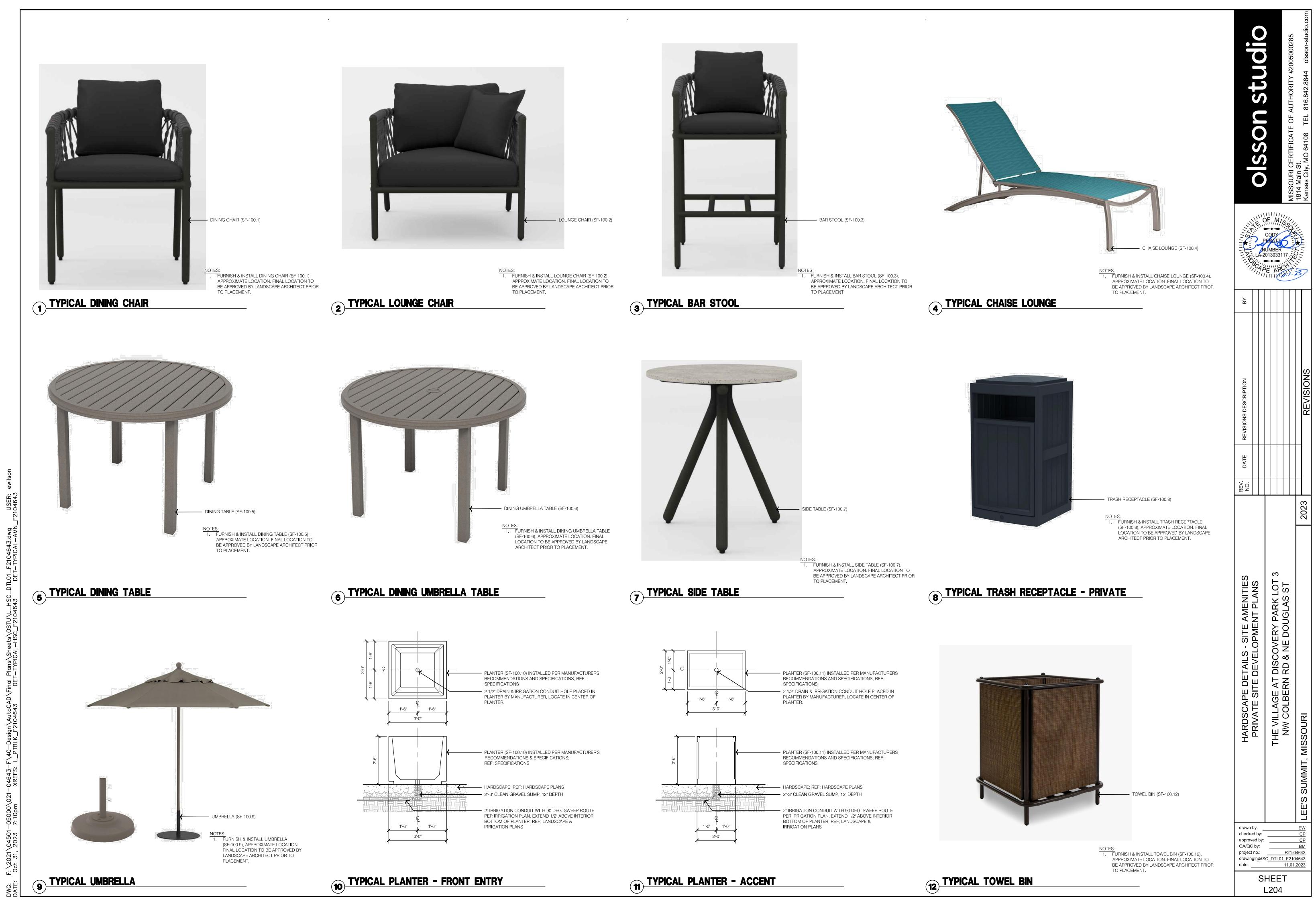
- BOND BREAKER BETWEEN

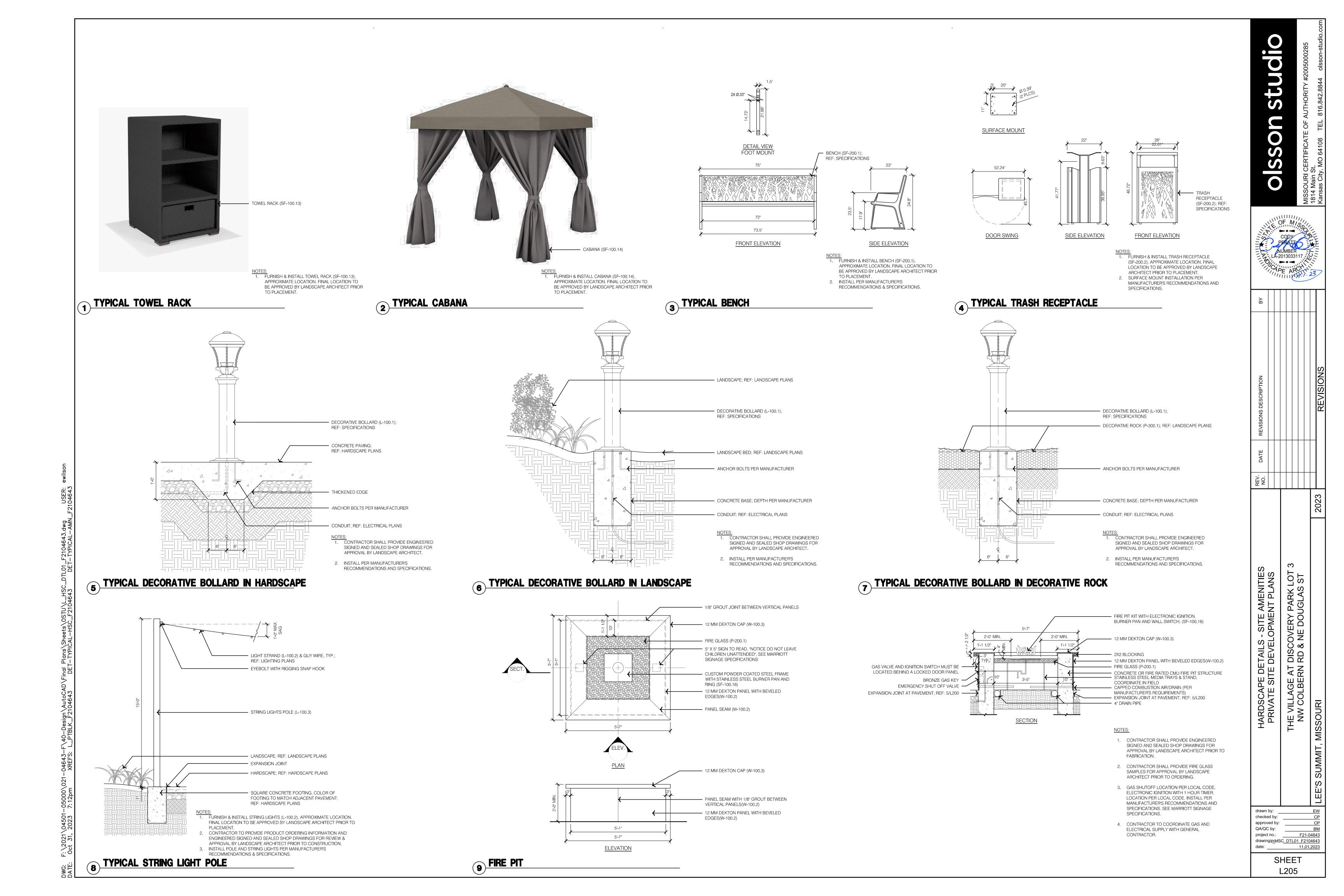
NOTES:

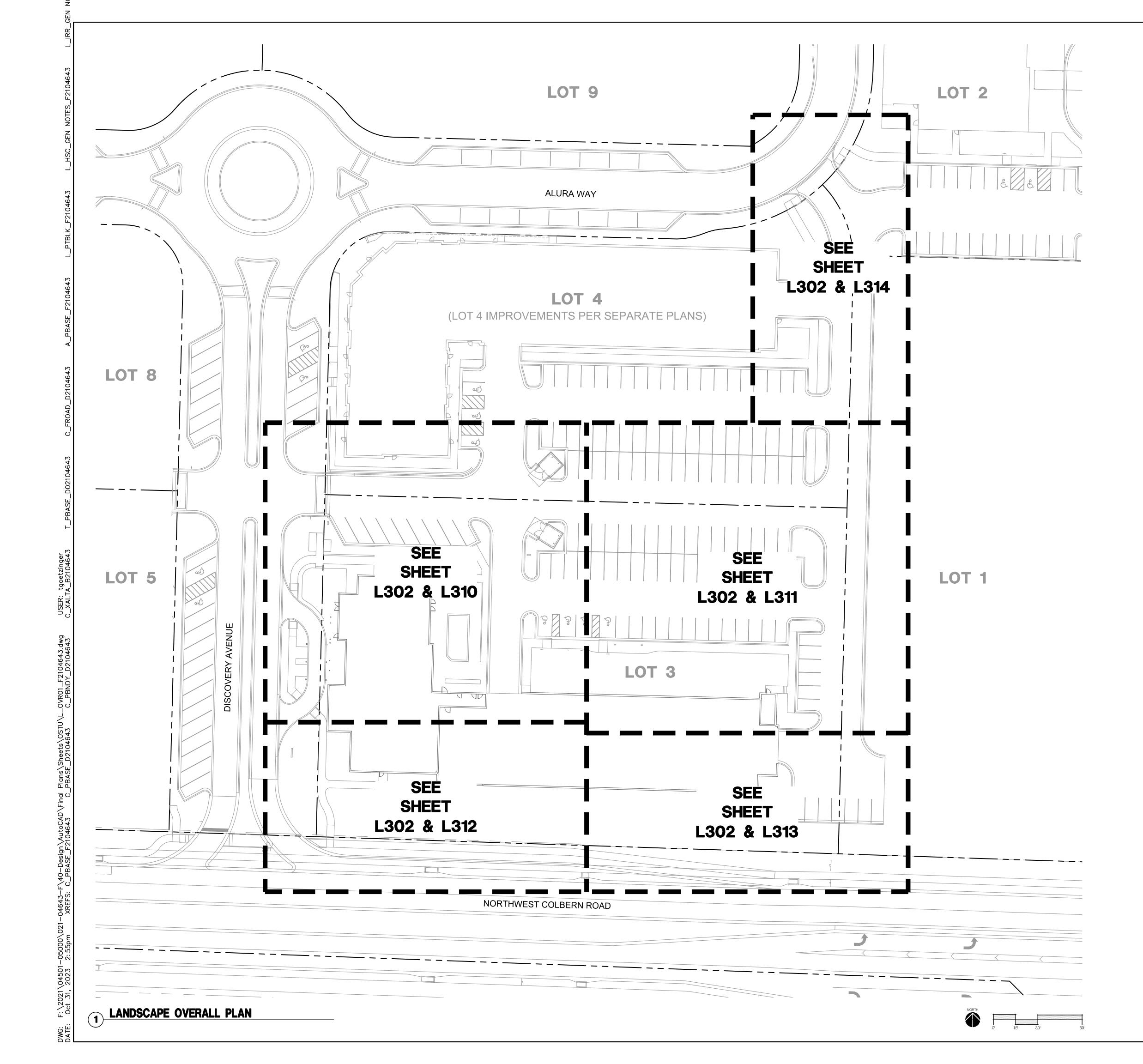
1. CONTRACTOR SHALL PROVIDE ENGINEERED

- SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION. 2. ENTIRE BAR AND GRILL AREA INCLUDING BACK AND SIDES OF CUT-OUT FOR BUILT-IN GRILL,
 - AND COUNTERTOP SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS AND MUST COMPLY WITH AHJ.
 - 3. CONTRACTOR TO COORDINATE GAS AND ELECTRICAL SUPPLY WITH GENERAL CONTRACTOR.









LANDSCAPE GENERAL NOTES:

- 1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
- 2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
- 3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
- 4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
- 5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - -ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE. -ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE

BEST AESTHETIC VIEWING. -ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.

- 7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- 9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
- 10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
- 11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
- 12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
- 13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
- 14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
- 15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
- 16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
- 17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
- 18. PLANT KEY DESCRIPTION.

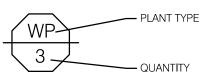
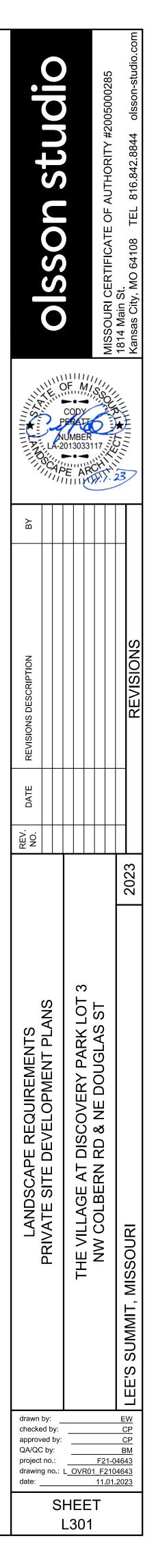


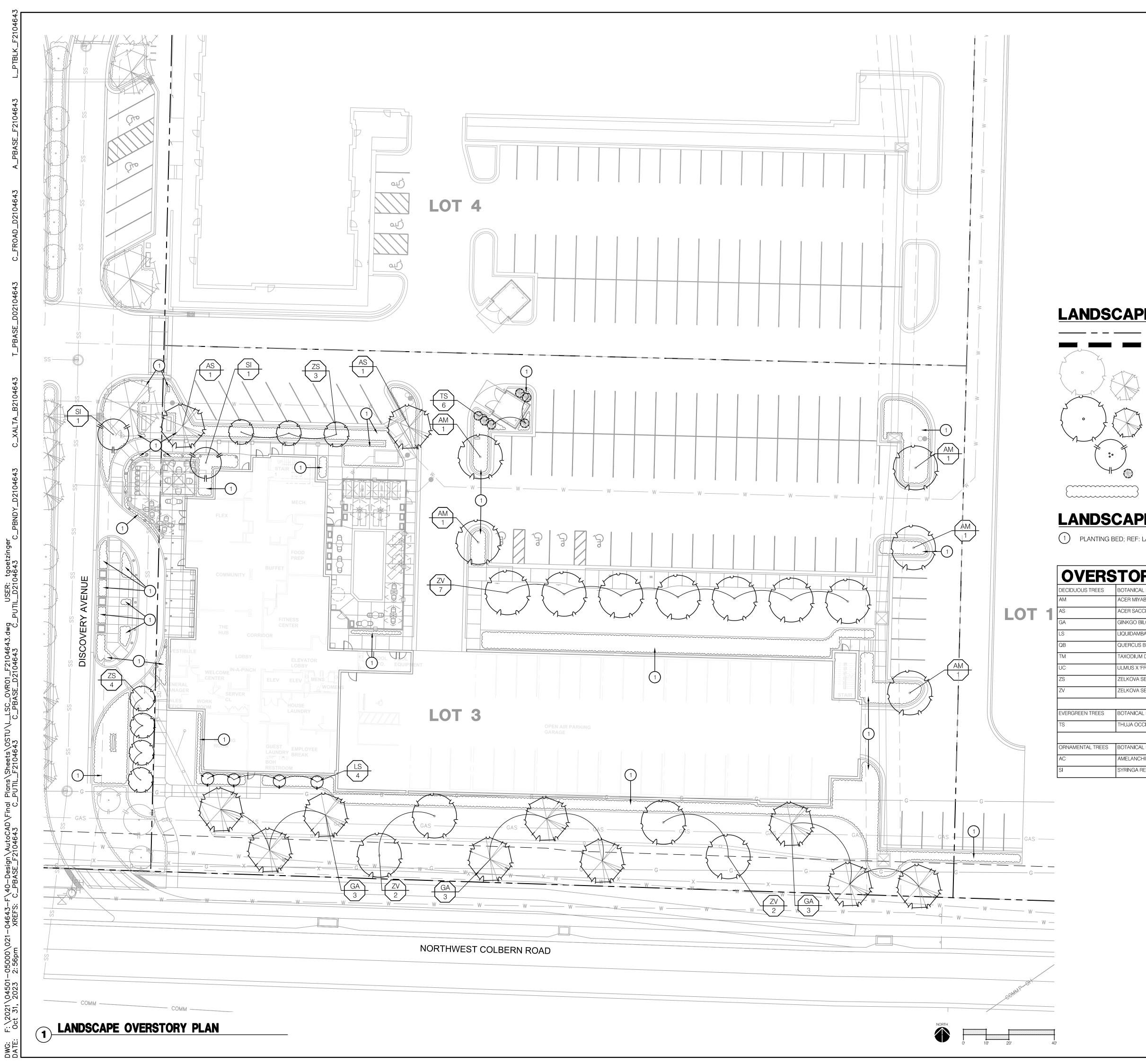
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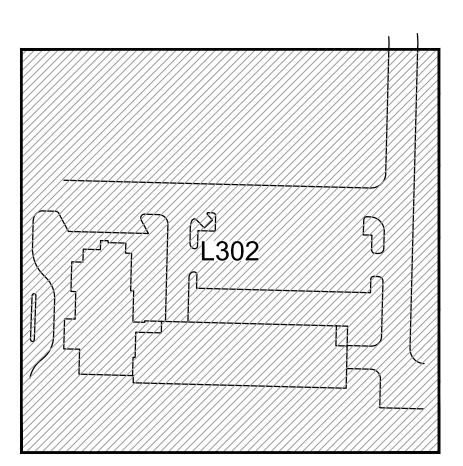
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LANDSCAPE REQUIREMENTS

LANDSCAPING AND SCREENIN	IG REQUIREMENTS - ZONE 1, LOT 3	REQUIRED PLANTS	SHOWN PLANTS
LEE'S SUMMIT, MISSOURI			
	ON III - LANDSCAPING, BUFFERS AND TREE PROTECTION		
SITE ZONED: CP-2, PROPOSED			
TOTAL PROPERTY: 1.76 ACRES	S (76,795 SQ FT)		
STREET FRONTAGE TREES:			
SEC. 8.790	ONE TREE PER 30 FEET OF STREET FRONTAGE, PUBLIC OR PRIVATE TREES MAY BE CLUSTERED OR ARRANGED WITHIN THE SETBACK. A		
	MIN. 20' LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENTH OF THE STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20'.		
	NORTHWEST COLBERN ROAD		
	TOTAL STREET FRONTAGE = 353 LF		
	(353 / 30 = 11.7)	12 TREES	13 TREES
	DISCOVERY AVENUE		
	TOTAL STREET FRONTAGE = 200 LF		
	(200 / 30 = 6.67)	7 TREES	7 TREES
OPEN YARD TREES:			
SEC. 8.790	ONE TREE PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT		
	TOTAL LOT AREA = 76,795.1 SQ FT		
	BUILDING FOOTPRINT = 23,119 SQ FT		
	76,795.1 - 23,119 SQ FT = 53,676.1 SQ FT		
	53,676.1 / 5,000 = 10.73 TREES	11 TREES	26 TREES
	LANDSCAPE TOTALS	30 TREES	46 TREES
STREET FRONTAGE SHRUBS:			
SEC. 8.790	ONE SHRUB PER 20 FEET OF STREET FRONTAGE		
	A MINIMUM 20 FEET WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.		
	NORTHWEST COLBERN ROAD		
	TOTAL STREET FRONTAGE = 353 LF		
	(353/ 20 = 17.65)	18 SHRUBS	COVERED BY PRIVATE DRIVE PLANS
	DISCOVERY AVENUE		
	TOTAL STREET FRONTAGE = 200 LF		
	(200/ 20 = 10)	10 SHRUBS	37 SHRUBS
OPEN YARD SHRUBS:	TWO SHRUBS PER 5,000 SQUARE FEET OF TOTAL LOT AREA		
SEC. 8.790	EXCLUDING BUILDING FOOTPRINT		
	TOTAL LOT AREA = 76,795.1 SQ FT		
	BUILDING FOOTPRINT = 23,119 SQ FT		
	76,795.1 - 23,119 SQ FT = 53,676.1 SQ FT		
	53,676.1 / 5,000 = 10.73 X 2 = 21.46 SHRUBS	21 SHRUBS	312 SHRUBS
	LANDSCAPE TOTALS	49 SHRUBS	349 SHRUBS
PARKING LOT LANDSCAPING:			
SEC. 8.810	LANDSCAPE ISLANDS, STRIPS, OR OTHER PLANTING AREA SHALL BE AT LEAST FIVE PERCENT OF THE ENTIRE PARKING AREA		
	TOTAL PARKING LOT AREA: 30,490.8 SQ FT		
	TOTAL LANDSCAPE ISLAND AREA: 2391.33 SQ FT		
	2391.33 / 30,490.8 = .0784	7.84%	
	LANDSCAPE STRIP BETWEEN PARKING/LOADING AREA & R/W	20' WIDE	
	OPEN AREAS NOT COVERED WITH OTHER MATERIALS SHALL BE		
_			1
	COVERED WITH SOD. GROUND COVER SHALL BE UTILIZED ON ALL SLOPES IN EXCESS OF 3:1 SLOPE.		







KEYMAP

LANDSCAPE LEGEND:

SHEET MATCHLINE STREETSCAPE TREE

OVERSTORY TREE

ORNAMENTAL TREE

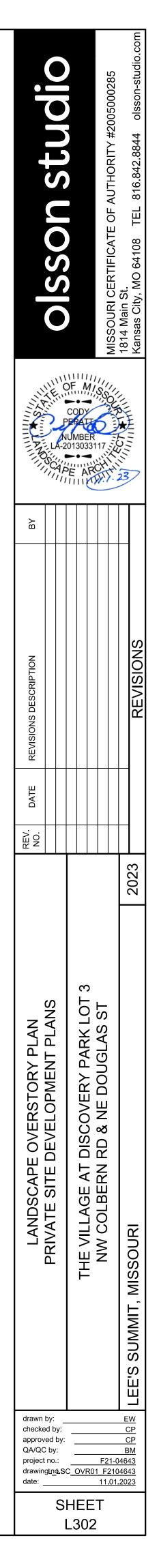
EVERGREEN TREE

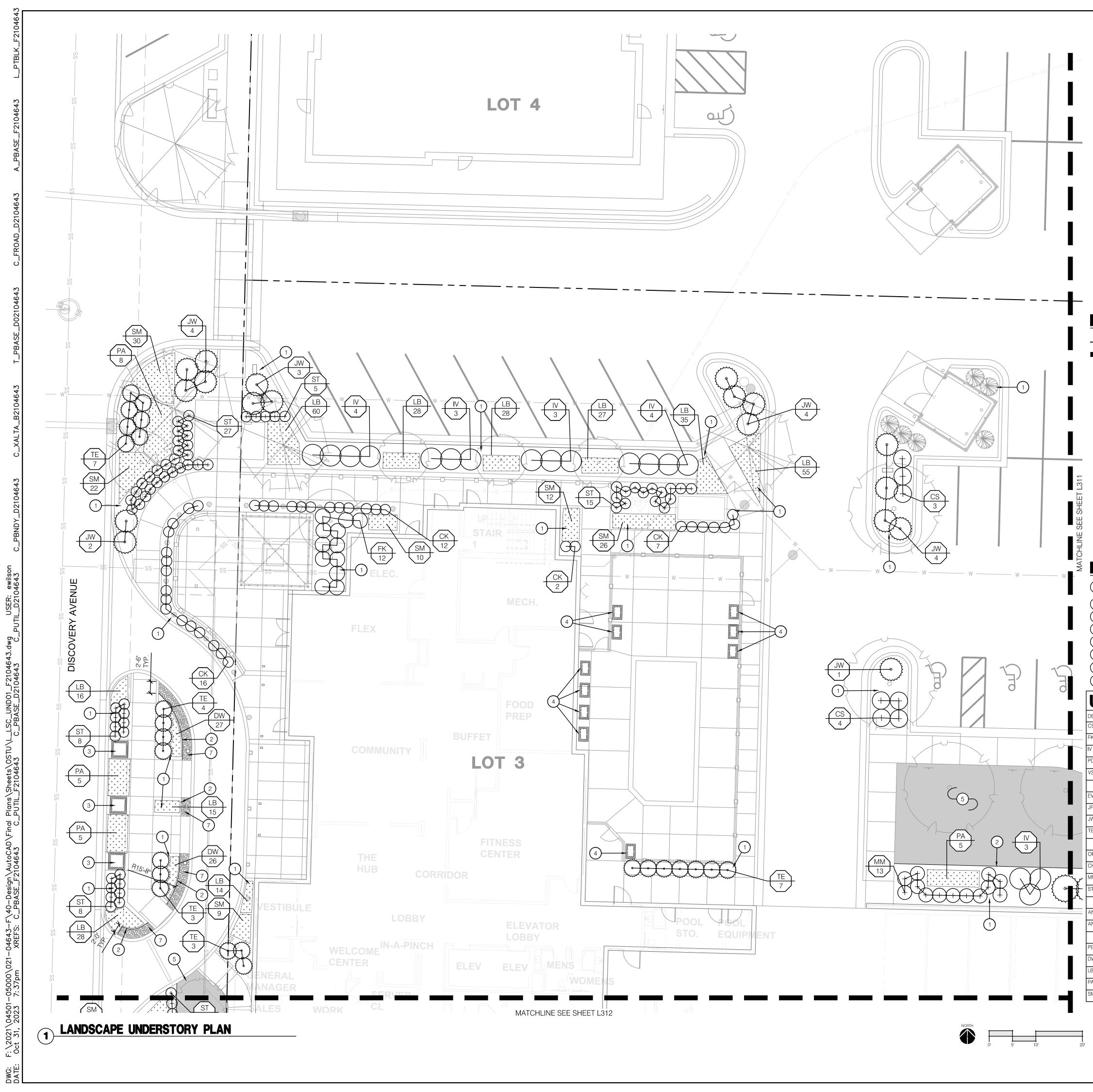
PERENNIALS & GRASSES

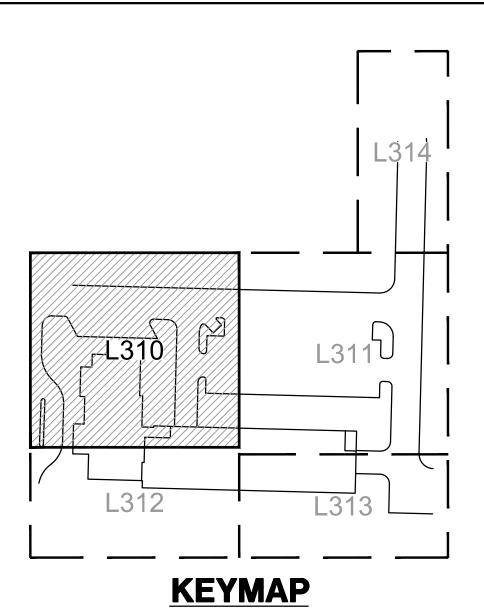
LANDSCAPE PLAN NOTES:

1 PLANTING BED; REF: LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS

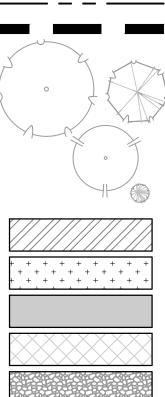
OVER	STORY PLANT S	CHEDULE			
DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
AM	ACER MIYABEI 'MORTON'	STATE STREET™ MIYABE MAPLE	3" CAL	B&B	
AS	ACER SACCHARUM 'CADDO'	CADDO SUGAR MAPLE	3" CAL	B&B	
GA	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	3" CAL	B&B	
_S	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEET GUM	3" CAL	B&B	
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	3" CAL	B&B	
TM	TAXODIUM DISTICHUM 'MICKELSON'	SHAWNEE BRAVE™ BALD CYPRESS	3" CAL	B&B	
JC	ULMUS X 'FRONTIER'	FRONTIER ELM	3" CAL	B&B	
ZS	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO JAPANESE ZELKOVA	3" CAL	B&B	
ZV	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN JAPANESE ZELKOVA	3" CAL	B&B	
				-1	
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
TS	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	8` HT.	B&B	
				1	
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
AC	AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY AUTUMN BRILLIANCE	3" CAL	3" CAL B&B	
SI	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	3" CAL	B&B	







LANDSCAPE LEGEND:



RIGHT OF WAY / PROPERTY LINE
 SHEET MATCHLINE
 OVERSTORY TREE
 ORNAMENTAL TREE

EVERGREEN TREE

ANNUALS MIX

PERENNIAL MIX

TURF TYPE FESCUE SOD

TURF TYPE FESCUE SEED

DECORATIVE ROCK

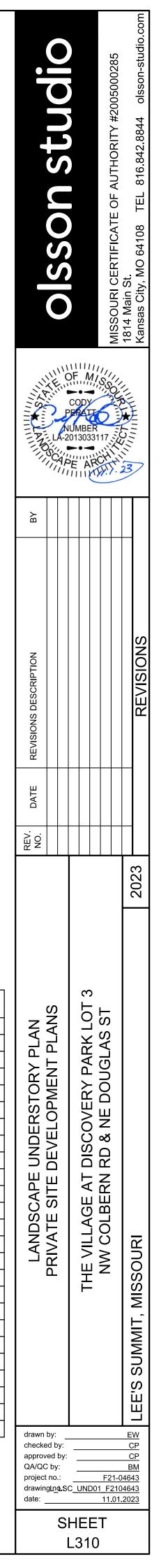
LANDSCAPE PLAN NOTES:

PLANTING BED WITH HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, DETAILS & SPECIFICATIONS

-) INSTALL METAL BED EDGE; REF: 5/L390 AND SPECIFICATIONS
-) TYPICAL PLANTER FRONT ENTRY (SF-100.10); REF: 6/L390
-) TYPICAL PLANTER ACCENT (SF-100.11); REF: 7/L390
- AREA TO BE SODDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- AREA TO BE SEEDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- INSTALL DECORATIVE ROCK (P-300.1); REF:8/L390
- PRIVATE DRIVE PLANTING BED; REF: PRIVATE DRIVE PLANS

	UNDERS	STORY PLANT S	SCHEDULE	
	DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
_	CS	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL
_	FK	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	5 GAL
_	IV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL
	PD	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK	5 GAL
	VS	VIBURNUM DENTATUM 'SMVDE'	SPARKLER® ARROWWOOD VIBURNUM	5 GAL
		•	•	
	EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
	JF	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL

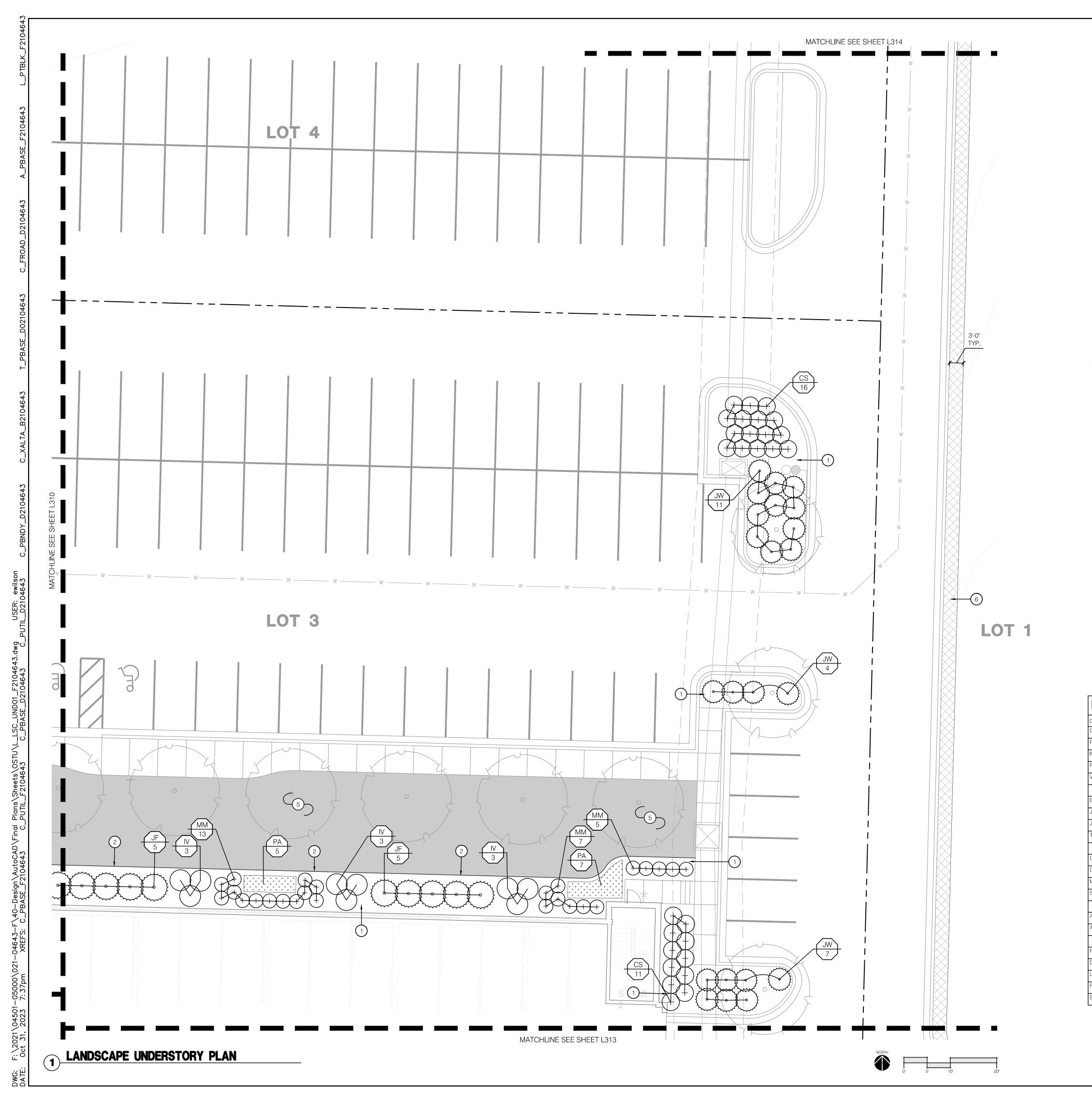
VERGREEN SHRUBS BOTANICAL NAME COMMON NA		COMMON NAME	SIZE	CONDITION	SPACING
F	JUNIPERUS CHINENSIS 'SEA GREEN' SEA GREEN JUNIPER		5 GAL	CONT.	72" o.c.
W JUNIPERUS HORIZONTALIS 'WILTONII'		BLUE RUG JUNIPER	5 GAL	CONT.	60" o.c.
E	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLO-JAPANESE YEW	5 GAL	CONT.	45" o.c.
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	CONT.	27" o.c.
ſΜ	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	5 GAL	CONT.	36" o.c.
ST	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSEED	1 GAL	CONT.	27" o.c.
		•	•		
ANNUALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
ANN	ANNUALS		4" POT		12" o.c.
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
W	DIANTHUS GRATIANOPOLITANUS 'FIREWITCH'	FIREWITCH CHEDDAR PINK	1 GAL	CONT.	9" o.c.
В	LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF 1 GAL C		CONT.	12" o.c.	
PA	PEROVSKIA ATRIPLICIFOLIA 'DENIM 'N LACE' DENIM 'N LACE RUSSIAN SAGE 3 GAL		3 GAL	CONT.	36" o.c.
SM	SALVIA NEMOROSA 'CARADONNA'	CARADONNA SAGE	1 GAL	CONT.	18" o.c.

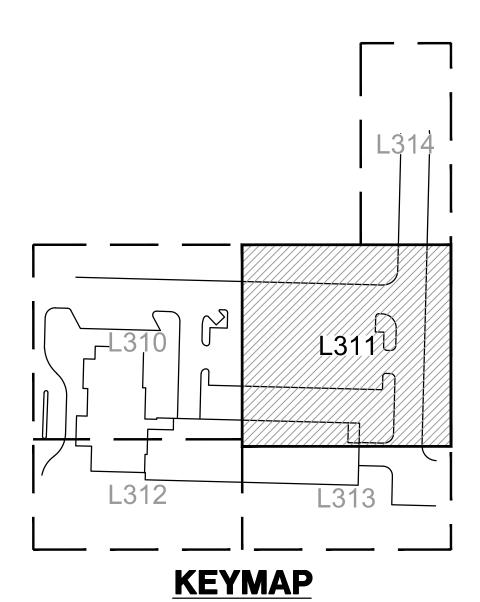


CONDITION SPACING

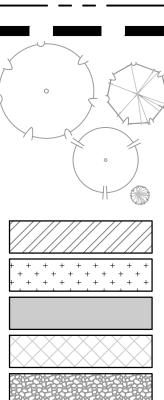
15" o.c. 39" o.c. 54" o.c.

48" o.c.





LANDSCAPE LEGEND:



 RIGHT OF WAY / PROPERTY LINE

 SHEET MATCHLINE

 OVERSTORY TREE

 ORNAMENTAL TREE

EVERGREEN TREE

ANNUALS MIX

PERENNIAL MIX

TURF TYPE FESCUE SOD

TURF TYPE FESCUE SEED

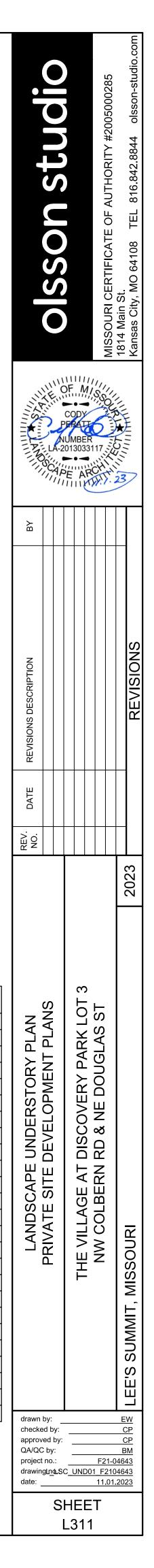
DECORATIVE ROCK

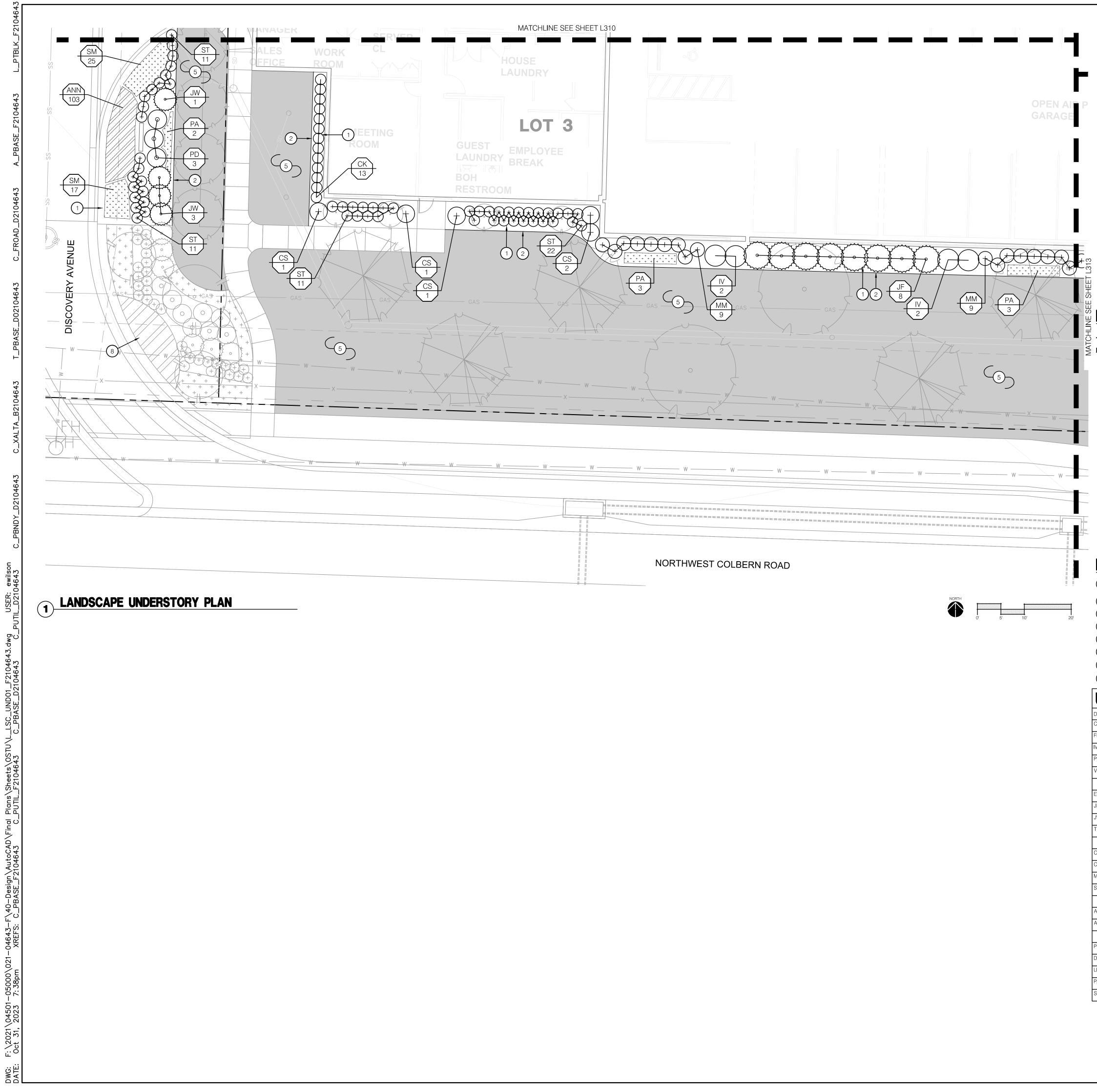
LANDSCAPE PLAN NOTES:

1 PLANTING BED WITH HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, DETAILS & SPECIFICATIONS

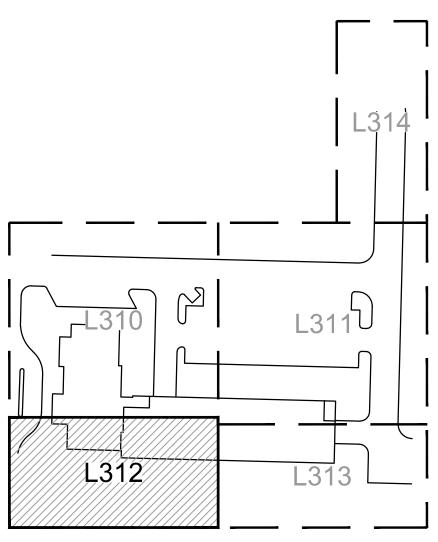
-) INSTALL METAL BED EDGE; REF: 5/L390 AND SPECIFICATIONS
-) TYPICAL PLANTER FRONT ENTRY (SF-100.10); REF: 6/L390
-) TYPICAL PLANTER ACCENT (SF-100.11); REF: 7/L390
- AREA TO BE SODDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- (6) AREA TO BE SEEDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS

	DEEDED WITH TURF-TITE FESCUE, REF. SFI				
	E PLANTING BED, REF. PRIVATE DRIVE PLAN	NO			
DERS	STORY PLANT S	SCHEDULE			
US SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	CONT.	45" o.c.
	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	5 GAL	CONT.	39" o.c.
	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL	CONT.	54" o.c.
	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK	5 GAL	CONT.	48" o.c.
	VIBURNUM DENTATUM 'SMVDE'	SPARKLER® ARROWWOOD VIBURNUM	5 GAL	CONT.	135" o.c.
	1				
EN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	CONT.	72" o.c.
	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	5 GAL	CONT.	60" o.c.
	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLO-JAPANESE YEW	5 GAL	CONT.	45" o.c.
	•	•			•
NTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	CONT.	27" o.c.
	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	5 GAL	CONT.	36" o.c.
	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSEED	1 GAL	CONT.	27" o.c.
		-			•
6	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
	ANNUALS		4" POT		12" o.c.
	•	•			•
ALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
	DIANTHUS GRATIANOPOLITANUS 'FIREWITCH'	FIREWITCH CHEDDAR PINK	1 GAL	CONT.	9" o.c.
	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	12" o.c.
	PEROVSKIA ATRIPLICIFOLIA 'DENIM 'N LACE'	DENIM 'N LACE RUSSIAN SAGE	3 GAL	CONT.	36" o.c.
	SALVIA NEMOROSA 'CARADONNA'	CARADONNA SAGE	1 GAL	CONT.	18" o.c.
	INSTALL DECO PRIVATE DRIV IDERS US SHRUBS	INSTALL DECORATIVE ROCK (P-300.1); REF:8/L390 PRIVATE DRIVE PLANTING BED; REF: PRIVATE DRIVE PLAN DERSSTORY PLANT S US SHRUBS BOTANICAL NAME CORNUS SERICEA 'FARROW' FORSYTHIA X INTERMEDIA 'KOLGOLD' ITEA VIRGINICA 'HENRY'S GARNET PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' VIBURNUM DENTATUM 'SMVDE' EN SHRUBS BOTANICAL NAME JUNIPERUS HORIZONTALIS WILTONII' TAXUS X MEDIA 'EVERLOW' NTAL GRASSES BOTANICAL NAME CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' MISCANTHUS SINENSIS 'MORNING LIGHT' SPOROBOLUS HETEROLEPIS 'TARA' ALS BOTANICAL NAME DIANTCAL NAME DIANTUCAL NAME LIRIOPE MUSCARI 'BIG BLUE' PEROVSKIA ATRIPLICIFOLIA 'DENIM 'N LACE'	INSTALL DECORATIVE ROCK (P-300.1); REF:8/L390 PRIVATE DRIVE PLANTING BED; REF: PRIVATE DRIVE PLANS	INSTALL DECORATIVE ROCK (P-300.1); REF: 8/L390 PRIVATE DRIVE PLANTING BED; REF: PRIVATE DRIVE PLANS DERSSTORY PLANT SCHEDULE US SHRUBS BOTANICAL NAME COMMON NAME SIZE CORNUS SERICEA FARROW ARCLOCH MAGICAL® GOLD FORSYTHIA 5 GAL FORSYTHIA X INTERMEDIA 'KOLGOLD MAGICAL® GOLD FORSYTHIA 5 GAL ITEA VIRGINICA HENRYS GARNET HENRYS GARNET SWEETSPIRE 6 GAL PHYSOCARPUS OPULIFOLIUS DONNA MAY LITTLE DEVIL® DWARF NINEBARK 6 GAL VIBURNUM DENTATUM 'SMVDE SPARKLER® ARROWWOOD VIBURNUM 5 GAL EN SHRUBS BOTANICAL NAME COMMON NAME SIZE JUNIPERUS CHINENSIS SEA GREEN SEA GREEN SEA GREEN JUNIPER 5 GAL UNIVERUS HORIZONTALIS WILTONIF BLUE RUG JUNIPER 5 GAL TAXUS X MEDIA EVERLOW EVERLOW EVERLOW ANGLO, JAPANESE YEW 5 GAL NTAL GRASSES BOTANICAL NAME COMMON NAME SIZE CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER KARL FOERSTER FEATHER REED GRASS 5 GAL MISCANTHUS SINENSIS MORNING LIGHT MORNING LIGHT GRASS 5 GAL SPOROBOLUS HETEROLERIS TARA' TARA PRAIRIE DROPSEED I GAL EN SOROBOLUS HETEROLERIS TARA' TARA PRAIRIE DROPSEED I GAL MISCANTHUS GRATIANOPOLITANUS 'FIREWITCH' FIREWITCH CHEDDAR PINK I GAL LIRIOPE MUSCARI BIG BLUE' BIG BLUE LULYTURF I GAL LIRIOPE MUSCARI BIG BLUE' BIG BLUE LULYTURF I GAL	INSTALL DECORATIVE ROCK (P.300.1); REF:8/L390 PRIVATE DRIVE PLANTING BED; REF: PRIVATE DRIVE PLANS DERSSTORY PLANTER EDRIVE PLANS BOTANICAL NAME CONNON NAME SIZE CONDITION CORNUS SERICEA FARROW ARCTIC FIRE® RED TWIG DOGWOOD 6 GAL CONT. PORSYTHIA XINTERMEDIA KOLGOLD' MAGICAL® GOLD FORSYTHIA 6 GAL CONT. ITEA VIRGINICA 'HENRY'S GARNET' HENRY'S GARNET SWEETSPIRE 6 GAL CONT. PHYSOCARPUS OPULIFOLUS 'DONNA MAY' LITTLE DEVL'* 'DWARF NINEBARK 5 GAL CONT. VIBURNUM DENTATUM SWYDE' SPARKLER® ARROWWOOD VIBURNUM 5 GAL CONT. EN SHRUBS BOTANICAL NAME COMMON NAME SIZE CONT UNIPERUS HORIZONTALIS WILTONIF' BLUE RUG JUNIPER 5 GAL CONT. UNIPERUS HORIZONTALIS WILTONIF' BLUE RUG JUNIPER 5 GAL CONT. TAXUS X MEDIA 'EVERLOW EVERLOW ANGLO-JAPANESE YEW 5 GAL CONT. TAXUS X MEDIA 'EVERLOW EVERLOW ANGLO-JAPANESE YEW 5 GAL CONT. MISCANTHUS SINENSIS'NORNING LIGHT MORNING LIGHT EULALIA GRASS 5 GAL CONT. MISCANTHUS SINENSIS'NORNING LIGHT MORNING LIGHT EULALIA GRASS 5 GAL CONT. SOCIAL SOCIADUS HETEROLEPIS TARA' TARA PRAIRIE DROPSEED 1 GAL CONT. MISCANTHUS SINENSIS'NORNING LIGHT MORNING LIGHT EULALIA GRASS 5 GAL CONT. ANNUALS MEDIA 'EVERLENCE COMMON NAME SIZE CONDITION MISCANTHUS SINENSIS'NORNING LIGHT MORNING LIGHT EULALIA GRASS 5 GAL CONT. ANNUALS MARED COMMON NAME SIZE CONDITION MISCANTHUS SINENSIS'NORNING LIGHT MORNING LIGHT EULALIA GRASS 5 GAL CONT. ANNUALS A MEDIA 'EVERLEPIS TARA' TARA PRAIRIE DROPSEED 1 GAL CONT. MISCANTHUS SINENSIS'NORNING LIGHT MORNING LIGHT EULALIA GRASS 5 GAL CONT. ANNUALS A MEDIA 'EVERLEPIS TARA' TARA PRAIRIE DROPSEED 1 GAL CONT. MISCANTHUS SINENSIS'NORNING LIGHT MORNING LIGHT EULALIA GRASS 5 GAL CONT. ANNUALS CONDITION HERE COMMON NAME SIZE CONDITION MISCANTHUS SINENSIS'NORNING LIGHT HIEVETCH HERE PEATHER REED GRASS 5 GAL CONT. MISCANTHUS SINENSIS'NORNING LIGHT MORNING ALGER PINK 1 GAL CONT. ANNUALS CONTINUE LIGHT MUSCARI 'EVERUTICH HIREWITCH HEREWITCH CHEDDAR PINK 1 GAL CONT. PEROVISKIA ATINIPUCIFOLIA DENIM NALCE' DENIM NAME SIZE CONDITION



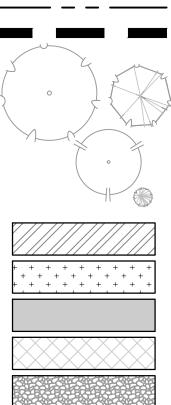


(6)



KEYMAP

LANDSCAPE LEGEND:



------ RIGHT OF WAY / PROPERTY LINE SHEET MATCHLINE OVERSTORY TREE ORNAMENTAL TREE

EVERGREEN TREE

ANNUALS MIX

PERENNIAL MIX

TURF TYPE FESCUE SOD

TURF TYPE FESCUE SEED

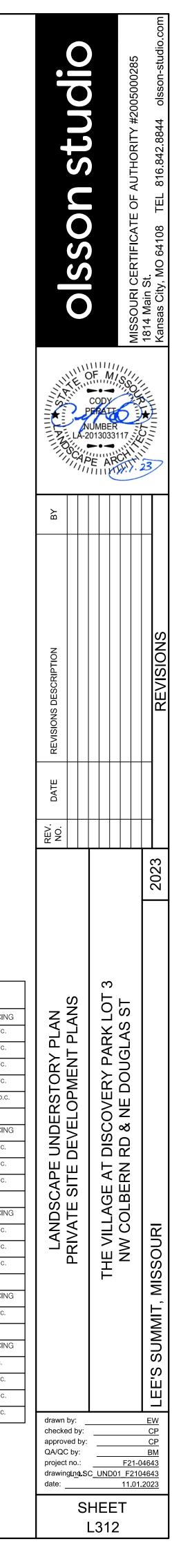
DECORATIVE ROCK

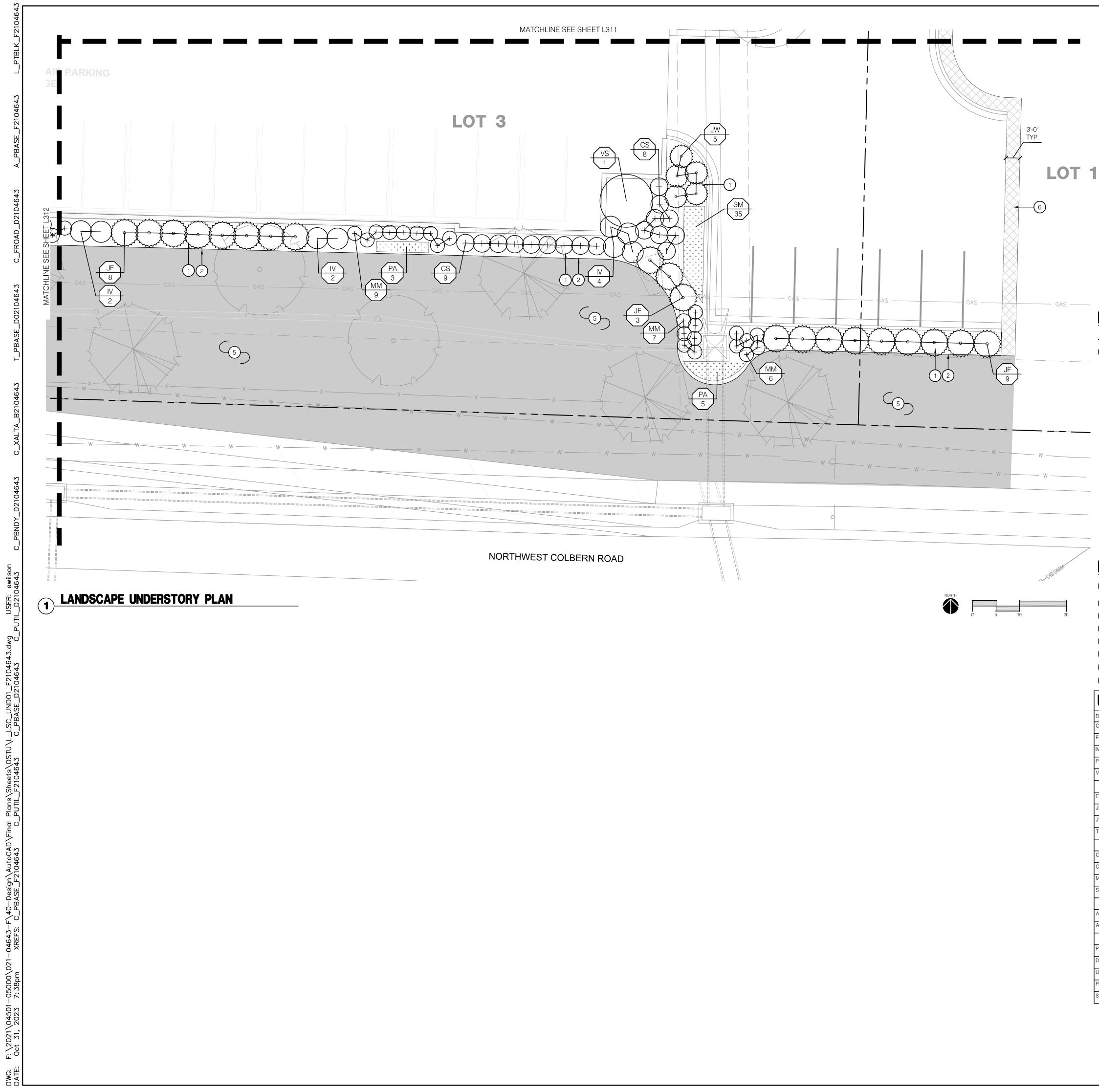
LANDSCAPE PLAN NOTES:

(1)PLANTING BED WITH HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, DETAILS & SPECIFICATIONS

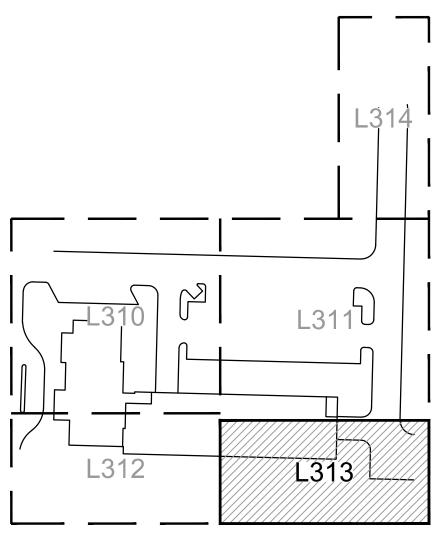
- (2)INSTALL METAL BED EDGE; REF: 5/L390 AND SPECIFICATIONS
- (3)TYPICAL PLANTER - FRONT ENTRY (SF-100.10); REF: 6/L390
- TYPICAL PLANTER ACCENT (SF-100.11); REF: 7/L390
- AREA TO BE SODDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- AREA TO BE SEEDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- (7)INSTALL DECORATIVE ROCK (P-300.1); REF:8/L390

8 PRIVATE DRI	VE PLANTING BED; REF: PRIVATE DRIVE PLAN	NS			
UNDER:	STORY PLANT	SCHEDULE			
DECIDUOUS SHRUBS			SIZE	CONDITION	SPACING
CS	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	CONT.	45" o.c.
FK	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	5 GAL	CONT.	39" o.c.
IV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL	CONT.	54" o.c.
PD	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK	5 GAL	CONT.	48" o.c.
VS	VIBURNUM DENTATUM 'SMVDE'	SPARKLER® ARROWWOOD VIBURNUM	5 GAL	CONT.	135" o.c.
	•		•	•	
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
JF	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	CONT.	72" o.c.
WL	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	5 GAL	CONT.	60" o.c.
TE	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLO-JAPANESE YEW	5 GAL	CONT.	45" o.c.
		1	-i		-i
ORNAMENTAL GRASSES	BOTANICAL NAME		SIZE	CONDITION	SPACING
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	CONT.	27" o.c.
MM	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	5 GAL	CONT.	36" o.c.
ST	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSEED	1 GAL	CONT.	27" o.c.
				-	-
ANNUALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
ANN	ANNUALS		4" POT		12" o.c.
		-			_
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
DW	DIANTHUS GRATIANOPOLITANUS 'FIREWITCH'	FIREWITCH CHEDDAR PINK	1 GAL	CONT.	9" o.c.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	12" o.c.
PA	PEROVSKIA ATRIPLICIFOLIA 'DENIM 'N LACE'	DENIM 'N LACE RUSSIAN SAGE	3 GAL	CONT.	36" o.c.
SM	SALVIA NEMOROSA 'CARADONNA'	CARADONNA SAGE	1 GAL	CONT.	18" o.c.



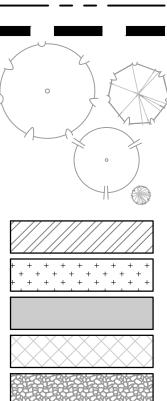


RENNIALS



KEYMAP

LANDSCAPE LEGEND:



- RIGHT OF WAY / PROPERTY LINE SHEET MATCHLINE OVERSTORY TREE ORNAMENTAL TREE

EVERGREEN TREE

ANNUALS MIX

PERENNIAL MIX

TURF TYPE FESCUE SOD

TURF TYPE FESCUE SEED

DECORATIVE ROCK

LANDSCAPE PLAN NOTES:

 Image: Planting bed with hardwood mulch; ref: Landscape general notes, details & specifications

- 2 INSTALL METAL BED EDGE; REF: 5/L390 AND SPECIFICATIONS
- 3 TYPICAL PLANTER - FRONT ENTRY (SF-100.10); REF: 6/L390
- TYPICAL PLANTER ACCENT (SF-100.11); REF: 7/L390 (4)
- (5) AREA TO BE SODDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- (6)AREA TO BE SEEDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- (7) INSTALL DECORATIVE ROCK (P-300.1); REF:8/L390
- 8 PRIVATE DRIVE PLANTING BED; REF: PRIVATE DRIVE PLANS

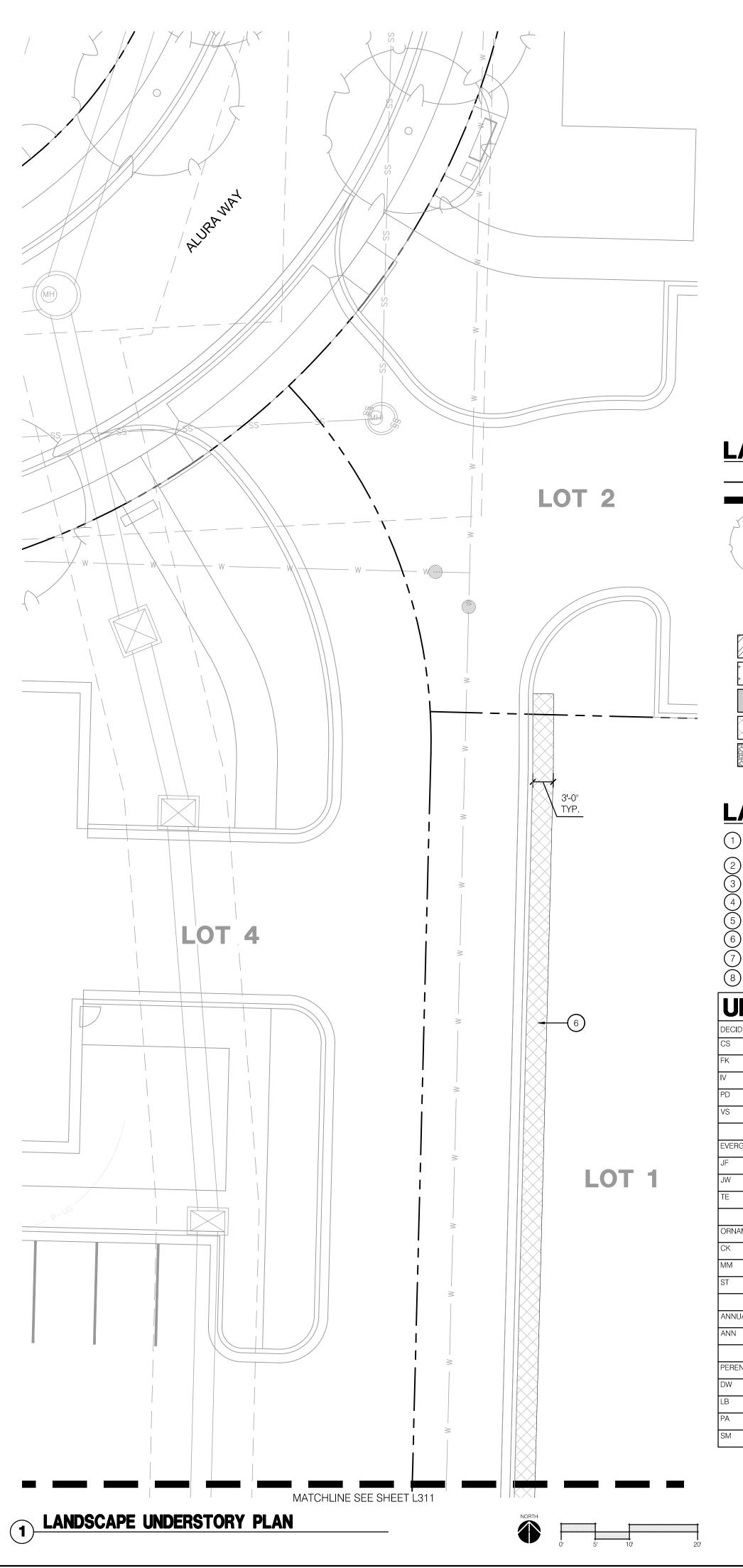
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UNDERS	STORY PLANT S	SCHEDULE			
DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CS	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	CONT.	45" o.c.
FK	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	5 GAL	CONT.	39" o.c.
IV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL	CONT.	54" o.c.
PD	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK	5 GAL	CONT.	48" o.c.
VS	VIBURNUM DENTATUM 'SMVDE'	SPARKLER® ARROWWOOD VIBURNUM	5 GAL	CONT.	135" o.c.
					1
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
JF	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	CONT.	72" o.c.
JW	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	5 GAL	CONT.	60" o.c.
TE	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLO-JAPANESE YEW	5 GAL	CONT.	45" o.c.
	-				•
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
СК	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	CONT.	27" o.c.
MM	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT FULALIA GRASS	5 GAI	CONT	36" 0 0

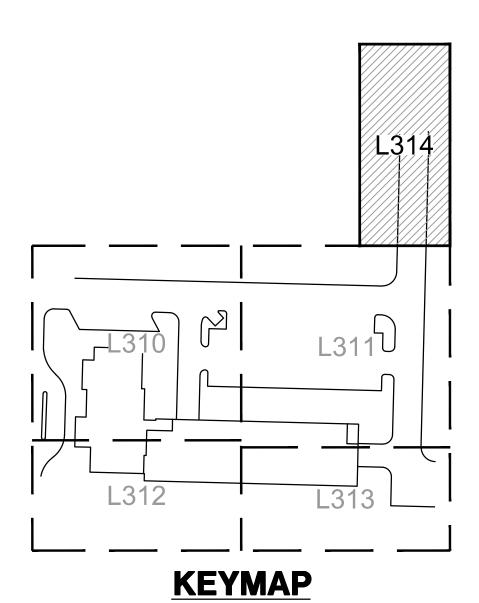
N SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACIN
	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	CONT.	72" o.c.
	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	5 GAL	CONT.	60" o.c.
	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLO-JAPANESE YEW	5 GAL	CONT.	45" o.c.
				-	_
AL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACIN
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	CONT.	27" o.c.
	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	5 GAL	CONT.	36" o.c.
	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSEED	1 GAL	CONT.	27" o.c.
		•	_		-
	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACIN
	ANNUALS		4" POT		12" o.c.
		·	-		-
S	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACIN
	DIANTHUS GRATIANOPOLITANUS 'FIREWITCH'	FIREWITCH CHEDDAR PINK	1 GAL	CONT.	9" o.c.
	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	12" o.c.
	PEROVSKIA ATRIPLICIFOLIA 'DENIM 'N LACE'	DENIM 'N LACE RUSSIAN SAGE	3 GAL	CONT.	36" o.c.
	SALVIA NEMOROSA 'CARADONNA'	CARADONNA SAGE	1 GAL	CONT.	18" o.c.

		DF.			MISSOURI CERTIFICATE OF AUTHORITY #2005000285	1814 Main St.	Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com
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REVISIONS DESCRIPTION							REVISIONS
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LANDSCAPE UNDERSTORY PLAN	PRIVATE SITE DEVELOPMENT PLANS			NW COLBERN RD & NE DOUGLAS ST			LEE'S SUMMIT, MISSOURI
drawn by: EW checked by: CP approved by: CP QA/QC by: BM project no.: F21-04643 drawingIng SC_UND01_F2104643							
date: <u>11.01.2023</u> SHEET L313							

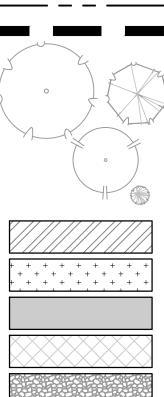
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C_XALTA_B2104643	
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LANDSCAPE LEGEND:



– – – RIGHT OF WAY / PROPERTY LINE SHEET MATCHLINE OVERSTORY TREE ORNAMENTAL TREE

EVERGREEN TREE

ANNUALS MIX

PERENNIAL MIX

TURF TYPE FESCUE SOD

TURF TYPE FESCUE SEED

DECORATIVE ROCK

LANDSCAPE PLAN NOTES:

(1)PLANTING BED WITH HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, DETAILS & SPECIFICATIONS

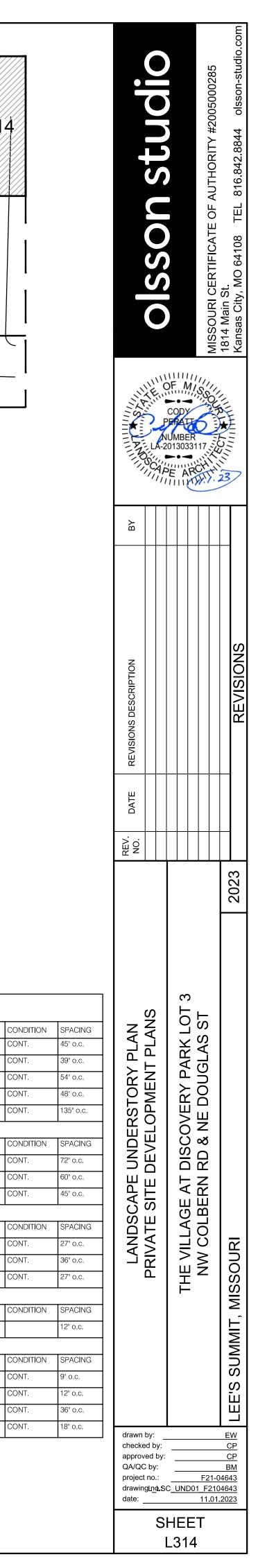
- (2)INSTALL METAL BED EDGE; REF: 5/L390 AND SPECIFICATIONS
- TYPICAL PLANTER FRONT ENTRY (SF-100.10); REF: 6/L390 (3)
- TYPICAL PLANTER ACCENT (SF-100.11); REF: 7/L390
- AREA TO BE SODDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- AREA TO BE SEEDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS (6)
- INSTALL DECORATIVE ROCK (P-300.1); REF:8/L390
- (8) PRIVATE DRIVE PLANTING BED; REF: PRIVATE DRIVE PLANS

SALVIA NEMOROSA 'CARADONNA'

UNDER	STORY PLANT	SCHEDULE	
DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
CS	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL
FK	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	5 GAL
IV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL
PD	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK	5 GAL
VS	VIBURNUM DENTATUM 'SMVDE'	SPARKLER® ARROWWOOD VIBURNUM	5 GAL
			-
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
JF	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL

	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL	CONT.	54" o.c.
	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK	5 GAL	CONT.	48" o.c.
	VIBURNUM DENTATUM 'SMVDE'	SPARKLER® ARROWWOOD VIBURNUM	5 GAL	CONT.	135" o.c.
				-1	-
RGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	CONT.	72" o.c.
	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	5 GAL	CONT.	60" o.c.
	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLO-JAPANESE YEW	5 GAL	CONT.	45" o.c.
					1
NAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	CONT.	27" o.c.
	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	5 GAL	CONT.	36" o.c.
	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSEED	1 GAL	CONT.	27" o.c.
					1
NUALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
N	ANNUALS		4" POT		12" o.c.
					1
RENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
	DIANTHUS GRATIANOPOLITANUS 'FIREWITCH'	FIREWITCH CHEDDAR PINK	1 GAL	CONT.	9" o.c.
	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	12" o.c.
	PEROVSKIA ATRIPLICIFOLIA 'DENIM 'N LACE'	DENIM 'N LACE RUSSIAN SAGE	3 GAL	CONT.	36" o.c.

CARADONNA SAGE



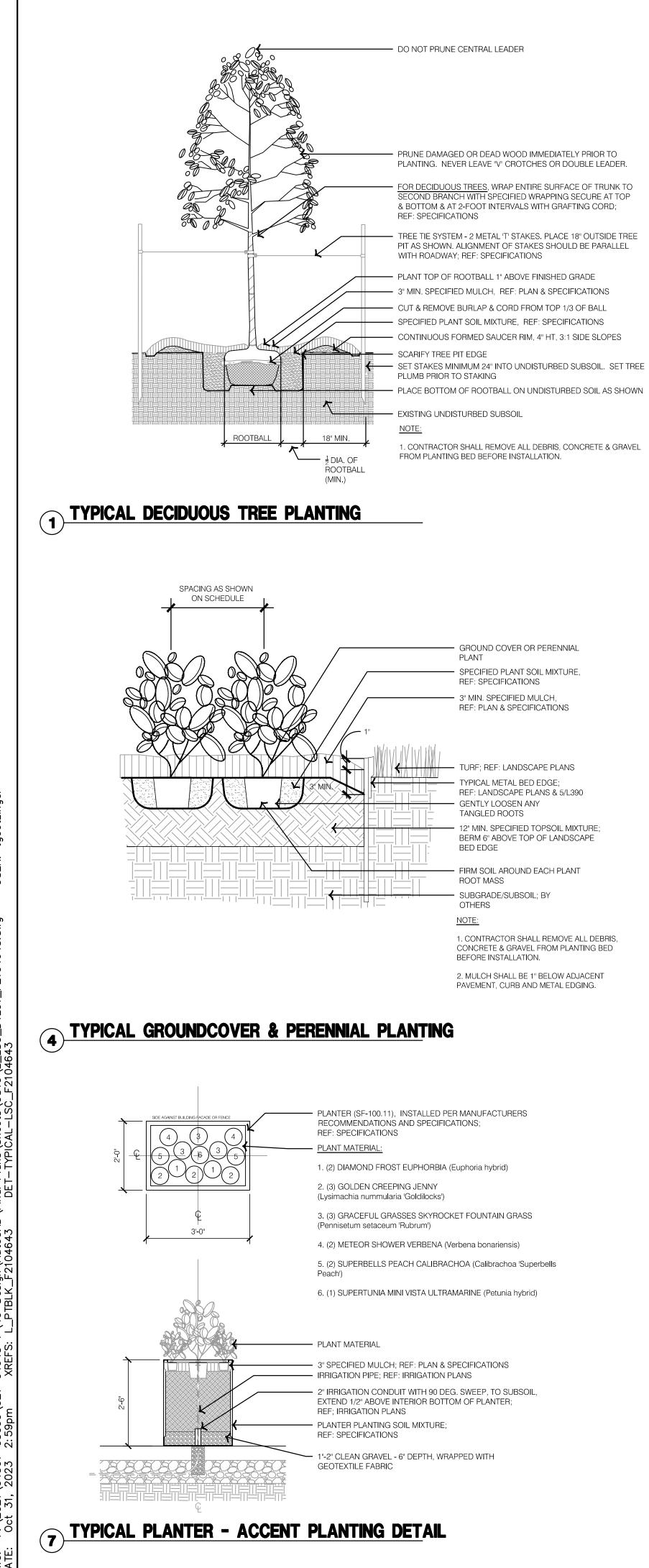
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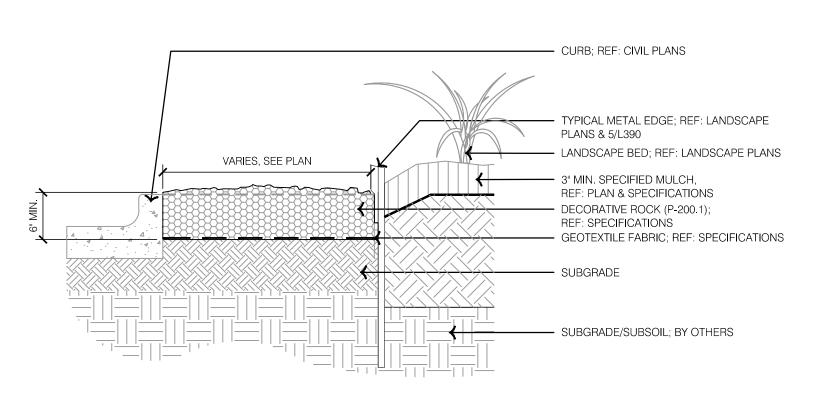
1 GAL CONT.

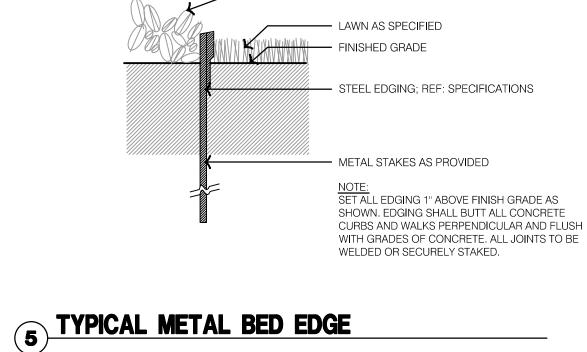
18" o.c.

45" o.c. 39" o.c.

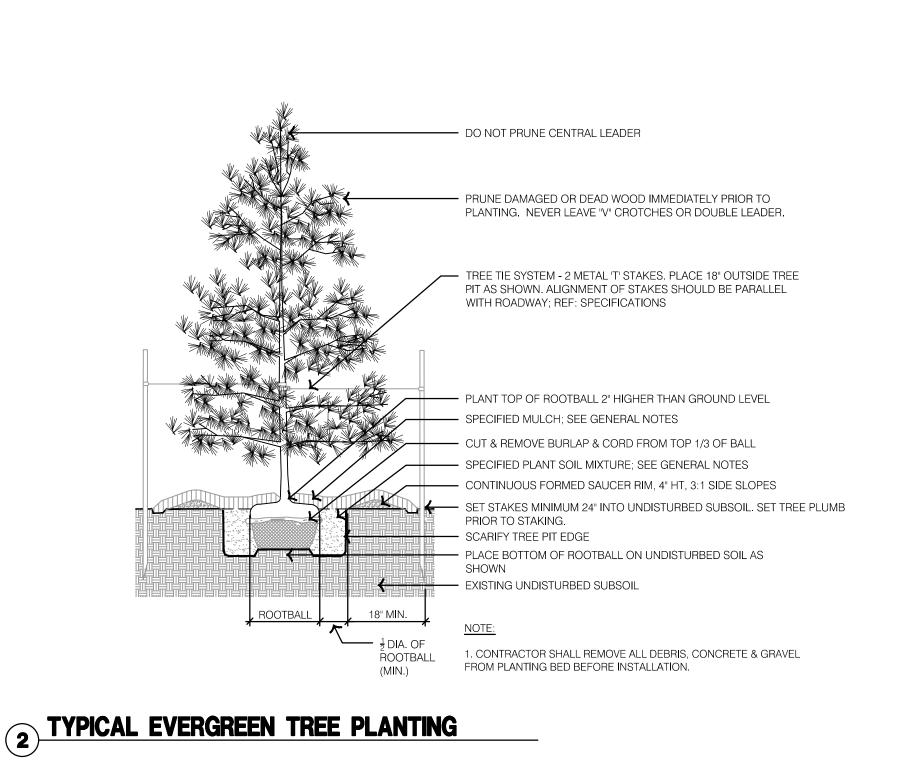


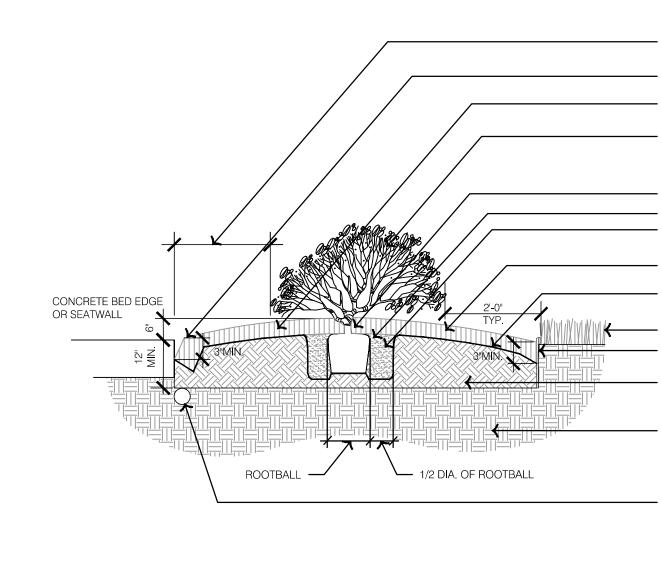
(8) TYPICAL DECORATIVE ROCK



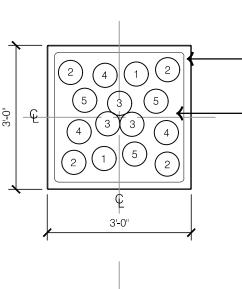


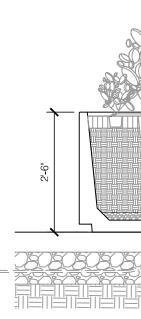
2. MULCH SHALL BE 1" BELOW ADJACENT PAVEMENT, CURB AND METAL EDGING.





TYPICAL SHRUB PLANTING





• MATURE SPREAD OF SHRUB SHALL BE 2'-0" FROM BACK OF CURB. • TYPICAL MANICURED 'V' EDGE, REF: SPECIFICATIONS - APPLY PRE-EMERGENT HERBICIDE REF: SPECIFICATIONS EVERGREEN/DECIDUOUS SHRUB PLANT ACCORDING TO PLANS, AND SPECIFICATIONS. SPACING AS SHOWN ON PLANT SCHEDULE.

- PLANT ROOT BALL 1" ABOVE - REMOVE CONTAINER. - SPECIFIED PLANT SOIL MIXTURE; **REF: SPECIFICATIONS** - 3" SPECIFIED MULCH; REF: PLAN & SPECIFICATIONS - LANDSCAPE WEED PREVENTATIVE FABRIC; REF: SPECIFICATIONS

 TYPICAL METAL BED EDGE; REF: LANDSCAPE PLANS & 5/L390 - 12" MIN. SPECIFIED TOPSOIL MIXTURE; BERM 6"

ABOVE TOP OF LANDSCAPE BED EDGE - SUBGRADE/SUBSOIL; BY OTHERS.

- 4" PERFORATED DRAIN TILE WITH SOCK; REF: CIVIL PLANS.

NOTE:

1. CONTRACTOR SHALL REMOVE ALL DEBRIS, CONCRETE & GRAVEL FROM PLANTING BED BEFORE INSTALLATION. 2. MULCH SHALL BE 1" BELOW ADJACENT PAVEMENT, CURB AND METAL EDGING.

- PLANTER (SF-100.10), INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS; REF: SPECIFICATIONS

– PLANT MATERIAL:

1.(2) 'BETTY WHITE' BACOPA (Sutera hybrid) 2.(4) 'SWEET CAROLINE LIME GREEN' SWEET POTATO VINE (Ipomoea batatas)

3.(3) 'SPIKES' DRACAENA (Dracaena indivisa) 4.(3) 'MINIFAMOUS NEO LIGHT BLUE' MILLION BELLS

(Caliborachoa hybrida) 5.(3) 'ORANGE MARMALADE' FIRECRACKER FLOWER (Crossandra infundibuliformis)



EXAMPLE LAYOUT

------ PLANT MATERIAL

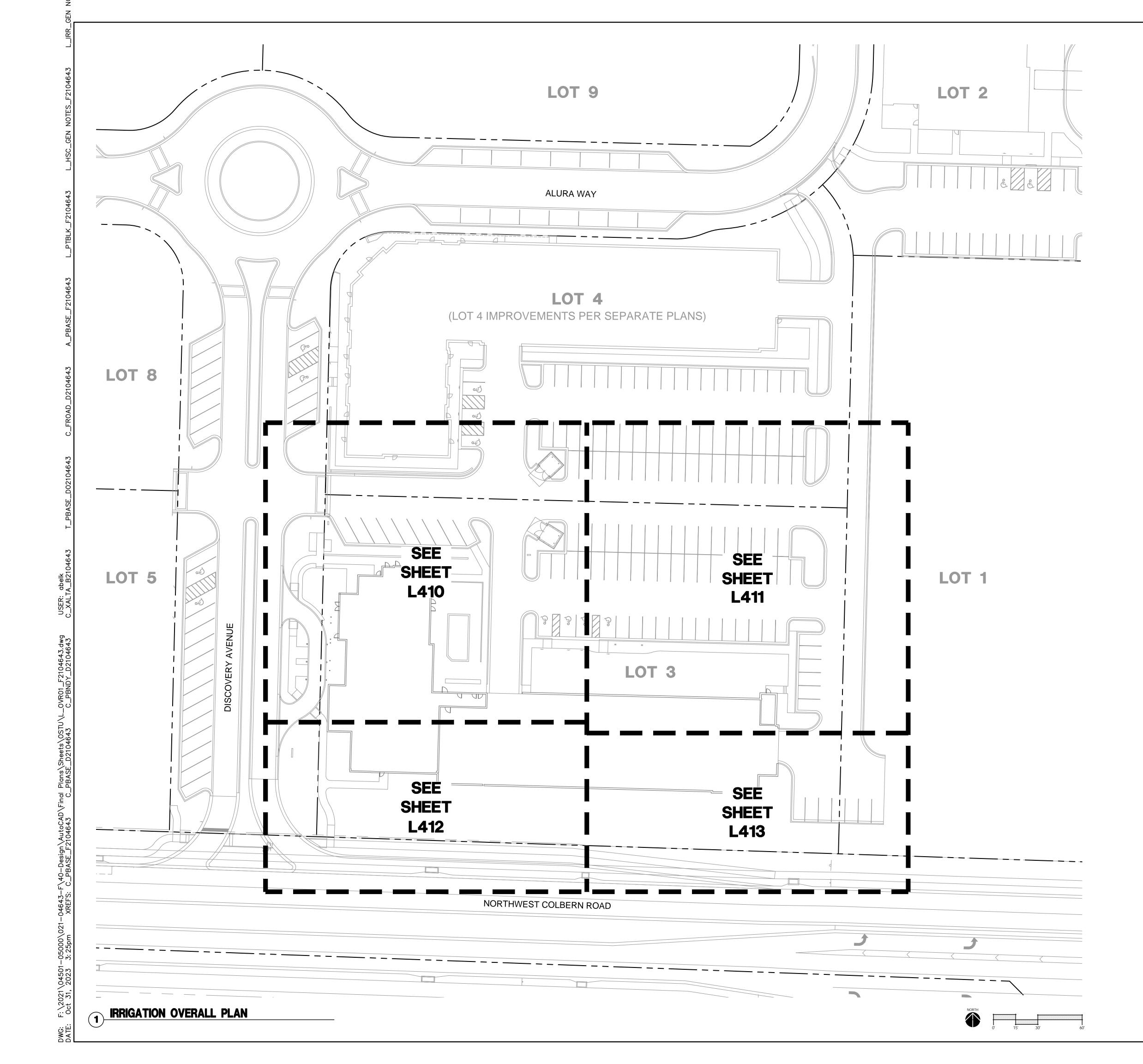
- 3" SPECIFIED MULCH; REF: PLAN & SPECIFICATIONS ----- IRRIGATION PIPE; REF: IRRIGATION PLANS - 2" IRRIGATION CONDUIT WITH 90 DEG. SWEEP, TO SUBSOIL, EXTEND 1/2" ABOVE INTERIOR BOTTOM OF PLANTER; REF; IRRIGATION PLANS

PLANTER PLANTING SOIL MIXTURE; REF: SPECIFICATIONS

- 1"-2" CLEAN GRAVEL - 6" DEPTH, WRAPPED WITH GEOTEXTILE FABRIC

6 TYPICAL PLANTER - FRONT ENTRY PLANTING DETAIL

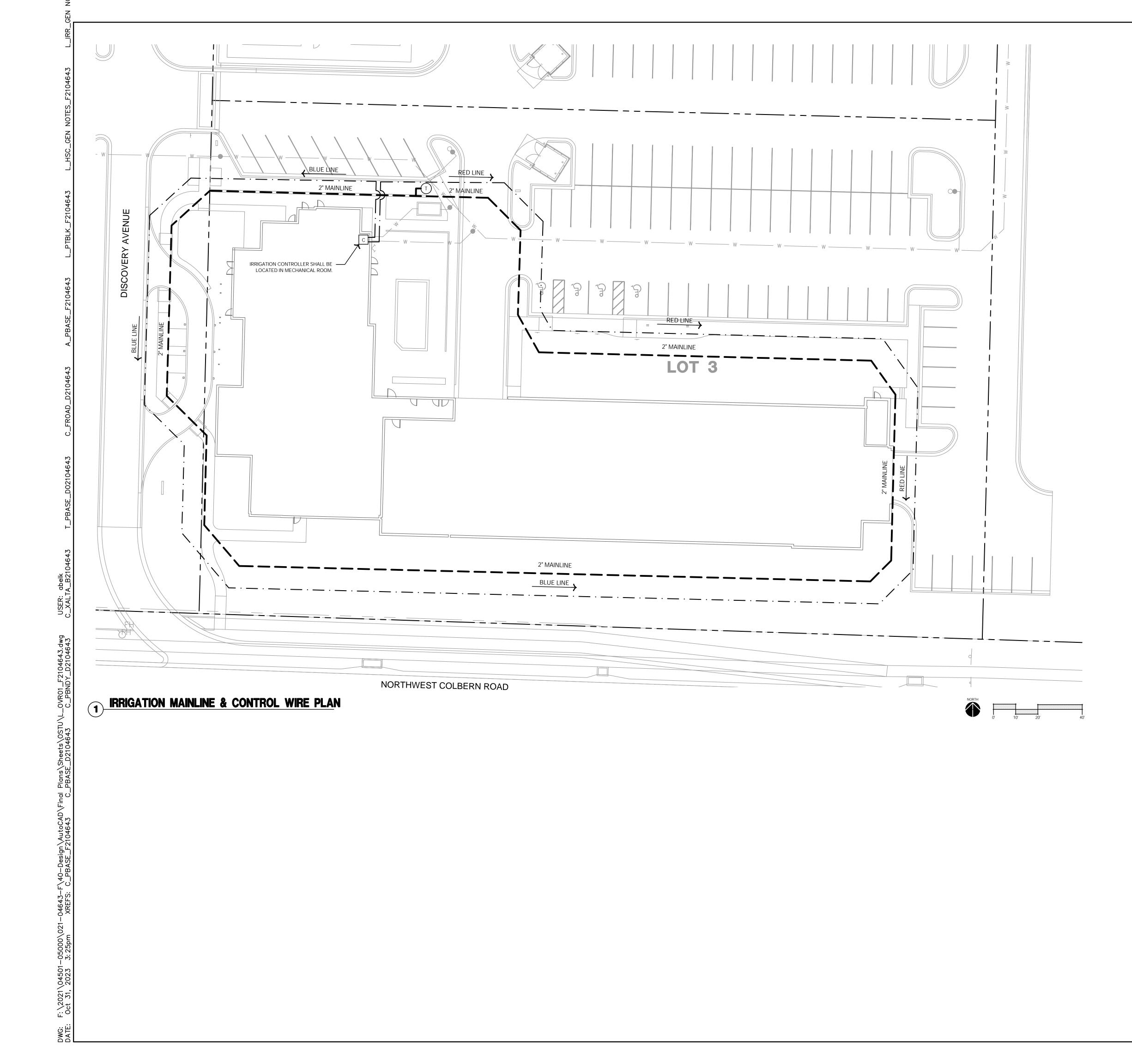
Landscape details Revisions description BV PRIVATE SITE DEVELOPMENT PLANS P P P P THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST P P P P P LEE'S SUMMIT, MISSOURI 2023 2023 2023 P REVISIONS P P P	Landscape details Rev. Date Revisions description BY PRIVATE SITE DEVELOPMENT PLANS P P P P P THE VILLAGE AT DISCOVERY PARK LOT 3 P P P P P P THE VILLAGE AT DISCOVERY PARK LOT 3 P <td< th=""></td<>
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LANDSCAPE DETAILS PRIVATE SITE DEVELOPMENT PLANS THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST SUMMIT, MISSOURI	LEE'S SUMMIT, MISSOURI
SUMMIT, MI	drawn by: EW checked by: CP approved by: CP QA/QC by: BM project no.: F21-04643 drawing boLSC_DTL01_F2104643
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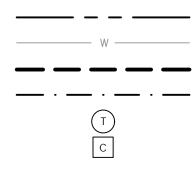
IRRIGATION GENERAL NOTES:

- THIS DESIGN IS SHOWN IN A DIAGRAMMATIC FORM. ALL COMPONENTS ARE SHOWN FOR THE PURPOSE OF CLARIFICATION AND LEGIBILITY. ALL WORK SHALL CONFORM TO SPECIFICATIONS AND DETAILS INCLUDED IN THIS PACKAGE. IRRIGATION MAINLINE, LATERALS, CONTROL VALVES, SUB-METER, BACKFLOW PREVENTER AND OTHER IRRIGATION CONTROL EQUIPMENT SHALL BE INSTALLED IN LANDSCAPE BEDS OR TURF AREAS UNLESS CONTAINED IN PVC SLEEVING UNDER PAVEMENT OR OTHER HARDSCAPE AS INDICATED ON PLANS.
- 2. VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK.
- 3. CONTACT LANDSCAPE ARCHITECT AND COORDINATE ALL REVIEWS PRIOR TO COMMENCEMENT OF WORK.
- 4. IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AT ALL TAP LOCATIONS PRIOR TO THE INSTALLATION OF ANY COMPONENTS OF THE IRRIGATION SYSTEM. NOTIFY LANDSCAPE ARCHITECT IF THE MINIMUM REQUIREMENTS FOR FLOW AND PRESSURE NOTED IN THE IRRIGATION SCHEDULES CAN NOT BE MEET.
- 5. CONTRACTOR SHALL INSTALL ALL IRRIGATION EQUIPMENT IN THE TURF AREAS AND PLANTING BEDS IN A MANNER SO AS TO CONFORM WITH THE VARIOUS DETAILS, PLAN NOTES AND SPECIFICATIONS FROM LANDSCAPE ARCHITECT AND MANUFACTURER.
- 6. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING TREES AND UTILITIES. THE CONTRACTOR SHALL VERIFY LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR DAMAGE TO TREES OR UTILITIES. FIELD ADJUST SPRINKLER LOCATIONS SO AS TO AVOID CONFLICTS WITH UTILITIES (FIRE HYDRANTS, TRANSFORMERS, ETC.).
- PROTECT AT ALL TIMES THE WORK FROM DAMAGE AND THEFT. REPLACE ALL DAMAGED OR STOLEN PARTS AT CONTRACTOR'S EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER.
- 8. THE FINAL LOCATION AND EXACT POSITIONING OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
- 9. IRRIGATION CONTRACTOR RESPONSIBLE TO COORDINATE 110 ELECTRICAL SERVICE FOR CONTROLLER WITH BUILDING GENERAL CONTRACTOR. POWER SUPPLY CONNECTION BY IRRIGATION CONTRACTOR.
- 10. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. INSTALL PRS-DIAL PRESSURE REGULATING MODULES ON ALL VALVES OPERATING AT PRESSURES HIGHER THAN 5 PSI FROM OPERATION PSI AS STATED IN THE CONTROLLER SCHEDULES FOR EACH ZONE.
- 11. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWING WHEN IT IS OBVIOUS IN THE FIELD THAT WIND CONDITIONS, OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA'S DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED DURING DESIGN BRING SUCH OBSTRUCTIONS OR DIFFERENCE TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COSTS FOR ALL NECESSARY REVISIONS.
- CONTRACTOR SHALL PLACE ALL ZONE CONTROL VALVES AND QUICK COUPLER VALVES IN LANDSCAPE BEDS, AS POSSIBLE. PLACE VALVE BOXES A MINIMUM OF 1'-0" FROM ANY PAVEMENT AND PARALLEL TO PAVEMENT EDGE. GROUPED VALVES TO BE EQUALLY SPACED.
 ADJUST HEAD LOCATION IF SPRAY IS DETRIMENTAL TO OR BLOCKED BY TREE, SHRUB OR
- STRUCTURE, MAINTAINING EVEN COVERAGE OF PLANTED AREAS.
- 14. INSTALL ALL MAINLINES TO SLOPE AT 1% MINIMUM TO MANUAL DRAIN VALVES LOCATED AT LOW POINTS OF MAIN SYSTEM.
- 15. ALL SPRINKLER HEADS AND TURF ROTORS SHALL BE ADJUSTED SO THEY DO NOT SPRAY ONTO WALKS, RETAINING WALLS, BUILDINGS OR THE PLAZA AREAS.
- 16. THE IRRIGATION SYSTEM IS DESIGNED TO BE DRAINED AND BLOWN OUT WITH PRESSURIZED AIR PRIOR TO FREEZING TEMPERATURES IN FALL/WINTER. THE CONTRACTOR SHALL DRAIN AND BLOW OUT THE SYSTEM AS NECESSARY UNTIL SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BLOW OUT THE SYSTEM AND INSTRUCT THE OWNER ON THE PROCEDURES FOR THE FIRST FALL/WINTER FOLLOWING THE NOTICE OF SUBSTANTIAL COMPLETION.
- 17. THE CONTRACTOR SHALL PRESSURIZE AND MAKE OPERATIONAL THE SYSTEM IN THE SPRING, AFTER ALL CHANCES OF FREEZING TEMPERATURES PASSES. UNTIL NOTICE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL ALSO PRESSURIZE AND MAKE THE SYSTEM OPERATIONAL AND INSTRUCT THE OWNER ON PROCEDURES FOR THE FIRST SPRING FOLLOWING THE NOTICE OF SUBSTANTIAL COMPLETION.
- 18. CONTRACTOR SHALL INSTALL SLEEVES UNDER HARDSCAPE AT ALL POINTS WHERE IRRIGATION MAIN LINE AND LATERALS ARE LOCATED.
- 19. ALL IRRIGATION EQUIPMENT INCLUDING VALVES, MAINLINES AND LATERALS SHALL BE LOCATED ON THE OWNERS PROPERTY.

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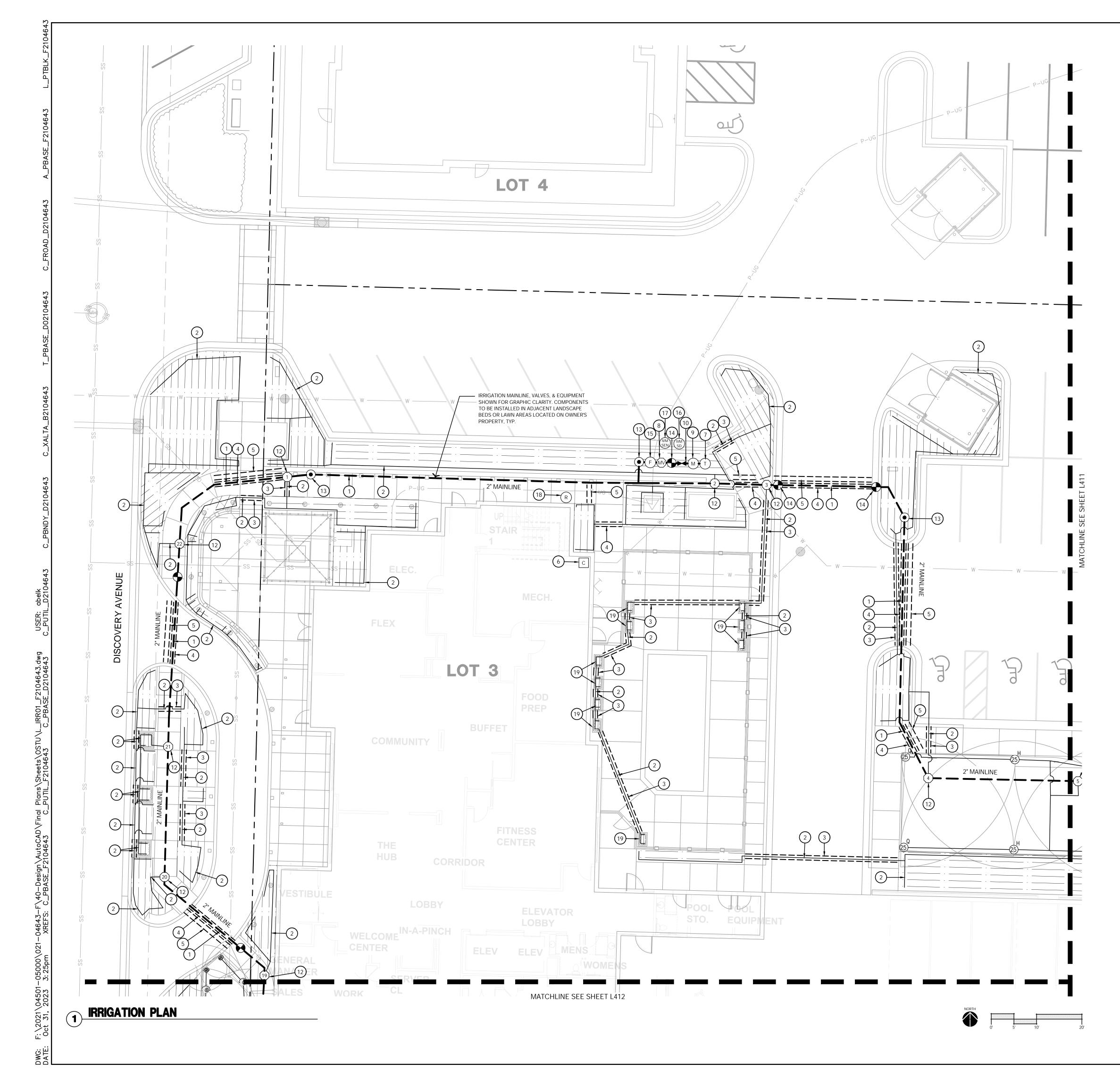


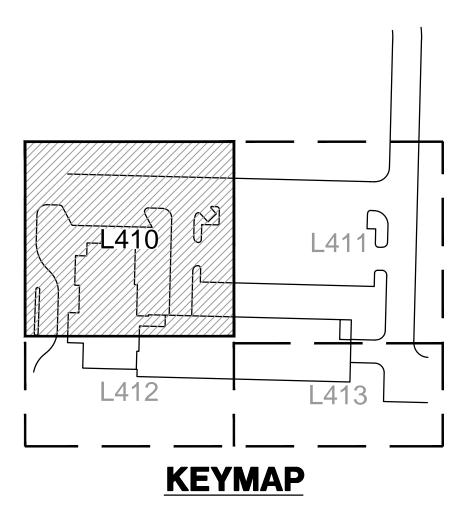
IRRIGATION OVERALL PLAN LEGEND:



RIGHT OF WAY / PROPERTY LINE POTABLE WATER SERVICE LINE MAINLINE, SIZE AS SHOWN IRRIGATION POINT OF CONNECTION IRRIGATION CONTROLLER

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IRRIGATION MAINLINE & CONTROL WIRE PLAN	PRIVATE SITE DEVELOPMENT PLANS		THE VILLAGE AT DISCOVERY PARK LOT 3		NW COLBERN RD & NE DOUGLAS ST			LEE'S SUMMIT, MISSOURI
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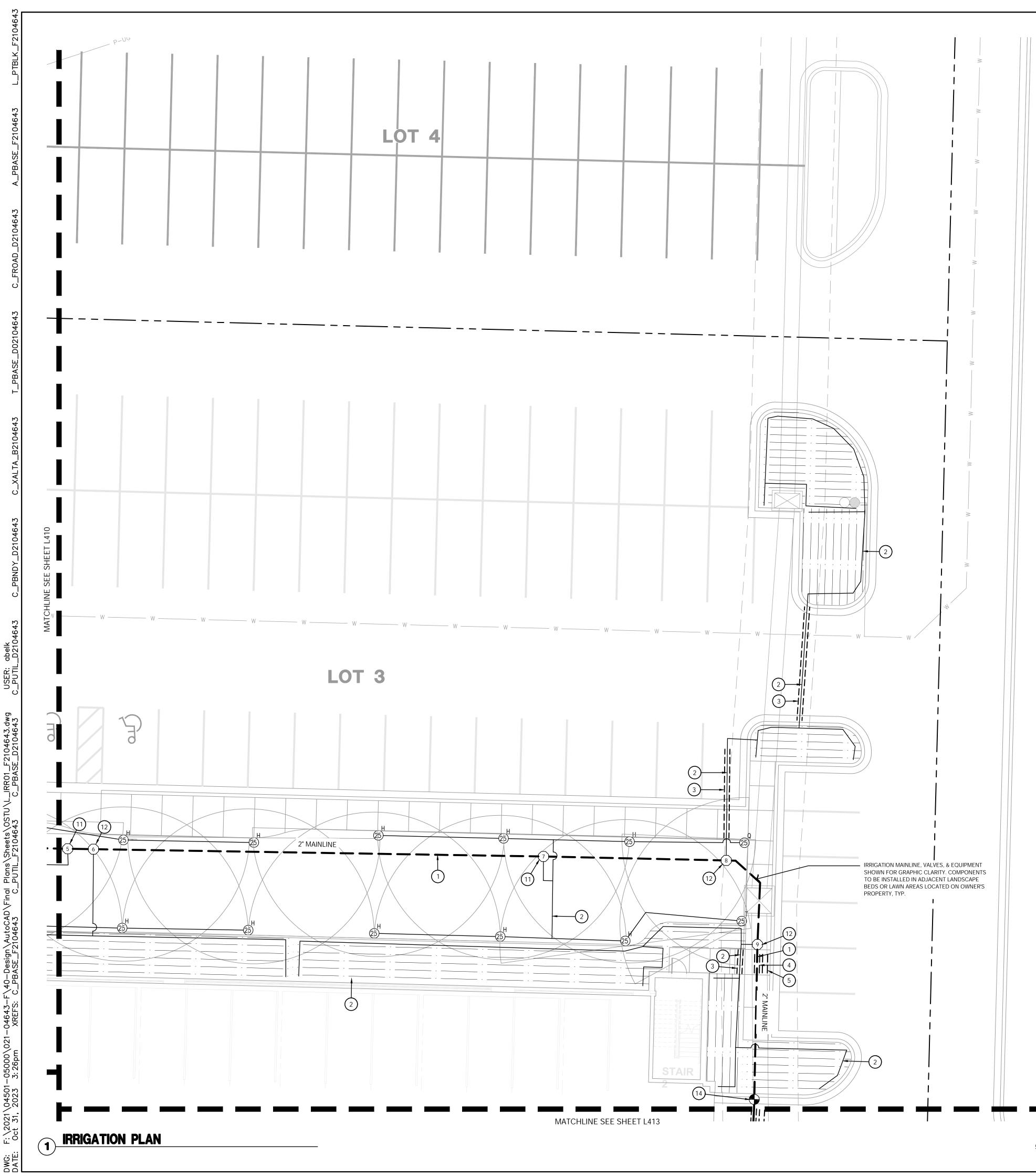
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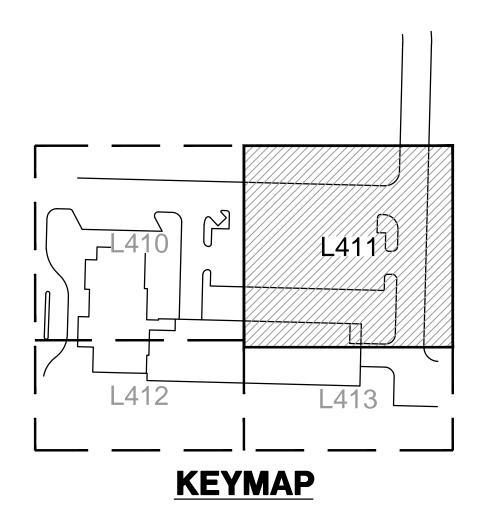
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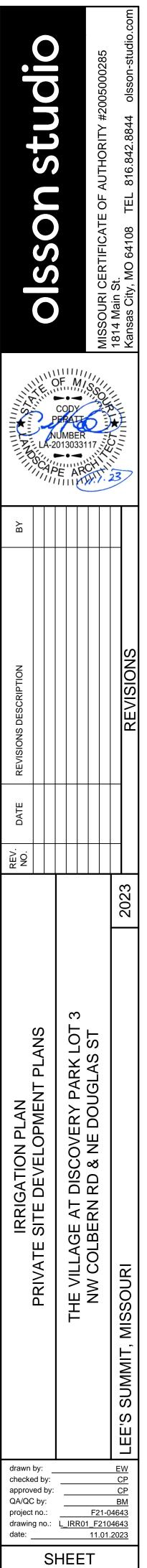
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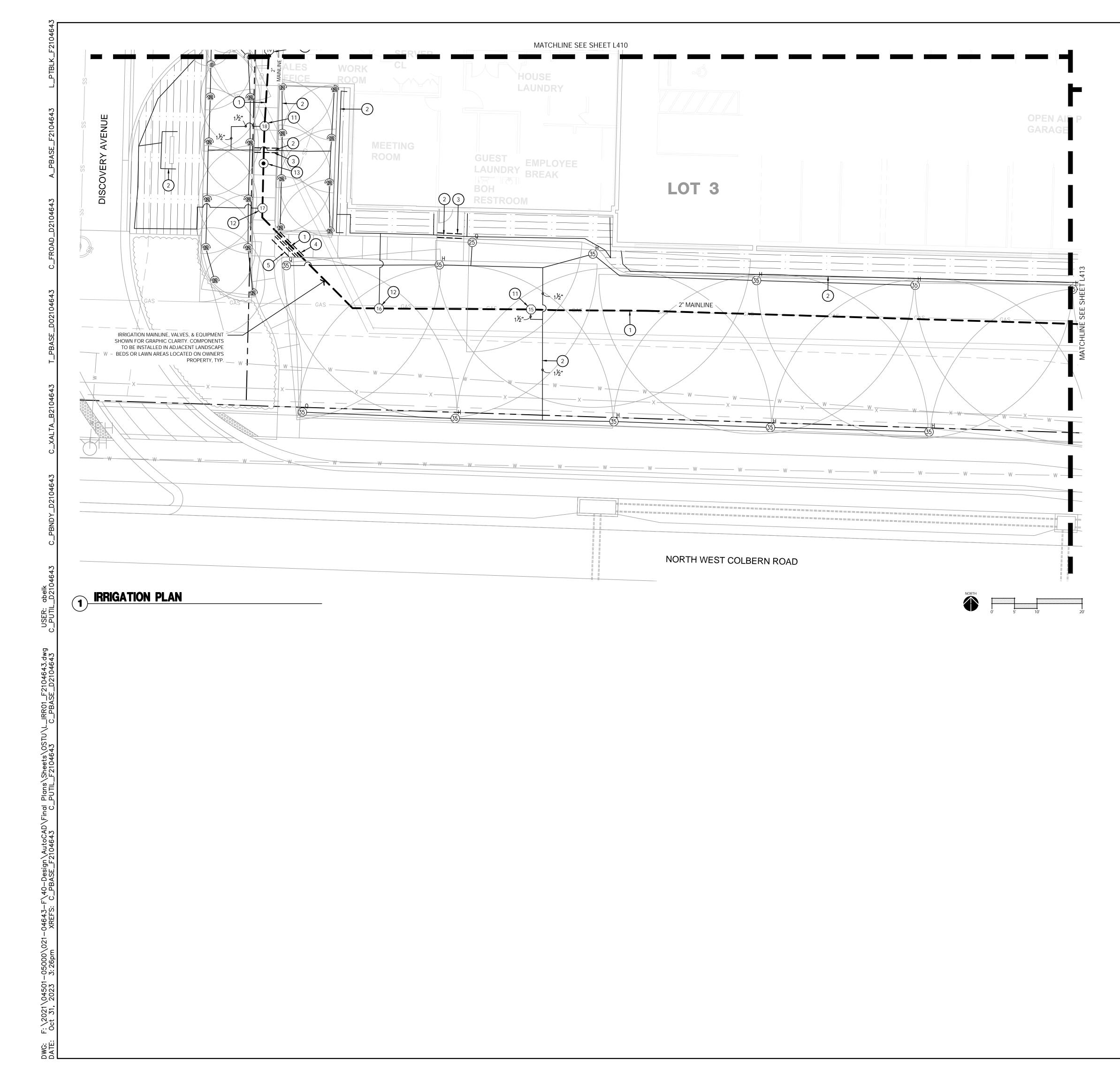
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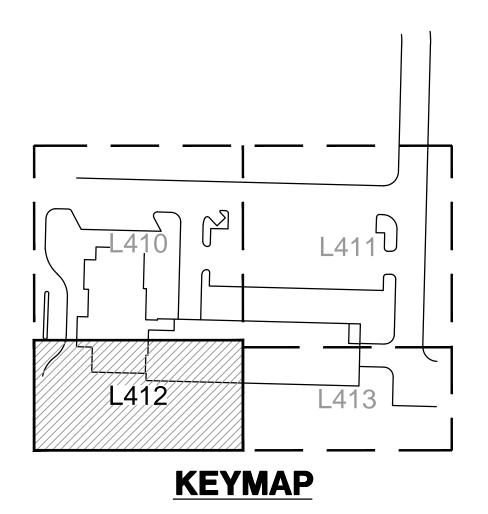
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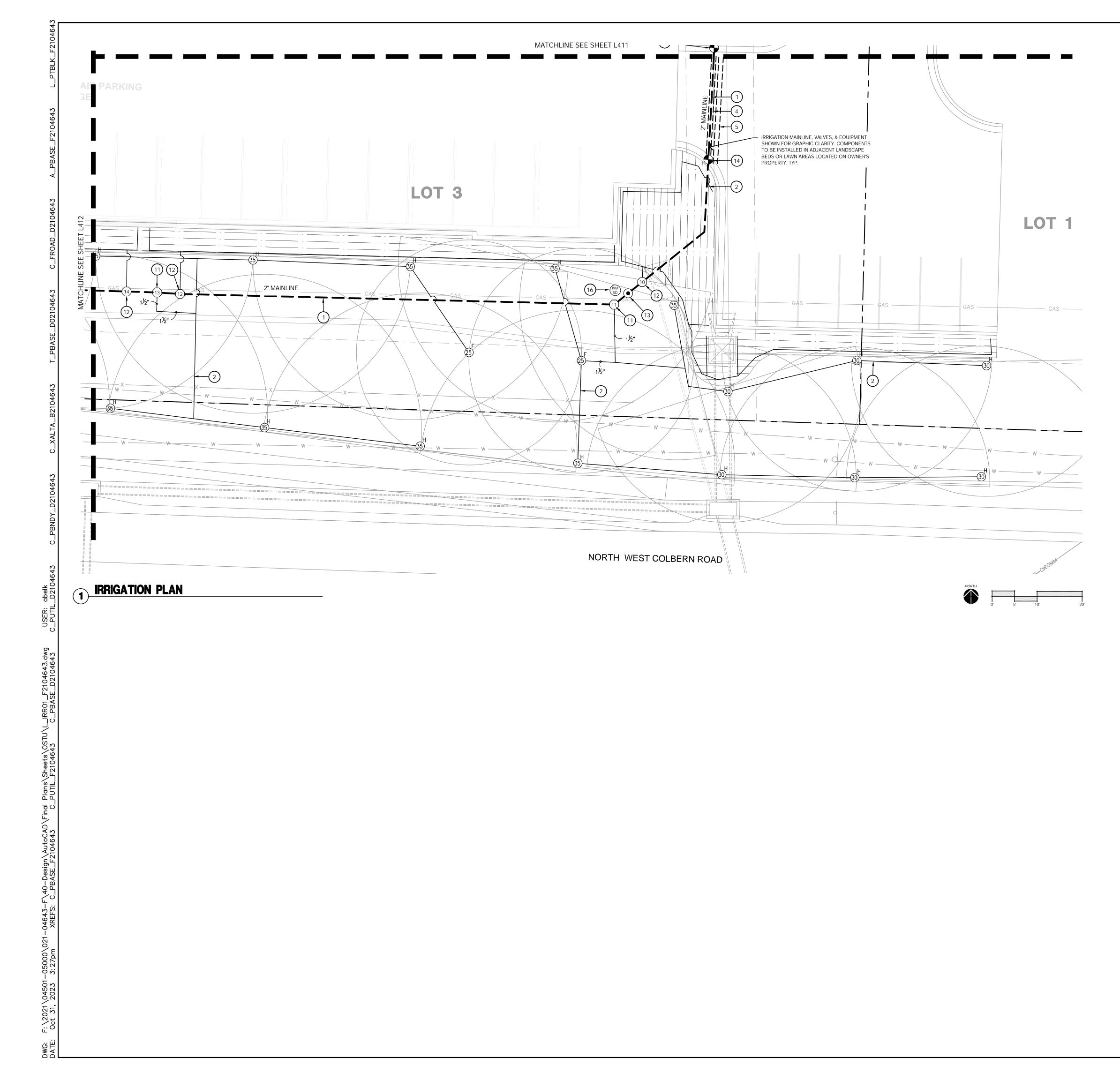
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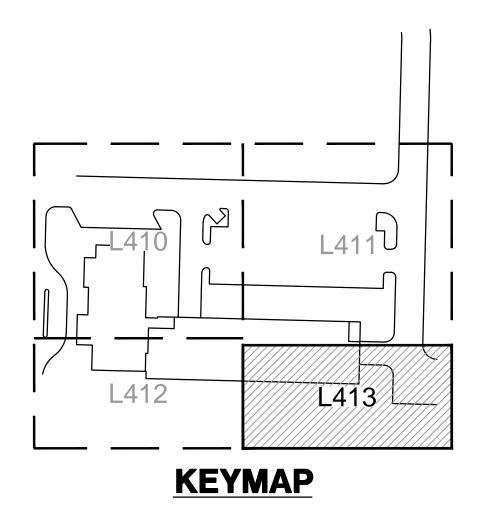
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RIGHT OF WAY / PROPERTY LINE SHEET MATCHLINE HALF CIRCLE SPRAY HEAD; REF: 2/L490 QUARTER CIRCLE SPRAY HEAD; REF: 2/L490 ROTOR HEAD; REF: 1/L490 POTABLE WATER SERVICE LINE MAINLINE, SIZE AS SHOWN; REF: 5/L491 LATERAL PIPE, SIZE AS SHOWN; REF: 5/L491 LANDSCAPE DRIPLINE; REF: 3, 4, 5, 6, 7 & 9/L490 SCHEDULE 40 PVC SLEEVE IRRIGATION WATER METER BACKFLOW PREVENTER IRRIGATION POINT OF CONNECTION MASTER CONTROL VALVE ZONE CONTROL VALVE MANUAL GATE VALVE QUICK COUPLER VALVE FLOW SENSOR AUTOMATIC CONTROLLER RAIN/FREEZE SENSOR SURGE PROTECTOR IVM SENSOR DEVICE

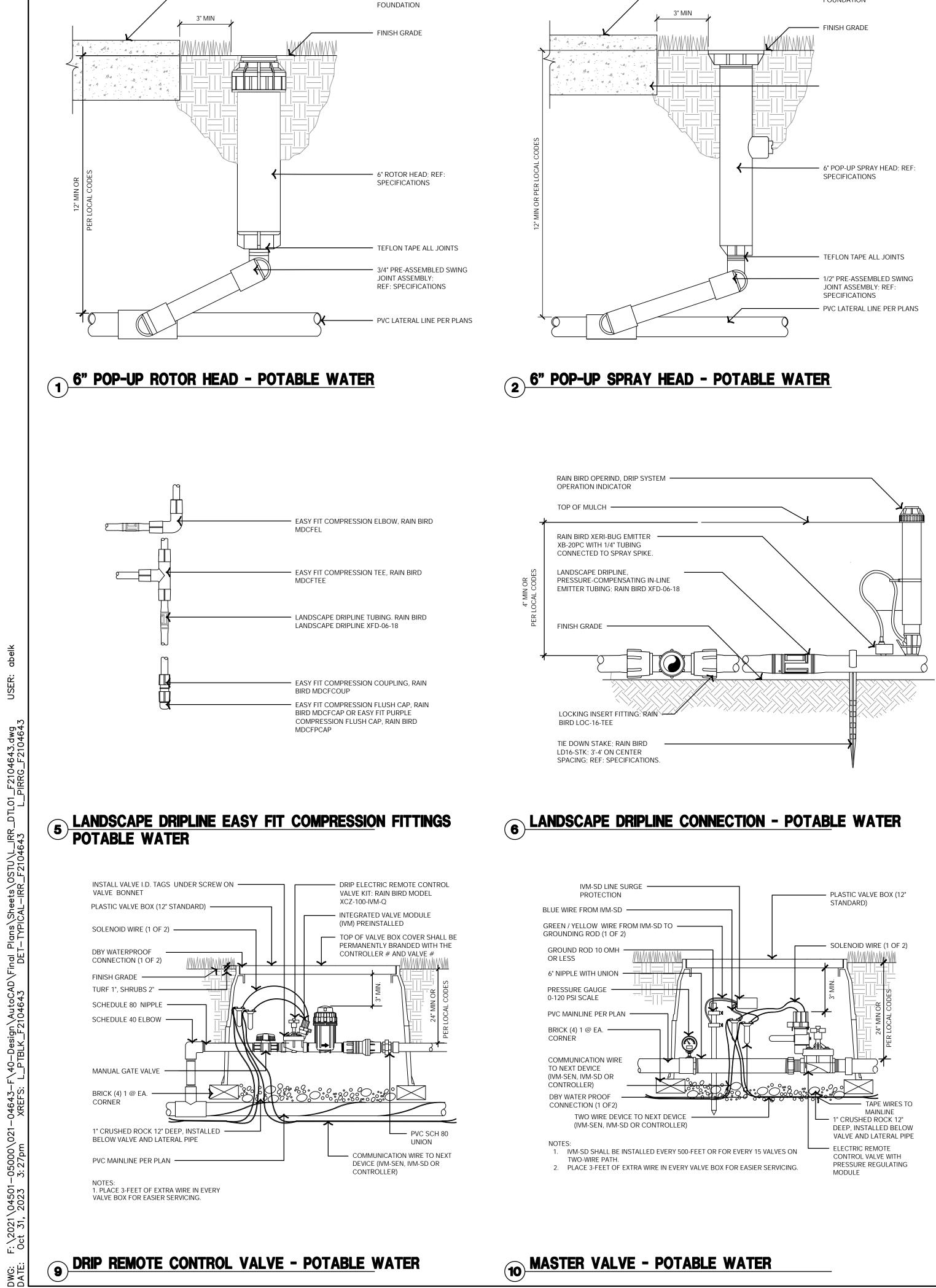
IRRIGATION PLAN NOTES:

- 1 POTABLE WATER IRRIGATION MAINLINES TO BE 2 1/2" PVC PIPE OR AS SHOWN ON PLANS; REF:5/L491
- 2 POTABLE WATER IRRIGATION LATERALS TO BE 1" PVC PIPE OR AS SHOWN ON PLANS; REF: 5/L491
- 3 POTABLE WATER IRRIGATION LATERAL SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 4 POTABLE WATER IRRIGATION MAINLINE SLEEVES SHALL BE 6" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 5 IRRIGATION CONTROL WIRE SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 6 IRRIGATION CONTROLLER SHALL BE RAIN BIRD ESP-LXIVM MODULAR SERIES WALL MOUNTED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ELECTRICAL SERVICE TO THE CONTROLLER LOCATION IS TO BE COORDINATED BY THE GENERAL CONTRACTOR AND PROVIDED BY ELECTRICAL CONTRACTOR. POWER HOOK-UP TO THE CONTROLLER BY IRRIGATION CONTRACTOR. INSTALL CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.; REF: 8/L491 (7)IRRIGATION POINT OF CONNECTION. IRRIGATION CONTRACTOR SHALL CONNECT IRRIGATION MAINLINE TO WATER SUPPLY AS REQUIRED BY ALL CITY, COUNTY, OR STATE REGULATIONS. IRRIGATION TAP SHALL
- OCCUR AFTER METER AND BACKFLOW PREVENTER PROVIDED BY BUILDING MEP. REF: BUILDING MEP PLANS 8 2" RAIN BIRD MODEL MASTER VALVE CONNECTED TO POTABLE IRRIGATION MAINLINE AFTER IRRIGATION POINT OF CONNECTION, METER, AND BACKFLOW PREVENTER.; REF: 9/L490
- (9) IRRIGATION WATER METER; REF: SPECIFICATIONS
- (10) BACKFLOW PREVENTER; REF: SPECIFICATIONS
- (11) RAIN BIRD PE-IVM MODEL CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES. REFERENCE IRRIGATION SCHEDULE FOR SIZE, FLOW, AND PRESSURE REQUIREMENTS; REF: 8/L490 (12) RAIN BIRD XCZ-100-IVM-Q DRIP CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION
- MAINLINES.; REF: 9/L490 (13) QUICK COUPLER VALVE LOCATED ON POTABLE WATER SHALL BE RAIN BIRD 44RC WITH YELLOW CAP
- LOCATED IN 10 ROUND VALVE BOX. REF: 2/L491
- (14) INSTALL MANUAL GATE VALVE IN LOCATIONS INDICATED ON IRRIGATION MAINLINES. MANUAL GATE VALVE TO MATCH SIZE OF MAINLINE PIPE.; REF: 4/L491
- (15) RAIN BIRD SERIES FLOW SENSOR, PER SPECIFICATIONS; REF: 12/L490 & 6/L491
- (16) SURGE PROTECTOR. RAIN BIRD IVM-SD LINE SURGE PROTECTION, PER SPECIFICATIONS; REF:11/L490 (17) IVM SENSOR DEVICE; REF: 6/L491

(18) RAIN BIRD WIRED RAIN/FREEZE SENSOR. INSTALLED PER SPECIFICATIONS. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT.; REF: 6/L491.

(19) PLANTER IRRIGATION; REF: 9/L491

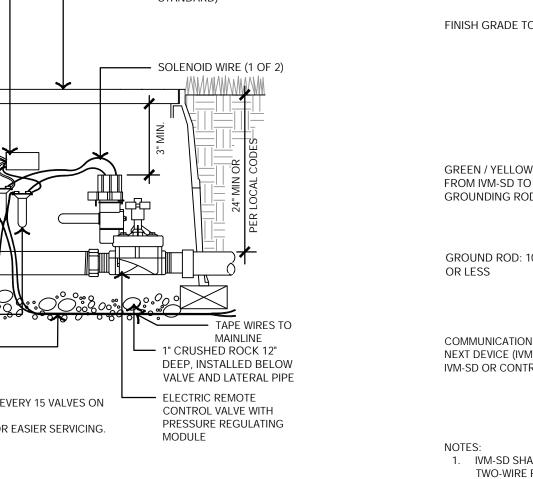
Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com		REVISIONS		2023	LEE'S SUMMII, MISSOURI	P P M M M M M M M M M M M M M M M M M M
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MISSOURI CERTIFICATE OF AUTHORITY #2005000285	Contraction of the					<u>1-0</u> 210 01.
					NW COLBERN RD & NE DOUGLAS ST	I <u>F</u> 11.
	Rail Rail					
					THE VILLAGE AT DISCOVERY PARK LOT 3	
						by: :
	こというとしていてい				PRIVATE SITE DEVELOPMENT PLANS	ed b ed by no g no
		REVISIONS DESCRIPTION BY	REV. DATE NO.	~ ~		drawn checke approv QA/QC project drawin date:

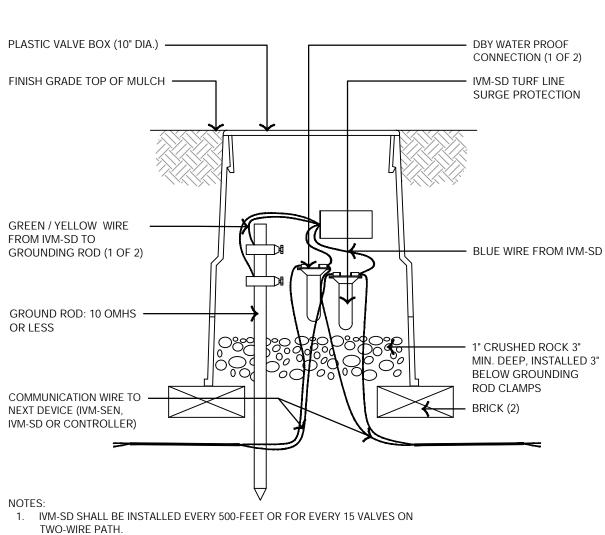


- CURB, WALK OR

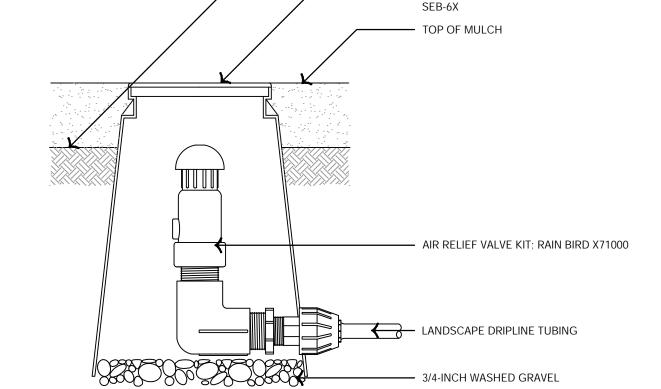
(11) LINE SURGE PROTECTION

2. PLACE 3-FEET OF EXTRA WIRE IN EVERY VALVE BOX FOR EASIER SERVICING.





LANDSCAPE DRIPLINE AIR VALVE KIT - POTABLE WATER



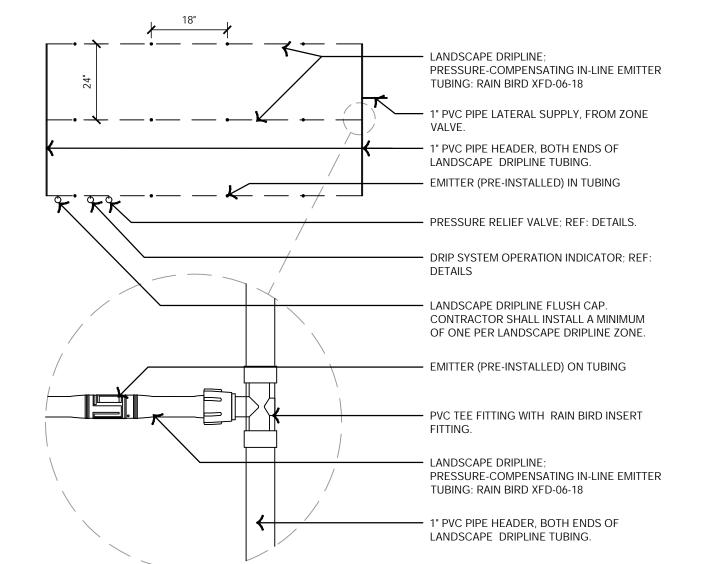
- FINISH GRADE

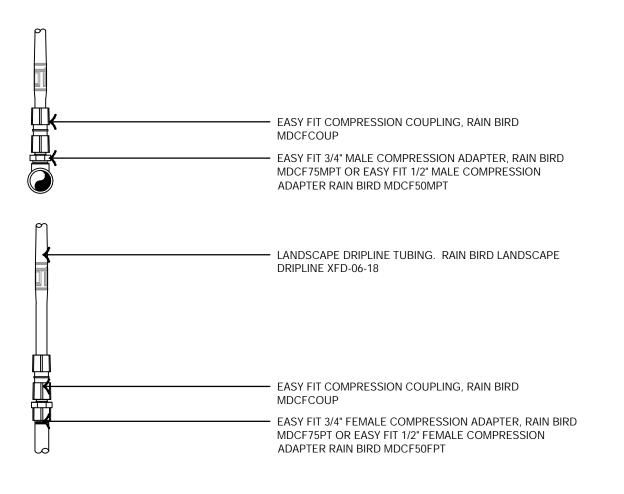
- SUBTERRANEAN EMITTER BOX; RAIN BIRD

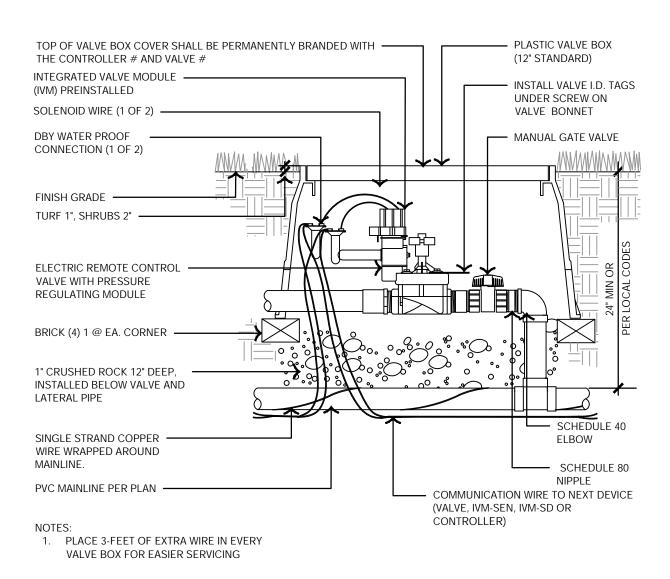
CURB, WALK OR

FOUNDATION

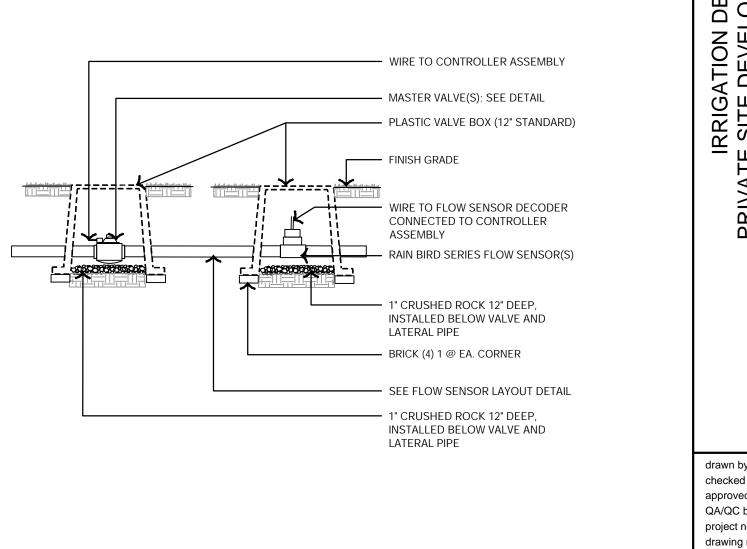
(3) LANDSCAPE DRIPLINE LAYOUT TYPICAL - POTABLE WATER **4** LANDSCAPE DRIPLINE EASY FIT COMPRESSION ADAPTERS POTABLE WATER



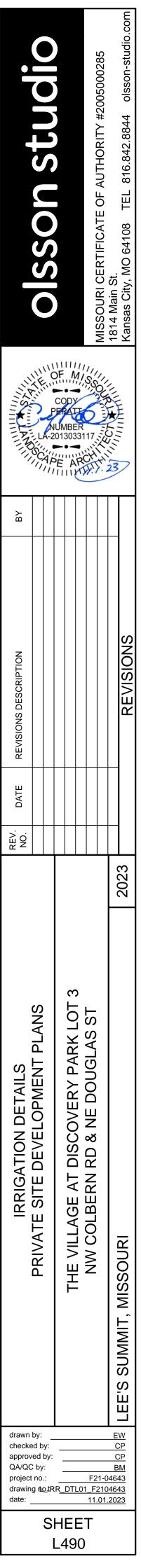


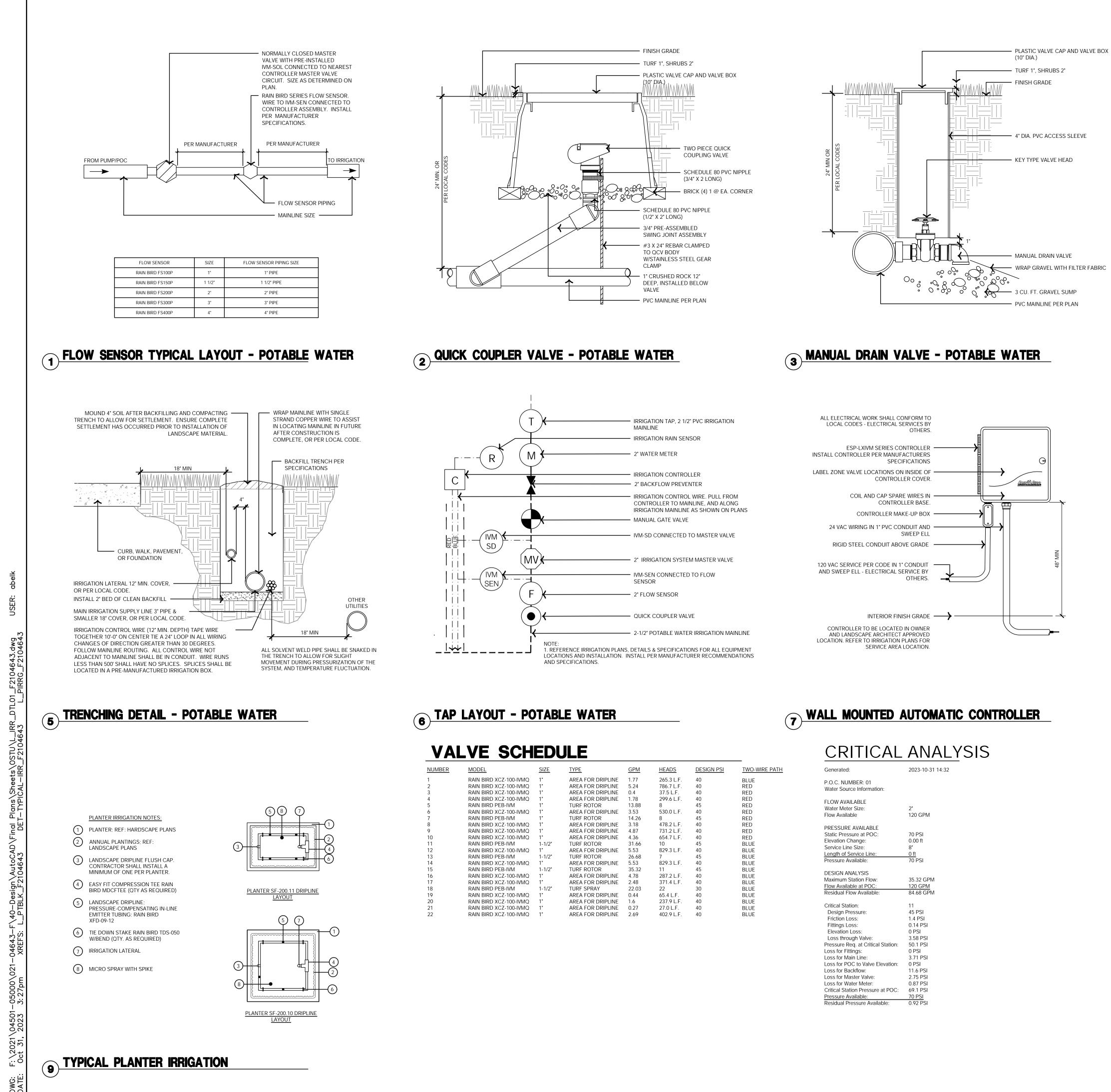


(8) REMOTE CONTROL VALVE - POTABLE WATER



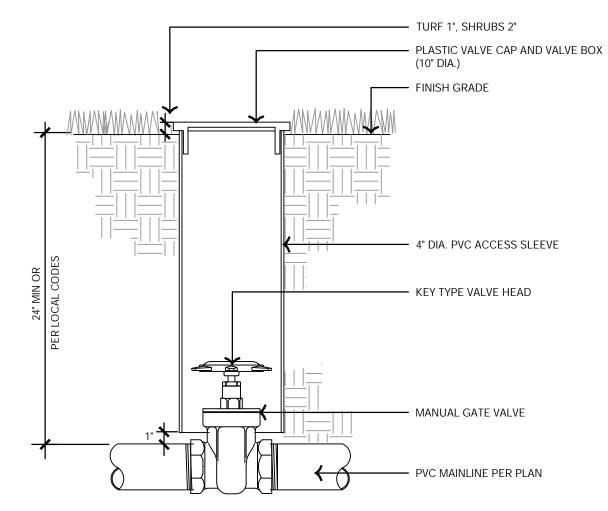
(12) MASTER VALVE & FLOW SENSOR TYPICAL - POTABLE WATER



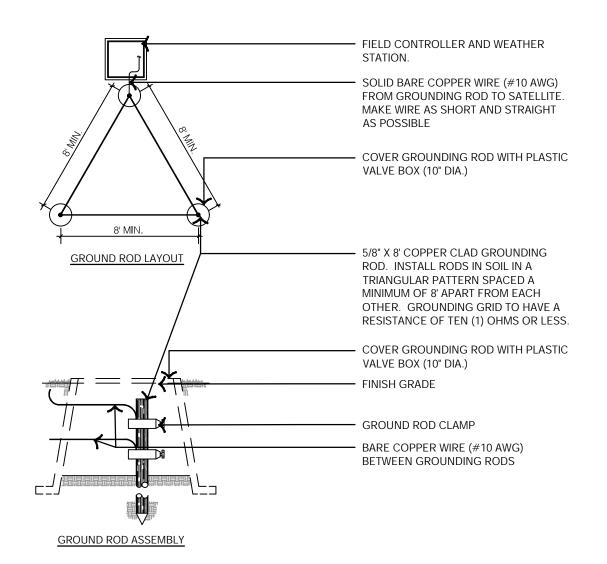


	<u>SIZE</u>	TYPE	<u>GPM</u>	HEADS	DESIGN PSI	TWO-WIRE PA
Q	1"	AREA FOR DRIPLINE	1.77	265.3 L.F.	40	BLUE
Q	1"	AREA FOR DRIPLINE	5.24	786.7 L.F.	40	RED
Q	1"	AREA FOR DRIPLINE	0.4	37.5 L.F.	40	RED
Q	1"	AREA FOR DRIPLINE	1.78	299.6 L.F.	40	RED
	1"	TURF ROTOR	13.88	8	45	RED
Q	1"	AREA FOR DRIPLINE	3.53	530.0 L.F.	40	RED
	1"	TURF ROTOR	14.26	8	45	RED
Q	1"	AREA FOR DRIPLINE	3.18	478.2 L.F.	40	RED
Q	1"	AREA FOR DRIPLINE	4.87	731.2 L.F.	40	RED
Q	1"	AREA FOR DRIPLINE	4.36	654.7 L.F.	40	RED
	1-1/2"	TURF ROTOR	31.66	10	45	BLUE
Q	1"	AREA FOR DRIPLINE	5.53	829.3 L.F.	40	BLUE
	1-1/2"	TURF ROTOR	26.68	7	45	BLUE
Q	1"	AREA FOR DRIPLINE	5.53	829.3 L.F.	40	BLUE
	1-1/2"	TURF ROTOR	35.32	11	45	BLUE
Q	1"	AREA FOR DRIPLINE	4.78	287.2 L.F.	40	BLUE
Q	1"	AREA FOR DRIPLINE	2.48	371.4 L.F.	40	BLUE
	1-1/2"	TURF SPRAY	22.03	22	30	BLUE
Q	1"	AREA FOR DRIPLINE	0.44	65.4 L.F.	40	BLUE
Q	1"	AREA FOR DRIPLINE	1.6	237.9 L.F.	40	BLUE
Q	1"	AREA FOR DRIPLINE	0.27	27.0 L.F.	40	BLUE
0	1"	ARFA FOR DRIPLINE	2.69	402.91 F	40	BLUE

Generated:	2023-10-31 14
P.O.C. NUMBER: 01 Water Source Information:	
FLOW AVAILABLE Water Meter Size: Flow Available	2" 120 GPM
PRESSURE AVAILABLE Static Pressure at POC: Elevation Change: Service Line Size: Length of Service Line: Pressure Available:	70 PSI 0.00 ft 8" <u>0 ft</u> 70 PSI
DESIGN ANALYSIS Maximum Station Flow: Flow Available at POC: Residual Flow Available:	35.32 GPM 120 GPM 84.68 GPM
Critical Station: Design Pressure: Friction Loss: Fittings Loss: Loss through Valve: Pressure Req. at Critical Station: Loss for Fittings: Loss for Main Line: Loss for POC to Valve Elevation: Loss for POC to Valve Elevation: Loss for Master Valve: Loss for Master Valve: Loss for Water Meter: Critical Station Pressure at POC: Pressure Available: Residual Pressure Available:	11 45 PSI 1.4 PSI 0.14 PSI 0 PSI 3.58 PSI 50.1 PSI 0 PSI 3.71 PSI 0 PSI 11.6 PSI 2.75 PSI 0.87 PSI 69.1 PSI 70 PSI 0.92 PSI

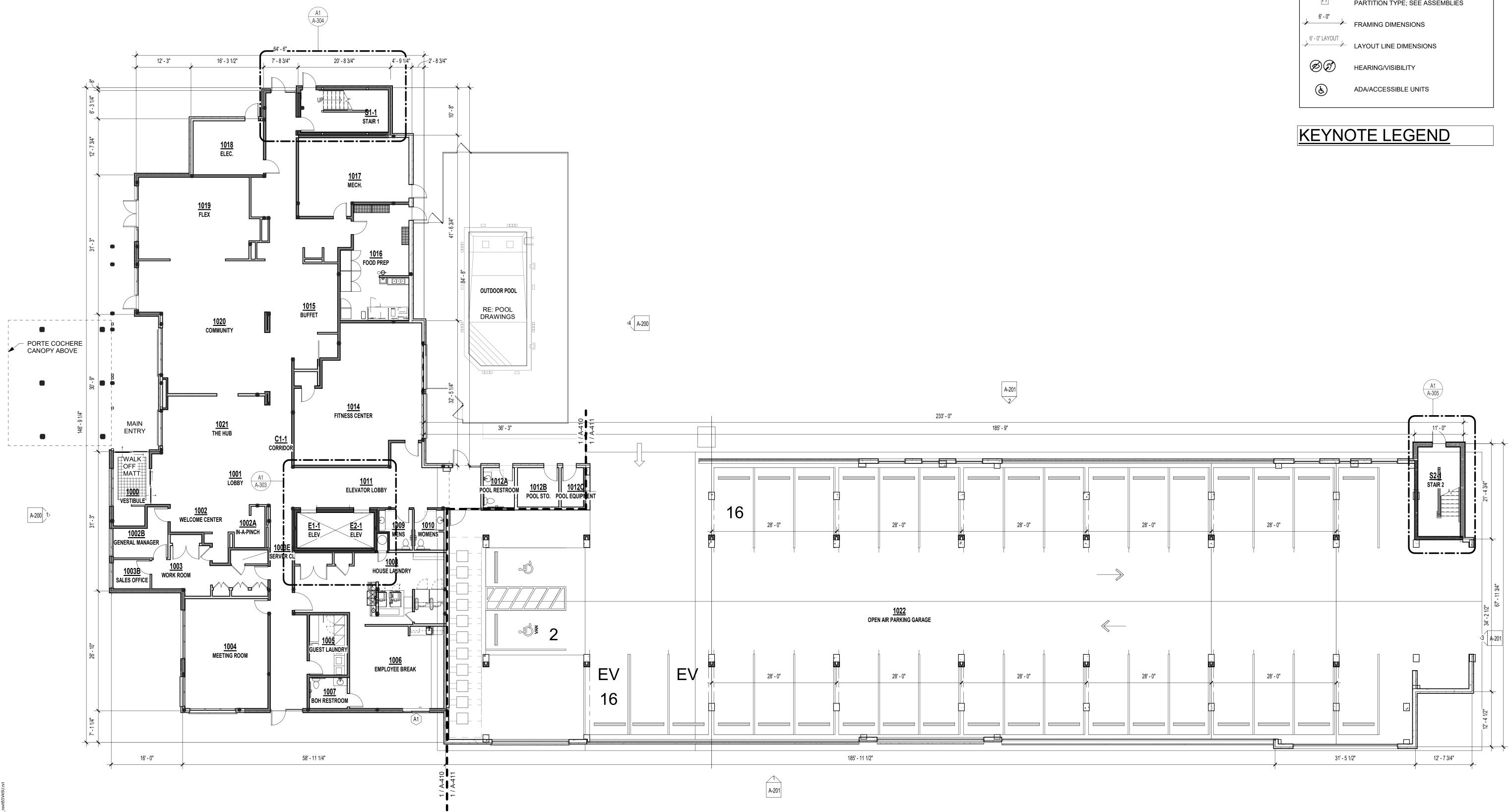


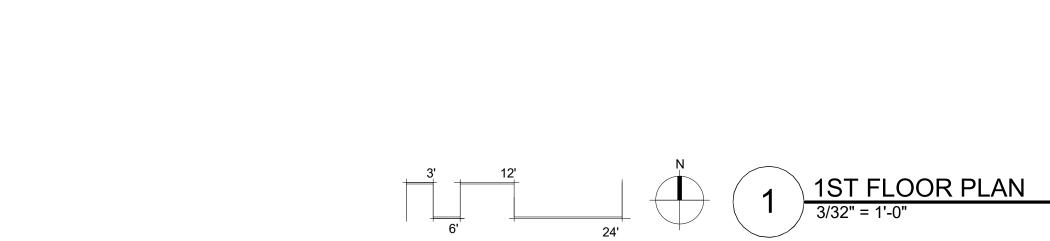
MANUAL GATE VALVE - POTABLE WATER



(8) CONTROLLER GROUNDING GRID

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drawn by: <u>EW</u> checked by: <u>CP</u> approved by: <u>CP</u> QA/QC by: <u>BM</u> project no.: <u>F21-04643</u> drawing tho_tRR_DTL01_F2104643 date: <u>11.01.2023</u>
SHEET







SHEET TITLE FIRST FLOOR PLAN

SHEET NUMBER:

PROJECT NUMBER: 23098

A-101

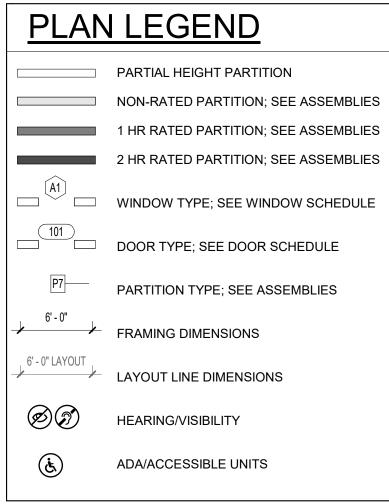




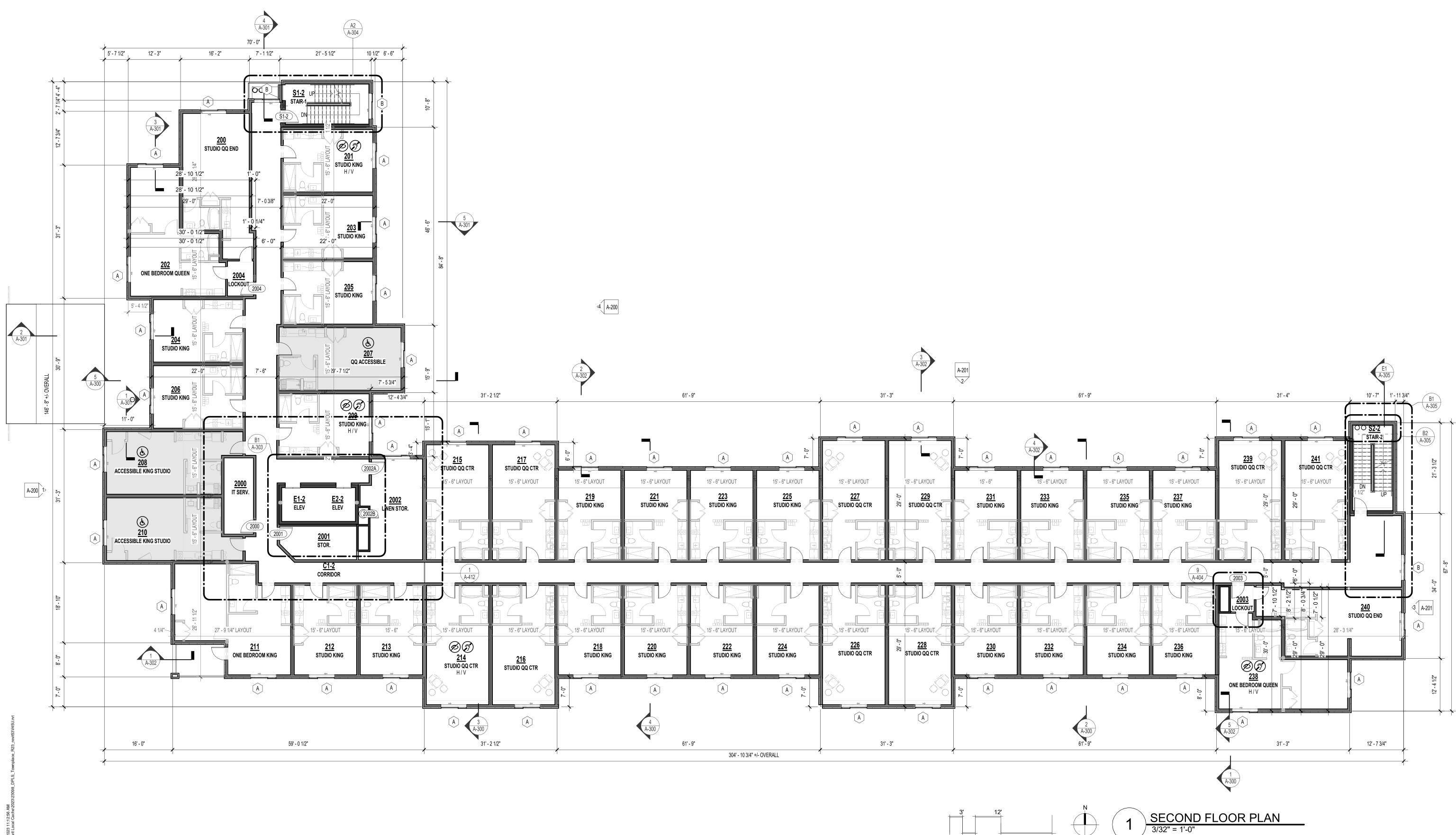
PRINTS ISSUED

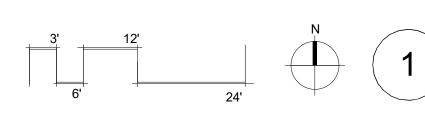
REVISIONS:

11/01/2023 - CITY SUBMITTAL



REFERENCE G-003 FOR GENERAL NOTES







ACE

SHEET TITLE

SHEET NUMBER:

SECOND FLOOR PLAN

PROJECT NUMBER: 23098

A-102

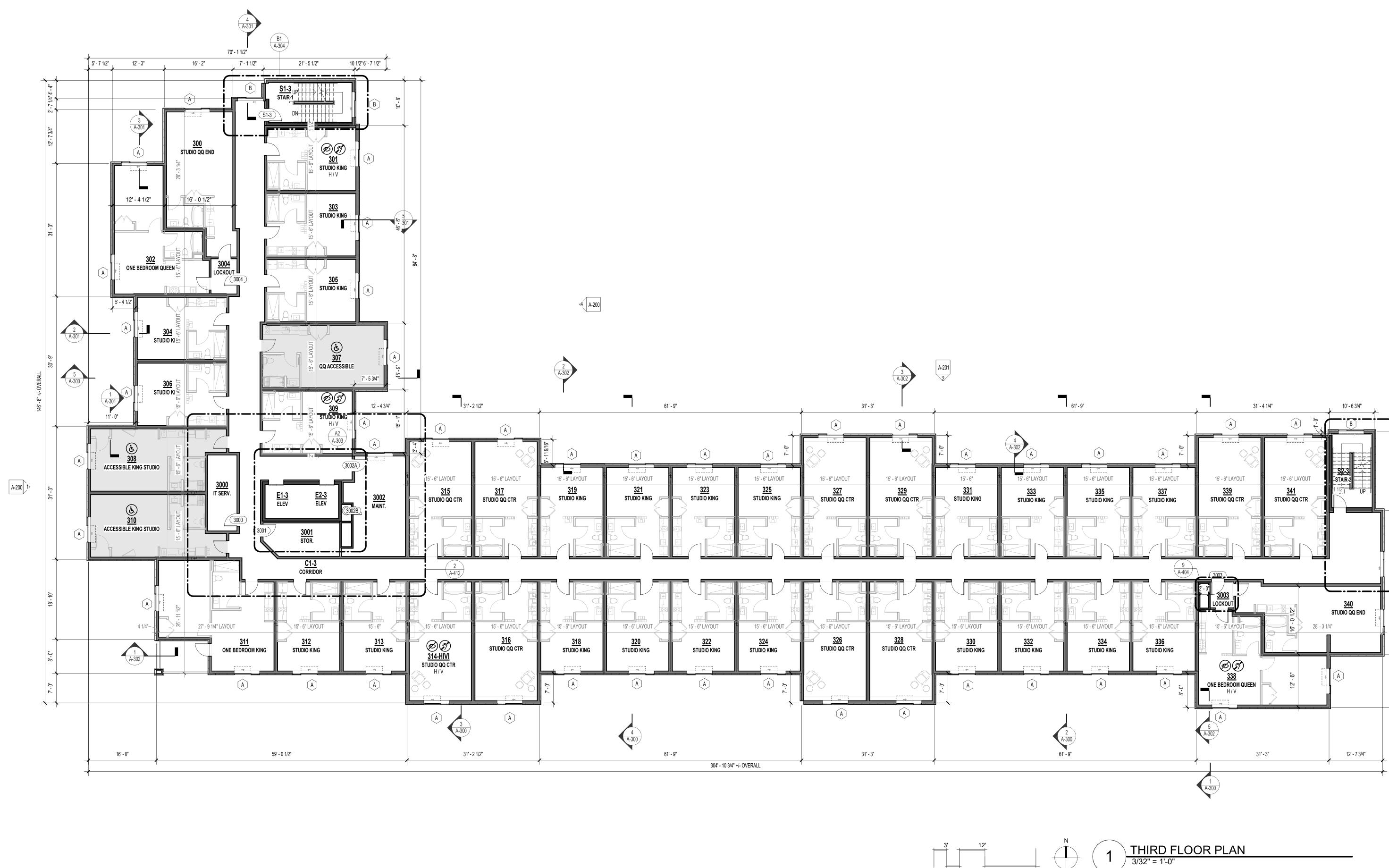


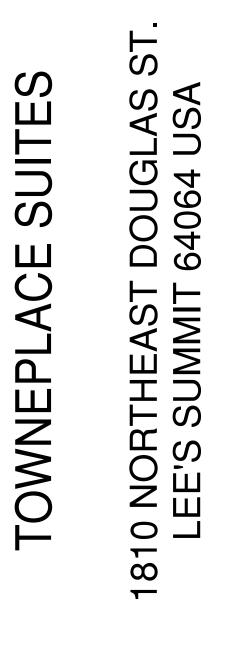


KEYNOTE LEGEND

REFERENCE G-003 FOR GENERAL NOTES REFERENCE A-101 FOR PLAN LEGEND

REVISIONS:





SHEET TITLE THIRD FLOOR PLAN

PROJECT NUMBER: 23098

SHEET NUMBER:

A-103

OSemar & ASSO llevard 64108 MO City 472.

DAVID EUGE

(C1)

A-305

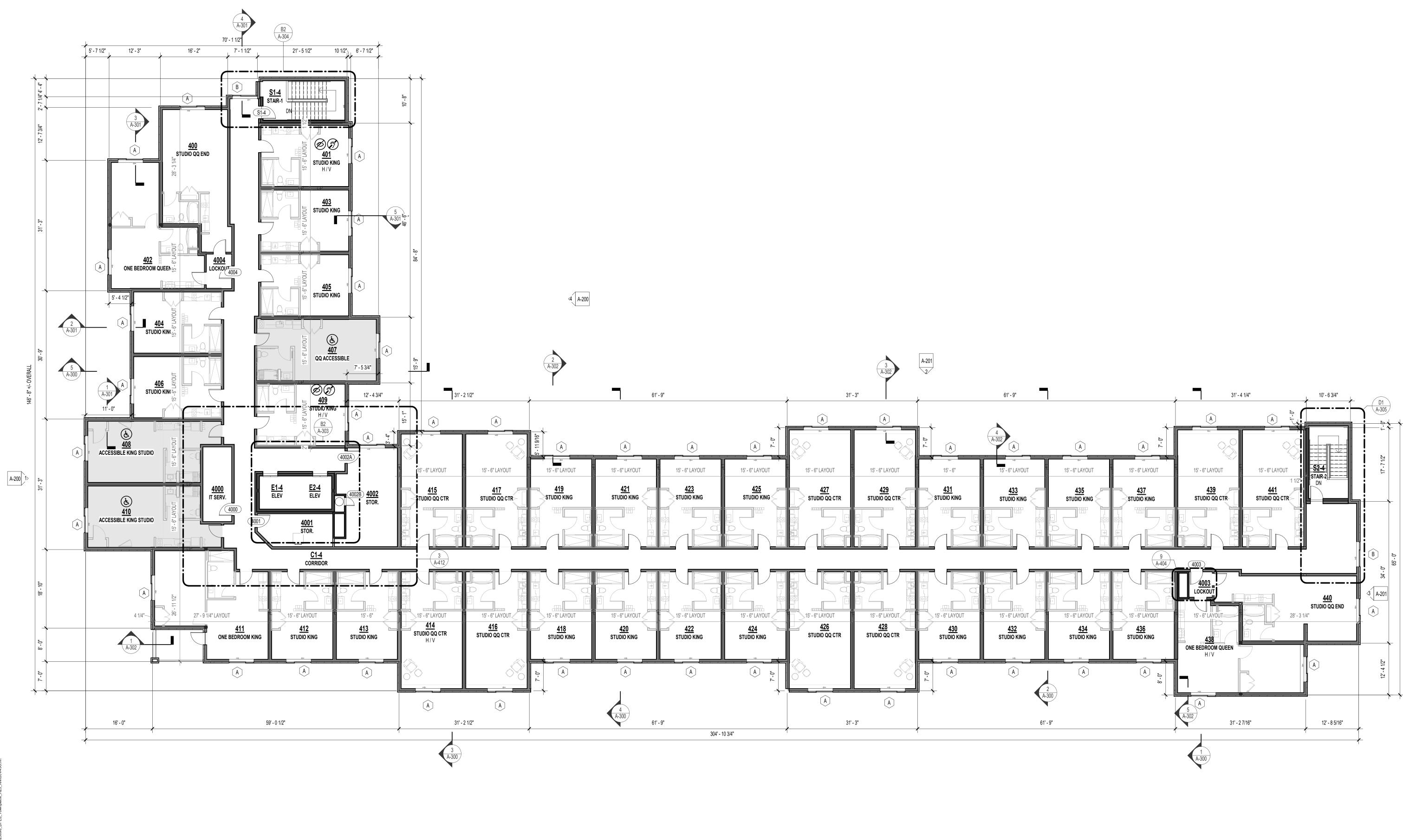
KEYNOTE LEGEND

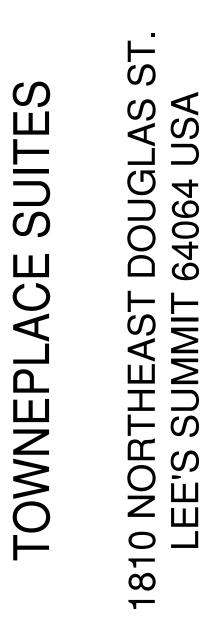
REFERENCE A-101 FOR PLAN LEGEND

REFERENCE G-003 FOR GENERAL NOTES

VERIFY SHEET #'S

REVISIONS:



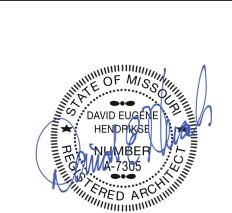


SHEET TITLE FOURTH FLOOR PLAN

SHEET NUMBER:

PROJECT NUMBER: 23098

A-104



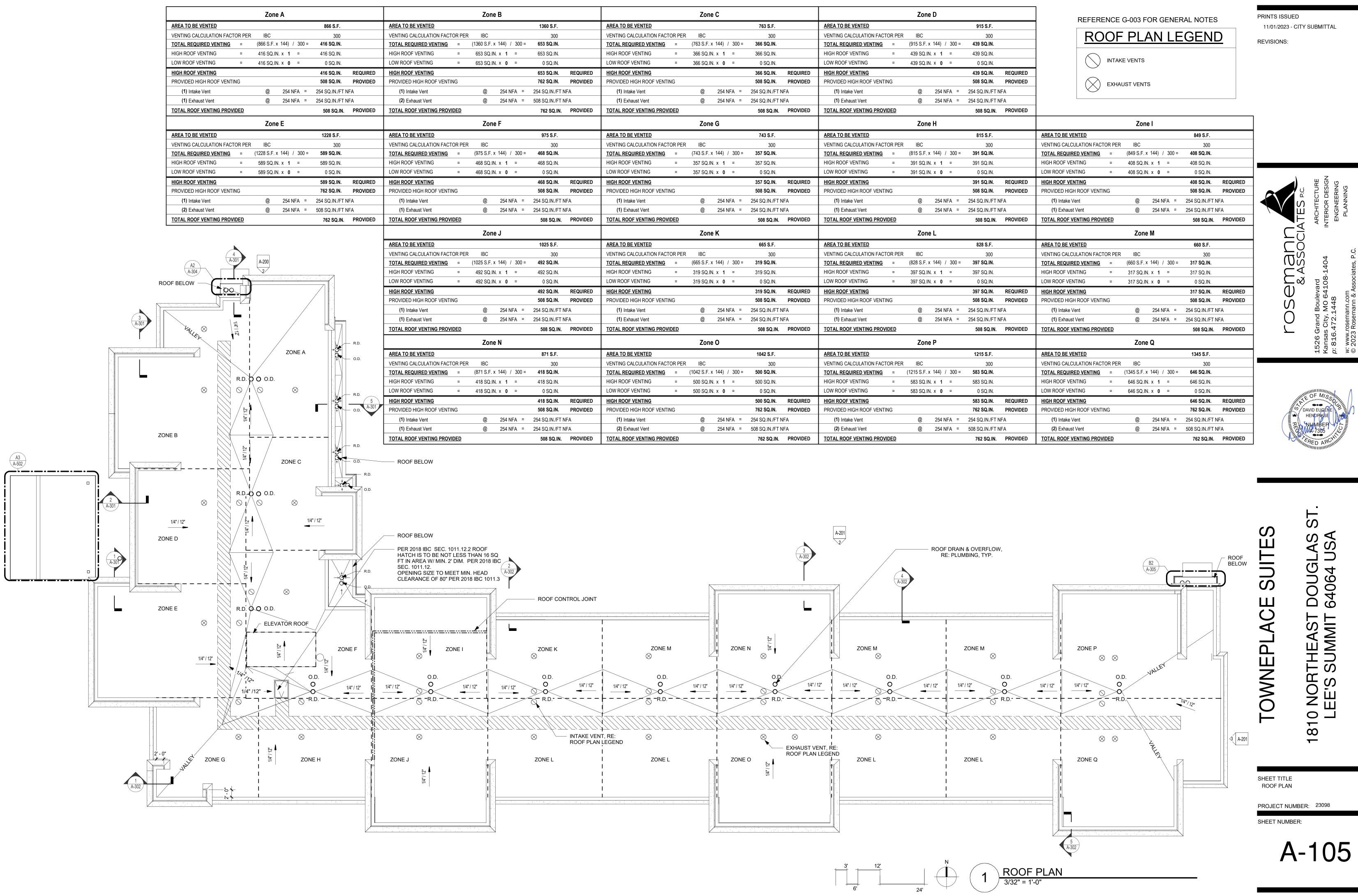


KEYNOTE LEGEND

VERIFY SHEET #'S

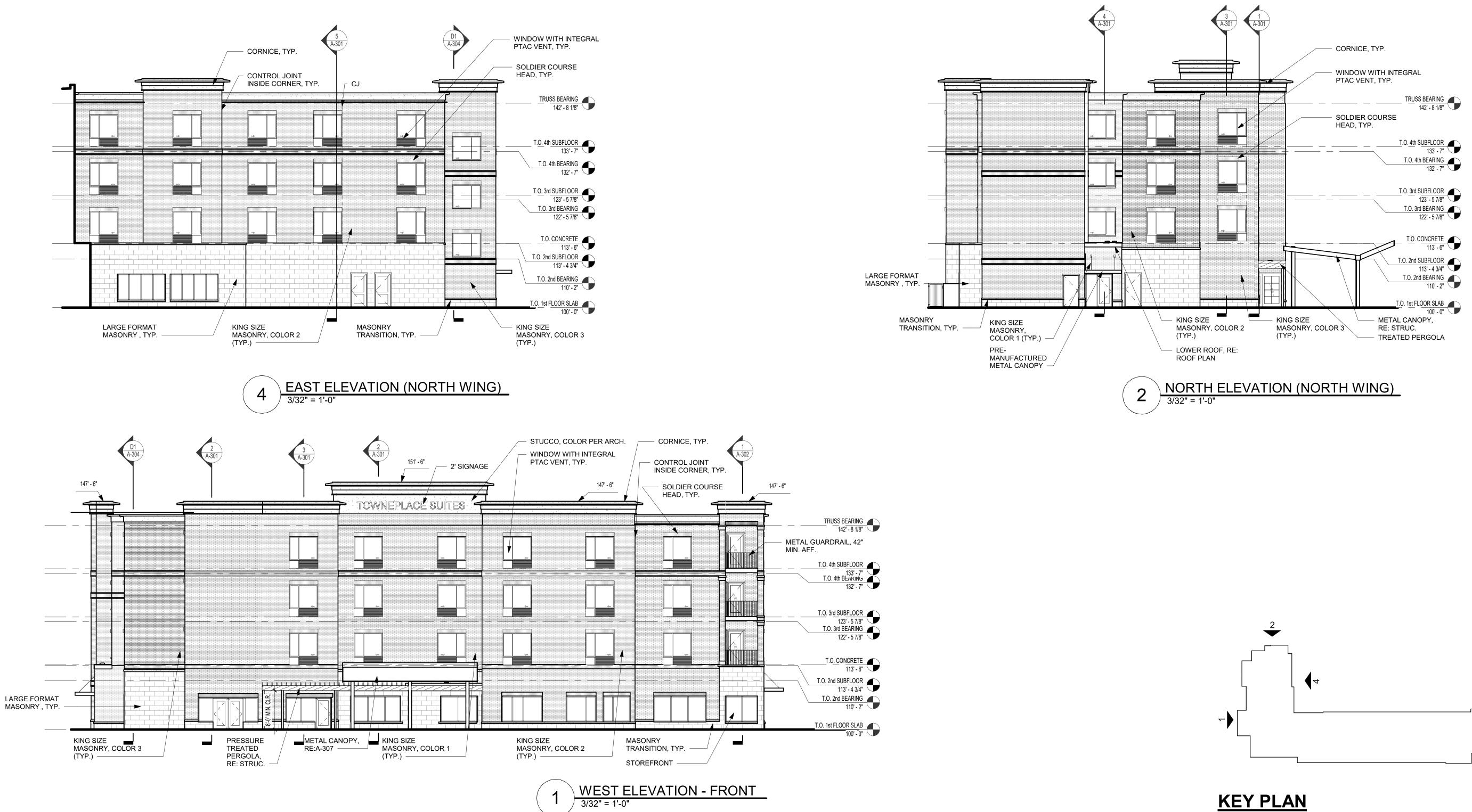
REFERENCE G-003 FOR GENERAL NOTES REFERENCE A-101 FOR PLAN LEGEND

REVISIONS:

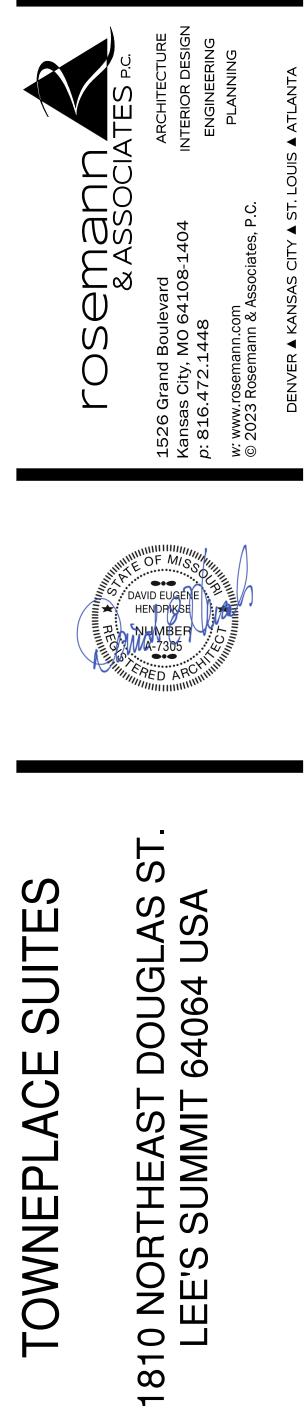


			7	
Zone B	Zone C	Zone D	REFERENCE G-003 FOR GENERAL NOTES	PRINTS ISSUED
1360 S.F.	AREA TO BE VENTED 763 S.F.	AREA TO BE VENTED 915 S.F.		11/01/2023 - CITY SUBMITTAL
PER IBC 300	VENTING CALCULATION FACTOR PER IBC 300	VENTING CALCULATION FACTOR PER IBC 300	ROOF PLAN LEGEND	
= (1360 S.F. x 144) / 300 = 653 SQ.IN.	TOTAL REQUIRED VENTING = (763 S.F. x 144) / 300 = 366 SQ.IN.	<u>TOTAL REQUIRED VENTING</u> = (915 S.F. x 144) / 300 = 439 SQ.IN.		REVISIONS:
653 SQ.IN. x 1 = 653 SQ.IN.	$HIGH ROOF VENTING = 366 SQ.IN. \times 1 = 366 SQ.IN.$	HIGH ROOF VENTING = 439 SQ.IN. x 1 = 439 SQ.IN.		
$653 \text{ SQ.IN.} \times 0 = 0 \text{ SQ.IN.}$	$LOW ROOF VENTING = 366 SQ.IN. \times 0 = 0 SQ.IN.$	$LOW ROOF VENTING = 439 SQ.IN. \times 0 = 0 SQ.IN.$		
653 SQ.IN. REQUIRED	HIGH ROOF VENTING 366 SQ.IN. REQUIRED	HIGH ROOF VENTING 439 SQ.IN. REQUIRED		
762 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING 508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING 508 SQ.IN. PROVIDED		
@ 254 NFA = 254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA = 254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA = 254 SQ.IN./FT NFA		
@ 254 NFA = 508 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA = 254 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA = 254 SQ.IN./FT NFA		
D 762 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED 508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED 508 SQ.IN. PROVIDED		
Zone F	Zone G	Zone H	Zone I	
975 S.F.	AREA TO BE VENTED 743 S.F.	AREA TO BE VENTED 815 S.F.	AREA TO BE VENTED 849 S.F.	
PER IBC 300	VENTING CALCULATION FACTOR PER IBC 300	VENTING CALCULATION FACTOR PER IBC 300	VENTING CALCULATION FACTOR PER IBC 300	
(975 S.F. x 144) / 300 = 468 SQ.IN.	TOTAL REQUIRED VENTING = (743 S.F. x 144) / 300 = 357 SQ.IN.	TOTAL REQUIRED VENTING = (815 S.F. x 144) / 300 = 391 SQ.IN.	TOTAL REQUIRED VENTING = (849 S.F. x 144) / 300 = 408 SQ.IN.	
468 SQ.IN. x 1 = 468 SQ.IN.	HIGH ROOF VENTING= $357 \text{ SQ.IN. x } 1$ = 357 SQ.IN.	HIGH ROOF VENTING = 391 SQ.IN. x 1 = 391 SQ.IN.	HIGH ROOF VENTING = 408 SQ.IN. x 1 = 408 SQ.IN.	
$= 468 \text{ SQ.IN. } \times 0 = 0 \text{ SQ.IN.}$	LOW ROOF VENTING = $357 \text{ SQ.IN. } \times 0 = 0 \text{ SQ.IN.}$	LOW ROOF VENTING = 391 SQ.IN. x 0 = 0 SQ.IN.	LOW ROOF VENTING = $408 \text{ SQ.IN. } \times 0 = 0 \text{ SQ.IN.}$	
468 SQ.IN. REQUIRED	HIGH ROOF VENTING 357 SQ.IN. REQUIRED	HIGH ROOF VENTING 391 SQ.IN. REQUIRED	HIGH ROOF VENTING 408 SQ.IN. REQUIRED	HITECTURE HITECTURE HOR DESIGN SINEERING
508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING 508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING 508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING 508 SQ.IN. PROVIDED	NG N
@ 254 NFA = 254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA = 254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA = 254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA = 254 SQ.IN./FT NFA	ARCHITECT ATERIOR DE ENGINEER
@ 254 NFA = 254 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA = 254 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA = 254 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA = 254 SQ.IN./FT NFA	
D 508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED 508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED 508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED 508 SQ.IN. PROVIDED	
Zone J	Zone K	Zone L	Zone M	
Zone J 1025 S.F.	Zone K AREA TO BE VENTED 665 S.F.	Zone L AREA TO BE VENTED 828 S.F.	Zone M AREA TO BE VENTED 660 S.F.	
1025 S.F.	AREA TO BE VENTED 665 S.F.	AREA TO BE VENTED 828 S.F.	AREA TO BE VENTED 660 S.F.	SSOCIA 404 404
1025 S.F. PER IBC 300	AREA TO BE VENTED 665 S.F. VENTING CALCULATION FACTOR PER IBC 300	AREA TO BE VENTED 828 S.F. VENTING CALCULATION FACTOR PER IBC 300	AREA TO BE VENTED 660 S.F. VENTING CALCULATION FACTOR PER IBC 300	ASSO 1404
1025 S.F. PER IBC 300 :: (1025 S.F. x 144) / 300 = 492 SQ.IN.	AREA TO BE VENTED 665 S.F. VENTING CALCULATION FACTOR PER IBC 300 TOTAL REQUIRED VENTING = (665 S.F. x 144) / 300 = 319 SQ.IN.	AREA TO BE VENTED 828 S.F. VENTING CALCULATION FACTOR PER IBC 300 TOTAL REQUIRED VENTING = (828 S.F. x 144) / 300 = 397 SQ.IN.	AREA TO BE VENTED 660 S.F. VENTING CALCULATION FACTOR PER IBC 300 TOTAL REQUIRED VENTING = (660 S.F. x 144) / 300 = 317 SQ.IN.	& ASSO & ASSO and 108-1404
1025 S.F. PER IBC 300 : (1025 S.F. x 144) / 300 = 492 SQ.IN. : 492 SQ.IN. x 1 = 492 SQ.IN. : 492 SQ.IN. x 0 = 0 SQ.IN. : 492 SQ.IN. x 0 = 0 SQ.IN. 492 SQ.IN. x 0 492 SQ.IN. X 0	AREA TO BE VENTED 665 S.F. VENTING CALCULATION FACTOR PER IBC 300 TOTAL REQUIRED VENTING = (665 S.F. x 144) / 300 = 319 SQ.IN. HIGH ROOF VENTING = 319 SQ.IN. x 1 = 319 SQ.IN. LOW ROOF VENTING = 319 SQ.IN. x 0 = 0 SQ.IN. HIGH ROOF VENTING = 319 SQ.IN. x 0 = 0 SQ.IN.	AREA TO BE VENTED 828 S.F. VENTING CALCULATION FACTOR PER IBC 300 TOTAL REQUIRED VENTING = (828 S.F. x 144) / 300 = 397 SQ.IN. HIGH ROOF VENTING = 397 SQ.IN. x 1 = 397 SQ.IN. LOW ROOF VENTING = 397 SQ.IN. x 0 = 0 SQ.IN. HIGH ROOF VENTING = 397 SQ.IN. x 0 = 397 SQ.IN.	AREA TO BE VENTED 660 S.F. VENTING CALCULATION FACTOR PER IBC 300 TOTAL REQUIRED VENTING = (660 S.F. x 144) / 300 = 317 SQ.IN. HIGH ROOF VENTING = 317 SQ.IN. x 1 = 317 SQ.IN. LOW ROOF VENTING = 317 SQ.IN. x 0 = 0 SQ.IN. HIGH ROOF VENTING = 317 SQ.IN. x 0 = 117 SQ.IN.	& ASSO & ASSO and 108-1404
1025 S.F. PER IBC 300 : (1025 S.F. x 144) / 300 = 492 SQ.IN. : 492 SQ.IN. x 1 = 492 SQ.IN. : 492 SQ.IN. x 0 = 0 SQ.IN.	AREA TO BE VENTED 665 S.F. VENTING CALCULATION FACTOR PER IBC 300 TOTAL REQUIRED VENTING = (665 S.F. x 144) / 300 = 319 SQ.IN. HIGH ROOF VENTING = 319 SQ.IN. x 1 = 319 SQ.IN. LOW ROOF VENTING = 319 SQ.IN. x 0 = 0 SQ.IN. HIGH ROOF VENTING = 319 SQ.IN. x 0 = 0 SQ.IN. PROVIDED HIGH ROOF VENTING 508 SQ.IN. PROVIDED	AREA TO BE VENTED 828 S.F. VENTING CALCULATION FACTOR PER IBC 300 TOTAL REQUIRED VENTING = (828 S.F. x 144) / 300 = 397 SQ.IN. HIGH ROOF VENTING = 397 SQ.IN. x 1 = 397 SQ.IN. LOW ROOF VENTING = 397 SQ.IN. x 0 = 0 SQ.IN.	AREA TO BE VENTED 660 S.F. VENTING CALCULATION FACTOR PER IBC 300 TOTAL REQUIRED VENTING = (660 S.F. x 144) / 300 = 317 SQ.IN. HIGH ROOF VENTING = 317 SQ.IN. x 1 = 317 SQ.IN. LOW ROOF VENTING = 317 SQ.IN. x 0 = 0 SQ.IN.	& ASSO & ASSO and 108-1404
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PRINTS ISSUED 11/01/2023 - CITY SUBMITTAL **REVISIONS:**

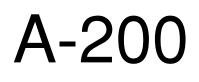


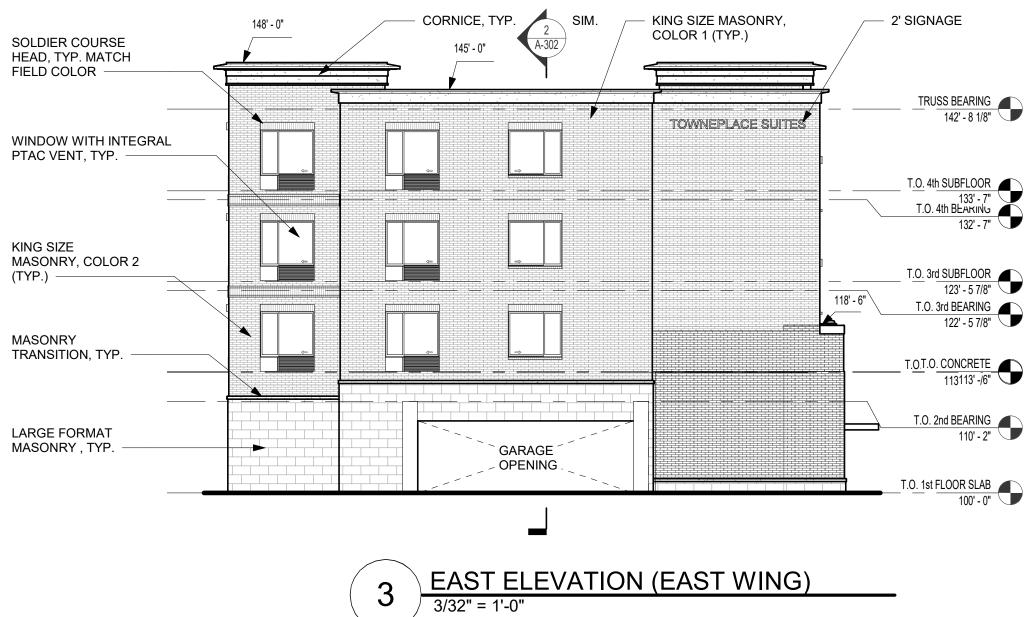
SHEET TITLE

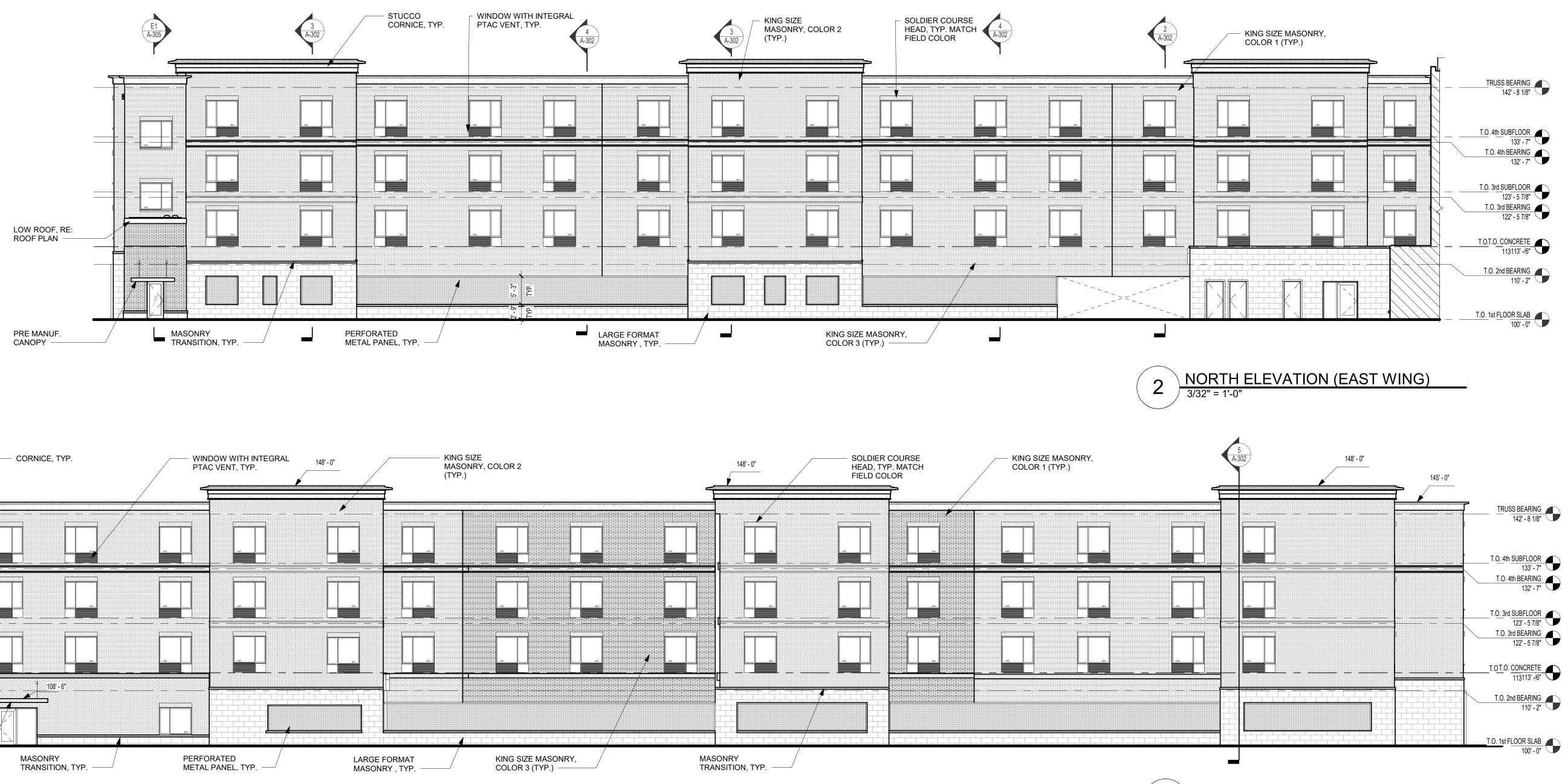
EXTERIOR ELEVATIONS

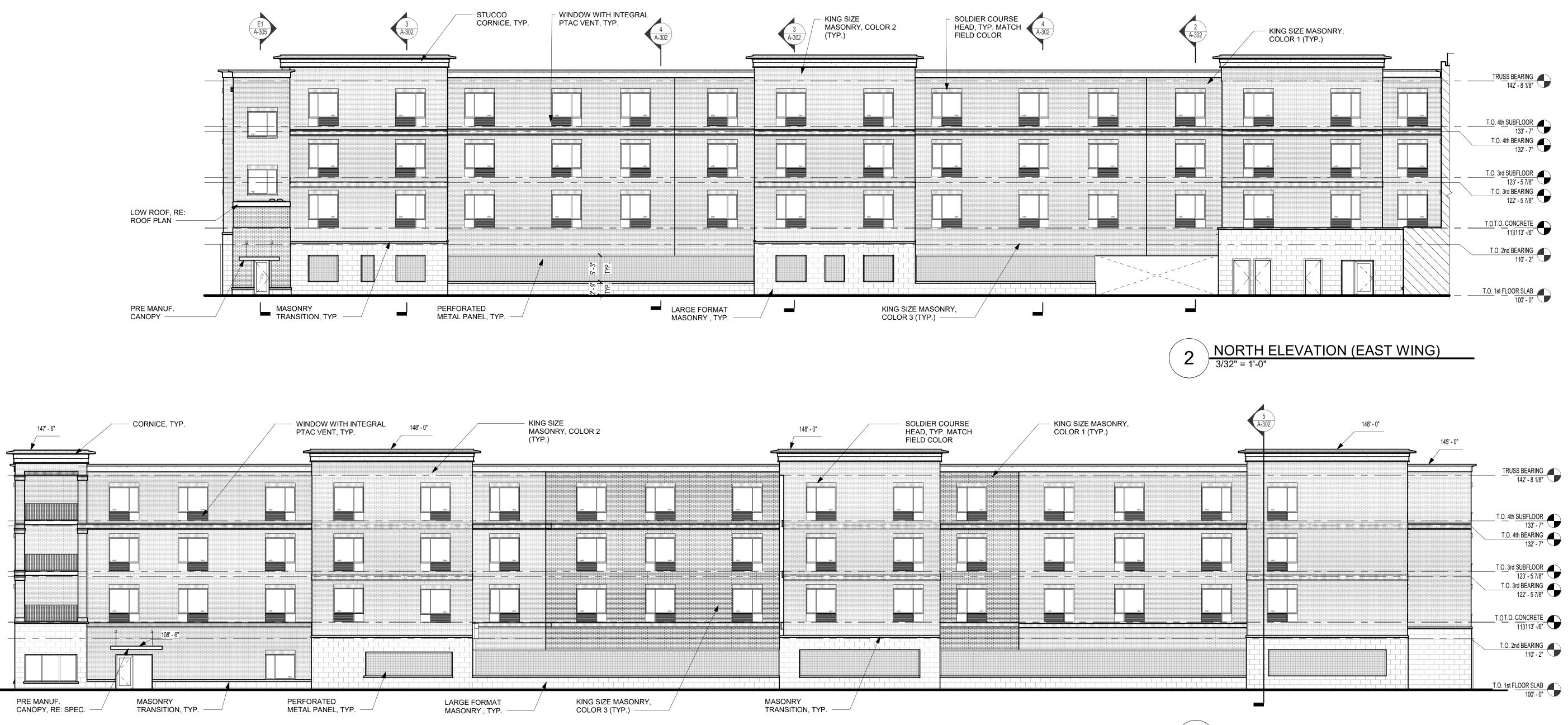
PROJECT NUMBER: 23098

SHEET NUMBER:



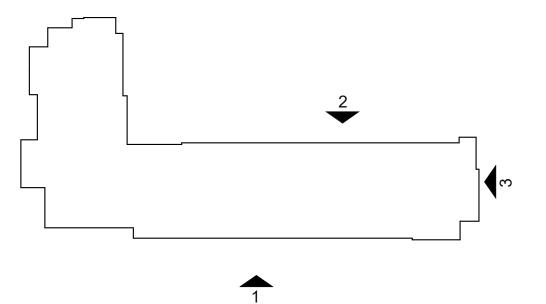












KEYNOTE LEGEND

REFERENCE G-003 FOR GENERAL NOTES REFERENCE A-200 FOR MATERIALS LEGEND

> OSE & ASSOC Bou MO 1448 15.472. 2023 Rd 200 ≥© ਜੋ ਨੂੰ ਕੁ DAVID EUGENE HENDRIKSE ST. SUITES DOUGLAS 64064 USA ACE 1810 NORTHEAST LEE'S SUMMIT TOWNEPL

ulevard 64108[.] 8

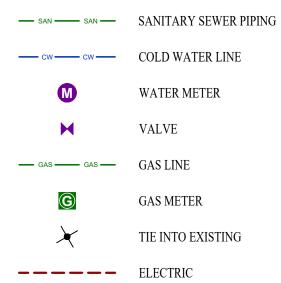
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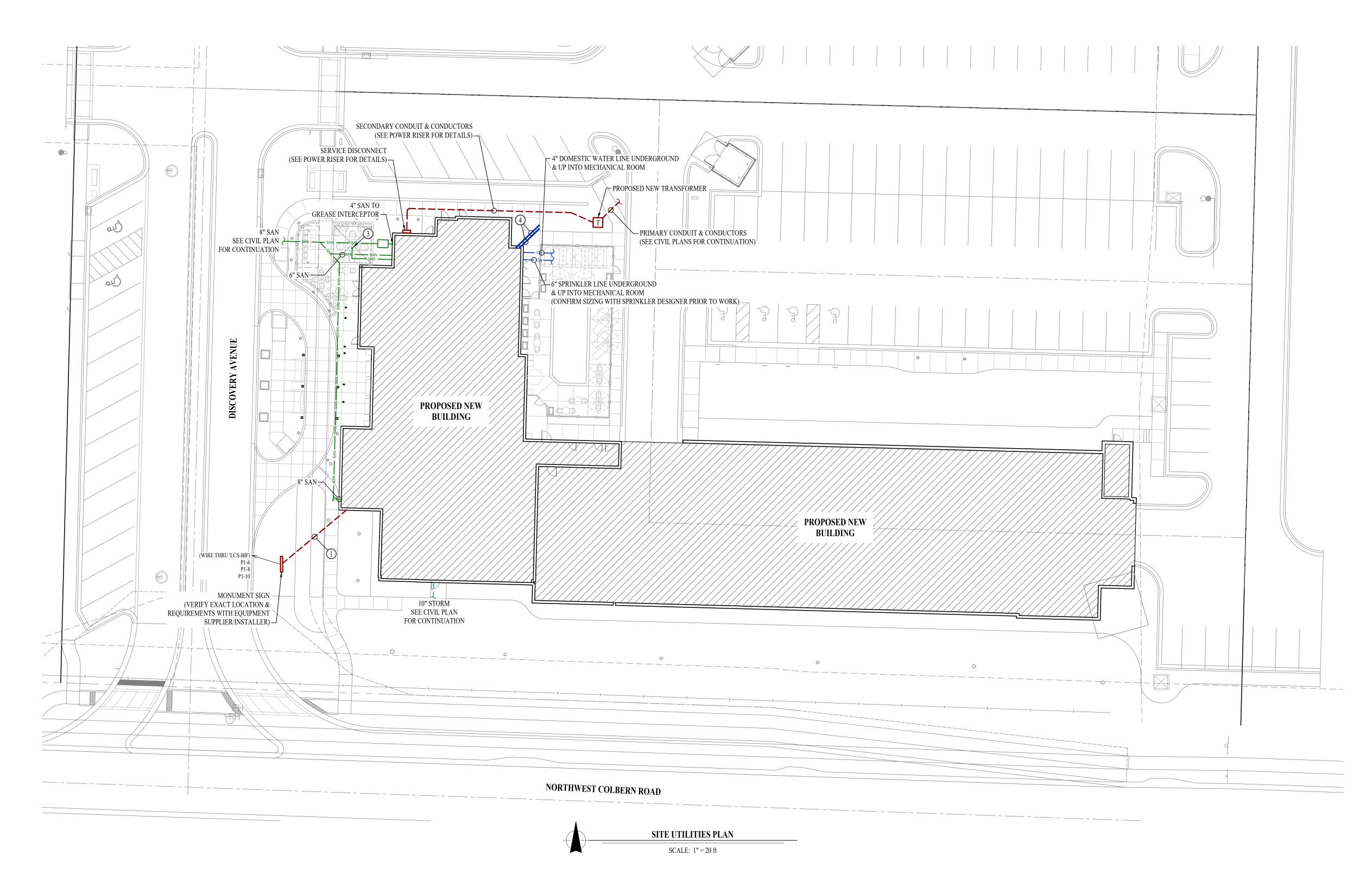
A-201

SHEET NUMBER:

REVISIONS:

SITE PLAN SYMBOL LEGEND





SITE UTILITIES PLAN GENERAL NOTES:

1. REFER TO CIVIL PLANS FOR EXACT UTILITY LOCATIONS, CONNECTIONS, DETAILS, ETC.

SITE UTILITIES PLAN KEY NOTES:

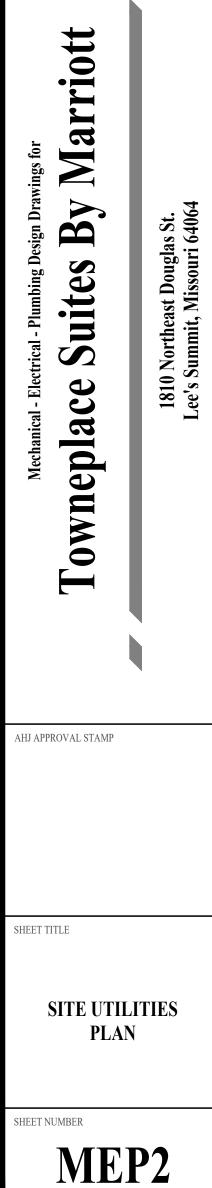
(1) (1) 2" CONDUIT WITH (6) #10 CU. & (3) #10 CU. EQ. GRD.

(2) STUB UP PRIMARY CONDUIT FOR FUTURE EXTENSION TO NEW TRANSFORMER FOR EV-CHARGING. COORDINATE WITH EVERGY.

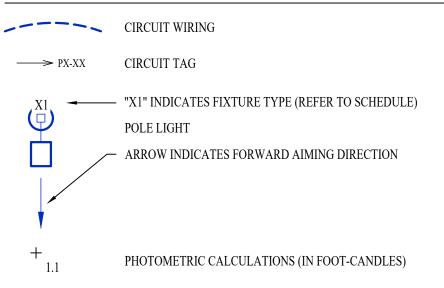
(3) TOTAL ESTIMATED LOAD AT GRILL/FIREPIT = 200kBTU. PLUMBING CONTRACTOR PROVIDE & INSTALL 120V ELECTRICALLY HELD (NORMALLY CLOSED)

SOLENOID ON GAS LINE FOR EMERGENCY SHUT-OFF; COORDINATE WITH ELECTRICAL CONTRACTOR. (4) (2) 2" SLEEVES BELOW GRADE FROM MECHANICAL ROOM TO IRRIGATION METER FOR CONTROLS. COORDINATE WITH IRRIGATION CONTRACTOR.

I	
JAMES WATSO NUMBE PE-201501	R SR
MO Certificate of Authority	y # 2018029680
J-SQUA	
ENGINEE	RING
2400 Bluff Creek Driv Columbia, Missour 573 - 234 - 4492 www.j-squareden	ri 65201 phone
J2 PROJECT No:	J21006
J2 DESIGN:	ACW
ISSUE TITLE CITY SUBMISSION	DATE 11 / 01 / 2023
	1



SITE LIGHTING PLAN SYMBOL LEGEND



MODEL NUMBER

(OR EQUAL)

PRV-XL-PA3B-740-U-T4W-HSS

PRV-XL-PA3B-740-U-5WQ

MANUFACTURER

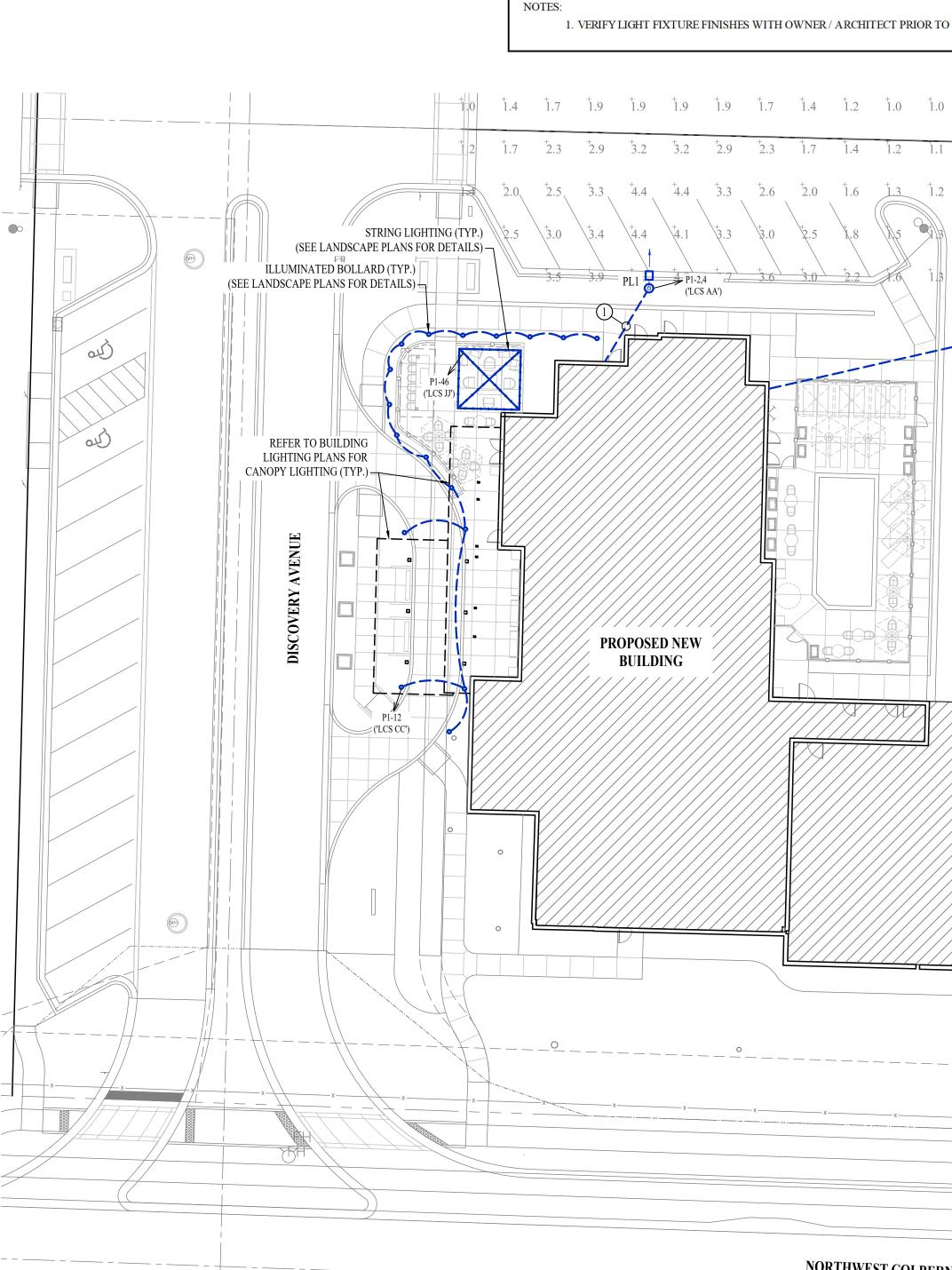
(OR EQUAL)

MCGRAW EDISON

MCGRAW EDISON

TAG

PL1 PL2



NORTHWEST COLBERI

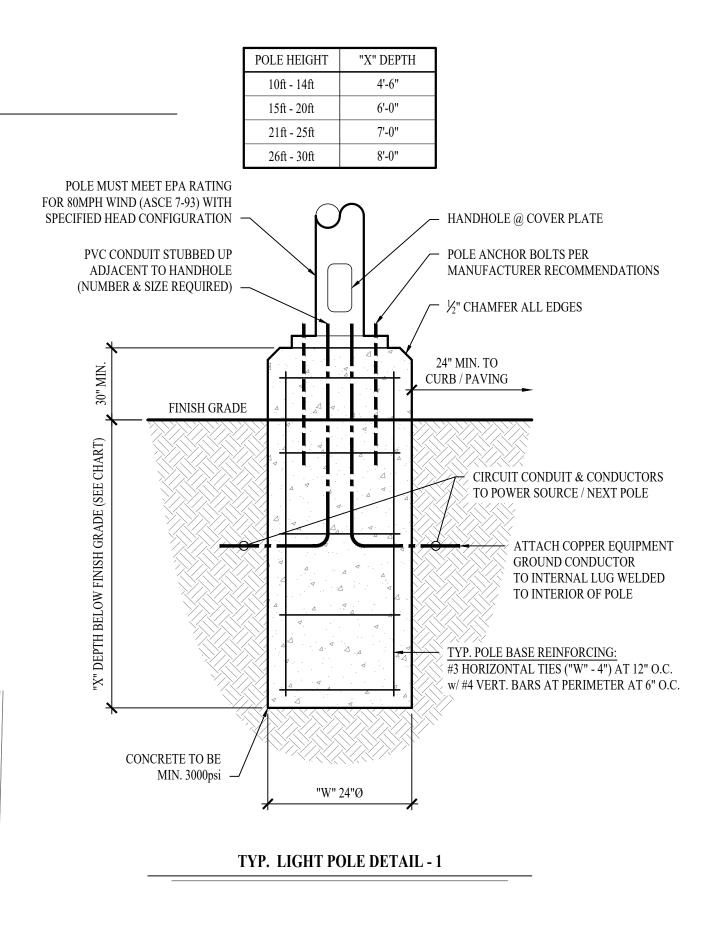
LIGHTING PLAN GENERAL NOTES:

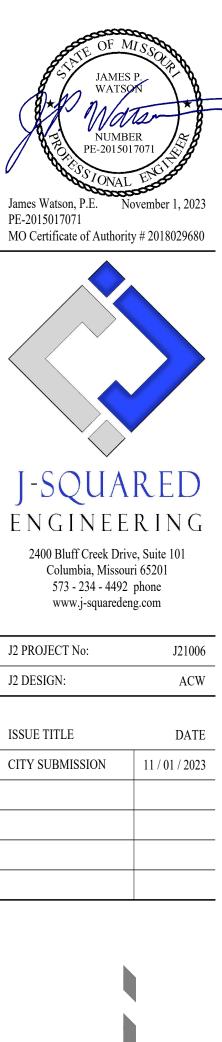
- 1. SITE PHOTOMETRIC VALUES SHOWN HAVE BEEN CALCULATED PER SPECIFIED LIGHT FIXTURES AT INDICATED MOUNTING HEIGHTS. ANY CHANGES OR ALTERATIONS TO LIGHTING LAYOUT SHOWN WILL REQUIRE RECALCULATING SITE PHOTOMETRICS AND WILL THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR / EQUIPMENT SUPPLIER.
- 2. PHOTOMETRIC CALCULATIONS SHOWN DO NOT INCLUDE EXISTING LIGHT FIXTURE(S), ONLY NEW POLE LIGHT FIXTURE(S) SHOWN.
- 3. SEE SHEET EL101 & EL111 FOR BUILDING MOUNTED EXTERIOR LIGHT FIXTURE CIRCUITING AND

S	SITE LIG	HTING FI	XTURE S	CHEDUL	Æ							
DES CRIPTION		MOUN	TING	LUMEN OUTPUT	CCT (°K)	CRI	VOLTS	WATTS	NOTES			
POLE LIGHT POLE LIGHT		20' #SSS POLE 20' #SSS POLE		24,843 31,559	24,843 4000 70			234 234	WITH #MS/DIM-L40W MOTION SENSING DIMMING WITH #MS/DIM-L40W MOTION SENSING DIMMING			
TO INSTALLATION												
	/							,	1 1	1 1 1		
.0 1.0 1.0 1.1	✓ [†] _{1.2} [†] ₁ .	2 1.2 1	1.2 1.2							Í		
.1 1.1 1.2 1.4									1.3 1.4			1.1 0.9
.2 1.2 1.4 1.7	⁺ 2.0 ⁺ 2.			1	[†] 1.1 [†] 0.9	1 1	0.9 1.		⁺ 1.8 ⁺ 1.9			1.4 1.1
	÷2.2 °	.6 ⁺ 2.8 ⁺ 2		⁺ 2.0 [†] 1.5	1.2 1.0		1.0 1.					1.6 1.1
$\begin{bmatrix} .3 & ^{\dagger}1.2 \\ . & . & . \\ . & . & . \\ . & . & . \\ . & . &$		1 4.0 PL2		⁺ 2.1 [†] 1.6	[†] .3 [†] .1		1.1 1.	3 1.7	[†] 2.2 [†] 2.6	⁺ 3.3 ⁺ 3.4		1.7 1.2
	2.5 3.	.2 4.3		⁺ 2.2 ⁺ 1.7	[†] .3 [†] .1		1.1 1.		⁺ 2.4 ⁺ 2.9	PL2 4.3		<u>+</u> 1
	2.3 2.			⁺ 2.0 ⁺ 1.6	1.2					⁺ 3.4 ⁺ 3.5		1.8 1.2
												[†] 1.7 [†] 1.2
		- 1							1.9 2.0			
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0.5 0.6 0.7		.9 0.9 (0.9 0.9	⁺ 0.8 ⁺ 0.8	+0.7 +0.7		⁺ 0.7 [†] 0.	8 0.9	1.1 1.3	1.4 1.5		1.4 1.3
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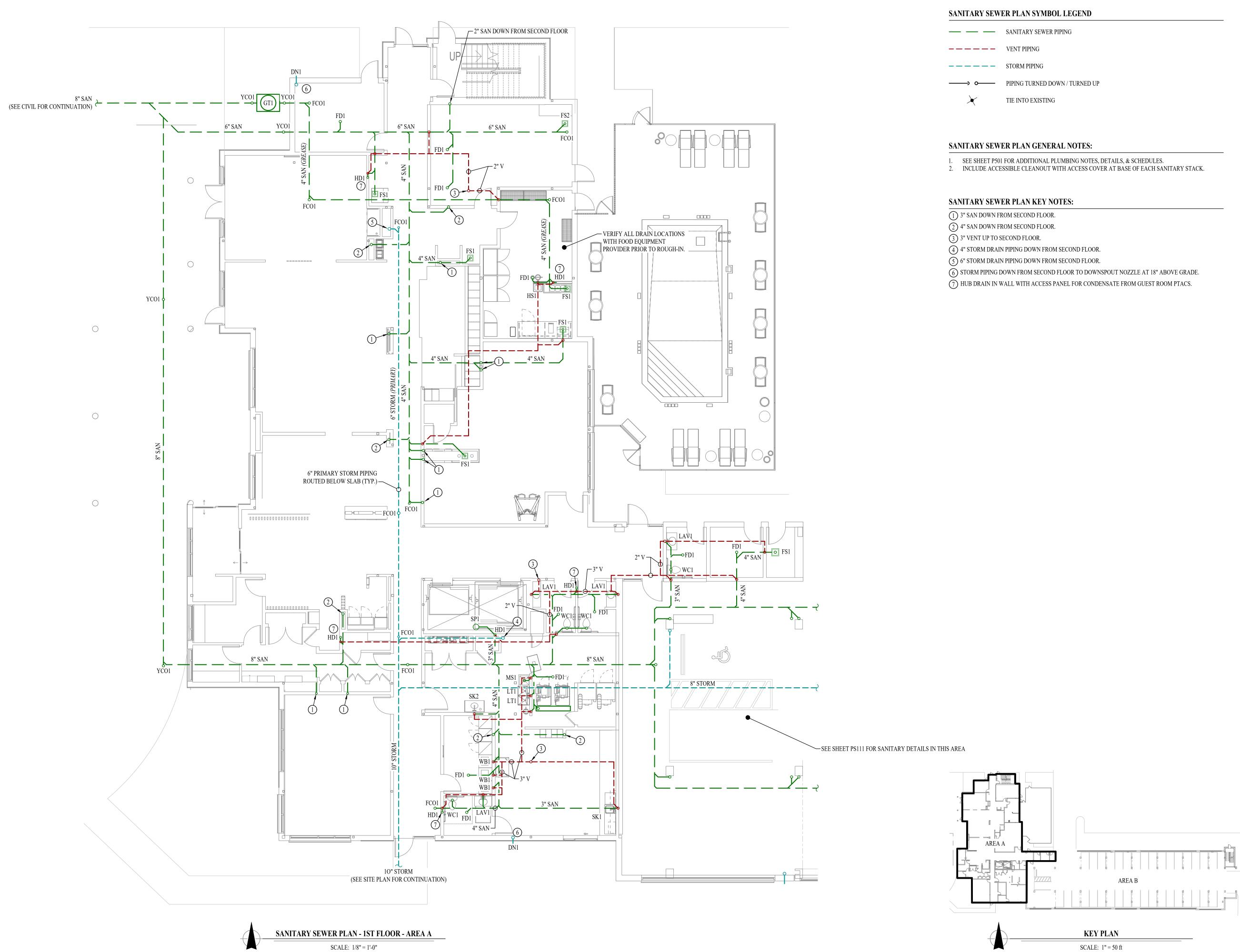
SITE LIGHTING PLAN

SCALE: 1" = 20 ft



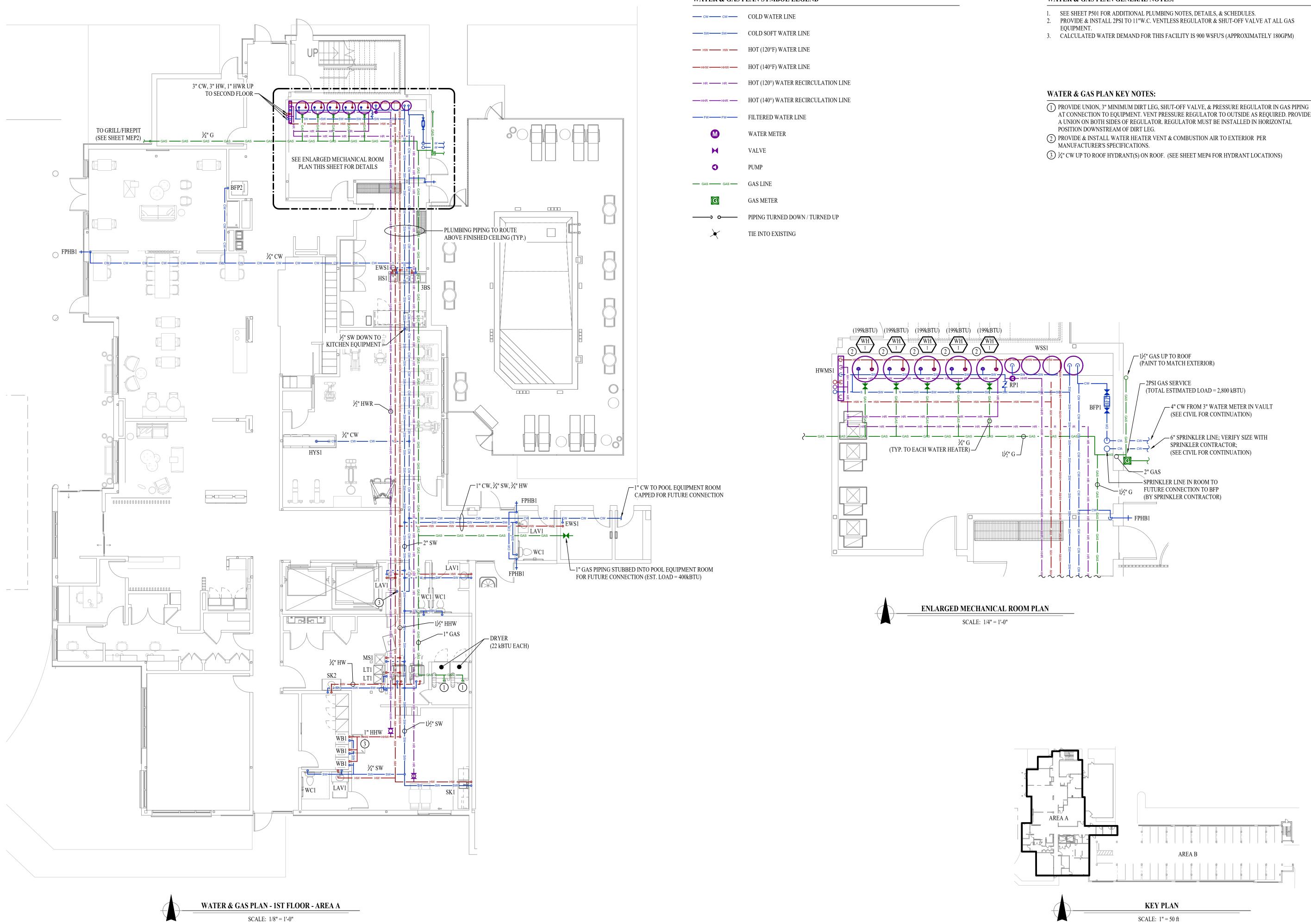


riott 3 N uites \mathcal{O} 1810 N Lee's Su Towneplace ical - Ele Me AHJ APPROVAL STAMP SHEET TITLE SITE LIGHTING PLAN SHEET NUMBER MEP3





Mechanical - Electrical - Plumbing Design Drawings for Towneplace Suites By Marriott	1810 Northeast Douglas St. Lee's Summit, Missouri 64064						
AHJ APPROVAL STAMP							
SHEET TITLE							
SANITARY SEWER PLAN - 1ST FLOOR - AREA A							
SHEET NUMBER	በ1						
PSI	VI						



WATER & GAS PLAN SYMBOL LEGEND

WATER & GAS PLAN GENERAL NOTES:

- AT CONNECTION TO EQUIPMENT. VENT PRESSURE REGULATOR TO OUTSIDE AS REQUIRED. PROVIDE A UNION ON BOTH SIDES OF REGULATOR. REGULATOR MUST BE INSTALLED IN HORIZONTAL

