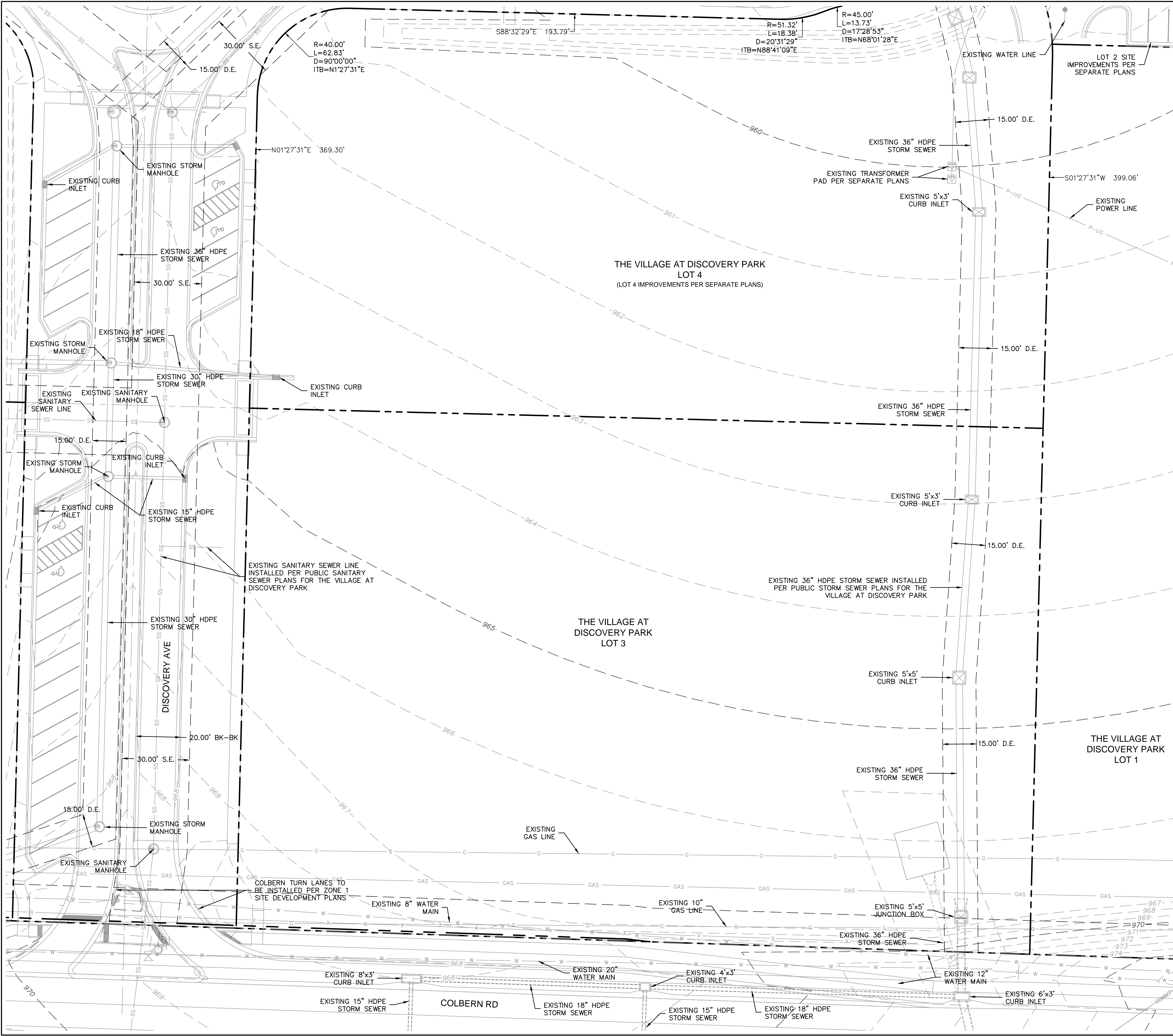


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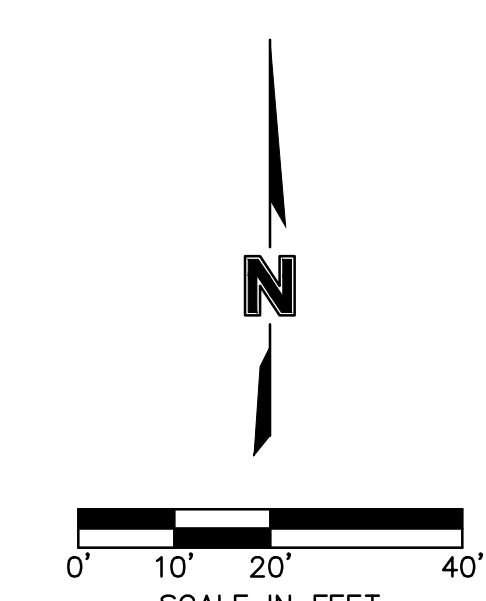
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 TEL 816.361.1177
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STATE OF MISSOURI
 DAVID L. EICKMAN
 NUMBER PE-2009015436
 PROFESSIONAL ENGINEER
 DAVID EICKMAN, P.E.
 MO# 2009015436

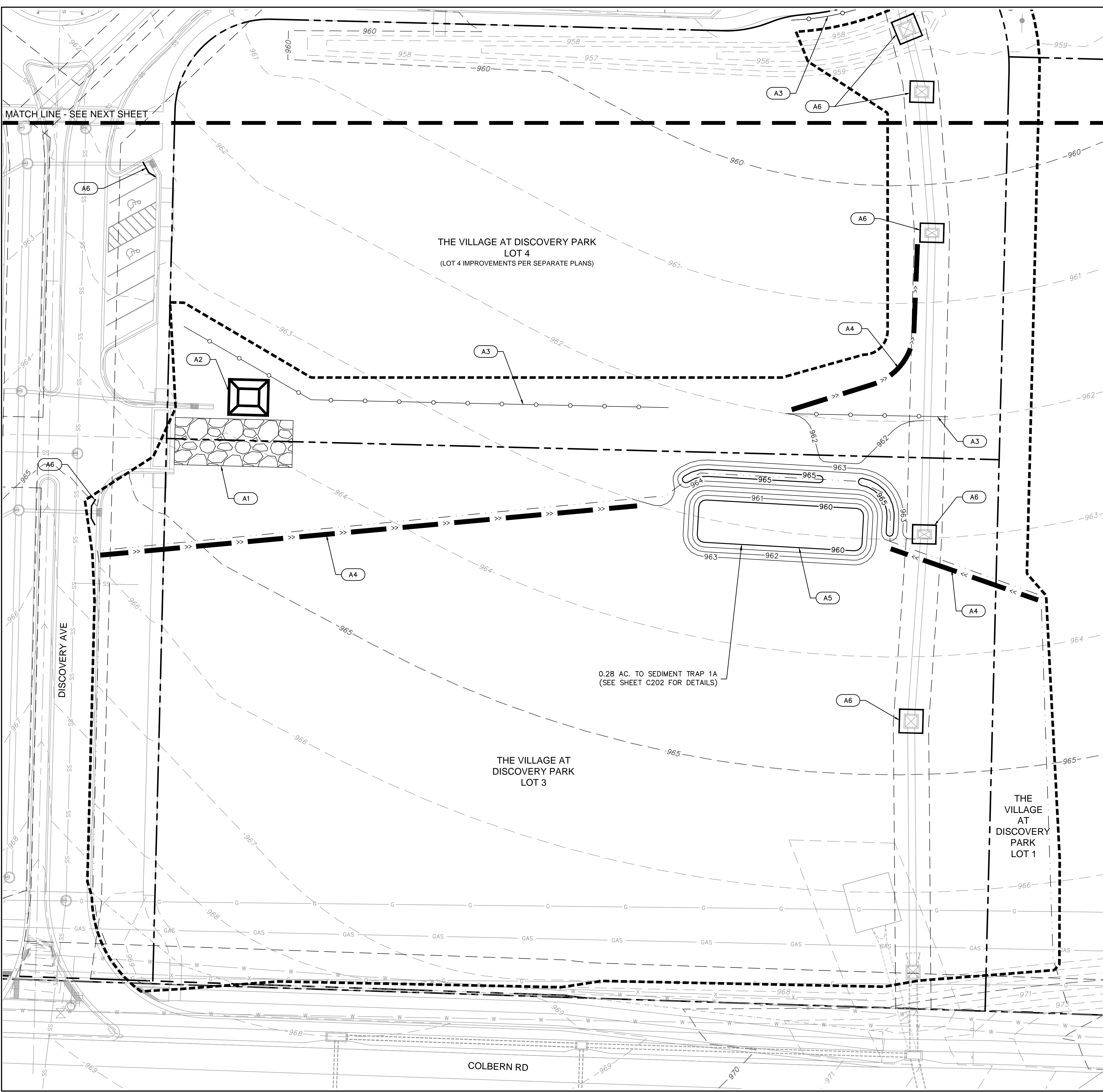
REV. NO.	DATE	REVISIONS DESCRIPTION	BY

EXISTING CONDITIONS
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI
 2023

drawn by: DB/BMG/SOS/TW
 checked by: AR/JN
 approved by: DE
 QA/QC by: JS/NH
 project no.: F21-04643
 drawing no.: C_EXC01_F2104643
 date: 09.27.2023



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 C_PBNDR_D2104643



GRADING LEGEND

- LOT LINE/PROPERTY BOUNDARY
- 999 FINISHED GRADE MAJOR CONTOUR
- 999 FINISHED GRADE MINOR CONTOUR
- - - 999 EXISTING GRADE MAJOR CONTOUR
- - - 999 EXISTING GRADE MINOR CONTOUR

LEGEND	
PHASE A	
	SILT FENCE
	TEMPORARY DIVERSION BERM
	AREA INLET PROTECTION
	INLET PROTECTION
	CONCRETE WASHOUT
	TEMPORARY STONE CONSTRUCTION ENTRANCE
	DRAINAGE AREA TO BASIN/TRAP
	LIMITS OF DISTURBANCE

NOTE:
 THE SITE DISTURBANCE PLANS INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.

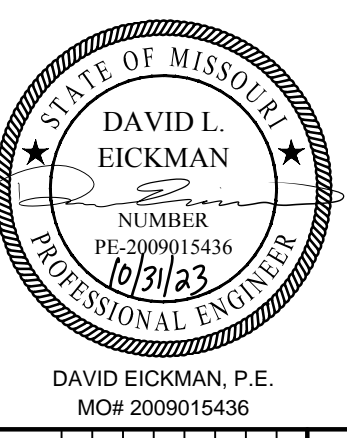
CONTRACTOR TO KEEP SWPPP REPORTS AND MDNR PERMIT IN THE ON-SITE CONSTRUCTION OFFICE TRAILER. TRAILER LOCATION TO BE DETERMINED BY CONTRACTOR

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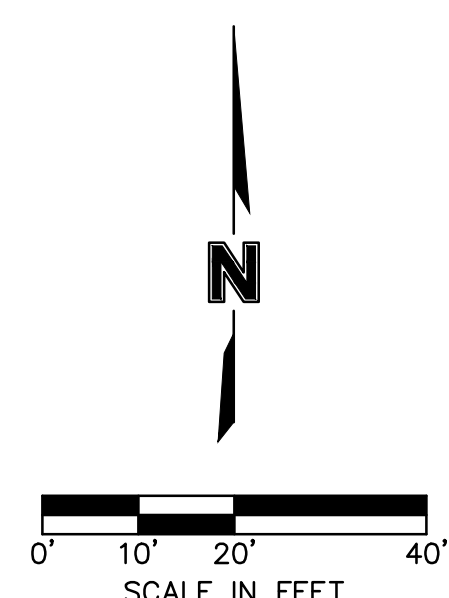
EROSION CONTROL PHASING CHART = 2.93 ACRES DISTURBED				
PROJECT PHASE	EROSION CONTROL BMP REFERENCE NO.	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES:
A - PRE-MASS GRADING	A1	CONCRETE WASHOUT	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A2	CONCRETE WASHOUT	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A3	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A4	DIVERSION BERM	D	INSTALL PER APWA DETAIL ESC-05, AND CONTRACTOR SHALL ADJUST AS NECESSARY THROUGHOUT CONSTRUCTION TO ENSURE SEDIMENT REMAINS CONTROLLED ON SITE.
	A5	SEDIMENT TRAP	D	INSTALL PER APWA DETAIL ESC-08
	A6	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC-07
B - INTERM	B1	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03
	B2	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC-07
				MAINTAIN ALL INSTALLED EROSION CONTROL DEVICES
C - DISTURBED AREA STABILIZATION	C1	ESTABLISH SEEDING AND STABILIZATION OUTSIDE OF SEDIMENT BASIN AND TRAPS		SITE STABILIZATION PER LOCAL CODES AND ORDINANCES. AT A MINIMUM STABILIZATION SHALL CONFORM WITH APWA SECTION 2406. COORDINATE ALL STABILIZATION WITH EROSION CONTROL MEASURES INDICATED IN SITE DEVELOPMENT PLANS.

UPON REMOVAL CONTRACTOR TO OVER-EXCAVATE SEDIMENT TRAPS, FULLY REMOVING ALL SILT, AND FILLING IN CONTROLLED LIFTS TO PREVENT VOIDS OR EXCESSIVE SETTLING THAT COULD IMPACT BUILDING FOUNDATIONS.



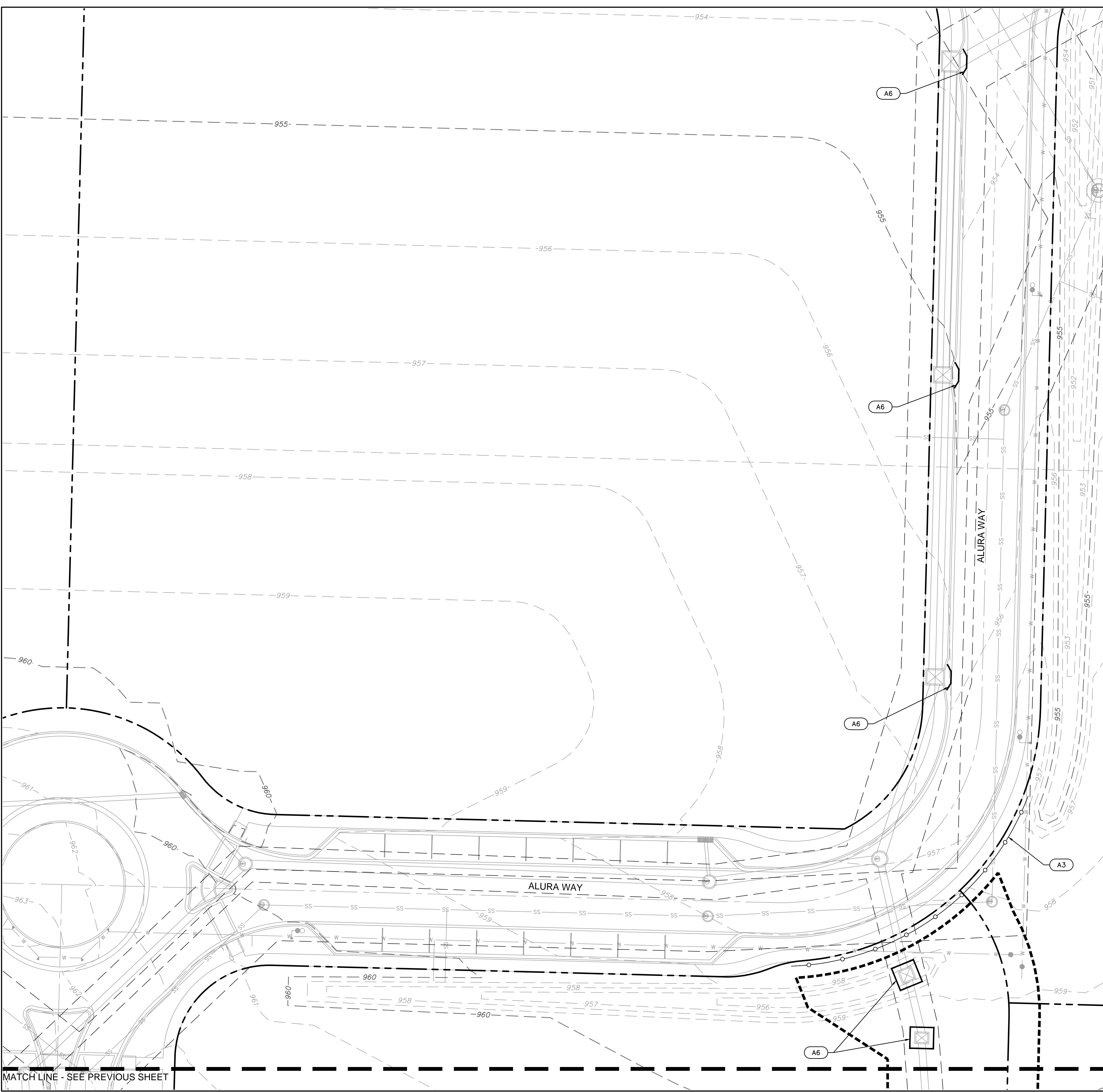
BY	REVISIONS DESCRIPTION	DATE

EROSION CONTROL PLAN (PHASE A)
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI



drawn by: DB/BMG/SOS/TW
 checked by: AR/JN
 approved by: DE
 QA/QC by: JS/NH
 project no.: F21-04643
 drawing no.: C-ERC01_F2104643
 date: 09.27.2023

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GRADING LEGEND

- LOT LINE/PROPERTY BOUNDARY
- FINISHED GRADE MAJOR CONTOUR
- FINISHED GRADE MINOR CONTOUR
- EXISTING GRADE MAJOR CONTOUR
- EXISTING GRADE MINOR CONTOUR

LEGEND	
PHASE A	
	SILT FENCE
	TEMPORARY DIVERSION BERM
	AREA INLET PROTECTION
	INLET PROTECTION
	CONCRETE WASHOUT
	TEMPORARY STONE CONSTRUCTION ENTRANCE
	DRAINAGE AREA TO BASIN/TRAP
	LIMITS OF DISTURBANCE

NOTE:

THE SITE DISTURBANCE PLANS INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.

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EROSION CONTROL PHASING CHART = 2.93 ACRES DISTURBED				
PROJECT PHASE	EROSION CONTROL BMP REFERENCE NO.	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES:
A - PRE-MASS GRADING	A1	CONSTRUCTION ENTRANCE	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A2	CONCRETE WASHOUT	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A3	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A4	DIVERSION BERM	D	INSTALL PER APWA DETAIL ESC-05, AND CONTRACTOR SHALL ADJUST AS NECESSARY THROUGHOUT CONSTRUCTION TO ENSURE SEDIMENT REMAINS CONTROLLED ON SITE.
	A5	SEDIMENT TRAP	D	INSTALL PER APWA DETAIL ESC-08
	A6	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC-07
B - INTERM	B1	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03
	B2	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC-07
				MAINTAIN ALL INSTALLED EROSION CONTROL DEVICES
C - DISTURBED AREA STABILIZATION	C1	ESTABLISH SEEDING AND STABILIZATION OUTSIDE OF SEDIMENT BASIN AND TRAPS		SITE STABILIZATION PER LOCAL CODES AND ORDINANCES. AT A MINIMUM STABILIZATION SHALL CONFORM WITH APWA SECTION 2406. COORDINATE ALL STABILIZATION WITH EROSION CONTROL MEASURES INDICATED IN SITE DEVELOPMENT PLANS.

UPON REMOVAL CONTRACTOR TO OVER-EXCAVATE SEDIMENT TRAPS, FULLY REMOVING ALL SILT, AND FILLING IN CONTROLLED LIFTS TO PREVENT VOIDS OR EXCESSIVE SETTLING THAT COULD IMPACT BUILDING FOUNDATIONS.

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 www.olsosn.com

DAVID L. EICKMAN, P.E.
 No. 2009015436

REV. NO.	DATE	REVISIONS DESCRIPTION

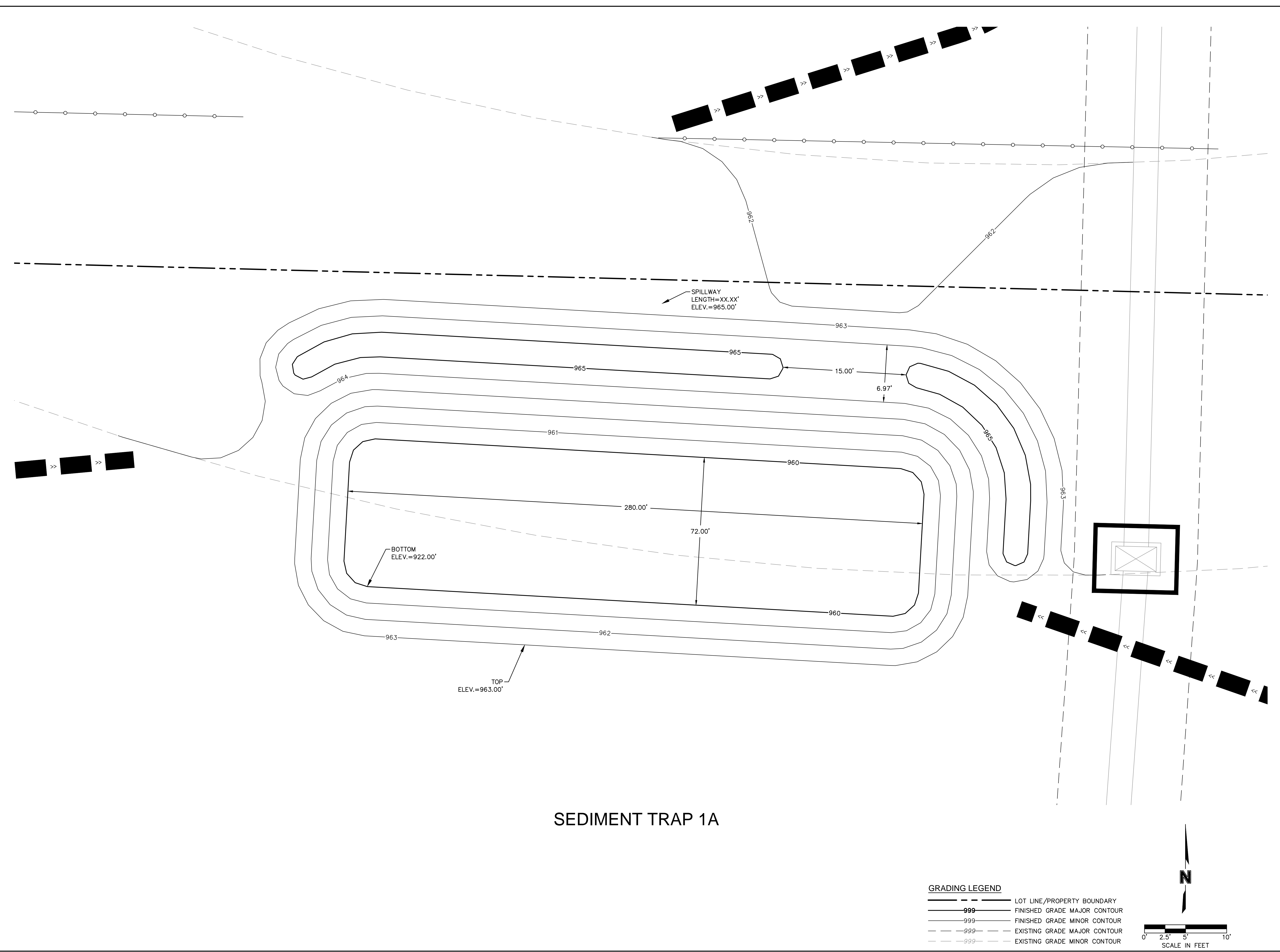
EROSION CONTROL PLAN (PHASE A CONT'D)
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

2023

drawn by: DB/BMG/SOS/TW
 checked by: AR/JN
 approved by: DE
 QA/QC by: JS/NH
 project no.: F21-04643
 drawing no.: C_ERC01_F2104643
 date: 09.27.2023

MATCH LINE - SEE PREVIOUS SHEET

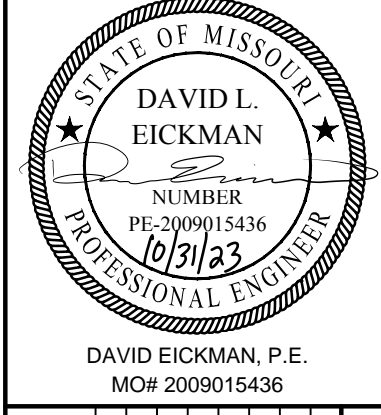
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SEDIMENT TRAP 1A

GRADING LEGEND
- - - - - LOT LINE/PROPERTY BOUNDARY
- - - - - 999 FINISHED GRADE MAJOR CONTOUR
- - - - - 999 FINISHED GRADE MINOR CONTOUR
- - - - - 999 EXISTING GRADE MAJOR CONTOUR
- - - - - 999 EXISTING GRADE MINOR CONTOUR

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SCALE IN FEET



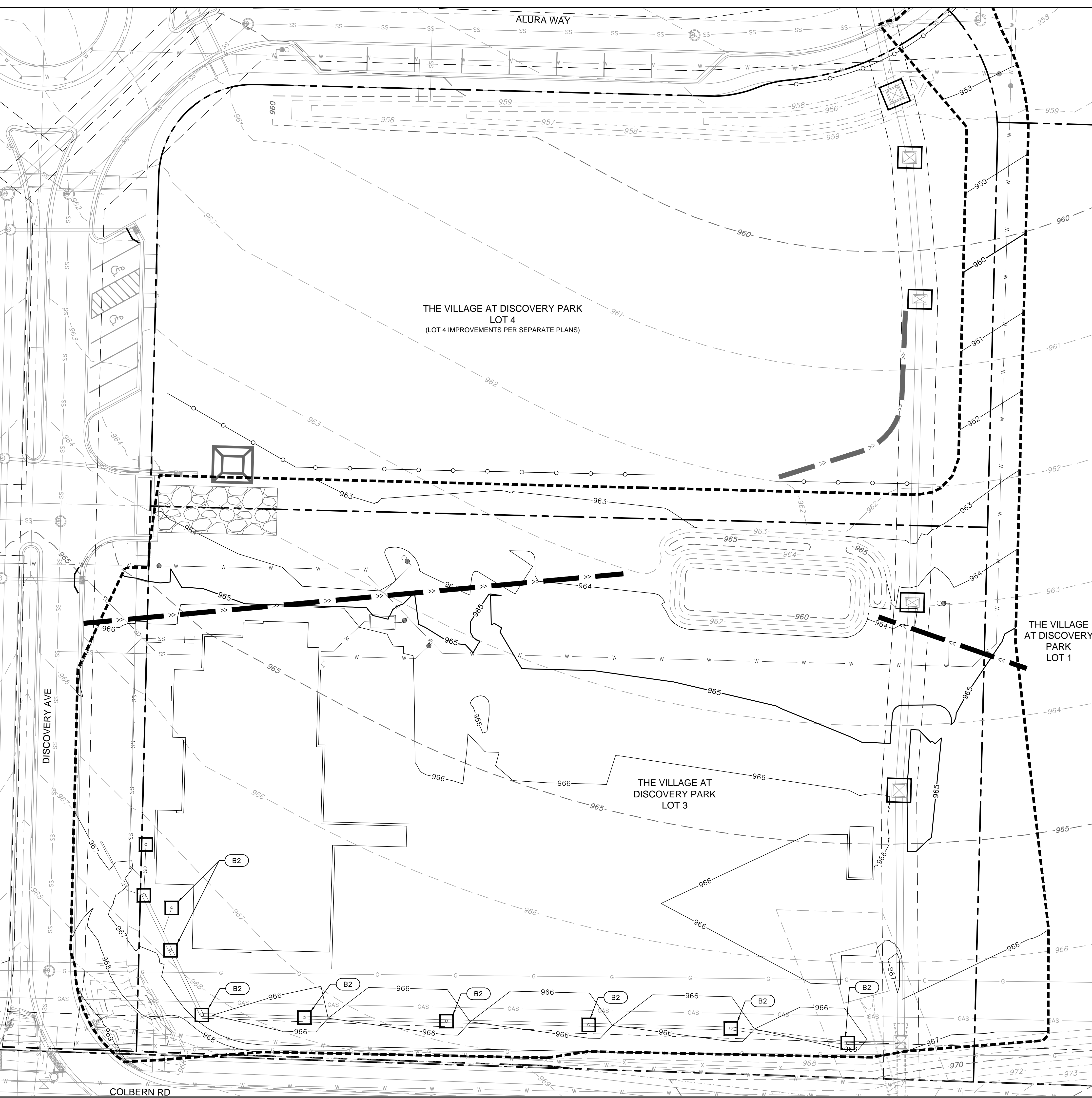
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SEDIMENT TRAP A DETAILS
PRIVATE SITE DEVELOPMENT PLANS
THE VILLAGE AT DISCOVERY PARK LOT 3
NW COLBERN RD & NE DOUGLAS ST
LEE'S SUMMIT, MISSOURI

drawn by: DB/BM/GS/OS/TW
checked by: AR/JN
approved by: DE
QA/QC by: JS/NH
project no.: F21-04643
drawing no.: C_ERC01_F2104643
date: 09.27.2023

SHEET
C202

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GRADING LEGEND

- LOT LINE/PROPERTY BOUNDARY
- 999 FINISHED GRADE MAJOR CONTOUR
- 999 FINISHED GRADE MINOR CONTOUR
- 999 EXISTING GRADE MAJOR CONTOUR
- 999 EXISTING GRADE MINOR CONTOUR

LEGEND

PHASE A	PHASE B	
		SILT FENCE
		TEMPORARY DIVERSION BERM
		AREA INLET PROTECTION
		INLET PROTECTION
		CONCRETE WASHOUT
		TEMPORARY STONE CONSTRUCTION ENTRANCE
		DRAINAGE AREA TO BASIN/TRAP
		LIMITS OF DISTURBANCE

NOTE:
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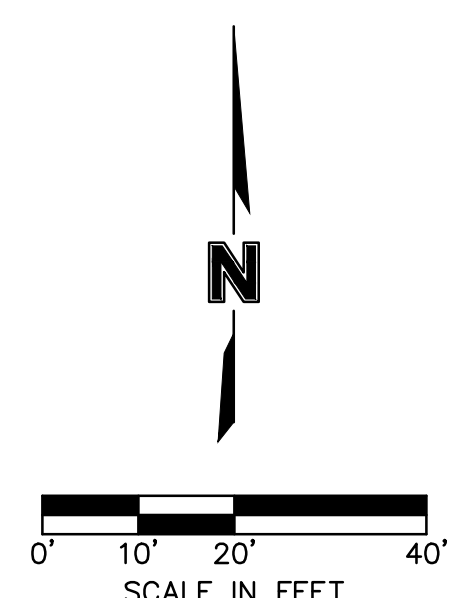
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EROSION CONTROL PHASING CHART = 2.93 ACRES DISTURBED

PROJECT PHASE	EROSION CONTROL BMP REFERENCE NO.	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES:
A - PRE-MASS GRADING	A1	CONSTRUCTION ENTRANCE	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A2	CONCRETE WASHOUT	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A3	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A4	DIVERSION BERM	D	INSTALL PER APWA DETAIL ESC-05, AND CONTRACTOR SHALL ADJUST AS NECESSARY THROUGHOUT CONSTRUCTION TO ENSURE SEDIMENT REMAINS CONTROLLED ON SITE.
	A5	SEDIMENT TRAP	D	INSTALL PER APWA DETAIL ESC-08
	A6	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC-07
UPON REMOVAL CONTRACTOR TO OVER-EXCAVATE SEDIMENT TRAPS, FULLY REMOVING ALL SILT, AND FILLING IN CONTROLLED LIFTS TO PREVENT VOIDS OR EXCESSIVE SETTLING THAT COULD IMPACT BUILDING FOUNDATIONS.				
B - INTERM	B1	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03
	B2	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC-07
				MAINTAIN ALL INSTALLED EROSION CONTROL DEVICES
C - DISTURBED AREA STABILIZATION	C1	ESTABLISH SEEDING AND STABILIZATION OUTSIDE OF SEDIMENT BASIN AND TRAPS		SITE STABILIZATION PER LOCAL CODES AND ORDINANCES. AT A MINIMUM STABILIZATION SHALL CONFORM WITH APWA SECTION 2406. COORDINATE ALL STABILIZATION WITH EROSION CONTROL MEASURES INDICATED IN SITE DEVELOPMENT PLANS.



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 North Kansas City, MO 64116
 TEL 816.361.1177
 www.olsson.com

olsson

DAVID EICKMAN, P.E.
MOR 2009015436

BY: _____
 REVISIONS DESCRIPTION: _____
 DATE: _____
 REV. NO.: _____

REVISIONS

EROSION CONTROL PLAN (PHASE B)
 PRIVATE SITE DEVELOPMENT PLANS

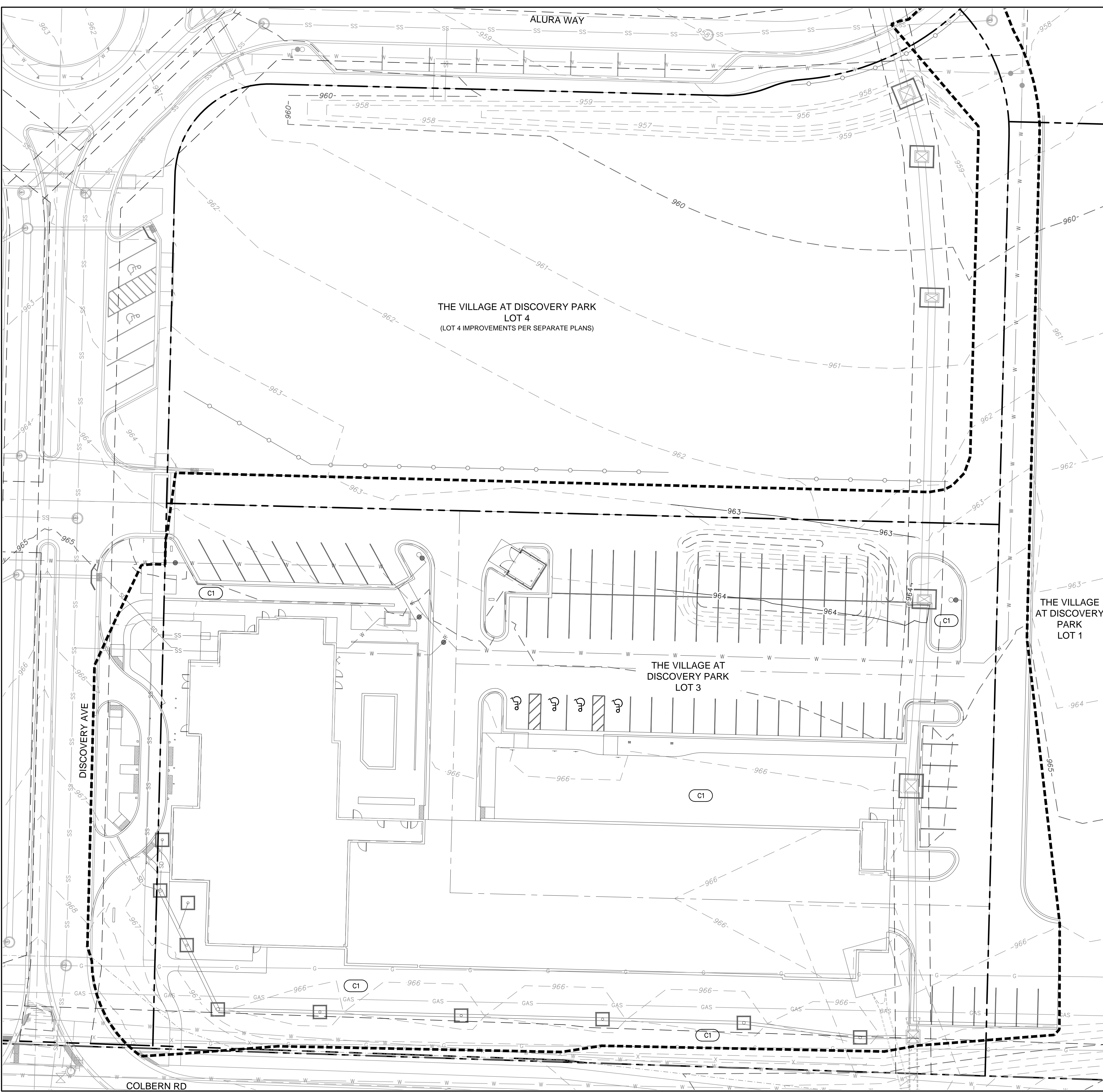
THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST

2023

drawn by: DB/BM/GS/S/TW
 checked by: AR/JN
 approved by: DE
 QA/QC by: JS/NH
 project no.: F21-04643
 drawing no.: C_ERC02_F2104643
 date: 09.27.2023

SHEET
C203

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GRADING LEGEND

---	LOT LINE/PROPERTY BOUNDARY
—	FINISHED GRADE MAJOR CONTOUR
- - -	FINISHED GRADE MINOR CONTOUR
---	EXISTING GRADE MAJOR CONTOUR
- - -	EXISTING GRADE MINOR CONTOUR

LEGEND

PHASE A&B	PHASE C	
○	○	SILT FENCE
— << —		TEMPORARY DIVERSION BERM
□		INLET PROTECTION
□		CONCRETE WASHOUT
□		TEMPORARY STONE CONSTRUCTION ENTRANCE
---		DRAINAGE AREA TO BASIN/TRAP
---	---	LIMITS OF DISTURBANCE

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EROSION CONTROL PHASING CHART = 2.93 ACRES DISTURBED

PROJECT PHASE	EROSION CONTROL BMP REFERENCE NO.	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES:
A - PRE-MASS GRADING	A1	CONSTRUCTION ENTRANCE	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A2	CONCRETE WASHOUT	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A3	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A4	DIVERSION BERM	D	INSTALL PER APWA DETAIL ESC-05, AND CONTRACTOR SHALL ADJUST AS NECESSARY THROUGHOUT CONSTRUCTION TO ENSURE SEDIMENT REMAINS CONTROLLED ON SITE.
	A5	SEDIMENT TRAP	D	INSTALL PER APWA DETAIL ESC-08
	A6	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC-07
B - INTERM	B1	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03
	B2	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC-07
				MAINTAIN ALL INSTALLED EROSION CONTROL DEVICES
C - DISTURBED AREA STABILIZATION	C1	ESTABLISH SEEDING AND STABILIZATION OUTSIDE OF SEDIMENT BASIN AND TRAPS		SITE STABILIZATION PER LOCAL CODES AND ORDINANCES. AT A MINIMUM STABILIZATION SHALL CONFORM WITH APWA SECTION 2406. COORDINATE ALL STABILIZATION WITH EROSION CONTROL MEASURES INDICATED IN SITE DEVELOPMENT PLANS.

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Olsson - Civil Engineering
 Missouri Certificate of Authority #001892
 1301 Burlington Street
 North Kansas City, MO 64116
 TEL 816.361.1177
 www.olsosn.com

DAVID L. EICKMAN, P.E.
 MoE 2009015436

REV. NO.	REVISIONS DESCRIPTION	DATE	BY

REVISIONS

EROSION CONTROL PLAN (PHASE C)
 PRIVATE SITE DEVELOPMENT PLANS

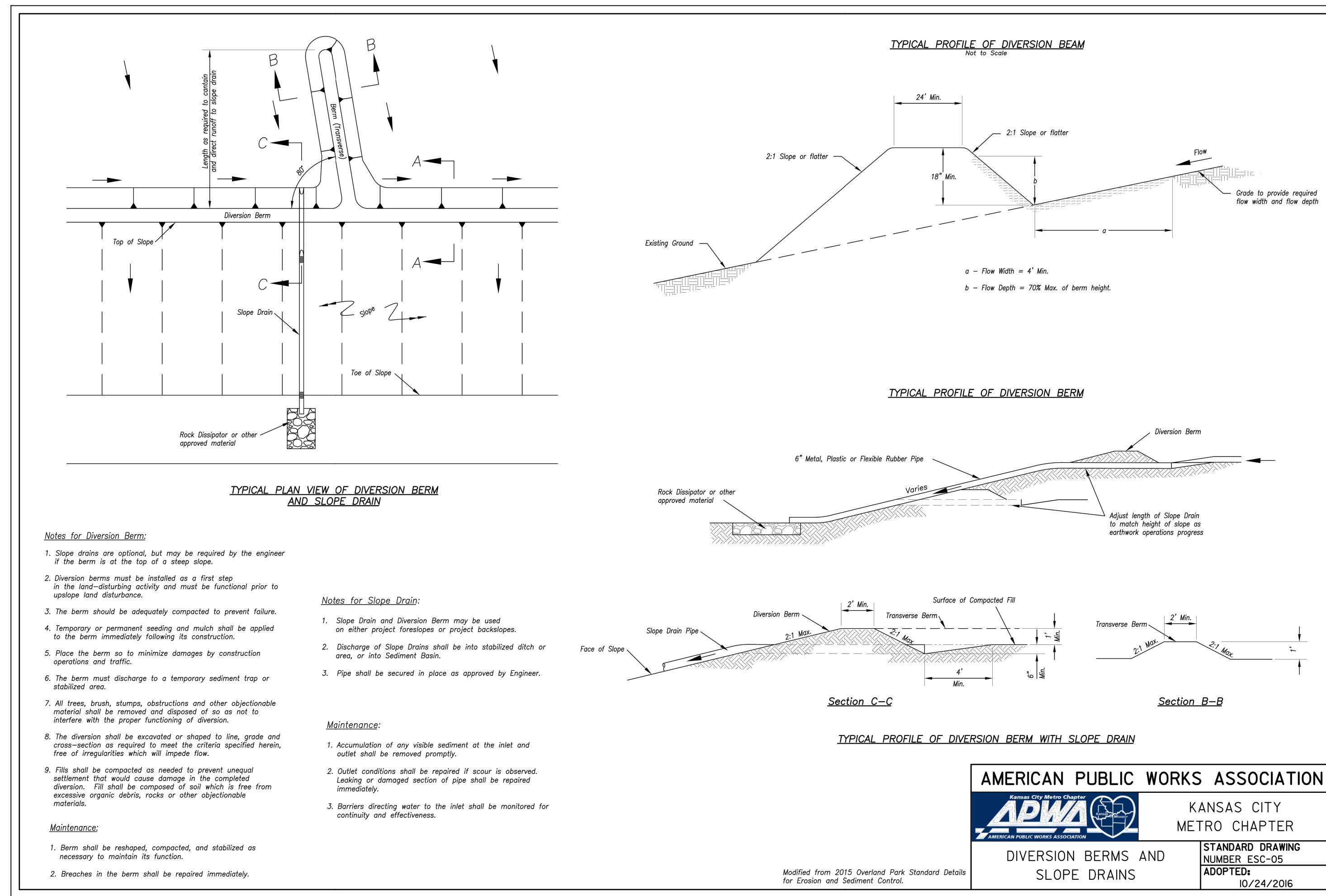
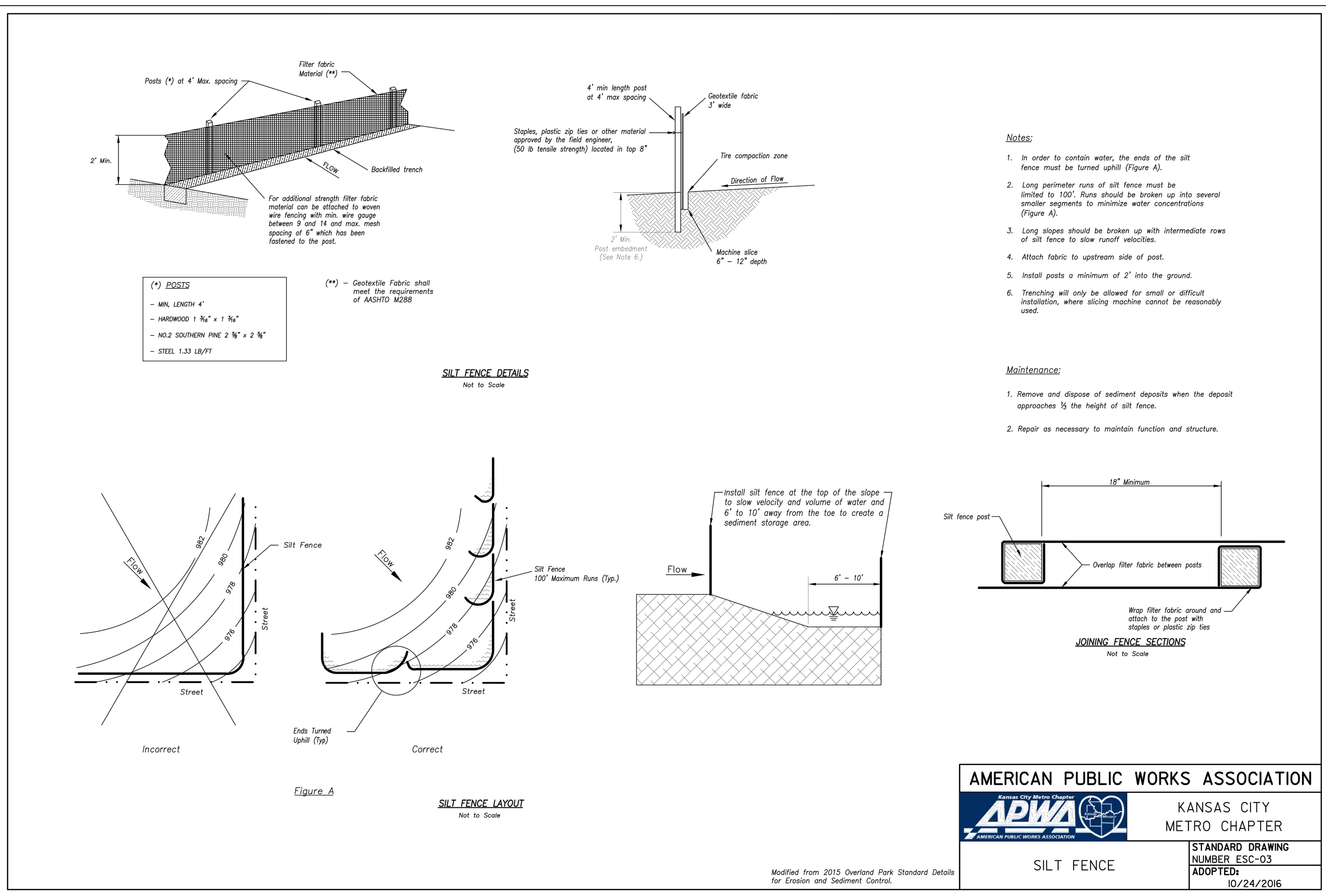
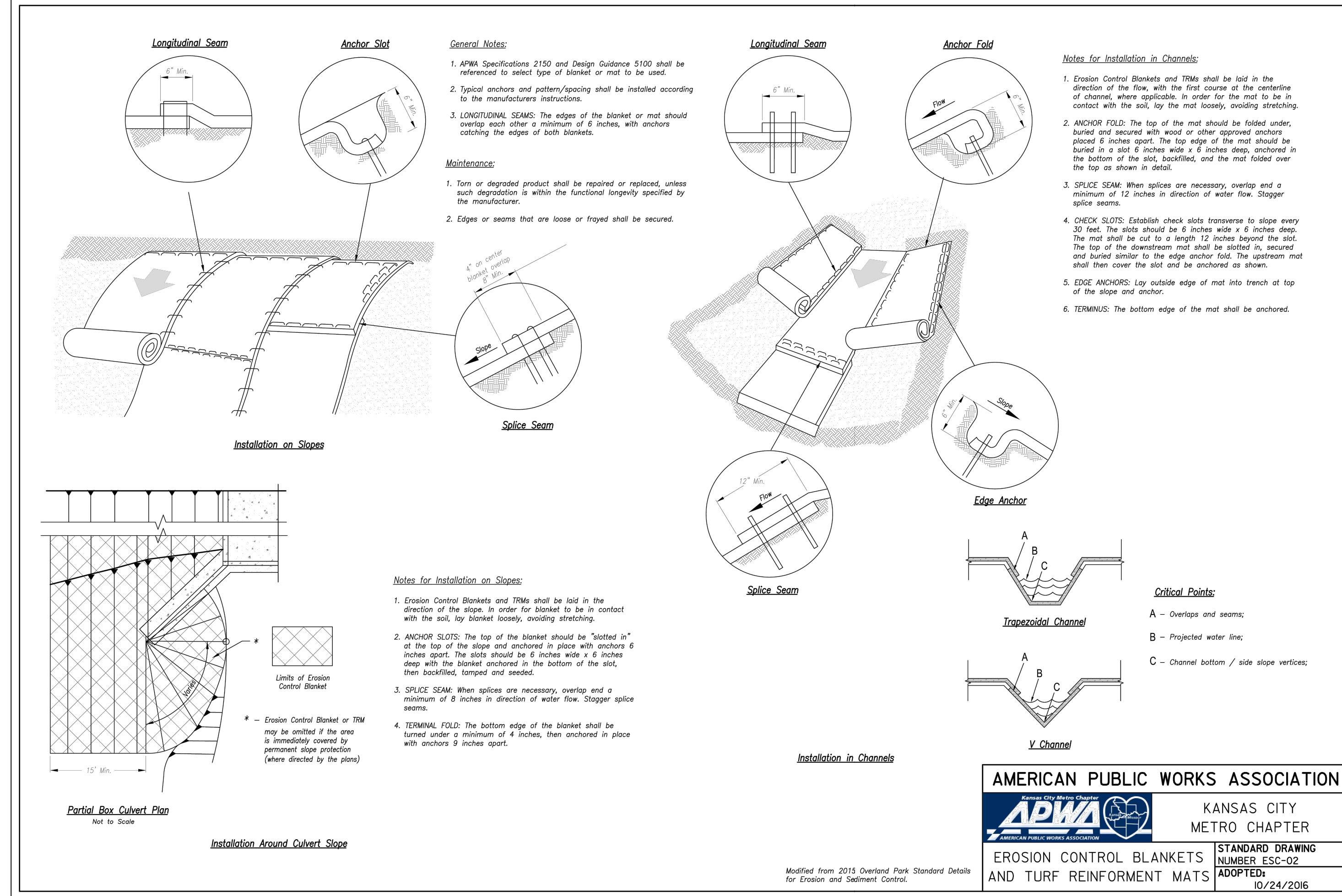
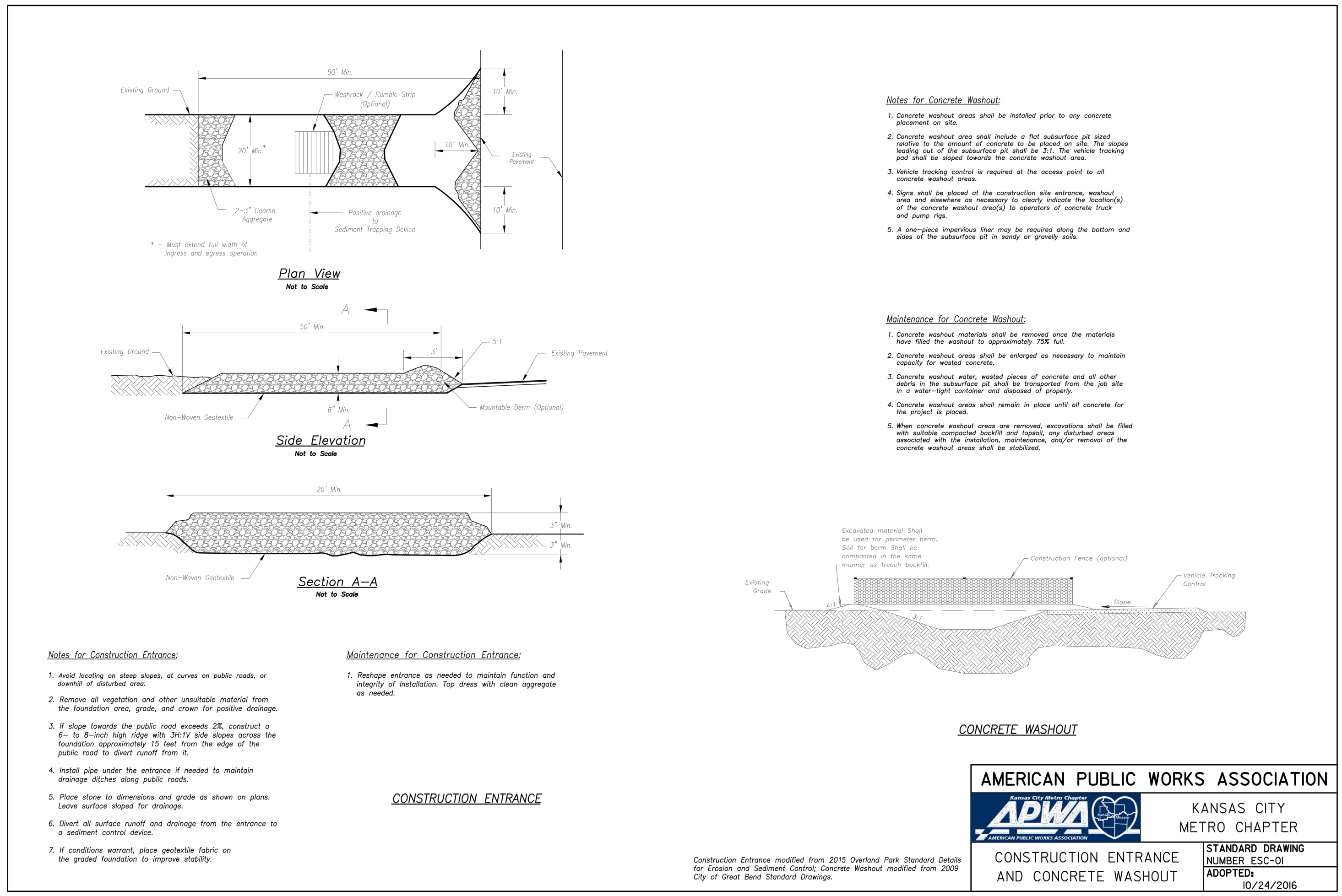
THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST

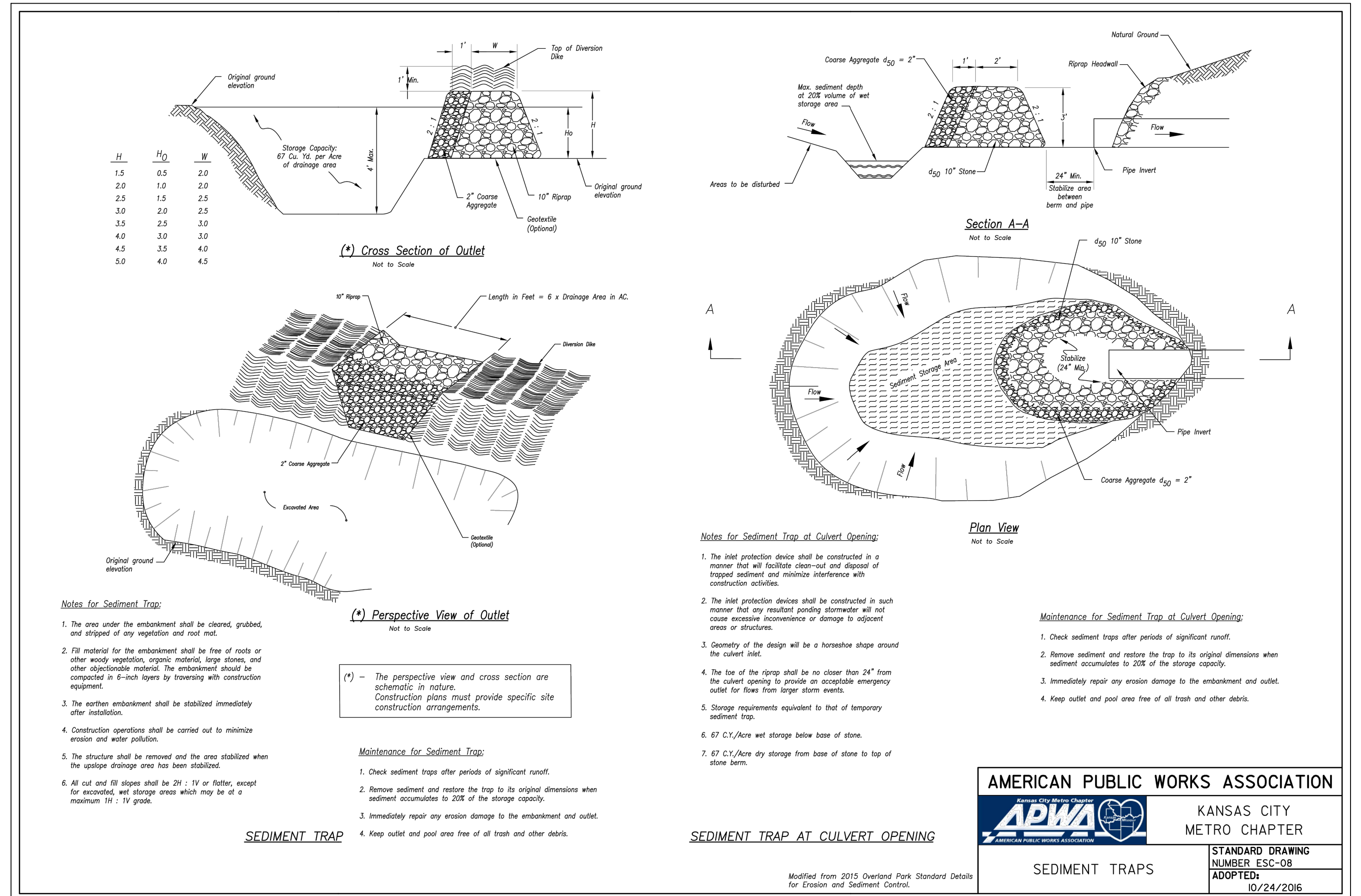
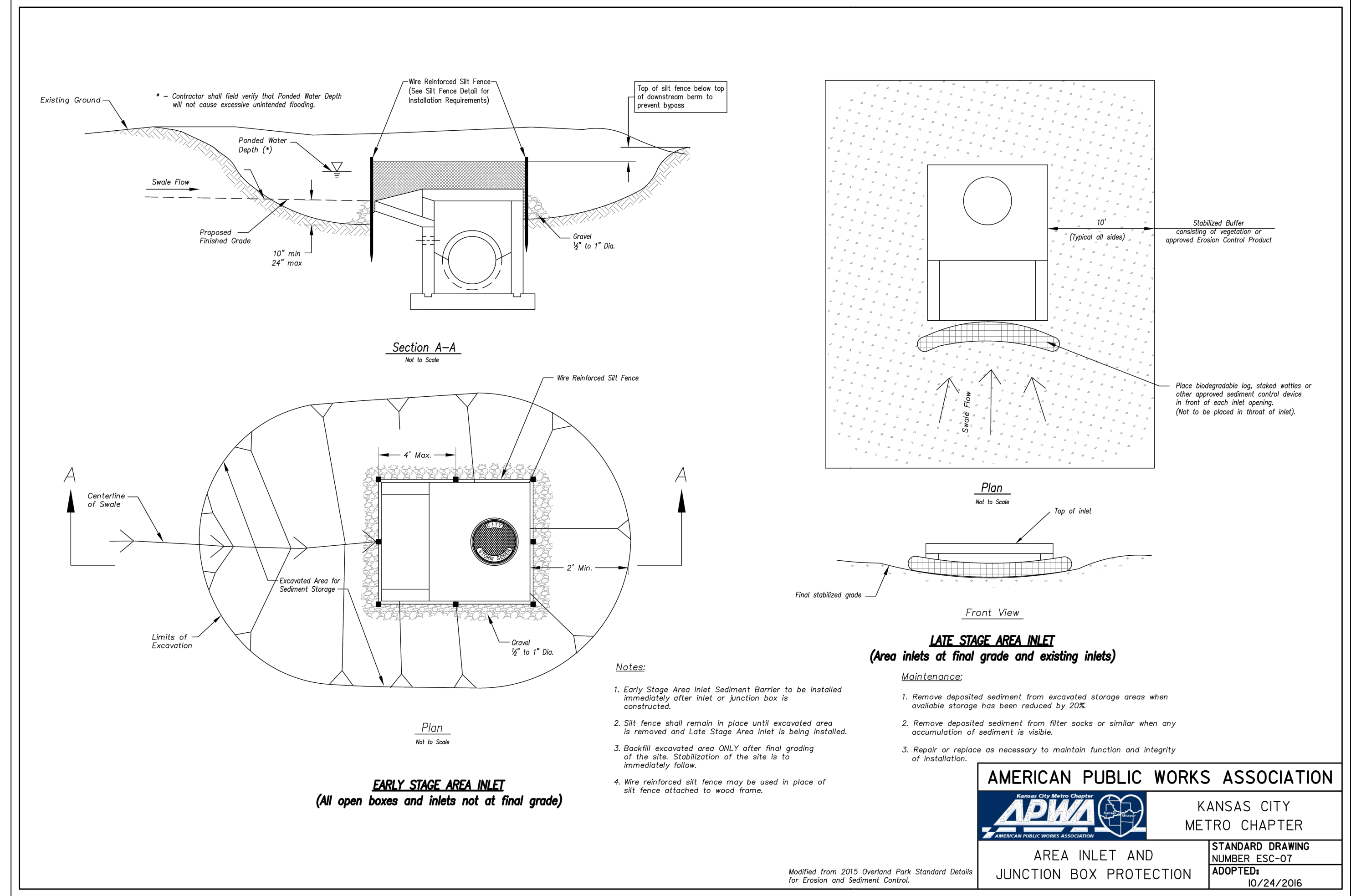
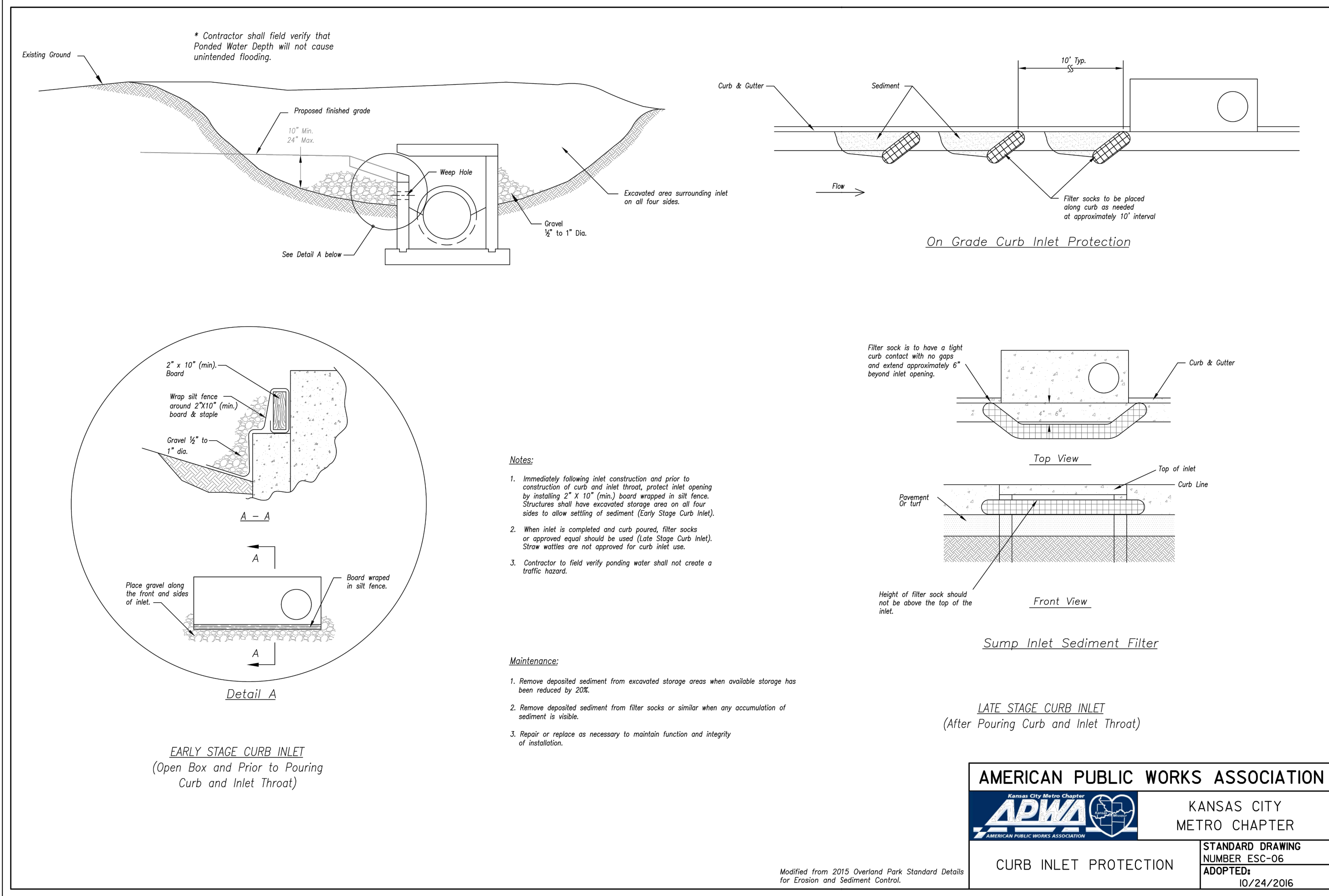
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LEE'S SUMMIT, MISSOURI

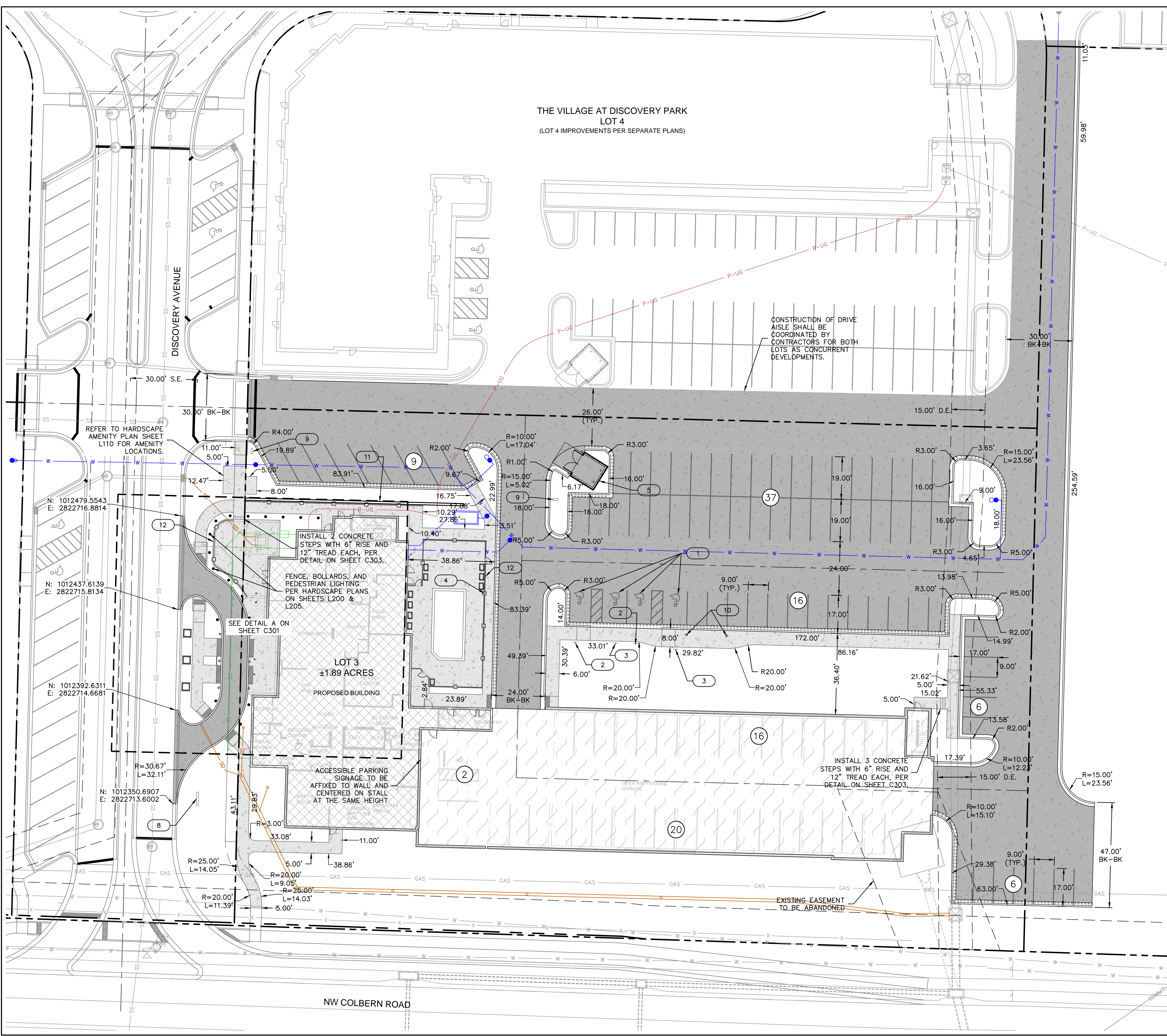
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 date: 09.27.2023

SHEET C204





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THE VILLAGE AT DISCOVERY PARK
LOT 4
 (LOT 4 IMPROVEMENTS PER SEPARATE PLANS)

- GENERAL SITE LEGEND**
 SEE SHEET C102 FOR EXISTING CONDITIONS
 LEGEND. THIS LEGEND APPLIES TO ALL SHEETS IN THIS PLAN SET. VARIANCES SHALL BE NOTED ON EACH INDIVIDUAL SHEET.
- W PROPOSED WATER
 - SS PROPOSED SANITARY
 - SD PROPOSED STORM SEWER
 - P-UG PROPOSED UNDERGROUND POWER
 - INSTALL STRAIGHT BACK "WET" CURB & GUTTER PER DETAIL ON SHEET C302
 - INSTALL STRAIGHT BACK "DRY" CURB & GUTTER PER DETAIL ON SHEET C302

- CURB ELEVATIONS SHALL TRANSITION SMOOTHLY OVER A MIN. OF 3' HORIZONTALLY. SEE GRADING PLANS FOR DETAILS AND EXCEPTIONS
- PROPOSED FULL DEPTH PCC PAVEMENT SEE SHEET C302
 - PROPOSED CONCRETE SIDEWALK PAVEMENT SEE SHEET C302
 - PROPOSED BUILDING
 - PROPOSED BUILDING GARAGE
 - DETECTABLE SURFACE
 - (X) STALL COUNT

- KEYNOTES**
- 1 PAINTED ADA SYMBOL. SEE DETAIL ON SHEET C107
 - 2 ADA PARKING SIGN PER DETAIL ON SHEET C303
 - 3 ADA PARKING SIGN WITH VAN-ACCESSIBLE SIGN PER DETAIL ON SHEET C303
 - 4 FENCING. SEE LANDSCAPE PLANS
 - 5 TRASH ENCLOSURE PER ARCHITECTURAL PLANS
 - 6 ADA SIDEWALK RAMP
 - 7 BOLLARD. SEE HARDSCAPE PLANS
 - 8 MARRIOTT MONUMENT SIGN. SEE HARDSCAPE PLANS
 - 9 DIRECTIONAL SIGN MONUMENT. SEE HARDSCAPE PLANS
 - 10 CHARGING STATION
 - 11 RETAINING WALL PER GRADING PLANS AND DETAIL ON SHEETS C401 AND C403.
 - 12 CONCRETE TURNDOWN WITH GUARD RAIL PER GRADING PLANS ON SHEETS C401 REFER TO HARDSCAPE PLANS FOR MORE DETAILS

- EASEMENT LEGEND**
- DE DRAINAGE EASEMENT
 - SE SANITARY SEWER EASEMENT

USER: aramery T_PBASE_D02104643 C_PPATTI_F2104643 C_PTBLK_F2104643 C_FRoad_D2104643 C_PBNBY_D2104643

DWG: Oct 31, 2023 5:48pm

PROJECT: PRIVATE SITE DEVELOPMENT PLANS

SHEET C300

THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST

REVISIONS

DATE: 09/27/2023

2023

DRAWN BY: DB/BM/GS/S/TW

CHECKED BY: AR/JN

APPROVED BY: DE

QA/QC BY: JS/NH

PROJECT NO.: F21-04643

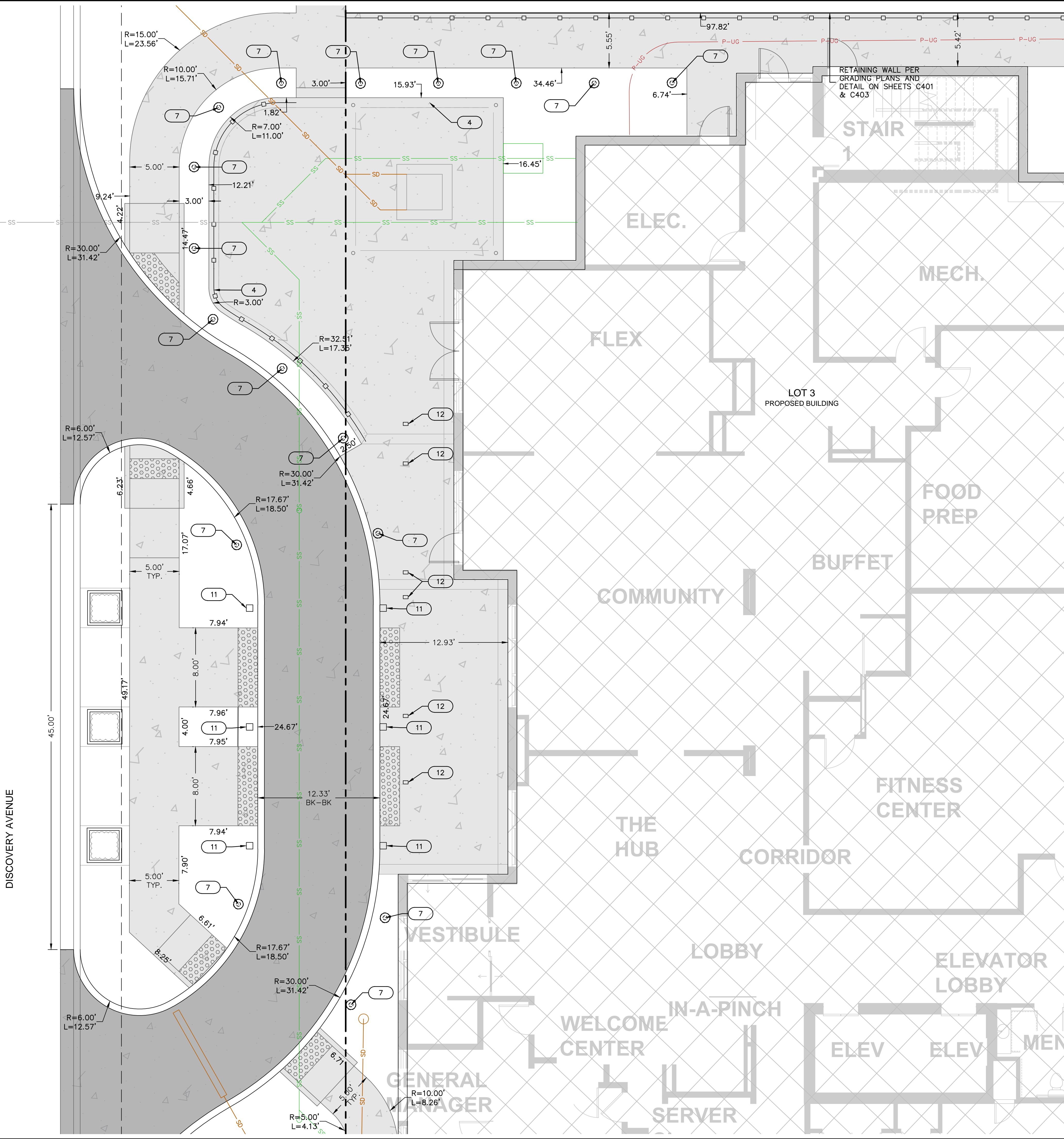
DRAWING NO.: C_SIT01_F2104643

DATE: 09/27/2023

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 USER: aremmery
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 C_PPATT_F2104643
 C_PTBLK_F2104643
 C_PUTIL_F2104643
 C_FRDAD_D2104643
 C_PBNDR_D2104643



GENERAL SITE LEGEND
 SEE SHEET C102 FOR EXISTING CONDITIONS
 LEGEND. SEE SHEET C300 FOR GENERAL SITE
 LEGEND.

- W — PROPOSED WATER
- SS — PROPOSED SANITARY
- SD — PROPOSED STORM SEWER
- P-UG — PROPOSED UNDERGROUND POWER

- INSTALL STRAIGHT BACK "WET" CURB & GUTTER PER DETAIL ON SHEET C302
- INSTALL STRAIGHT BACK "DRY" CURB & GUTTER PER DETAIL ON SHEET C302

CURB ELEVATIONS SHALL TRANSITION SMOOTHLY OVER A MIN. OF 3' HORIZONTALLY. SEE GRADING PLANS FOR DETAILS AND EXCEPTIONS

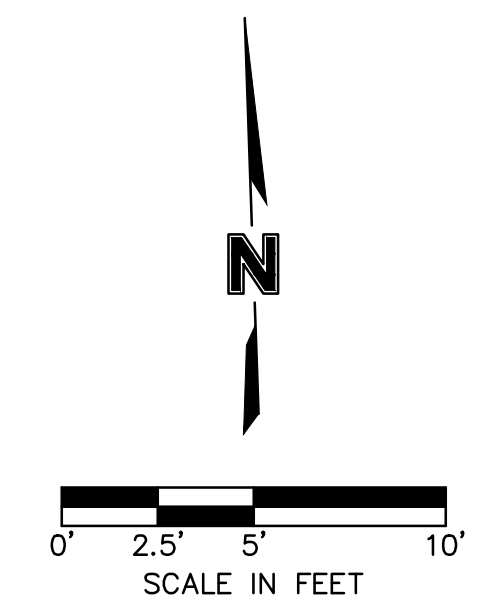
- PROPOSED FULL DEPTH PCC PAVEMENT
SEE SHEET C302
- PROPOSED CONCRETE SIDEWALK PAVEMENT
SEE SHEET C302
- PROPOSED BUILDING
- PROPOSED BUILDING GARAGE
- DETECTABLE SURFACE
- (X) STALL COUNT

KEYNOTES

- 1 PAINTED ADA SYMBOL. SEE DETAIL ON SHEET C107
- 2 ADA PARKING SIGN PER DETAIL ON SHEET C303
- 3 ADA PARKING SIGN WITH VAN-ACCESSIBLE SIGN PER DETAIL ON SHEET C303
- 4 FENCING. SEE LANDSCAPE PLANS
- 5 TRASH ENCLOSURE PER ARCHITECTURAL PLANS
- 6 ADA SIDEWALK RAMP
- 7 BOLLARD. SEE HARDSCAPE PLANS
- 8 MARRIOTT MONUMENT SIGN. SEE ARCHITECTURAL PLANS
- 9 DIRECTIONAL SIGN MONUMENT. SEE ARCHITECTURAL PLANS
- 10 CHARGING STATION
- 11 PORTE COCHERE COLUMNS. STRUCTURE PER ARCHITECTURAL PLANS
- 12 OVERHANG CANOPY COLUMNS. STRUCTURE PER ARCHITECTURAL PLANS

EASEMENT LEGEND

- DE DRAINAGE EASEMENT
- SE SANITARY SEWER EASEMENT



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STATE OF MISSOURI
 DAVID L. EICKMAN
 NUMBER PE-2009015436
 EXPIRES 09/30/2024
 PROFESSIONAL ENGINEER

DAVID EICKMAN, P.E.
 MOr 2009015436

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

REVISIONS

2023

SHEET C301

SITE PLAN (CONT'D)
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBURN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

drawn by: DB/BMG/SOS/TW
 checked by: AR/JN
 approved by: DE
 QA/QC by: JS/NH
 project no.: F21-04643
 drawing no.: C-SIT01_F2104643
 date: 09.27.2023

STRAIGHT CURB (TYPE C-1)
STRAIGHT BACK CURB & GUTTER (TYPE CG-1)
STRAIGHT BACK DRY CURB & GUTTER (TYPE CG-1 DRY)
DOWELLED CURB (TYPE DC)
ROLL BACK CURB & GUTTER (TYPE CG-2)
ROLL BACK DRY CURB & GUTTER (TYPE CG-2 DRY)
CURB & GUTTER DETAIL AT RAMP (ADA SLOPE REQUIREMENTS)
CURB REPLACEMENT DETAIL

GENERAL NOTES
 1. $\frac{3}{4}$ " ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
 3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
 4. KCMBB 4K CONCRETE SHALL BE USED FOR ALL CURB.
 5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
 6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
 7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
 8. ALL DOWELS & TIE BARS SHALL BE EPOXY COATED.

GEN-4
 STANDARD DETAILS CITY OF LEE'S SUMMIT, MO LEE'S SUMMIT, JACKSON COUNTY, MO
 PUBLIC WORKS ENGINEERING DIVISION 1230 E. GREEN STREET LEE'S SUMMIT, MO 64665

TRANSVERSE CONTRACTION JOINT
LONG CONTRACTION/CONSTRUCTION JOINT
TRANSVERSE ISOLATION JOINT
LONG CONSTRUCTION JOINT (CURB & GUTTER)

PCSP THICKNESS (FT)	DOWEL SIZE	TIE BAR SIZE	DOWEL SPACING	TIE BAR SPACING	MAX. TRANS. SPACING	MAX. LONG. SPACING
6"	N/A	#5 x 30"	N/A	30" CTRS.	12'	12'
7"	1" x 18"	#5 x 30"	12" CTRS.	30" CTRS.	14'	14'
8"	1 1/4" x 18"	#5 x 30"	12" CTRS.	30" CTRS.	15'	14'
8 1/2"	1 3/4" x 18"	#5 x 30"	12" CTRS.	30" CTRS.	15'	15'

JOINT SPACING/INTERSECTION DETAIL

GENERAL NOTES
 - THE FINAL PORTION OF ALL DOWELS AND THE BARS SHALL BE PERPENDICULAR TO THE PLANE OF THE JOINT AND PARALLEL TO THE SURFACE.
 - ALL DOWELS & TIE BARS SHALL BE EPOXY COATED.
 - DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 - TIE BARS SHALL BE PLACED AT 12 INCHES FROM TRANSVERSE JOINTS.
 - DOWEL BARS SHALL BE PLACED AT 9 INCHES FROM LONGITUDINAL JOINTS.
 - DOWEL BARS SHALL NOT BE PLACED AT 12 INCHES FROM TRANSVERSE JOINTS.
 - DOWEL BARS SHALL NOT BE PLACED AT 9 INCHES FROM LONGITUDINAL JOINTS.
 - DOWEL BARS SHALL NOT BE PLACED AT 12 INCHES FROM TRANSVERSE JOINTS.
 - DOWEL BARS SHALL NOT BE PLACED AT 9 INCHES FROM LONGITUDINAL JOINTS.
 - ALL DOWELS & TIE BARS SHALL BE EPOXY COATED.

GEN-9
 STANDARD DETAILS CITY OF LEE'S SUMMIT, MO LEE'S SUMMIT, JACKSON COUNTY, MO
 PUBLIC WORKS ENGINEERING DIVISION 1230 E. GREEN STREET LEE'S SUMMIT, MO 64665

FULL DEPTH PCC SECTION (NOT TO SCALE)
PCC SIDEWALK SECTION (NOT TO SCALE)
STANDARD CONCRETE WALK DETAIL (NOT TO SCALE)
SIDEWALK TO BUILDING SLAB CONNECTION DETAIL (NOT TO SCALE)

GENERAL NOTES
 1. 6" PORTLAND CEMENT (PCC) 4,000 PSI MIN STRENGTH WITH FIBER MESH AND PER CITY SPECIFICATION
 2. 4" CLEAN ROCK AGGREGATE BASE PER APWA SECTION 2202
 3. 9" SUBGRADE COMPACTED TO 95% MAX. DENSITY PER APWA SECTION 2201
 4. 4" PORTLAND CEMENT (PCC) 4,000 PSI MIN STRENGTH WITH FIBER MESH AND PER CITY SPECIFICATION
 5. 9" SUBGRADE COMPACTED TO 95% MAX. DENSITY PER APWA SECTION 2201

GEN-8
 STANDARD DETAILS CITY OF LEE'S SUMMIT, MO LEE'S SUMMIT, JACKSON COUNTY, MO
 PUBLIC WORKS ENGINEERING DIVISION 1230 E. GREEN STREET LEE'S SUMMIT, MO 64665

3-D VIEW TYPE M SIDEWALK/SHARED-USE RAMP
TYPE M SIDEWALK/SHARED-USE RAMP
TYPE M SIDEWALK RAMP
SIDEWALK CURB DETAIL

GENERAL NOTES
 1. CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48" WIDE.
 2. USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED THE BARS 9" IN EACH DIRECTION.
 3. ALL RAMP, SIDEWALK, SHARED-USE PATHS SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAIN WITH 4" COMPACTED CLEAN GRADED AGGREGATE BASE.
 4. LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
 5. ISOLATION JOINTS SHALL BE PLACED WHERE WALK ADJUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 100' CENTERS MAX.
 6. ADA MAXIMUM RAMP SLOPE = 8.33%
 7. ADA MAXIMUM CROSS SLOPE = 2.0%
 8. ADA EXCEPTION: WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENT OF 8.33% OR LESS, THE RAMP SHALL BE EXTENDED TO A LENGTH OF 13 FEET TO MATCH EXISTING SIDEWALK. CROSS SLOPE OF RAMP SHALL BE 1.5%, ±0.5%.
 9. TURNING SPACES SHALL BE 1.5%, ±0.5% SLOPE IN ANY DIRECTION. TURNING SPACES SHALL HAVE A MINIMUM 4' x 4' TURNING AREA. TURNING SPACES WITH A SIDEWALK CURB SHALL HAVE A 5' TURNING AREA PERPENDICULAR TO THE SIDEWALK CURB.
 10. FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR.
 11. RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK. ANY TRANSITIONS REQUIRED TO MATCH RAMP TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF ADDITIONAL SIDEWALK BEYOND THE RAMP AREA. SIDEWALK TRANSITION LENGTH SHALL BE EQUAL TO OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENDING SHALL BE A CONTINUOUS SLOPE.
 12. ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).

GEN-3B
 STANDARD DETAILS CITY OF LEE'S SUMMIT, MO LEE'S SUMMIT, JACKSON COUNTY, MO
 PUBLIC WORKS ENGINEERING DIVISION 1230 E. GREEN STREET LEE'S SUMMIT, MO 64665

SITE DETAILS (1 OF 4)
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERT RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

drawn by: DB/BM/GSS/JW
 checked by: AR/JN
 approved by: DE
 QA/QC by: JS/NH
 project no.: F21-04643
 drawing no.: C-DTL01_F2104643
 date: 09.27.2023

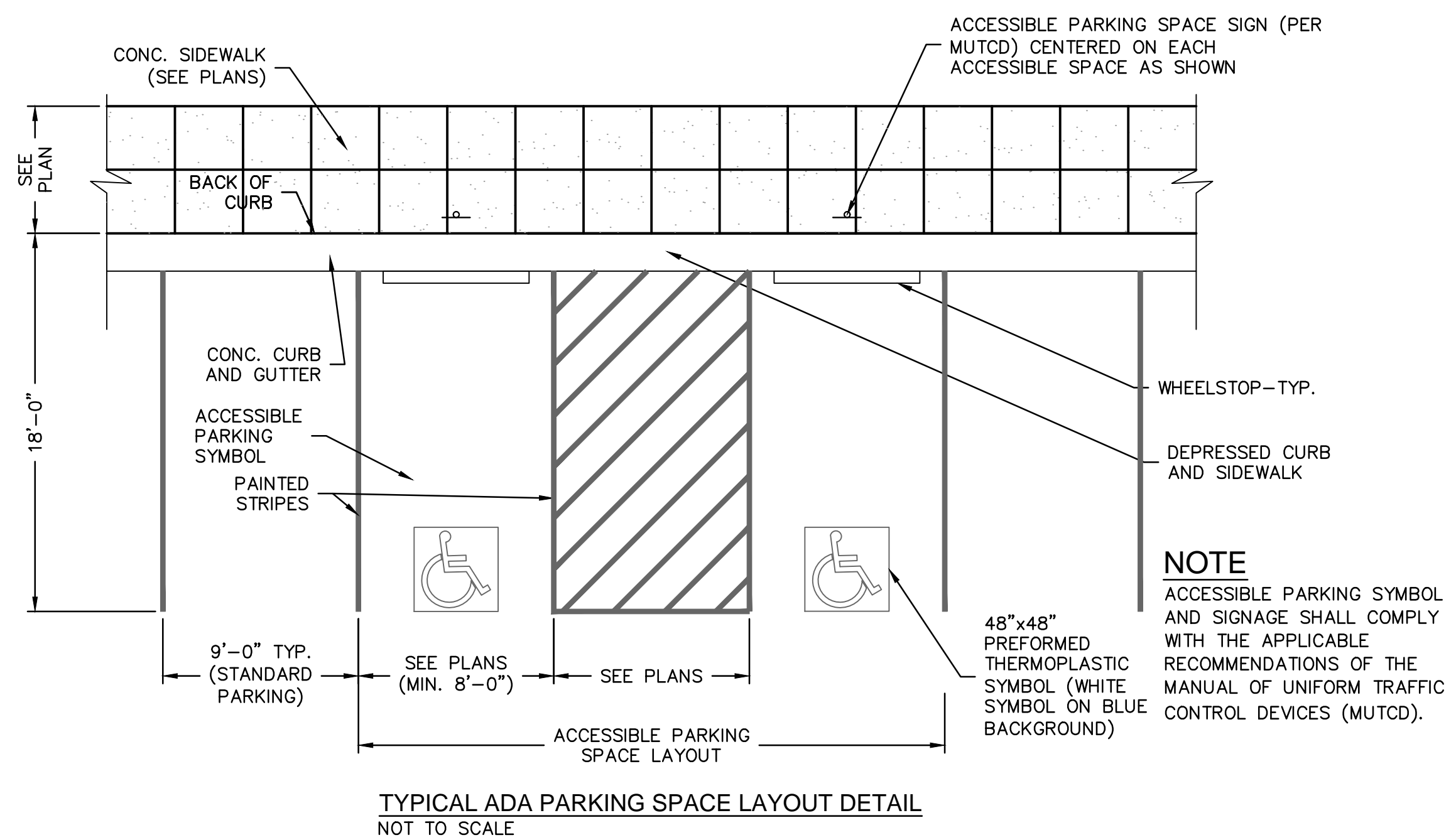
SHEET C302

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 Missouri Certification Authority #001932
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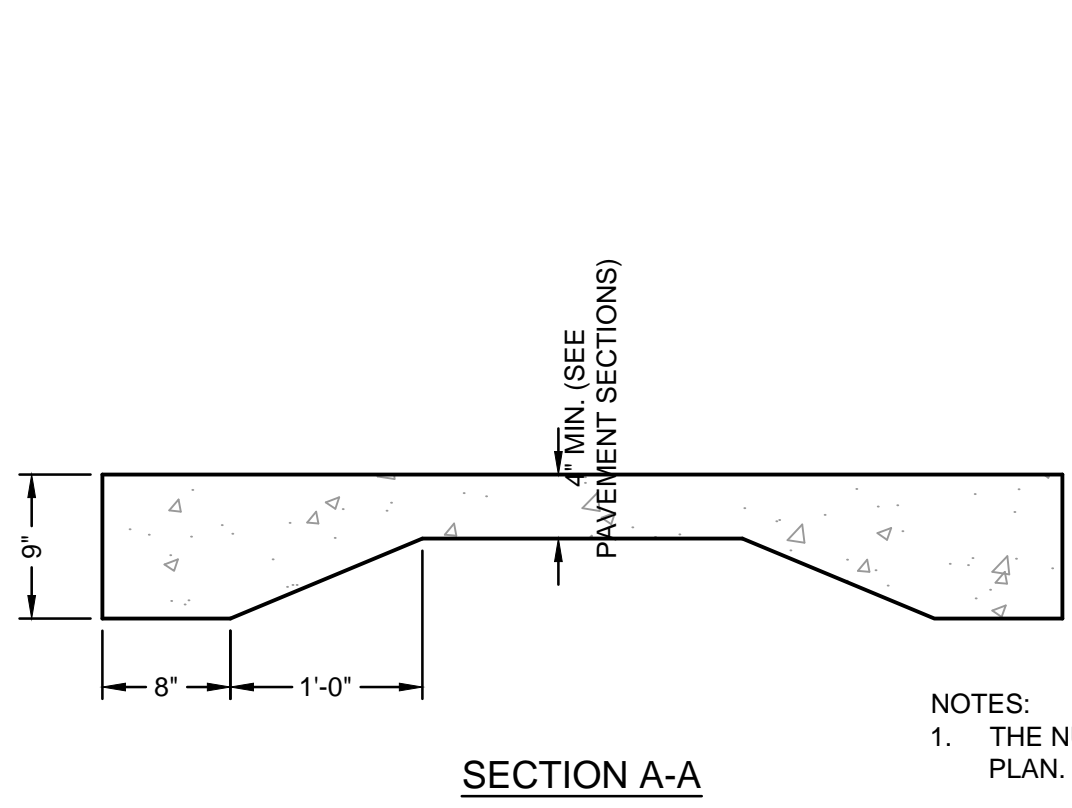
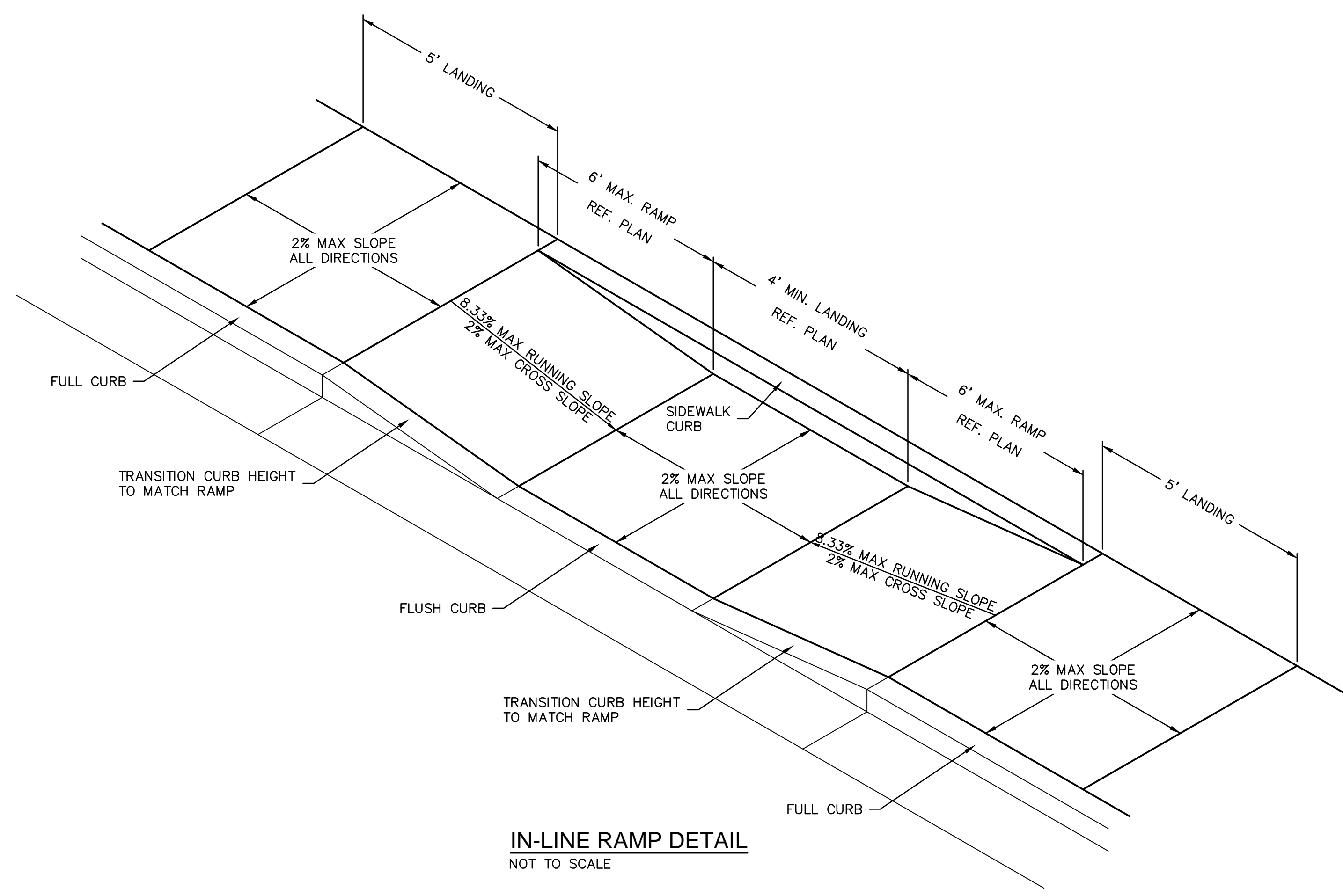
DAVID L. EICKMAN
 MISSOURI PROFESSIONAL ENGINEER
 NUMBER PE-2009915436
 DAVID EICKMAN, P.E.
 MO# 2009915436

REV. NO.	DATE	REVISIONS DESCRIPTION

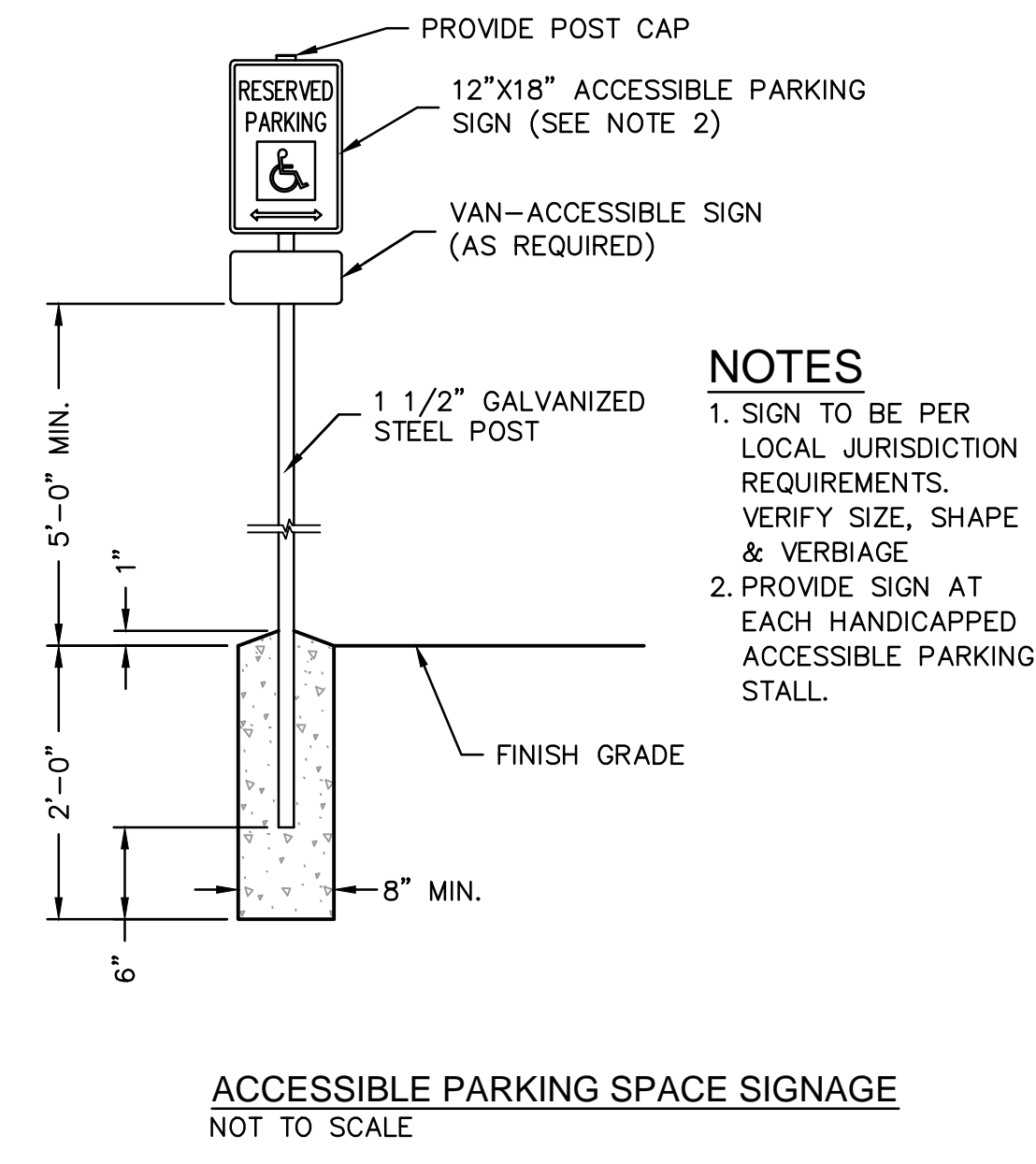
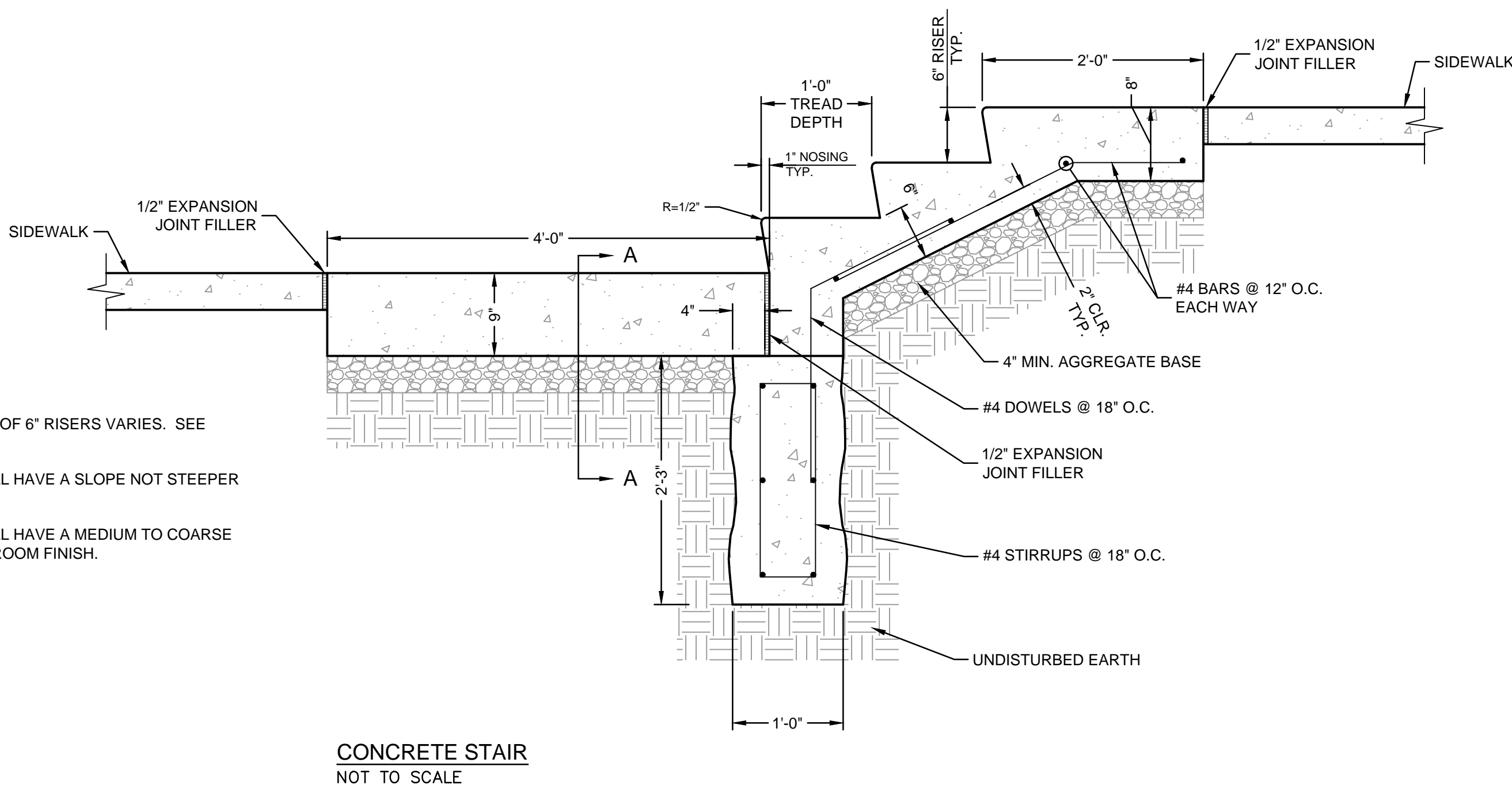
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 T_PBASE_D02104643
 C_XALTA_B2104643
 C_PBASE_F2104643
 C_PUTIL_F2104643
 C_PTBK_F2104643



NOTE
ACCESSIBLE PARKING SYMBOL AND SIGNAGE SHALL COMPLY WITH THE APPLICABLE RECOMMENDATIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



- NOTES:**
1. THE NUMBER OF 6" RISERS VARIES. SEE PLAN.
 2. TREADS SHALL HAVE A SLOPE NOT STEEPER THAN 1:48.
 3. TREADS SHALL HAVE A MEDIUM TO COARSE TEXTURED BROOM FINISH.



- NOTES**
1. SIGN TO BE PER LOCAL JURISDICTION REQUIREMENTS. VERIFY SIZE, SHAPE & VERBIAGE
 2. PROVIDE SIGN AT EACH HANDICAPPED ACCESSIBLE PARKING STALL.

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MO# 2009015436

REV. NO.	DATE	REVISIONS DESCRIPTION

BY

REVISIONS

SITE DETAILS (2 OF 4)

PRIVATE SITE DEVELOPMENT PLANS

THE VILLAGE AT DISCOVERY PARK LOT 3

NW COLBURN RD & NE DOUGLAS ST

LEE'S SUMMIT, MISSOURI

2023

drawn by: DB/BM/GS/S/TW

checked by: AR/JN

approved by: DE

QA/QC by: JS/NH

project no.: F21-04643

drawing no.: C-DTL01_F2104843

date: 09.27.2023

SHEET

C303

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NON TRAFFIC INSTALLATION

DRAIN BASIN

INLINE DRAIN

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

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	DATE: 9-30-99			
	REVISED BY: NMH	PROJECT NO./NAME:	TITLE: DRAIN BASIN & INLINE DRAIN NON TRAFFIC INSTALLATION	
	DATE: 05-11-16			
DWG SIZE: A	SCALE: 1:25	SHEET: 1 OF 1	DWG NO.: 7001-110-111	REV: F

NYLOPLAST 18" DRAIN BASIN: 2818AG __ X

TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS. SEE DRAWING NO. 7001-110-111 FOR NON TRAFFIC INSTALLATION.

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	DATE: 04-03-96			
	REVISED BY: NMH	PROJECT NO./NAME:	TITLE: 18 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL	
	DATE: 03-14-16			
DWG SIZE: A	SCALE: 1:30	SHEET: 1 OF 1	DWG NO.: 7001-110-191	REV: E

REQUIRED CONCRETE BEARING AREA (SQUARE FEET - SF)

NOM. DIA. (INCHES)	180 TEE, PLUG	90 BEND	45 BEND	22.5 BEND	11.25 BEND
6	4.7	6.7	4.0	4.0	4.0
8	8.4	11.8	6.4	4.0	4.0
10	13.1	18.5	10.0	5.1	4.0
12	18.8	26.7	14.4	7.4	4.0
14	25.7	36.3	19.6	10.0	5.0
16	33.5	47.4	25.6	13.1	6.6
18	42.4	REST. JT.	32.5	16.5	8.3
20	REST. JT.	REST. JT.	40.1	20.4	10.3
24	REST. JT.	REST. JT.	REST. JT.	29.4	14.8

NOTES:
1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.
2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
3. BEARING AREA MUST BE AGAINST UNDISTURBED SOIL.
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

LEE'S SUMMIT MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

WAT-1

DATE: 01/2016
Drawn By: JN
Checked By: DL

NYLOPLAST 2 FT X 3 FT CURB INLET STRUCTURE: 30 __ AGR __ X

TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS.

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	DATE: 03-22-10			
	REVISED BY: NMH	PROJECT NO./NAME:	TITLE: DRAIN BASIN WITH 2 FT X 3 FT CURB INLET QUICK SPEC INSTALLATION DETAIL	
	DATE: 07-22-19			
DWG SIZE: A	SCALE: 1:40	SHEET: 1 OF 1	DWG NO.: 7003-119-467	REV: D

NYLOPLAST INLINE DRAIN WITH DOME GRATE

TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS.

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	DATE: 03-25-10			
	REVISED BY: NMH	PROJECT NO./NAME:	TITLE: INLINE DRAIN WITH DOME GRATE QUICK SPEC INSTALLATION DETAIL	
	DATE: 03-15-16			
DWG SIZE: A	SCALE: 1:40	SHEET: 1 OF 1	DWG NO.: 7003-119-467	REV: D

REQUIRED CONCRETE VOLUME (CUBIC FEET - CF)

NOM. DIA. (INCHES)	180 TEE, PLUG	90 BEND	45 BEND	22.5 BEND	11.25 BEND
6	50.5	71.4	38.6	19.7	9.9
8	89.8	126.9	68.7	35.0	17.6
10	140.2	198.3	107.3	54.7	27.5
12	202.0	REST. JT.	154.6	78.8	39.6
14	REST. JT.	REST. JT.	210.4	107.3	53.9
16	REST. JT.	REST. JT.	REST. JT.	140.1	70.4
18	REST. JT.	REST. JT.	REST. JT.	177.3	89.1
20	REST. JT.	REST. JT.	REST. JT.	REST. JT.	110.0
24	REST. JT.	REST. JT.	REST. JT.	REST. JT.	158.4

NOTES:
1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.
2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
3. BEARING MUST BE AGAINST UNDISTURBED SOIL.
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

LEE'S SUMMIT MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

WAT-2

DATE: WAT-2
Drawn By: JN
Checked By: DL

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Missouri Certification of Authority #061892
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STATE OF MISSOURI
DAVID L. EICKMAN
NUMBER PE-2009015436
10/2/23
PROFESSIONAL ENGINEER

DAVID EICKMAN, P.E.
MO# 2009015436

BY: _____
REVISIONS DESCRIPTION
DATE
REV. NO.

2023

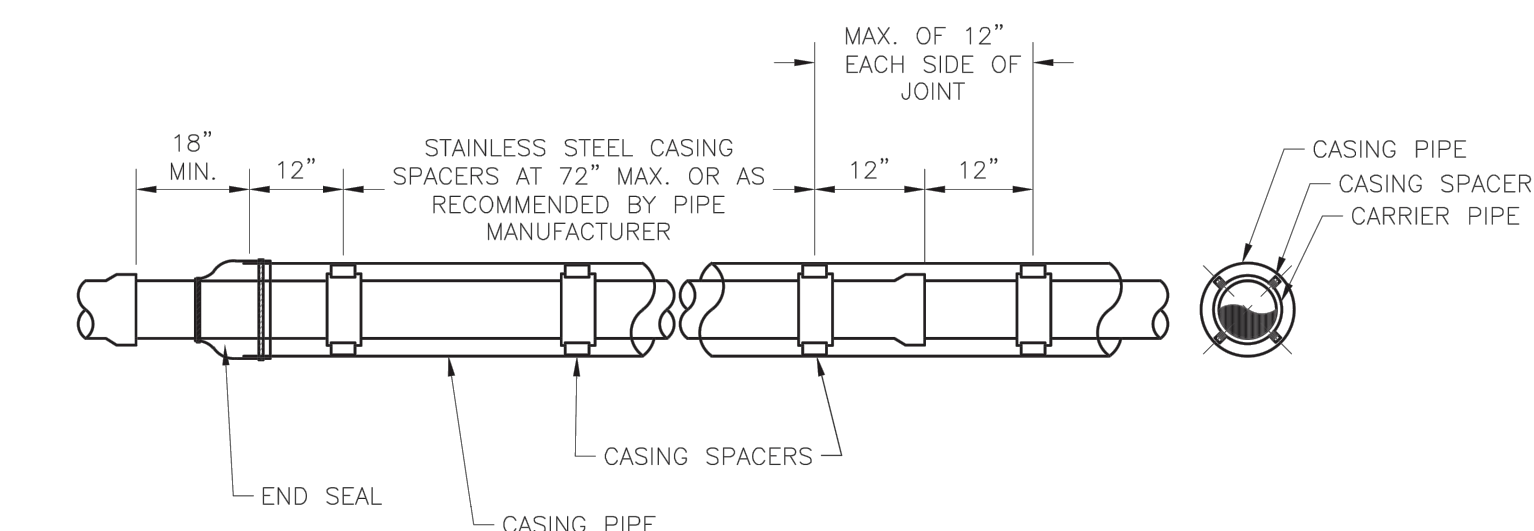
SITE DETAILS (3 OF 4)
PRIVATE SITE DEVELOPMENT PLANS
THE VILLAGE AT DISCOVERY PARK LOT 3
NW COLBERN RD & NE DOUGLAS ST
LEE'S SUMMIT, MISSOURI

drawn by: **DB/BMG/SJS/TW**
checked by: **AR/JN**
approved by: **DE**
QA/QC by: **JSN/H**
project no.: **F21-04643**
drawing no.: **C_DTL01_F2104643**
date: **09.27.2023**

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

WAT-2

SHEET
C304

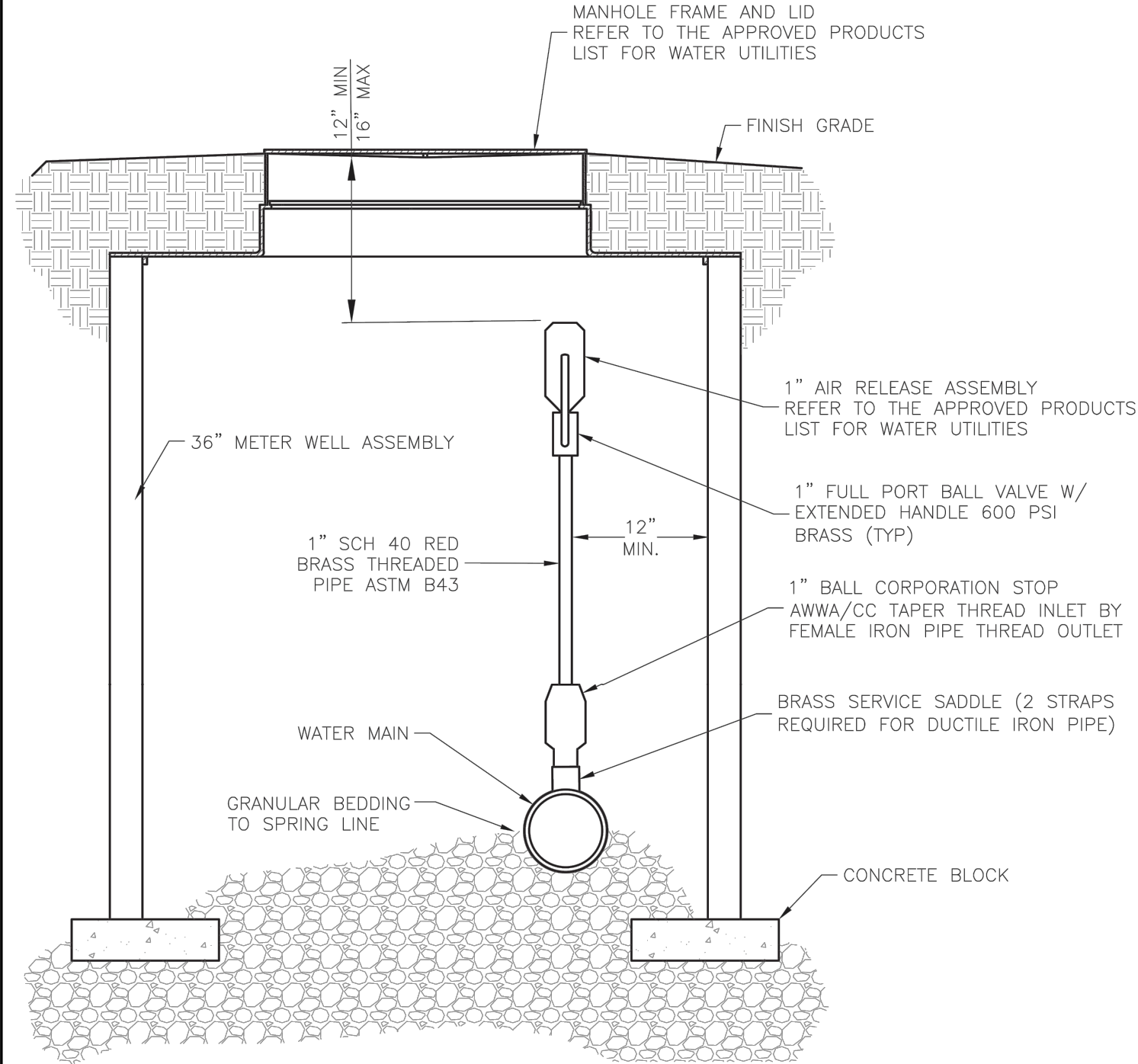
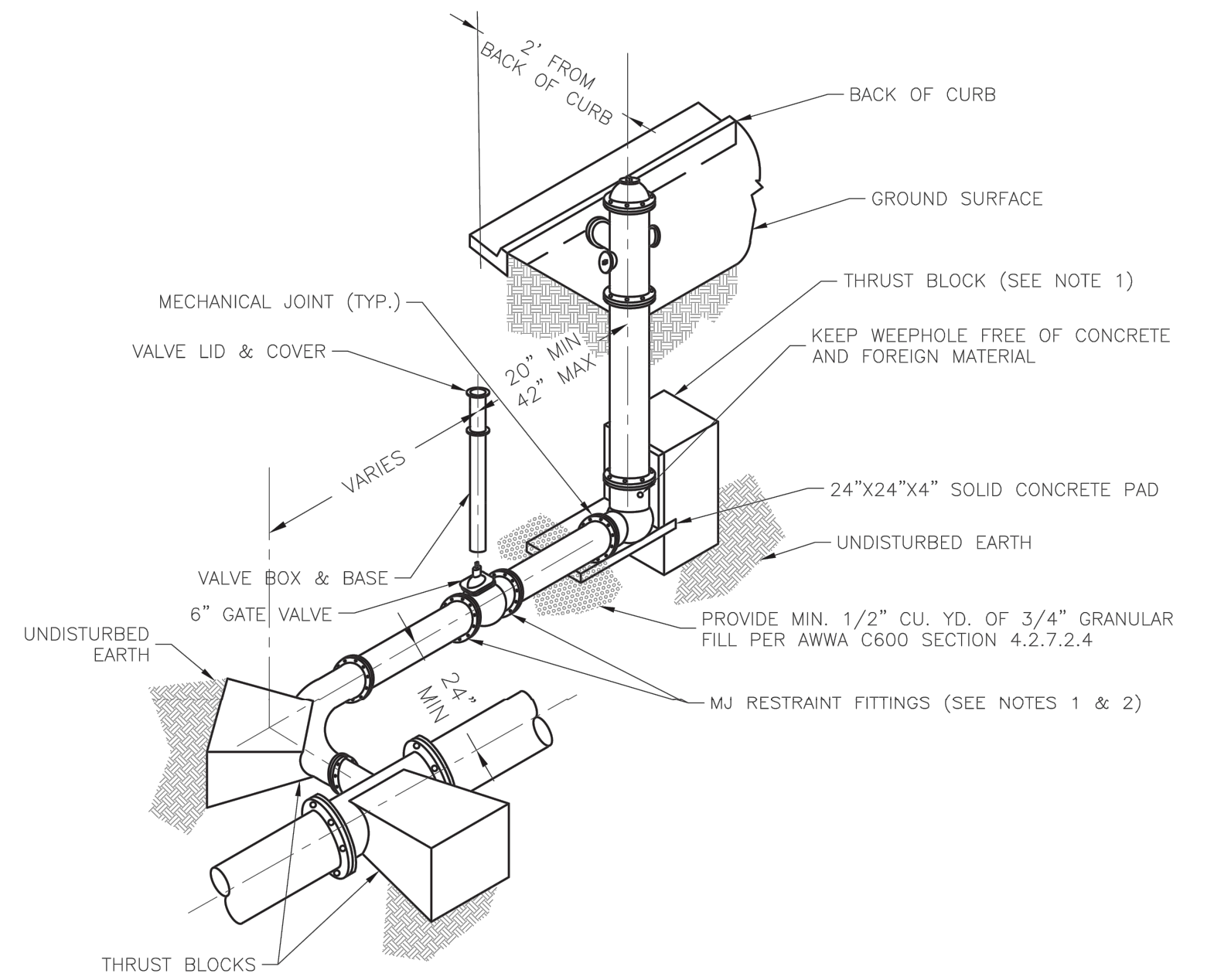


- NOTES:
 1. REFER TO SPECIFICATION SECTION 3900 FOR ADDITIONAL INFORMATION.
 2. LENGTH, DIAMETER, AND WALL THICKNESS TO BE SHOWN ON CONSTRUCTION PLANS.

LS	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 01/2016
		Drawn By: JN
		Checked By: DL
WATER CASING PIPE DETAIL		WAT-5

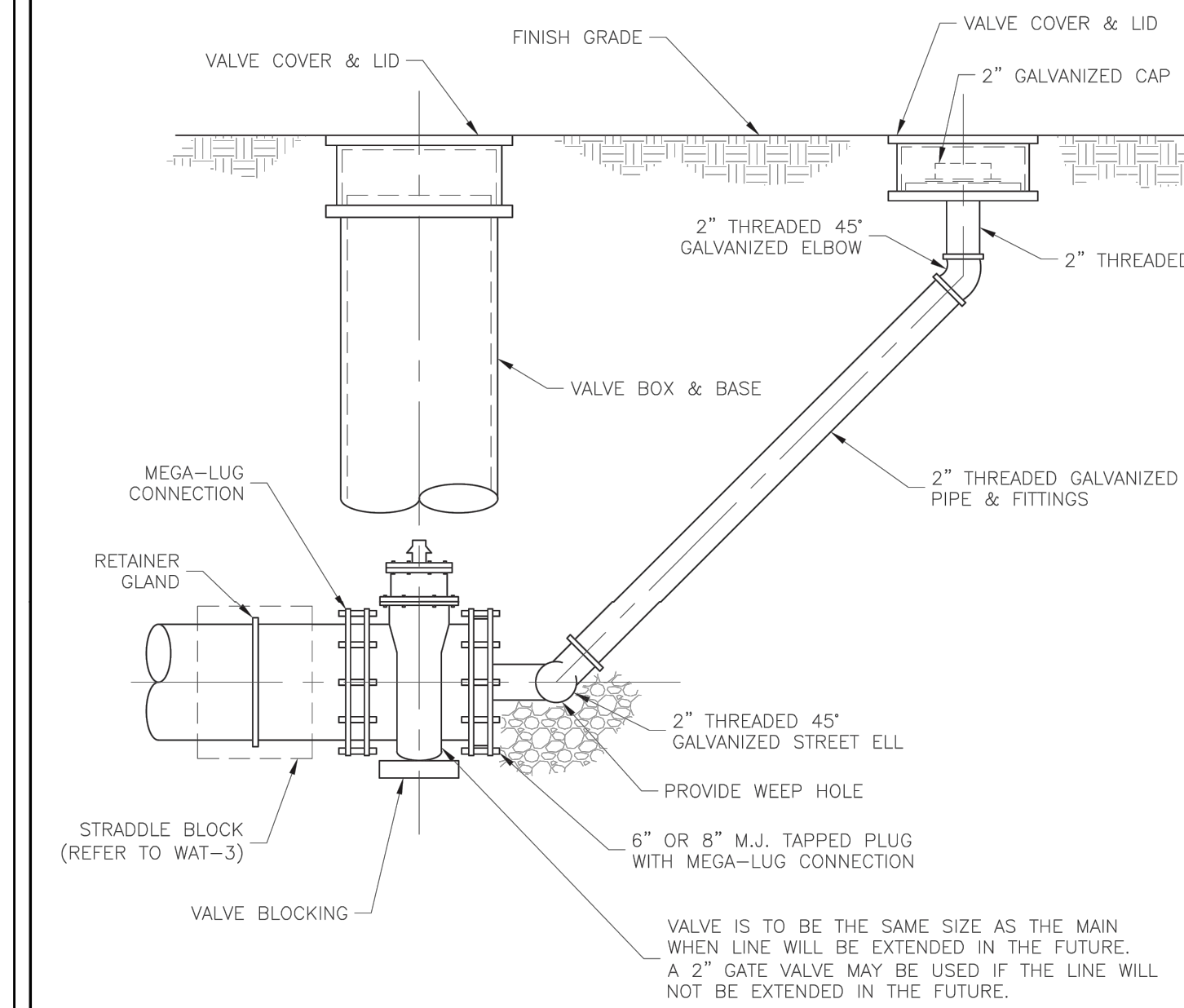
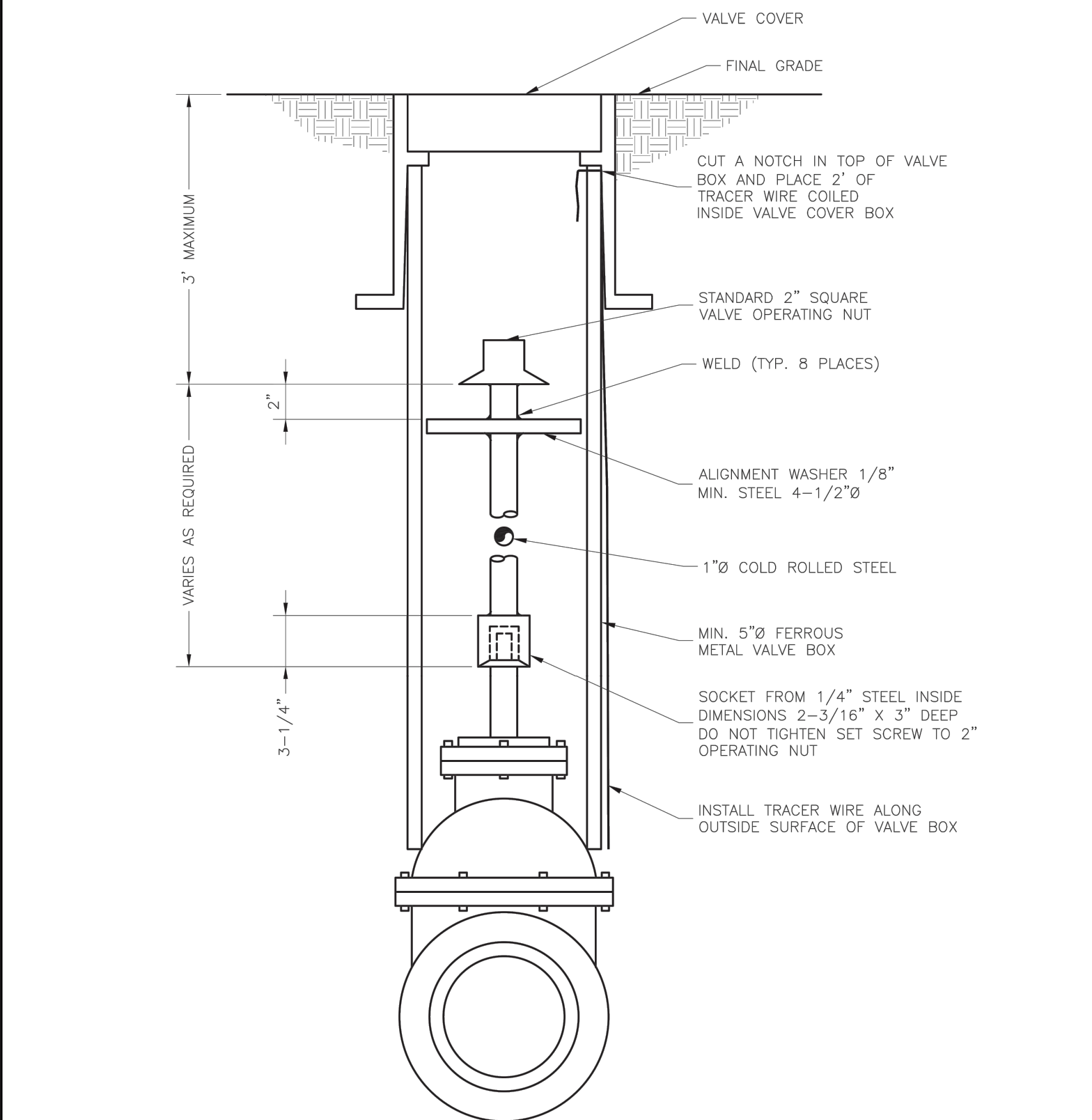
- NOTES:
 1. WHEN RETAINER GLANDS ARE USED IN LIEU OF MECHANICAL JOINT (MJ) RESTRAINT FITTINGS, HORIZONTAL THRUST BLOCKS ARE REQUIRED.
 2. GATE VALVE MAY BE BOLTED DIRECTLY TO MJ RESTRAINT TEE.
 3. SEE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR FIRE HYDRANT, VALVES, VALVE BOX LID, AND COVER.
 4. BOTTOM HYDRANT FLANGE SHALL BE 2" TO 6" ABOVE FINISHED GRADE.
 5. FOR STREETS WITHOUT CURBS FIRE HYDRANTS SHALL BE PLACED WITHIN 1 FOOT OF THE R/W LINE, BUT NOT MORE THAN 10" FROM EDGE OF PAVEMENT. FIRE HYDRANT SHALL NOT BE PLACED IN BOTTOM OF DITCH.
 6. HYDRANT SHALL BE ROTATED AS DIRECTED BY INSPECTOR.

LS	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 01/2016
		Drawn By: JN
		Checked By: DL
HYDRANT WITH 90 DEGREE BEND		WAT-8



LS	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 01/2014
		Drawn By: JN
		Checked By: DL
AIR RELEASE ASSEMBLY		WAT-10

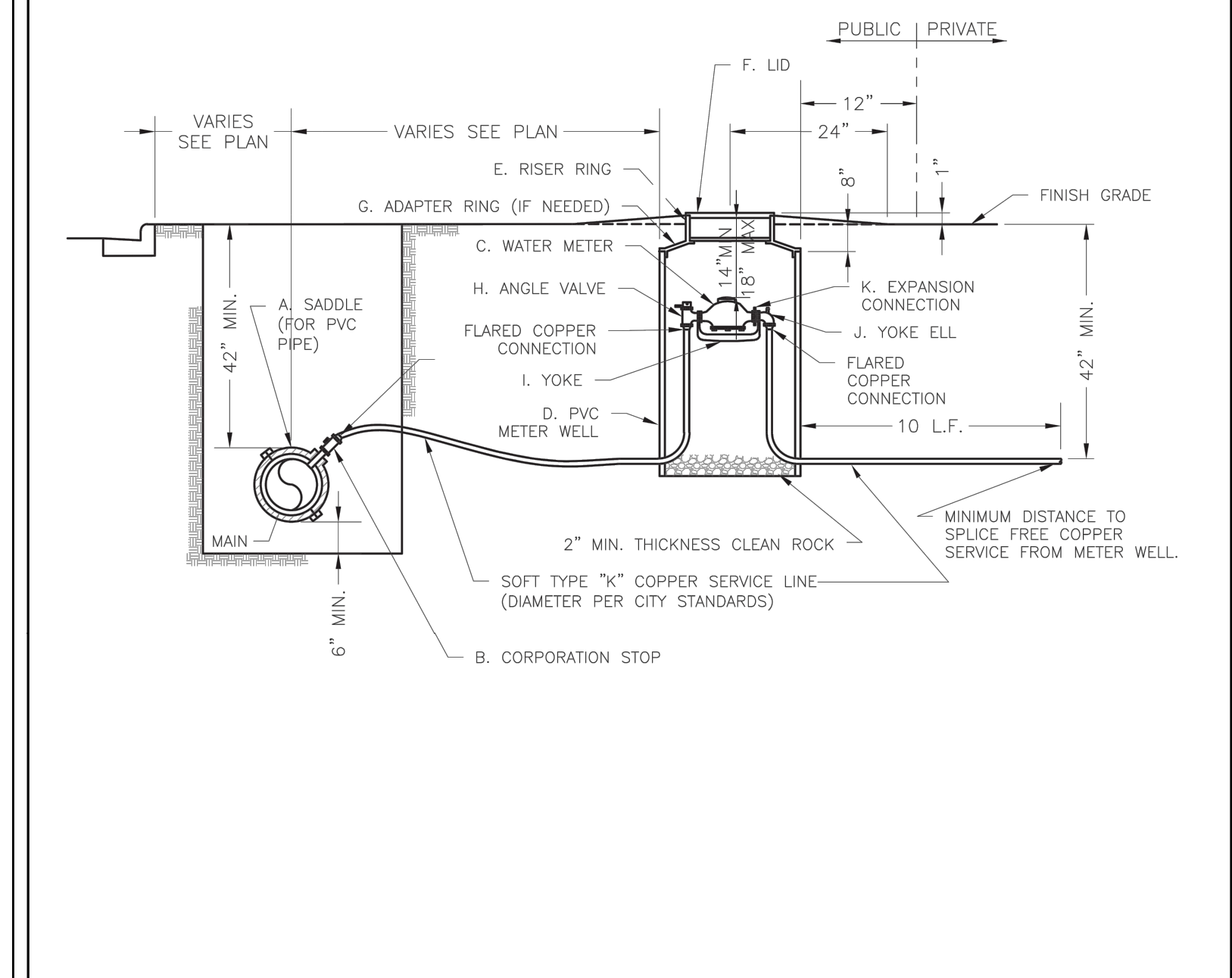
LS	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 01/2016
		Drawn By: JN
		Checked By: DL
VALVE STEM EXTENSION AND VALVE BOX		WAT-9



LS	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 01/2016
		Drawn By: JN
		Checked By: DL
BLOWOFF ASSEMBLY		WAT-13

- NOTES:
 1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
 2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
 3. CITY TO FURNISH ITEMS A-K.
 4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
 5. 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
 6. EXCAVATION FOR TAP TO EXPOSE 4' LINEAR FEET OF MAIN.
 7. NO SPLICES ALLOWED BETWEEN METER AND MAIN.
 8. SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
 9. LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
 10. CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"

LS	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 06/2015
		Drawn By: JN
		Checked By: DL
SERVICE CONNECTION WITH METER WELL		WAT-11



SITE DETAILS (4 OF 4)
PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBURN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

drawn by:	DB/BM/GS/S/TW
checked by:	AR/JN
approved by:	DE
QA/QC by:	JSNH
project no.:	F21-04643
drawing no.:	C_DTL01_F2104643
date:	09.27.2023

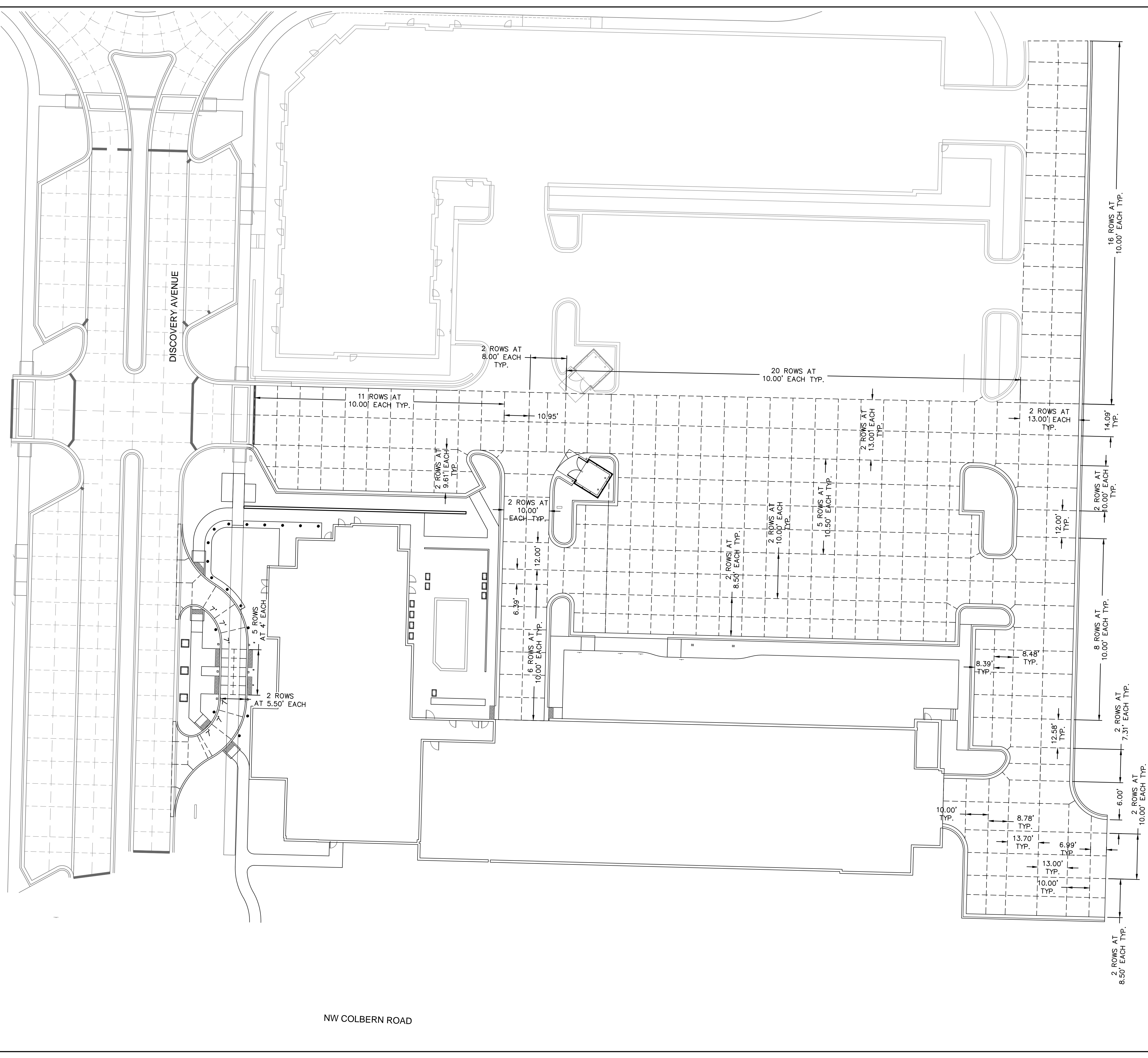
SHEET C305

BY	
REVISIONS DESCRIPTION	
DATE	
REV. NO.	

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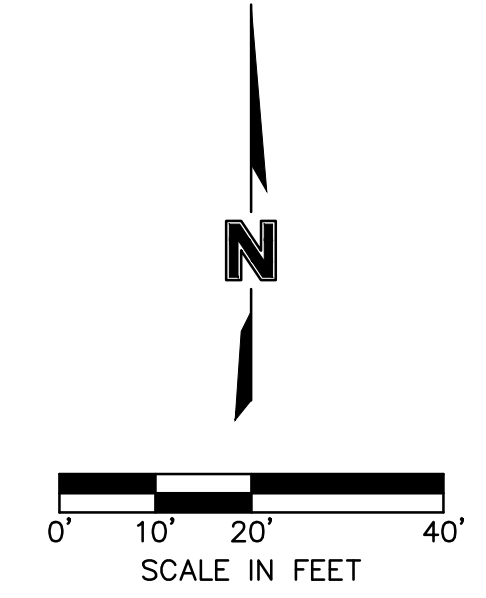
STATE OF MISSOURI
 DAVID L. EICKMAN
 PROFESSIONAL ENGINEER
 NUMBER PE-2009015436
 DATE 09/27/23
 DAVID EICKMAN, P.E.
 MO# 2009015436

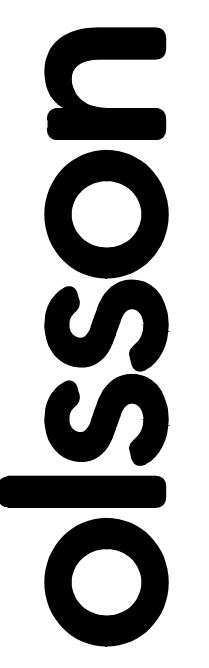
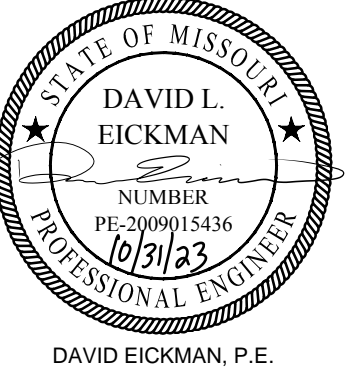
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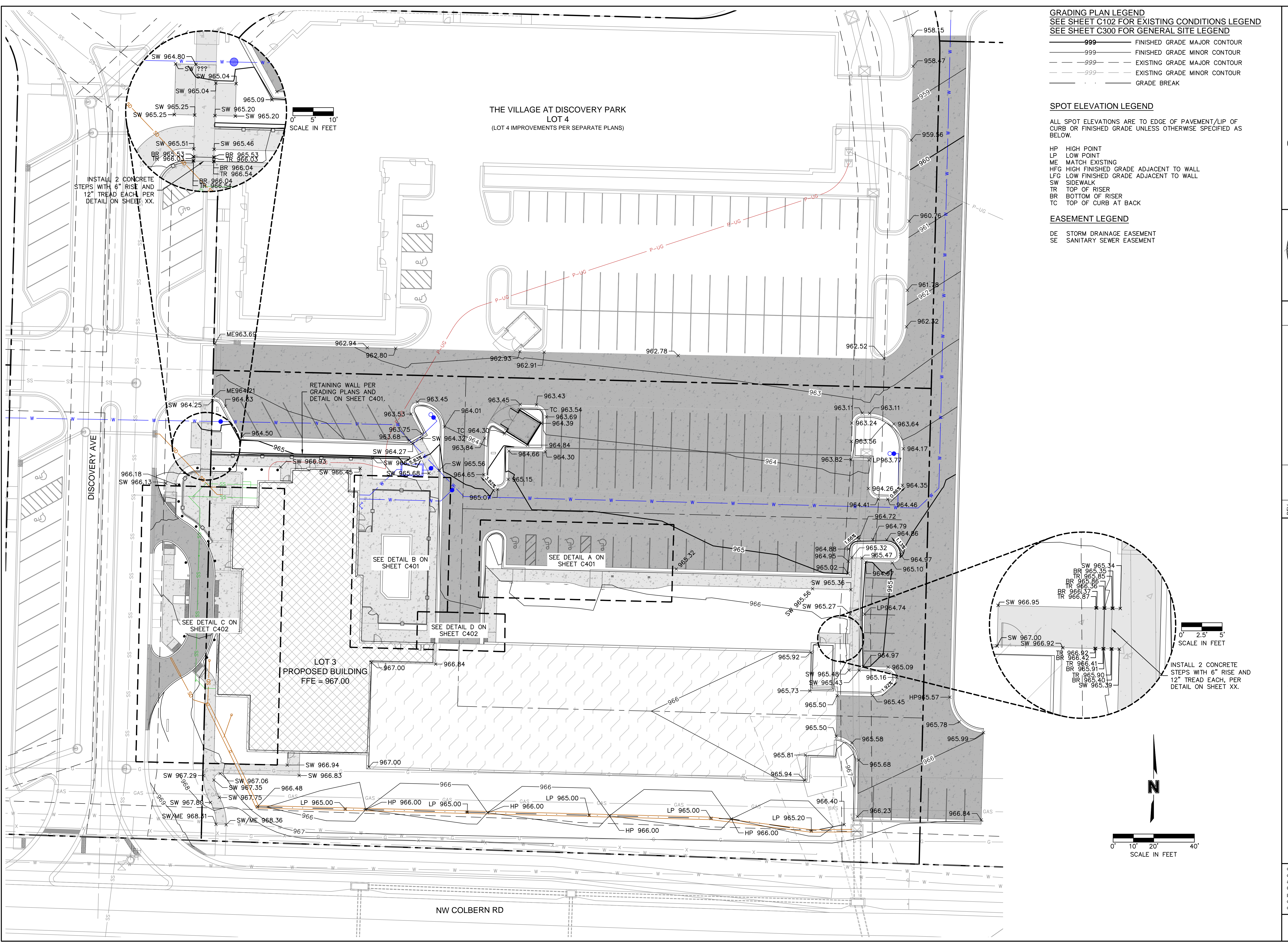
JOINT PLAN LEGEND
 SEE SHEET C102 FOR EXISTING CONDITIONS
 LEGEND. THIS LEGEND APPLIES TO ALL SHEETS IN THIS PLAN SET. VARIANCES SHALL BE NOTED ON EACH INDIVIDUAL SHEET.

----- EXISTING JOINTS
 - - - - - PROPOSED JOINTS



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BY		REVISIONS DESCRIPTION	
DATE			
REV. NO.			
JOINTING PLAN PRIVATE SITE DEVELOPMENT PLANS THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST LEE'S SUMMIT, MISSOURI		2023	
drawn by:	DB/BM/GS/S/TW	checked by:	AR/JN
approved by:	DE	QA/QC by:	JS/NH
project no.:	F21-04643	drawing no.:	C_INT01_F2104643
date:	09.27.2023		
SHEET C306			

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C:\PPATTI_F2104643
C:\PBASE_F2104643
C:\PBANDY_D2104643



GRADING PLAN LEGEND
SEE SHEET C102 FOR EXISTING CONDITIONS LEGEND
SEE SHEET C300 FOR GENERAL SITE LEGEND

- 999 FINISHED GRADE MAJOR CONTOUR
- 999 FINISHED GRADE MINOR CONTOUR
- EXISTING GRADE MAJOR CONTOUR
- EXISTING GRADE MINOR CONTOUR
- GRADE BREAK

SPOT ELEVATION LEGEND

ALL SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT/LIP OF CURB OR FINISHED GRADE UNLESS OTHERWISE SPECIFIED AS BELOW.

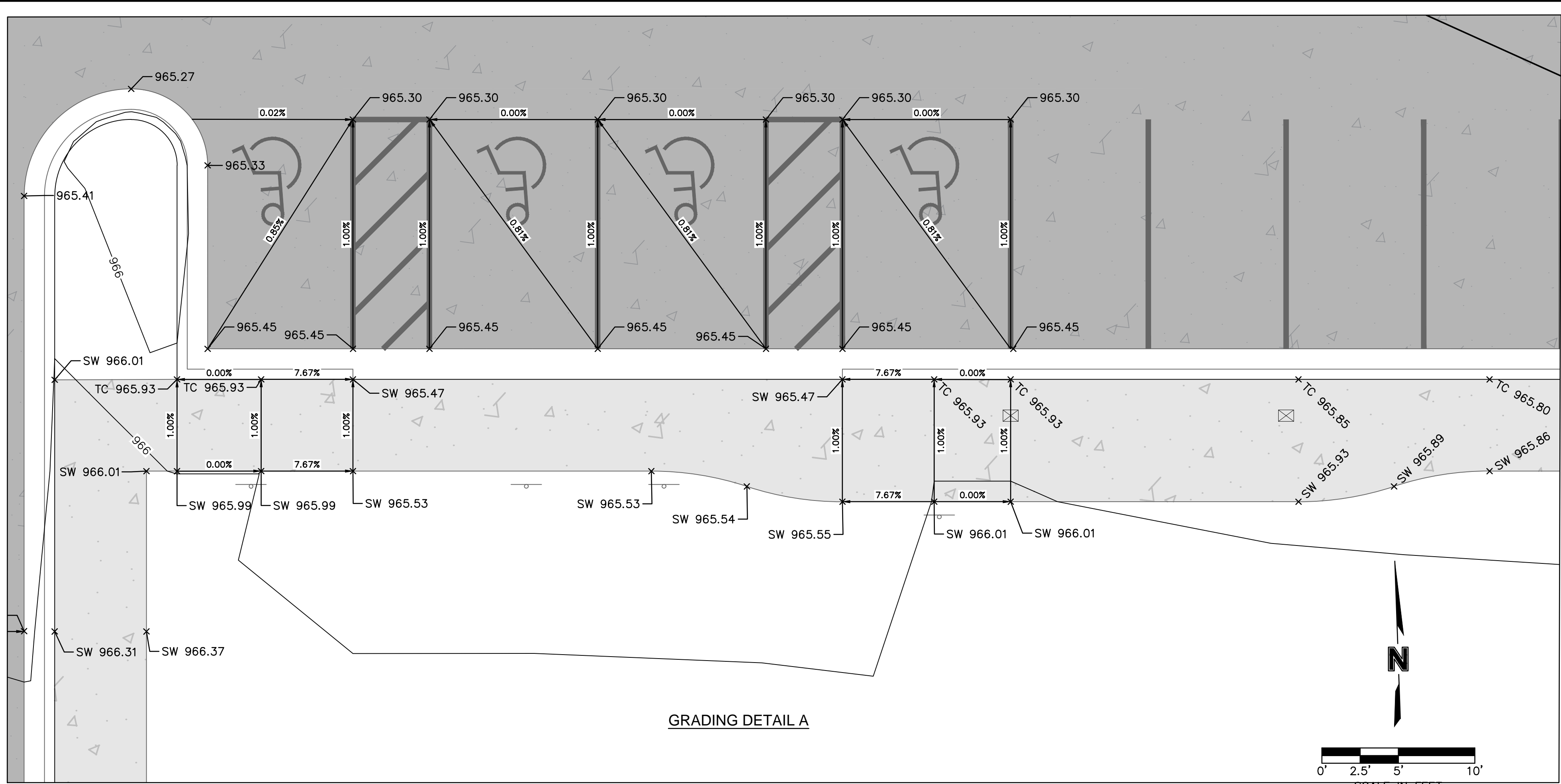
- HP HIGH POINT
- LP LOW POINT
- ME MATCH EXISTING
- HFG HIGH FINISHED GRADE ADJACENT TO WALL
- LFG LOW FINISHED GRADE ADJACENT TO WALL
- SW SIDEWALK
- TR TOP OF RISER
- BR BOTTOM OF RISER
- TC TOP OF CURB AT BACK

EASEMENT LEGEND

- DE STORM DRAINAGE EASEMENT
- SE SANITARY SEWER EASEMENT

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		REVISIONS DESCRIPTION	
		DATE	
		REV. NO.	
GRADING PLAN PRIVATE SITE DEVELOPMENT PLANS THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST LEE'S SUMMIT, MISSOURI		2023	
drawn by: DB/BM/GS/S/TW	checked by: AR/JN	approved by: DE	QA/QC by: JS/NH
project no.: F21-04643	drawing no.: C_GRD01_F2104643	date: 09.27.2023	
SHEET C400			

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GRADING PLAN LEGEND
 SEE SHEET C102 FOR EXISTING CONDITIONS LEGEND
 SEE SHEET C300 FOR GENERAL SITE LEGEND

- 999 — FINISHED GRADE MAJOR CONTOUR
- 999 — FINISHED GRADE MINOR CONTOUR
- - - 999 - - - EXISTING GRADE MAJOR CONTOUR
- - - 999 - - - EXISTING GRADE MINOR CONTOUR
- — — — — GRADE BREAK

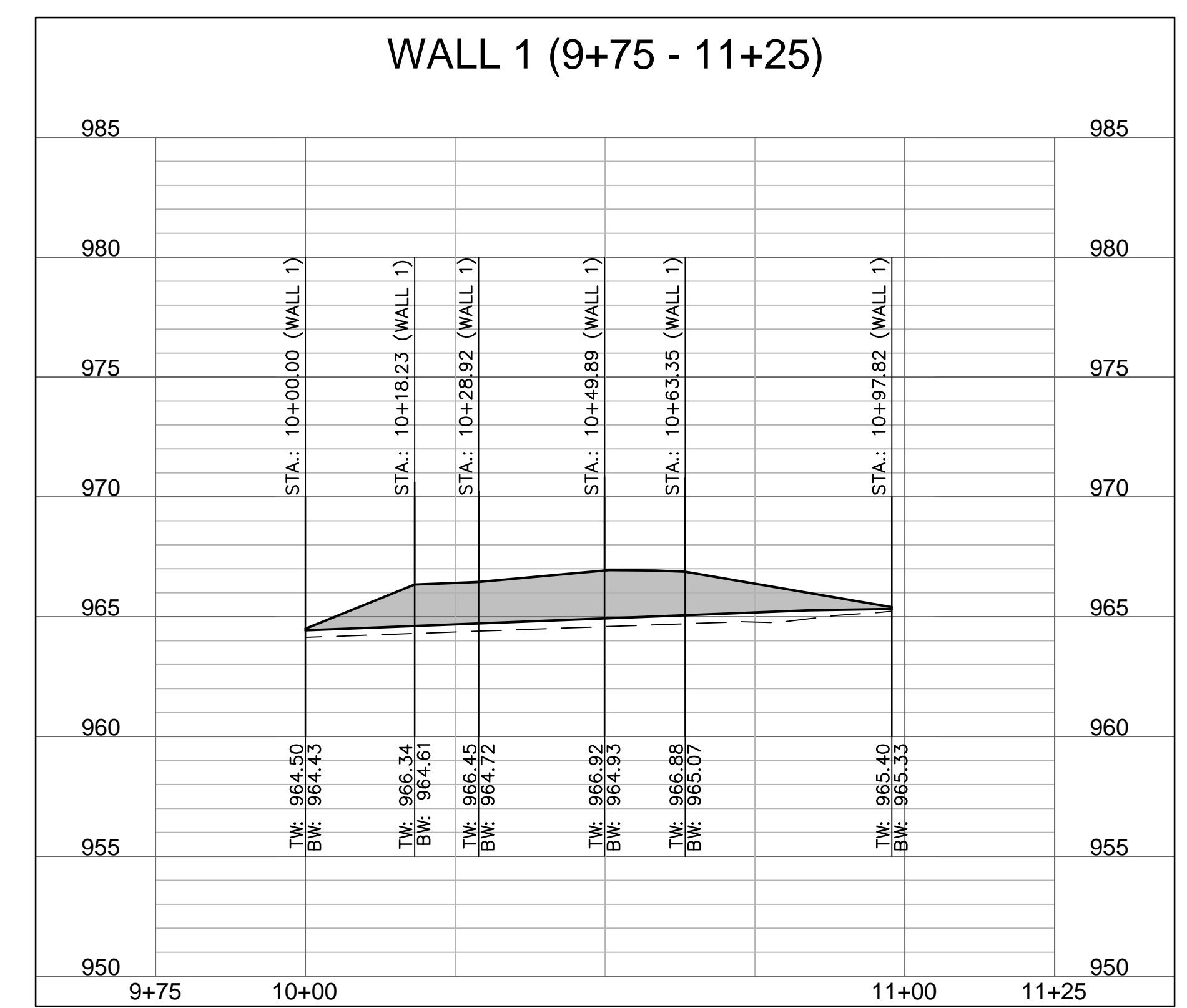
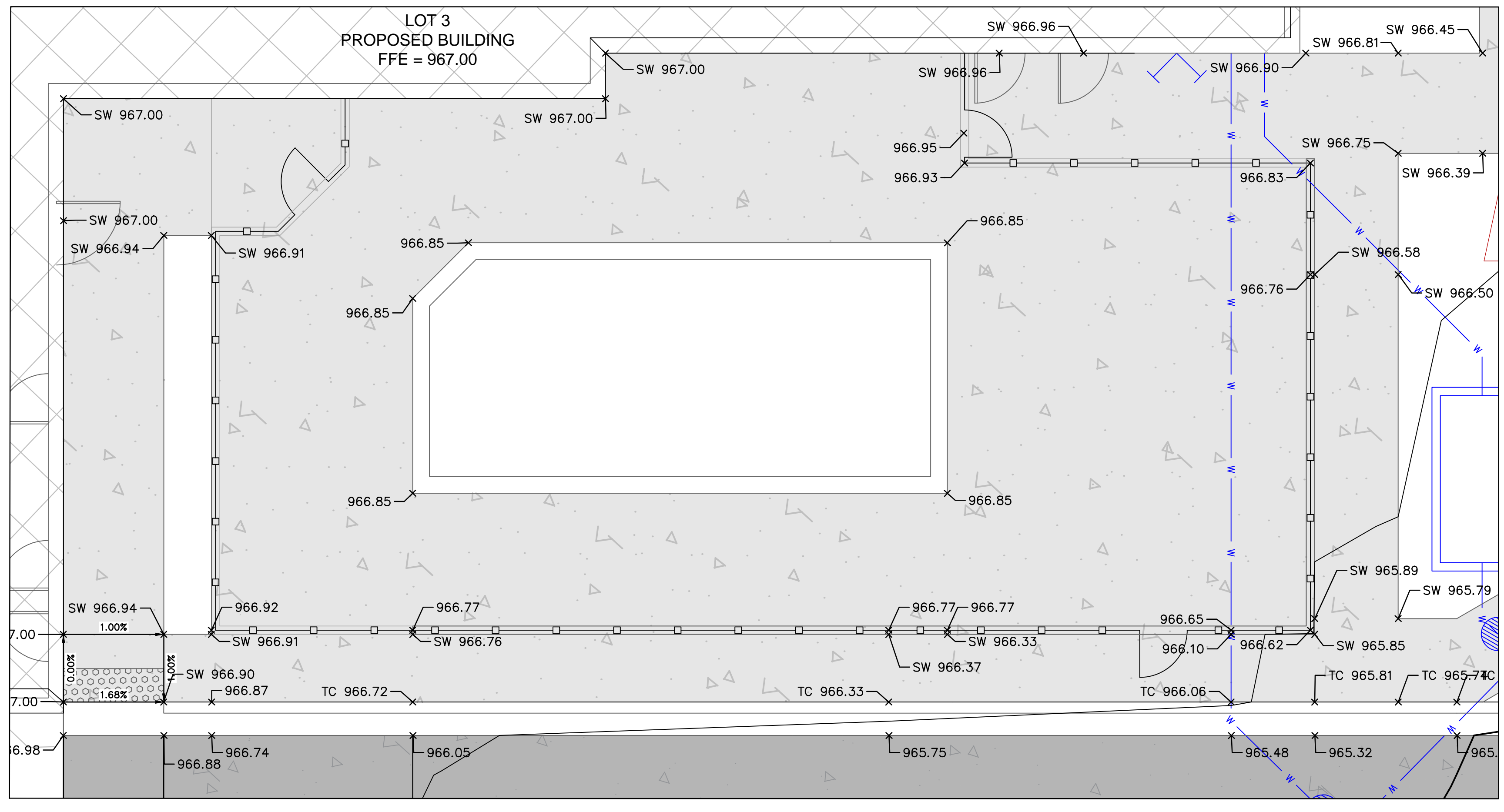
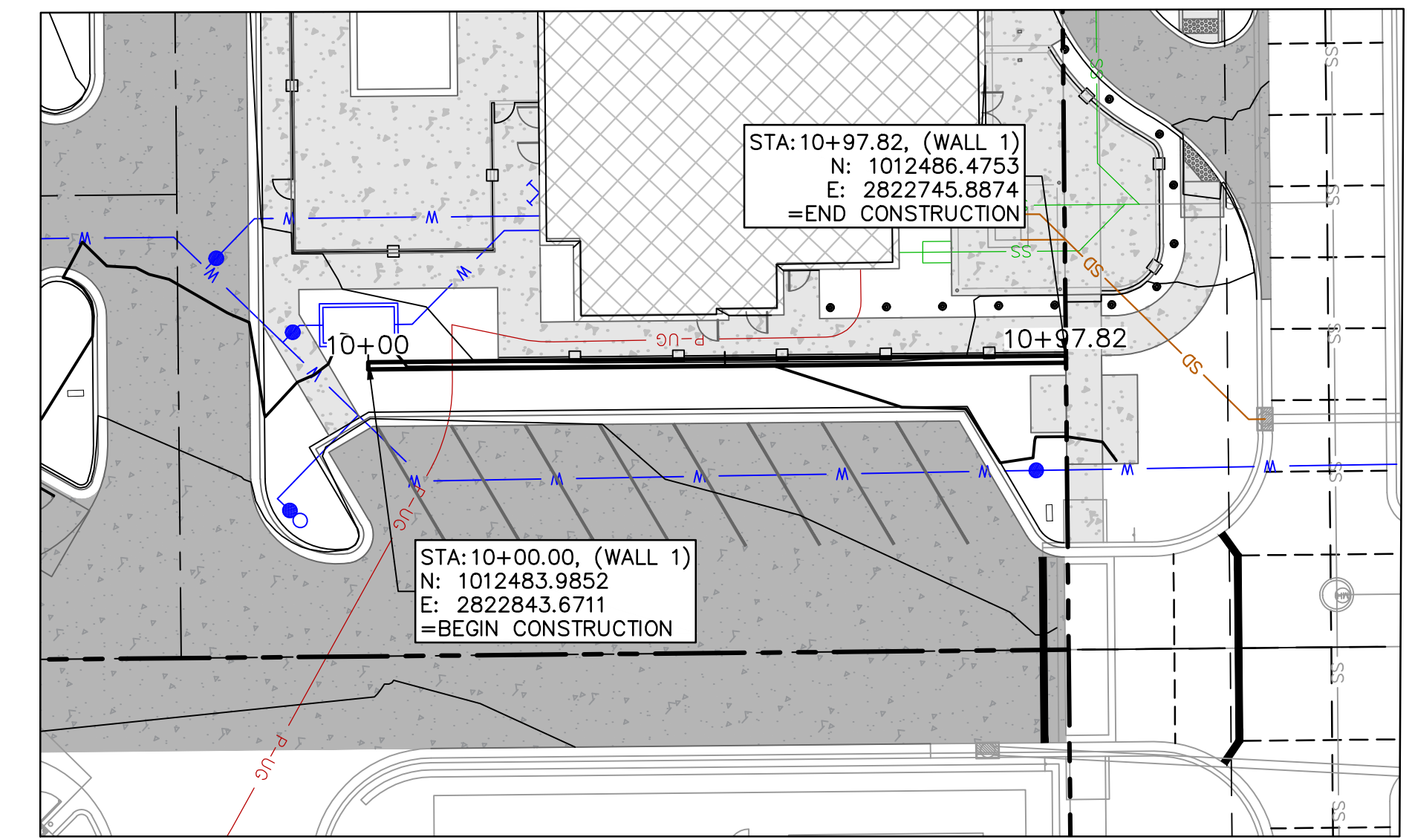
EASEMENT LEGEND

- DE STORM DRAINAGE EASEMENT
- SE SANITARY SEWER EASEMENT

SPOT ELEVATION LEGEND

ALL SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT/LIP OF CURB OR FINISHED GRADE UNLESS OTHERWISE SPECIFIED AS BELOW.

- HP HIGH POINT
- LP LOW POINT
- ME MATCH EXISTING
- HFG HIGH FINISHED GRADE ADJACENT TO WALL
- LFG LOW FINISHED GRADE ADJACENT TO WALL
- SW SIDEWALK
- TR TOP OF RISER
- BR BOTTOM OF RISER
- TC TOP OF CURB AT BACK



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STATE OF MISSOURI
 DAVID L. EICKMAN
 PROFESSIONAL ENGINEER
 NUMBER: PE-2009015436
 EXPIRES: 12/31/23

DAVID EICKMAN, P.E.
 M.O.R. 2009015436

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

REVISIONS

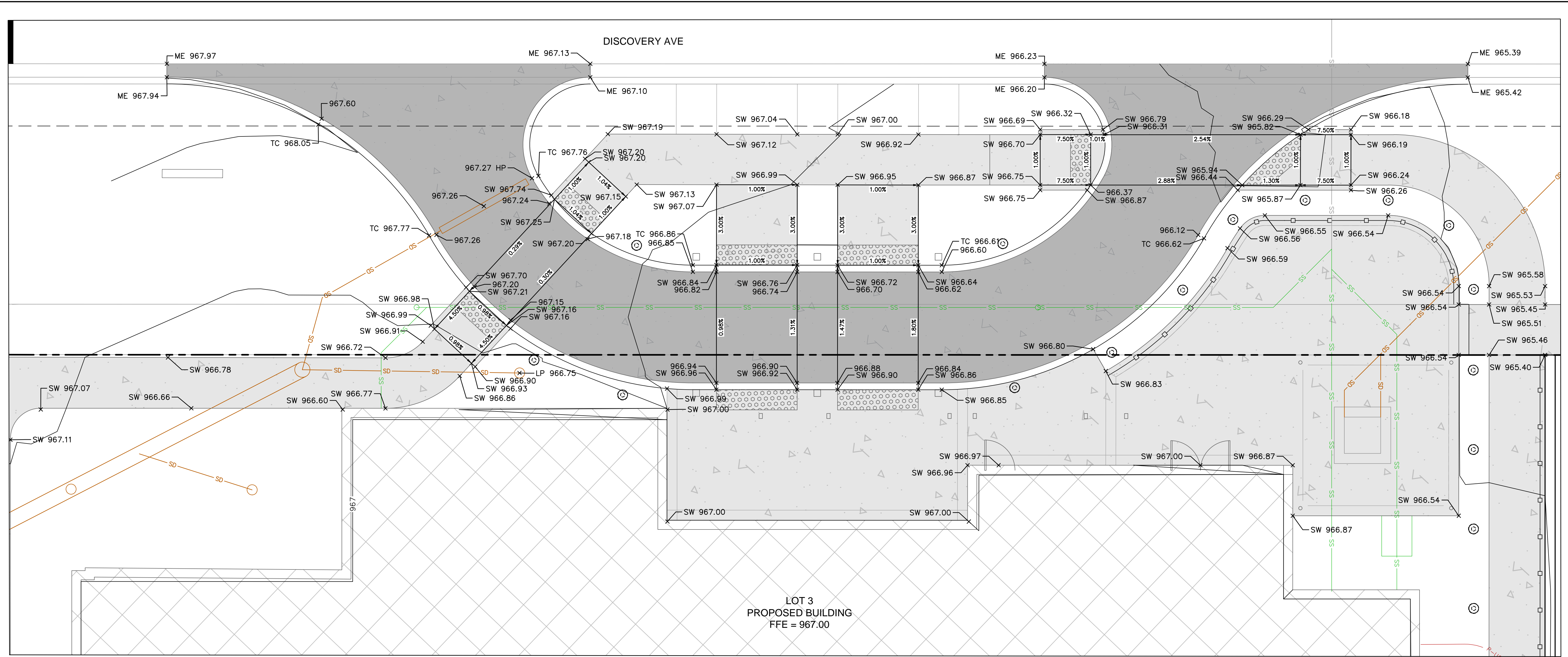
2023

GRADING PLAN DETAILS (1 OF 2)
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

drawn by: DB/BM/GS/S/TW
 checked by: AR/JN
 approved by: DE
 QA/QC by: JS/NH
 project no.: F21-04643
 drawing no.: C_GRD01_F2104643
 date: 09.27.2023

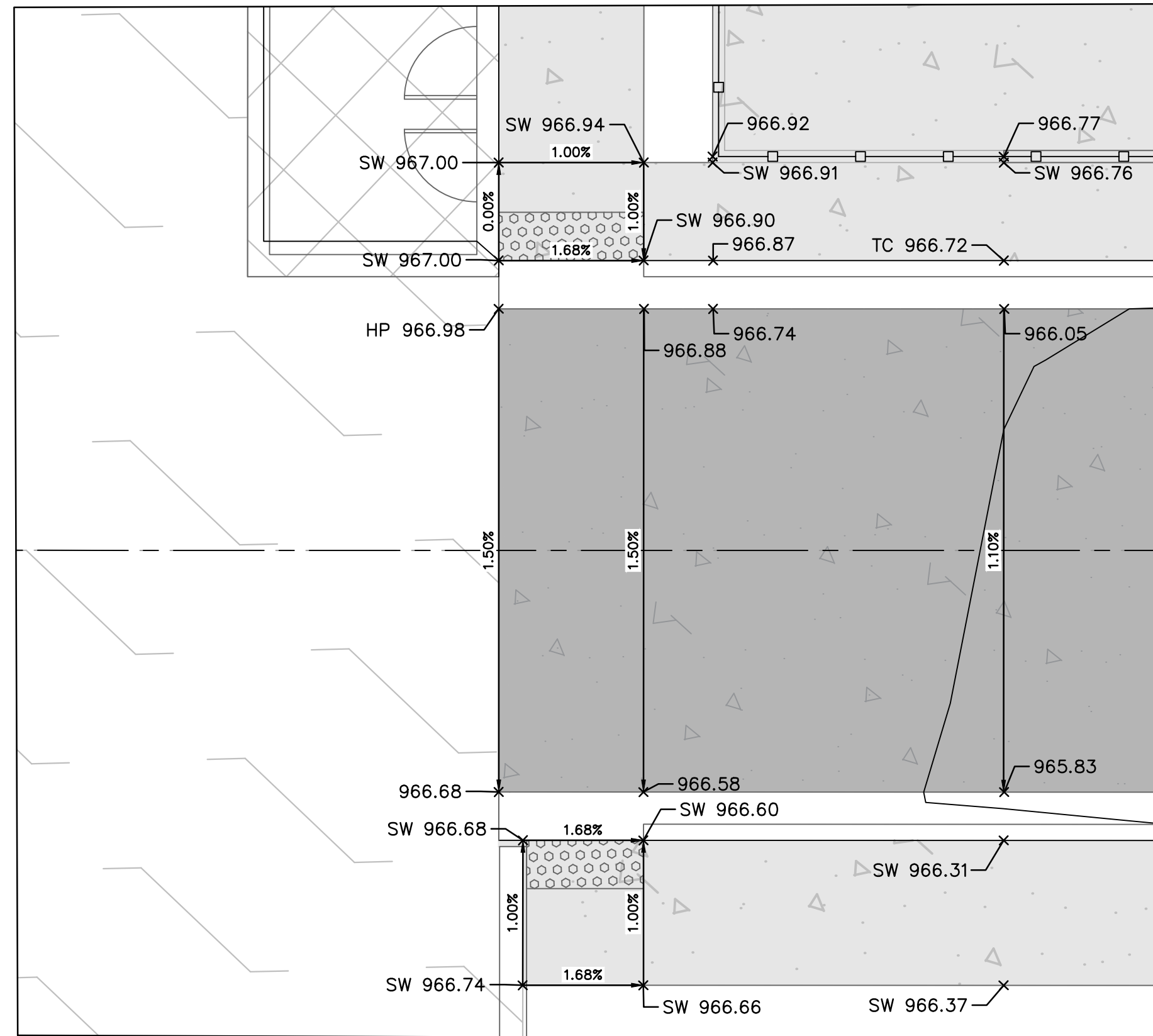
SHEET
 C401

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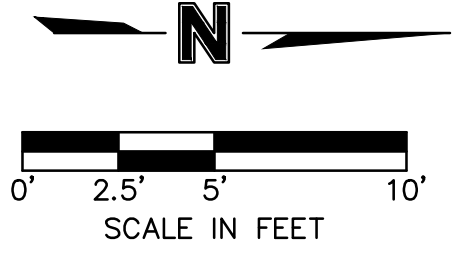


LOT 3
 PROPOSED BUILDING
 FFE = 967.00

GRADING DETAIL C



GRADING DETAIL D



- GRADING PLAN LEGEND**
 SEE SHEET C102 FOR EXISTING CONDITIONS LEGEND
 SEE SHEET C300 FOR GENERAL SITE LEGEND
- 999 ——— FINISHED GRADE MAJOR CONTOUR
 - 999 ——— FINISHED GRADE MINOR CONTOUR
 - 999 ——— EXISTING GRADE MAJOR CONTOUR
 - 999 ——— EXISTING GRADE MINOR CONTOUR
 - 999 ——— GRADE BREAK
- SPOT ELEVATION LEGEND**
- ALL SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT/LIP OF CURB OR FINISHED GRADE UNLESS OTHERWISE SPECIFIED AS BELOW.
- HP HIGH POINT
 - LP LOW POINT
 - ME MATCH EXISTING
 - HFG HIGH FINISHED GRADE ADJACENT TO WALL
 - LFG LOW FINISHED GRADE ADJACENT TO WALL
 - SW SIDEWALK
 - TR TOP OF RISER
 - BR BOTTOM OF RISER
 - TC TOP OF CURB AT BACK
- EASEMENT LEGEND**
- DE STORM DRAINAGE EASEMENT
 - SE SANITARY SEWER EASEMENT

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STATE OF MISSOURI

DAVID L. EICKMAN

REGISTERED PROFESSIONAL ENGINEER

NUMBER PE-2009015436

EXPIRES 12/31/2024

DAVID EICKMAN, P.E.
 MO# 2009015436

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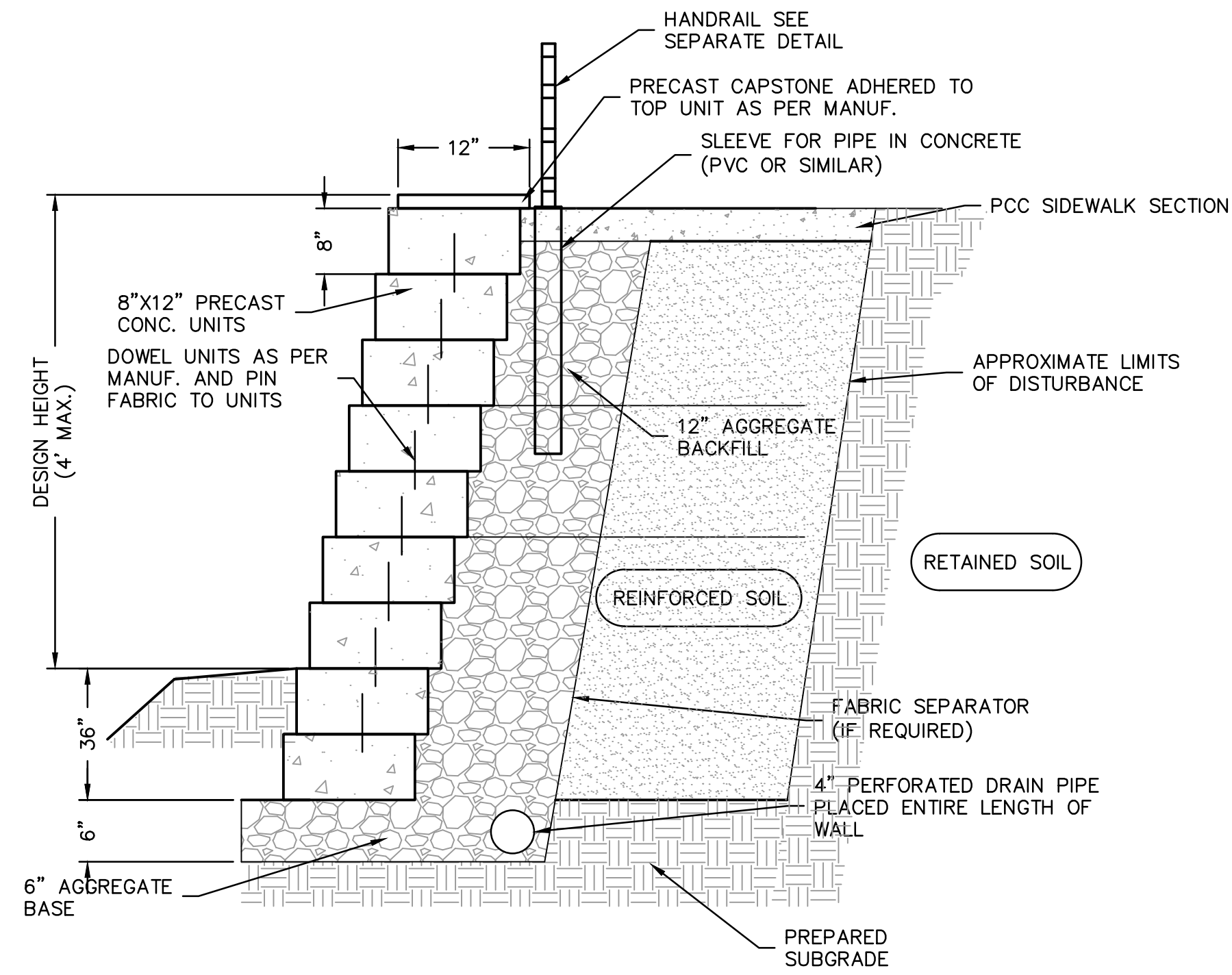
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2023

GRADING PLAN DETAILS (2 OF 2)
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBURN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

drawn by: DB/BMG/SOS/TW
 checked by: AR/JIN
 approved by: DE
 QA/QC by: JS/NH
 project no.: F21-04643
 drawing no.: C_GRD01_F2104643
 date: 09.27.2023

SHEET C402



RETAINING WALL DETAIL
 NOT TO SCALE

RETAINING WALL NOTES

1. MANUFACTURER, COLOR AND TYPE OF THE WALL SHALL BE COORDINATED WITH THE ARCHITECT AND THE OWNER. THE DETAILS PROVIDED HERE ARE FOR GENERAL GUIDANCE ONLY. THE WALL SHALL BE "DESIGN-BUILD" PROVIDED COMPLETE IN-PLACE BY THE CONTRACTOR.
2. THE WALL SHALL BE DESIGNED BY THE INSTALLER ACCORDING TO THE WALL UNIT MANUFACTURER'S DESIGN CRITERIA. THE DESIGN SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER AS A SHOP DRAWING FOR REVIEW. ALL DESIGN CALCULATIONS AND DESIGN CRITERIA, (ANGLE OF FRICTION, SOIL WEIGHT, ETC.), SHALL BE SUBMITTED WITH THE SHOP DRAWING. ALL DESIGN MUST BE SEALED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF KANSAS.
3. FACTORS OF SAFETY SHALL BE AS FOLLOWS:
 1.5 AGAINST REINFORCEMENT GRID PULLOUT OR RUPTURE
 1.5 AGAINST EXTERNAL SLIDING FAILURE
 2.0 AGAINST OVERTURNING
4. THE DESIGN, DIMENSIONS, AND MATERIAL SHOWN IN THIS DETAIL ARE GENERAL IN NATURE. THE AGGREGATE MATERIALS, GEOGRID SYSTEM, AND INSTALLATION SHALL BE AS WALL UNIT MANUFACTURER'S REQUIREMENTS.
5. SEE SPECIFICATIONS FOR MATERIAL SELECTION AND OTHER REQUIREMENTS.
6. WALL DESIGN SHALL INCLUDE GLOBAL STABILITY.
7. RETAINING WALL SHALL PROVIDE POSITIVE INTERLOCKING BETWEEN BLOCKS AND GRID.

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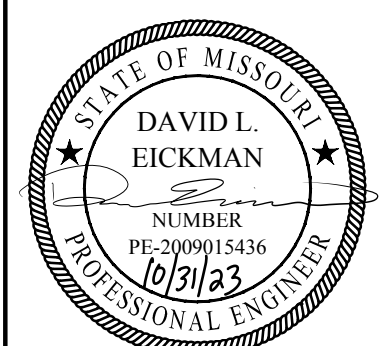
SHEET
 C403

GRADING DETAILS
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

2023

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DAVID EICKMAN, P.E.
 MO# 2009015436



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 C_FROAD_D2104643
 C_PBNBY_D2104643

- STORM SEWER KEYNOTES**
 *SEE SHEET C501 FOR STORM SEWER PLAN & PROFILE
- ST1 STORM LINE A. SEE SHEET C501.
 - ST2 INSTALL 9.84 LF OF 8" ACO K200 KLASSIKDRAIN WITH LIGHT DUTY TRAFFIC MESH STEEL GRATE (OR APPROVED EQUAL)
RIM ELEV=967.26
FL INV OUT=966.56 (4" PVC)
 - ST3 INSTALL APPROXIMATELY 21.0 LF OF 4" PVC @ 12.19% AND CONNECT TO STRUCTURE STM A8
FL INV @ STM A8=964.00 (4" PVC)
 - ST4 INSTALL 8" NYLOPLAST INLINE DRAIN
RIM ELEV=966.75
FL INV OUT=964.25 (4" PVC)
 - ST5 INSTALL APPROXIMATELY 21.5 LF OF 4" PVC @ 2.00% AND CONNECT TO STRUCTURE STM A8
FL INV @ STM A8=963.82 (4" PVC)
 - ST6 CONNECT TO DRAIN BASIN STM K1 AND INSTALL 4" PVC STORM SEWER LINE WITH ASSOCIATED BENDS AND WYES @ 2.00% MIN. AND EXTEND TO FIRE PIT. PROVIDE 24" OF COVER MIN.
FL INV @ STM K1=958.30 (4" PVC)
 - ST7 INSTALL 10" NYLOPLAST INLINE DRAIN
RIM ELEV=966.00
FL INV OUT=963.50 (6" PVC)
 - ST8 INSTALL APPROXIMATELY 12.0 LF OF 6" PVC @ 10.83% AND CONNECT TO 15"x6" WYE INSTALLED WITH STORM LINE A.
FL INV @ WYE=962.20

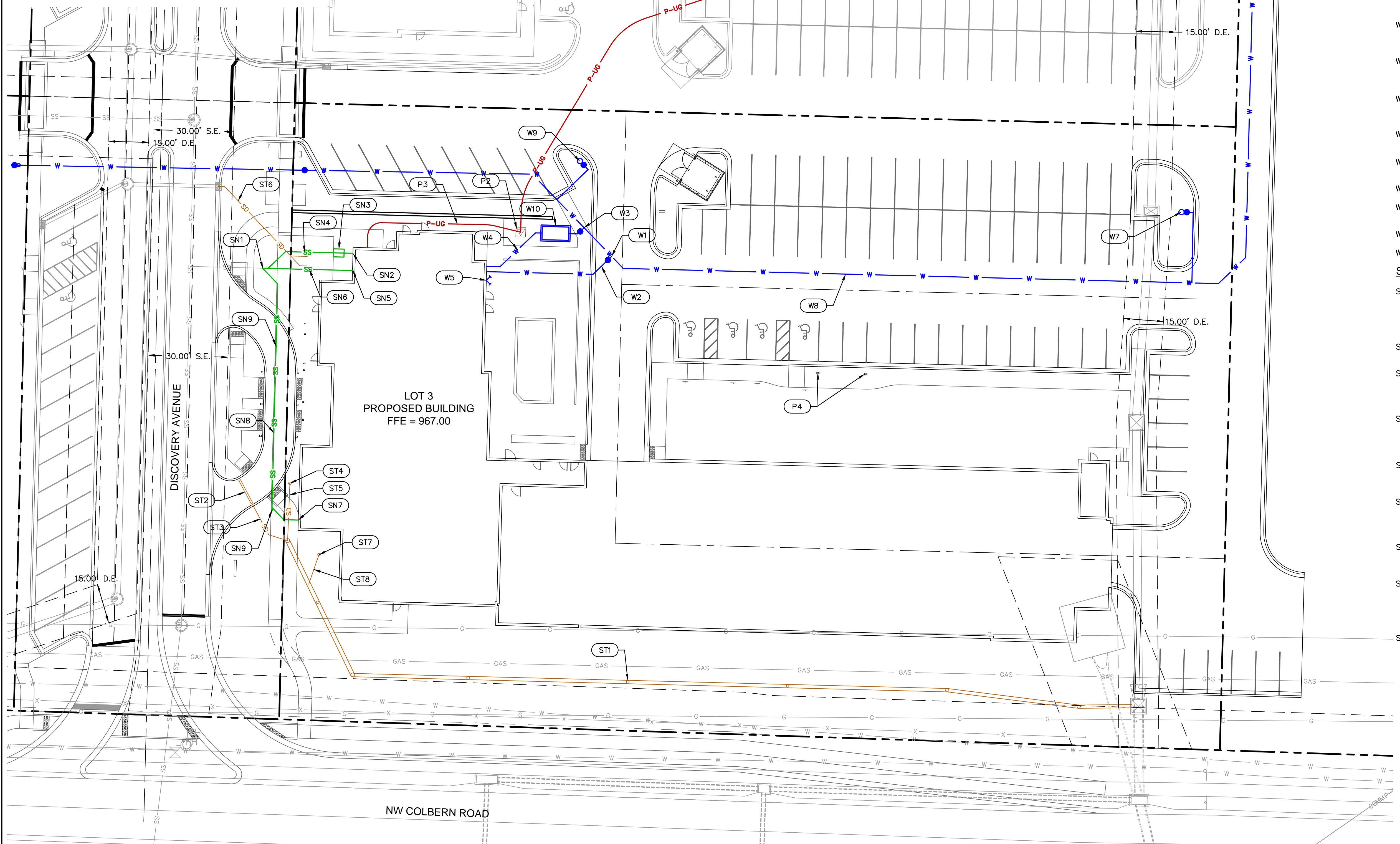
**THE VILLAGE AT DISCOVERY PARK
 LOT 4**
 (LOT 4 IMPROVEMENTS PER SEPARATE PLANS)

- UTILITY PLAN LEGEND**
 SEE SHEET C102 FOR EXISTING CONDITIONS LEGEND
 SEE SHEET C300 FOR GENERAL SITE LEGEND
- W W PROPOSED WATER
 - SS SS PROPOSED SANITARY
 - SD SD PROPOSED STORM SEWER
 - P-UG P-UG PROPOSED UNDERGROUND POWER
- EASEMENT LEGEND**
- DE DRAINAGE EASEMENT
 - SE SANITARY SEWER EASEMENT

- POWER LINE KEYNOTES**
 EVERY TO PROVIDE FINAL DESIGN OR APPROVAL OF SHOWN DESIGN.
- P1 APPROXIMATELY 269 L.F. OF UNDERGROUND CONDUIT FOR ELECTRIC SERVICE PER EVERY STANDARDS AND REQUIREMENTS
 - P2 INSTALL TRANSFORMER PAD PER EVERY STANDARDS AND REQUIREMENTS. SIZING PER MEP PLANS AND EVERY DESIGN. EVERY TO PLACE TRANSFORMER AND PULL WIRE
 - P3 APPROXIMATELY 24 L.F. OF UNDERGROUND CONDUIT FOR ELECTRIC SERVICE PER EVERY STANDARDS AND REQUIREMENTS. REFER TO ARCHITECTURAL PLANS FOR CONTINUATION
 - P4 INSTALL LEVEL 2 CHARGING STATIONS PER CHARGEPOINT'S SPECIFICATIONS AND INSTALLATION PROCEDURE.

- WATER MAIN KEYNOTES**
 *SEE SHEETS C600 & C601 FOR WATER MAIN PLAN & PROFILE
- W1 CONNECT TO 8"x6" TEE INSTALLED ON WATER LINE A AND INSTALL 6" GATE VALVE. REFER TO PLAN & PROFILE ON SHEET C601.
 - W2 INSTALL 49.7 LF OF 6" PVC WITH 42" MIN. COVER FIRE SERVICE LINE TO THE BUILDING. REFER TO MEP PLANS FOR CONTINUATION INSIDE THE BUILDING.
 - W3 CONNECT TO 8"x6" TEE INSTALLED ON WATER LINE A. INSTALL 6" GATE VALVE, AND INSTALL 6"x3" REDUCER. REFER TO PLAN & PROFILE ON SHEET C601.
 - W4 INSTALL 48.0 LF OF 3" PVC WITH 42" MIN. COVER DOMESTIC SERVICE LINE TO THE BUILDING. REFER TO MEP PLANS FOR CONTINUATION INSIDE THE BUILDING.
 - W5 COORDINATE THE LOCATION OF THE FIRE DEPARTMENT CONNECTION WITH THE ARCHITECT
 - W6 INSTALL 8" PVC WATER LINE A. SEE SHEETS C600-C601.
 - W7 INSTALL FIRE HYDRANT. SEE SHEET C600.
 - W8 INSTALL 8" PVC WATER LINE A. SEE SHEETS C600-C601
 - W9 INSTALL FIRE HYDRANT. SEE SHEET C601.
 - W10 INSTALL 3" WATER METER VAULT

- SANITARY SEWER KEYNOTES**
- SN1 CONNECT TO EXISTING 8" SANITARY SEWER LATERAL INSTALLED WITH PUBLIC SANITARY SEWER EXTENSION PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1. INSTALL 8"x8" WYE.
FL INV @ END OF STUB=961.62
 - SN2 4" PVC FOOD WASTE CONNECTION AT THE BUILDING
FL INV @ BLDG=964.00
 - SN3 INSTALL GREASE INTERCEPTOR. REFER TO MEP PLANS FOR MORE DETAILS ON THE INTERCEPTOR.
FL INV IN=963.90
FL INV OUT=963.90
 - SN4 INSTALL APPROXIMATELY 34.5 LF. OF 4" PVC FOOD WASTE LINE @ 2.00% MIN, 7.00% MAX AND CONNECT TO 8"x4" WYE. REFER TO PLUMBING PLANS FOR CONTINUATION OF SERVICE LINE INSIDE THE BUILDING.
 - SN5 8" PVC SANITARY SERVICE CONNECTION AT THE BUILDING.
FL INV @ BLDG=964.50
 - SN6 INSTALL APPROXIMATELY 34.0 LF. OF 8" PVC SANITARY SERVICE LINE @ 8.47% REFER TO PLUMBING PLANS FOR CONTINUATION OF SANITARY SEWER SERVICE LINE INSIDE THE BUILDING
 - SN7 8" PVC SANITARY SERVICE CONNECTION AT THE BUILDING.
FL INV @ BLDG=962.67
 - SN8 INSTALL APPROXIMATELY 104.0 LF. OF 8" PVC SANITARY SERVICE LINE @ 1.00% AND CONNECT TO 8"x8" WYE. REFER TO PLUMBING PLANS FOR CONTINUATION OF SANITARY SEWER SERVICE LINE INSIDE THE BUILDING
 - SN9 INSTALL SANITARY SEWER CLEANOUT



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 PROFESSIONAL ENGINEER
 NUMBER: PE-2009015436
 DATE: 10/21/23
 DAVID EICKMAN, P.E.
 MO# 2009015436

REV. NO.	DATE	REVISIONS DESCRIPTION

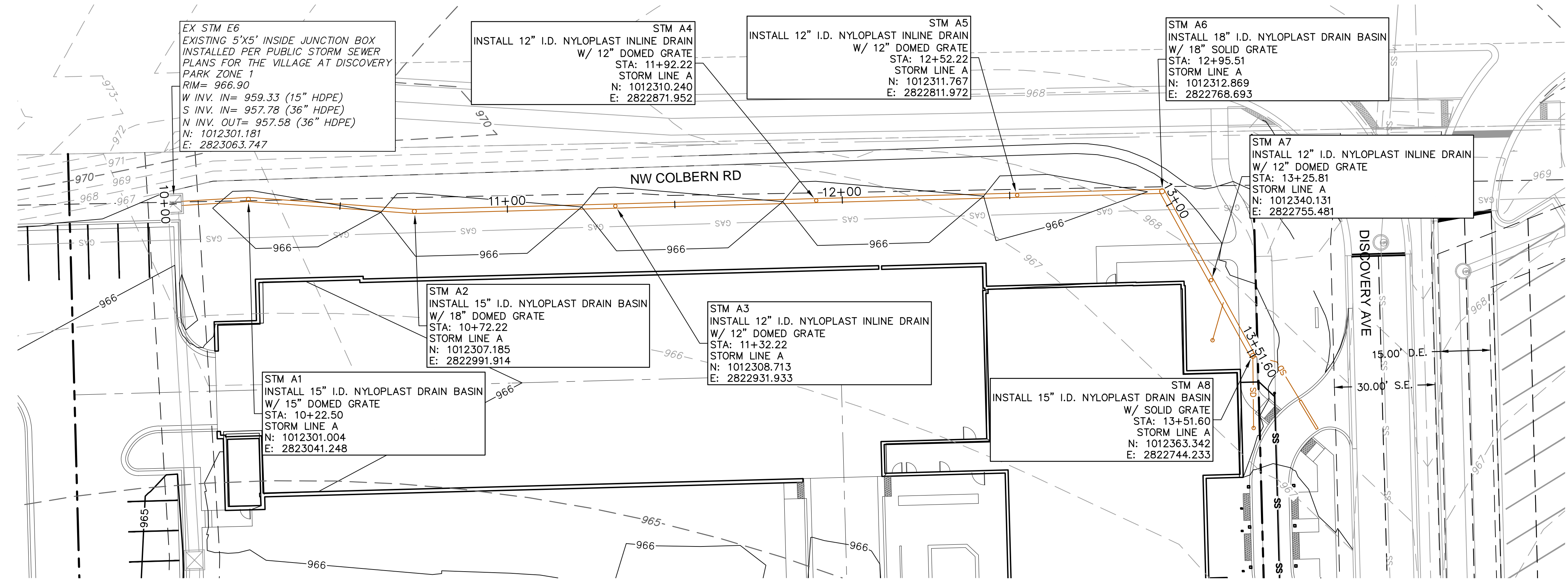
UTILITY PLAN
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

REVISIONS
 2023

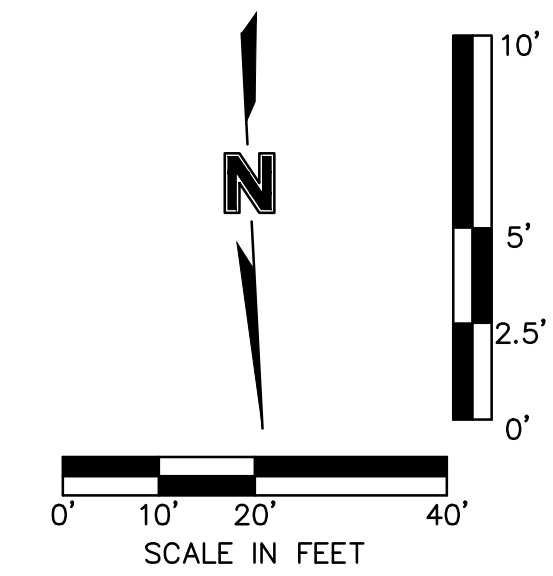
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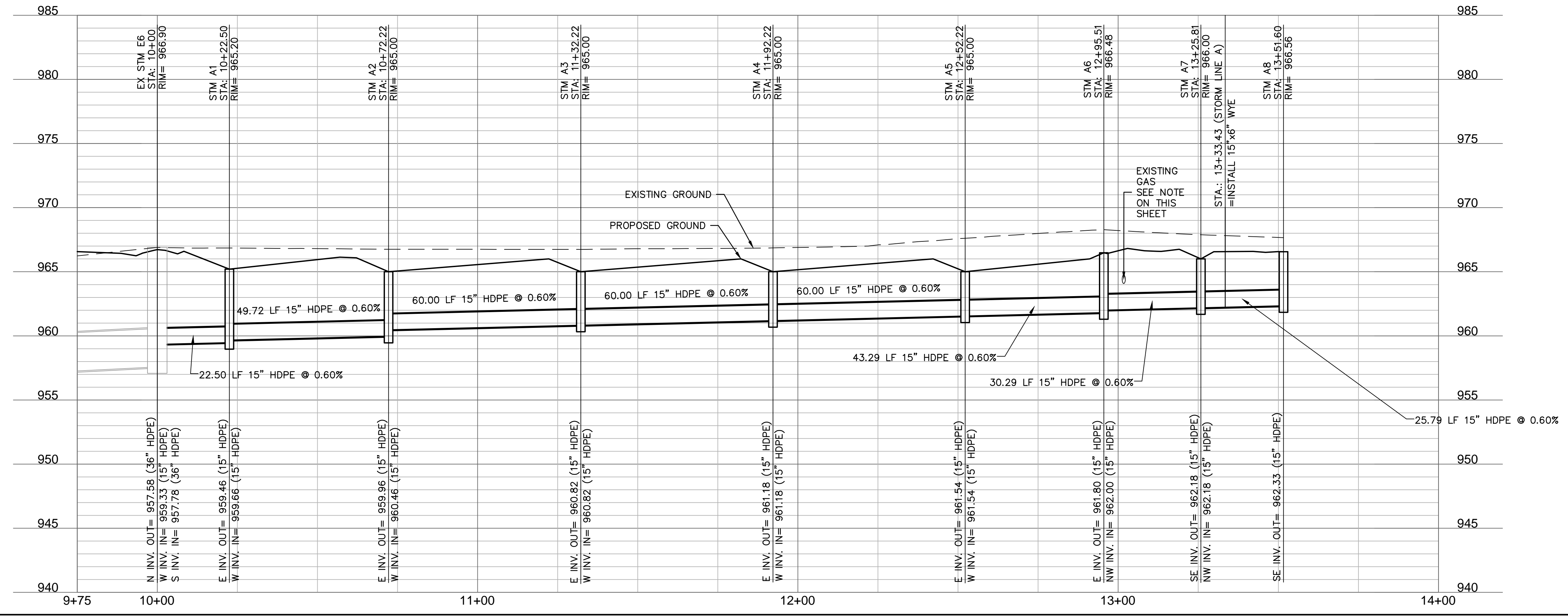
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*RIM ELEVATIONS PROVIDED FOR NYLOPLAST DRAIN BASINS ARE AT TOP OF PIPE/COLLAR AND DO NOT INCLUDE GRATE.
 STORM SEWER PLAN LEGEND
 SEE SHEET C102 FOR EXISTING CONDITIONS LEGEND
 SEE SHEET C300 FOR GENERAL SITE LEGEND
 W PROPOSED WATER
 SS PROPOSED SANITARY
 SD PROPOSED STORM SEWER
 P-UG PROPOSED UNDERGROUND POWER



STORM LINE A (9+75 - 14+00)



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DAVID L. EICKMAN, P.E.
MOR 2009915436

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STORM SEWER PLAN & PROFILE (LINE A)
PRIVATE SITE DEVELOPMENT PLANS
THE VILLAGE AT DISCOVERY PARK LOT 3
NW COLBERN RD & NE DOUGLAS ST
LEE'S SUMMIT, MISSOURI

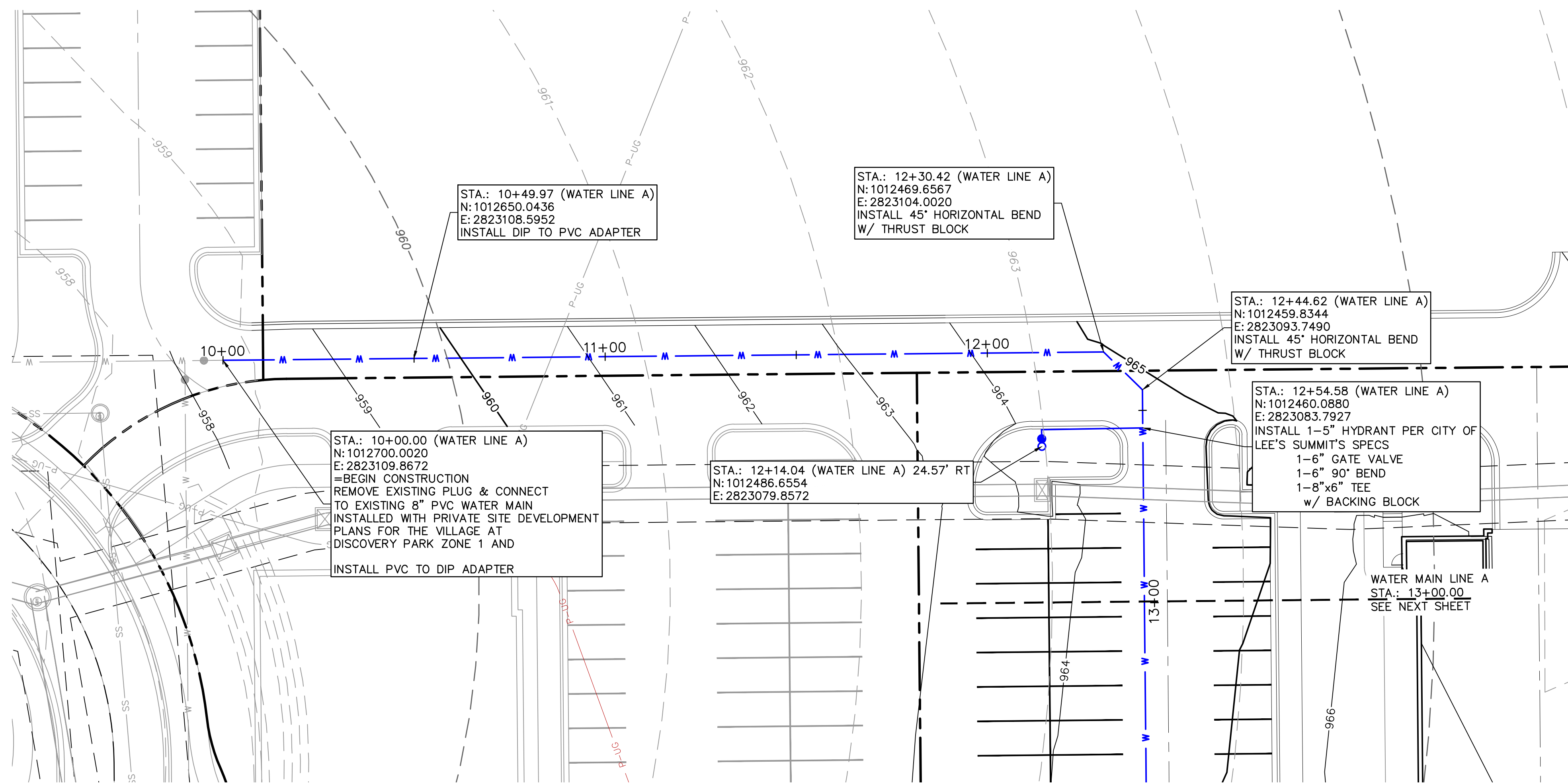
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checked by: AR/JIN
approved by: DE
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drawing no.: C_STM01_F2104643
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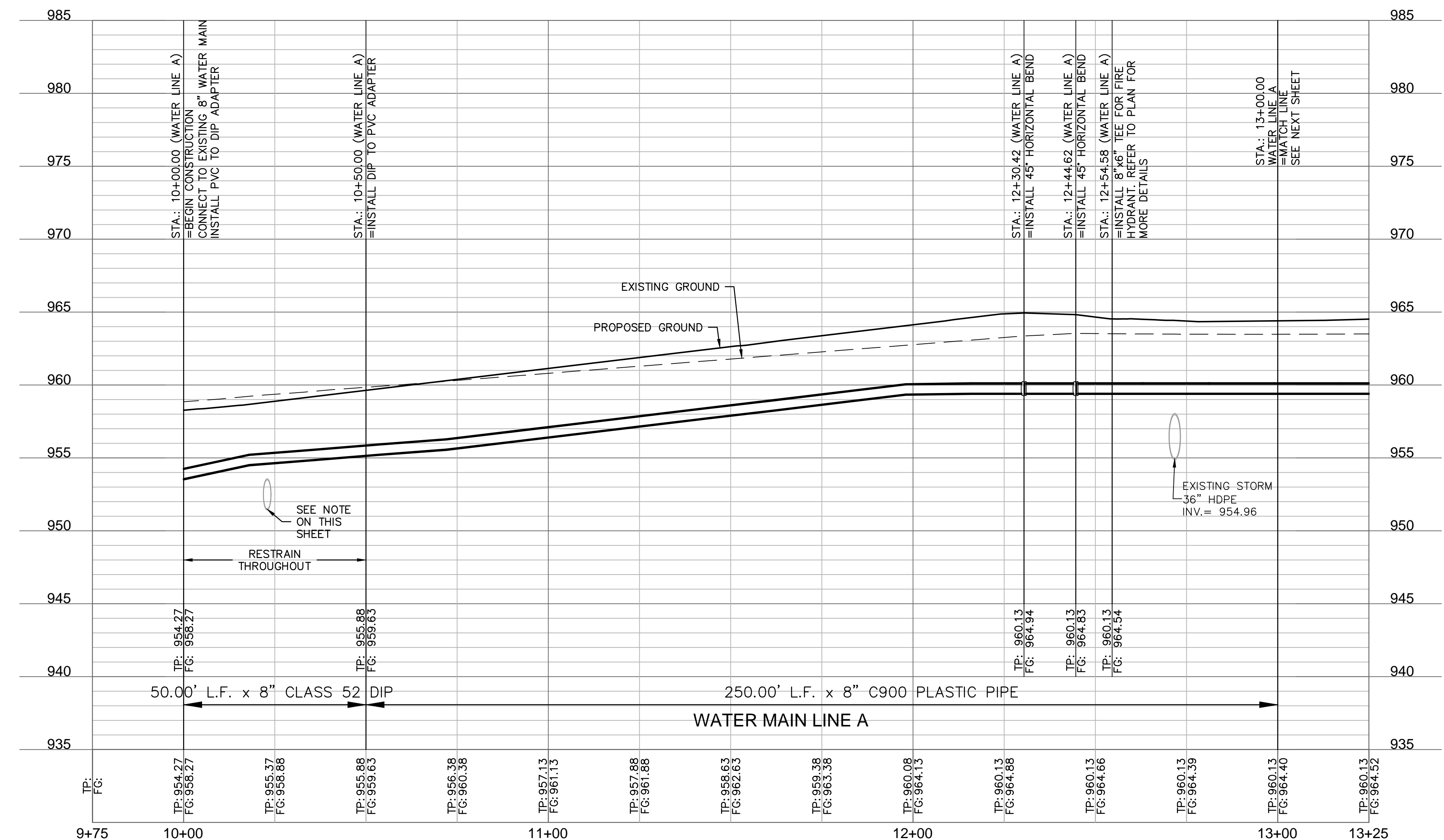
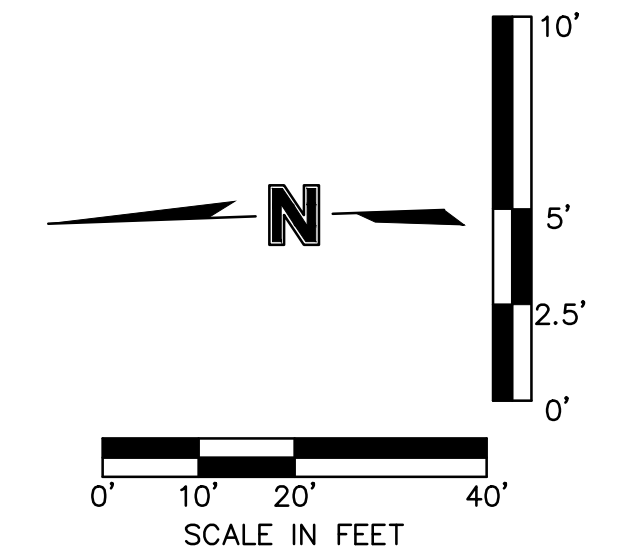
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NOTE:
APPROXIMATE LOCATION OF FUTURE
STORM SEWER EXTENSION TO SERVE
LOT 1 SHOWN ON THE PROFILE FOR
REFERENCE ONLY



WATER PLAN LEGEND
 SEE SHEET C102 FOR EXISTING CONDITIONS LEGEND
 SEE SHEET C300 FOR GENERAL SITE LEGEND

- W — PROPOSED WATER
- SS — PROPOSED SANITARY
- SD — PROPOSED STORM SEWER
- P-UG — PROPOSED UNDERGROUND POWER



STATE OF MISSOURI

DAVID L. EICKMAN

NUMBER: PE-2009015436

EXPIRES: 02/28

PROFESSIONAL ENGINEER

DAVID EICKMAN, P.E.
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REV. NO.	DATE	REVISIONS DESCRIPTION	BY

WATER MAIN PLAN & PROFILE (LINE A)
PRIVATE SITE DEVELOPMENT PLANS
THE VILLAGE AT DISCOVERY PARK LOT 3
NW COLBERN RD & NE DOUGLAS ST
LEE'S SUMMIT, MISSOURI

2023

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checked by: AR/JN

approved by: DE

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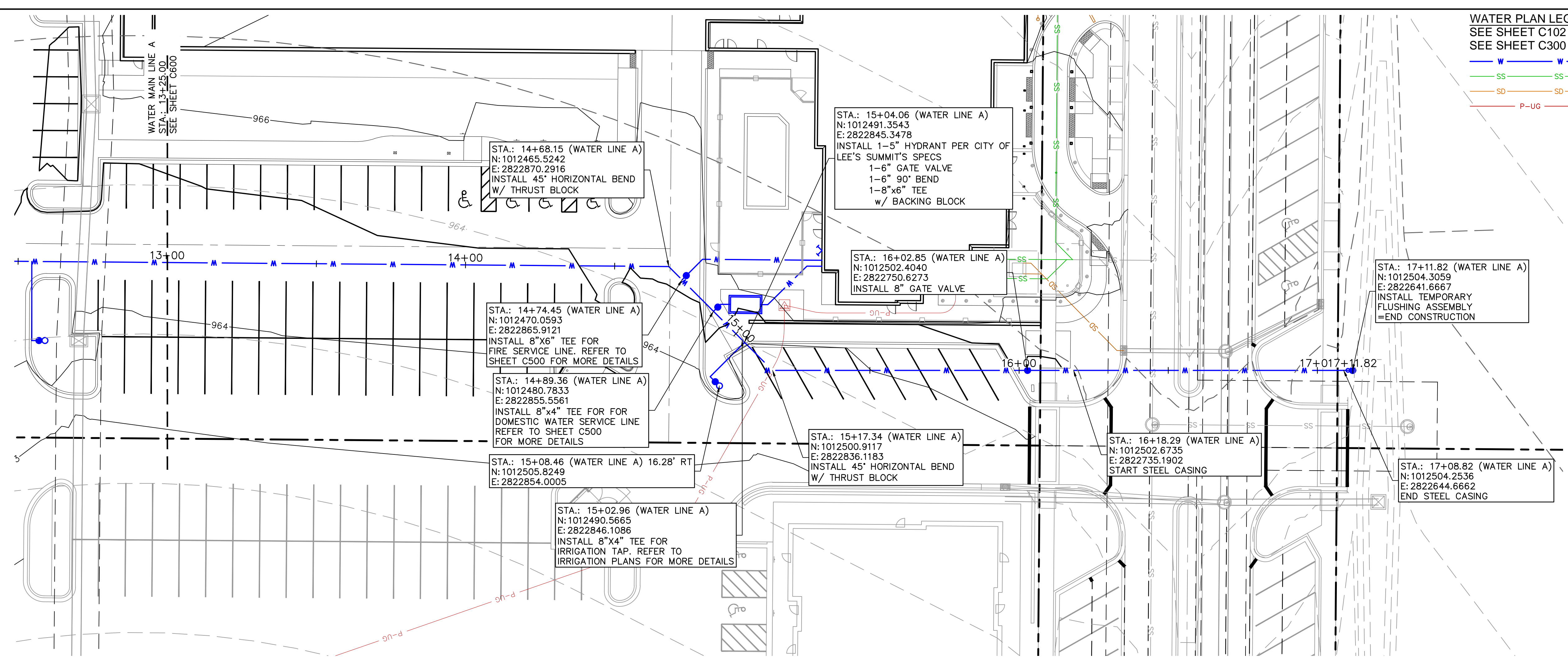
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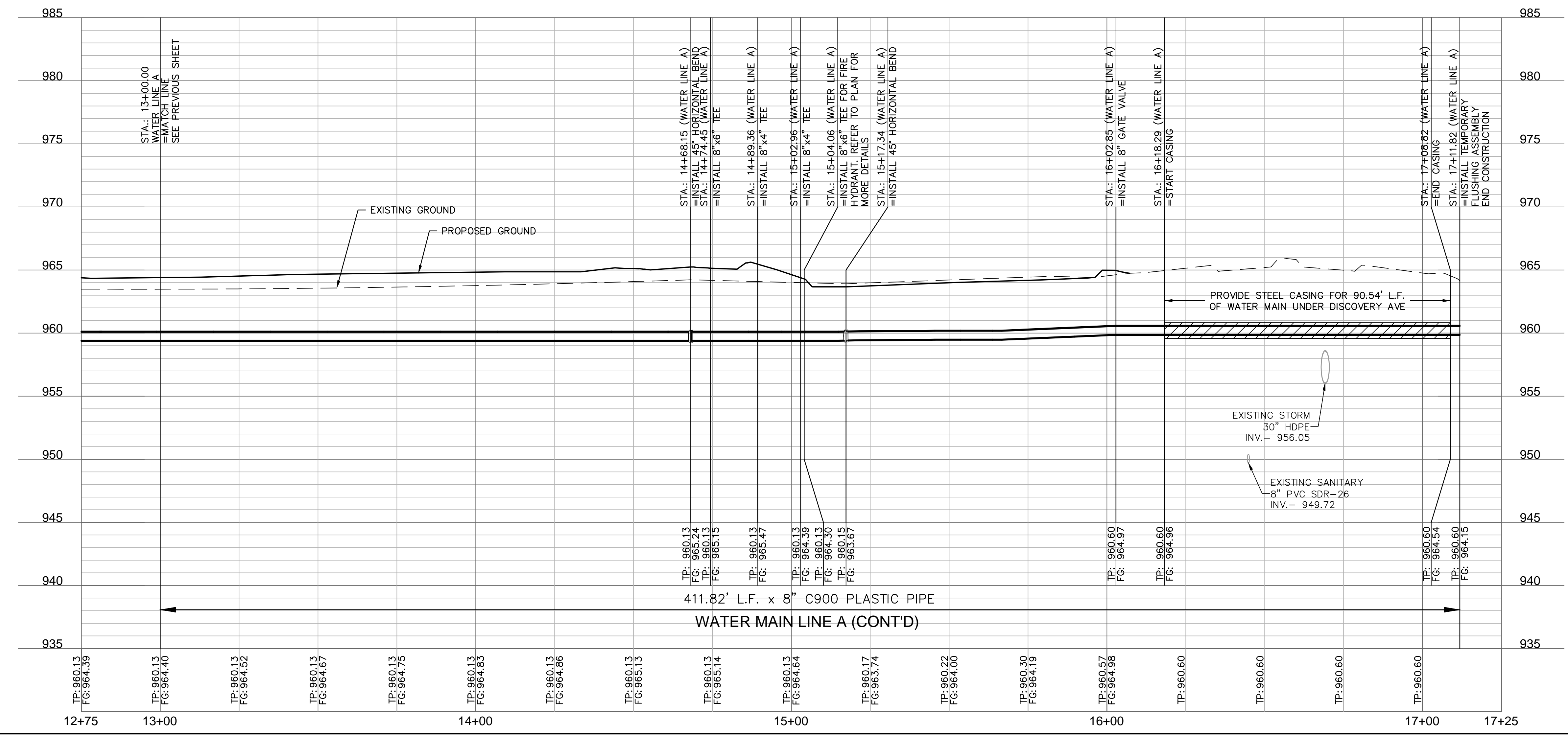
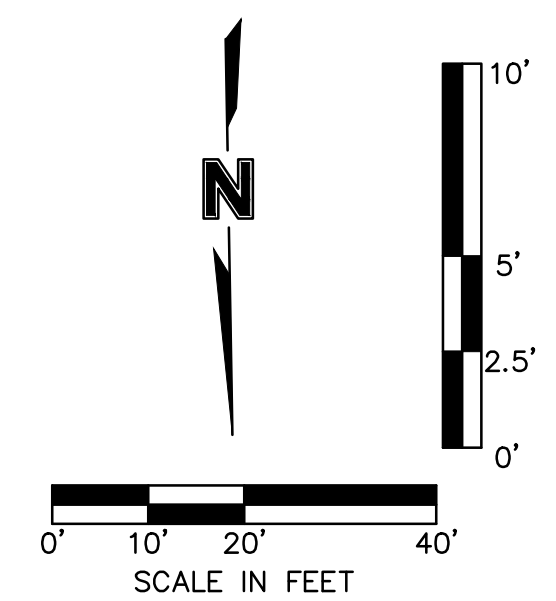
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WATER PLAN LEGEND
 SEE SHEET C102 FOR EXISTING CONDITIONS LEGEND
 SEE SHEET C300 FOR GENERAL SITE LEGEND

- W — PROPOSED WATER
- SS — PROPOSED SANITARY
- SD — PROPOSED STORM SEWER
- P-UG — PROPOSED UNDERGROUND POWER



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STATE OF MISSOURI

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PROFESSIONAL ENGINEER

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09/23

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MOR 2009015436

REV. NO.	REVISIONS DESCRIPTION	DATE

WATER MAIN PLAN & PROFILE (LINE A CONT'D)
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBURN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

2023

drawn by: DB/BMG/SOS/TW
 checked by: AR/JN
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 project no.: F21-04643
 drawing no.: C_WA101_F2104643
 date: 09.27.2023

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C601

MATERIAL SCHEDULE:

KEY	MATERIAL NAME	MANUFACTURER/SUPPLIER	COLLECTION	COMMENTS	CONTACT
LOT 3					
PAVING					
CAST-IN-PLACE					
P-100.1	GRAY CONCRETE	N/A	N/A		
P-100.2	STAMPED INTEGRAL COLOR CONCRETE	BOMANITE	N/A	COLORATION SYSTEMS - INTEGRAL COLOR, COLOR: SIERRA ROSE, COLOR RELEASE: PAINTED DESERT, MEDIUM ASHLAR SLATE STAMP PATTERN	DAN KROESEN 816.861.1234
P-100.3	POOL DECK CONCRETE WITH TOPPING	MORTEX MATERIALS	N/A	KOOL DECK CONCRETE TOPPING, 3/16" COLOR: ADOBE BUFF	BOB MILLER 410.610.9401
MANUFACTURED					
P-200.1	FIRE GLASS	HOUSE OF ROCKS	AMERICAN SPECIALITY GLASS	GRAY FIRE GLASS, SIZE: MEDIUM	ADAM BURKIEWICZ 913.432.5990
NATURAL STONE					
P-300.1	DECORATIVE ROCK	STURGIS MATERIALS	N/A	MEDIUM JACKS 2-4"	TJ JACKSON 913.208.5023
CLADDING					
VENEER & CAP					
W-100.1	BAR COUNTERTOP	COSENTINO	DEKTON	THICKNESS: 2 CM, COLOR: TRILIUM	MICHAEL VAN OS +34.606.258.452
W-100.2	EXTERIOR CLADDING	COSENTINO	DEKTON	THICKNESS: 12 MM, COLOR: KERANIUM	MICHAEL VAN OS +34.606.258.452
W-100.3	FIRE PIT CAP	COSENTINO	DEKTON	THICKNESS: 12 MM, COLOR: TRILIUM	MICHAEL VAN OS +34.606.258.452
FENCING/RAILING					
F-100.1	POOL FENCE	C.R. LAURENCE	N/A	MATCH STERLING DULA BASIS OF DESIGN, ALLUMINUM TUBING, FINISH: FLUOROPOLYMER (PVDF) 70% RESIN, 2 COAT-SYSTEM COMPLYING WITH AAMA 2605, COLOR: DARK BRONZE	CR LAURENCE COMPANY 800.421.6144
F-100.2	GUARDRAIL	C.R. LAURENCE	N/A	MATCH STERLING DULA BASIS OF DESIGN, ALLUMINUM TUBING, FINISH: FLUOROPOLYMER (PVDF) 70% RESIN, 2 COAT-SYSTEM COMPLYING WITH AAMA 2605, COLOR: DARK BRONZE	CR LAURENCE COMPANY 800.421.6144
SITE FURNISHINGS					
PRIVATE					
SF-100.1	DINING CHAIR	BROWN JORDAN	OSCAR	PRODUCT NUMBER: 5490-2200, FABRIC COLOR: BLACK GREY, FRAME COLOR: TEXTURED PEWTER, CORD COLOR: COAL	TAYLOR FORTUNE 636.227.9699
SF-100.2	LOUNGE CHAIR	BROWN JORDAN	OSCAR	PRODUCT NUMBER: 5490-6000, FABRIC COLOR: BLACK GREY, FRAME COLOR: TEXTURED PEWTER, CORD COLOR: COAL	TAYLOR FORTUNE 636.227.9699
SF-100.3	BAR STOOL	BROWN JORDAN	OSCAR	PRODUCT NUMBER: 5490-3600, FABRIC COLOR: BLACK GREY, FRAME COLOR: TEXTURED PEWTER, CORD COLOR: COAL	TAYLOR FORTUNE 636.227.9699
SF-100.4	CHAISE LOUNGE	TROPITONE	SOUTH BEACH	PRODUCT NUMBER: 240532, FABRIC COLOR: PEACOCK, FRAME COLOR: GRAPHITE	GLEN KUOPUS 972.839.3538
SF-100.5	DINING TABLE	TROPITONE	AMICI	PRODUCT NUMBER: 691936-28, 36" ROUND KD DINING TABLE, COLOR: GRAPHITE	GLEN KUOPUS 972.839.3538
SF-100.6	DINING UMBRELLA TABLE	TROPITONE	AMICI	PRODUCT NUMBER: 691936U-28, 36" ROUND KD DINING UMBRELLA TABLE, COLOR: GRAPHITE	GLEN KUOPUS 972.839.3538
SF-100.7	SIDE TABLE	BROWN JORDAN	OSCAR	PRODUCT NUMBER: 5493-1700-KN, FABRIC COLOR: BLACK GREY, FRAME COLOR: TEXTURED PEWTER, CORD COLOR: COAL	TAYLOR FORTUNE 636.227.9699
SF-100.8	TRASH RECEPTACLE - PRIVATE	TROPITONE	RADIUS	PRODUCT NUMBER: 3B2189, 46" X 24.75" X 24.75", COLOR: BRIGHT BLACK, SURFACE MOUNT	GLEN KUOPUS 972.839.3538
SF-100.9	UMBRELLA	TROPITONE	PORTOFINO II	PRODUCT NUMBER: 80H008MS, 8' HEXAGON MANUAL LIFT, FABRIC COLOR: SPECTRUM GRAPHITE, FRAME COLOR: GRAPHITE, BASE: PRODUCT NUMBER: CFA24R2F CEMENT FILLED ALUMINUM BASE 24" ROUND, 2" POLE FREE STANDING GRAPHITE COLOR	GLEN KUOPUS 972.839.3538
SF-100.10	PLANTER - FRONT ENTRY	LANDSCAPE FORMS / KORNEGAY DESIGNS	ASPECT	ASP-30, SANDSTONE COLOR	STACY ERNST 816.678.2004
SF-100.11	PLANTER - ACCENT	TOURNESOL	WILSHIRE	PRODUCT NUMBER: WR-362430, 36" X 24" X 30", DRAIN HOLE, POWDERCOAT COLOR: TEXTURED PEWTER, CORD COLOR: COAL	HEATHER HUFFER 510.240.6844
SF-100.12	TOWEL BIN	TEXACRAFT	N/A	PRODUCT NUMBER: M1600RTB, FABRIC COLOR: PEWTER MESH 921, FRAME COLOR: BRONZE BRZ	HEATHER PITTMAN 800.313.5052
SF-100.13	TOWEL RACK	TEXACRAFT	NEXUS	PRODUCT NUMBER: M77041, FABRIC COLOR: ROSEWOOD WEAVE	HEATHER PITTMAN 800.313.5052
SF-100.14	CABANA	TROPITONE	N/A	PRODUCT NUMBER: NS008A238, 8' SQUARE WITH FABRIC CURTAINS (NO VENT), FINISH: GRAPHITE, COVER FABRIC COLOR: SPECTRUM GRAPHITE, CURTAIN FABRIC COLOR: CANVAS GRAPHITE	GLEN KUOPUS 972.839.3538
SF-100.15	GRILL ASSEMBLY	WEBER	SUMMIT	S-660 BUILT-IN GAS GRILL, 43" X 31" X 51"	WEBER-STEVEN PRODUCTS LLC 800.446.1071
SF-100.16	FIRE PIT ASSEMBLY	HEARTH PRODUCTS CONTROL CO.	SQUARE FLAT INSERT	PRODUCT NUMBER: 18FSSEI-SQ-NG/24VAC, 18" INSERT, 12" BURNER, ELECTRONIC IGNITION ON OFF, 24 VAC, NATURAL GAS	HPC FIRE INSPIRED 937.436.9800
STREETSCAPE					
SF-200.1	BENCH - STREETSCAPE	ANOVA	AIRI STIX	6' CONTOUR BENCH, TEXTURED BLACK COLOR, SURFACE MOUNTED	BOB EVANS 314.495.8357
SF-200.2	TRASH RECEPTACLE - STREETSCAPE	ANOVA	AIRI STIX	45-GALLON WITH SIDE DOOR, TEXTURED BLACK COLOR	BOB EVANS 314.495.8357
LIGHTING					
L-100.1	DECORATIVE BOLLARD	CURRENT / ARCHITECTURAL AREA LIGHTING	PROVIDENCE	POLE MOUNT, 5" DIA. ROUND SHAFT, MATTE BLACK COLOR	AMANDA SCOTT 781.572.7981
L-100.2	STRING LIGHTS	TIVOLI	LITESPHERE ADAPT 2.0	WIRE: BLACK, SPACING: 12" O.C., LED COLOR: 3000K, GLOBE: GINA	DOUG HARWOOD 913.232.6124
L-100.3	STRING LIGHT POLE	KW INDUSTRIES	RSP	RSP-15, 15' HEIGHT, POWDERCOAT COLOR: BLACK	KATE WIMER 913.488.6444
L-100.4	LED CHANNEL LIGHT	KELVIX	DL SERIES	PRODUCT: DIRECT VIEW 200 (OUTDOOR) CHANNEL PRODUCT: CH-607, FROSTED LENS	KATE WIMER 913.488.6444
L-100.5	GFCI ELECTRICAL OUTLET	GRAINGER	TAYMAC	BLACK, SINGLE GANG, WEATHER PROOF OUTDOOR POWER BOX. BLACK ELECTRICAL CONDUIT. WEATHER PROOF OUTLET COVER OR APPROVED EQUAL	

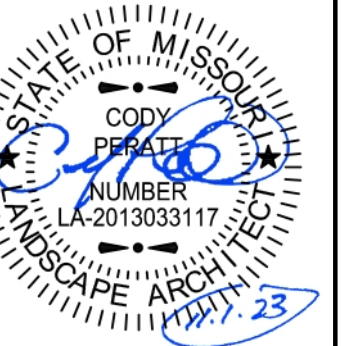
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MATERIAL SCHEDULE
PRIVATE SITE DEVELOPMENT PLANS

THE VILLAGE AT DISCOVERY PARK LOT 3
NW COLBERN RD & NE DOUGLAS ST

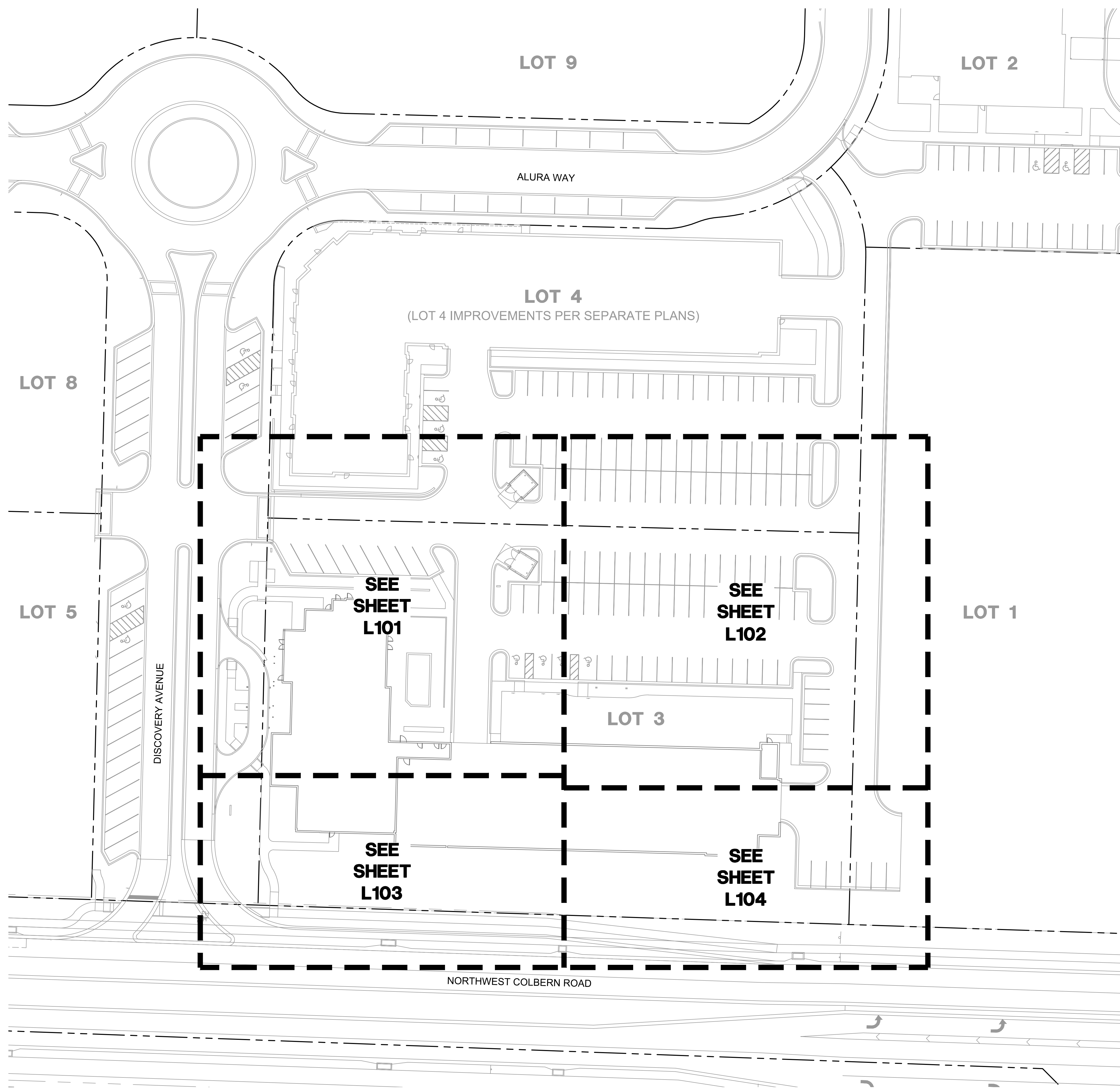
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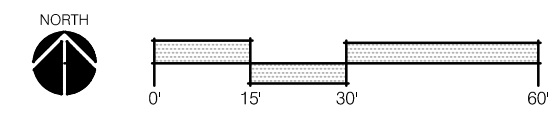
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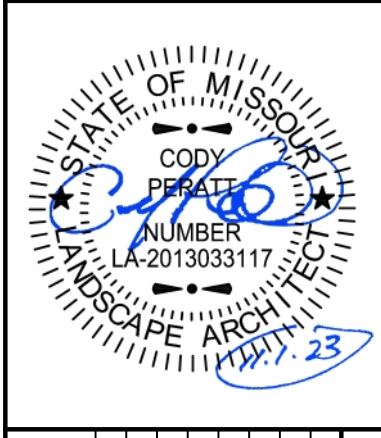
1 HARDSCAPE OVERALL PLAN



HARDSCAPE GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE UTILITY INFORMATION IS NOT MEANT TO BE ALL INCLUSIVE. THE CONTRACTOR SHALL NOTIFY MISSOURI ONE CALL (811) BEFORE THE START OF ANY EXCAVATION WORK. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION TO PROVIDE NON-INTERRUPTION OF SERVICE, TO ENSURE PROPER CLEARANCES, AND TO AVOID DAMAGE THERETO.
3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO, AND ACCEPT THE SITE CONDITIONS TO BE ENCOUNTERED.
5. WHERE THE NEW IMPROVEMENTS ABUT EXISTING IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING THE ELEVATION OF THE EXISTING IMPROVEMENTS UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL PROVIDE A SECURE SITE TO PROTECT VEHICLES AND PEDESTRIANS FROM ACCIDENTAL FALLS AND HARM FROM THE CONSTRUCTION PROCESS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR DE-WATERING CONSTRUCTION AREAS IN ORDER TO PERMIT CONTINUATION OF THE WORK. ANY WATER ACCUMULATION SHALL BE REMOVED BY PUMPING.
8. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OR MATERIALS AS SHOWN IN THESE PLANS. CONTRACTOR SHALL ACCOMMODATE ALL SLOPE AND GRADE CONDITIONS IN THEIR CALCULATION OF MATERIAL QUANTITIES FOR ALL WORK SHOWN ON THESE PLANS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DURING CONSTRUCTION OPERATIONS. OWNER SHALL APPROVE MEASURES USED TO ALLOW TENANTS AND SHOPPERS PROPER ACCESS DURING CONSTRUCTION.
10. CONTRACTOR SHALL TAKE CARE TO CREATE SMOOTH UNIFORM FINISH GRADES IN ALL AREAS.
11. SLOPES SHALL BE MADE WITH A 4 TO 1 MAXIMUM GRADE FOR MAINTENANCE PURPOSES, UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL MATCH GRADES AT EXISTING IMPROVEMENTS.
13. ALL SPOT ELEVATIONS SHOWN ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
14. CONTRACTOR SHALL ADJUST ALL VALVE BOXES, MANHOLE RING COVERS, AND OTHER UTILITY APPURTENANCES TO MATCH FINISH GRADE ELEVATIONS.
15. TURF & SHRUB BED AREAS SHALL BE GRADED AS NECESSARY TO ALLOW A 2% SLOPE TO INLET LOCATIONS AND SWALES.
16. ALL WORK CONSTRUCTED UNDER THESE PLANS SHALL MEET SLOPE REQUIREMENTS PER THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, THE 2012 TAS STANDARDS FOR ACCESSIBLE DESIGN, AND INTERNATIONAL BUILDING CODE IN CURRENT USAGE. MAXIMUM 5% RUNNING SLOPE AND MAXIMUM 2% CROSS SLOPE FOR SIDEWALKS.
17. ALL WORK CONSTRUCTED UNDER THESE PLANS SHALL HAVE A MINIMUM OF A 1% SLOPE. LANDSCAPE BEDS AND TURF AREAS SHALL HAVE A MINIMUM OF A 2% SLOPE.
18. CHANGES IN LEVEL SHALL NOT BE GREATER THAN 1/4" AND A MAXIMUM OF 1/2" ARE ALLOWED WITH A BEVELED SLOPE NOT STEEPER THAN 1:2.

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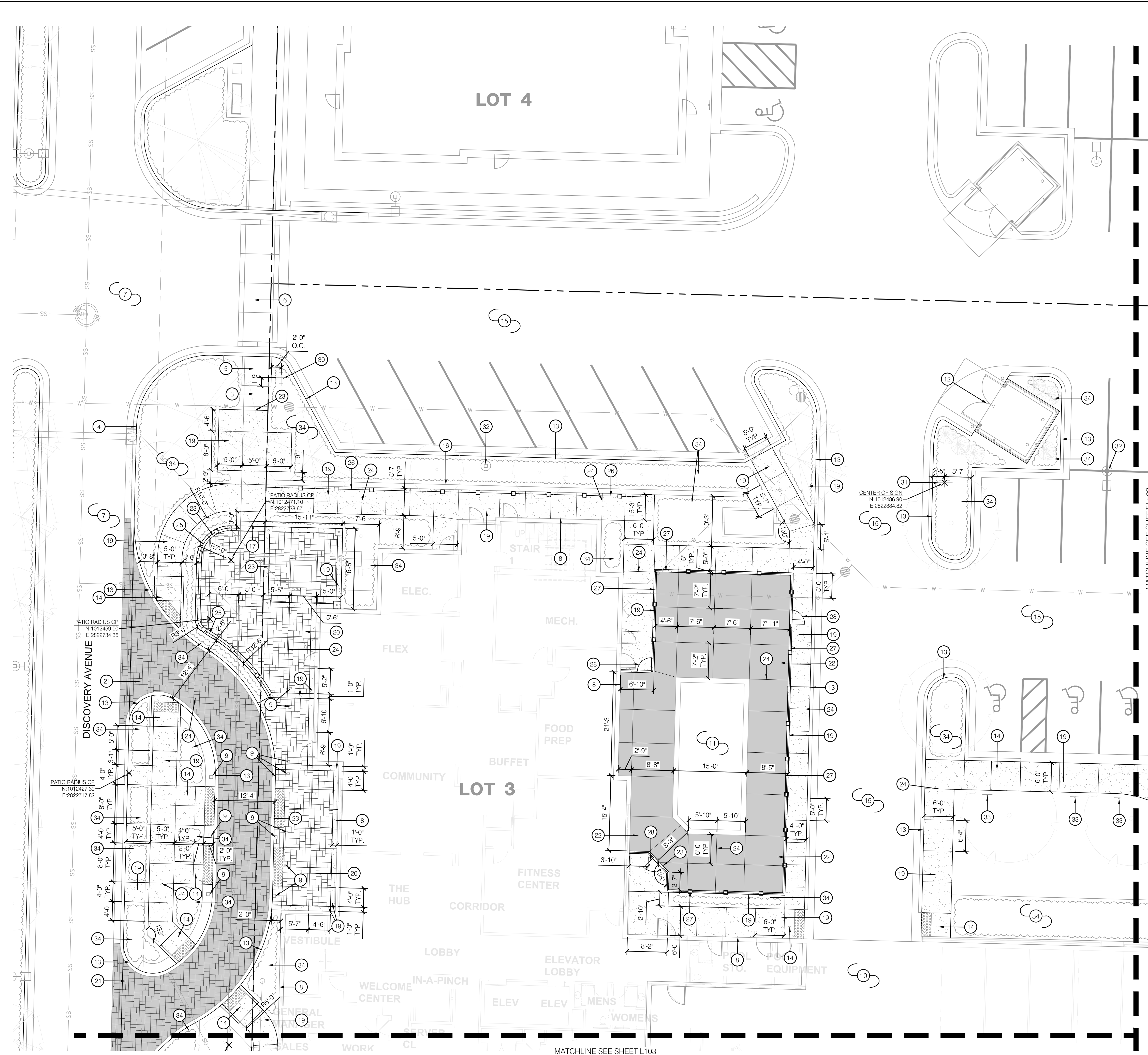
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HARDSCAPE OVERALL PLAN
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 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI
 2023

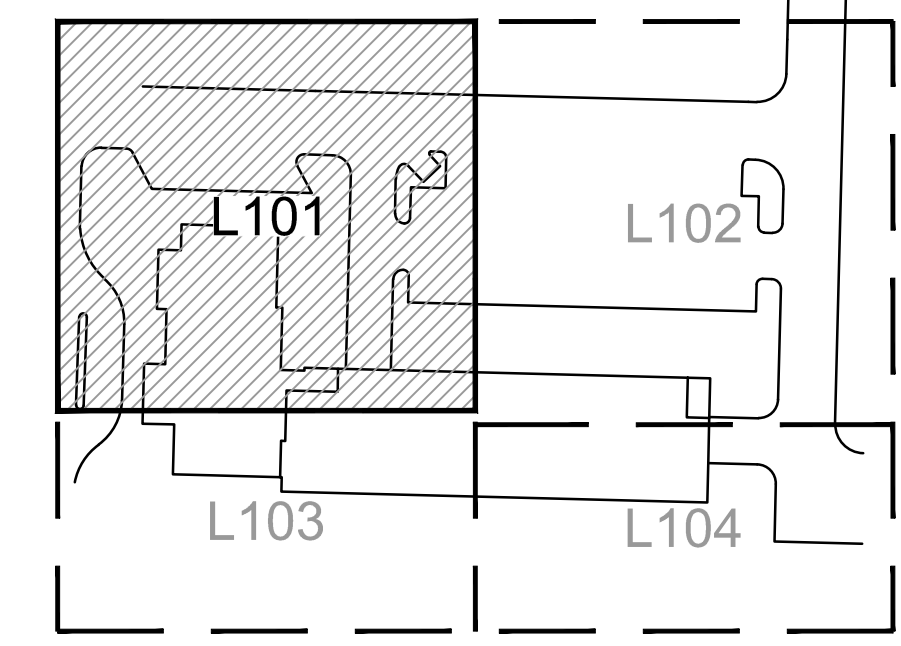
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approved by:	CP
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date:	11.01.2023

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1 HARDSCAPE PLAN



KEYMAP

HARDSCAPE LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- - - SHEET MATCHLINE
- ▒ GRAY CONCRETE (P-100.1)
- ▒ INTEGRAL COLOR STAMPED CONCRETE (P-100.2)
- ▒ LIGHT DUTY INTEGRAL COLOR STAMPED CONCRETE (P-100.2)
- ▒ POOL DECK CONCRETE WITH TOPPING (P-100.3)
- CENTER POINT

HARDSCAPE PLAN NOTES:

- 1 EXISTING SIDEWALK
- 2 SIDEWALK; REF: PUBLIC ROAD IMPROVEMENT PLANS
- 3 SIDEWALK; REF: PRIVATE DRIVE PLANS
- 4 CONCRETE CURB; REF: PRIVATE DRIVE PLANS
- 5 CONCRETE CURB RAMP; REF: PRIVATE DRIVE PLANS
- 6 CROSSWALK; REF: PRIVATE DRIVE PLANS
- 7 DRIVE; REF: PRIVATE DRIVE PLANS
- 8 BUILDING FACADE; REF: ARCHITECTURAL PLANS
- 9 BUILDING COLUMN; REF: ARCHITECTURAL PLANS
- 10 PARKING GARAGE; REF: ARCHITECTURAL PLANS
- 11 POOL BY POOL CONTRACTOR
- 12 TRASH ENCLOSURE; REF: ARCHITECTURAL PLANS
- 13 CONCRETE CURB; REF: CIVIL PLANS
- 14 CONCRETE CURB RAMP; REF: CIVIL PLANS
- 15 DRIVE PAVEMENT; REF: CIVIL PLANS
- 16 RETAINING WALL; REF: CIVIL PLANS
- 17 STAIRS; REF: CIVIL PLANS
- 18 EV STATION; REF: CIVIL PLANS
- 19 CONSTRUCT GRAY CONCRETE (P-100.1); REF: 1/L200
- 20 CONSTRUCT INTEGRAL COLOR STAMPED CONCRETE (P-100.2); REF: 2/L200
- 21 CONSTRUCT LIGHT DUTY INTEGRAL COLOR STAMPED CONCRETE (P-100.2); REF: 4/L200 & CIVIL PLANS FOR JOINTING PATTERN
- 22 CONSTRUCT POOL DECK CONCRETE WITH TOPPING (P-100.3); REF: 3/L200
- 23 INSTALL EXPANSION JOINT; REF: 5/L200
- 24 INSTALL CONTROL JOINT-STRAIGHT CUT; REF: 5/L200
- 25 CONCRETE PATIO RAILING; REF: 1/L201
- 26 NORTH RAILING; REF: 3/L201
- 27 POOL FENCE; REF: 2/L201
- 28 POOL FENCE GATE; REF: 2/L201
- 29 MONUMENT SIGN; REF: 1/L202
- 30 PARKING SIGN; REF: 1/L202
- 31 ENTRANCE & EXIT SIGN; REF: 1/L202
- 32 LIGHT POLES; REF: ELECTRICAL PLANS
- 33 REGULATORY SIGNAGE; REF: CIVIL PLANS
- 34 PLANTING BED. CONTRACTOR SHALL LEAVE PLANTING BED CLEAN OF TOPSOIL, GRAVEL, AND OTHER DEBRIS 12" BELOW TOP OF HARDSCAPE ELEVATION. REF LANDSCAPE PLANS

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REV. NO.	DATE	REVISIONS DESCRIPTION	BY

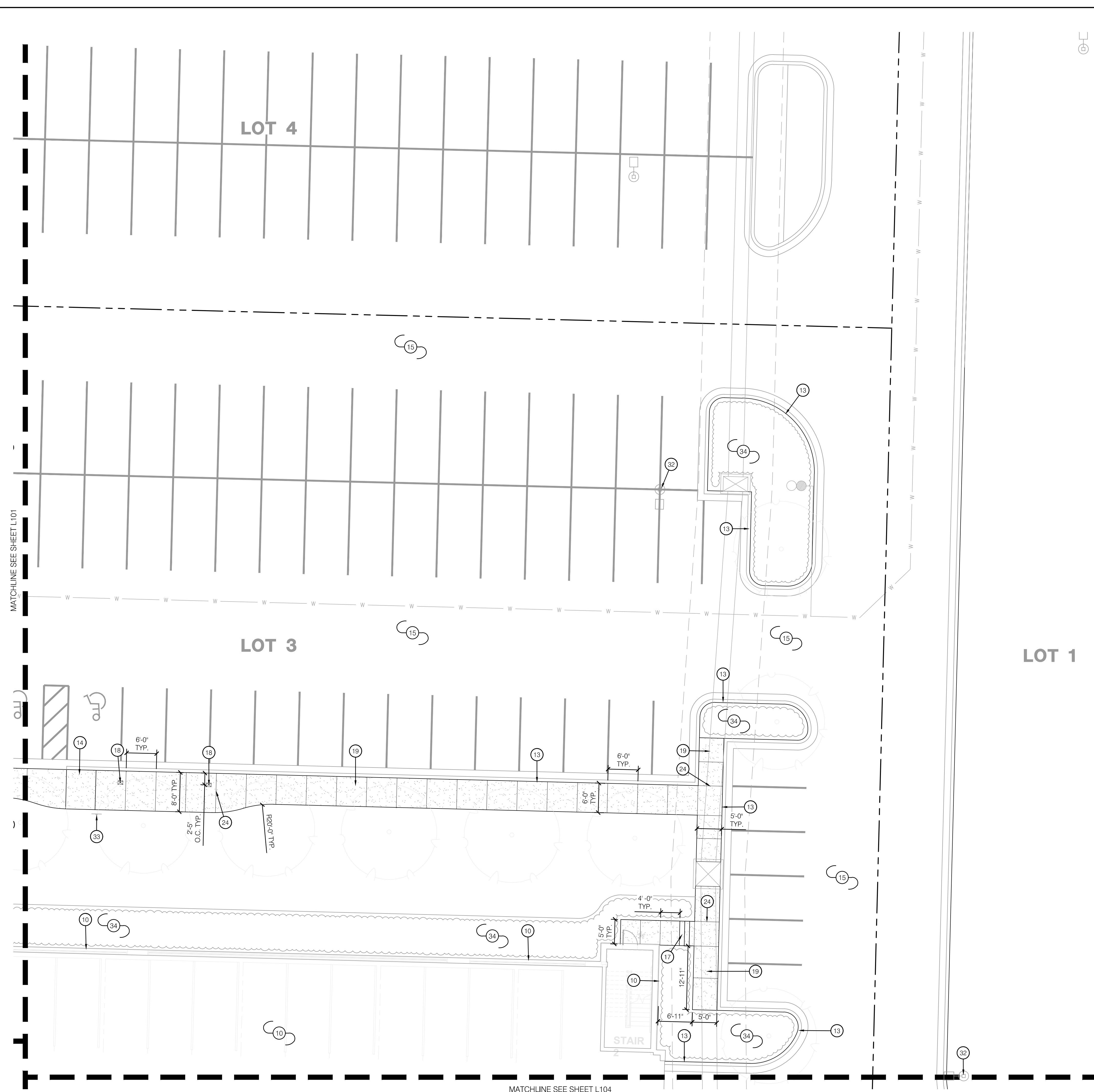
2023

HARDSCAPE PLAN
PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

drawn by:	EW
checked by:	CP
approved by:	CP
QA/QC by:	BM
project no.:	F21-04643
drawing no.:	L_HSC01_F2104643
date:	11.01.2023

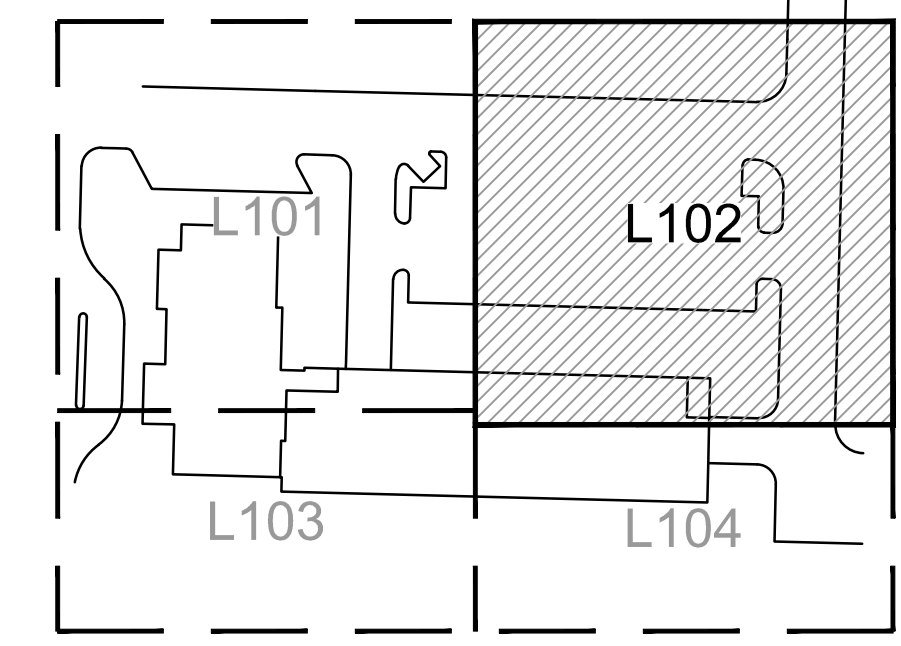
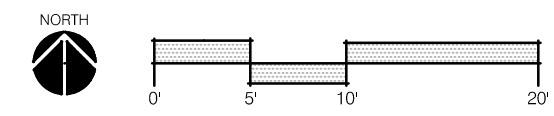
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 L_PTBK_F2104643



1 HARDSCAPE PLAN

MATCHLINE SEE SHEET L104



KEYMAP

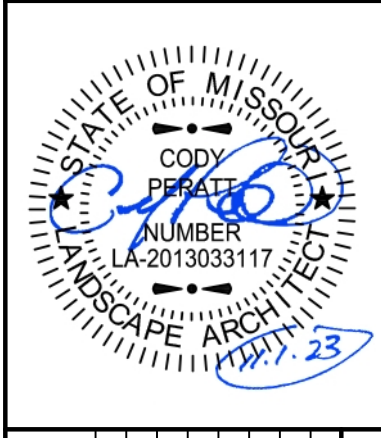
HARDSCAPE LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCHLINE
- GRAY CONCRETE (P-100.1)
- INTEGRAL COLOR STAMPED CONCRETE (P-100.2)
- LIGHT DUTY INTEGRAL COLOR STAMPED CONCRETE (P-100.2)
- POOL DECK CONCRETE WITH TOPPING (P-100.3)
- CENTER POINT

HARDSCAPE PLAN NOTES:

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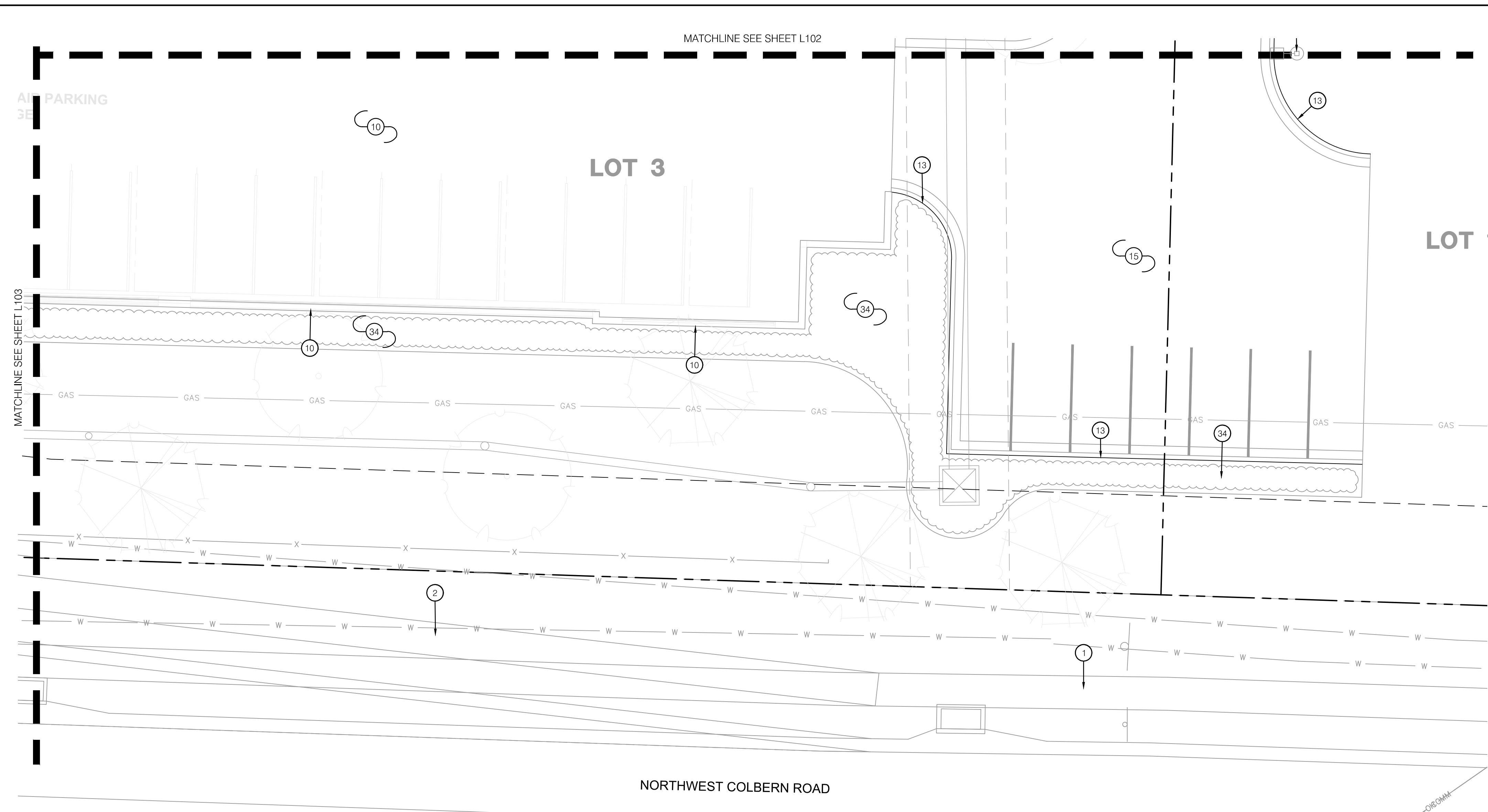
HARDSCAPE PLAN
PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

2023

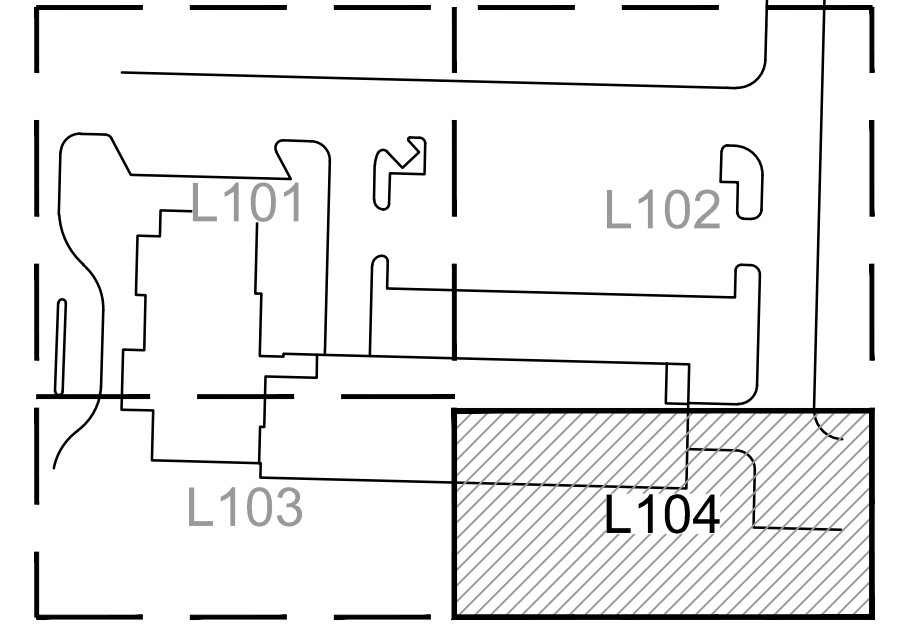
drawn by: EW
 checked by: CP
 approved by: CP
 QA/QC by: BM
 project no.: F21-04643
 drawing no.: L_HSC01_F2104643
 date: 11.01.2023

SHEET
L102

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1 HARDSCAPE PLAN



KEYMAP

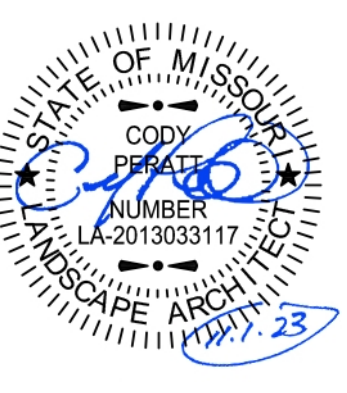
HARDSCAPE LEGEND:

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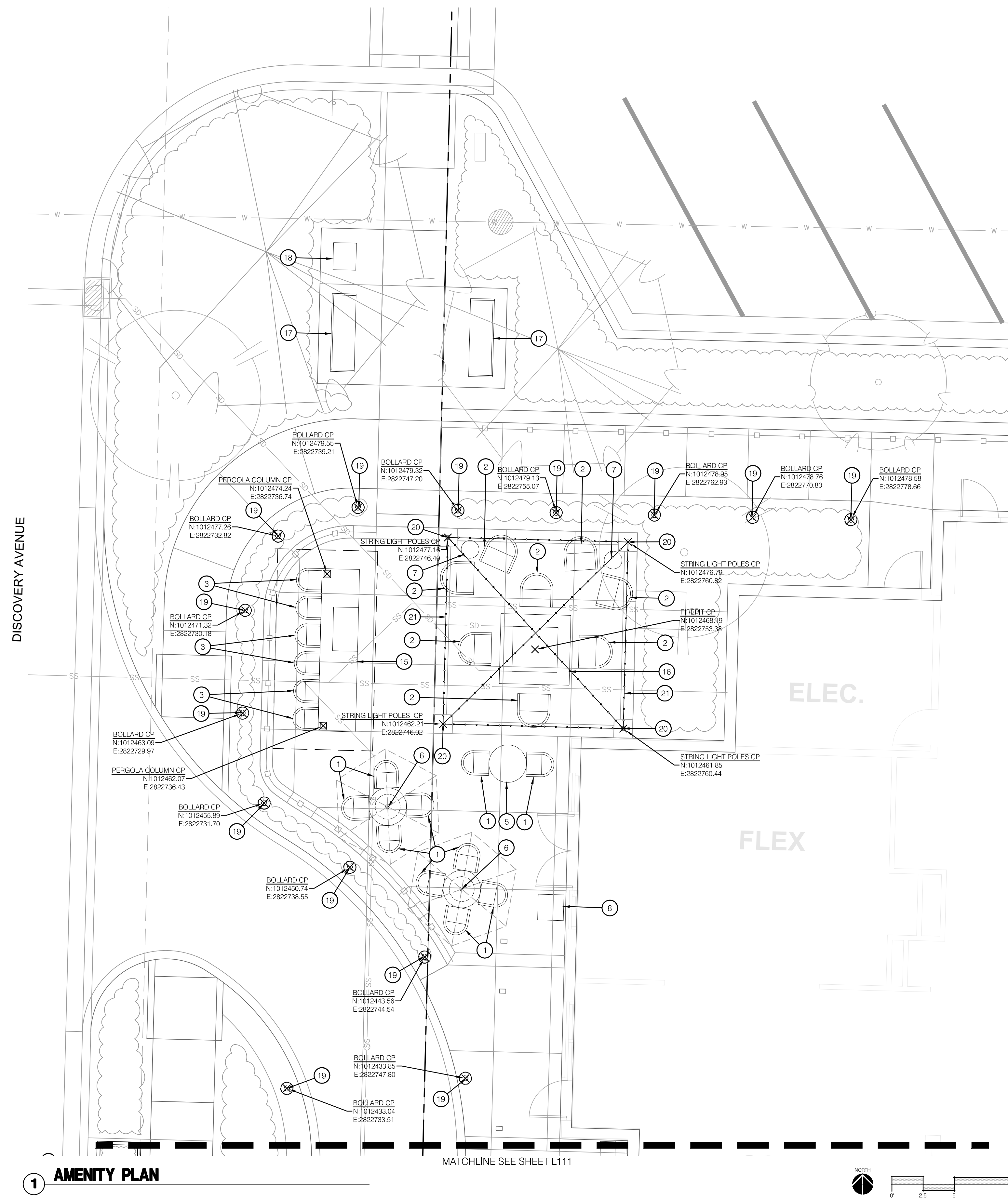
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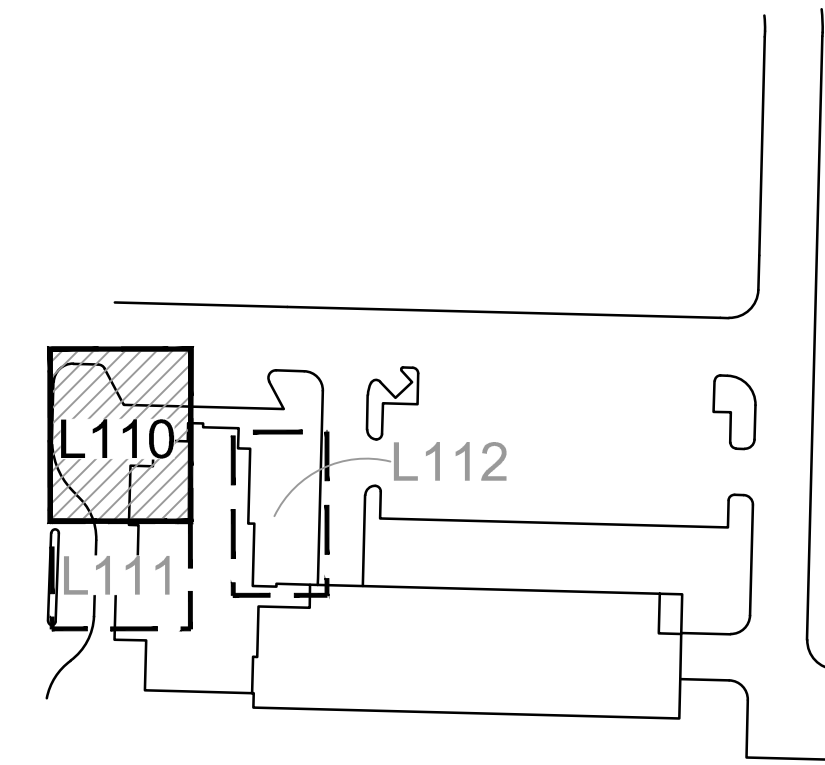
REV. NO.	DATE	REVISIONS DESCRIPTION	BY

HARDSCAPE PLAN PRIVATE SITE DEVELOPMENT PLANS	THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST	2023
		LEE'S SUMMIT, MISSOURI

drawn by: EW
 checked by: CP
 approved by: CP
 QA/QC by: BM
 project no.: F21-04643
 drawing no.: L_HSC01_F2104643
 date: 11.01.2023



1 AMENITY PLAN



KEYMAP

AMENITY LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- - - SHEET MATCHLINE
- CP CENTER POINT

AMENITY PLAN NOTES:

- 1 INSTALL DINING CHAIR (SF-100.1); REF: 1/L204
- 2 INSTALL LOUNGE CHAIR (SF-100.2); REF: 2/L204
- 3 INSTALL BAR STOOL (SF-100.3); REF: 3/L204
- 4 INSTALL CHAISE LOUNGE (SF-100.4); REF: 4/L204
- 5 INSTALL DINING TABLE (SF-100.5); REF: 5/L204
- 6 INSTALL DINING UMBRELLA TABLE (SF-100.6); REF: 6/L204
- 7 INSTALL SIDE TABLE (SF-100.7); REF: 7/L204
- 8 INSTALL TRASH RECEPTACLE - PRIVATE (SF-100.8); REF: 8/L204
- 9 INSTALL UMBRELLA (SF-100.9); REF: 9/L204
- 10 INSTALL PLANTER - FRONT ENTRY (SF-100.10); REF: 10/L204
- 11 INSTALL PLANTER - ACCENT (SF-100.11); REF: 11/L204
- 12 INSTALL TOWEL BIN (SF-100.12); REF: 12/L204
- 13 INSTALL TOWEL RACK (SF-100.13); REF: 1/L205
- 14 INSTALL CABANA (SF-100.14); REF: 2/L205
- 15 INSTALL BAR & GRILL STATION (SF-100.15); REF: 2/L203
- 16 INSTALL FIRE PIT (SF-100.16); REF: 9/L205
- 17 INSTALL BENCH - STREETScape (SF-200.1); REF: 3/L205
- 18 INSTALL TRASH RECEPTACLE (SF-200.2); REF: 4/L205
- 19 INSTALL DECORATIVE BOLLARD (L-100.1); REF: 5, 6, & 7/L205
- 20 INSTALL STRING LIGHT POLE (L-100.3); REF: 8/L205
- 21 INSTALL STRING LIGHTS (L-100.2); REF: LIGHTING PLANS
- 22 ADA LIFT BY POOL CONTRACTOR

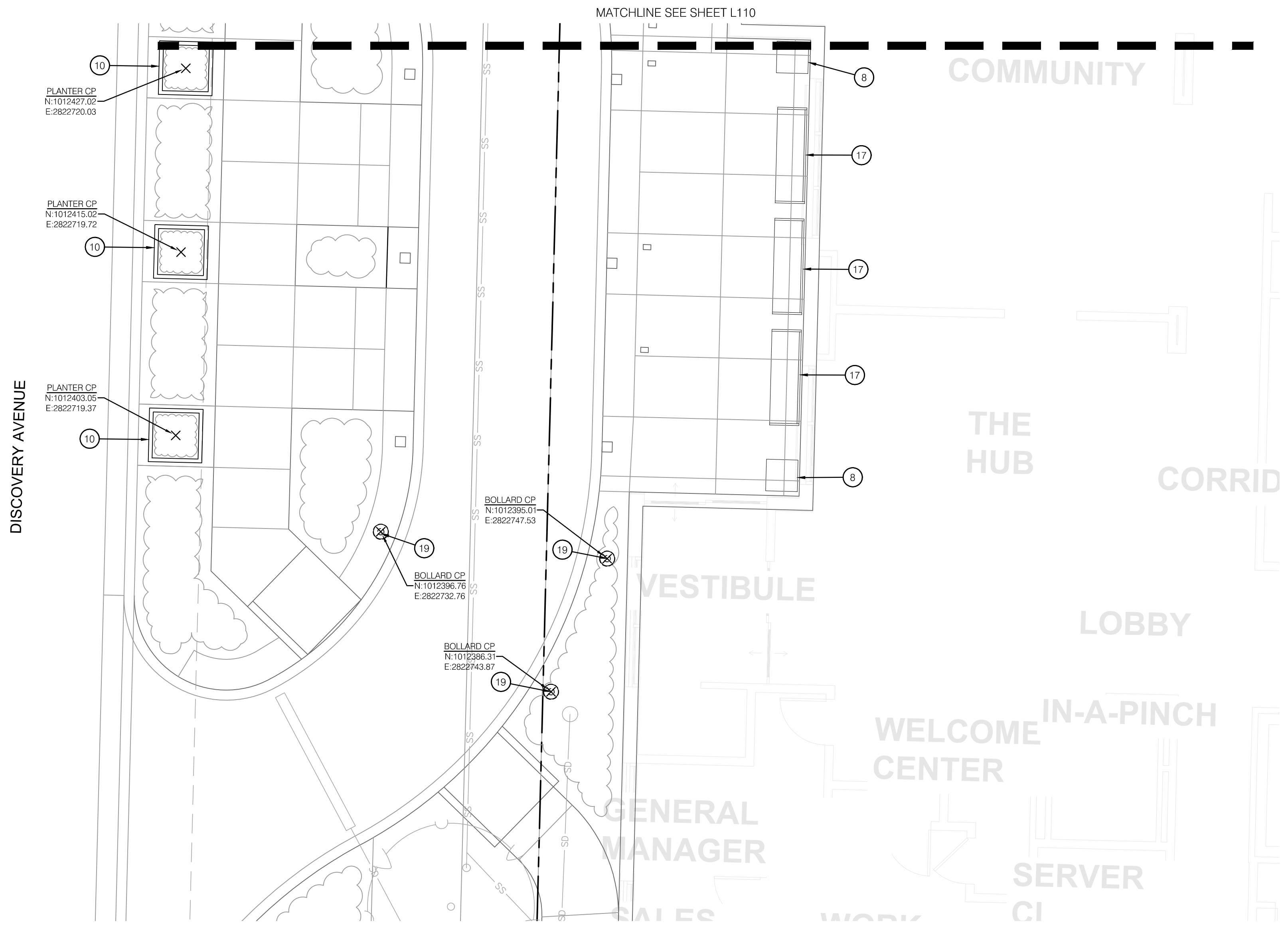


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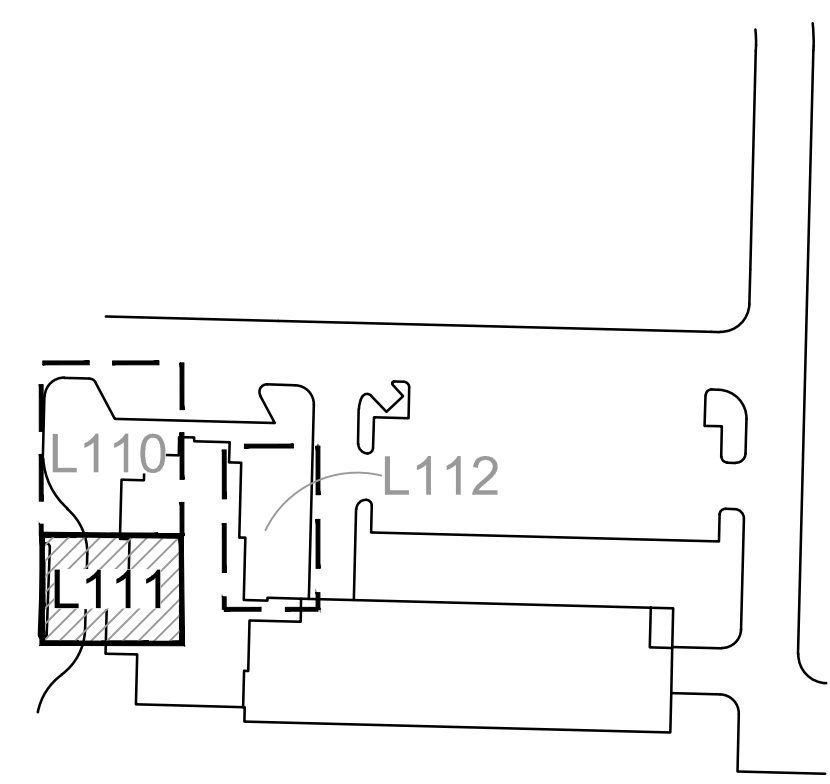
AMENITY PLAN PRIVATE SITE DEVELOPMENT PLANS	
THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST	
2023	REVISIONS

drawn by: EW
 checked by: CP
 approved by: BM
 QA/QC by: BM
 project no.: F21-04643
 drawing no.: L_AMN01_F2104643
 date: 11.01.2023

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1 AMENITY PLAN



KEYMAP

AMENITY LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCHLINE
- CP CENTER POINT

AMENITY PLAN NOTES:

- 1 INSTALL DINING CHAIR (SF-100.1); REF: 1/L204
- 2 INSTALL LOUNGE CHAIR (SF-100.2); REF: 2/L204
- 3 INSTALL BAR STOOL (SF-100.3); REF: 3/L204
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- 8 INSTALL TRASH RECEPTACLE - PRIVATE (SF-100.8); REF: 8/L204
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- 14 INSTALL CABANA (SF-100.14); REF: 2/L205
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CODY BEATTY
 LICENSE # LA-201303311

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

AMENITY PLAN

PRIVATE SITE DEVELOPMENT PLANS

THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST

LEE'S SUMMIT, MISSOURI

2023

drawn by: EW

checked by: CP

approved by: BM

QA/QC by: BM

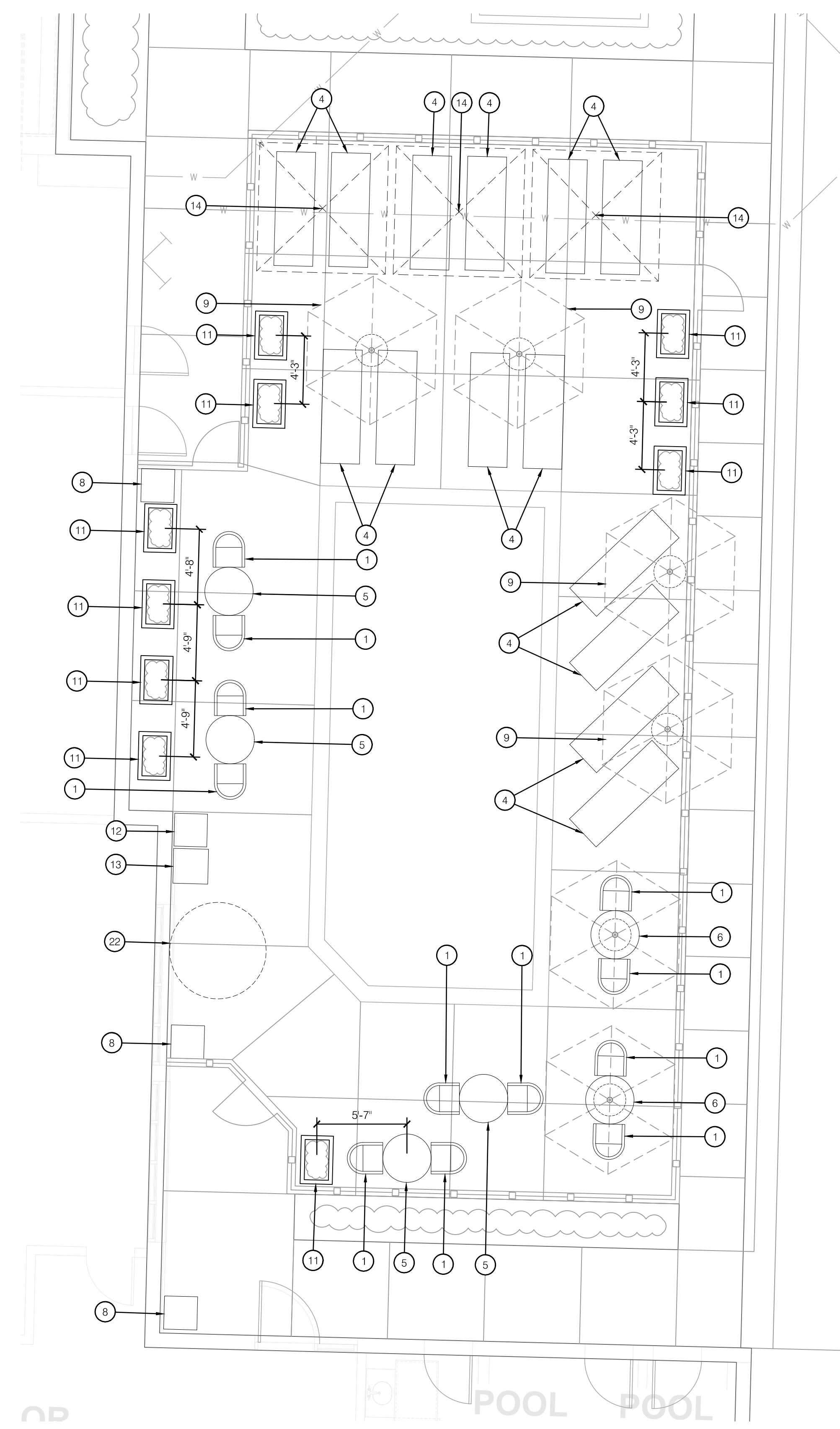
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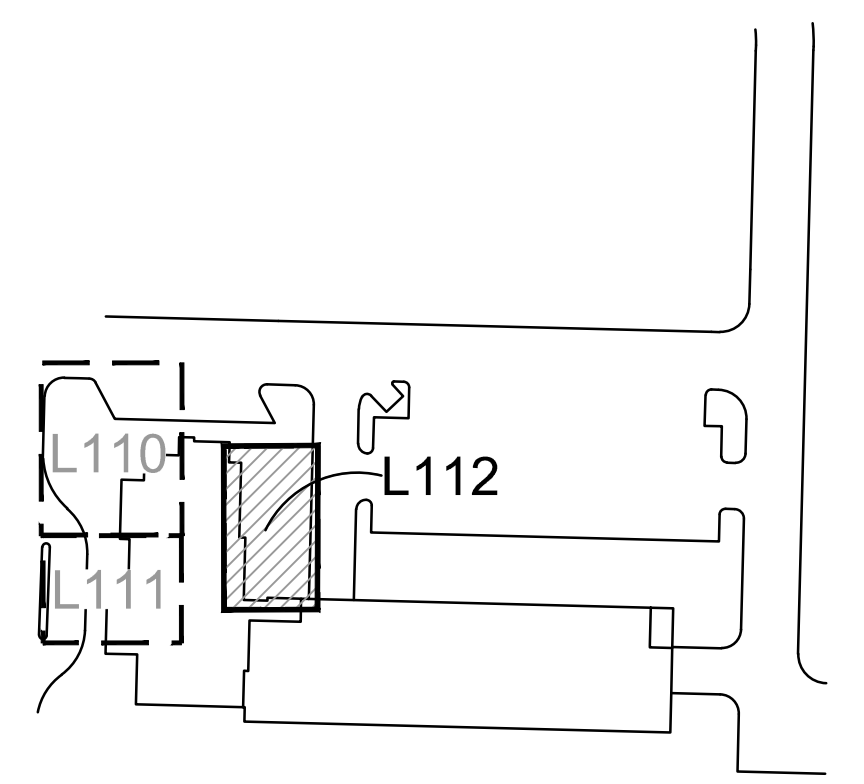
L111



1 AMENITY PLAN

NORTH

0 2.5 5 10



KEYMAP

AMENITY LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- - - SHEET MATCHLINE
- CP CENTER POINT

AMENITY PLAN NOTES:

- 1 INSTALL DINING CHAIR (SF-100.1); REF: 1/L204
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 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

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AMENITY PLAN
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 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST

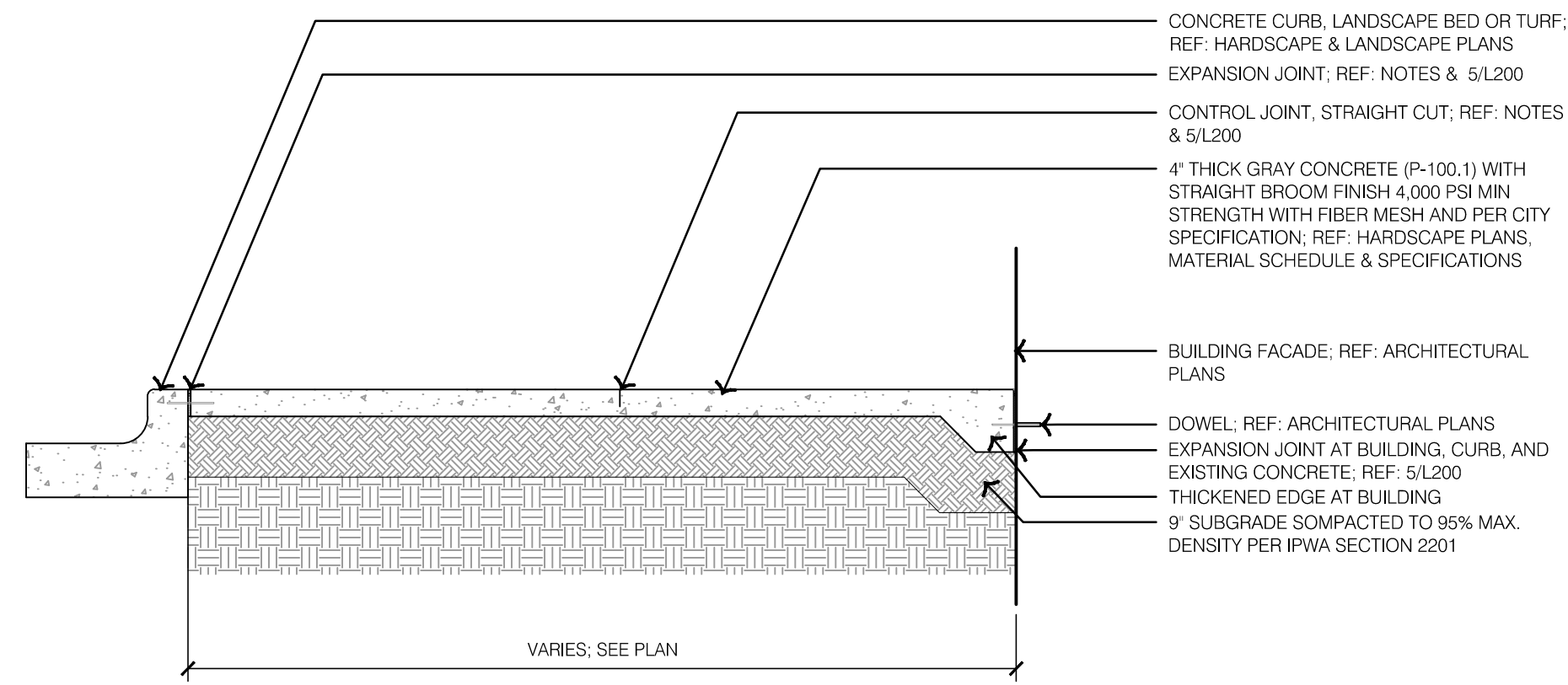
2023

drawn by: EW
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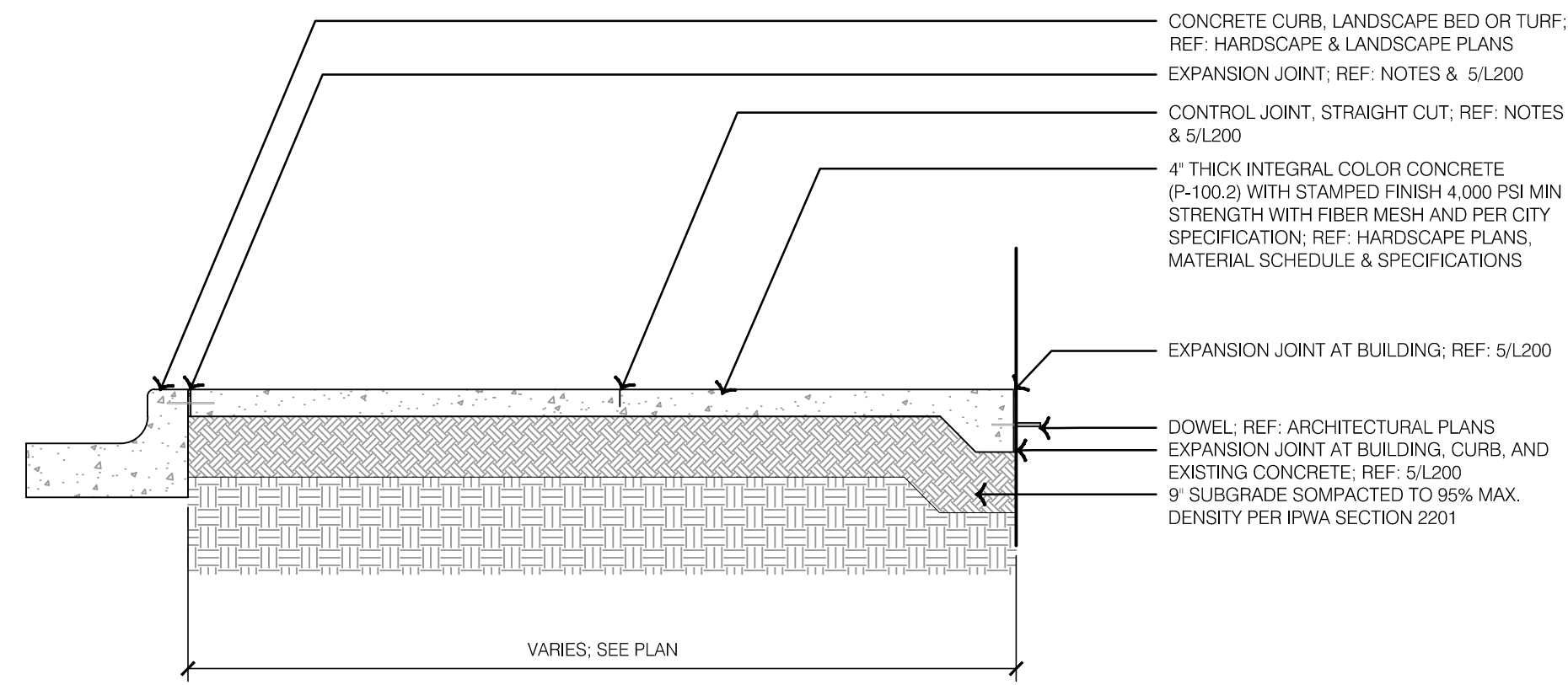
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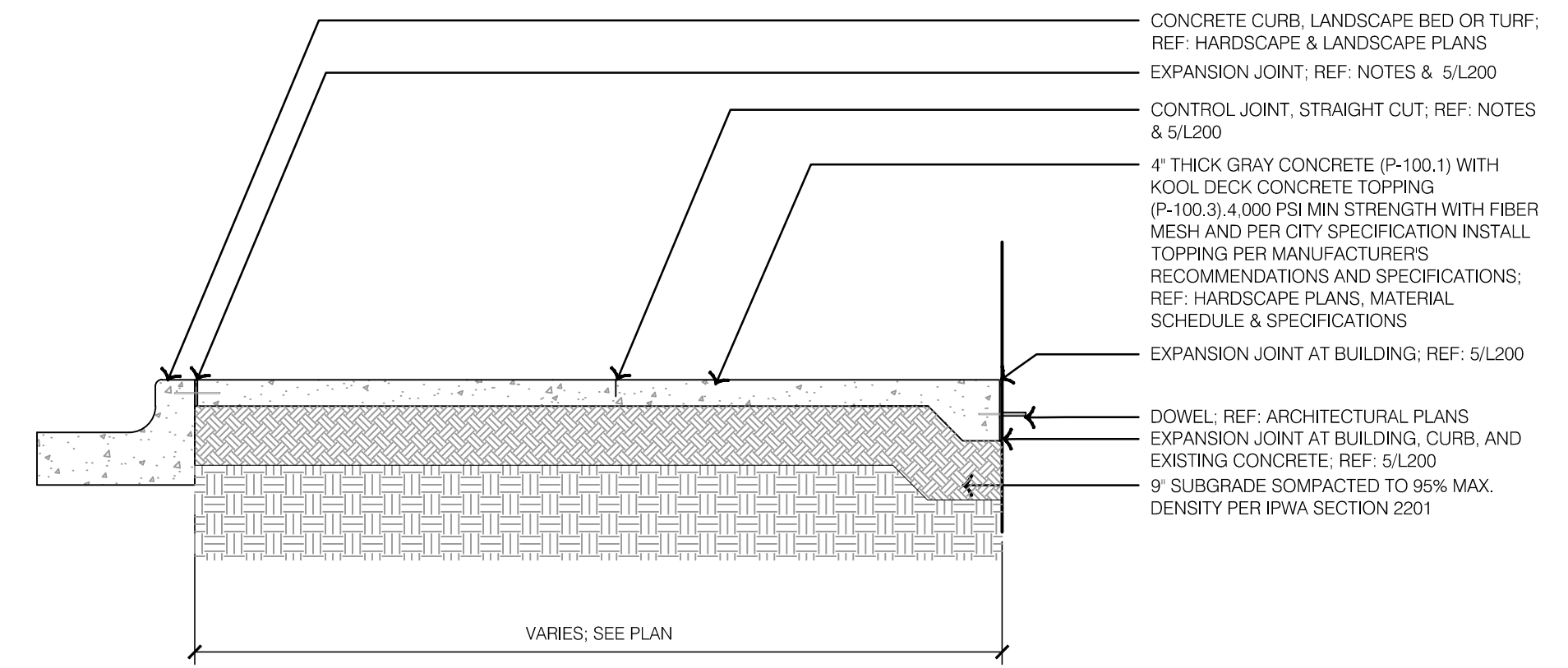
- CONCRETE CURB, LANDSCAPE BED OR TURF;
 REF: HARDSCAPE & LANDSCAPE PLANS
 EXPANSION JOINT; REF: NOTES & 5/L200
 CONTROL JOINT, STRAIGHT CUT; REF: NOTES
 & 5/L200
 4" THICK GRAY CONCRETE (P-100.1) WITH
 STRAIGHT BROOM FINISH 4,000 PSI MIN
 STRENGTH WITH FIBER MESH AND PER CITY
 SPECIFICATION; REF: HARDSCAPE PLANS,
 MATERIAL SCHEDULE & SPECIFICATIONS
 BUILDING FACADE; REF: ARCHITECTURAL
 PLANS
 DOWEL; REF: ARCHITECTURAL PLANS
 EXPANSION JOINT AT BUILDING, CURB, AND
 EXISTING CONCRETE; REF: 5/L200
 THICKENED EDGE AT BUILDING
 9" SUBGRADE COMPACTED TO 95% MAX.
 DENSITY PER IPWA SECTION 2201
 VARIES; SEE PLAN
- NOTES:
 1. EXPANSION JOINTS SHALL BE PLACED AT RADIAL POINTS AND WHERE SIDEWALKS &
 PEDESTRIAN CONCRETE PAVING ABUTS CONCRETE CURB, DRIVEWAYS AND SIMILAR
 STRUCTURES. JOINTS TO BE PLACED AT INTERVALS WITH NOT MORE THAN 100' CENTERS.
 2. THE PEDESTRIAN CONCRETE PAVING SURFACE SHALL BE MARKED OFF AS SHOWN ON
 PLANS BY CONTROL JOINTS.
 3. BROOM FINISH SHALL BE PERPENDICULAR TO BUILDING FACADE.
 4. GRAY CONCRETE SHALL BE PER SPECIFICATIONS
 5. REFER TO GEOTECHNICAL REPORT AND ALL ADDENDA FOR ADDITIONAL INFORMATION.

1 TYPICAL GRAY CONCRETE



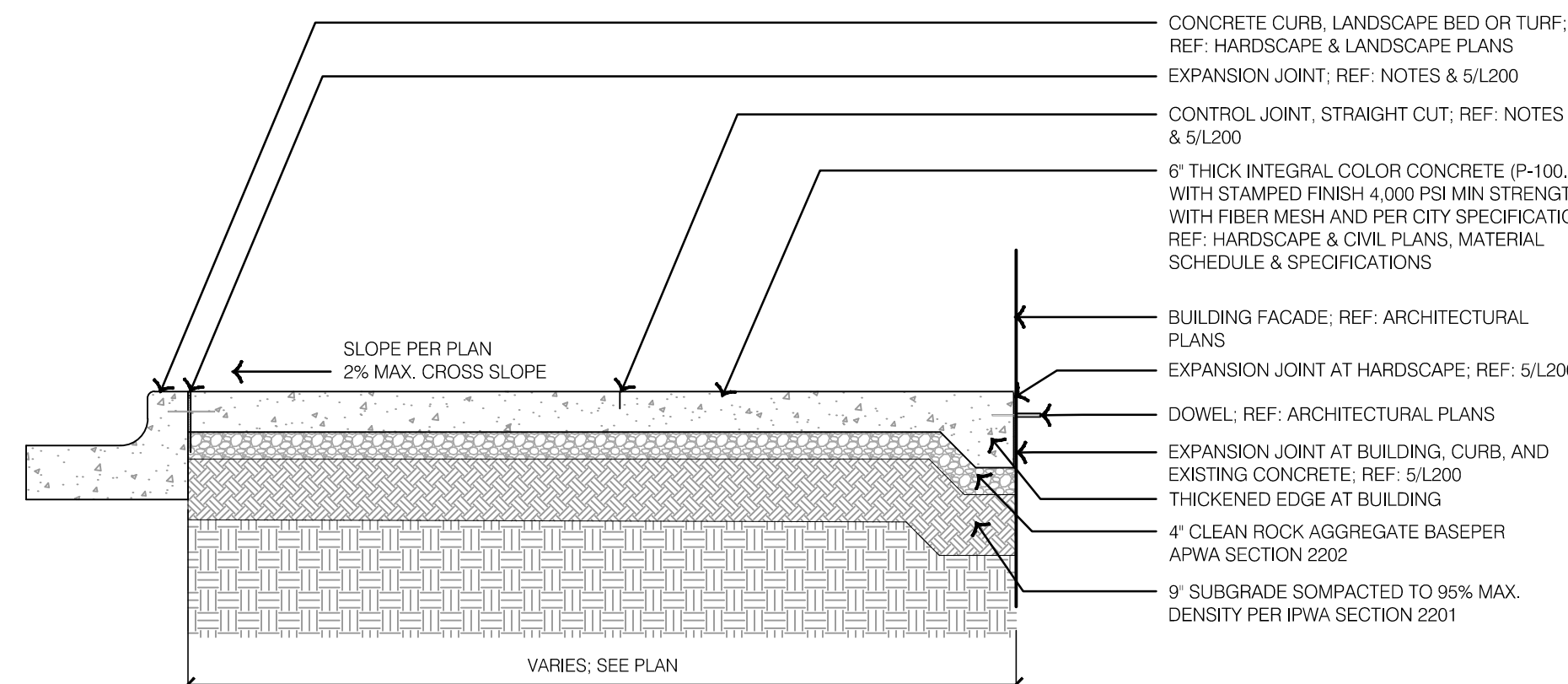
- CONCRETE CURB, LANDSCAPE BED OR TURF;
 REF: HARDSCAPE & LANDSCAPE PLANS
 EXPANSION JOINT; REF: NOTES & 5/L200
 CONTROL JOINT, STRAIGHT CUT; REF: NOTES
 & 5/L200
 4" THICK INTEGRAL COLOR CONCRETE
 (P-100.2) WITH STAMPED FINISH 4,000 PSI MIN
 STRENGTH WITH FIBER MESH AND PER CITY
 SPECIFICATION; REF: HARDSCAPE PLANS,
 MATERIAL SCHEDULE & SPECIFICATIONS
 EXPANSION JOINT AT BUILDING; REF: 5/L200
 DOWEL; REF: ARCHITECTURAL PLANS
 EXPANSION JOINT AT BUILDING, CURB, AND
 EXISTING CONCRETE; REF: 5/L200
 9" SUBGRADE COMPACTED TO 95% MAX.
 DENSITY PER IPWA SECTION 2201
 VARIES; SEE PLAN
- NOTES:
 1. EXPANSION JOINTS SHALL BE PLACED AT RADIAL POINTS AND WHERE SIDEWALKS &
 PEDESTRIAN CONCRETE PAVING ABUTS CONCRETE CURB, DRIVEWAYS AND SIMILAR
 STRUCTURES. JOINTS TO BE PLACED AT INTERVALS WITH NOT MORE THAN 100' CENTERS.
 2. THE PEDESTRIAN CONCRETE PAVING SURFACE SHALL BE MARKED OFF AS SHOWN ON
 PLANS BY CONTROL JOINTS.
 3. REFER TO GEOTECHNICAL REPORT AND ALL ADDENDA FOR ADDITIONAL INFORMATION.

2 TYPICAL STAMPED INTEGRAL COLOR CONCRETE



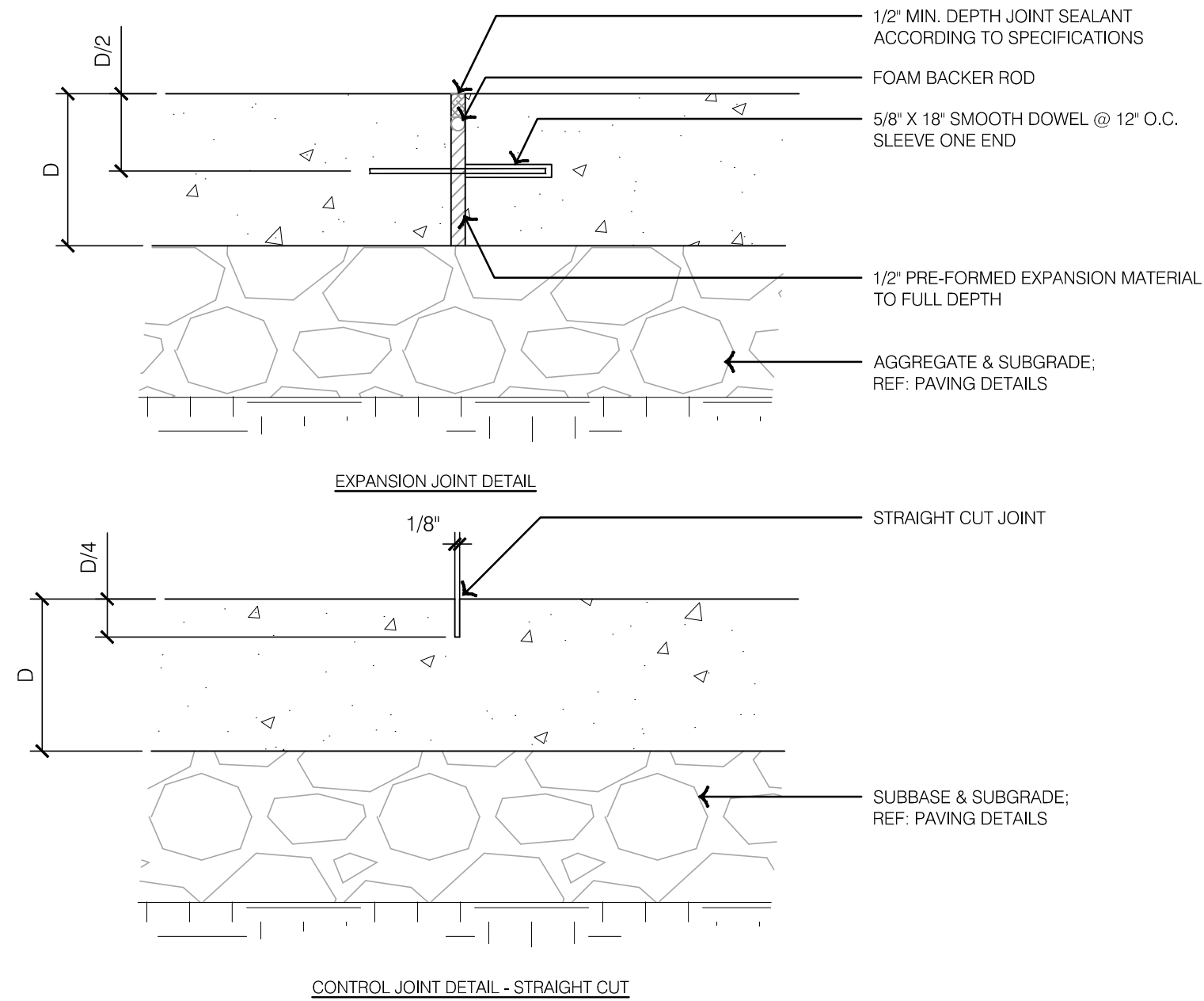
- CONCRETE CURB, LANDSCAPE BED OR TURF;
 REF: HARDSCAPE & LANDSCAPE PLANS
 EXPANSION JOINT; REF: NOTES & 5/L200
 CONTROL JOINT, STRAIGHT CUT; REF: NOTES
 & 5/L200
 4" THICK GRAY CONCRETE (P-100.1) WITH
 POOL DECK CONCRETE TOPPING
 (P-100.3) 4,000 PSI MIN STRENGTH WITH FIBER
 MESH AND PER CITY SPECIFICATION INSTALL
 TOPPING PER MANUFACTURERS
 RECOMMENDATIONS AND SPECIFICATIONS;
 REF: HARDSCAPE PLANS, MATERIAL
 SCHEDULE & SPECIFICATIONS
 EXPANSION JOINT AT BUILDING; REF: 5/L200
 DOWEL; REF: ARCHITECTURAL PLANS
 EXPANSION JOINT AT BUILDING, CURB, AND
 EXISTING CONCRETE; REF: 5/L200
 9" SUBGRADE COMPACTED TO 95% MAX.
 DENSITY PER IPWA SECTION 2201
 VARIES; SEE PLAN
- NOTES:
 1. EXPANSION JOINTS SHALL BE PLACED AT RADIAL POINTS AND WHERE SIDEWALKS &
 PEDESTRIAN CONCRETE PAVING ABUTS CONCRETE CURB, DRIVEWAYS AND SIMILAR
 STRUCTURES. JOINTS TO BE PLACED AT INTERVALS WITH NOT MORE THAN 100' CENTERS.
 2. THE PEDESTRIAN CONCRETE PAVING SURFACE SHALL BE MARKED OFF AS SHOWN ON
 PLANS BY CONTROL JOINTS.
 3. BROOM FINISH SHALL BE PERPENDICULAR TO BUILDING FACADE.
 4. REFER TO GEOTECHNICAL REPORT AND ALL ADDENDA FOR ADDITIONAL INFORMATION.

3 TYPICAL POOL DECK CONCRETE WITH TOPPING

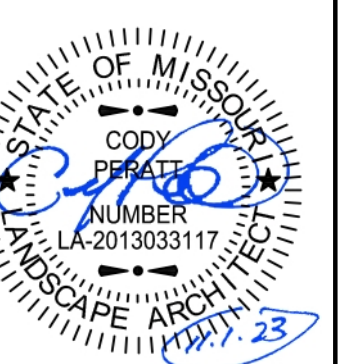
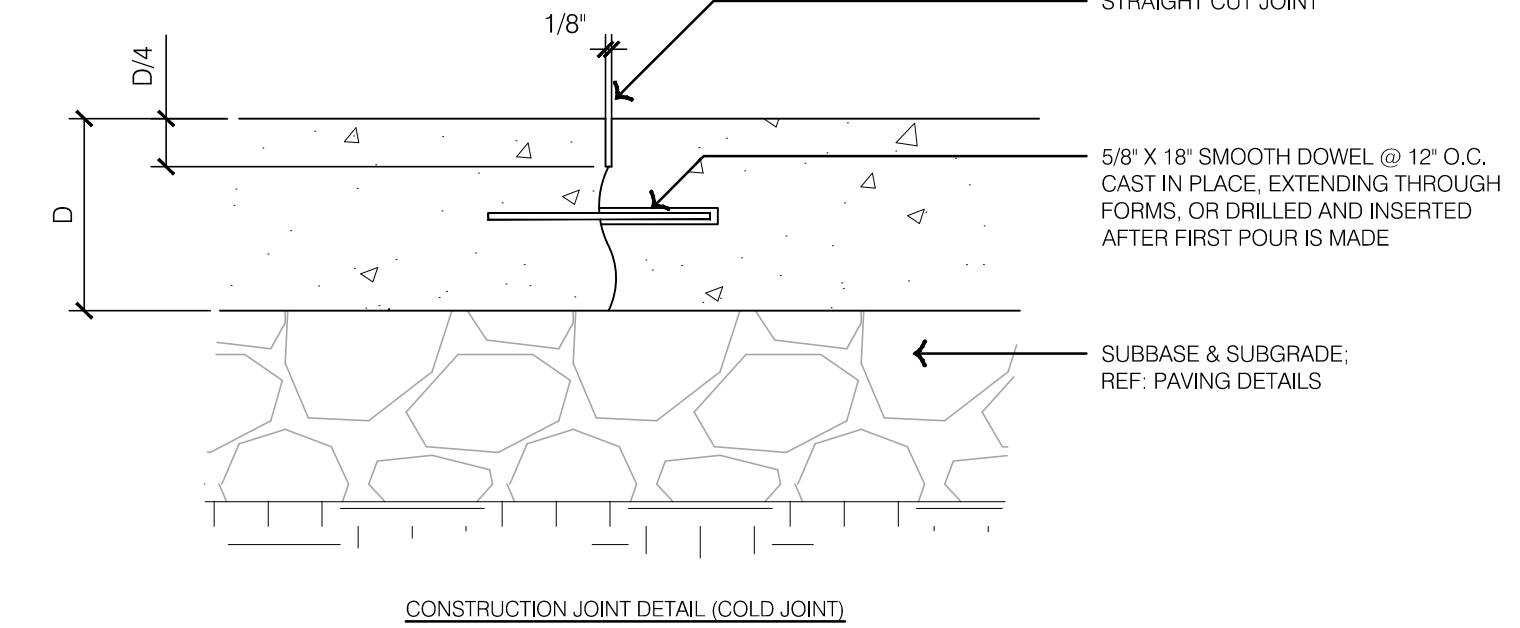


- CONCRETE CURB, LANDSCAPE BED OR TURF;
 REF: HARDSCAPE & LANDSCAPE PLANS
 EXPANSION JOINT; REF: NOTES & 5/L200
 CONTROL JOINT, STRAIGHT CUT; REF: NOTES
 & 5/L200
 6" THICK INTEGRAL COLOR CONCRETE (P-100.2)
 WITH STAMPED FINISH 4,000 PSI MIN STRENGTH
 WITH FIBER MESH AND PER CITY SPECIFICATION;
 REF: HARDSCAPE & CIVIL PLANS, MATERIAL
 SCHEDULE & SPECIFICATIONS
 BUILDING FACADE; REF: ARCHITECTURAL
 PLANS
 EXPANSION JOINT AT HARDSCAPE; REF: 5/L200
 DOWEL; REF: ARCHITECTURAL PLANS
 EXPANSION JOINT AT BUILDING, CURB, AND
 EXISTING CONCRETE; REF: 5/L200
 THICKENED EDGE AT BUILDING
 4" CLEAN ROCK AGGREGATE BASE PER
 APWA SECTION 2202
 9" SUBGRADE COMPACTED TO 95% MAX.
 DENSITY PER IPWA SECTION 2201
 SLOPE PER PLAN
 2% MAX. CROSS SLOPE
 VARIES; SEE PLAN
- NOTES:
 1. EXPANSION JOINTS SHALL BE PLACED AT RADIAL POINTS AND WHERE SIDEWALKS &
 PEDESTRIAN CONCRETE PAVING ABUTS CONCRETE CURB, DRIVEWAYS AND SIMILAR
 STRUCTURES. JOINTS TO BE PLACED AT INTERVALS WITH NOT MORE THAN 100' CENTERS.
 2. THE PEDESTRIAN CONCRETE PAVING SURFACE SHALL BE MARKED OFF AS SHOWN ON
 PLANS BY CONTROL JOINTS.
 3. REFER TO GEOTECHNICAL REPORT AND ALL ADDENDA FOR ADDITIONAL INFORMATION.

4 TYPICAL LIGHT DUTY STAMPED INTEGRAL COLOR CONCRETE



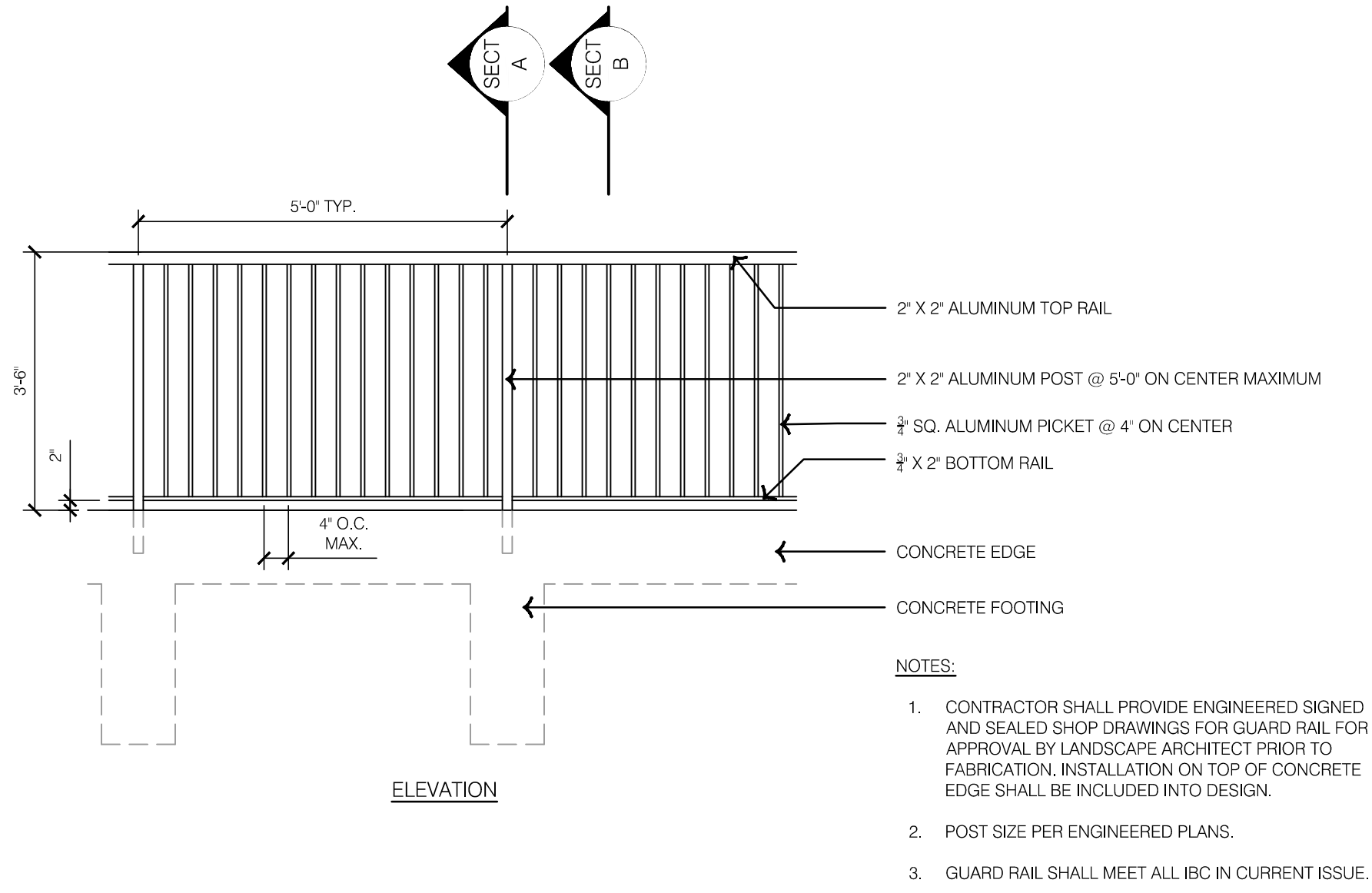
5 TYPICAL CONCRETE JOINTS



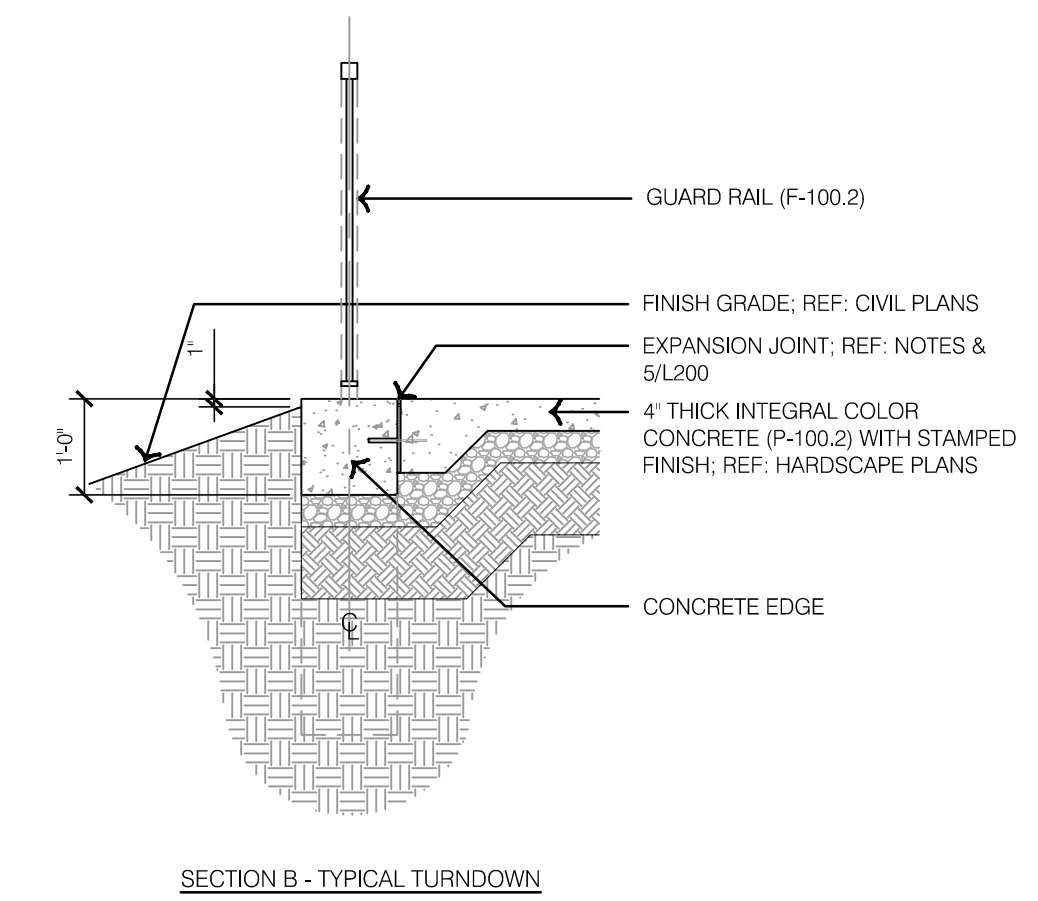
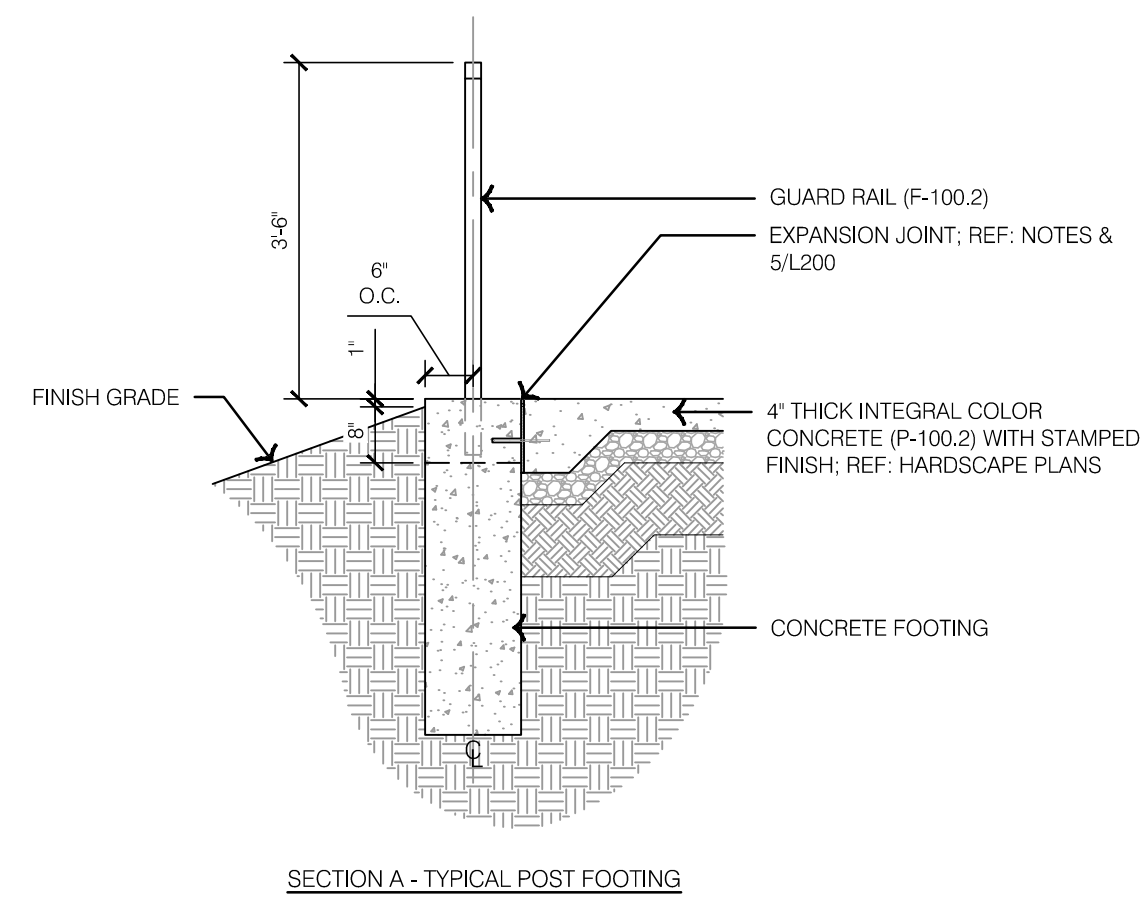
REV. NO.	DATE	REVISIONS DESCRIPTION	BY

HARDSCAPE DETAILS - PAVING PRIVATE SITE DEVELOPMENT PLANS	2023
THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST	
LEE'S SUMMIT, MISSOURI	
drawn by: EW	
checked by: CB	
approved by: CP	
QA/QC by: BM	
project no.: F21-04643	
drawing: HSC-DTL01-F2104643	
date: 11.01.2023	
SHEET	
L200	

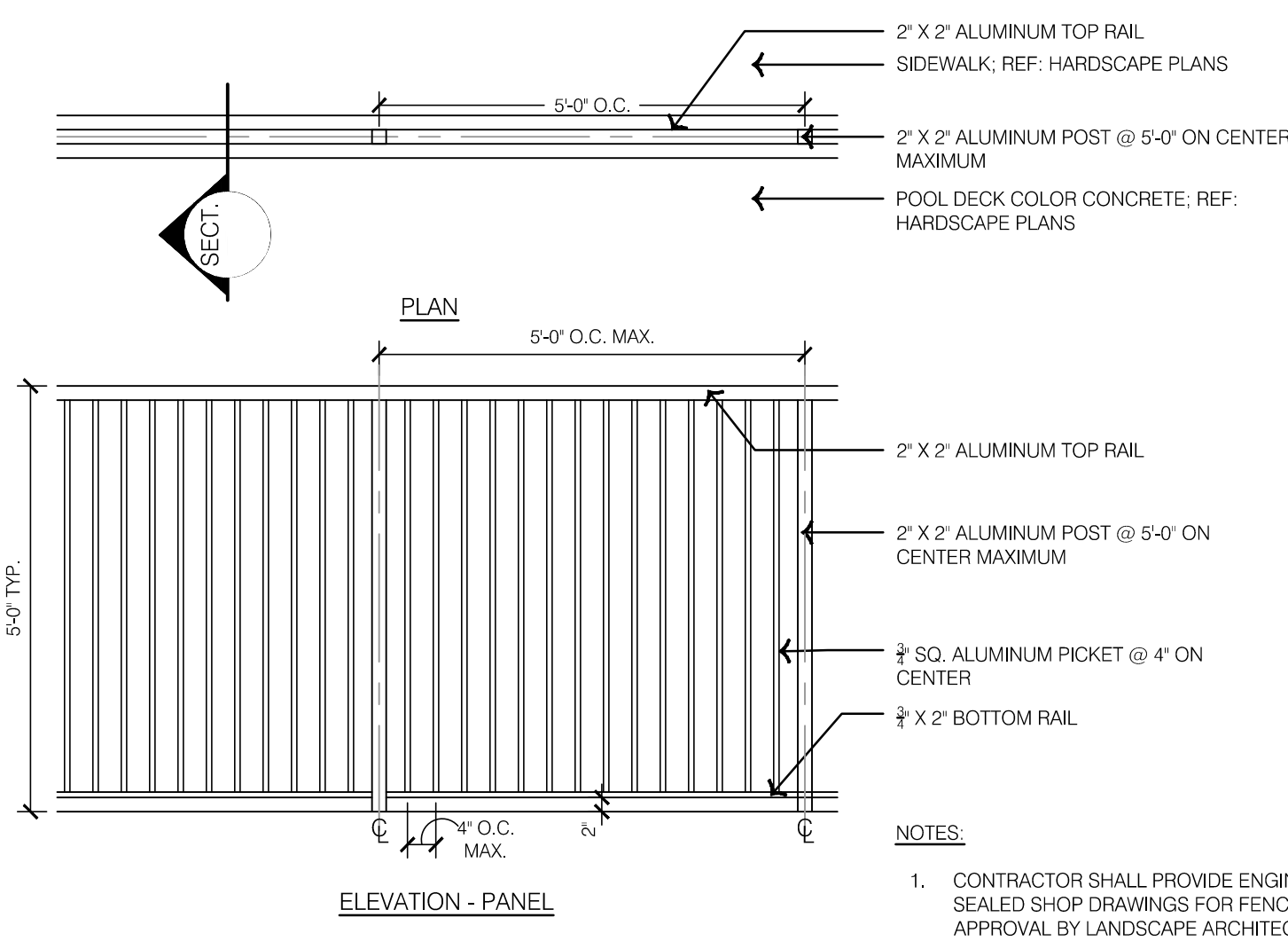
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 DATE: Oct 31, 2023 6:45pm XREFS: L_P\TBLK_F2104643 DET-TYPICAL-HSC-F2104643 DET-TYPICAL-AMN-F2104643



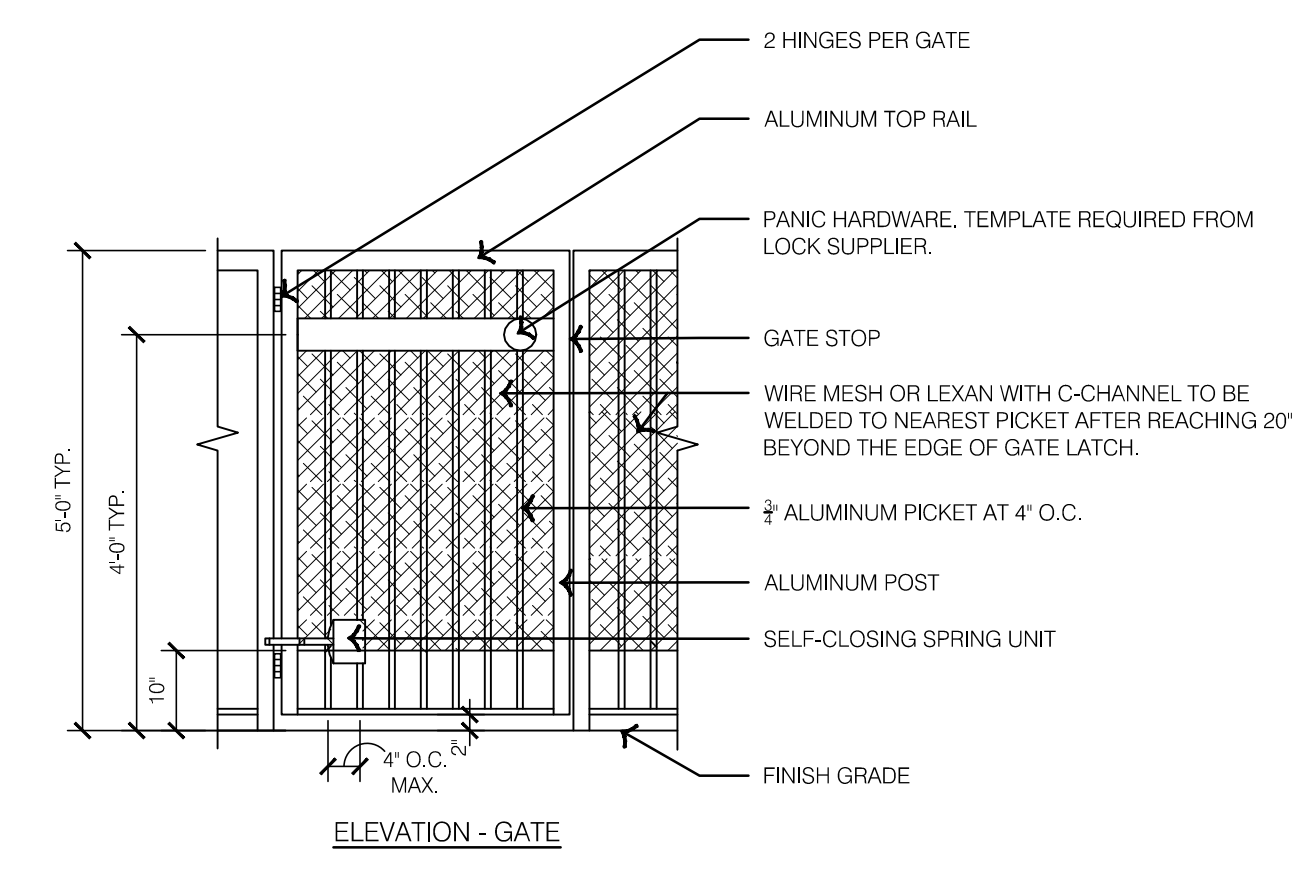
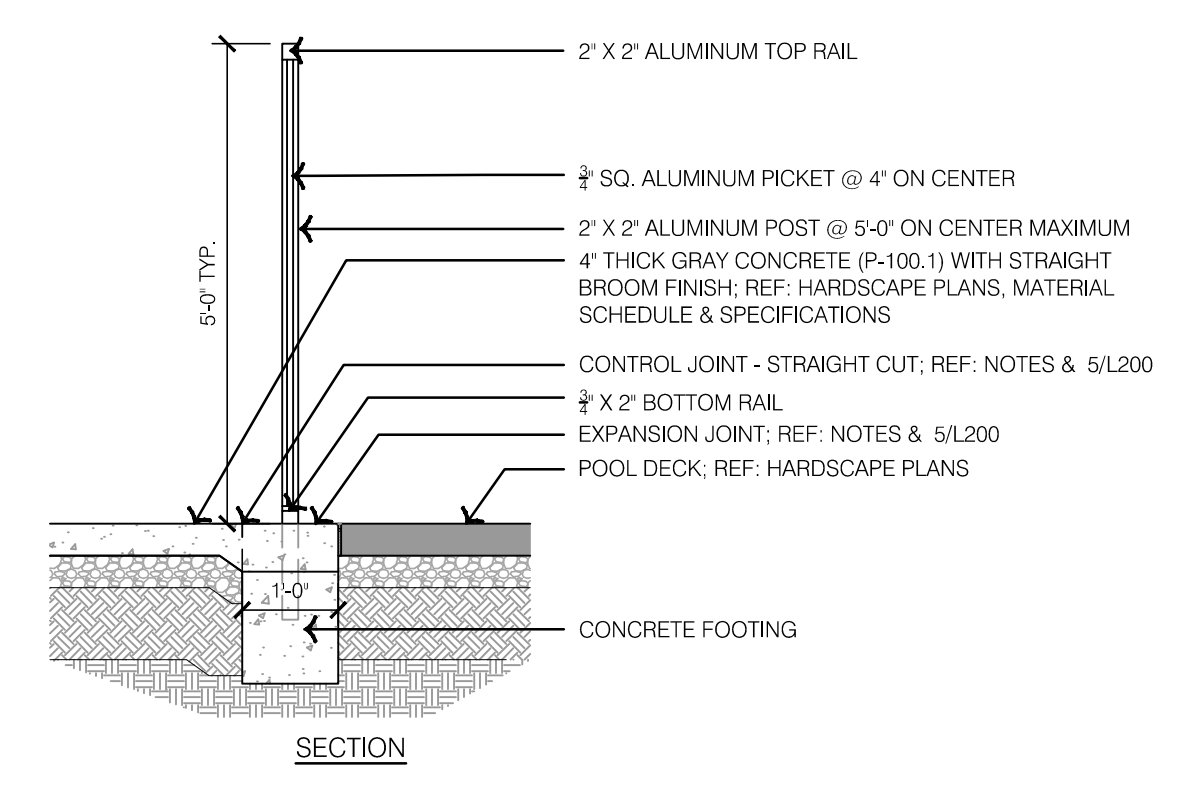
- NOTES:**
1. CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR GUARD RAIL FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION. INSTALLATION ON TOP OF CONCRETE EDGE SHALL BE INCLUDED INTO DESIGN.
 2. POST SIZE PER ENGINEERED PLANS.
 3. GUARD RAIL SHALL MEET ALL IBC IN CURRENT ISSUE.



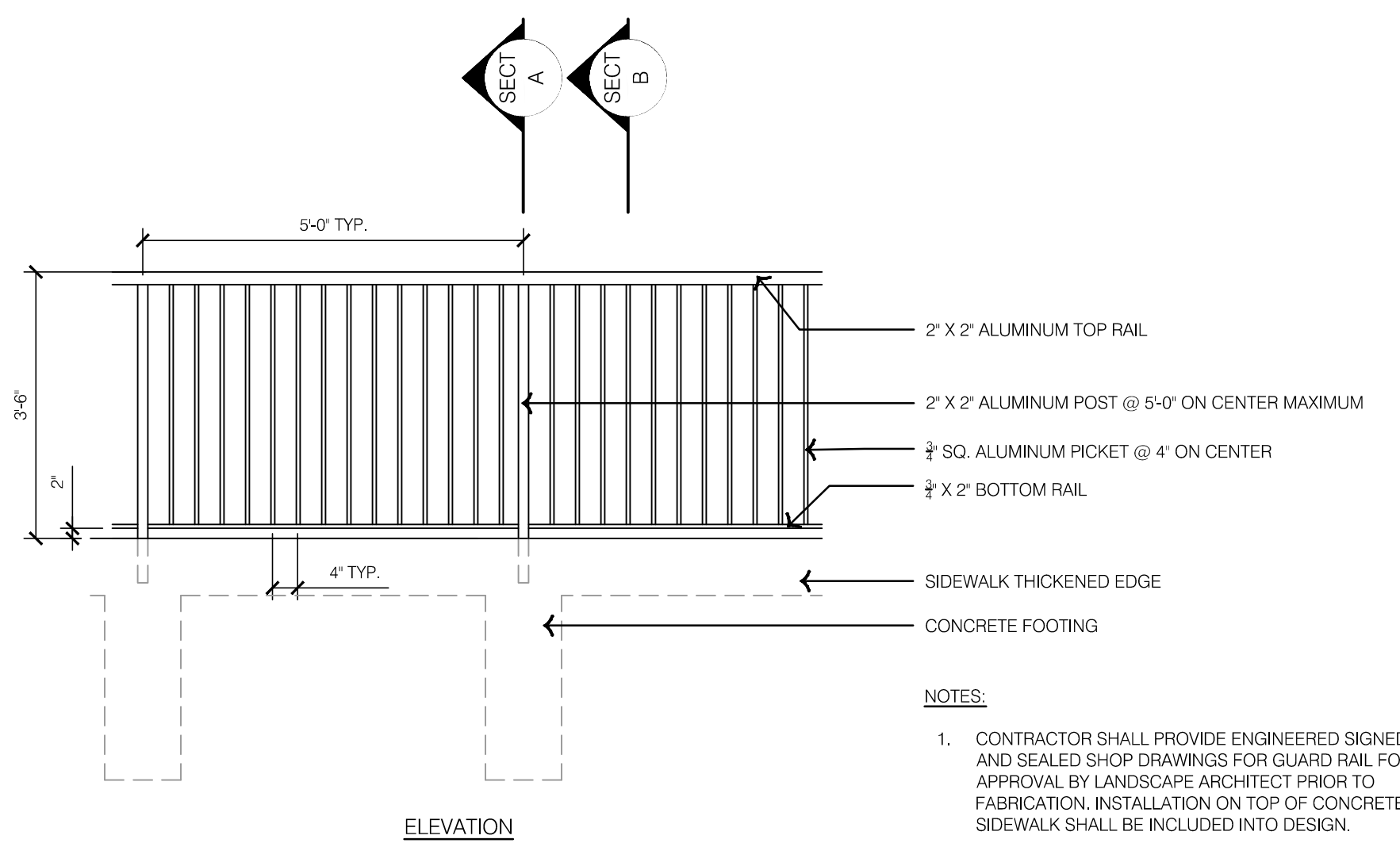
1 TYPICAL GUARD RAIL DETAILS



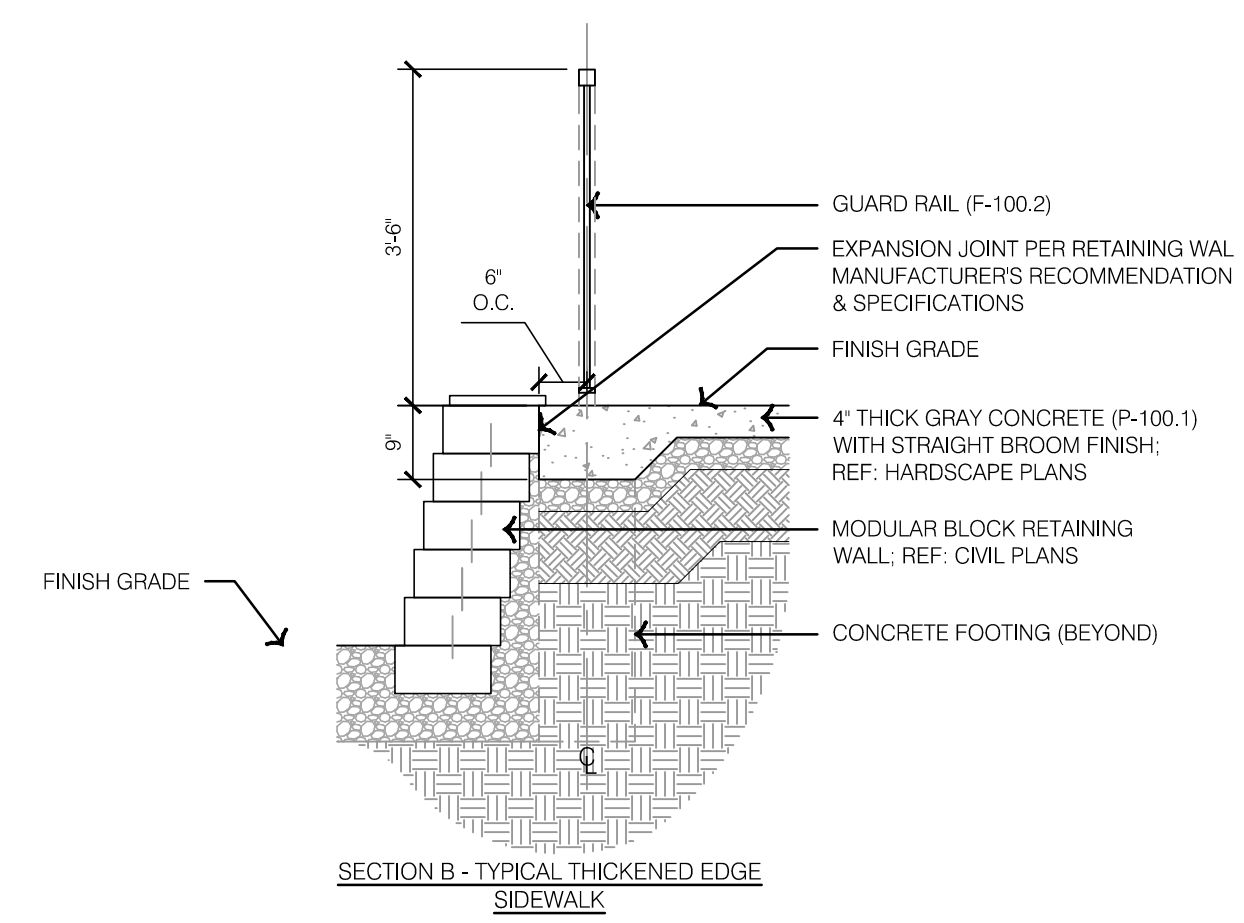
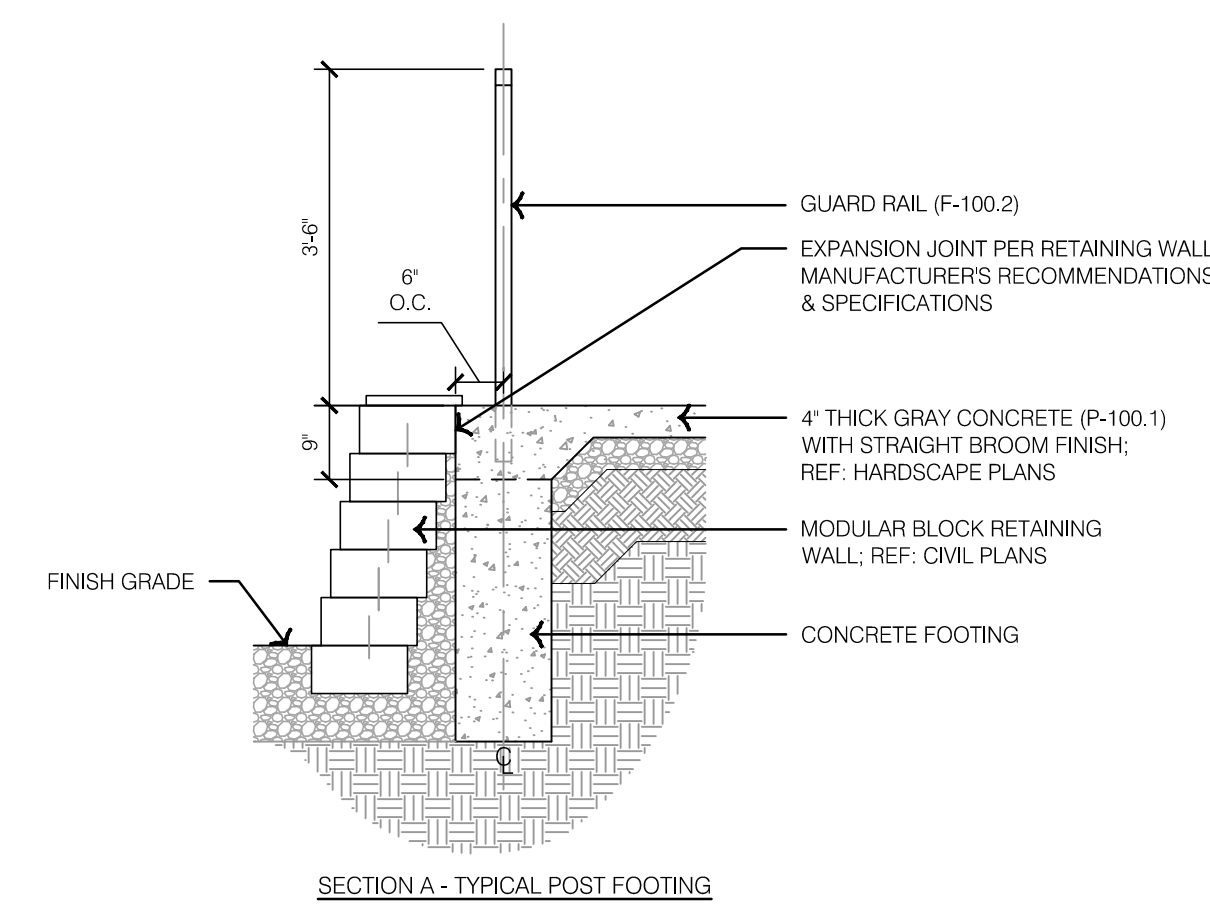
- NOTES:**
1. CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR FENCE AND FOOTING FOR APPROVAL BY LANDSCAPE ARCHITECT.
 2. CONTRACTOR TO PROVIDE POWDER COAT OPTIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ORDERING.
 3. POST SIZE PER ENGINEERED PLANS AND MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.
 4. FENCE SHALL MEET ALL IBC IN CURRENT ISSUE.



2 TYPICAL POOL FENCE & GATE DETAILS



- NOTES:**
1. CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR GUARD RAIL FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION. INSTALLATION ON TOP OF CONCRETE SIDEWALK SHALL BE INCLUDED INTO DESIGN.
 2. POST SIZE PER ENGINEERED PLANS.
 3. GUARD RAIL SHALL MEET ALL IBC IN CURRENT ISSUE.



3 NORTH RAILING DETAILS

olsson studio

MISSOURI CERTIFICATE OF AUTHORITY #2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

HARDSCAPE DETAILS - FENCING
 PRIVATE SITE DEVELOPMENT PLANS

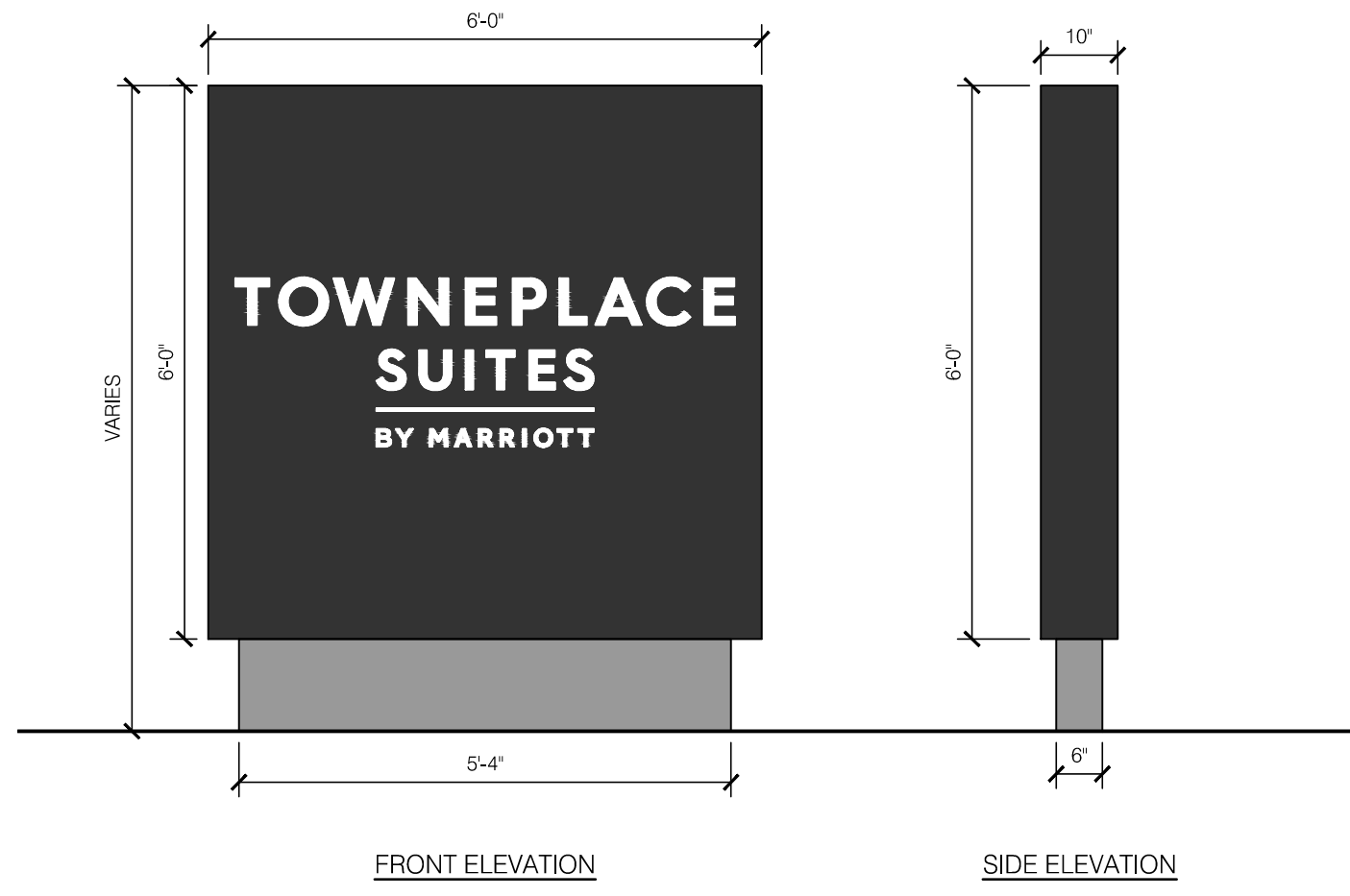
THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST

LEE'S SUMMIT, MISSOURI

drawn by: EW
 checked by: CP
 approved by: CP
 QA/QC by: BM

project no.: F21-04643
 drawing: HSC_DTL01_F2104643
 date: 11.01.2023

SHEET
L201



FRONT ELEVATION
MONUMENT SIGN

CABINET SPECIFICATIONS:

- PREFERRED CONSTRUCTION: REVERSE ANGLE IRON FRAME, INTERIOR STEEL COMPONENTS COATED WITH RUST INHIBITING PRIMER.
- FACE CONSTRUCTION: 3M PANAGRAPHICS III FLEXIBLE FACE
- RETAINER: BLEED FACE
- ILLUMINATION: GE 7100K White LED'S AS REQUIRED
- EXTERIOR FINISH: PAINT MATTHEWS MAP-LVS929 CARBON BLACK, SATIN FINISH
- INTERIOR FINISH: PAINT REFLECTIVE WHITE/POWDER COATING RAL9003, GLOSSY FINISH

FACE SPECIFICATIONS:

- FACE CONSTRUCTION: 3M PANAGRAPHICS III FLEXIBLE FACE
- DECORATION: 3M 7725-22 MATTE BLACK OPAQUE FILM AND WHITE SUBSTRATE

*FACES APPEAR BLACK AND WHITE DURING THE DAY AND COPY ILLUMINATES WHITE AT NIGHT

POLE COVER SPECIFICATIONS:

- CONSTRUCTION: ALUMINUM ANGLE FRAME WITH 0.080" ALUMINUM SKINS
- EXTERIOR FINISH: PAINT PANTONE COOL GRAY 11 C, SATIN FINISH

NOTES:

- CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR SIGNS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
- SIGN MATERIALS SHALL ADHERE TO TOWNEPLACE BY MARRIOTT EXTERIOR SIGNAGE STANDARDS.

CABINET SPECIFICATIONS:

- PREFERRED CONSTRUCTION: ALUMINUM FRAME WITH ALUMINUM SKINS
- FACE CONSTRUCTION: 0.125" ROUTED ALUMINUM WITH BACKER PANEL / FRET-CUT (ROUTED) LOGO WITH ACRYLIC BACK PANELS
- ILLUMINATION: GE 7100K WHITE LED'S AS REQUIRED
- EXTERIOR FINISH: PAINT MATTHEWS MAP-LVS929 CARBON BLACK, SATIN FINISH
- INTERIOR FINISH: PAINT REFLECTIVE WHITE/POWDER COATING RAL9003, GLOSSY FINISH

FACE SPECIFICATIONS:

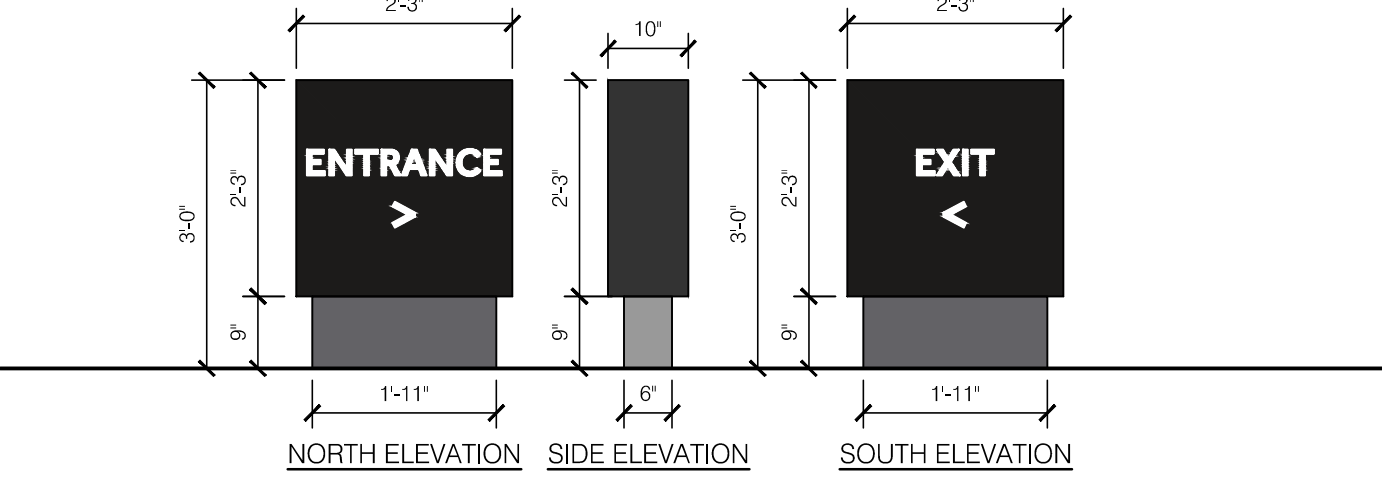
- FACE CONSTRUCTION: 0.125" ROUTED ALUMINUM WITH BACKER PANEL / FRET-CUT (ROUTED) LOGO WITH ACRYLIC BACK PANEL
- BACKER PANEL CONSTRUCTION: 0.118" SOLAR GRADE POLYCARBONATE/ 3MM 30% TRANSLUCENT OPAL ACRYLIC
- DECORATION: ROUTED ALUMINUM FACE PAINTED MATTHEWS MAP-LVS929 CARBON BLACK, SATIN FINISH

POLE COVER SPECIFICATIONS:

- CONSTRUCTION: BENT UP ALUMINUM SKINS
- EXTERIOR FINISH: PAINT PANTONE COOL GRAY 11 C, SATIN FINISH

NOTES:

- CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR SIGNS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
- SIGN MATERIALS SHALL ADHERE TO TOWNEPLACE BY MARRIOTT EXTERIOR SIGNAGE STANDARDS.



ENTRANCE & EXIT SIGN

CABINET SPECIFICATIONS:

- PREFERRED CONSTRUCTION: ALUMINUM FRAME WITH ALUMINUM SKINS
- FACE CONSTRUCTION: 0.125" ROUTED ALUMINUM WITH BACKER PANEL / FRET-CUT (ROUTED) LOGO WITH ACRYLIC BACK PANELS
- ILLUMINATION: GE 7100K WHITE LED'S AS REQUIRED
- EXTERIOR FINISH: PAINT MATTHEWS MAP-LVS929 CARBON BLACK, SATIN FINISH
- INTERIOR FINISH: PAINT REFLECTIVE WHITE/POWDER COATING RAL9003, GLOSSY FINISH

FACE SPECIFICATIONS:

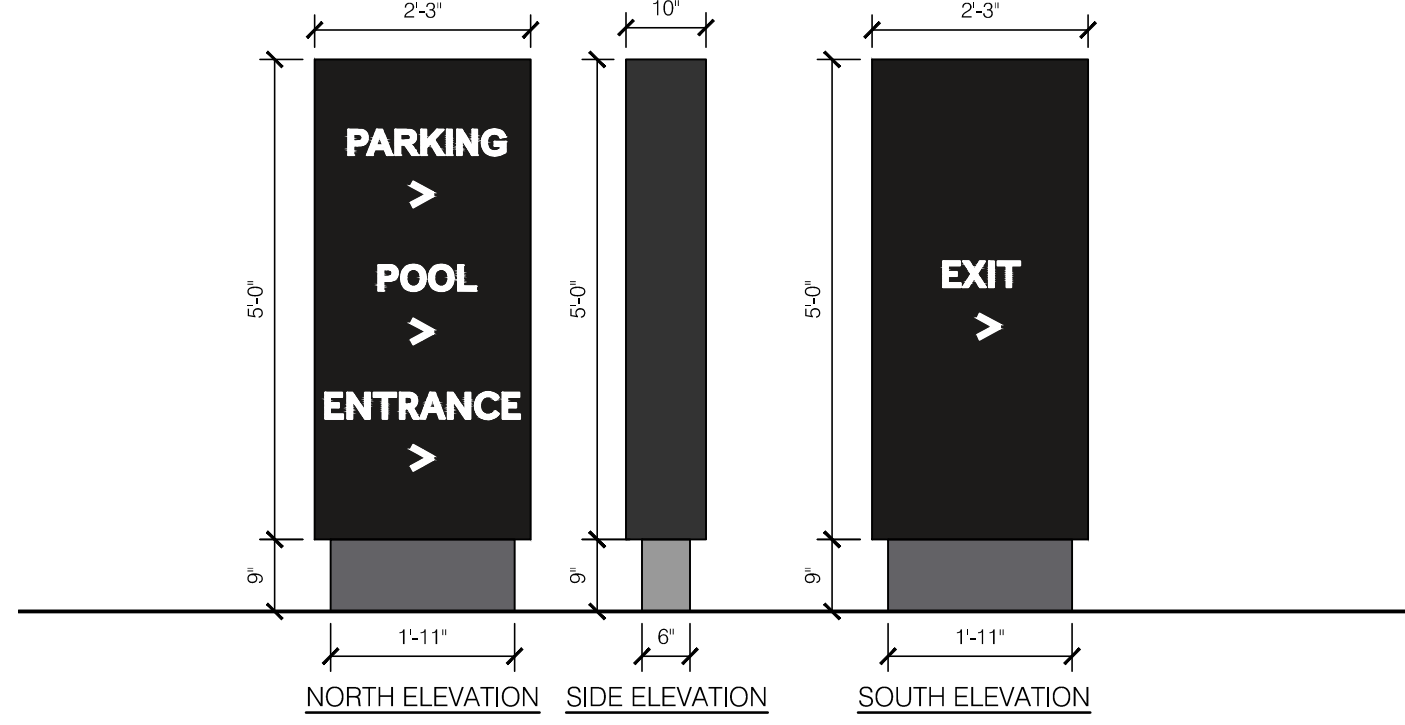
- FACE CONSTRUCTION: 0.125" ROUTED ALUMINUM WITH BACKER PANEL / FRET-CUT (ROUTED) LOGO WITH ACRYLIC BACK PANEL
- BACKER PANEL CONSTRUCTION: 0.118" SOLAR GRADE POLYCARBONATE/ 3MM 30% TRANSLUCENT OPAL ACRYLIC
- DECORATION: ROUTED ALUMINUM FACE PAINTED MATTHEWS MAP-LVS929 CARBON BLACK, SATIN FINISH

POLE COVER SPECIFICATIONS:

- CONSTRUCTION: BENT UP ALUMINUM SKINS
- EXTERIOR FINISH: PAINT PANTONE COOL GRAY 11 C, SATIN FINISH

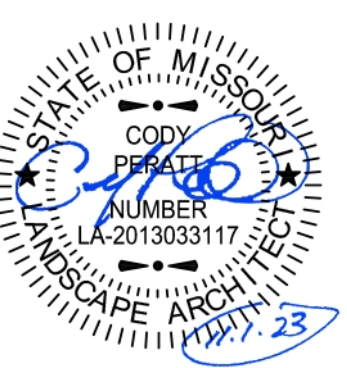
NOTES:

- CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR SIGNS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
- SIGN MATERIALS SHALL ADHERE TO TOWNEPLACE BY MARRIOTT EXTERIOR SIGNAGE STANDARDS.



PARKING SIGN

1 SIGNAGE DETAILS

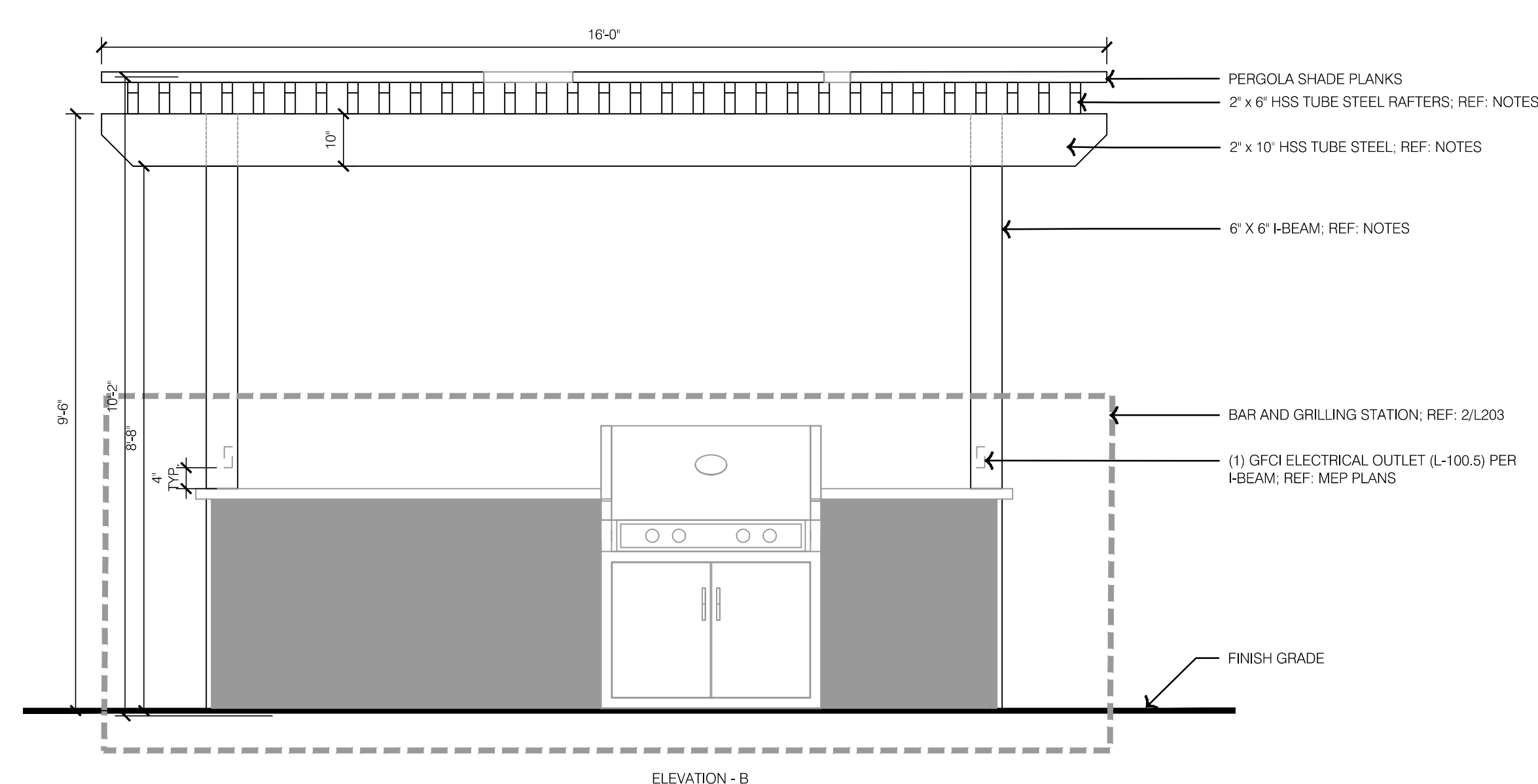
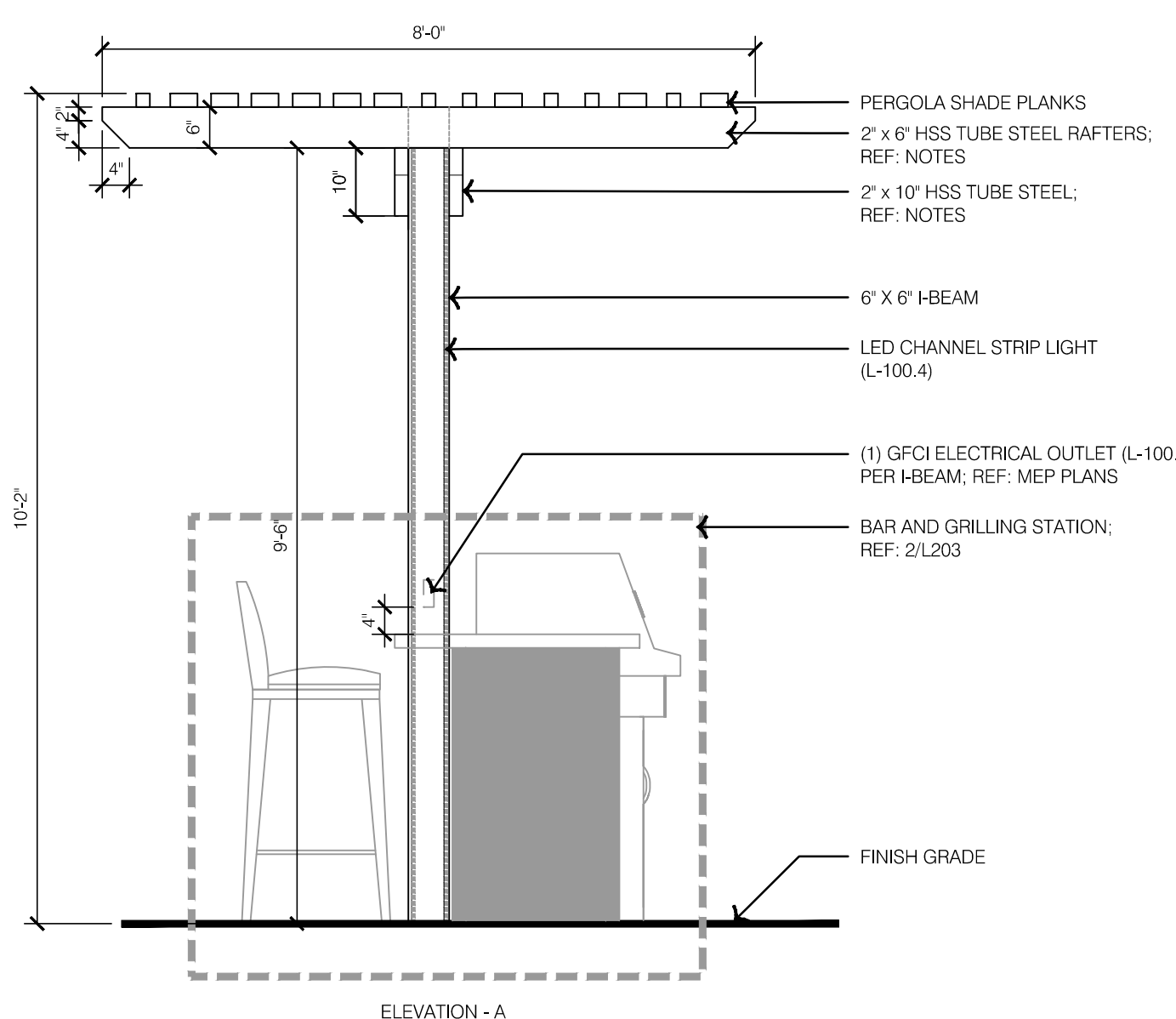
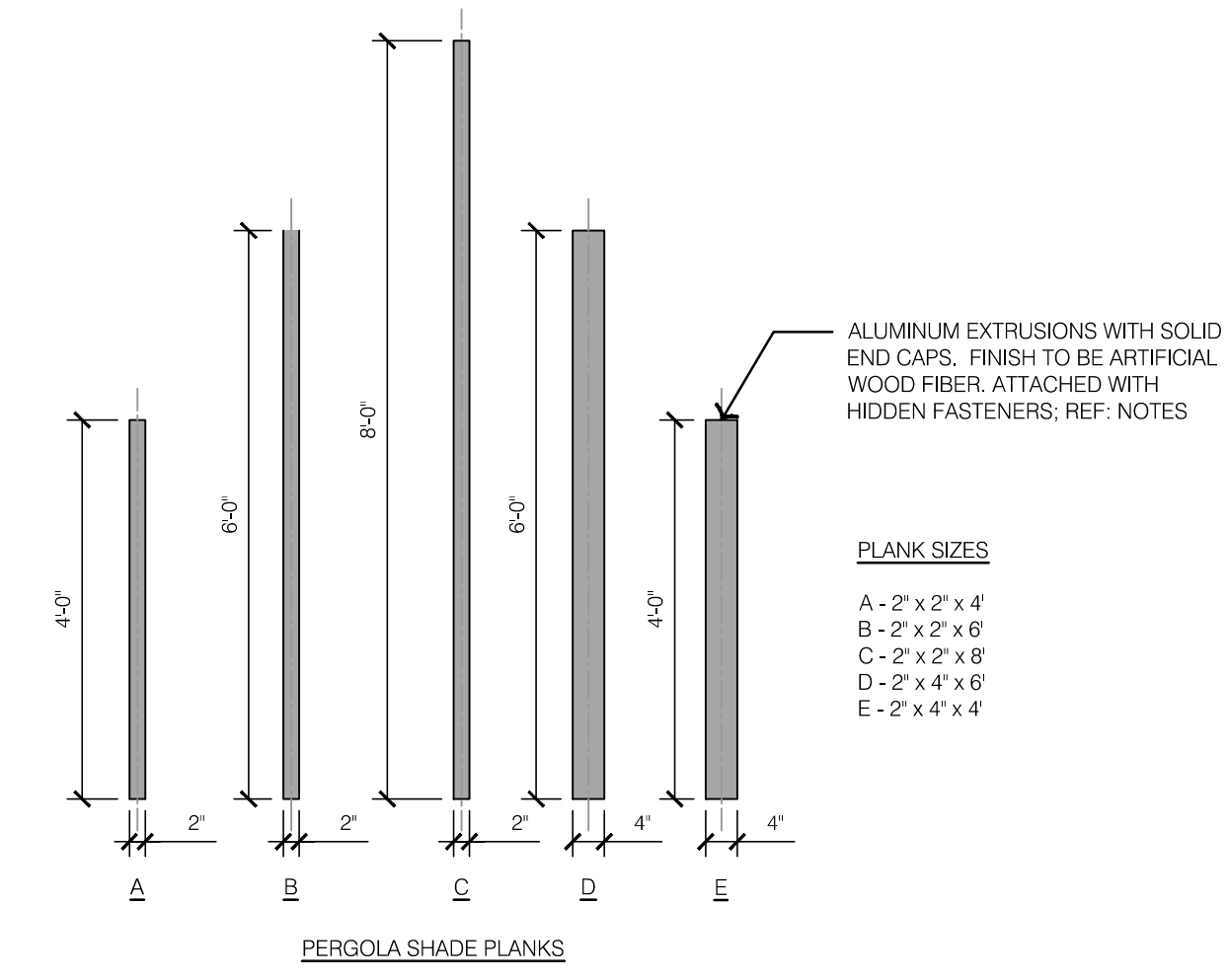
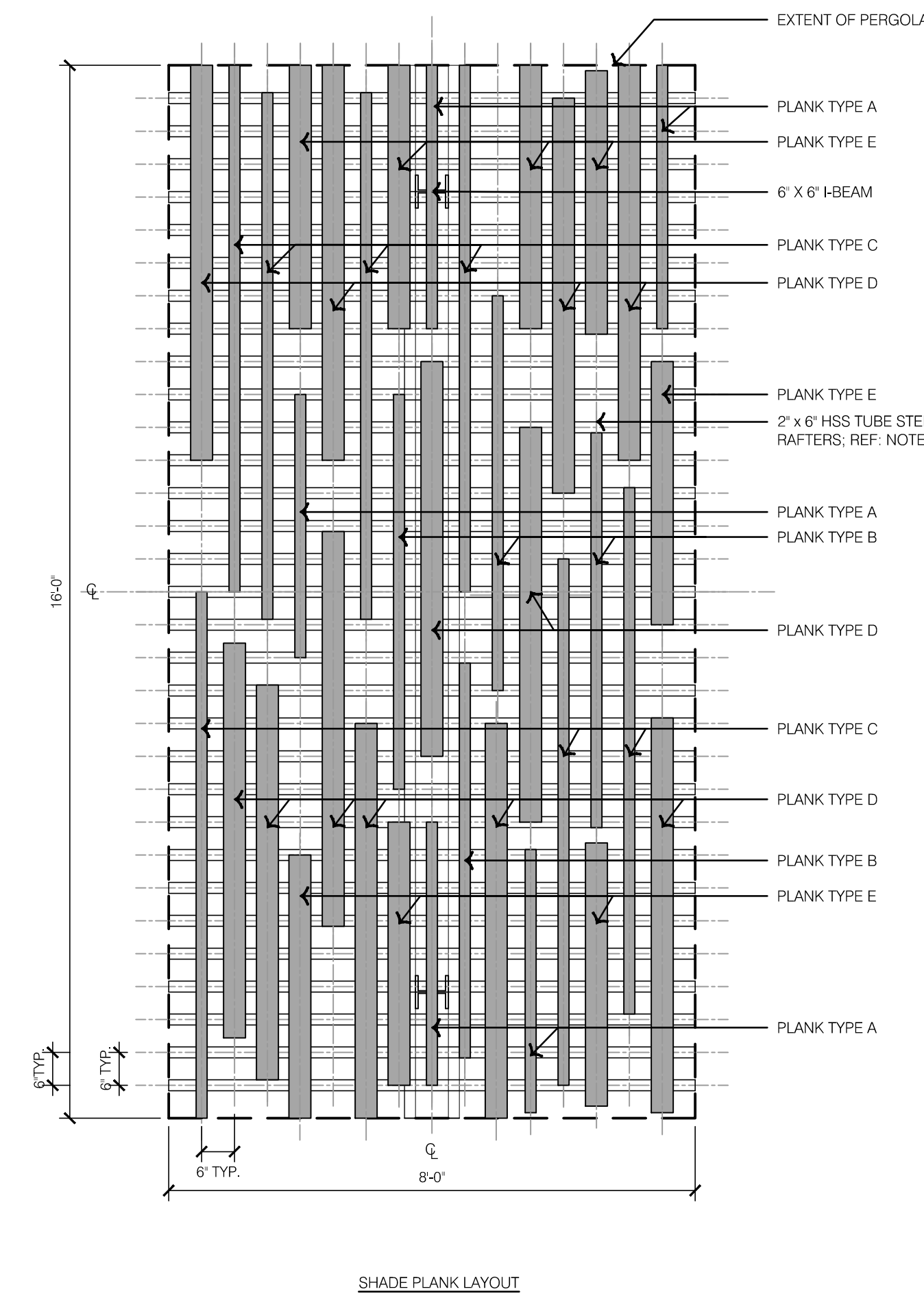
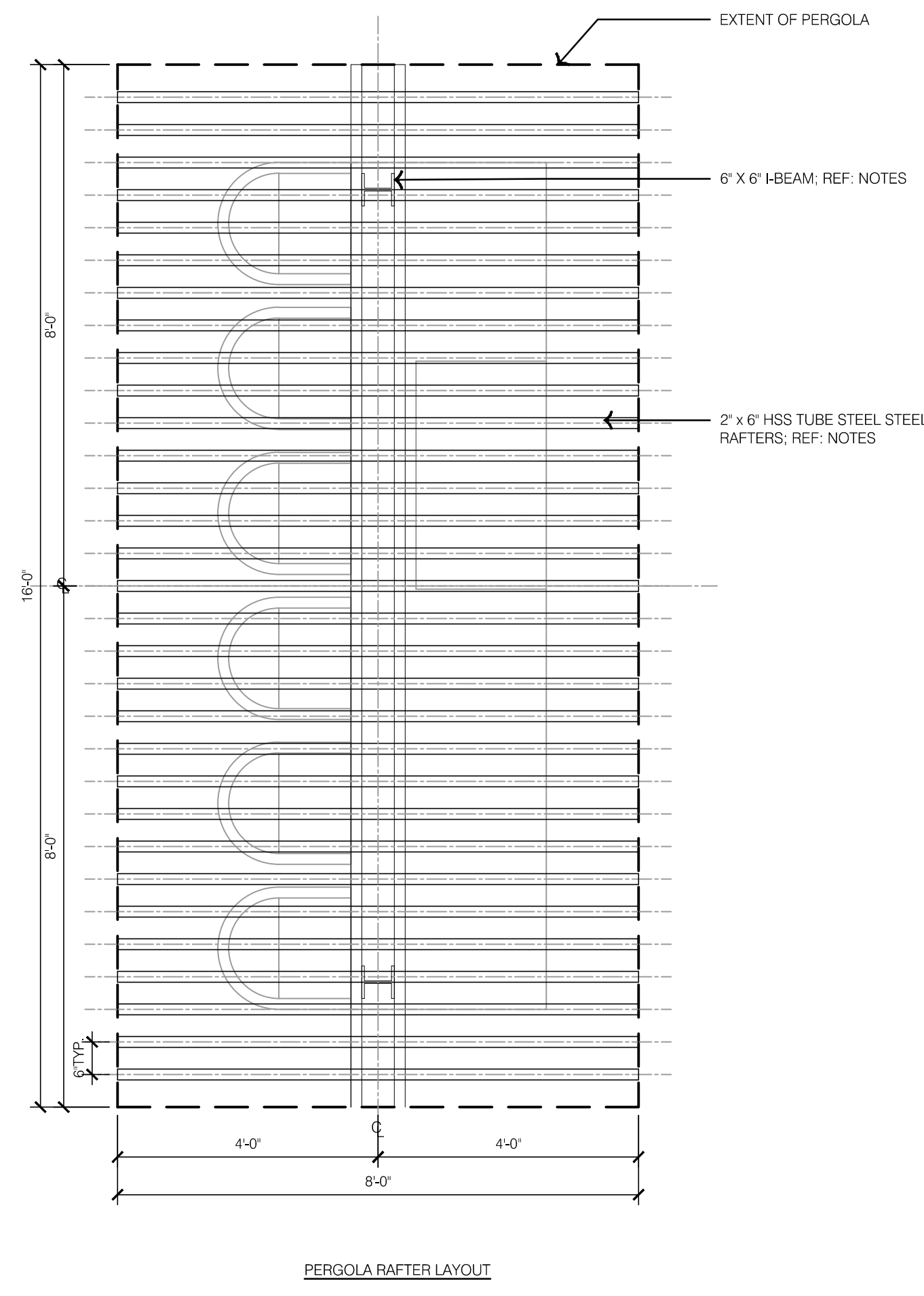
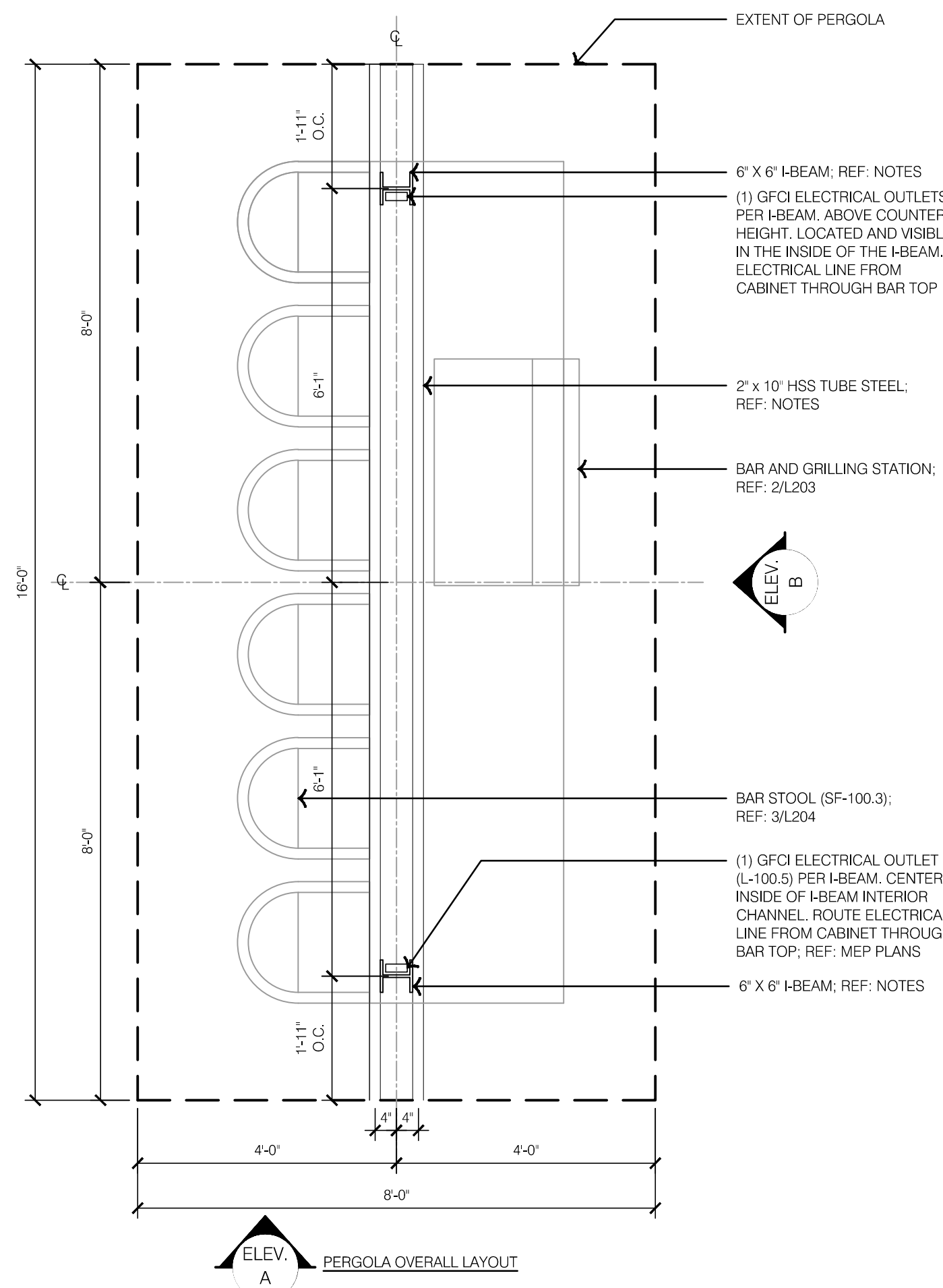


REV. NO.	DATE	REVISIONS DESCRIPTION	BY

HARDSCAPE DETAILS - SIGNAGE PRIVATE SITE DEVELOPMENT PLANS		2023
THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST		
LEE'S SUMMIT, MISSOURI		

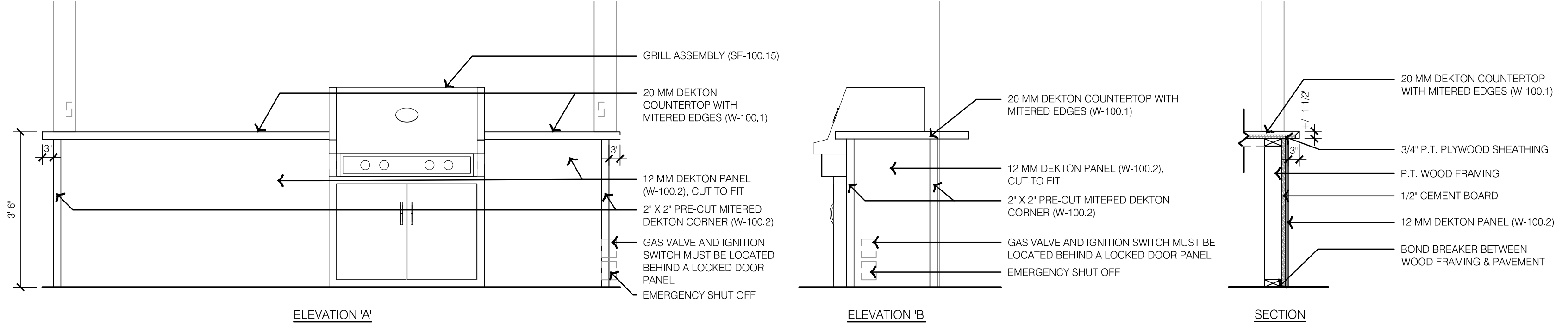
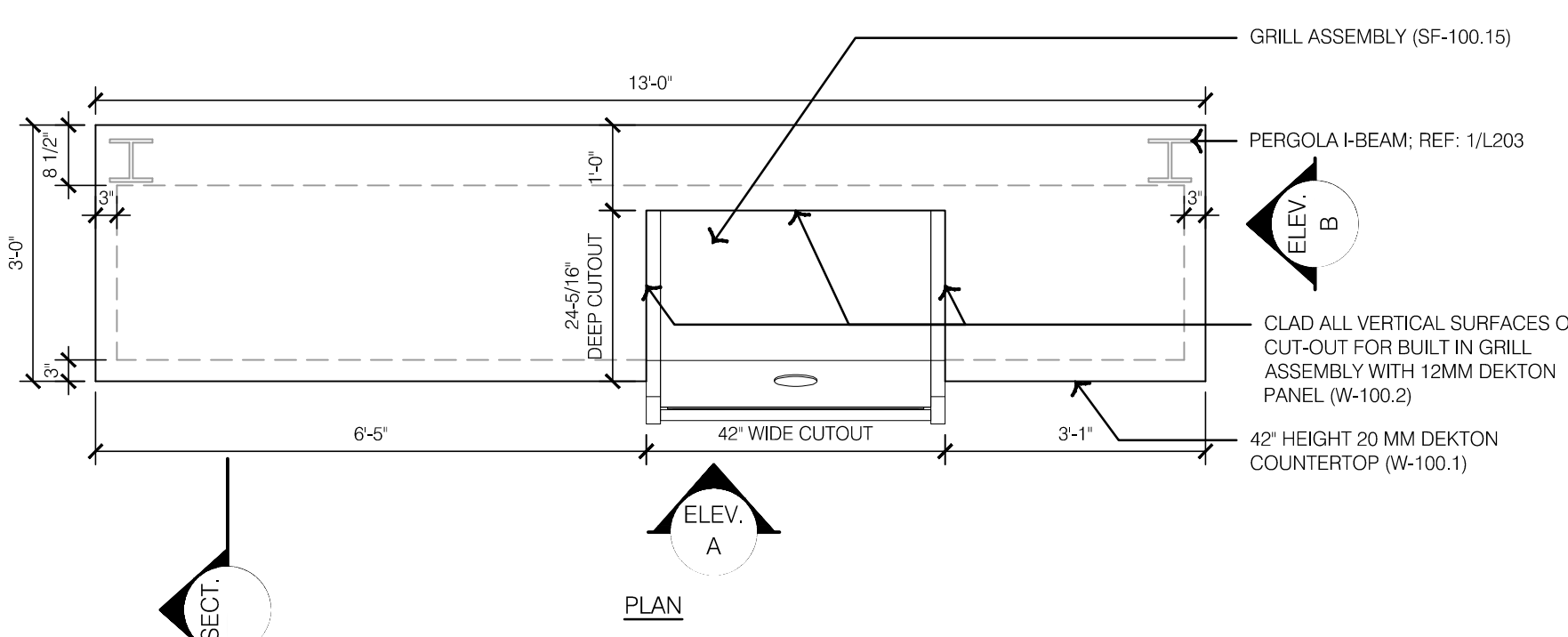
drawn by: EW
 checked by: CP
 approved by: CP
 QA/QC by: BM
 project no.: F21-04643
 drawing: HSC_DTL01_F2104643
 date: 11.01.2023

DWG: F:\2021\04501-05000\021-04643-F\40-Design\AutoCAD\Final\Plans\Sheets\OSTU\L_HSC_DTL01_F2104643.dwg USER: ewilson
 DATE: Oct 31, 2023 6:45pm XREFS: L_P\BLK_F2104643 DET-TYPICAL-HSC-F2104643 DET-TYPICAL-ANN-F2104643



NOTES:
 1. ALL STEEL MEMBERS TO WELDED AND ALL WELDS GROUND SMOOTH. POWDER COAT COLOR TO BE BLACK.
 2. PERGOLA SHADE PLANKS - CONTRACTOR SHALL SUBMIT SAMPLES FROM MANUFACTURERS FULL RANGE OF FINISH FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
 3. CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION. INSTALLATION OF BAR & GRILL STATION SHALL BE INCLUDED INTO THE DESIGN.

1 PERGOLA STRUCTURE DETAILS



NOTES:
 1. CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
 2. ENTIRE BAR AND GRILL AREA INCLUDING BACK AND SIDES OF CUT-OUT FOR BUILT-IN GRILL, AND COUNTERTOP SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS AND MUST COMPLY WITH AHJ.
 3. CONTRACTOR TO COORDINATE GAS AND ELECTRICAL SUPPLY WITH GENERAL CONTRACTOR.

2 BAR & GRILL STATION

olsson studio
 MISSOURI CERTIFICATE OF AUTHORITY #2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

STATE OF MISSOURI
 LANDSCAPE ARCHITECT
 CODY PERATE
 NUMBER LA-2013033117

BY: _____
 REVISIONS DESCRIPTION
 DATE
 REV. NO.

2023

HARDSCAPE DETAILS - STRUCTURES
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

drawn by: EW
 checked by: CP
 approved by: CP
 QA/QC by: BM
 project no.: F21-04643
 drawing: HSC_DTL01_F2104643
 date: 11.01.2023

SHEET
 L203



DINING CHAIR (SF-100.1)

NOTES:
1. FURNISH & INSTALL DINING CHAIR (SF-100.1), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

1 TYPICAL DINING CHAIR



LOUNGE CHAIR (SF-100.2)

NOTES:
1. FURNISH & INSTALL LOUNGE CHAIR (SF-100.2), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

2 TYPICAL LOUNGE CHAIR



BAR STOOL (SF-100.3)

NOTES:
1. FURNISH & INSTALL BAR STOOL (SF-100.3), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

3 TYPICAL BAR STOOL



CHAISE LOUNGE (SF-100.4)

NOTES:
1. FURNISH & INSTALL CHAISE LOUNGE (SF-100.4), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

4 TYPICAL CHAISE LOUNGE



DINING TABLE (SF-100.5)

NOTES:
1. FURNISH & INSTALL DINING TABLE (SF-100.5), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

5 TYPICAL DINING TABLE



DINING UMBRELLA TABLE (SF-100.6)

NOTES:
1. FURNISH & INSTALL DINING UMBRELLA TABLE (SF-100.6), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

6 TYPICAL DINING UMBRELLA TABLE



SIDE TABLE (SF-100.7)

NOTES:
1. FURNISH & INSTALL SIDE TABLE (SF-100.7), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

7 TYPICAL SIDE TABLE



TRASH RECEPTACLE (SF-100.8)

NOTES:
1. FURNISH & INSTALL TRASH RECEPTACLE (SF-100.8), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

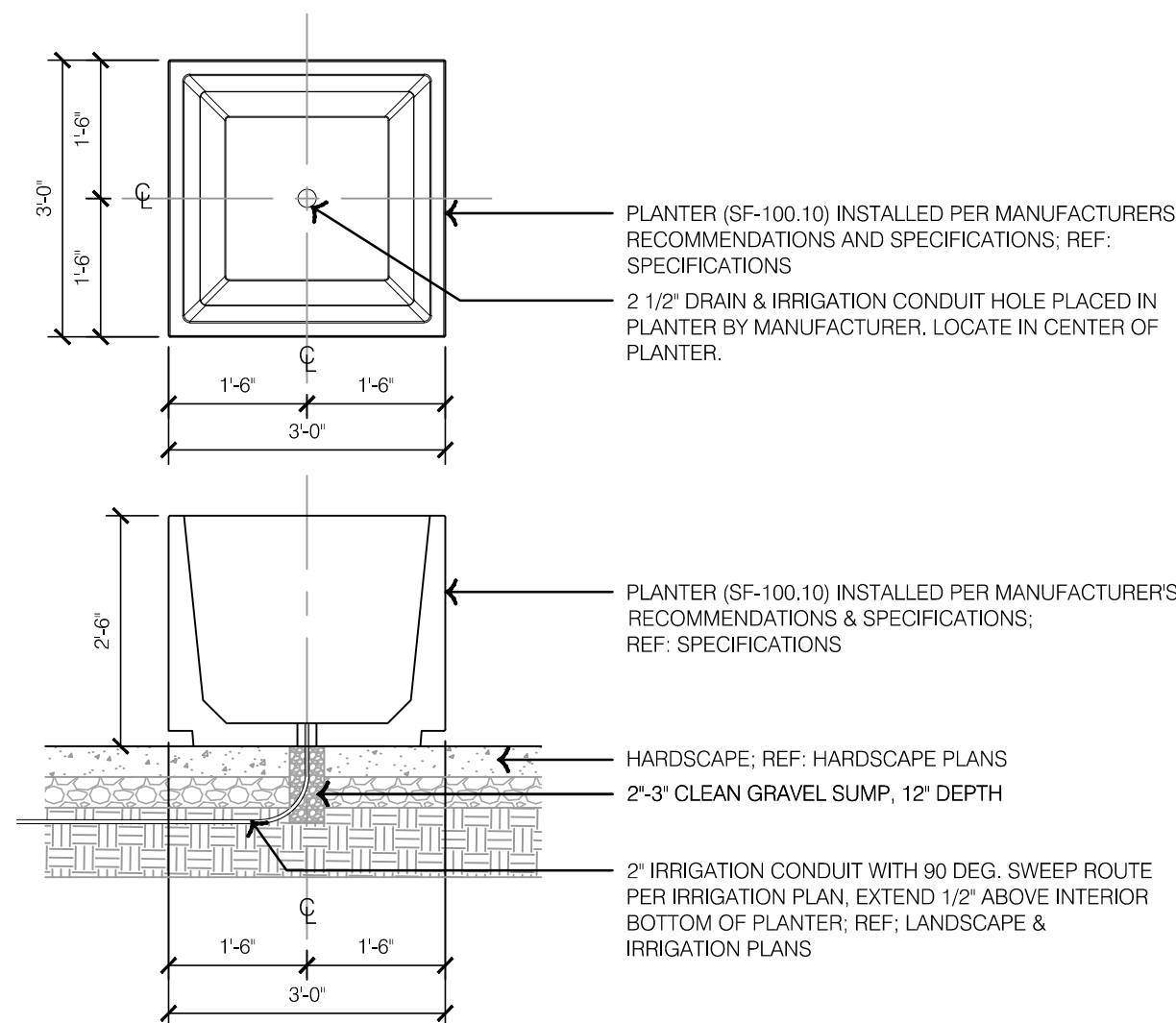
8 TYPICAL TRASH RECEPTACLE - PRIVATE



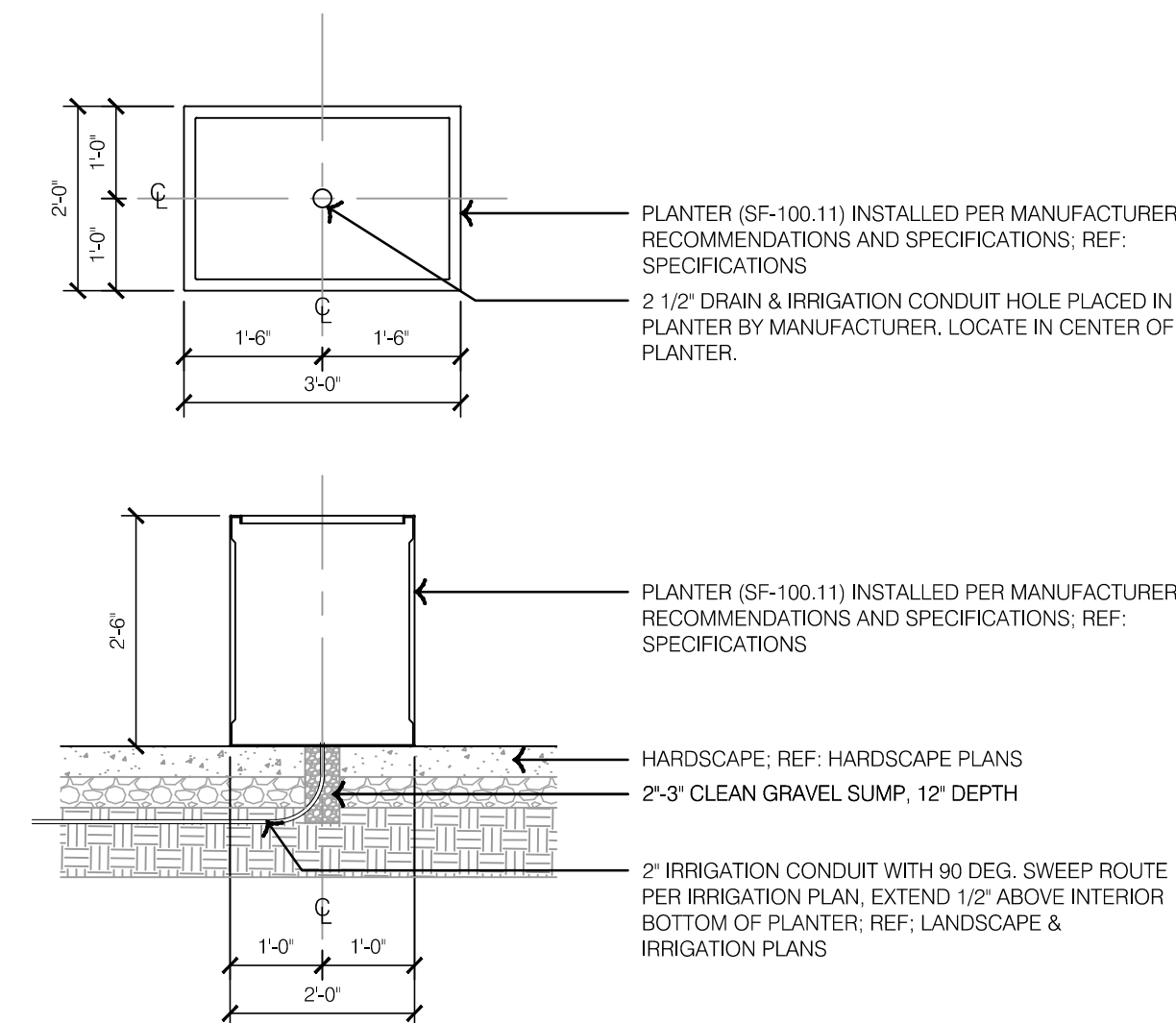
UMBRELLA (SF-100.9)

NOTES:
1. FURNISH & INSTALL UMBRELLA (SF-100.9), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

9 TYPICAL UMBRELLA



10 TYPICAL PLANTER - FRONT ENTRY



11 TYPICAL PLANTER - ACCENT

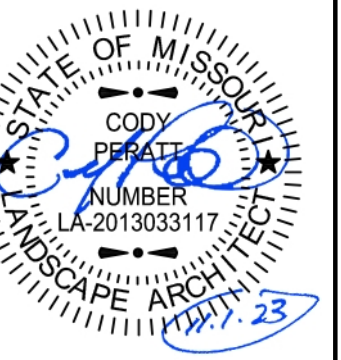


TOWEL BIN (SF-100.12)

NOTES:
1. FURNISH & INSTALL TOWEL BIN (SF-100.12), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

12 TYPICAL TOWEL BIN

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REV. NO.	DATE	REVISIONS DESCRIPTION	BY

HARDSCAPE DETAILS - SITE AMENITIES
PRIVATE SITE DEVELOPMENT PLANS
THE VILLAGE AT DISCOVERY PARK LOT 3
NW COLBERN RD & NE DOUGLAS ST
LEE'S SUMMIT, MISSOURI

2023

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TOWEL RACK (SF-100.13)

- NOTES:
- FURNISH & INSTALL TOWEL RACK (SF-100.13), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

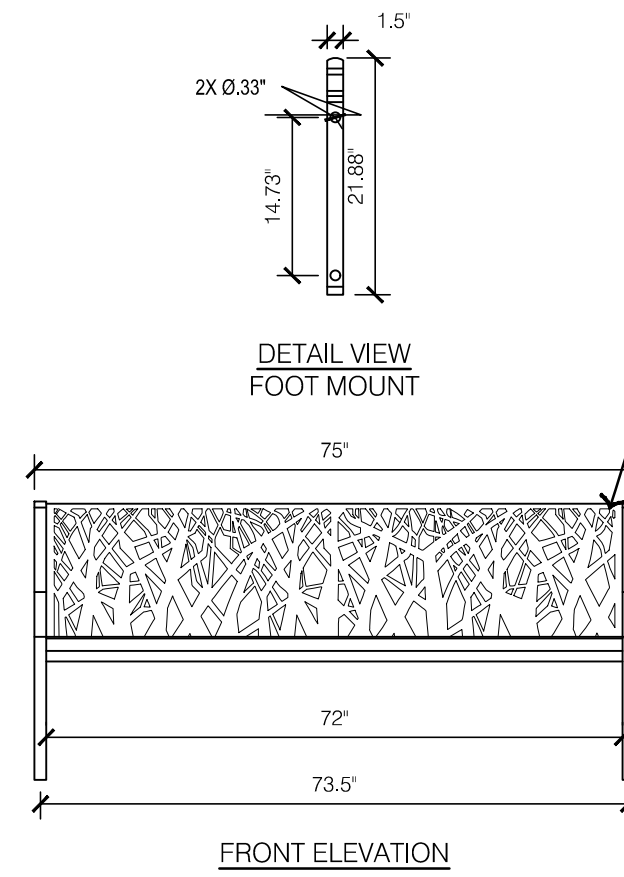
1 TYPICAL TOWEL RACK



CABANA (SF-100.14)

- NOTES:
- FURNISH & INSTALL CABANA (SF-100.14), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

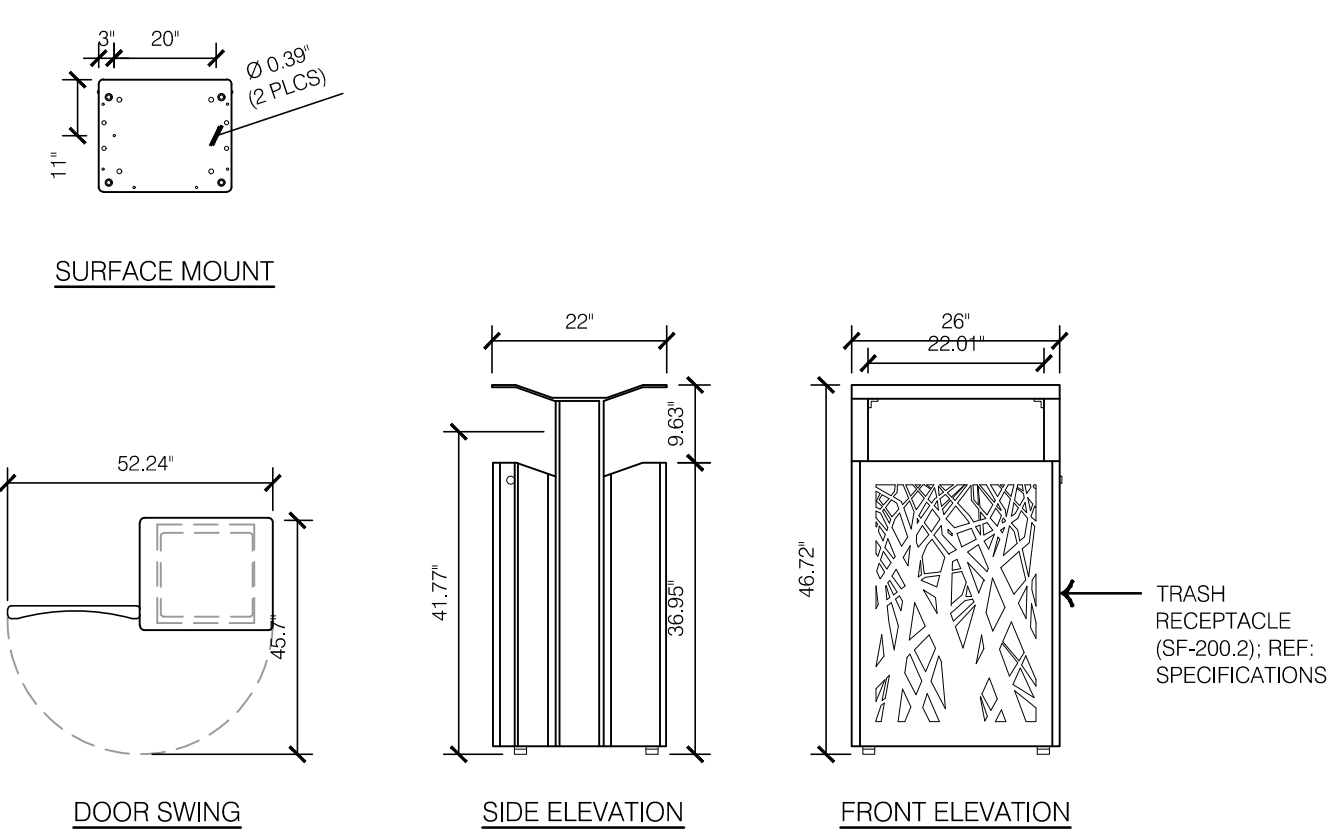
2 TYPICAL CABANA



BENCH (SF-200.1), REF: SPECIFICATIONS

- NOTES:
- FURNISH & INSTALL BENCH (SF-200.1), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.
 - INSTALL PER MANUFACTURERS RECOMMENDATIONS & SPECIFICATIONS.

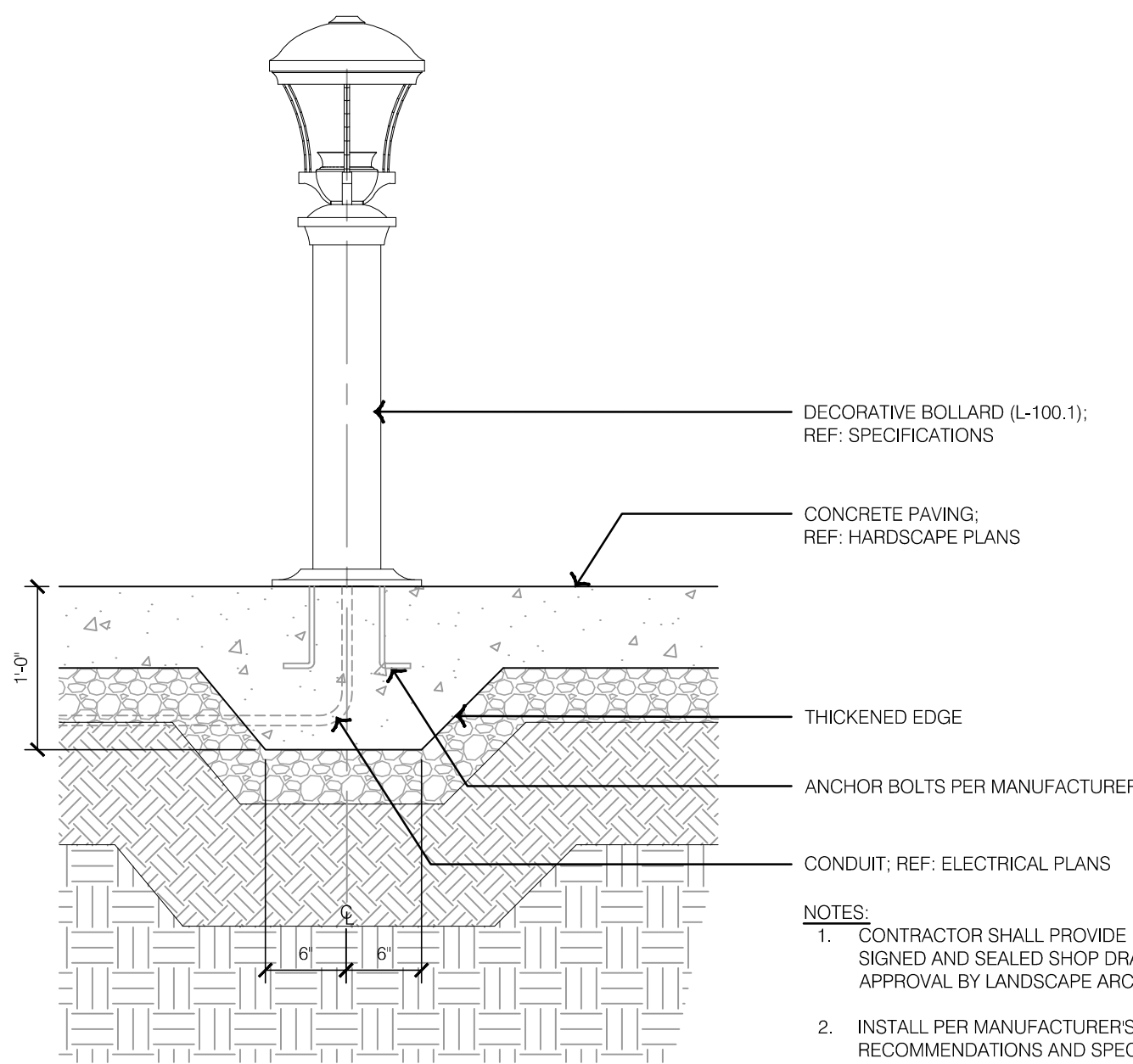
3 TYPICAL BENCH



TRASH RECEPTACLE (SF-200.2), REF: SPECIFICATIONS

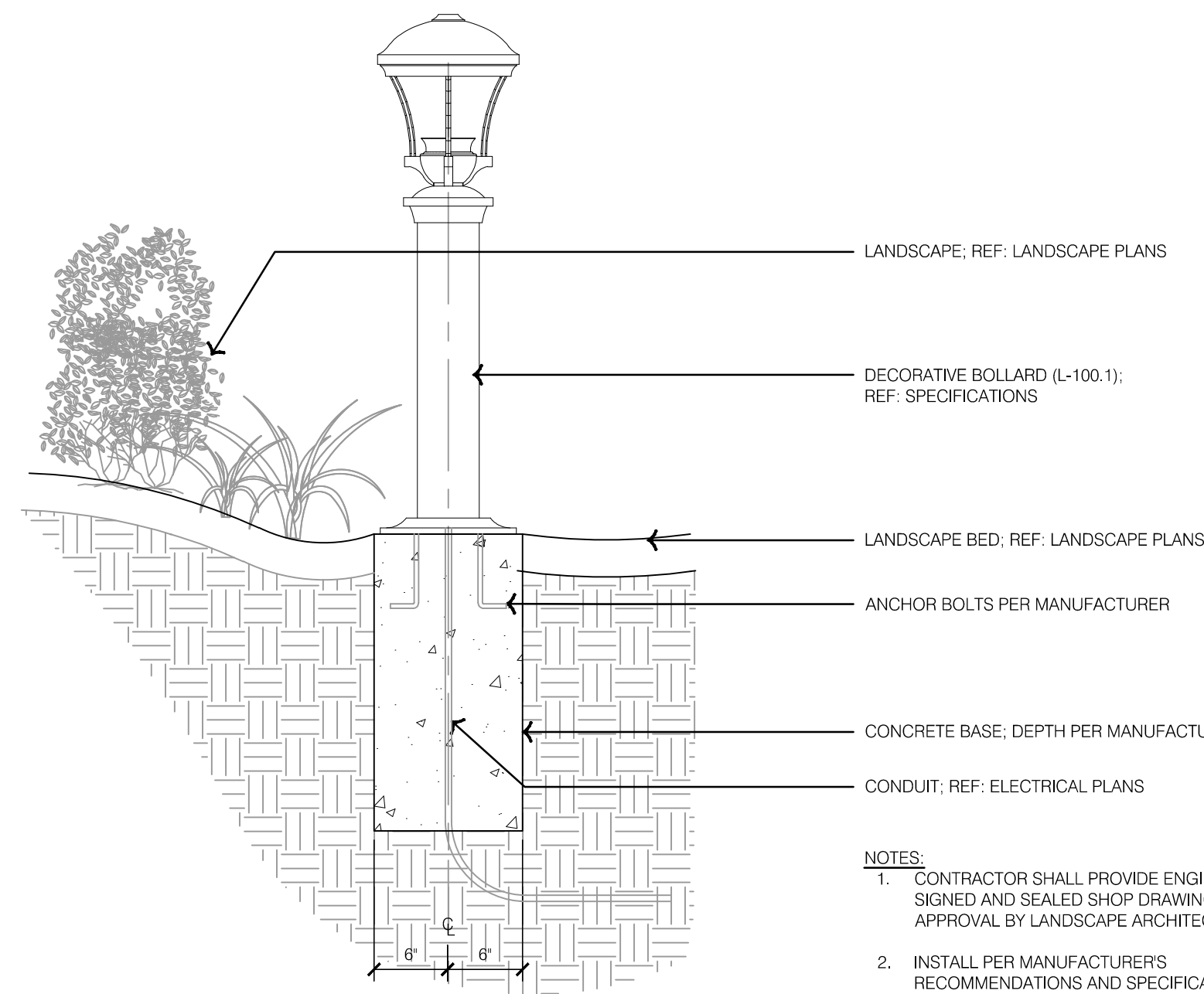
- NOTES:
- FURNISH & INSTALL TRASH RECEPTACLE (SF-200.2), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.
 - SURFACE MOUNT INSTALLATION PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

4 TYPICAL TRASH RECEPTACLE



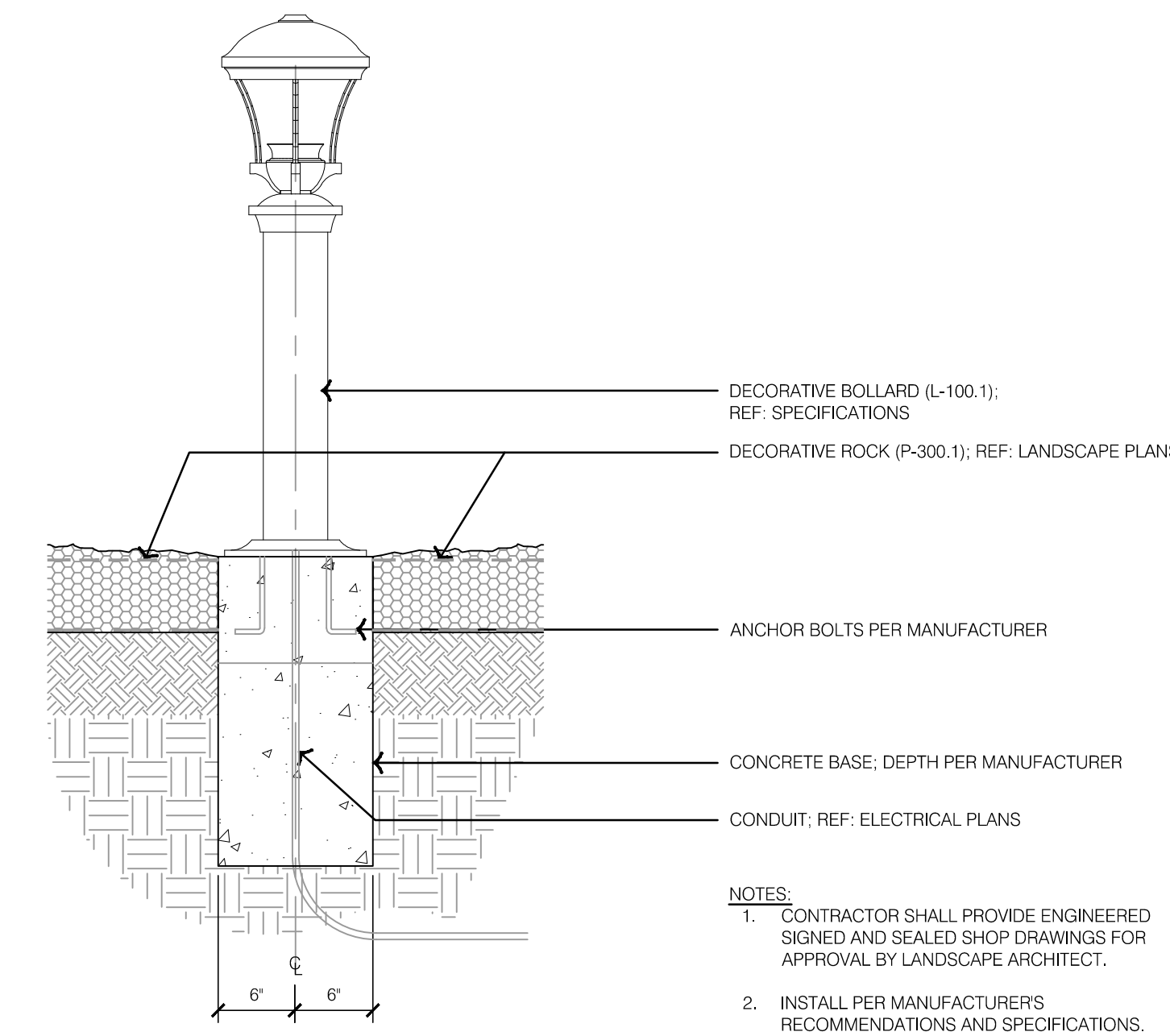
- NOTES:
- CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT.
 - INSTALL PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

5 TYPICAL DECORATIVE BOLLARD IN HARDSCAPE



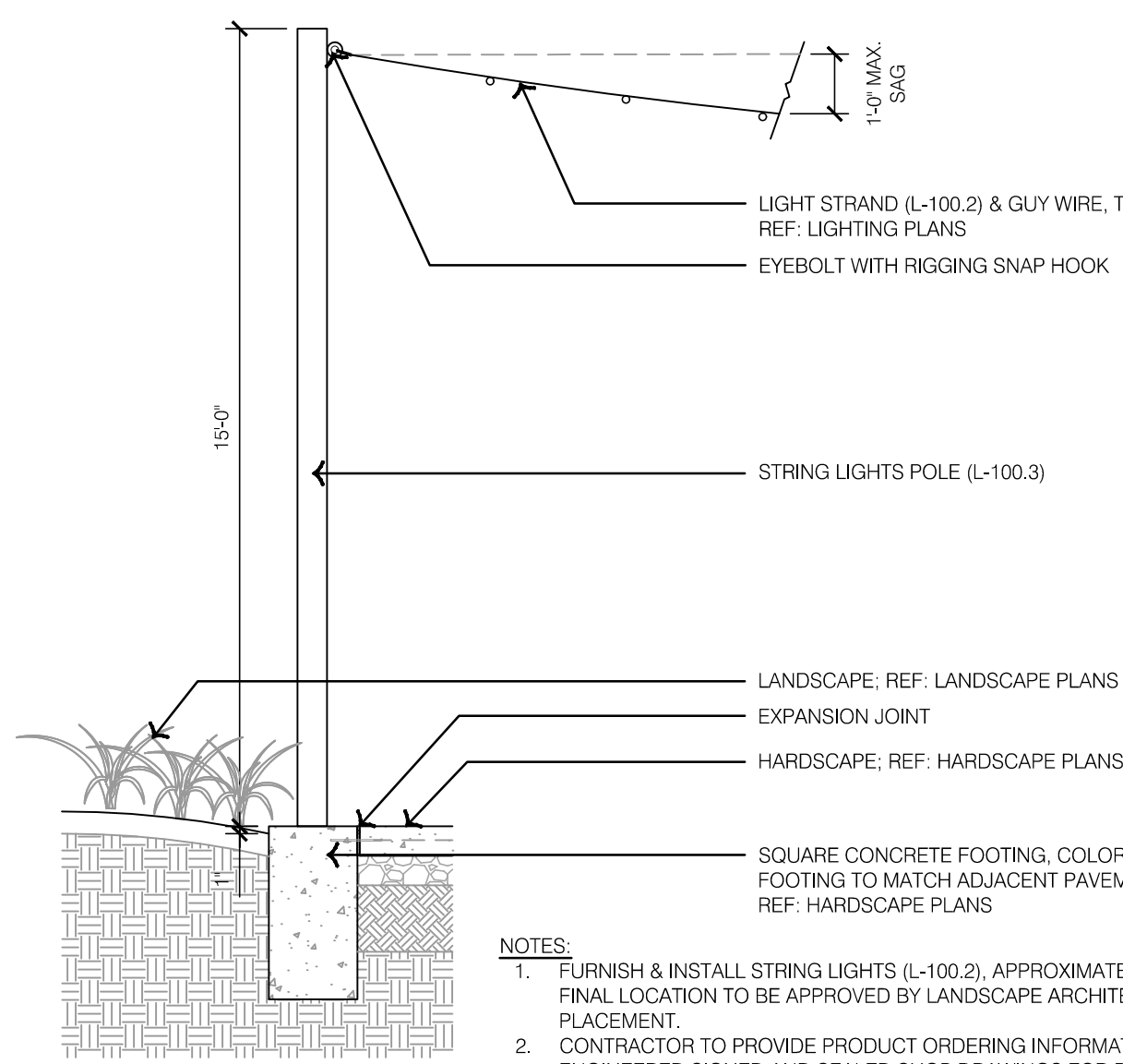
- NOTES:
- CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT.
 - INSTALL PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

6 TYPICAL DECORATIVE BOLLARD IN LANDSCAPE



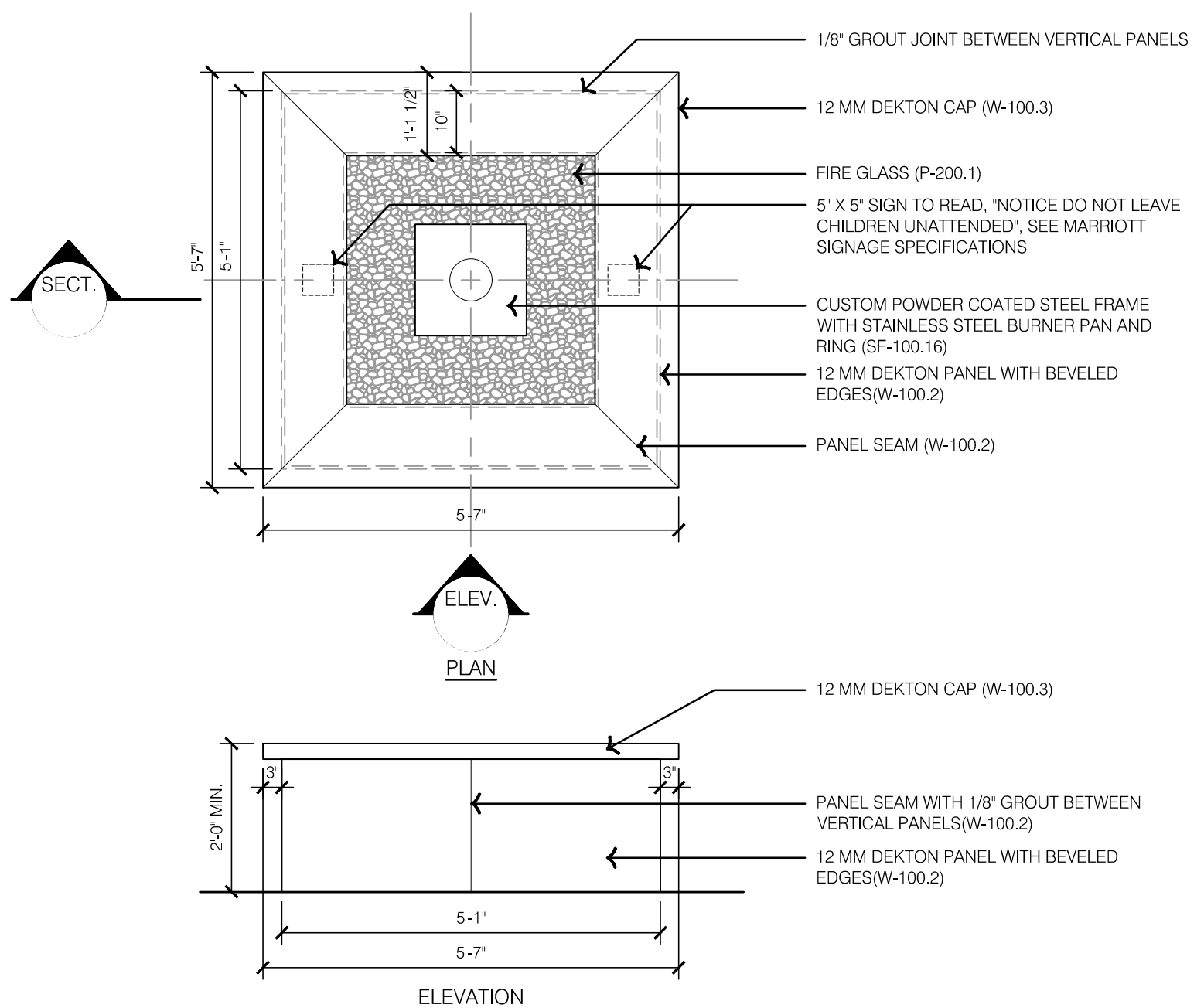
- NOTES:
- CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT.
 - INSTALL PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

7 TYPICAL DECORATIVE BOLLARD IN DECORATIVE ROCK

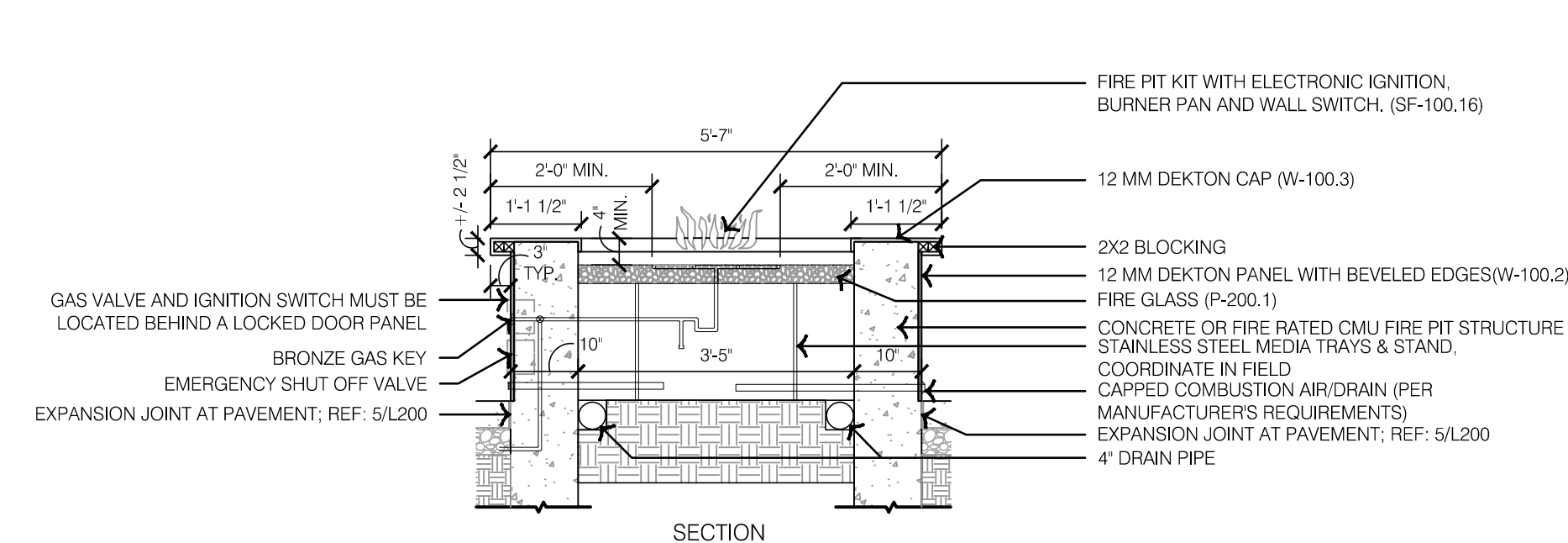


- NOTES:
- FURNISH & INSTALL STRING LIGHTS (L-100.2), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.
 - CONTRACTOR TO PROVIDE PRODUCT ORDERING INFORMATION AND ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR REVIEW & APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 - INSTALL POLE AND STRING LIGHTS PER MANUFACTURERS RECOMMENDATIONS & SPECIFICATIONS.

8 TYPICAL STRING LIGHT POLE



9 FIRE PIT



- NOTES:
- CONTRACTOR SHALL PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
 - CONTRACTOR SHALL PROVIDE FIRE GLASS SAMPLES FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ORDERING.
 - GAS SHUTOFF LOCATION PER LOCAL CODE. ELECTRONIC IGNITION WITH 1 HOUR TIMER. LOCATION PER LOCAL CODE. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS. SEE MARRIOTT SIGNAGE SPECIFICATIONS.
 - CONTRACTOR TO COORDINATE GAS AND ELECTRICAL SUPPLY WITH GENERAL CONTRACTOR.

HARDSCAPE DETAILS - SITE AMENITIES
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

drawn by: EW
 checked by: CP
 approved by: CP
 QA/QC by: BM
 project no.: F21-04643
 drawing: HSC_DTL01_F2104643
 date: 11.01.2023

SHEET
 L205

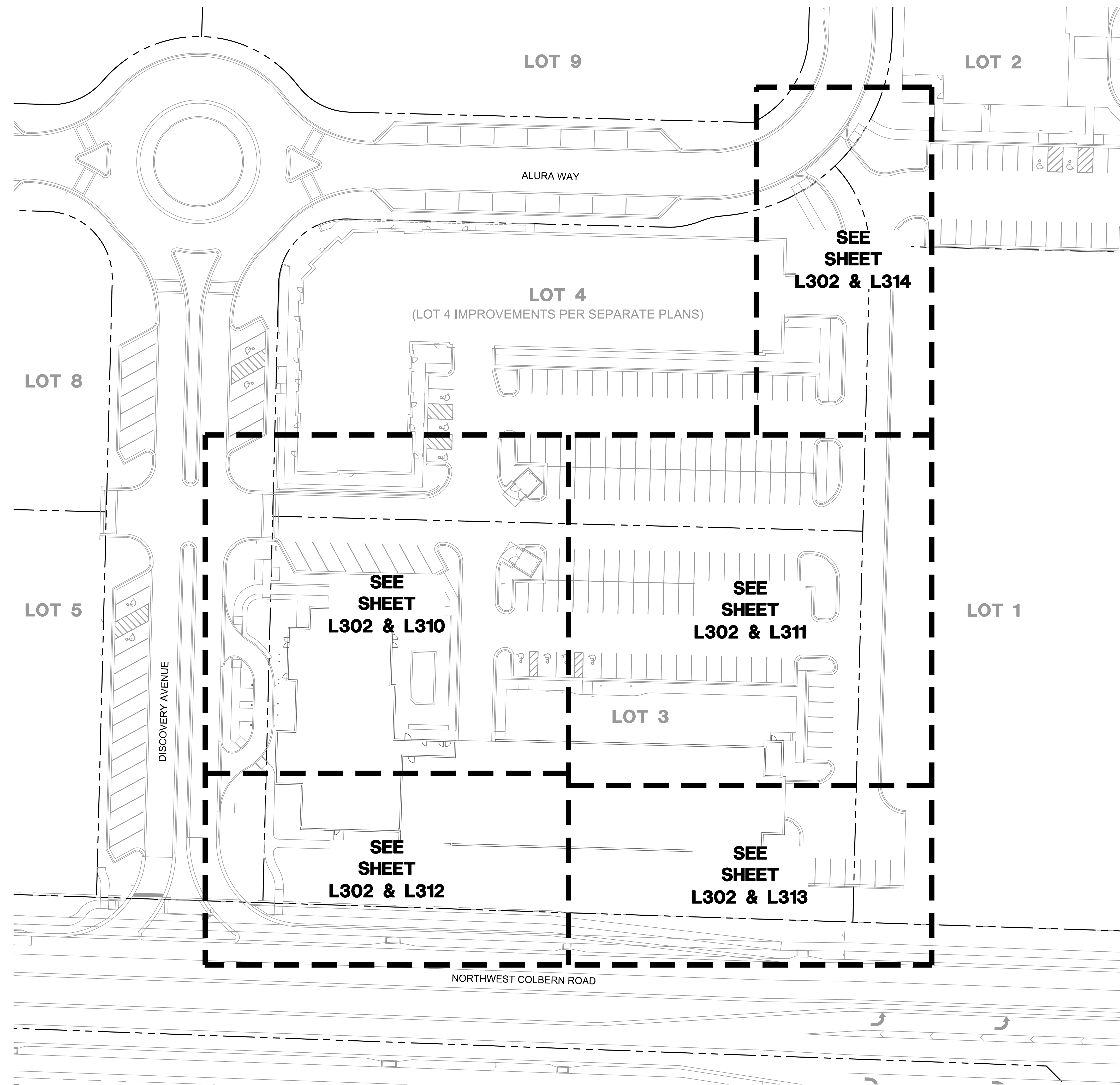
REV. NO.	DATE	REVISIONS DESCRIPTION	BY

2023

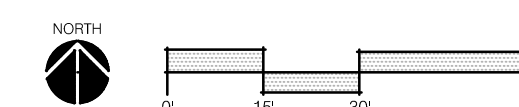
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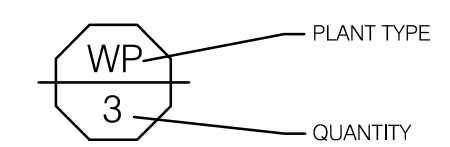


1 LANDSCAPE OVERALL PLAN



LANDSCAPE GENERAL NOTES:

- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
- DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
- LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
 - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
- ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
- ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
- PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
- PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
- ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
- ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
- ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
- PLANT KEY DESCRIPTION.



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 MISSOURI CERTIFICATE OF AUTHORITY #2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

REV. NO.	DATE	REVISIONS DESCRIPTION

LANDSCAPE OVERALL PLAN PRIVATE SITE DEVELOPMENT PLANS THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST	REVISIONS 2023
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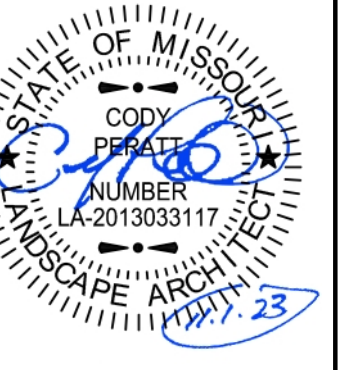
drawn by: EW	checked by: CB
approved by: CP	QA/QC by: BM
project no.: F21-04643	drawing no.: L_OVR01_F2104643
date: 11.01.2023	

LANDSCAPE REQUIREMENTS

LANDSCAPING AND SCREENING REQUIREMENTS - ZONE 1, LOT 3		REQUIRED PLANTS	SHOWN PLANTS
CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION			
SITE ZONED: CP-2, PROPOSED: PMIX			
TOTAL PROPERTY: 1.76 ACRES (76,795 SQ FT)			
STREET FRONTAGE TREES:			
SEC. 8.790	ONE TREE PER 30 FEET OF STREET FRONTAGE, PUBLIC OR PRIVATE		
	TREES MAY BE CLUSTERED OR ARRANGED WITHIN THE SETBACK. A MIN. 20' LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF THE STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20'.		
<u>NORTHWEST COLBERN ROAD</u>			
TOTAL STREET FRONTAGE = 353 LF			
(353 / 30 = 11.7)		12 TREES	13 TREES
<u>DISCOVERY AVENUE</u>			
TOTAL STREET FRONTAGE = 200 LF			
(200 / 30 = 6.67)		7 TREES	7 TREES
OPEN YARD TREES:			
SEC. 8.790	ONE TREE PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT		
	TOTAL LOT AREA = 76,795.1 SQ FT		
	BUILDING FOOTPRINT = 23,119 SQ FT		
	76,795.1 - 23,119 SQ FT = 53,676.1 SQ FT		
	53,676.1 / 5,000 = 10.73 TREES	11 TREES	26 TREES
	LANDSCAPE TOTALS	30 TREES	46 TREES
STREET FRONTAGE SHRUBS:			
SEC. 8.790	ONE SHRUB PER 20 FEET OF STREET FRONTAGE		
	A MINIMUM 20 FEET WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.		
<u>NORTHWEST COLBERN ROAD</u>			
TOTAL STREET FRONTAGE = 353 LF			
(353/ 20 = 17.65)		18 SHRUBS	COVERED BY PRIVATE DRIVE PLANS
<u>DISCOVERY AVENUE</u>			
TOTAL STREET FRONTAGE = 200 LF			
(200/ 20 = 10)		10 SHRUBS	37 SHRUBS
OPEN YARD SHRUBS:			
SEC. 8.790	TWO SHRUBS PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT		
	TOTAL LOT AREA = 76,795.1 SQ FT		
	BUILDING FOOTPRINT = 23,119 SQ FT		
	76,795.1 - 23,119 SQ FT = 53,676.1 SQ FT		
	53,676.1 / 5,000 = 10.73 X 2 = 21.46 SHRUBS	21 SHRUBS	312 SHRUBS
	LANDSCAPE TOTALS	49 SHRUBS	349 SHRUBS
PARKING LOT LANDSCAPING:			
SEC. 8.810	LANDSCAPE ISLANDS, STRIPS, OR OTHER PLANTING AREA SHALL BE AT LEAST FIVE PERCENT OF THE ENTIRE PARKING AREA		
	TOTAL PARKING LOT AREA: 30,490.8 SQ FT		
	TOTAL LANDSCAPE ISLAND AREA: 2391.33 SQ FT		
	2391.33 / 30,490.8 = .0784	7.84%	
	LANDSCAPE STRIP BETWEEN PARKING/LOADING AREA & R/W	20' WIDE	
	OPEN AREAS NOT COVERED WITH OTHER MATERIALS SHALL BE COVERED WITH SOD. GROUND COVER SHALL BE UTILIZED ON ALL SLOPES IN EXCESS OF 3:1 SLOPE.		

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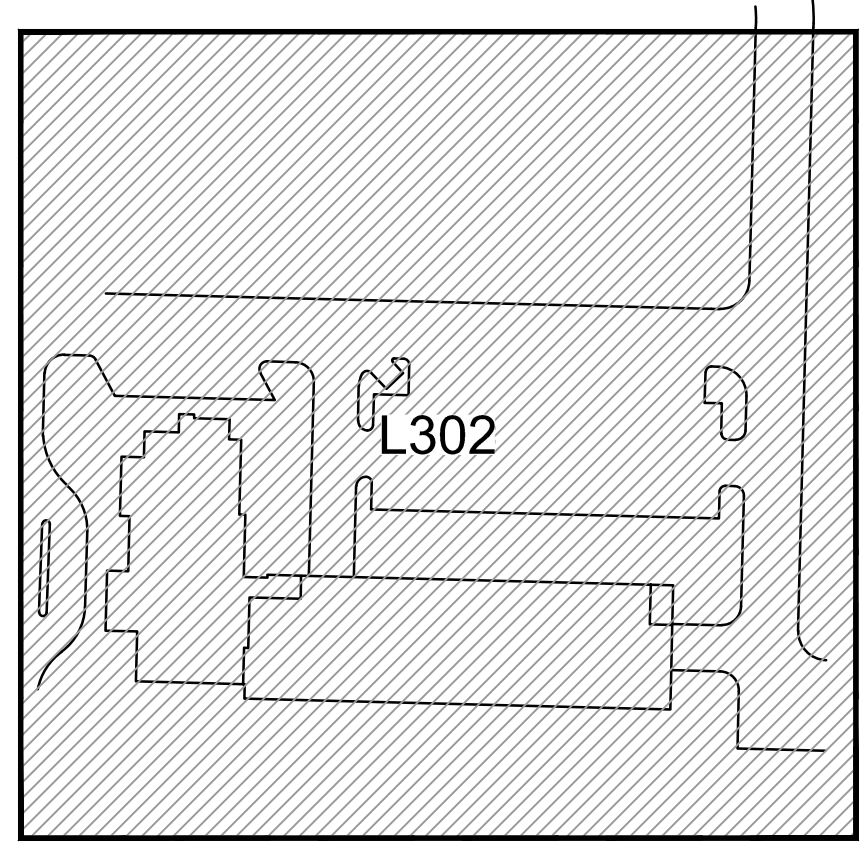
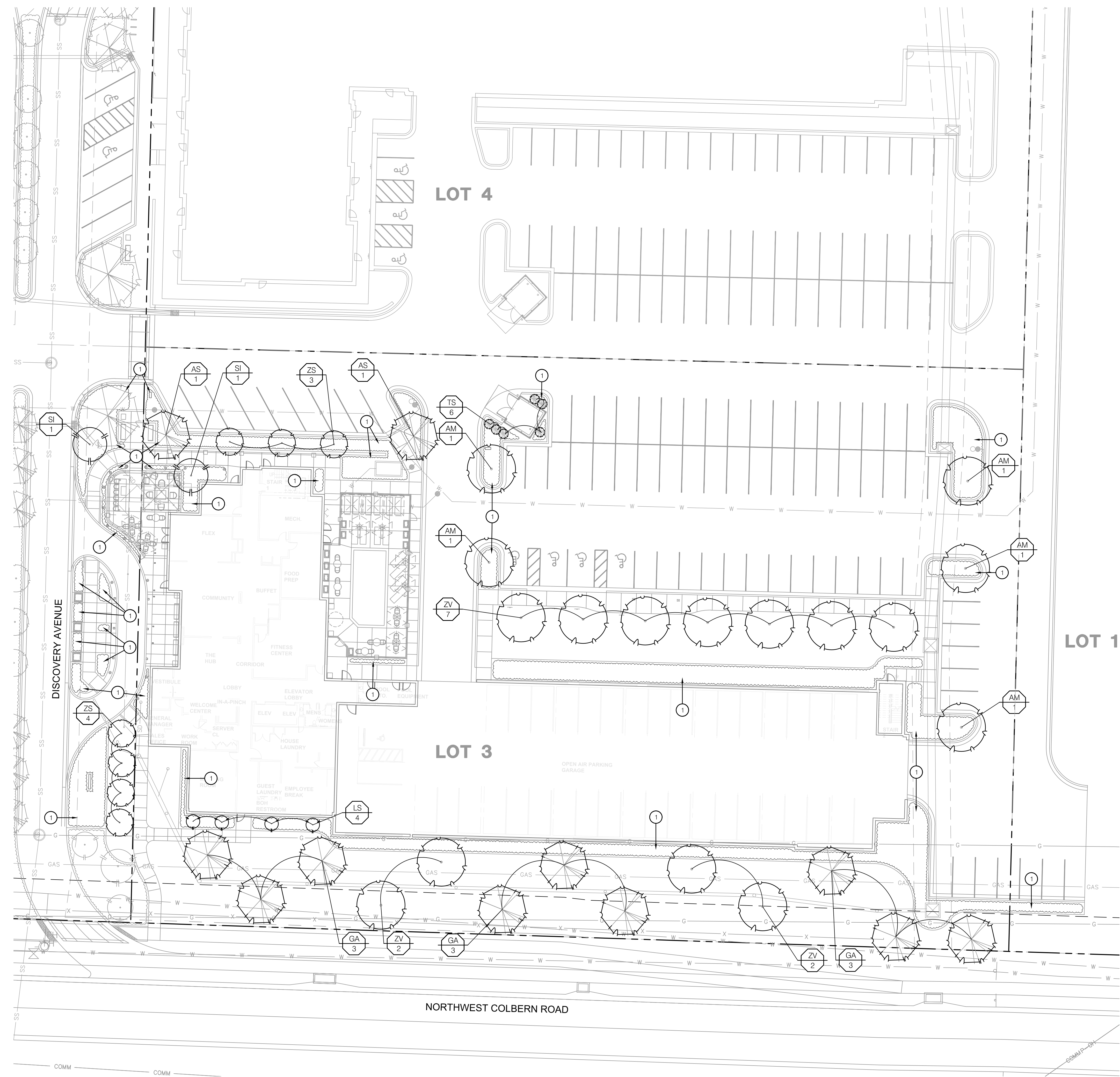
**LANDSCAPE REQUIREMENTS
 PRIVATE SITE DEVELOPMENT PLANS**

THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST

LEE'S SUMMIT, MISSOURI

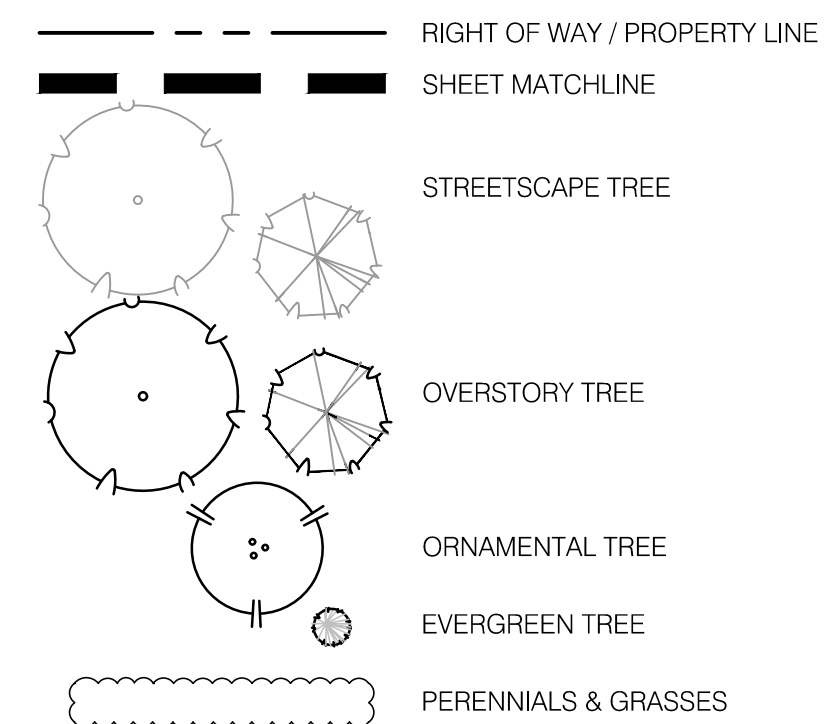
2023

drawn by: _____ EW
 checked by: _____ CP
 approved by: _____ CP
 QA/QC by: _____ BM
 project no.: F21-04843
 drawing no.: L_OVR01_F2104843
 date: 11.01.2023



KEYMAP

LANDSCAPE LEGEND:



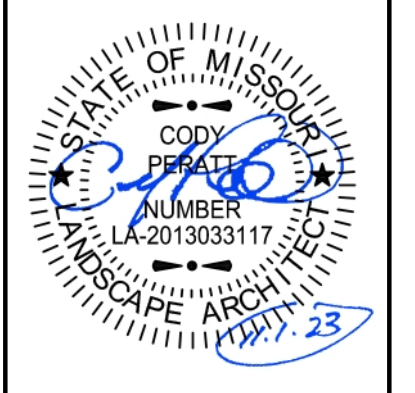
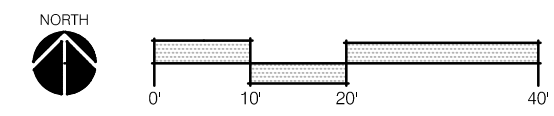
LANDSCAPE PLAN NOTES:

① PLANTING BED; REF: LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS

OVERSTORY PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
AM	ACER MIYABEI 'MORTON'	STATE STREET™ MIYABE MAPLE	3' CAL	B&B
AS	ACER SACCHARUM 'CADDO'	CADDO SUGAR MAPLE	3' CAL	B&B
GA	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDEN-HAIR TREE	3' CAL	B&B
LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEET GUM	3' CAL	B&B
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	3' CAL	B&B
TM	TAXODIUM DISTICHUM 'MICKELSON'	'SHAWNEE BRAVE™' BALD CYPRESS	3' CAL	B&B
UC	ULMUS X 'FRONTIER'	FRONTIER ELM	3' CAL	B&B
ZS	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO JAPANESE ZELKOVA	3' CAL	B&B
ZV	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN JAPANESE ZELKOVA	3' CAL	B&B
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TS	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	8' HT.	B&B
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
AC	AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY AUTUMN BRILLIANCE	3' CAL	B&B
SI	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	3' CAL	B&B

1 LANDSCAPE OVERSTORY PLAN

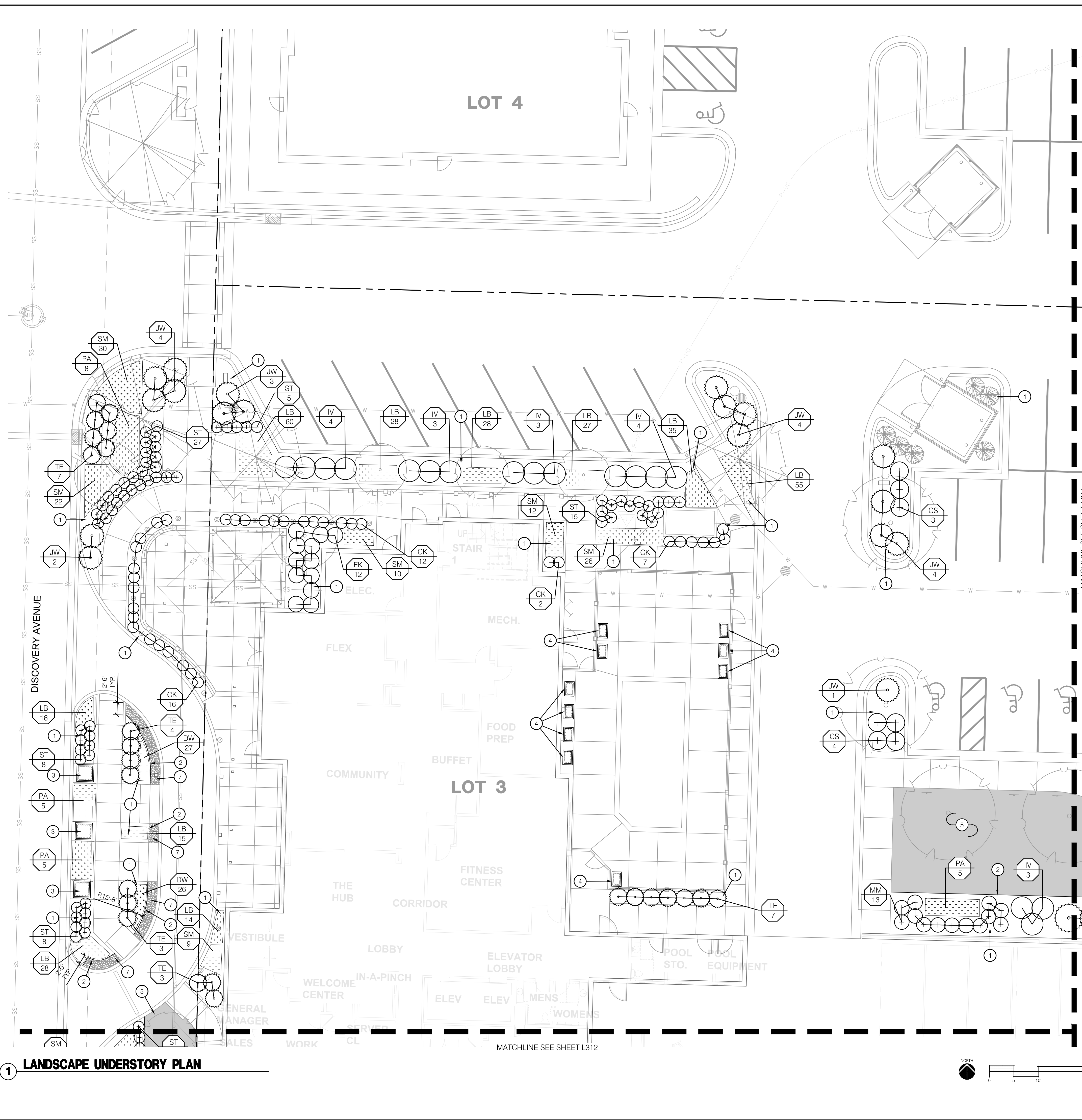


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LANDSCAPE OVERSTORY PLAN
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI
 2023

drawn by: EW
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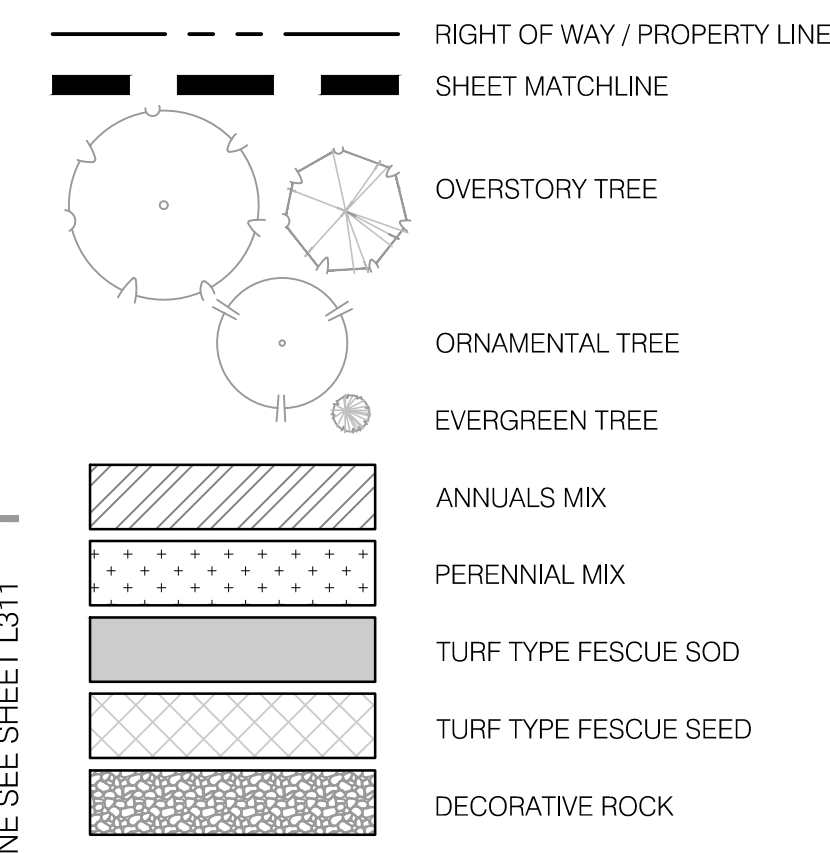
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LANDSCAPE UNDERSTORY PLAN

MATCHLINE SEE SHEET L312

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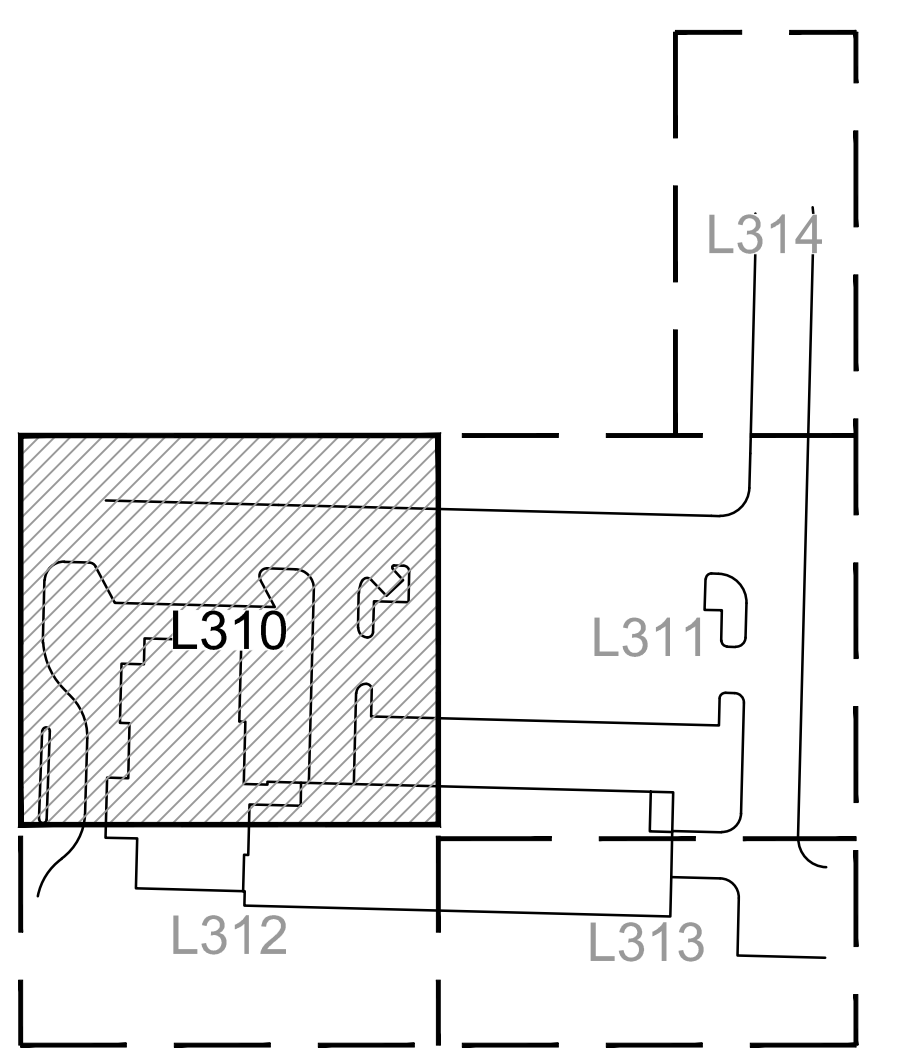


LANDSCAPE PLAN NOTES:

- 1 PLANTING BED WITH HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, DETAILS & SPECIFICATIONS
- 2 INSTALL METAL BED EDGE; REF: 5/L390 AND SPECIFICATIONS
- 3 TYPICAL PLANTER - FRONT ENTRY (SF-100.10); REF: 6/L390
- 4 TYPICAL PLANTER - ACCENT (SF-100.11); REF: 7/L390
- 5 AREA TO BE SODDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- 6 AREA TO BE SEEDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- 7 INSTALL DECORATIVE ROCK (P-300.1); REF: 8/L390
- 8 PRIVATE DRIVE PLANTING BED; REF: PRIVATE DRIVE PLANS

UNDERSTORY PLANT SCHEDULE

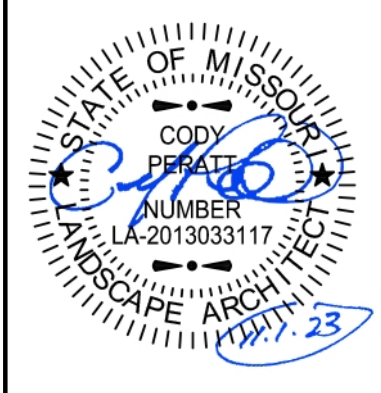
DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CS	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	CONT.	45' o.c.
FK	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	5 GAL	CONT.	39' o.c.
IV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL	CONT.	54' o.c.
PD	PHYSOCARPUS OPULENSIS 'DONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK	5 GAL	CONT.	48' o.c.
VS	VIBURNUM DENTATUM 'SMVDE'	SPARKLER® ARROWWOOD VIBURNUM	5 GAL	CONT.	135' o.c.
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
JF	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	CONT.	72' o.c.
JW	JUNIPERUS HORIZONTALIS 'WILTONI'	BLUE RUG JUNIPER	5 GAL	CONT.	60' o.c.
TE	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLLO-JAPANESE YEOW	5 GAL	CONT.	45' o.c.
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	CONT.	27' o.c.
MM	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	5 GAL	CONT.	36' o.c.
ST	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSSEED	1 GAL	CONT.	27' o.c.
ANNUALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
ANN	ANNUALS		4" POT		12' o.c.
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
DW	DIANTHUS GRATIANDIPOLITANUS 'FIREWITCH'	FIREWITCH CHEDDAR PINK	1 GAL	CONT.	9' o.c.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	12' o.c.
PA	PEROVSKIA ATRIPPLICIFOLIA 'DENIM N LACE'	DENIM N LACE RUSSIAN SAGE	3 GAL	CONT.	36' o.c.
SM	SALVIA NEMOROSA 'CARADONNA'	CARADONNA SAGE	1 GAL	CONT.	18' o.c.



KEYMAP

MATCHLINE SEE SHEET L311

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 Kansas City, MO 64108 TEL: 816.842.8844 olsson-studio.com



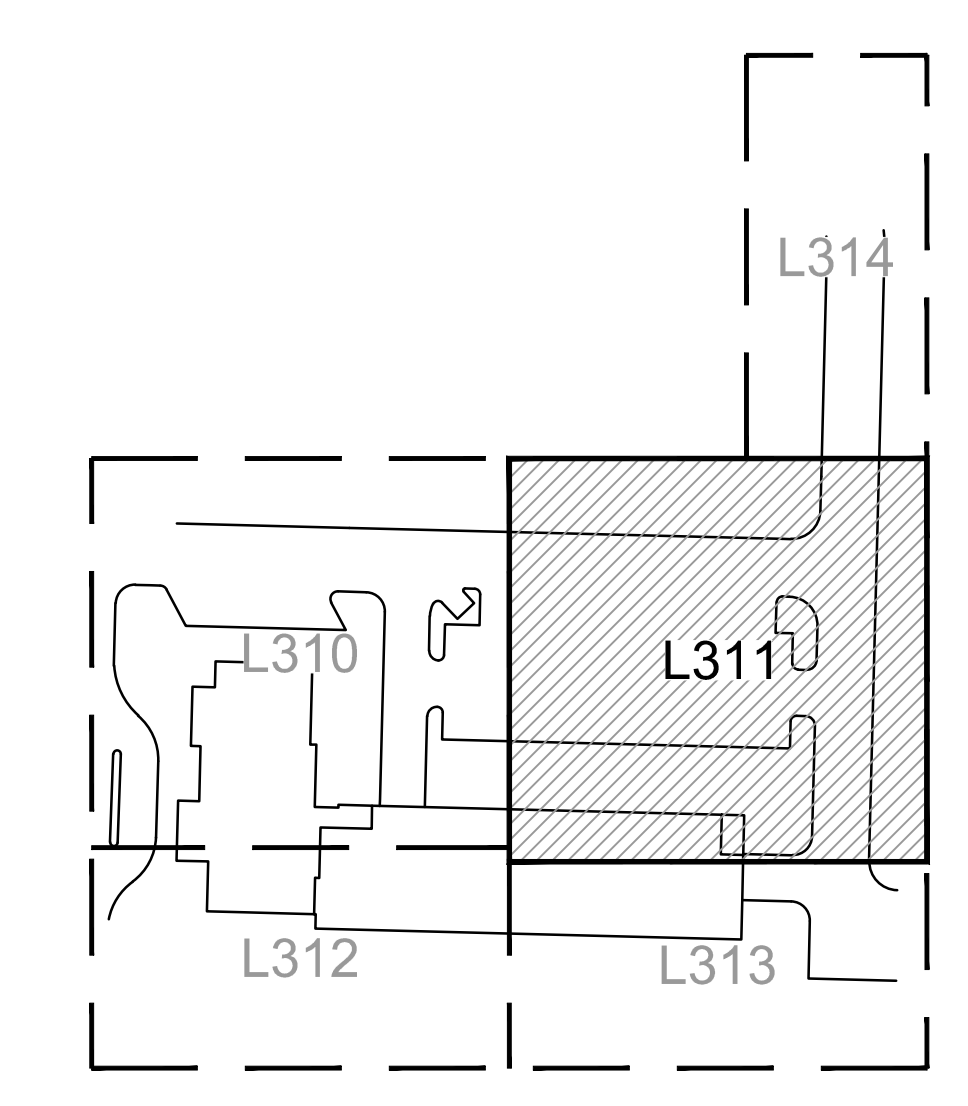
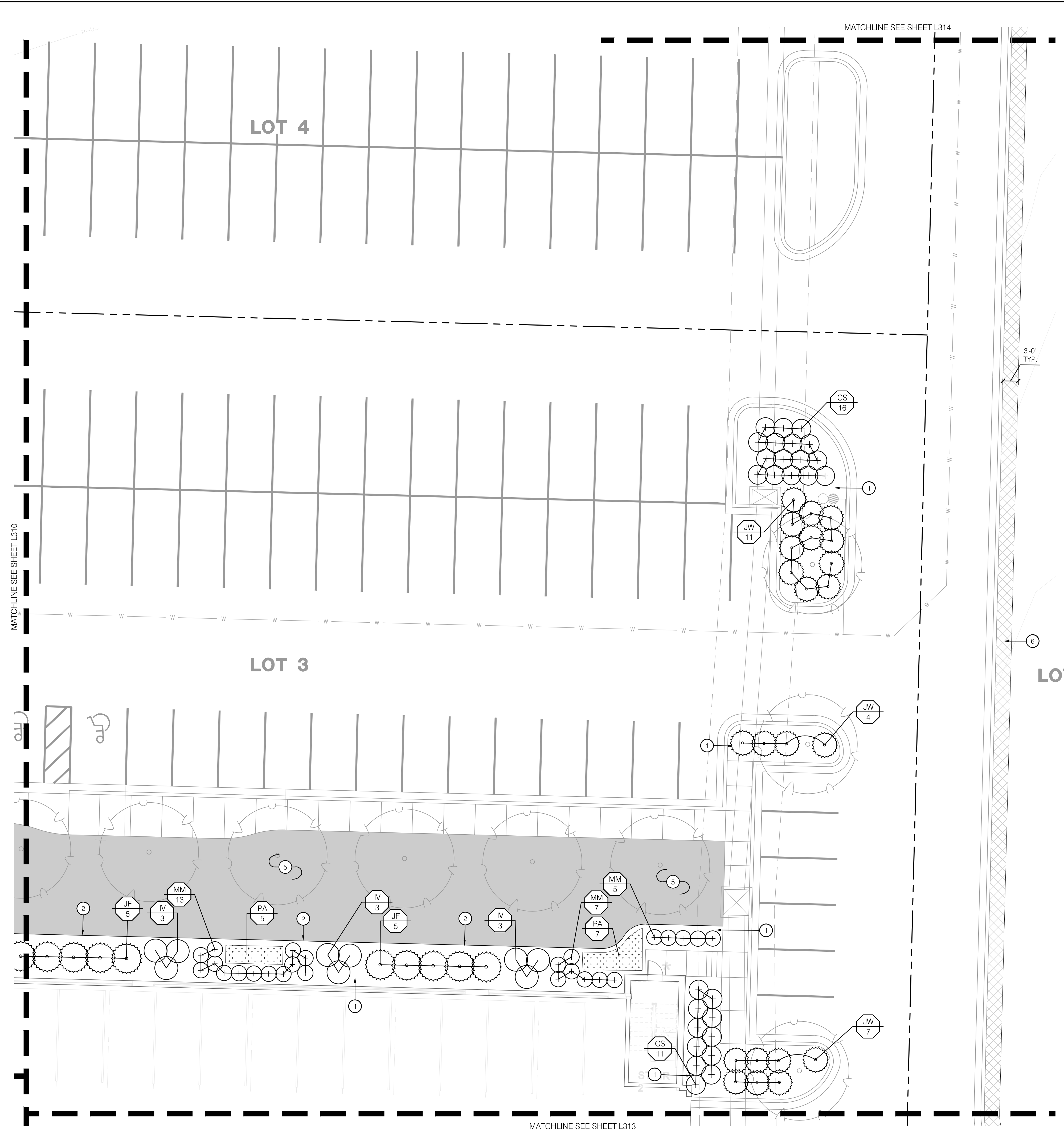
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LANDSCAPE UNDERSTORY PLAN
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERT RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

2023

drawn by: EW
 checked by: CP
 approved by: CP
 QA/QC by: BM
 project no.: F21-04643
 drawing no.: SC_UND01_F2104643
 date: 11.01.2023

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LANDSCAPE LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCHLINE
- OVERSTORY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- ANNUALS MIX
- PERENNIAL MIX
- TURF TYPE FESCUE SOD
- TURF TYPE FESCUE SEED
- DECORATIVE ROCK

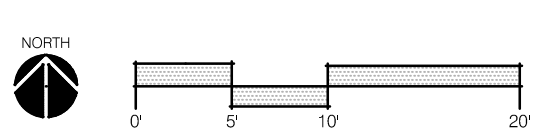
LANDSCAPE PLAN NOTES:

- 1 PLANTING BED WITH HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, DETAILS & SPECIFICATIONS
- 2 INSTALL METAL BED EDGE; REF: 5/L390 AND SPECIFICATIONS
- 3 TYPICAL PLANTER - FRONT ENTRY (SF-100.10); REF: 6/L390
- 4 TYPICAL PLANTER - ACCENT (SF-100.11); REF: 7/L390
- 5 AREA TO BE SODDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- 6 AREA TO BE SEEDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
- 7 INSTALL DECORATIVE ROCK (P-300.1); REF: 8/L390
- 8 PRIVATE DRIVE PLANTING BED; REF: PRIVATE DRIVE PLANS

UNDERSTORY PLANT SCHEDULE

DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CS	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	CONT.	45' o.c.
FK	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	5 GAL	CONT.	39' o.c.
IV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL	CONT.	54' o.c.
PD	PHYSOCARPUS OPULEFOLIUS 'DONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK	5 GAL	CONT.	48' o.c.
VS	VIBURNUM DENTATUM 'SMUDE'	SPARKLER® ARROWWOOD VIBURNUM	5 GAL	CONT.	135' o.c.
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
JF	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	CONT.	72' o.c.
JW	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	5 GAL	CONT.	60' o.c.
TE	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLLO-JAPANESE YEW	5 GAL	CONT.	45' o.c.
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	CONT.	27' o.c.
MM	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	5 GAL	CONT.	36' o.c.
ST	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSSEED	1 GAL	CONT.	27' o.c.
ANNUALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
ANN	ANNUALS		4" POT		12" o.c.
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
DW	GIANTHUS GRATIOPOLITANUS 'FIREWITCH'	FIREWITCH CHEDDAR PINK	1 GAL	CONT.	9" o.c.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	12" o.c.
PA	PEROVSKIA ATRIPLICIFOLIA 'DENIM N LACE'	DENIM N LACE RUSSIAN SAGE	3 GAL	CONT.	36' o.c.
SM	SALVIA NEMOROSA 'CARADONNA'	CARADONNA SAGE	1 GAL	CONT.	18" o.c.

1 LANDSCAPE UNDERSTORY PLAN



olsson studio
 MISSOURI CERTIFICATE OF AUTHORITY #2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL: 816.842.8844 olsson-studio.com

STATE OF MISSOURI
 CODY P. REATZ
 ARCHITECT
 LICENSE NUMBER LA-201303311
 EXPIRES 12/31/23

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

REVISIONS

2023

LANDSCAPE UNDERSTORY PLAN
 PRIVATE SITE DEVELOPMENT PLANS

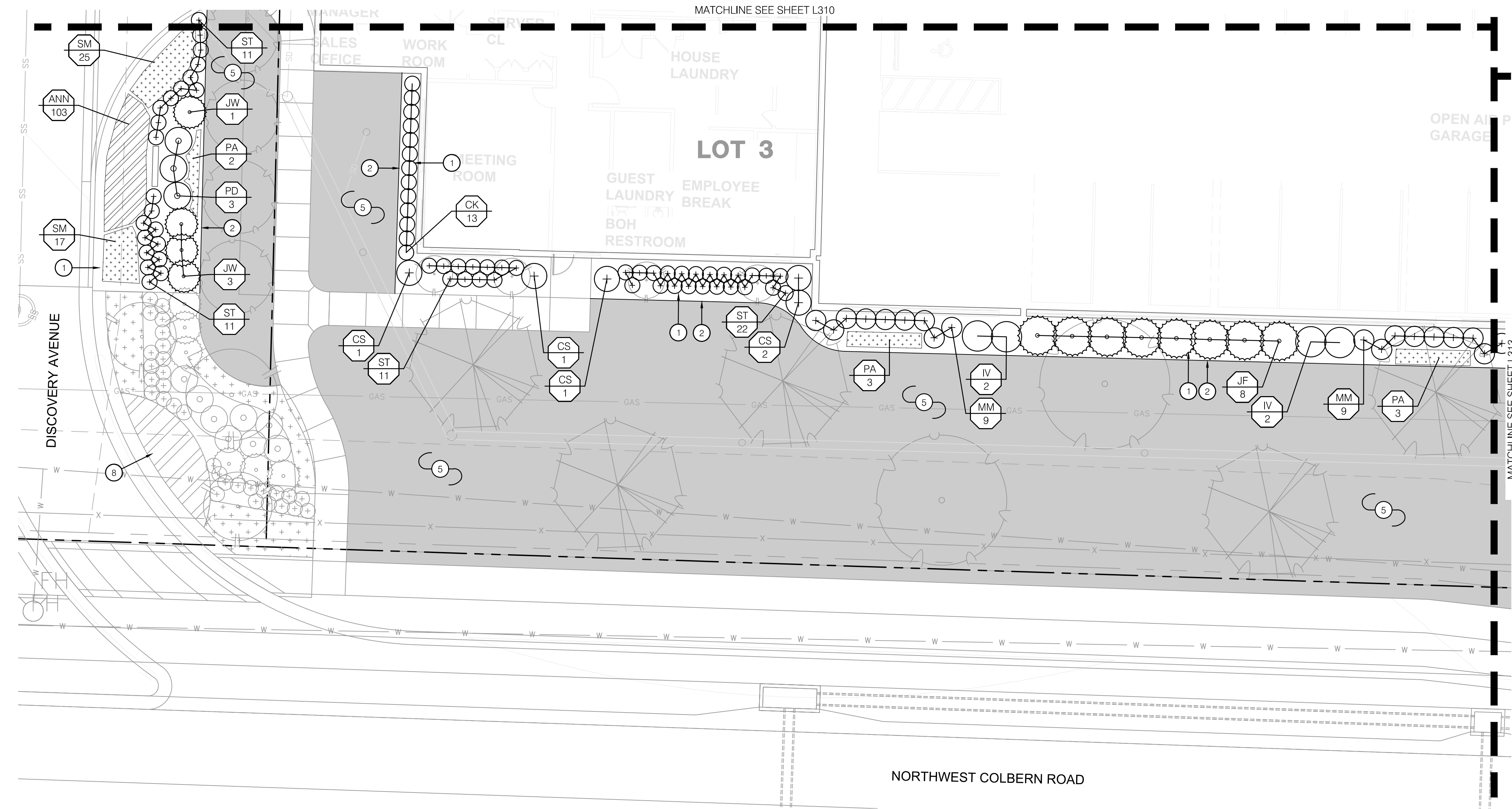
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 NW COLBERN RD & NE DOUGLAS ST

LEE'S SUMMIT, MISSOURI

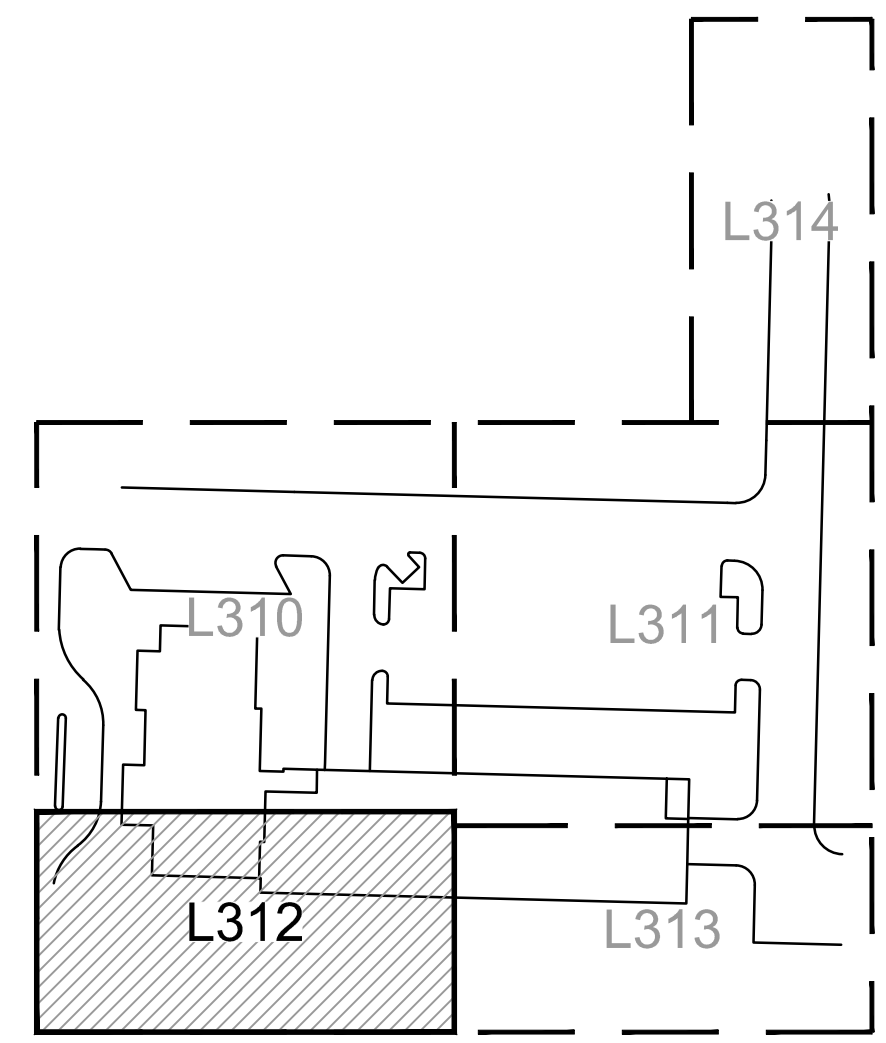
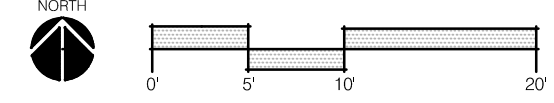
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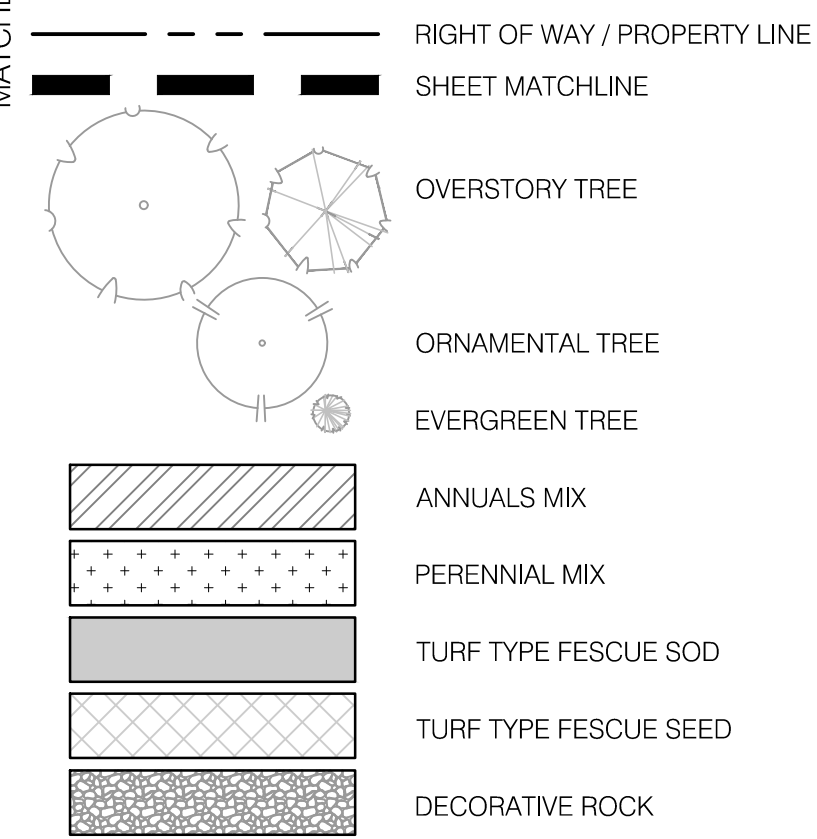


1 LANDSCAPE UNDERSTORY PLAN



KEYMAP

LANDSCAPE LEGEND:



LANDSCAPE PLAN NOTES:

- 1 PLANTING BED WITH HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, DETAILS & SPECIFICATIONS
- 2 INSTALL METAL BED EDGE; REF: 5/L390 AND SPECIFICATIONS
- 3 TYPICAL PLANTER - FRONT ENTRY (SF-100.10); REF: 6/L390
- 4 TYPICAL PLANTER - ACCENT (SF-100.11); REF: 7/L390
- 5 AREA TO BE SODDED WITH TURF-TYPE FESCUE; REF: SPECIFICATIONS
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- 7 INSTALL DECORATIVE ROCK (P-300.1); REF: 8/L390
- 8 PRIVATE DRIVE PLANTING BED; REF: PRIVATE DRIVE PLANS

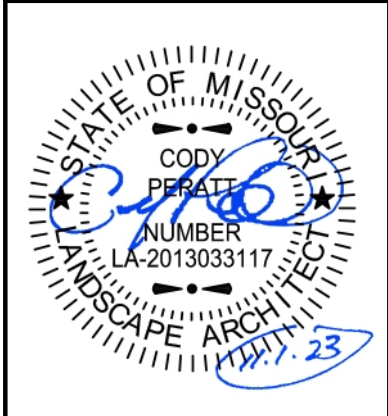
UNDERSTORY PLANT SCHEDULE

DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CS	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	CONT.	45' o.c.
FK	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	5 GAL	CONT.	39' o.c.
IV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPICE	5 GAL	CONT.	54' o.c.
PD	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK	5 GAL	CONT.	48' o.c.
VS	VIBURNUM DENTATUM 'SMUDE'	SPARKLER® ARROWWOOD VIBURNUM	5 GAL	CONT.	135' o.c.
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
JF	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	CONT.	72' o.c.
JW	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	5 GAL	CONT.	60' o.c.
TE	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLO-JAPANESE YEW	5 GAL	CONT.	45' o.c.
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	CONT.	27' o.c.
MM	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	5 GAL	CONT.	36' o.c.
ST	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSSEED	1 GAL	CONT.	27' o.c.
ANNUALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
ANN	ANNUALS		4" POT		12' o.c.
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
DW	DIANTHUS GRATIANOPOLITANUS 'FIREWITCH'	FIREWITCH CHEDDAR PINK	1 GAL	CONT.	9' o.c.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	12' o.c.
PA	PEROVSKIA ATRIPLICIFOLIA 'DENIM N LACE'	DENIM N LACE RUSSIAN SAGE	3 GAL	CONT.	36' o.c.
SM	SALVIA NEMOROSA 'CARADONNA'	CARADONNA SAGE	1 GAL	CONT.	18' o.c.

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

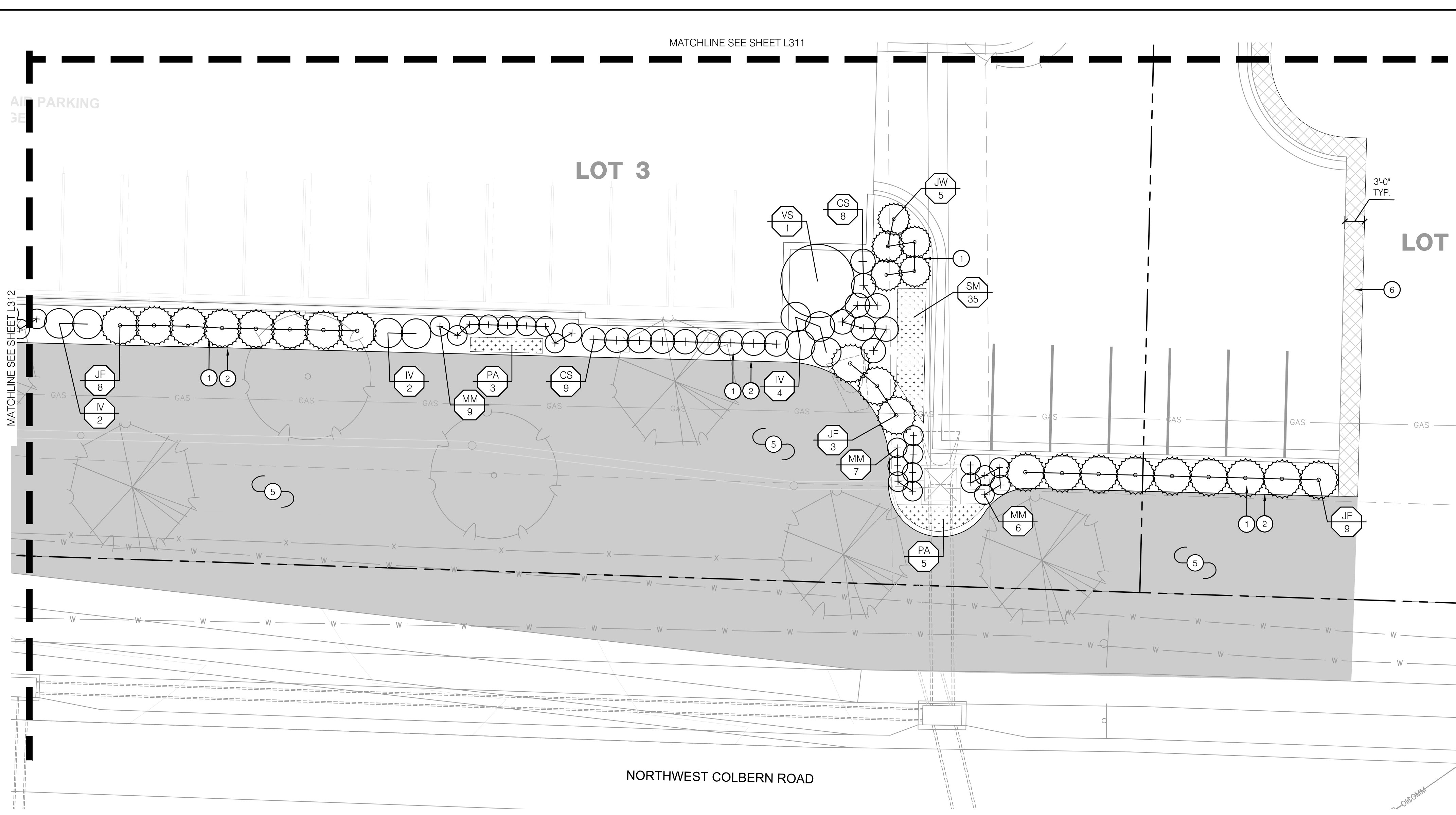
LANDSCAPE UNDERSTORY PLAN
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

drawn by: EW
 checked by: CB
 approved by: CP
 QA/QC by: BM
 project no.: F21-04643
 drawing no.: SC_UNDO1_F2104643
 date: 11.01.2023

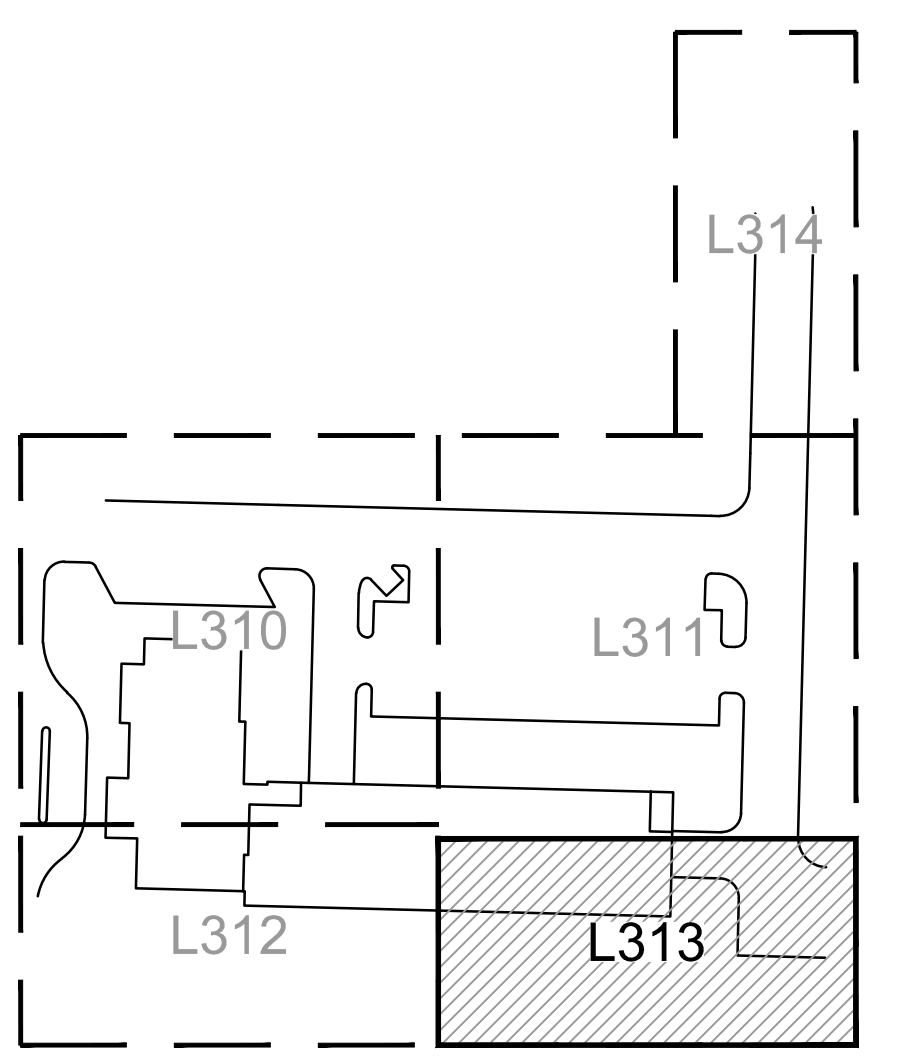
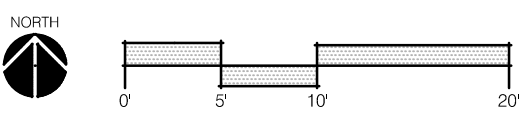


REVISIONS

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1 LANDSCAPE UNDERSTORY PLAN



LANDSCAPE LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- - - SHEET MATCHLINE
- (Tree symbols) OVERSTORY TREE
- (Tree symbols) ORNAMENTAL TREE
- (Tree symbols) EVERGREEN TREE
- (Pattern swatch) ANNUALS MIX
- (Pattern swatch) PERENNIAL MIX
- (Pattern swatch) TURF TYPE FESCUE SOD
- (Pattern swatch) TURF TYPE FESCUE SEED
- (Pattern swatch) DECORATIVE ROCK

LANDSCAPE PLAN NOTES:

- PLANTING BED WITH HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, DETAILS & SPECIFICATIONS
- INSTALL METAL BED EDGE; REF: 5/L390 AND SPECIFICATIONS
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- INSTALL DECORATIVE ROCK (P-300.1); REF: 8/L390
- PRIVATE DRIVE PLANTING BED; REF: PRIVATE DRIVE PLANS

UNDERSTORY PLANT SCHEDULE

DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CS	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	CONT.	45' o.c.
FK	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	5 GAL	CONT.	39' o.c.
IV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL	CONT.	54' o.c.
PD	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK	5 GAL	CONT.	48' o.c.
VS	VIBURNUM DENTATUM 'SMUDE'	SPARKLER® ARROWWOOD VIBURNUM	5 GAL	CONT.	135' o.c.
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
JF	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	CONT.	72' o.c.
JW	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	5 GAL	CONT.	60' o.c.
TE	TAXUS X MEDIA 'EVERLOW'	EVERLOW ANGLO-JAPANESE YEW	5 GAL	CONT.	45' o.c.
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	CONT.	27' o.c.
MM	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	5 GAL	CONT.	36' o.c.
ST	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSSEED	1 GAL	CONT.	27' o.c.
ANNUALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
ANN	ANNUALS		4" POT		12' o.c.
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
DW	DIANTHUS GRATIANOPOLITANUS 'FIREWITCH'	FIREWITCH CHeddar PINK	1 GAL	CONT.	9" o.c.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	12" o.c.
PA	PEROVSKIA ATRIPLICIFOLIA 'DENIM N LACE'	DENIM N LACE RUSSIAN SAGE	3 GAL	CONT.	36" o.c.
SM	SALVIA NEMOROSA 'CARADONNA'	CARADONNA SAGE	1 GAL	CONT.	18" o.c.

olsson studio
 MISSOURI CERTIFICATE OF AUTHORITY #2005000285
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 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

STATE OF MISSOURI
 LANDSCAPE ARCHITECT
 CODY PEARCE
 NUMBER
 LA-2013033117
 EXPIRES 12/31/23

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

REVISIONS

LANDSCAPE UNDERSTORY PLAN
 PRIVATE SITE DEVELOPMENT PLANS

THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST

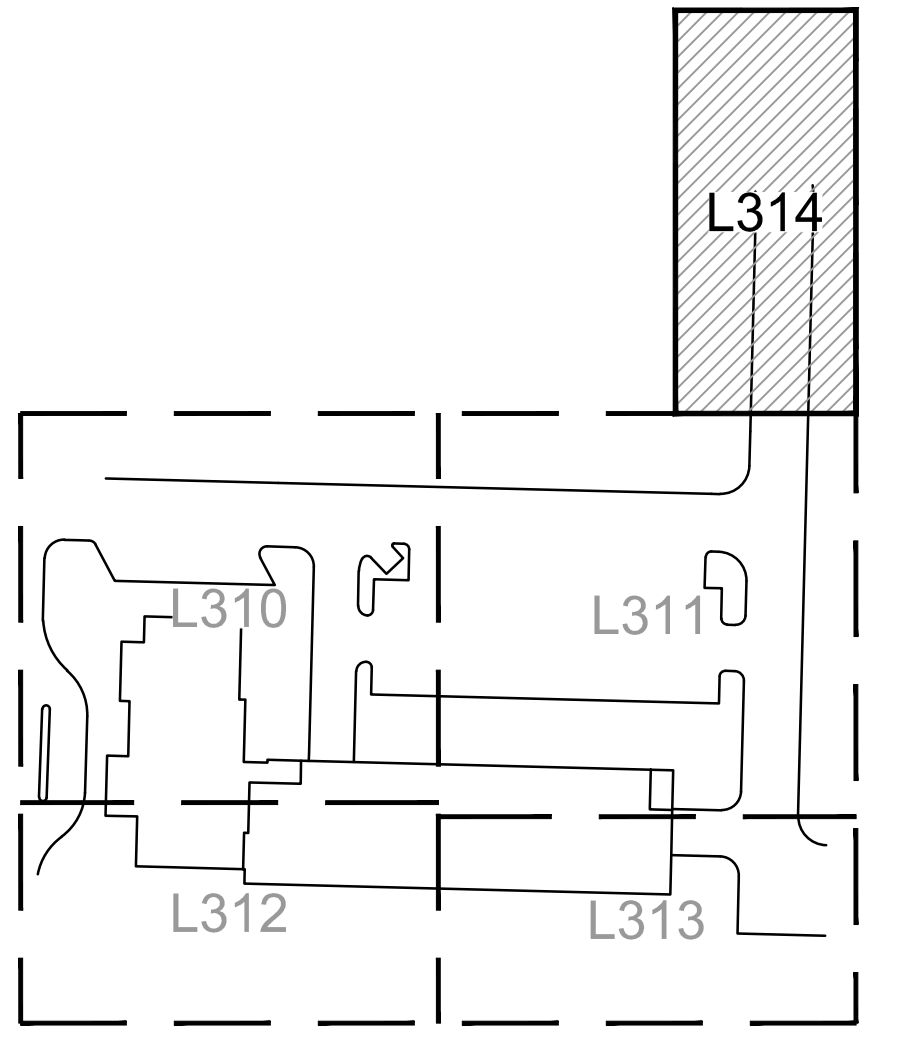
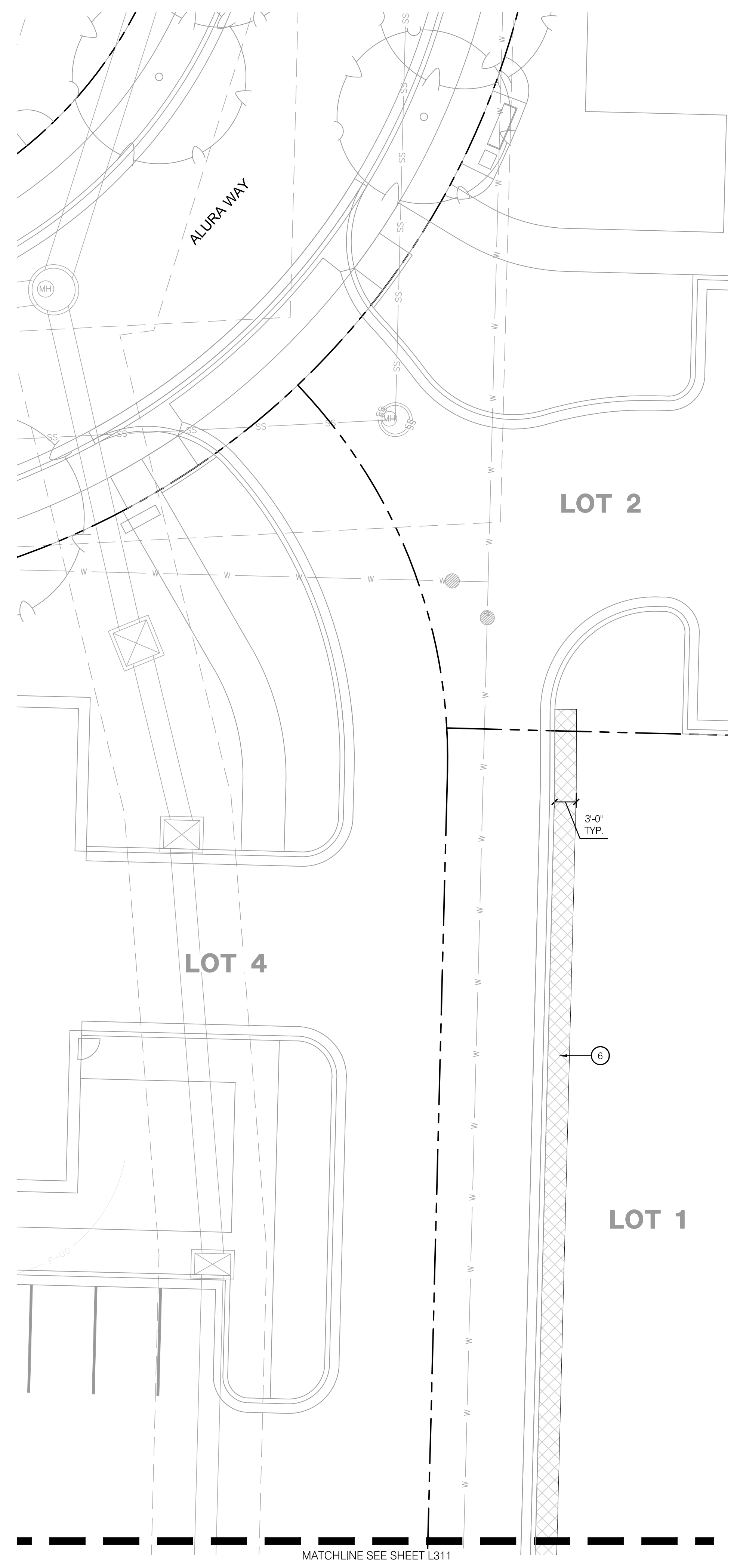
LEE'S SUMMIT, MISSOURI

2023

drawn by: EW
 checked by: CB
 approved by: CP
 QA/QC by: BM
 project no.: F21-04643
 drawing no.: LSC_UND01_F2104643
 date: 11.01.2023

SHEET
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KEYMAP

LANDSCAPE LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCHLINE
- OVERSTORY TREE
- ORNAMENTAL TREE
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- ANNUALS MIX
- PERENNIAL MIX
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- TURF TYPE FESCUE SEED
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LANDSCAPE PLAN NOTES:

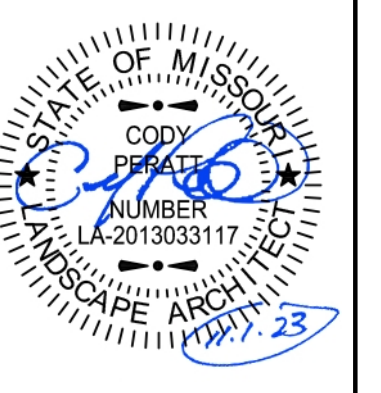
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UNDERSTORY PLANT SCHEDULE

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LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	12' o.c.
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SM	SALVIA NEMOROSA 'CARADONNA'	CARADONNA SAGE	1 GAL	CONT.	18' o.c.

1 LANDSCAPE UNDERSTORY PLAN

olsson studio
 MISSOURI CERTIFICATE OF AUTHORITY #2005000285
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 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com



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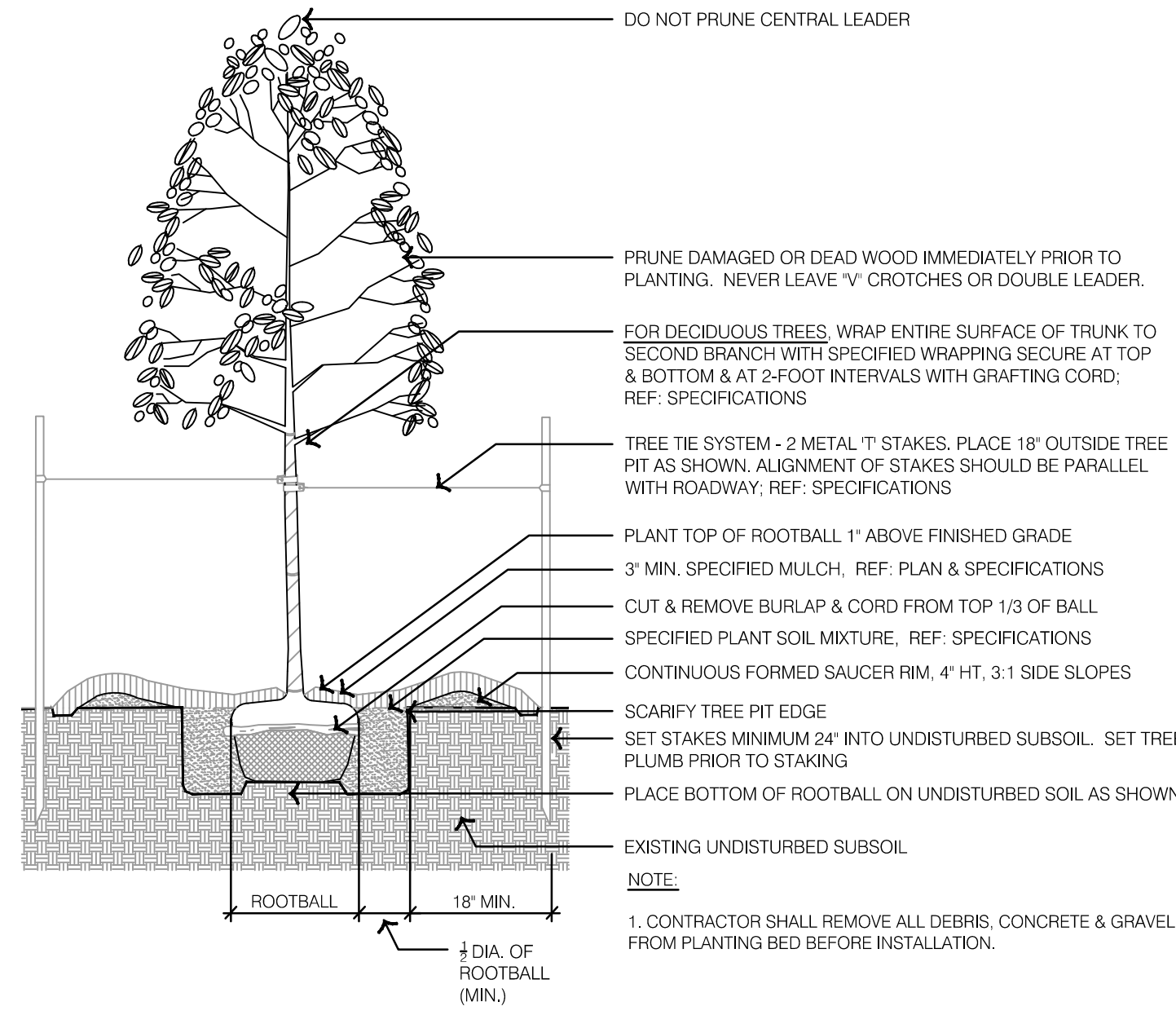
LANDSCAPE UNDERSTORY PLAN
PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
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 LEE'S SUMMIT, MISSOURI

2023

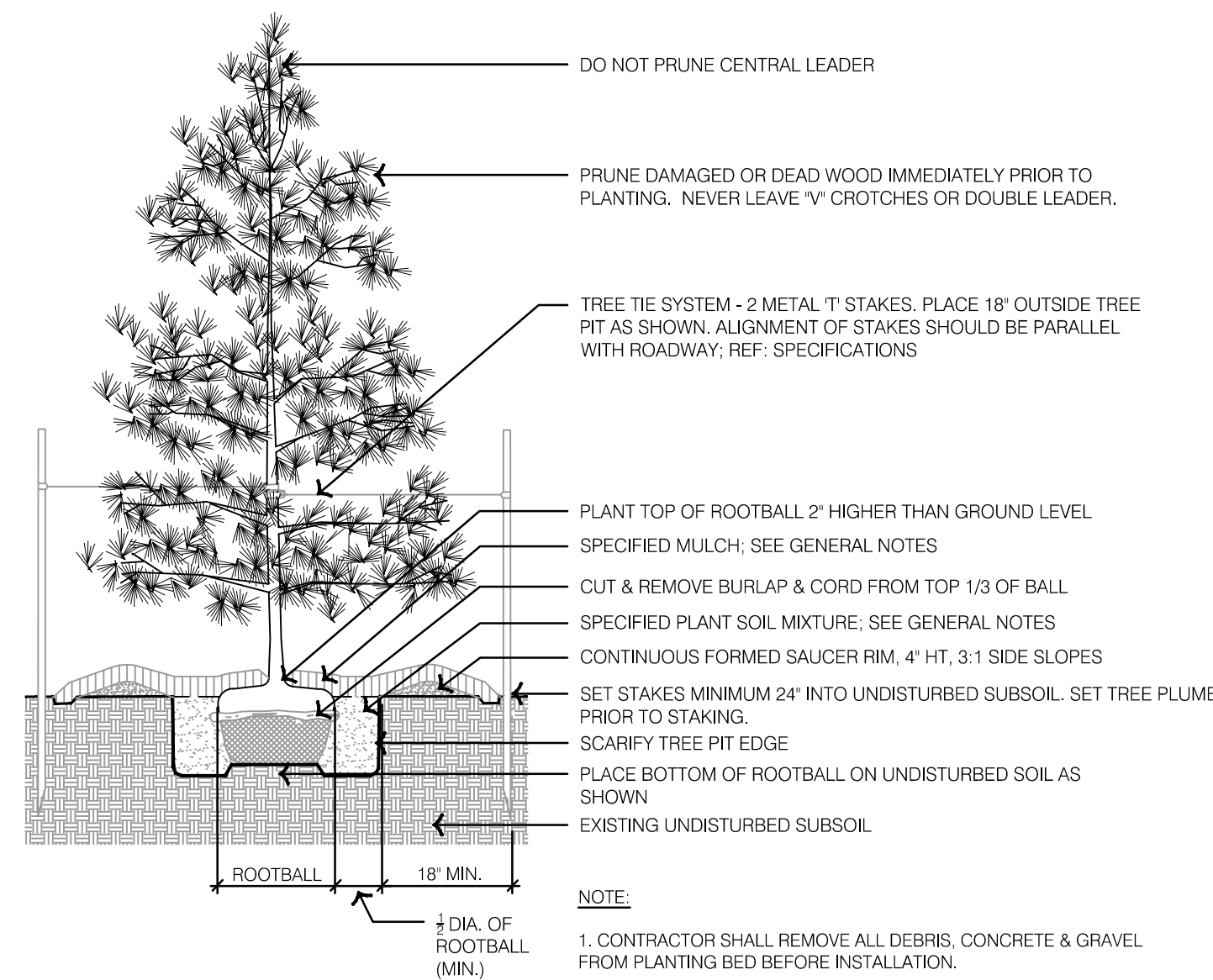
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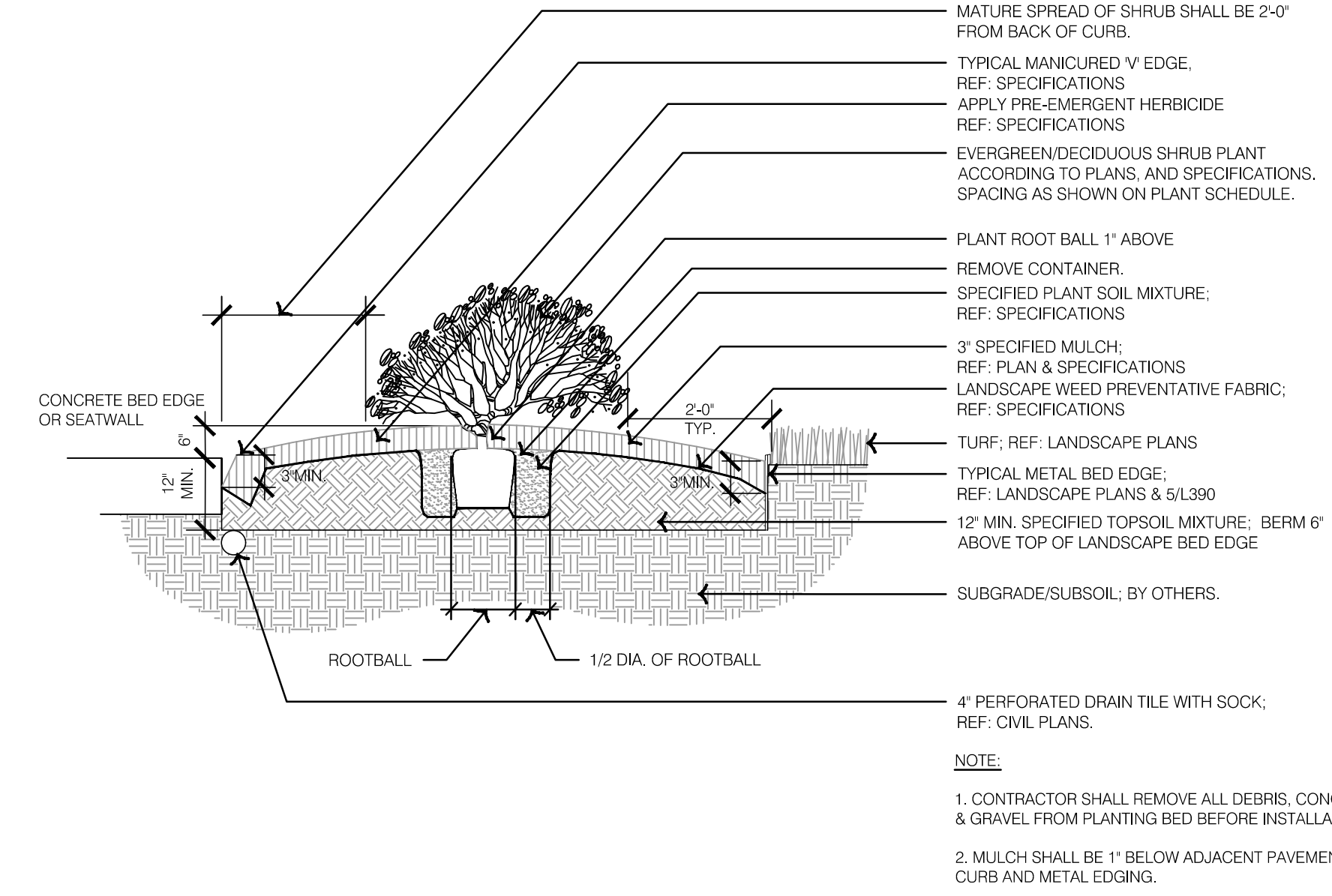
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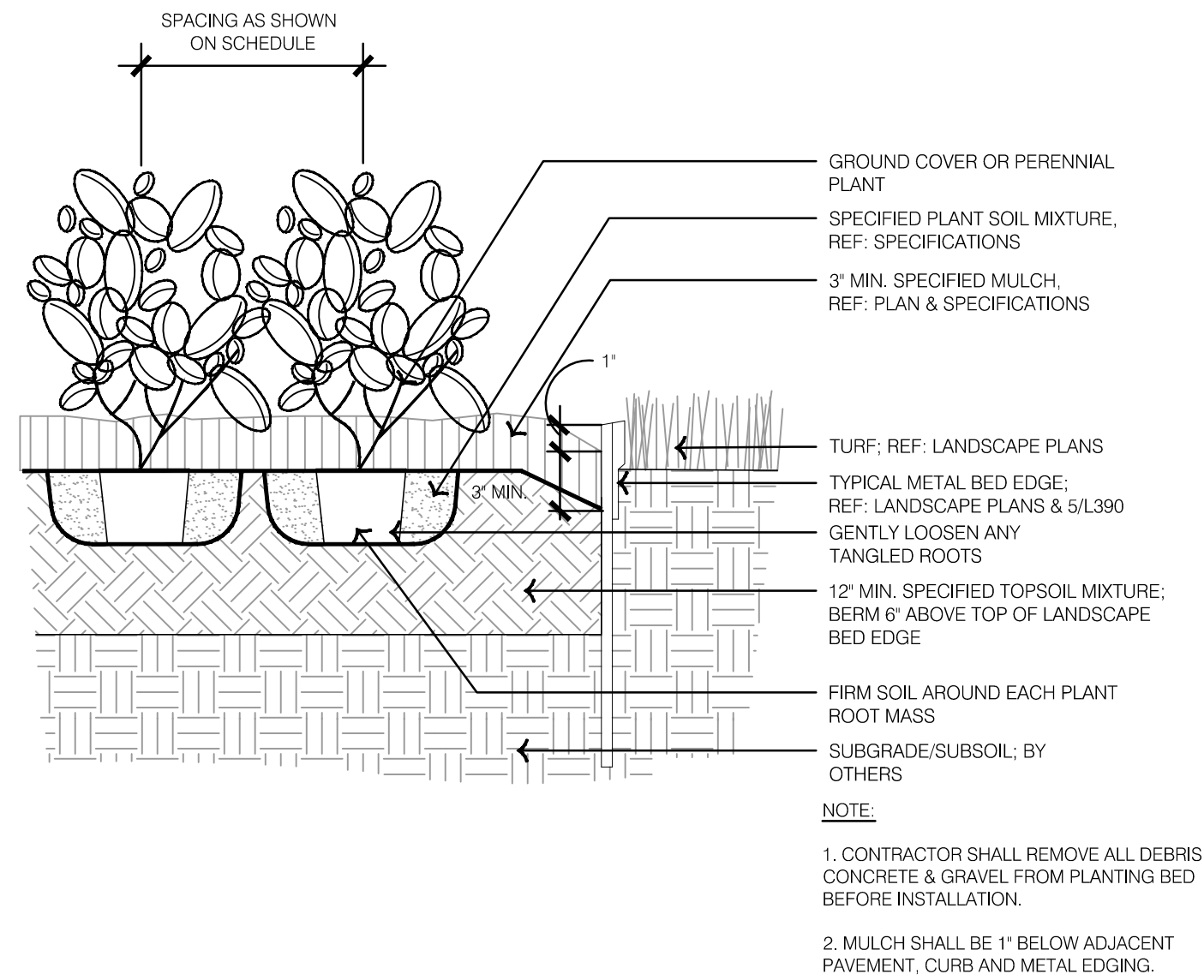
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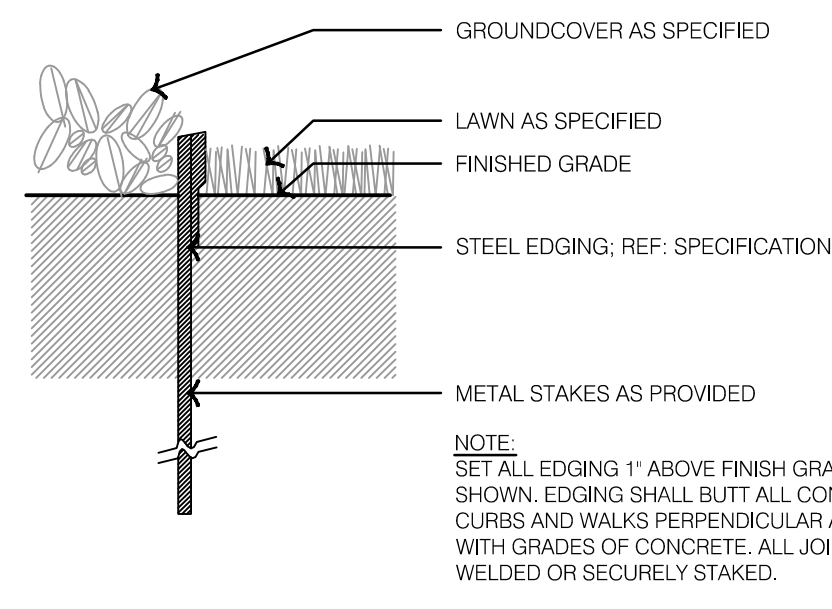
2 TYPICAL EVERGREEN TREE PLANTING



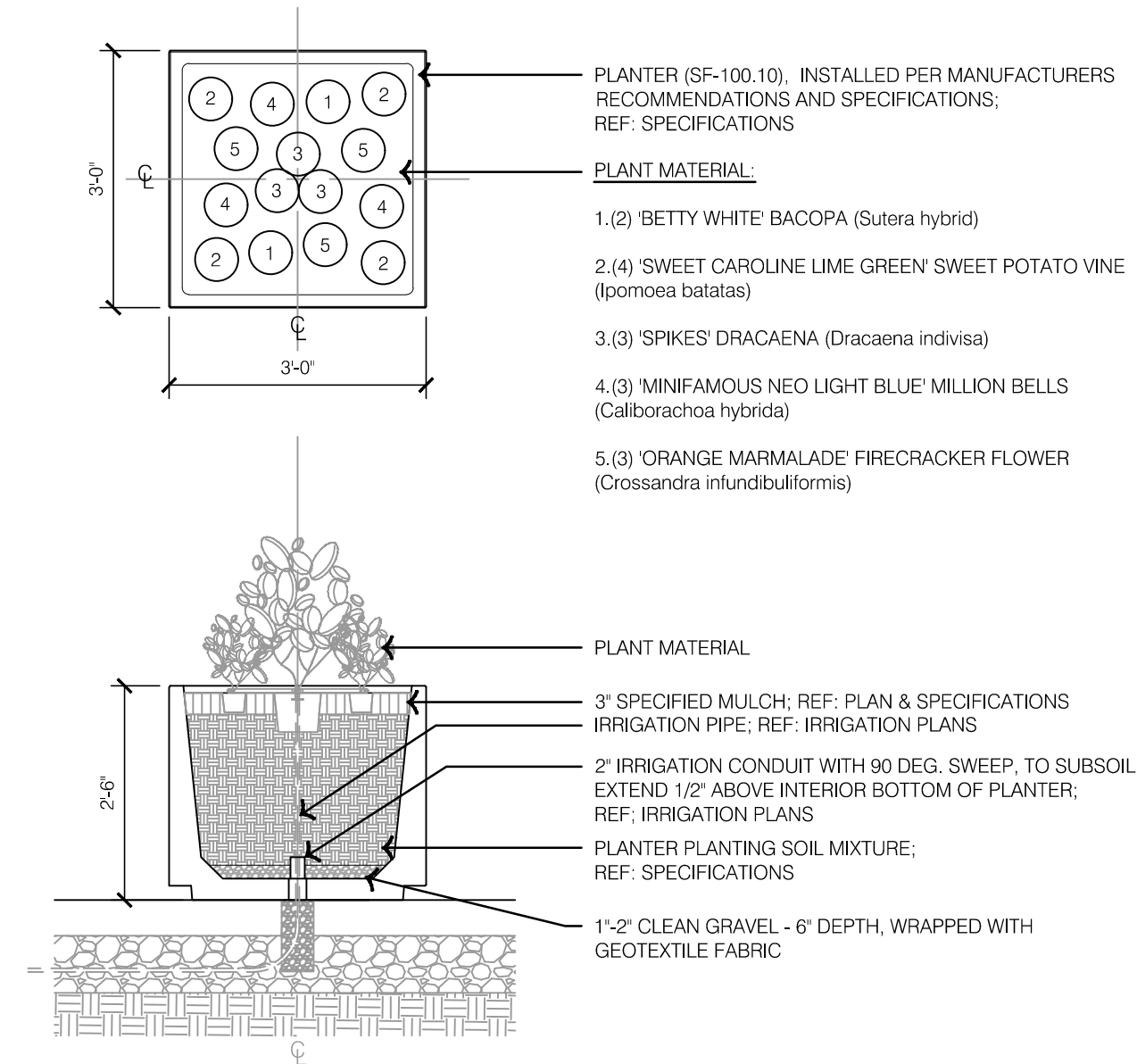
3 TYPICAL SHRUB PLANTING



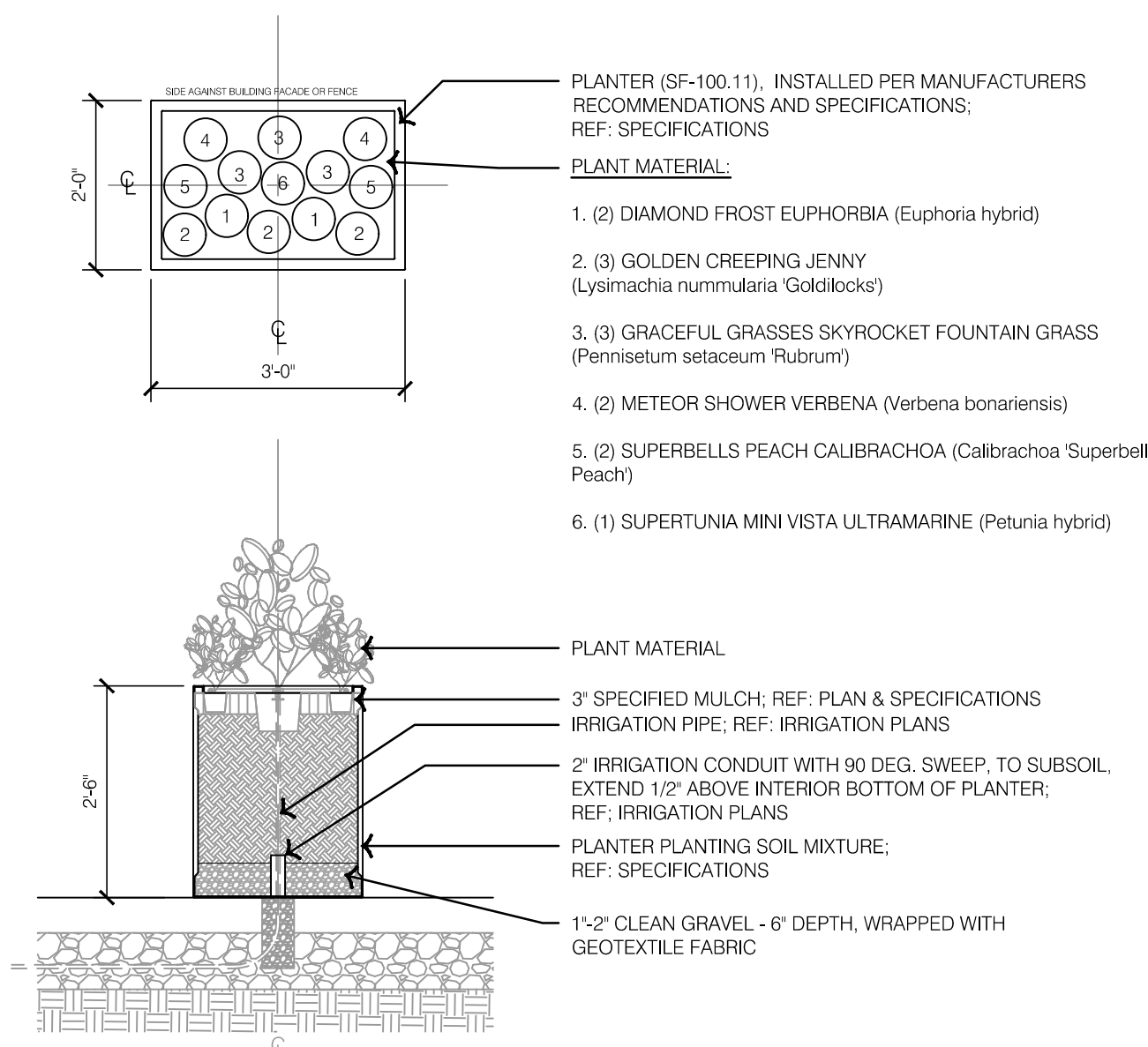
4 TYPICAL GROUNDCOVER & PERENNIAL PLANTING



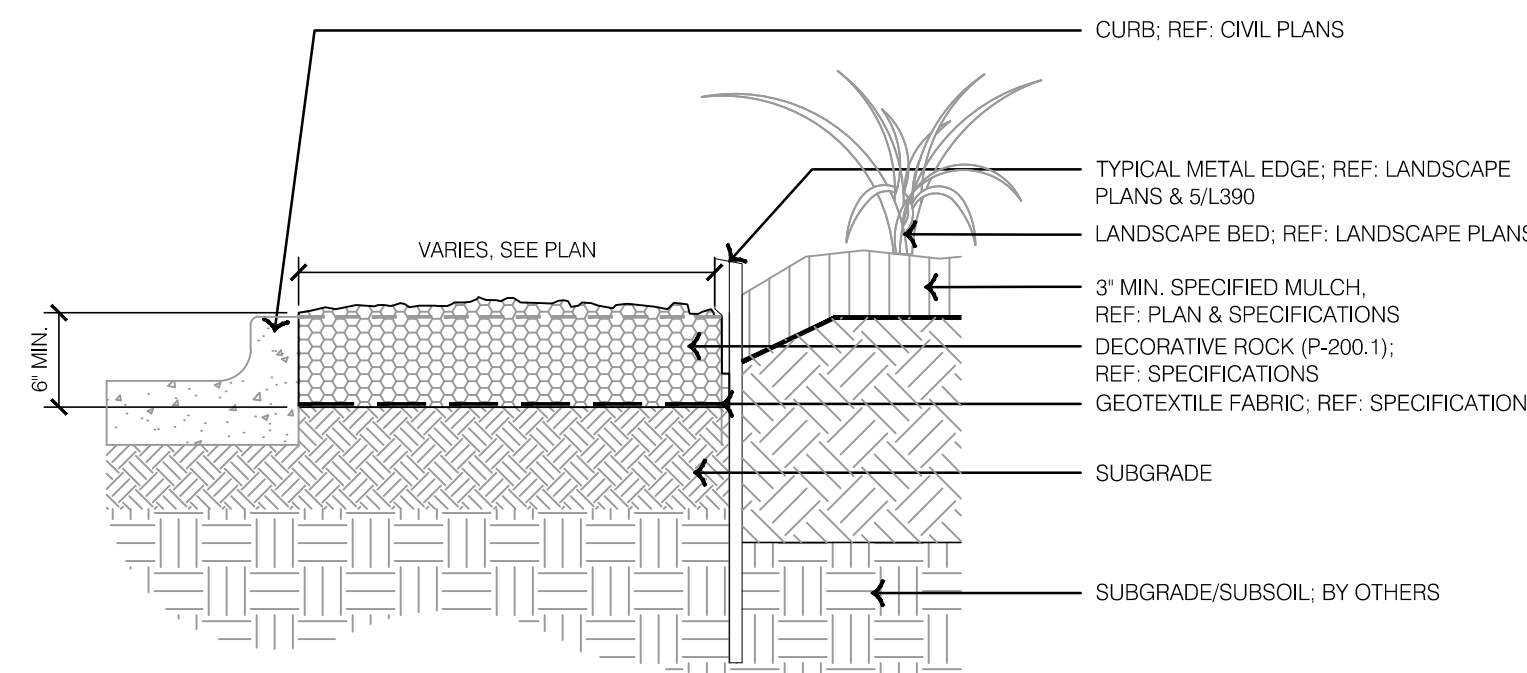
5 TYPICAL METAL BED EDGE



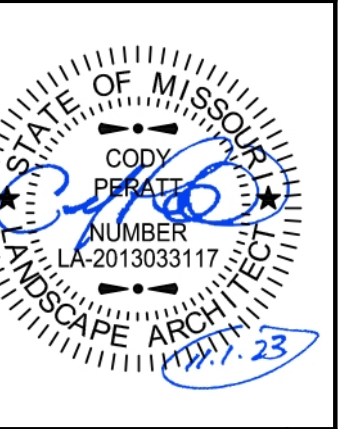
6 TYPICAL PLANTER - FRONT ENTRY PLANTING DETAIL



7 TYPICAL PLANTER - ACCENT PLANTING DETAIL



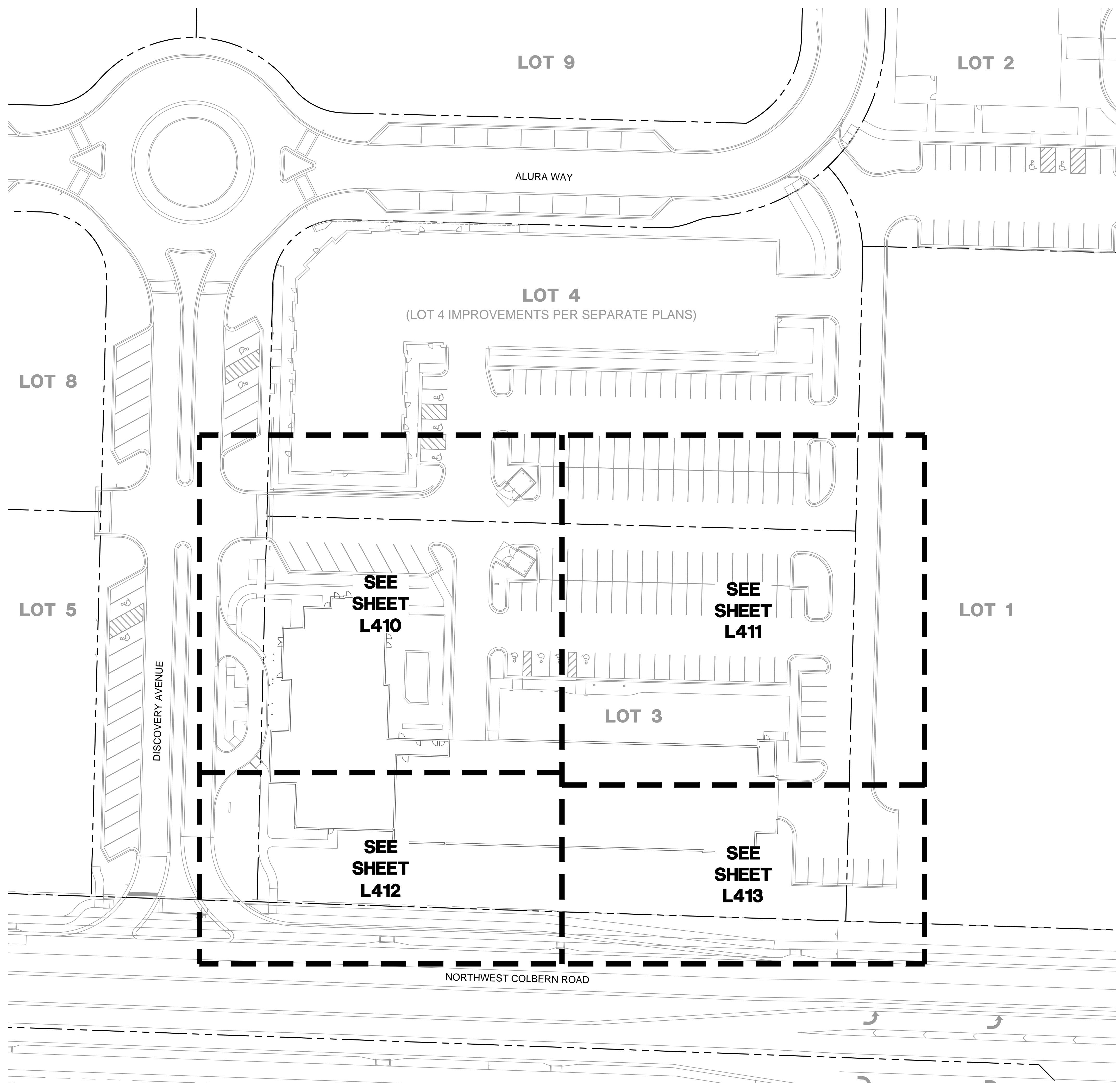
8 TYPICAL DECORATIVE ROCK



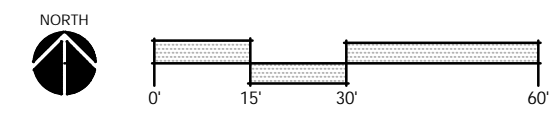
REV. NO.	DATE	REVISIONS DESCRIPTION

LANDSCAPE DETAILS PRIVATE SITE DEVELOPMENT PLANS	2023
	THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST LEE'S SUMMIT, MISSOURI

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1 IRRIGATION OVERALL PLAN



IRRIGATION GENERAL NOTES:

1. THIS DESIGN IS SHOWN IN A DIAGRAMMATIC FORM. ALL COMPONENTS ARE SHOWN FOR THE PURPOSE OF CLARIFICATION AND LEGIBILITY. ALL WORK SHALL CONFORM TO SPECIFICATIONS AND DETAILS INCLUDED IN THIS PACKAGE. IRRIGATION MAINLINE, LATERALS, CONTROL VALVES, SUB-METER, BACKFLOW PREVENTER AND OTHER IRRIGATION CONTROL EQUIPMENT SHALL BE INSTALLED IN LANDSCAPE BEDS OR TURF AREAS UNLESS CONTAINED IN PVC SLEEVING UNDER PAVEMENT OR OTHER HARDSCAPE AS INDICATED ON PLANS.
2. VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK.
3. CONTACT LANDSCAPE ARCHITECT AND COORDINATE ALL REVIEWS PRIOR TO COMMENCEMENT OF WORK.
4. IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AT ALL TAP LOCATIONS PRIOR TO THE INSTALLATION OF ANY COMPONENTS OF THE IRRIGATION SYSTEM. NOTIFY LANDSCAPE ARCHITECT IF THE MINIMUM REQUIREMENTS FOR FLOW AND PRESSURE NOTED IN THE IRRIGATION SCHEDULES CAN NOT BE MET.
5. CONTRACTOR SHALL INSTALL ALL IRRIGATION EQUIPMENT IN THE TURF AREAS AND PLANTING BEDS IN A MANNER SO AS TO CONFORM WITH THE VARIOUS DETAILS, PLAN NOTES AND SPECIFICATIONS FROM LANDSCAPE ARCHITECT AND MANUFACTURER.
6. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING TREES AND UTILITIES. THE CONTRACTOR SHALL VERIFY LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR DAMAGE TO TREES OR UTILITIES. FIELD ADJUST SPRINKLER LOCATIONS SO AS TO AVOID CONFLICTS WITH UTILITIES (FIRE HYDRANTS, TRANSFORMERS, ETC.).
7. PROTECT AT ALL TIMES THE WORK FROM DAMAGE AND THEFT. REPLACE ALL DAMAGED OR STOLEN PARTS AT CONTRACTOR'S EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER.
8. THE FINAL LOCATION AND EXACT POSITIONING OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
9. IRRIGATION CONTRACTOR RESPONSIBLE TO COORDINATE 110 ELECTRICAL SERVICE FOR CONTROLLER WITH BUILDING GENERAL CONTRACTOR. POWER SUPPLY CONNECTION BY IRRIGATION CONTRACTOR.
10. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. INSTALL PRS-DIAL PRESSURE REGULATING MODULES ON ALL VALVES OPERATING AT PRESSURES HIGHER THAN 5 PSI FROM OPERATION PSI AS STATED IN THE CONTROLLER SCHEDULES FOR EACH ZONE.
11. DO NOT FULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWING WHEN IT IS OBVIOUS IN THE FIELD THAT WIND CONDITIONS, OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA'S DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED DURING DESIGN BRING SUCH OBSTRUCTIONS OR DIFFERENCE TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COSTS FOR ALL NECESSARY REVISIONS.
12. CONTRACTOR SHALL PLACE ALL ZONE CONTROL VALVES AND QUICK COUPLER VALVES IN LANDSCAPE BEDS, AS POSSIBLE. PLACE VALVE BOXES A MINIMUM OF 1'-0" FROM ANY PAVEMENT AND PARALLEL TO PAVEMENT EDGE. GROUPED VALVES TO BE EQUALLY SPACED.
13. ADJUST HEAD LOCATION IF SPRAY IS DETRIMENTAL TO OR BLOCKED BY TREE, SHRUB OR STRUCTURE, MAINTAINING EVEN COVERAGE OF PLANTED AREAS.
14. INSTALL ALL MAINLINES TO SLOPE AT 1% MINIMUM TO MANUAL DRAIN VALVES LOCATED AT LOW POINTS OF MAIN SYSTEM.
15. ALL SPRINKLER HEADS AND TURF ROTORS SHALL BE ADJUSTED SO THEY DO NOT SPRAY ONTO WALKS, RETAINING WALLS, BUILDINGS OR THE PLAZA AREAS.
16. THE IRRIGATION SYSTEM IS DESIGNED TO BE DRAINED AND BLOWN OUT WITH PRESSURIZED AIR PRIOR TO FREEZING TEMPERATURES IN FALL/WINTER. THE CONTRACTOR SHALL DRAIN AND BLOW OUT THE SYSTEM AS NECESSARY UNTIL SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BLOW OUT THE SYSTEM AND INSTRUCT THE OWNER ON THE PROCEDURES FOR THE FIRST FALL/WINTER FOLLOWING THE NOTICE OF SUBSTANTIAL COMPLETION.
17. THE CONTRACTOR SHALL PRESSURIZE AND MAKE OPERATIONAL THE SYSTEM IN THE SPRING, AFTER ALL CHANCES OF FREEZING TEMPERATURES PASSES. UNTIL NOTICE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL ALSO PRESSURIZE AND MAKE THE SYSTEM OPERATIONAL AND INSTRUCT THE OWNER ON PROCEDURES FOR THE FIRST SPRING FOLLOWING THE NOTICE OF SUBSTANTIAL COMPLETION.
18. CONTRACTOR SHALL INSTALL SLEEVES UNDER HARDSCAPE AT ALL POINTS WHERE IRRIGATION MAIN LINE AND LATERALS ARE LOCATED.
19. ALL IRRIGATION EQUIPMENT INCLUDING VALVES, MAINLINES AND LATERALS SHALL BE LOCATED ON THE OWNER'S PROPERTY.

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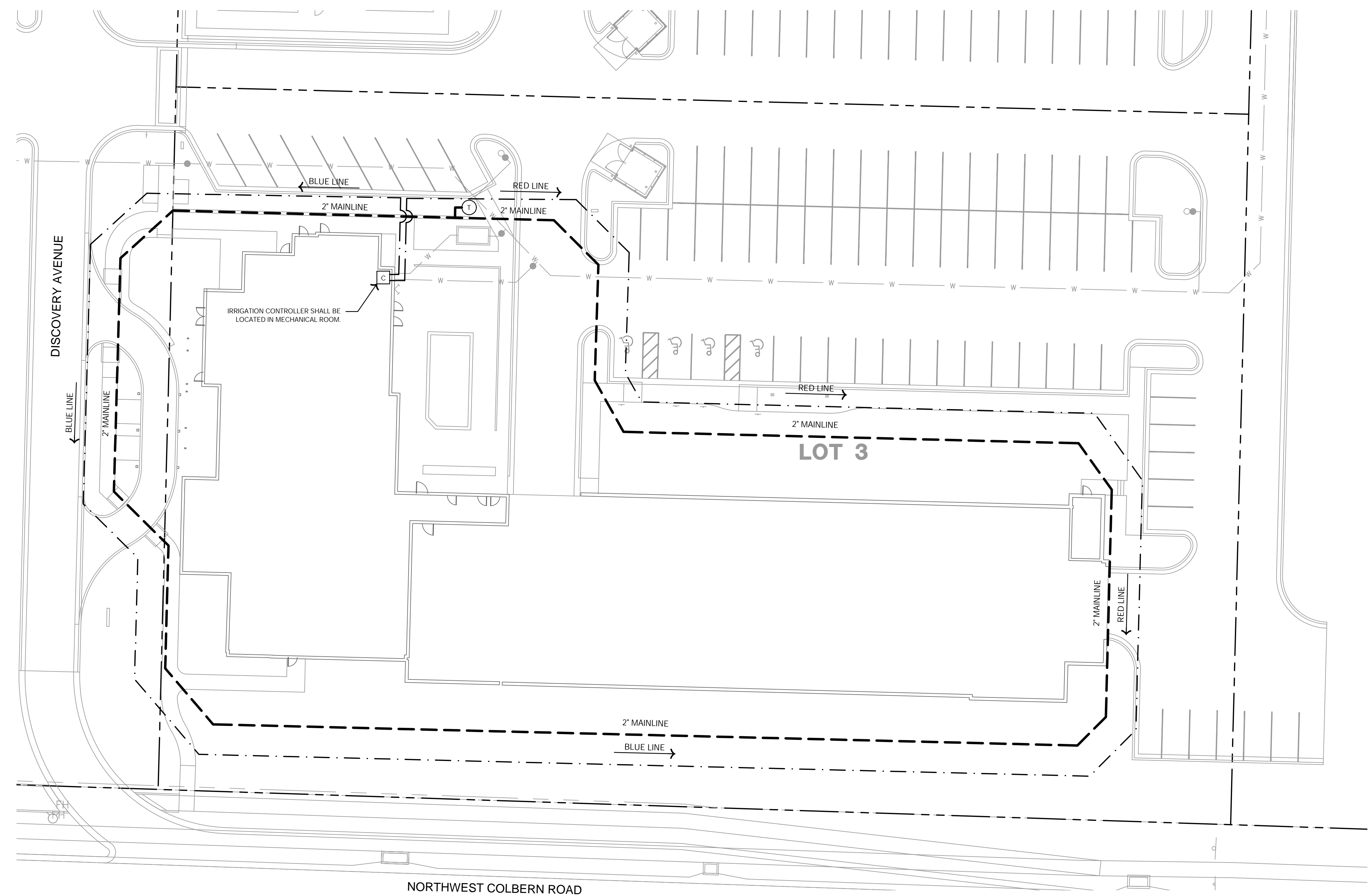
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IRRIGATION OVERALL PLAN
 PRIVATE SITE DEVELOPMENT PLANS

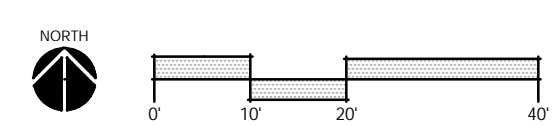
REVISIONS
 2023

drawn by: EW
 checked by: CP
 approved by: CP
 QA/QC by: BM
 project no.: F21-04643
 drawing no.: L_OVR01_F2104643
 date: 11.01.2023

SHEET
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1 IRRIGATION MAINLINE & CONTROL WIRE PLAN



IRRIGATION OVERALL PLAN LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- W POTABLE WATER SERVICE LINE
- MAINLINE, SIZE AS SHOWN
- - - TWO-WIRE PATH LINE
- (T) IRRIGATION POINT OF CONNECTION
- (C) IRRIGATION CONTROLLER

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IRRIGATION MAINLINE & CONTROL WIRE PLAN
 PRIVATE SITE DEVELOPMENT PLANS

THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBERN RD & NE DOUGLAS ST

LEE'S SUMMIT, MISSOURI

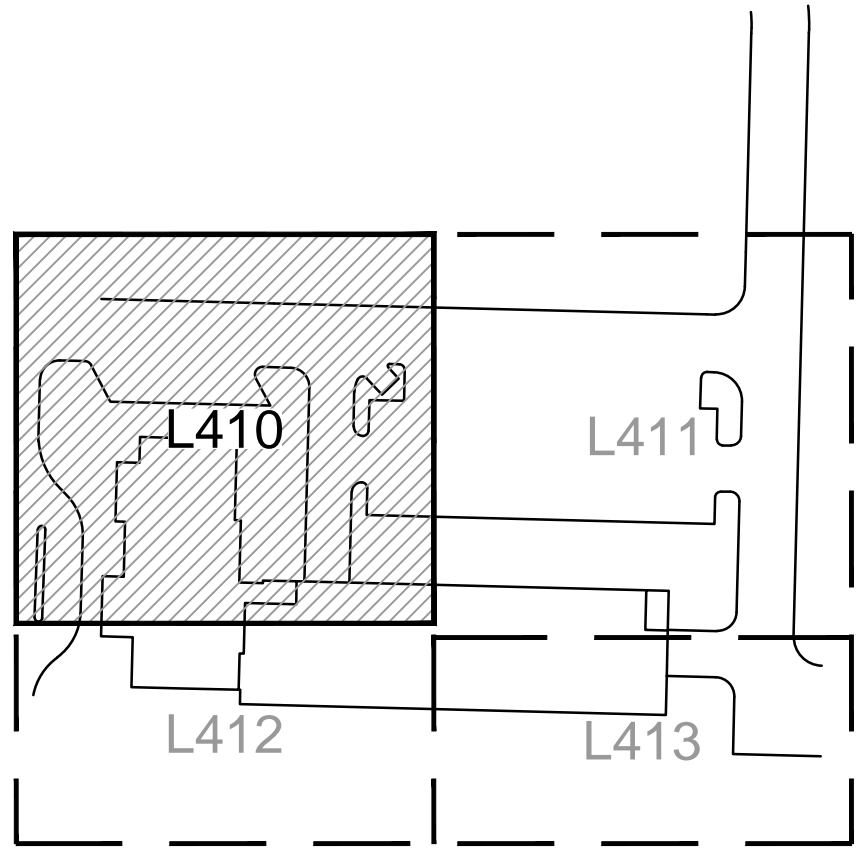
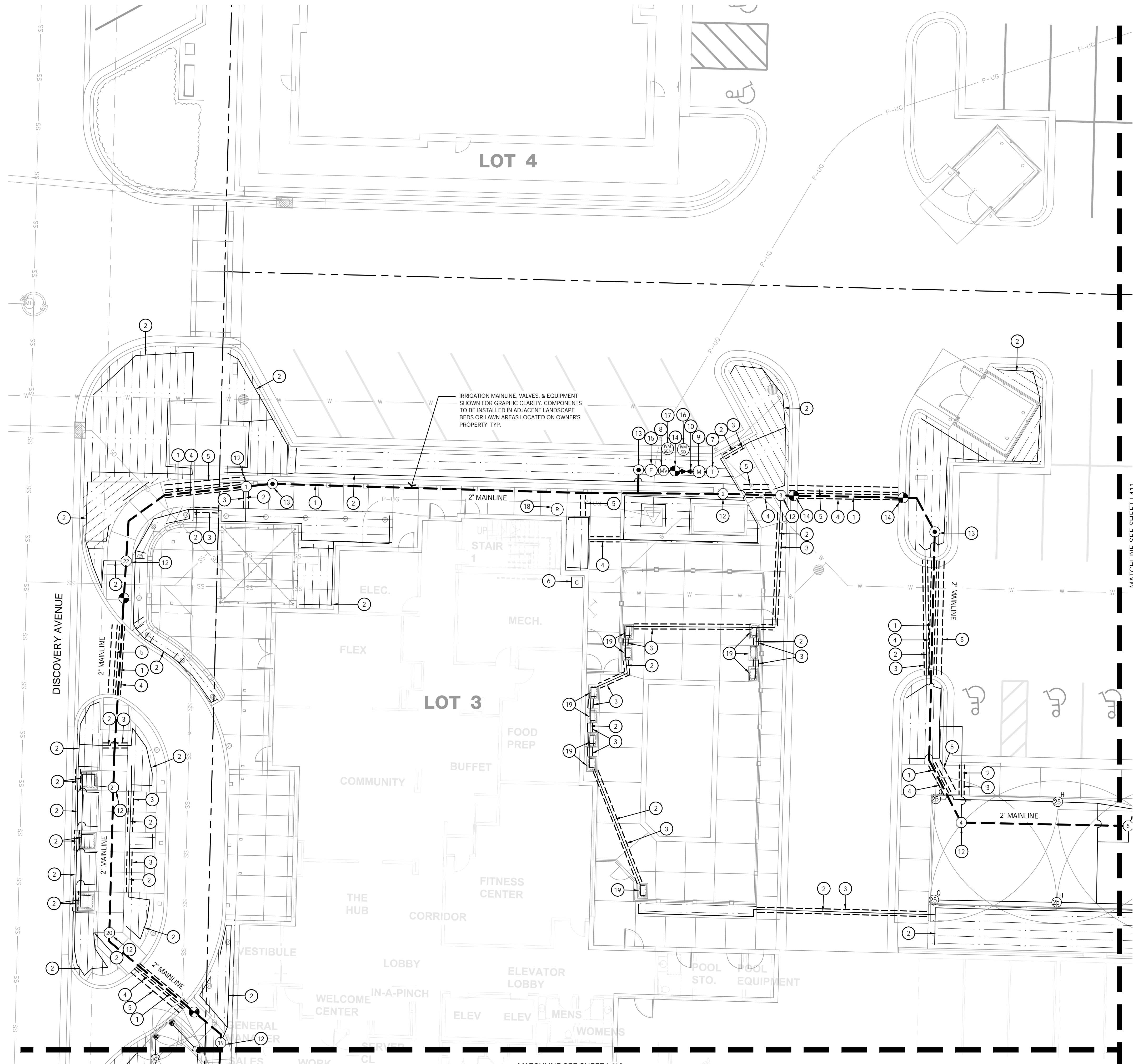
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drawn by: _____ EW
 checked by: _____ CR
 approved by: _____ CR
 QA/QC by: _____ BM

project no.: F21-04643
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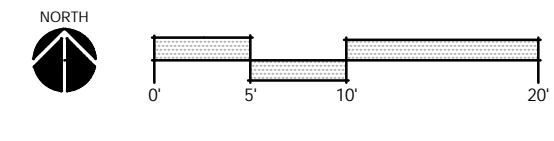
IRRIGATION LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCHLINE
- HALF CIRCLE SPRAY HEAD: REF: 2/L490
- QUARTER CIRCLE SPRAY HEAD: REF: 2/L490
- ROTOR HEAD: REF: 1/L490
- W — POTABLE WATER SERVICE LINE
- MAINLINE, SIZE AS SHOWN: REF: 5/L491
- LATERAL PIPE, SIZE AS SHOWN: REF: 5/L491
- LANDSCAPE DRIPLINE: REF: 3, 4, 5, 6, 7 & 9/L490
- SCHEDULE 40 PVC SLEEVE
- IRRIGATION WATER METER
- BACKFLOW PREVENTER
- IRRIGATION POINT OF CONNECTION
- MASTER CONTROL VALVE
- ZONE CONTROL VALVE
- MANUAL GATE VALVE
- QUICK COUPLER VALVE
- FLOW SENSOR
- AUTOMATIC CONTROLLER
- RAIN/FREEZE SENSOR
- SURGE PROTECTOR
- IVM SENSOR DEVICE

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- 1 POTABLE WATER IRRIGATION MAINLINES TO BE 2 1/2" PVC PIPE OR AS SHOWN ON PLANS: REF:5/L491
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- 10 BACKFLOW PREVENTER: REF: SPECIFICATIONS
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- 14 INSTALL MANUAL GATE VALVE IN LOCATIONS INDICATED ON IRRIGATION MAINLINES. MANUAL GATE VALVE TO MATCH SIZE OF MAINLINE PIPE. REF: 4/L491
- 15 RAIN BIRD SERIES FLOW SENSOR, PER SPECIFICATIONS: REF: 12/L490 & 6/L491
- 16 SURGE PROTECTOR: RAIN BIRD IVM-SD LINE SURGE PROTECTION, PER SPECIFICATIONS: REF:11/L490
- 17 IVM SENSOR DEVICE: REF: 6/L491
- 18 RAIN BIRD WIRED RAIN/FREEZE SENSOR. INSTALLED PER SPECIFICATIONS. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT. REF: 6/L491.
- 19 PLANTER IRRIGATION: REF: 9/L491

1 IRRIGATION PLAN



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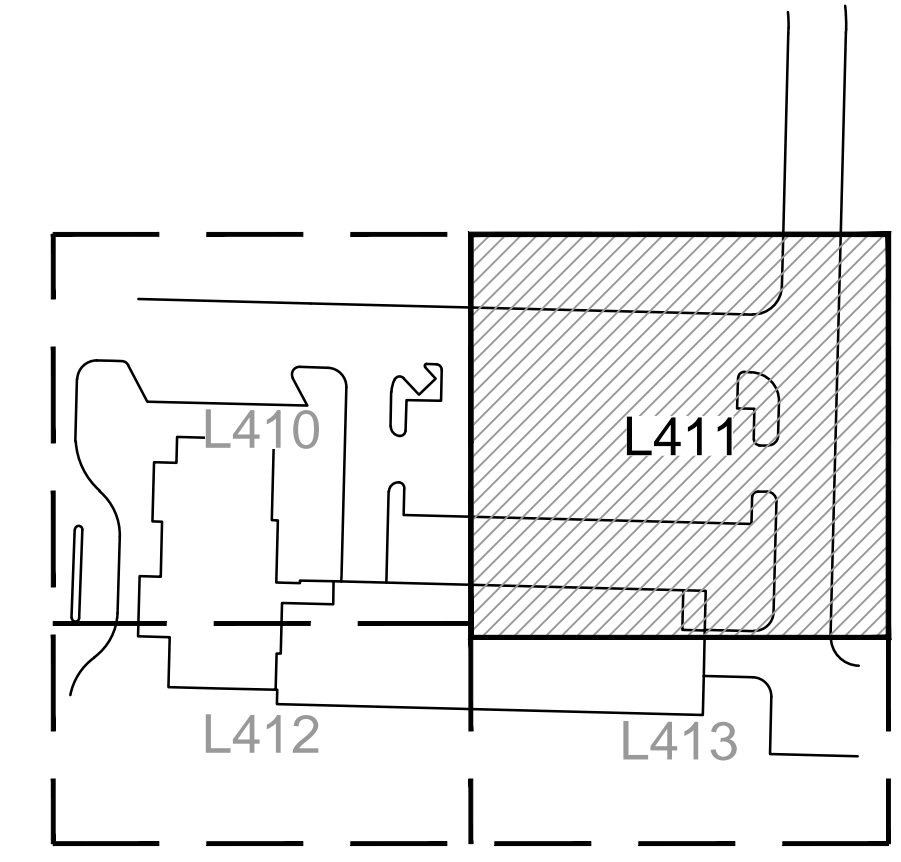
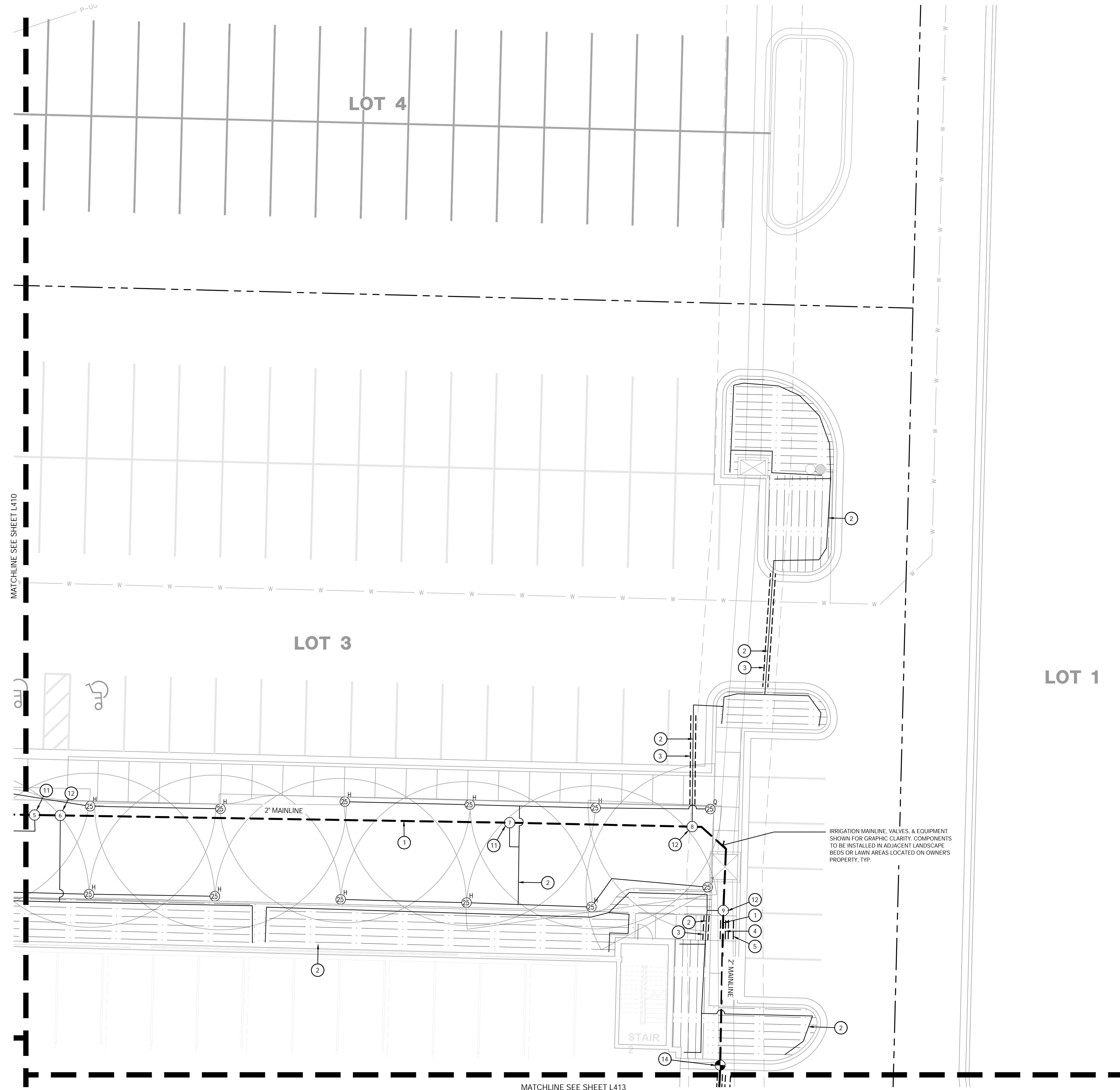
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IRRIGATION PLAN PRIVATE SITE DEVELOPMENT PLANS	2023
THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST	
LEE'S SUMMIT, MISSOURI	

drawn by: _____ EW
checked by: _____ CP
approved by: _____ CP
QA/QC by: _____ BM
project no.: F21-04643
drawing no.: L_IRR01_F2104643
date: 11.01.2023

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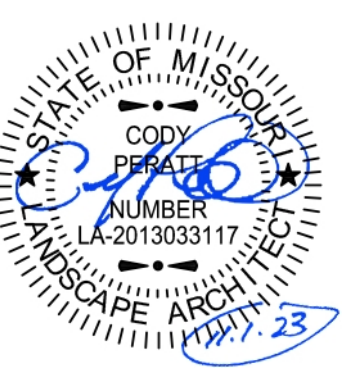
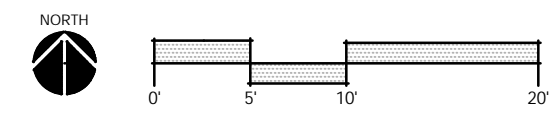
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1 IRRIGATION PLAN

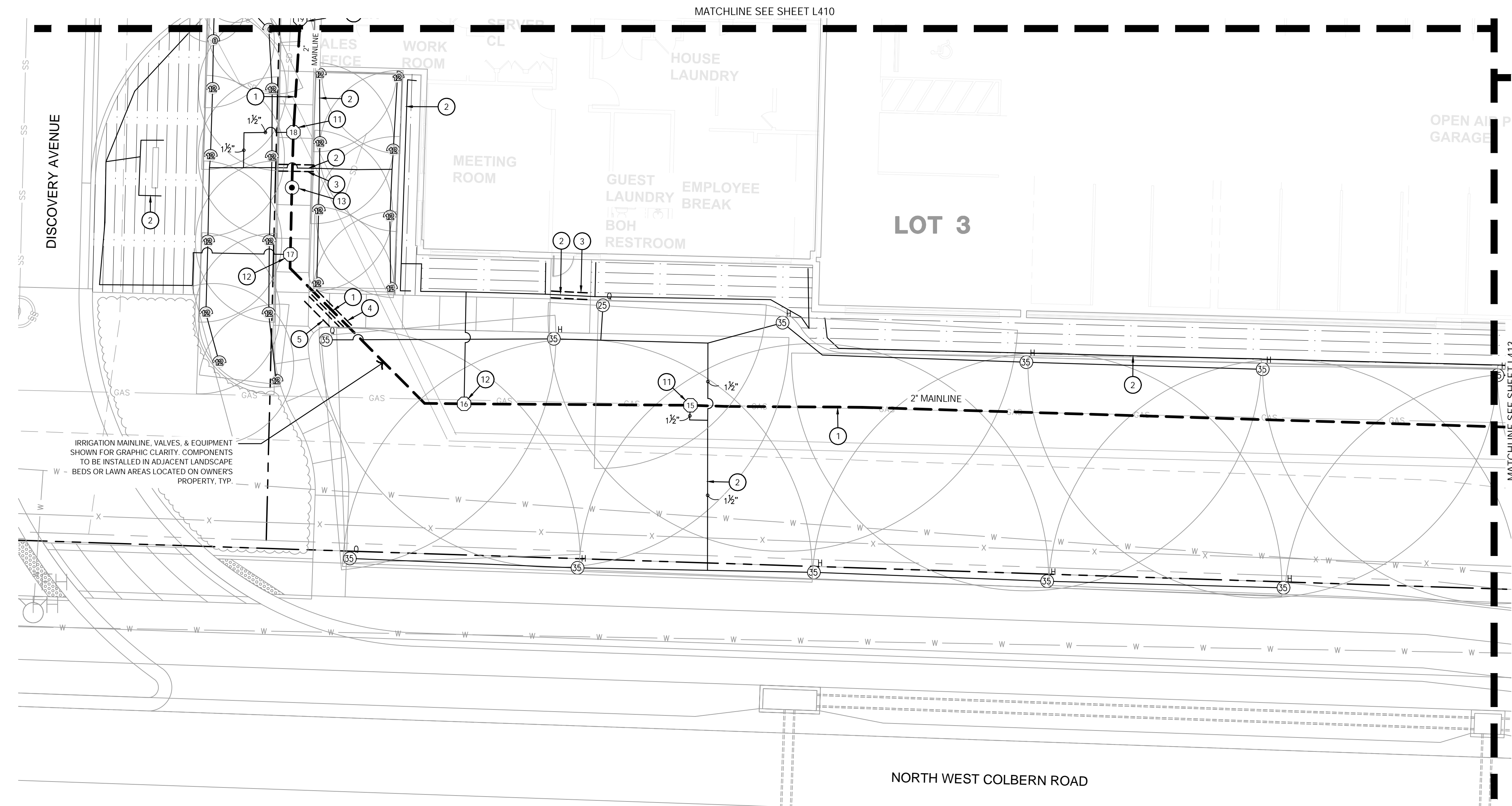


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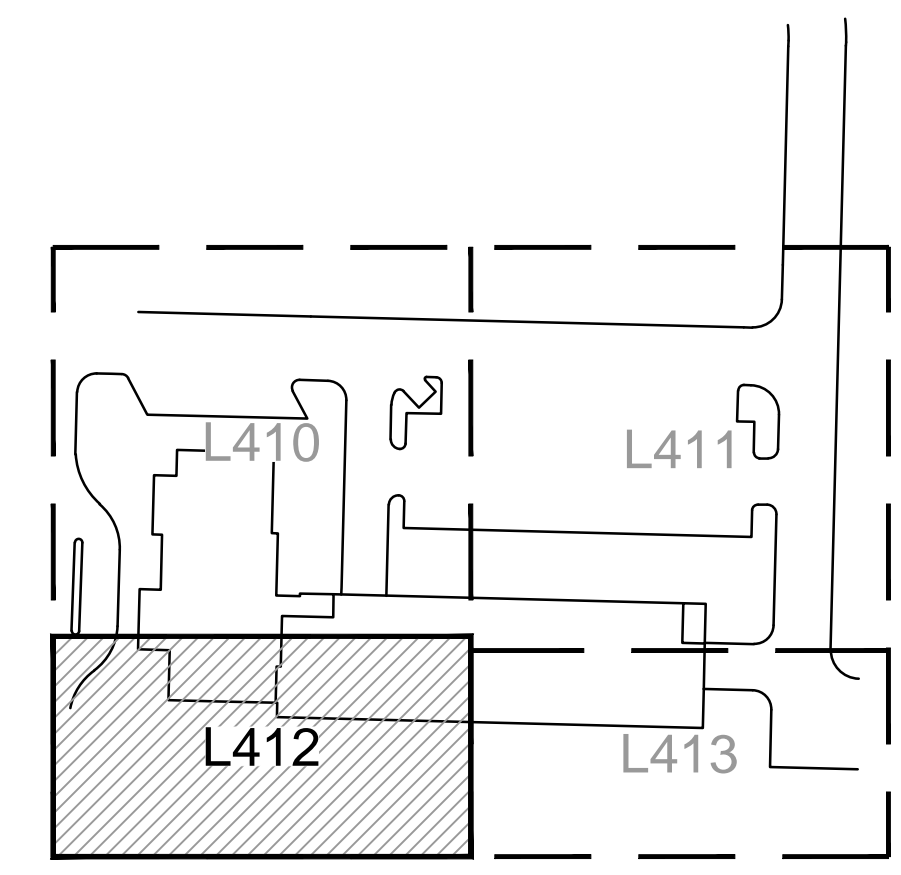
IRRIGATION PLAN PRIVATE SITE DEVELOPMENT PLANS	THE VILLAGE AT DISCOVERY PARK LOT 3	2023
	NW COLBERN RD & NE DOUGLAS ST	
	LEE'S SUMMIT, MISSOURI	

drawn by: EW
 checked by: CB
 approved by: CP
 QA/QC by: BM
 project no.: F21-04643
 drawing no.: IRR01_F2104643
 date: 11.01.2023

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1 IRRIGATION PLAN



KEYMAP

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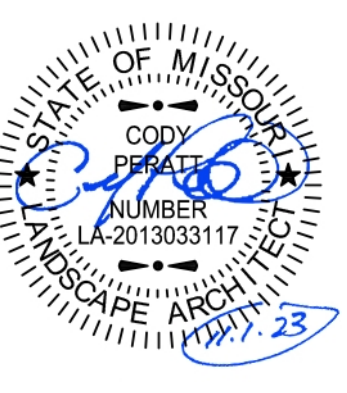
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- 7 IRRIGATION POINT OF CONNECTION. IRRIGATION CONTRACTOR SHALL CONNECT IRRIGATION MAINLINE TO WATER SUPPLY AS REQUIRED BY ALL CITY, COUNTY, OR STATE REGULATIONS. IRRIGATION TAP SHALL OCCUR AFTER METER AND BACKFLOW PREVENTER PROVIDED BY BUILDING MEP. REF: BUILDING MEP PLANS
- 8 2" RAIN BIRD MODEL MASTER VALVE CONNECTED TO POTABLE IRRIGATION MAINLINE AFTER IRRIGATION POINT OF CONNECTION, METER, AND BACKFLOW PREVENTER.; REF: 9/L490
- 9 IRRIGATION WATER METER; REF: SPECIFICATIONS
- 10 BACKFLOW PREVENTER; REF: SPECIFICATIONS
- 11 RAIN BIRD PE-IVM MODEL CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES. REFERENCE IRRIGATION SCHEDULE FOR SIZE, FLOW, AND PRESSURE REQUIREMENTS; REF: 8/L490
- 12 RAIN BIRD XCZ-100-IVM-Q DRIP CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES.; REF: 9/L490
- 13 QUICK COUPLER VALVE LOCATED ON POTABLE WATER SHALL BE RAIN BIRD 44RC WITH YELLOW CAP LOCATED IN 10" ROUND VALVE BOX. REF: 2/L491
- 14 INSTALL MANUAL GATE VALVE IN LOCATIONS INDICATED ON IRRIGATION MAINLINES. MANUAL GATE VALVE TO MATCH SIZE OF MAINLINE PIPE.; REF: 4/L491
- 15 RAIN BIRD SERIES FLOW SENSOR, PER SPECIFICATIONS; REF: 12/L490 & 6/L491
- 16 SURGE PROTECTOR. RAIN BIRD IVM-SD LINE SURGE PROTECTION, PER SPECIFICATIONS; REF: 11/L490
- 17 IVM SENSOR DEVICE; REF: 6/L491
- 18 RAIN BIRD WIRED RAIN/FREEZE SENSOR. INSTALLED PER SPECIFICATIONS. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT.; REF: 6/L491.
- 19 PLANTER IRRIGATION; REF: 9/L491

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 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

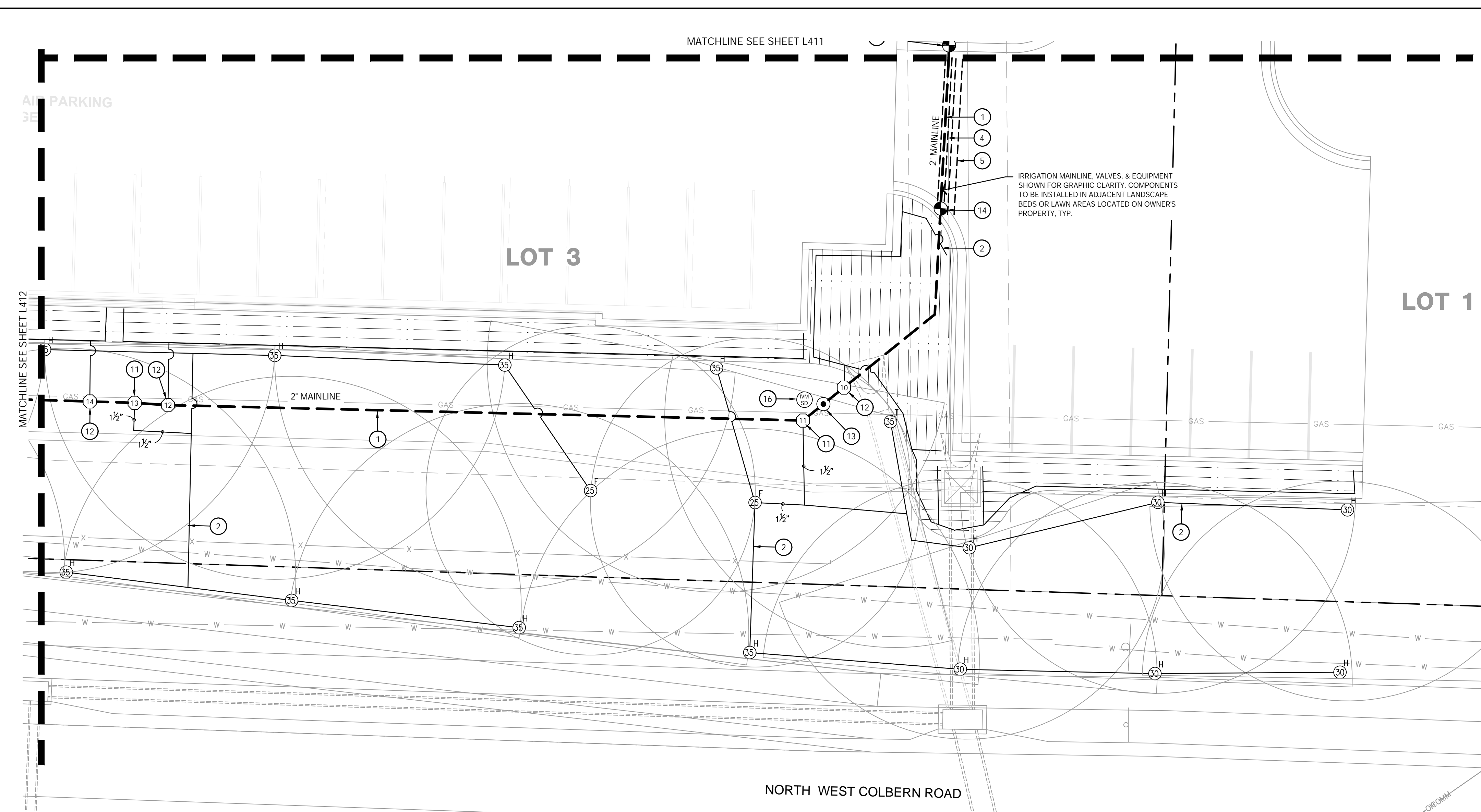


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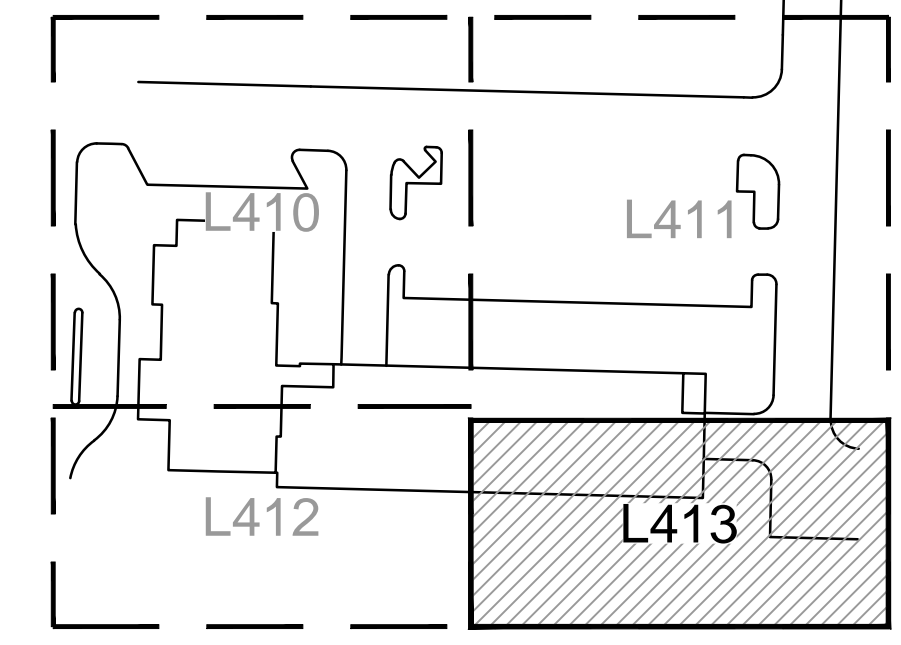
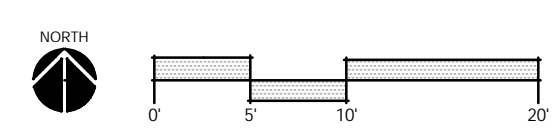
IRRIGATION PLAN PRIVATE SITE DEVELOPMENT PLANS	2023
THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST	
LEE'S SUMMIT, MISSOURI	

drawn by:	EW
checked by:	CB
approved by:	CP
QA/QC by:	BM
project no.:	F21-04643
drawing no.:	L_IRR01_F2104643
date:	11.01.2023

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 USER: chbk



1 IRRIGATION PLAN



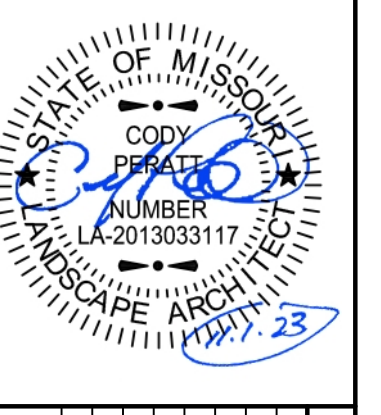
IRRIGATION LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- - - SHEET MATCHLINE
- HALF CIRCLE SPRAY HEAD: REF: 2/L490
- QUARTER CIRCLE SPRAY HEAD: REF: 2/L490
- ROTOR HEAD: REF: 1/L490
- POTABLE WATER SERVICE LINE
- MAINLINE, SIZE AS SHOWN: REF: 5/L491
- LATERAL PIPE, SIZE AS SHOWN: REF: 5/L491
- LANDSCAPE DRIPLINE: REF: 3, 4, 5, 6, 7 & 9/L490
- SCHEDULE 40 PVC SLEEVE
- IRRIGATION WATER METER
- BACKFLOW PREVENTER
- IRRIGATION POINT OF CONNECTION
- MASTER CONTROL VALVE
- ZONE CONTROL VALVE
- MANUAL GATE VALVE
- QUICK COUPLER VALVE
- FLOW SENSOR
- AUTOMATIC CONTROLLER
- RAIN/FREEZE SENSOR
- SURGE PROTECTOR
- IVM SENSOR DEVICE

IRRIGATION PLAN NOTES:

- 1 POTABLE WATER IRRIGATION MAINLINES TO BE 2 1/2" PVC PIPE OR AS SHOWN ON PLANS; REF: 5/L491
- 2 POTABLE WATER IRRIGATION LATERALS TO BE 1" PVC PIPE OR AS SHOWN ON PLANS; REF: 5/L491
- 3 POTABLE WATER IRRIGATION LATERAL SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 4 POTABLE WATER IRRIGATION MAINLINE SLEEVES SHALL BE 6" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 5 IRRIGATION CONTROL WIRE SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 6 IRRIGATION CONTROLLER SHALL BE RAIN BIRD ESP-LXIVM MODULAR SERIES WALL MOUNTED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ELECTRICAL SERVICE TO THE CONTROLLER LOCATION IS TO BE COORDINATED BY THE GENERAL CONTRACTOR AND PROVIDED BY ELECTRICAL CONTRACTOR. POWER HOOK-UP TO THE CONTROLLER BY IRRIGATION CONTRACTOR. INSTALL CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.; REF: 8/L491
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- 9 IRRIGATION WATER METER: REF: SPECIFICATIONS
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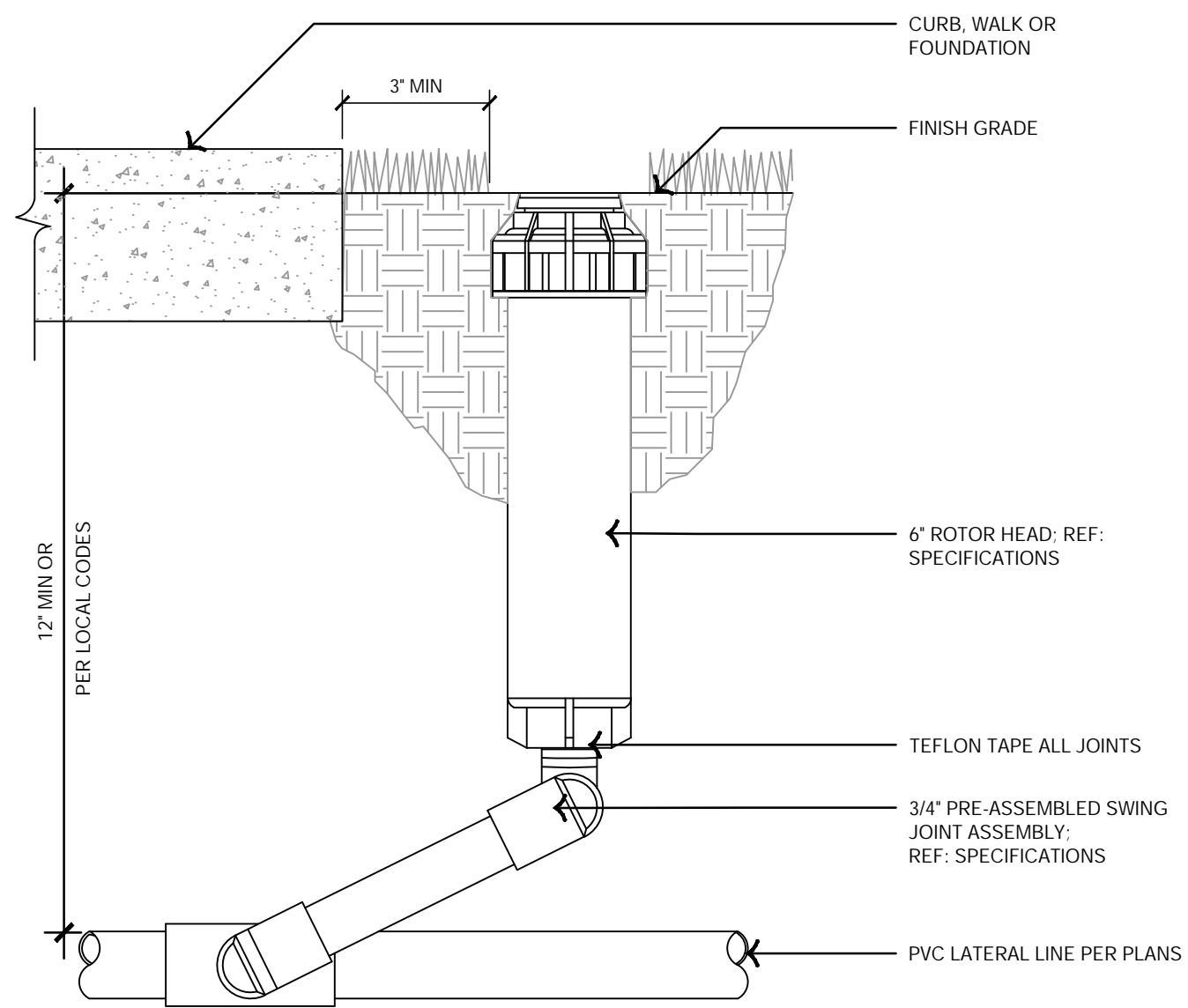


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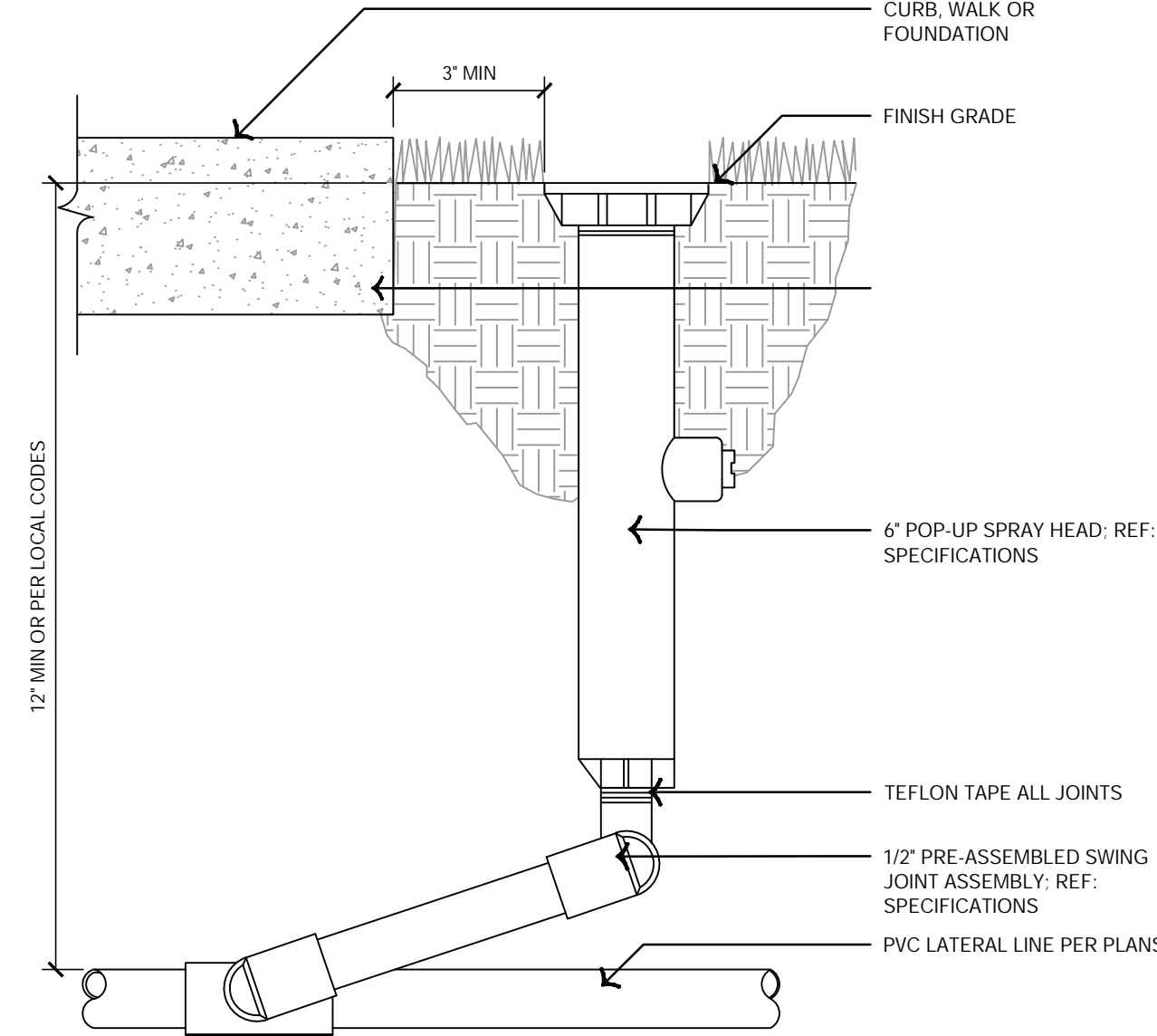
IRRIGATION PLAN	PRIVATE SITE DEVELOPMENT PLANS	THE VILLAGE AT DISCOVERY PARK LOT 3 NW COLBERN RD & NE DOUGLAS ST	LEE'S SUMMIT, MISSOURI	2023
REVISIONS				

drawn by: _____	EW
checked by: _____	CB
approved by: _____	CP
QA/QC by: _____	BM
project no.: _____	F21-04643
drawing no.: _____	IRR01_F2104643
date: _____	11.01.2023

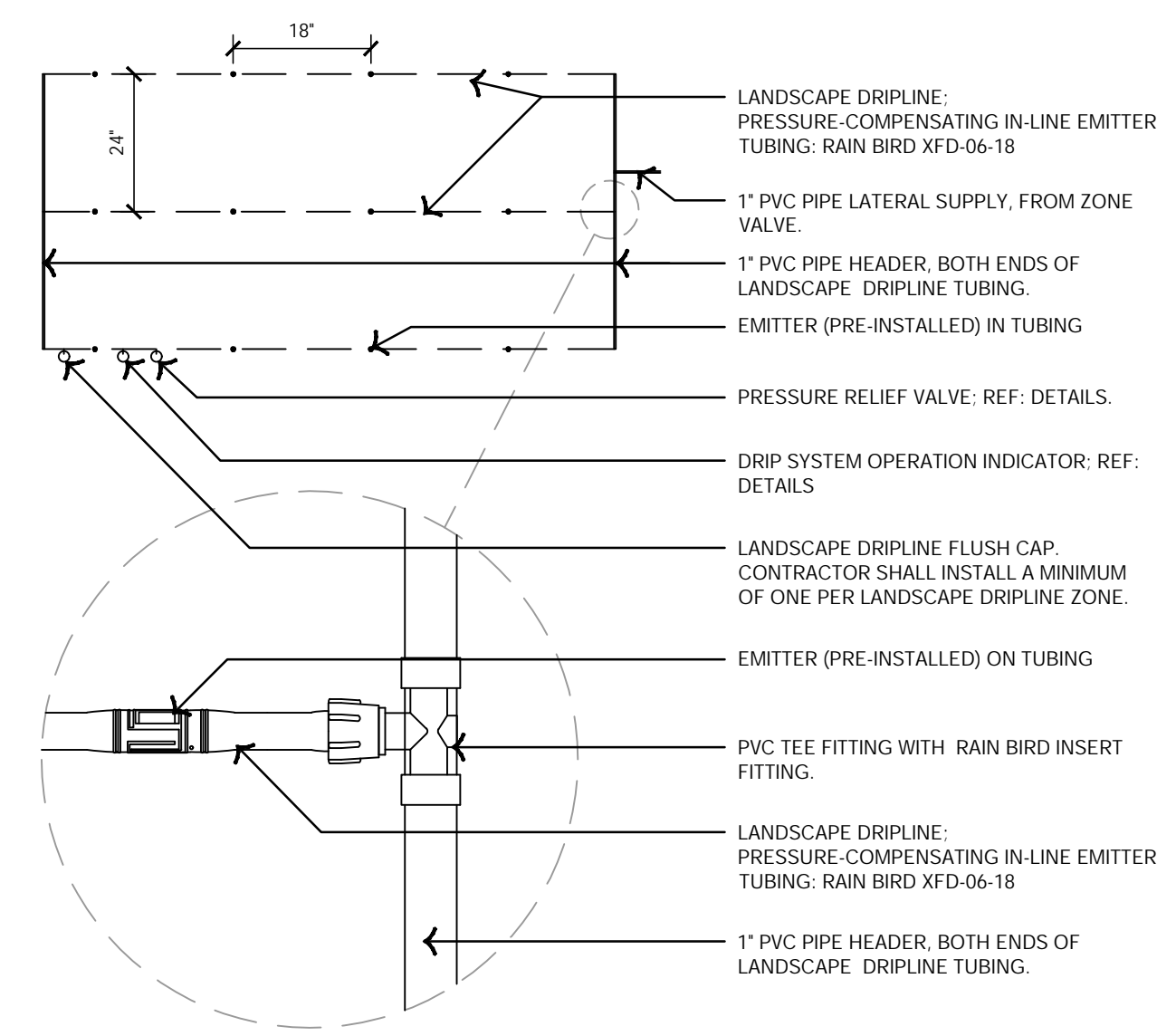
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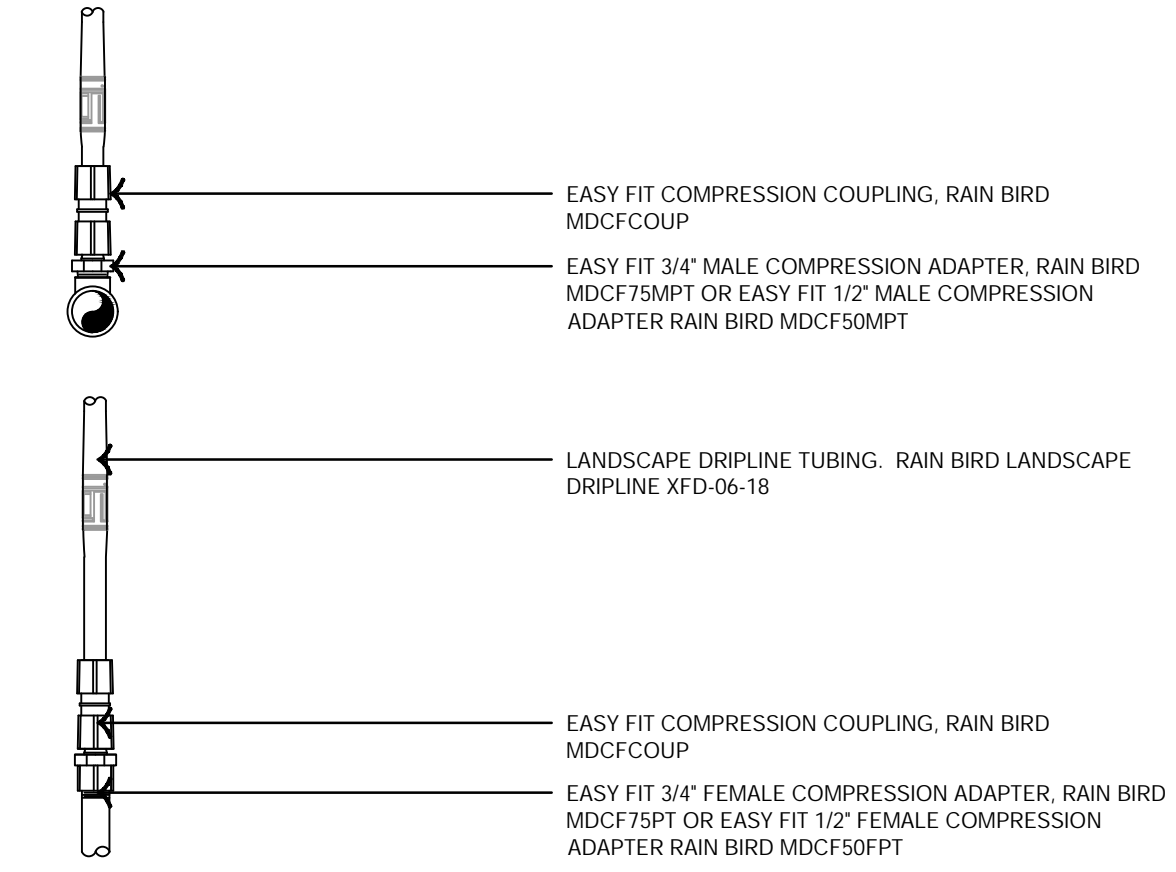
1 6" POP-UP ROTOR HEAD - POTABLE WATER



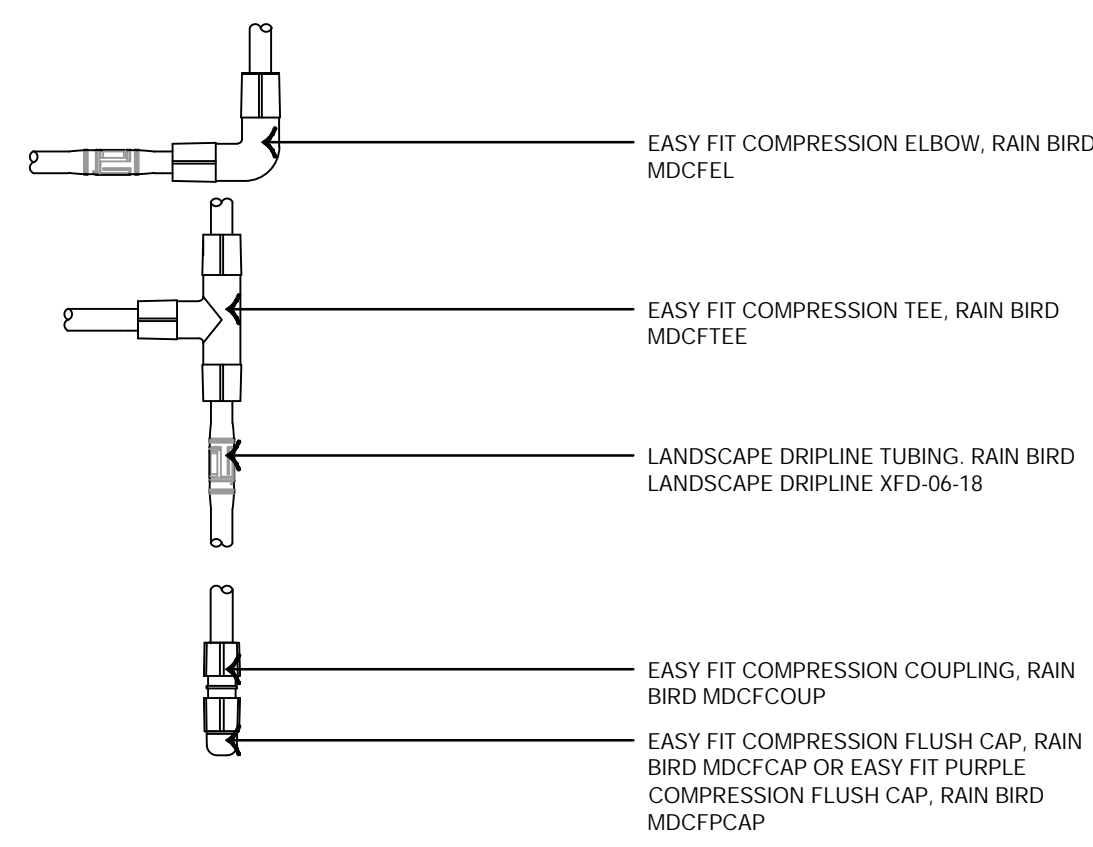
2 6" POP-UP SPRAY HEAD - POTABLE WATER



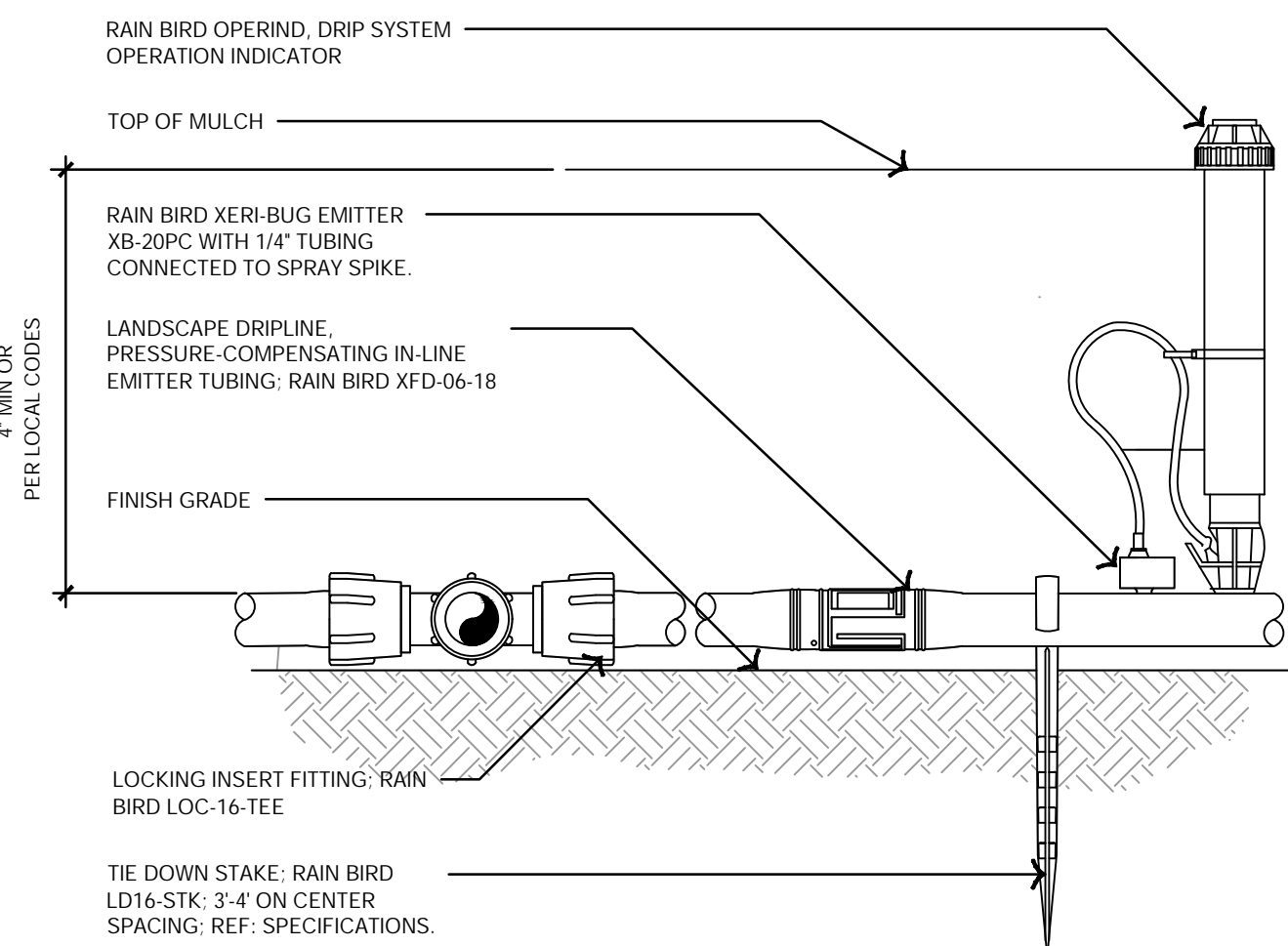
3 LANDSCAPE DRIPLINE LAYOUT TYPICAL - POTABLE WATER



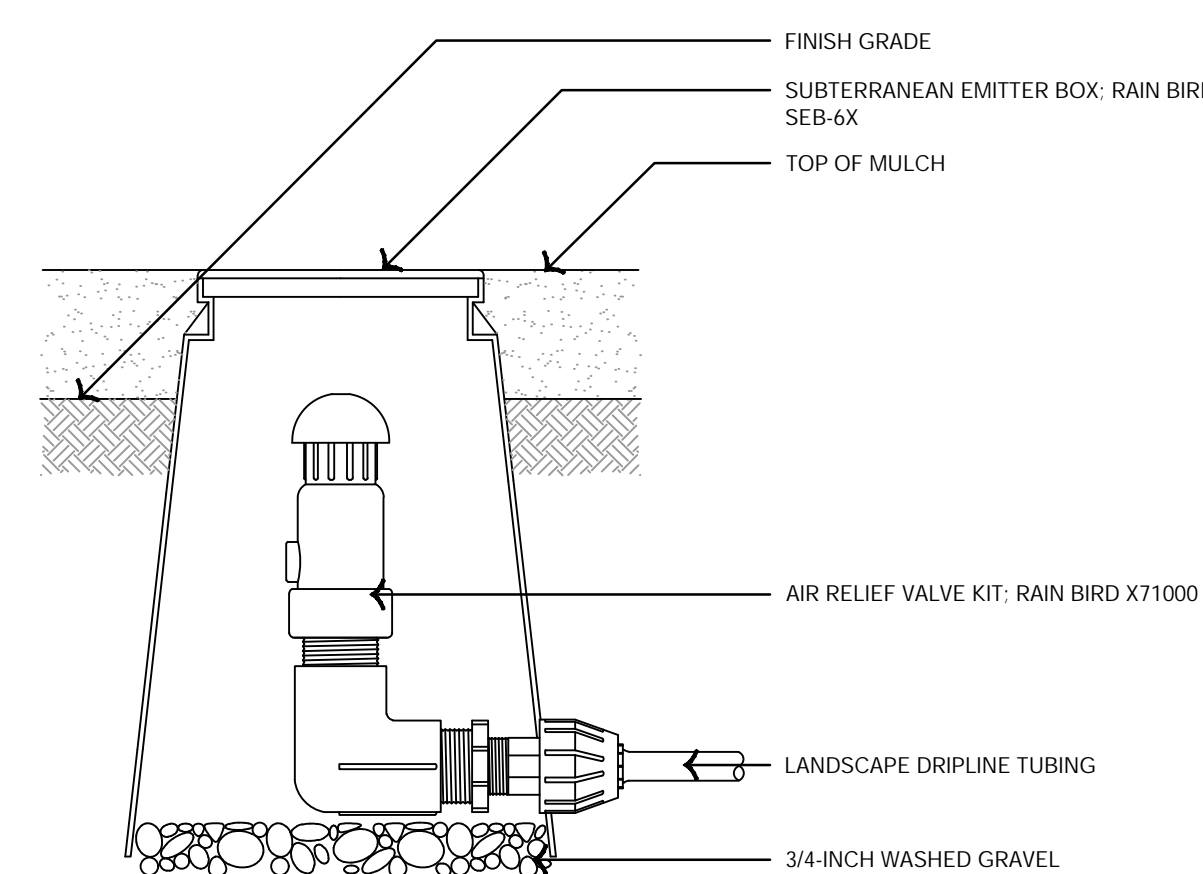
4 LANDSCAPE DRIPLINE EASY FIT COMPRESSION ADAPTERS POTABLE WATER



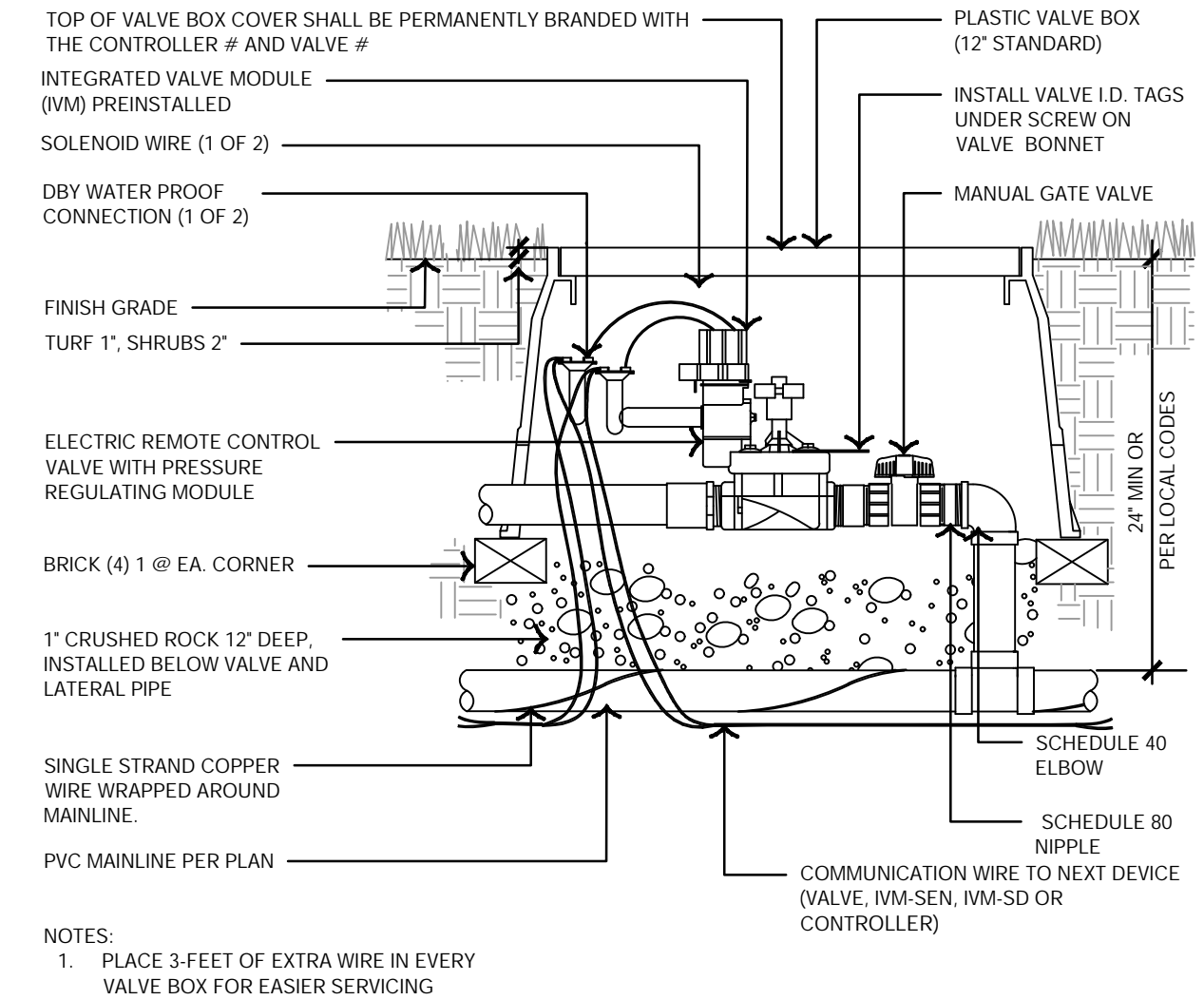
5 LANDSCAPE DRIPLINE EASY FIT COMPRESSION FITTINGS POTABLE WATER



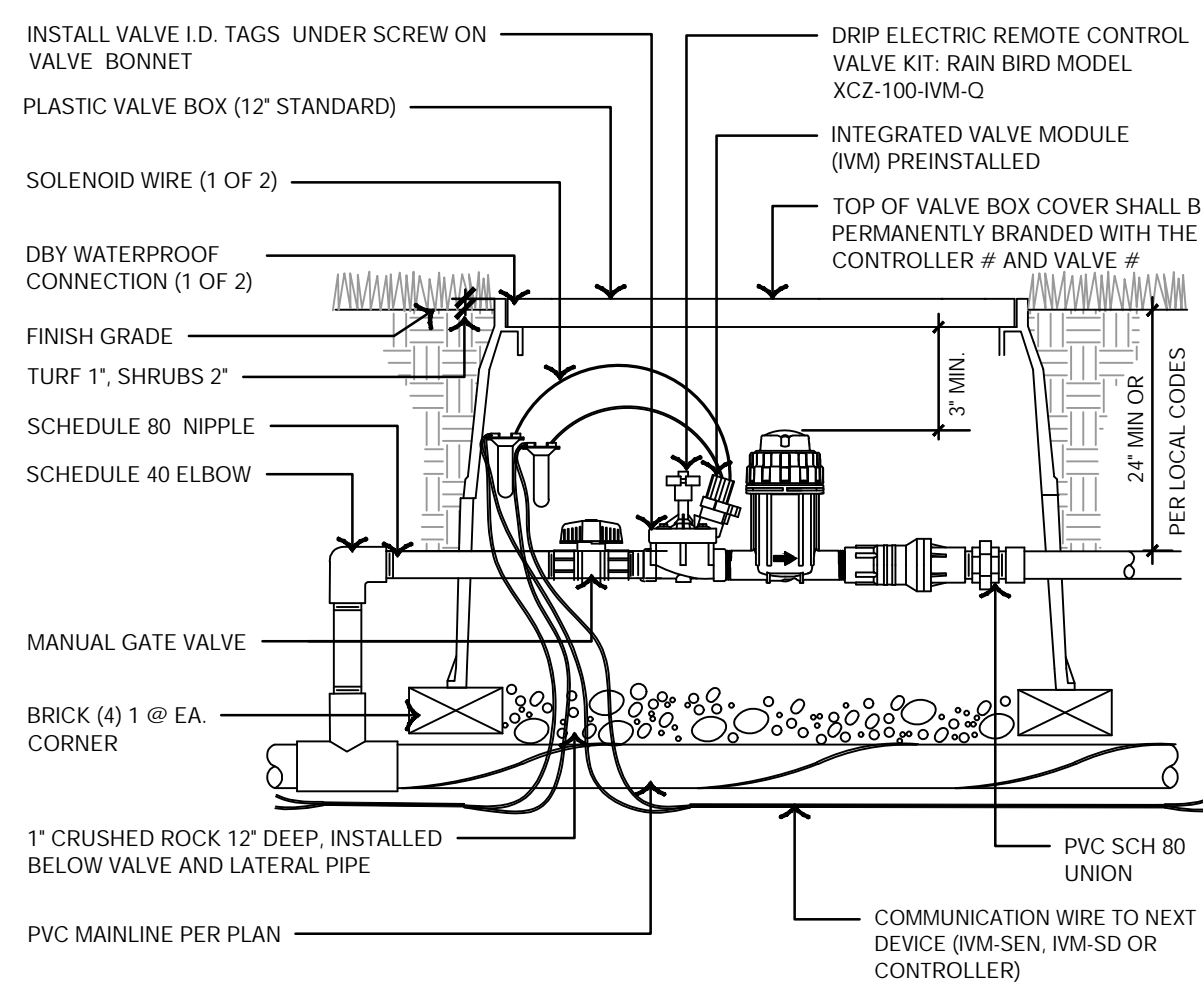
6 LANDSCAPE DRIPLINE CONNECTION - POTABLE WATER



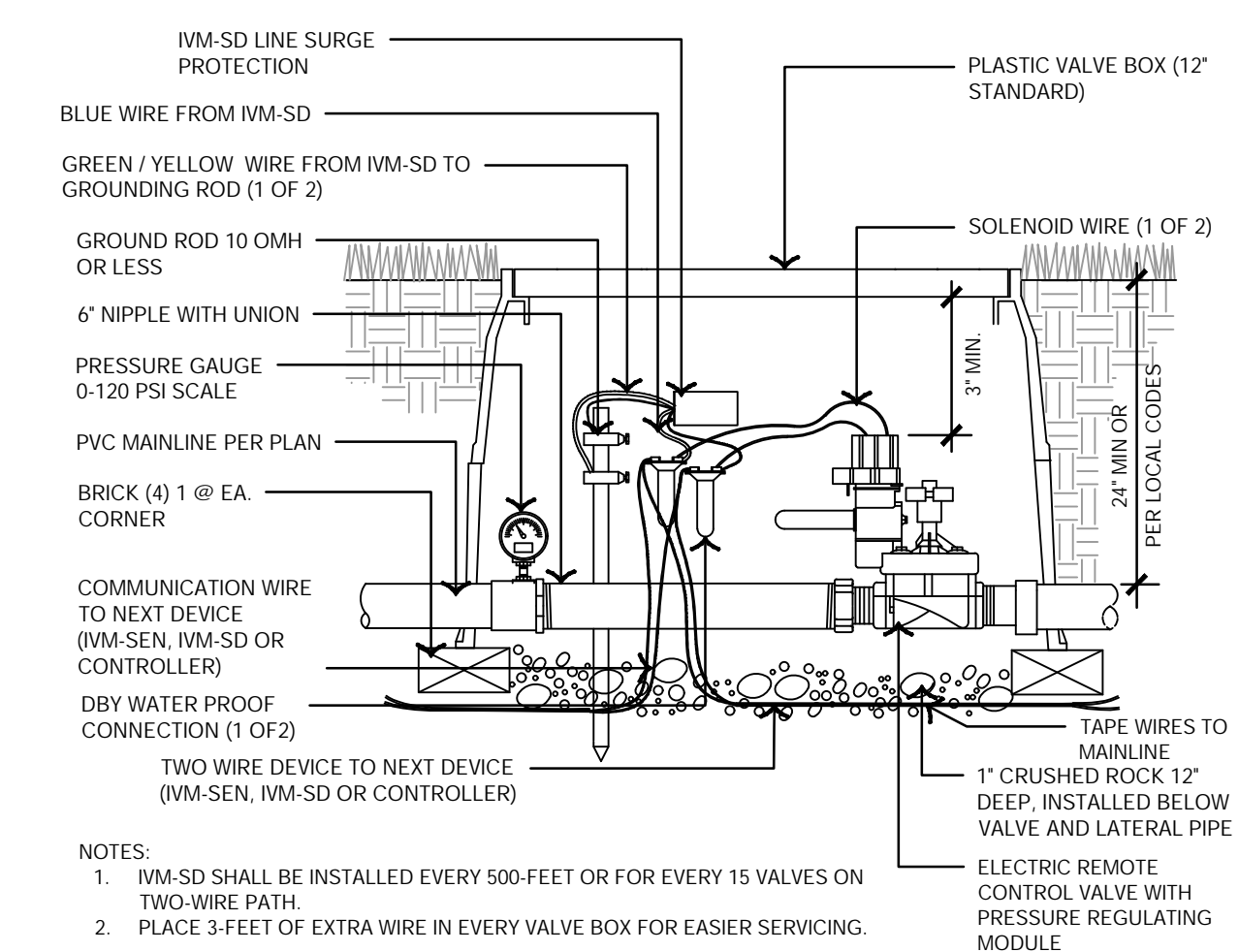
7 LANDSCAPE DRIPLINE AIR VALVE KIT - POTABLE WATER



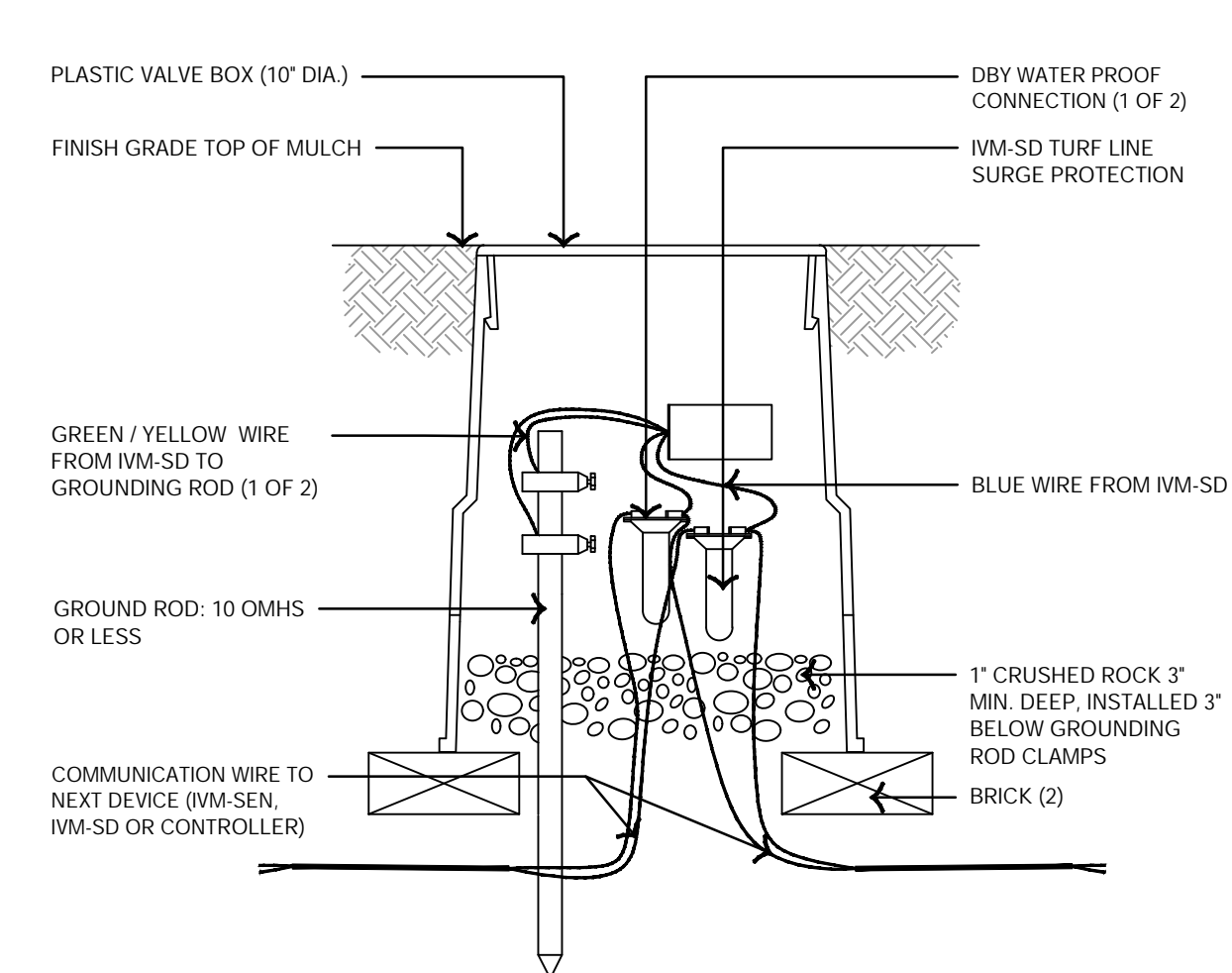
8 REMOTE CONTROL VALVE - POTABLE WATER



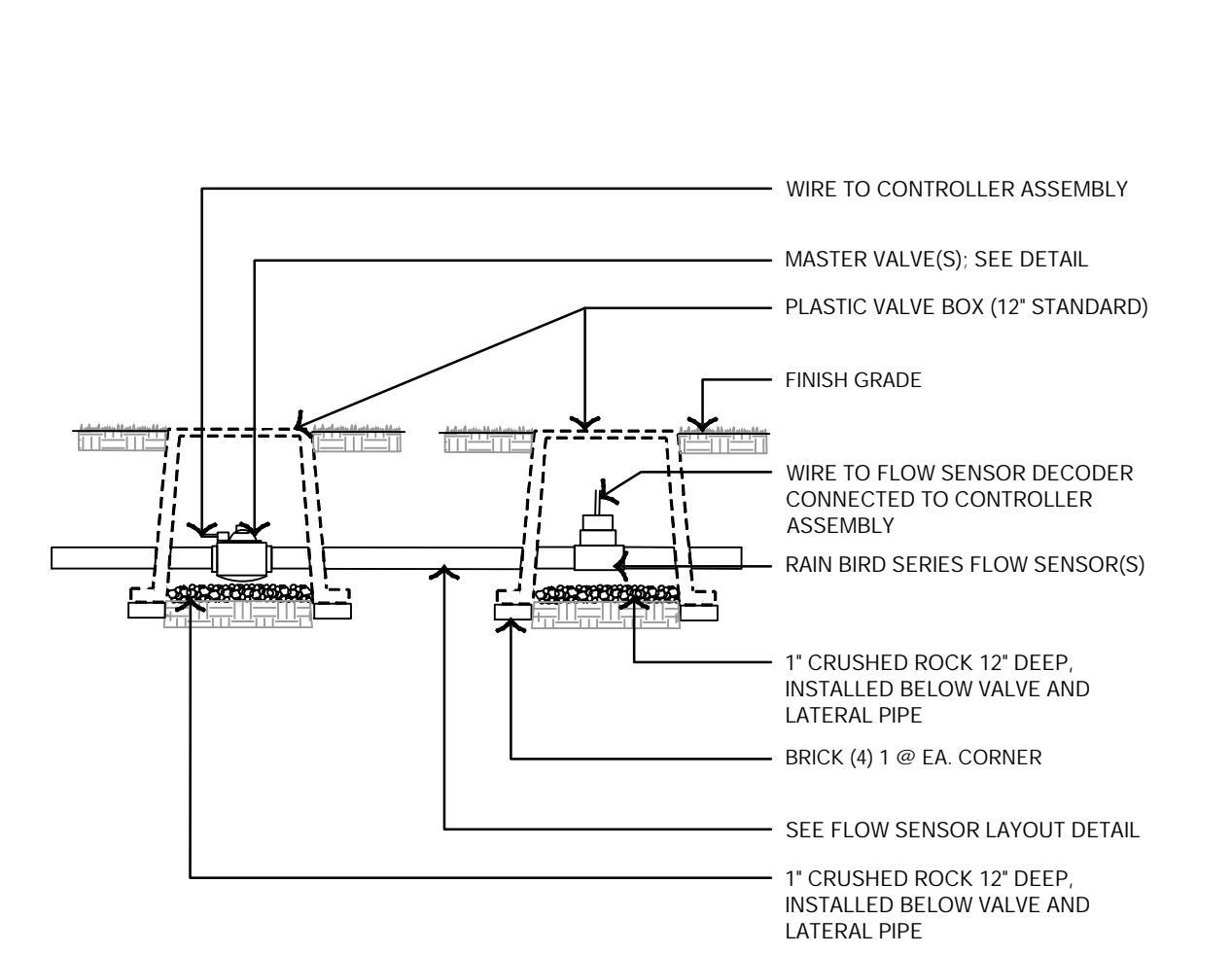
9 DRIP REMOTE CONTROL VALVE - POTABLE WATER



10 MASTER VALVE - POTABLE WATER



11 LINE SURGE PROTECTION



12 MASTER VALVE & FLOW SENSOR TYPICAL - POTABLE WATER

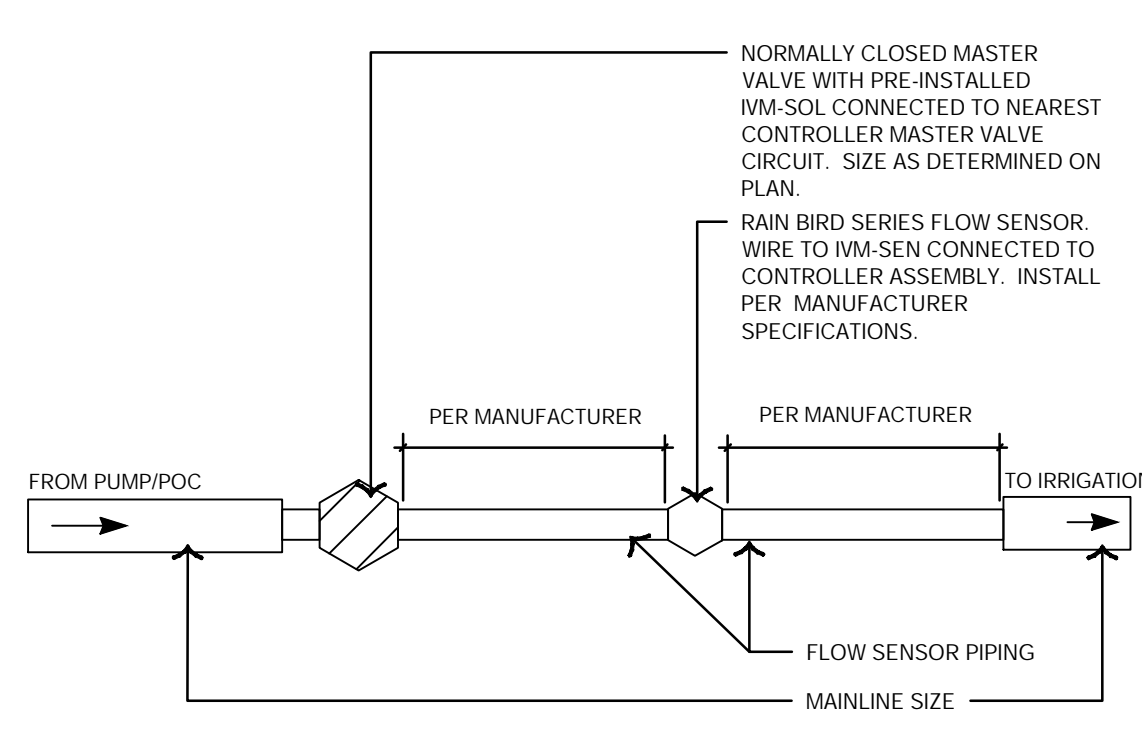
REV. NO.	DATE	REVISIONS DESCRIPTION

REVISIONS

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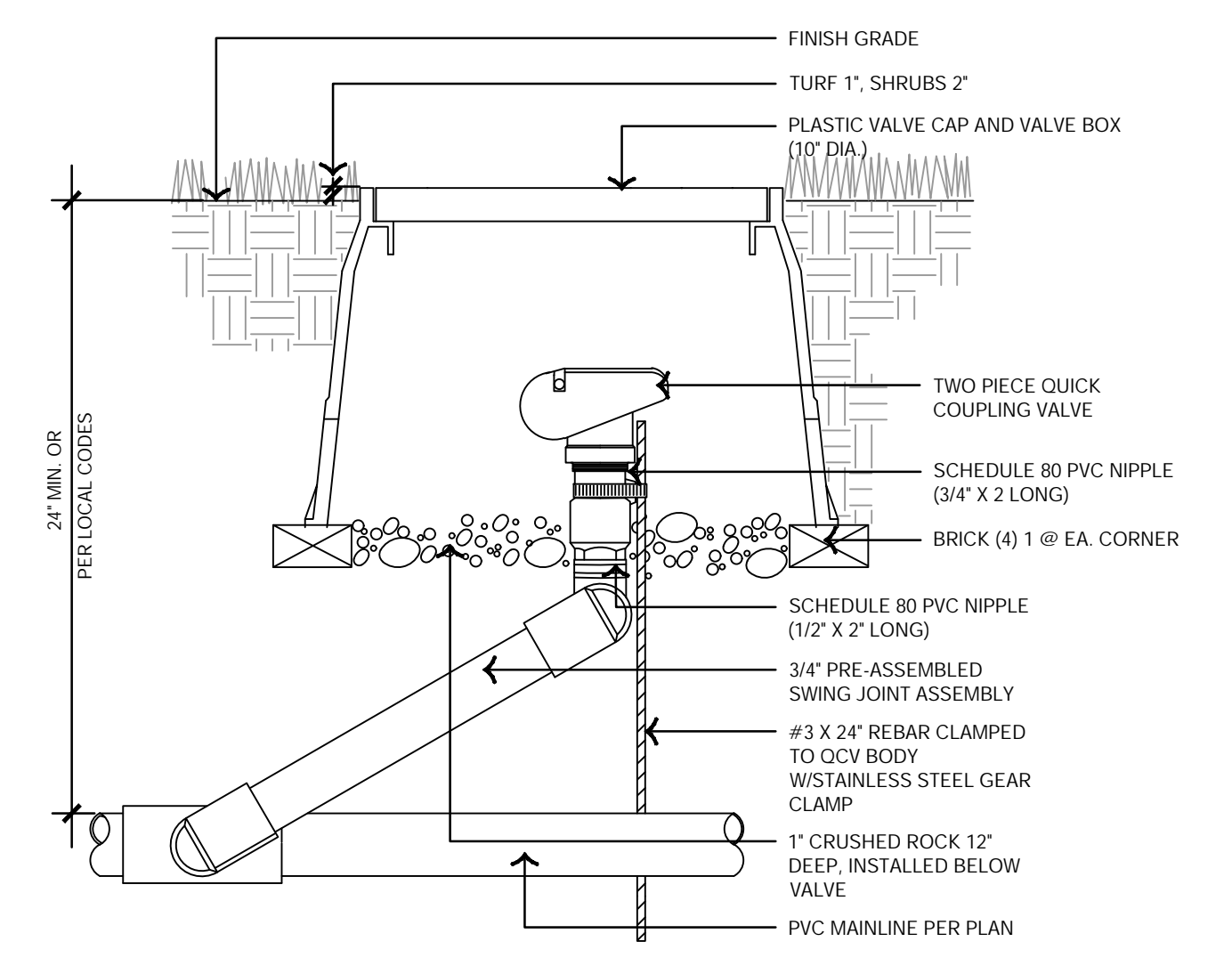
IRRIGATION DETAILS
 PRIVATE SITE DEVELOPMENT PLANS
 THE VILLAGE AT DISCOVERY PARK LOT 3
 NW COLBURN RD & NE DOUGLAS ST
 LEE'S SUMMIT, MISSOURI

drawn by: EW
 checked by: CP
 approved by: CP
 QA/QC by: BM
 project no.: F21-04643
 drawing no: RRR_DTL01_F2104643
 date: 11.01.2023

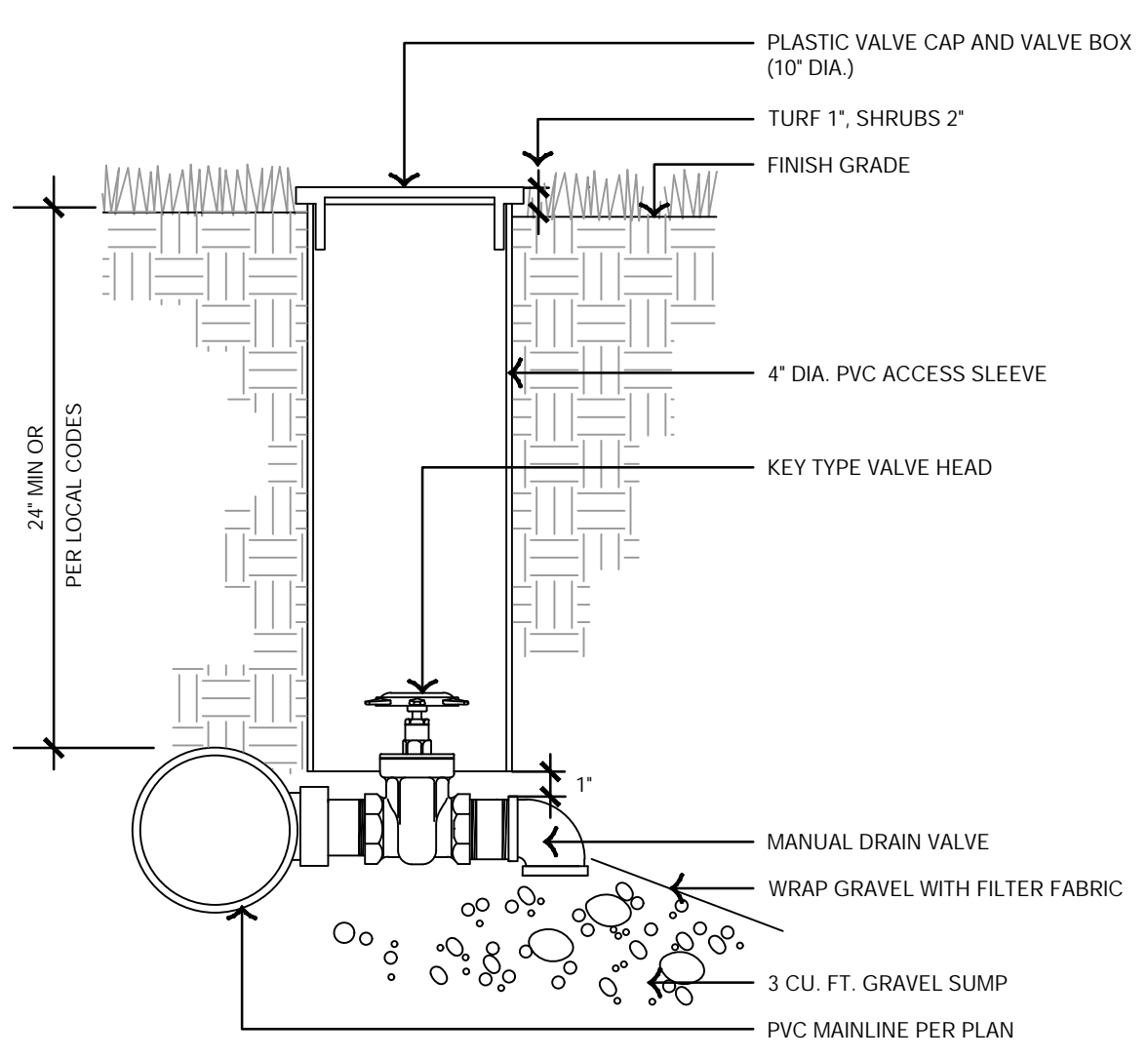


FLOW SENSOR	SIZE	FLOW SENSOR PIPING SIZE
RAIN BIRD FS100P	1"	1" PIPE
RAIN BIRD FS150P	1 1/2"	1 1/2" PIPE
RAIN BIRD FS200P	2"	2" PIPE
RAIN BIRD FS300P	3"	3" PIPE
RAIN BIRD FS400P	4"	4" PIPE

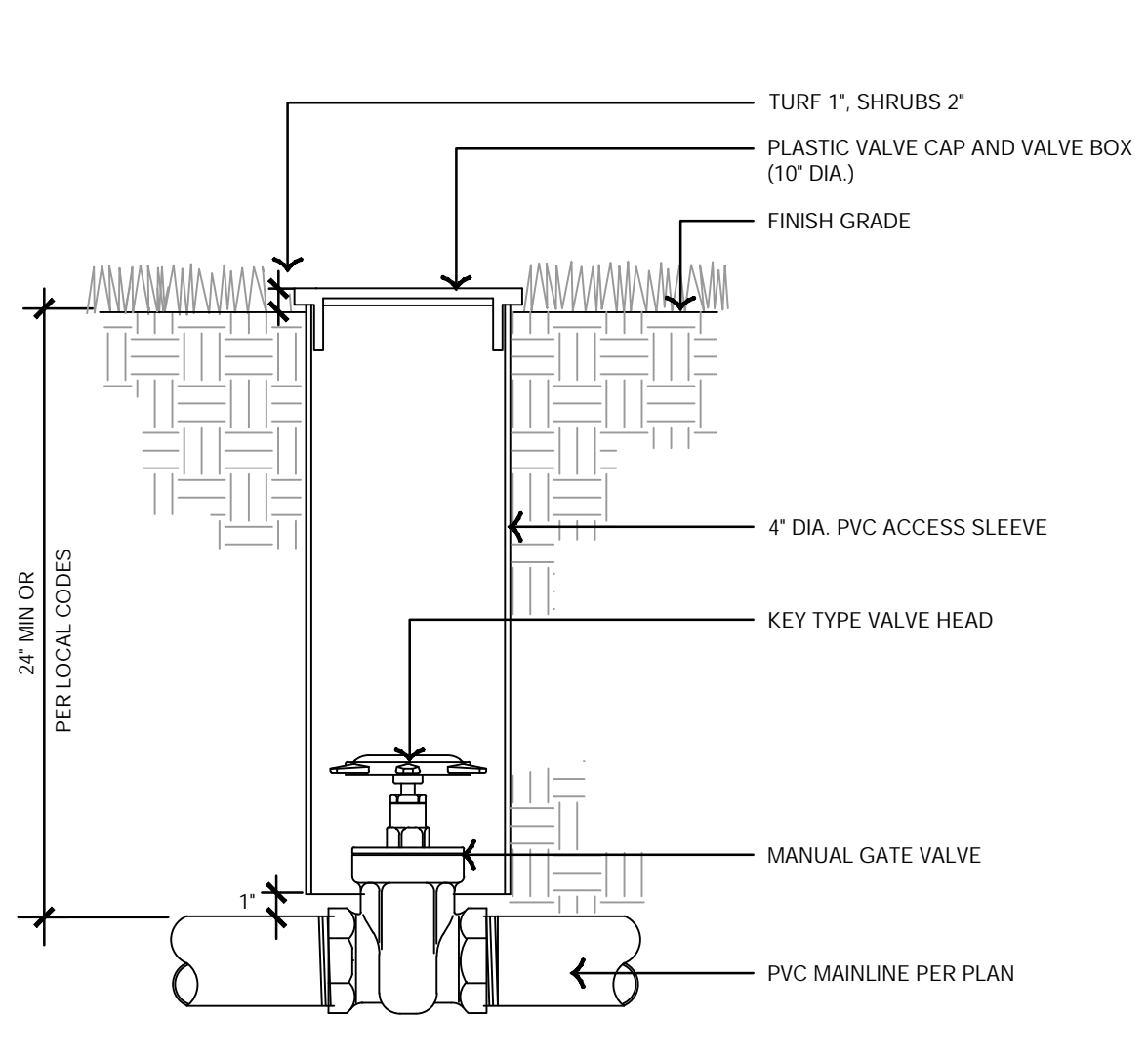
1 FLOW SENSOR TYPICAL LAYOUT - POTABLE WATER



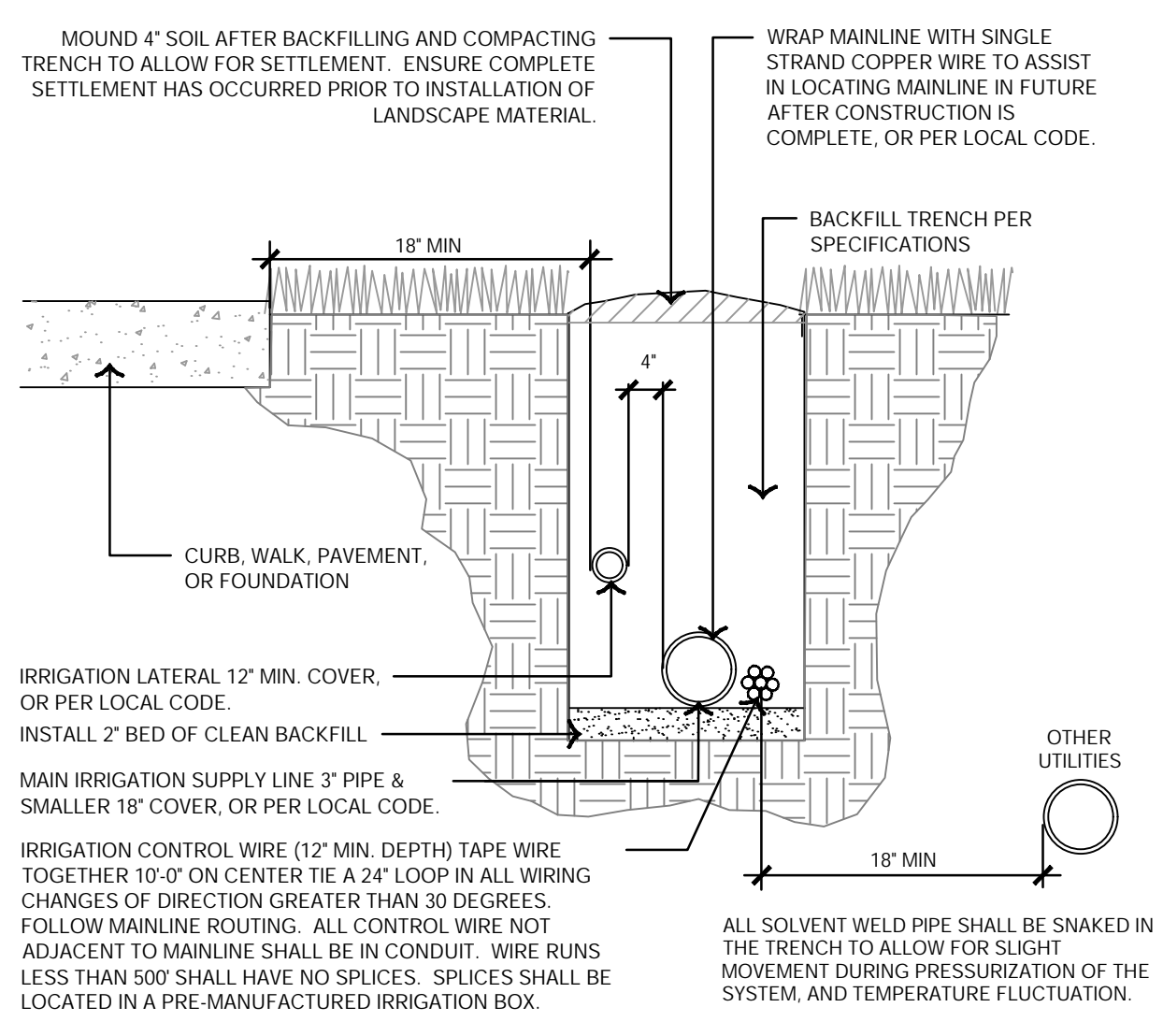
2 QUICK COUPLER VALVE - POTABLE WATER



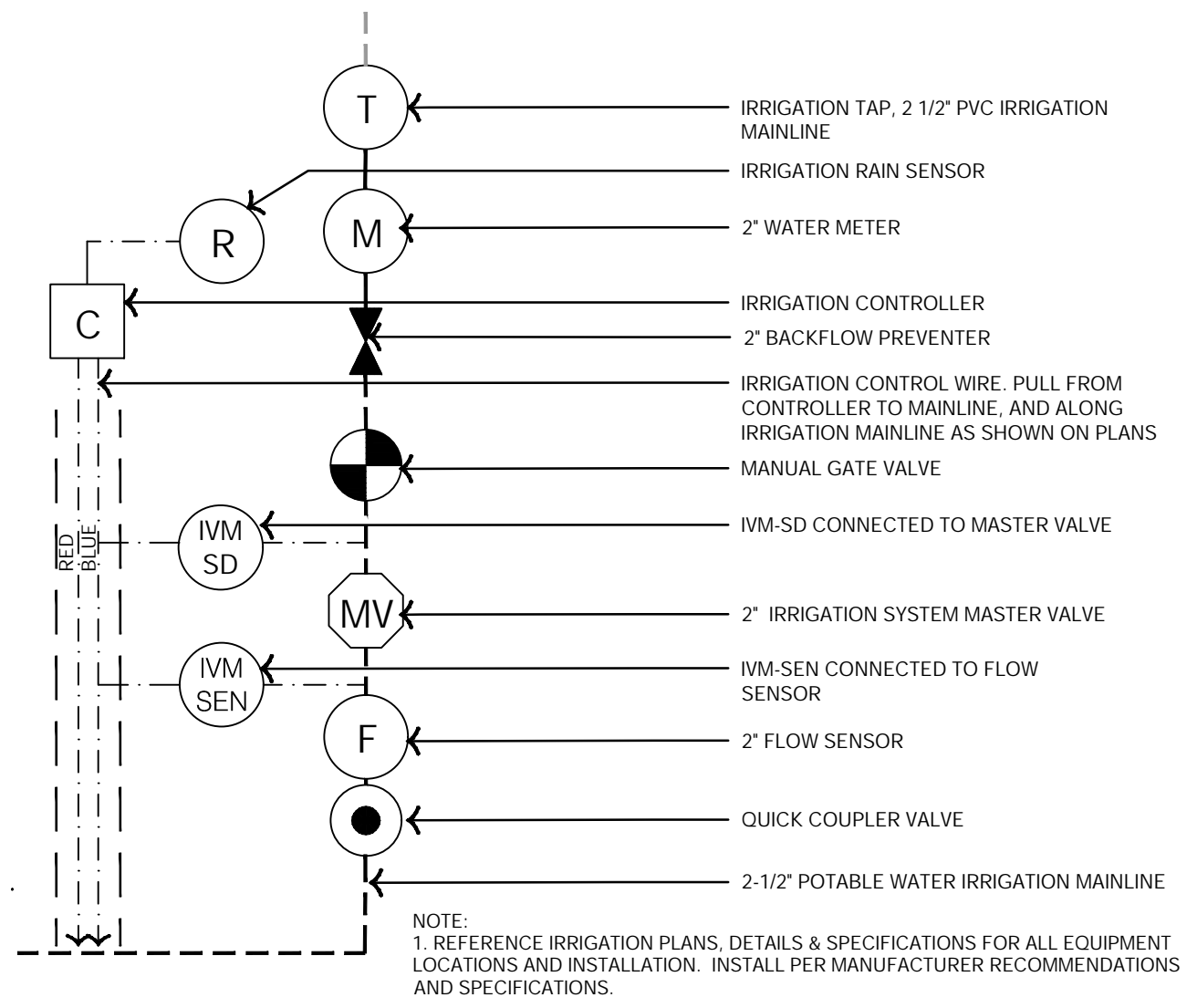
3 MANUAL DRAIN VALVE - POTABLE WATER



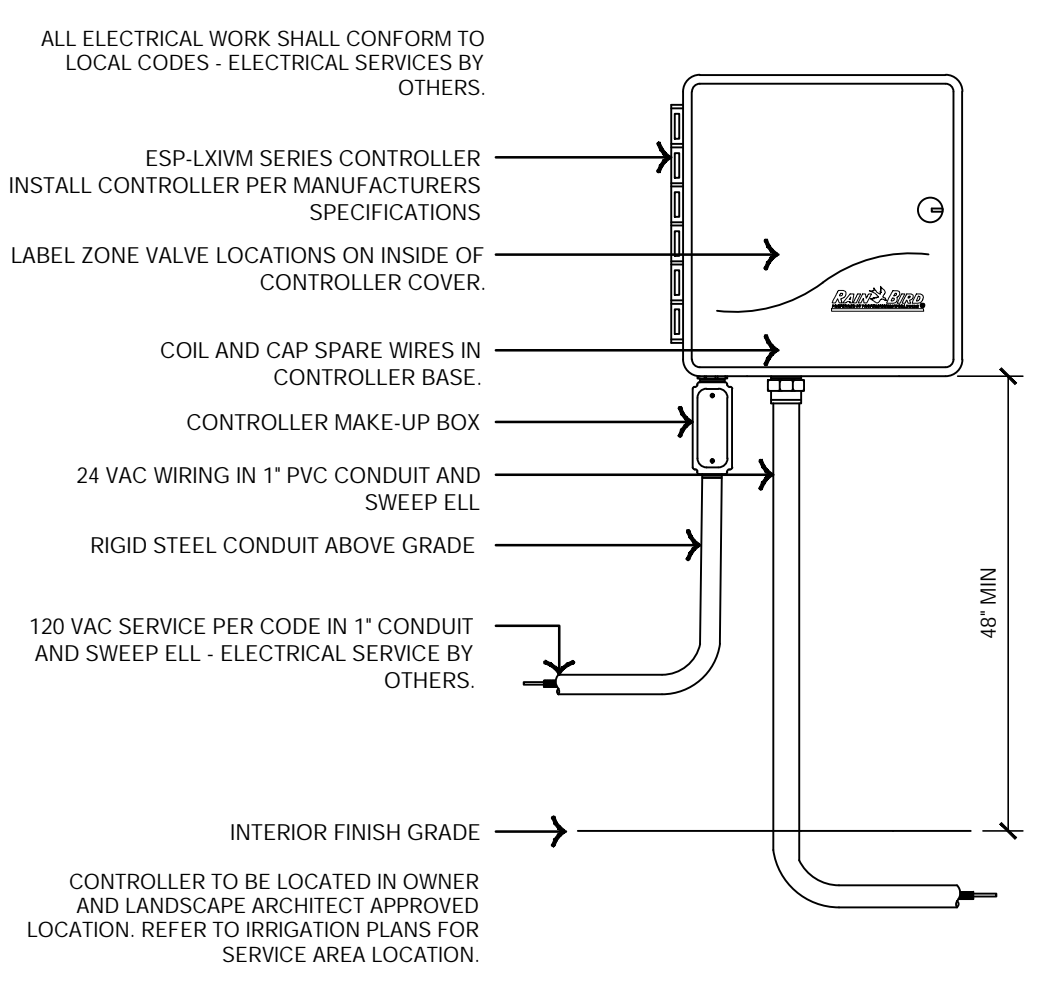
4 MANUAL GATE VALVE - POTABLE WATER



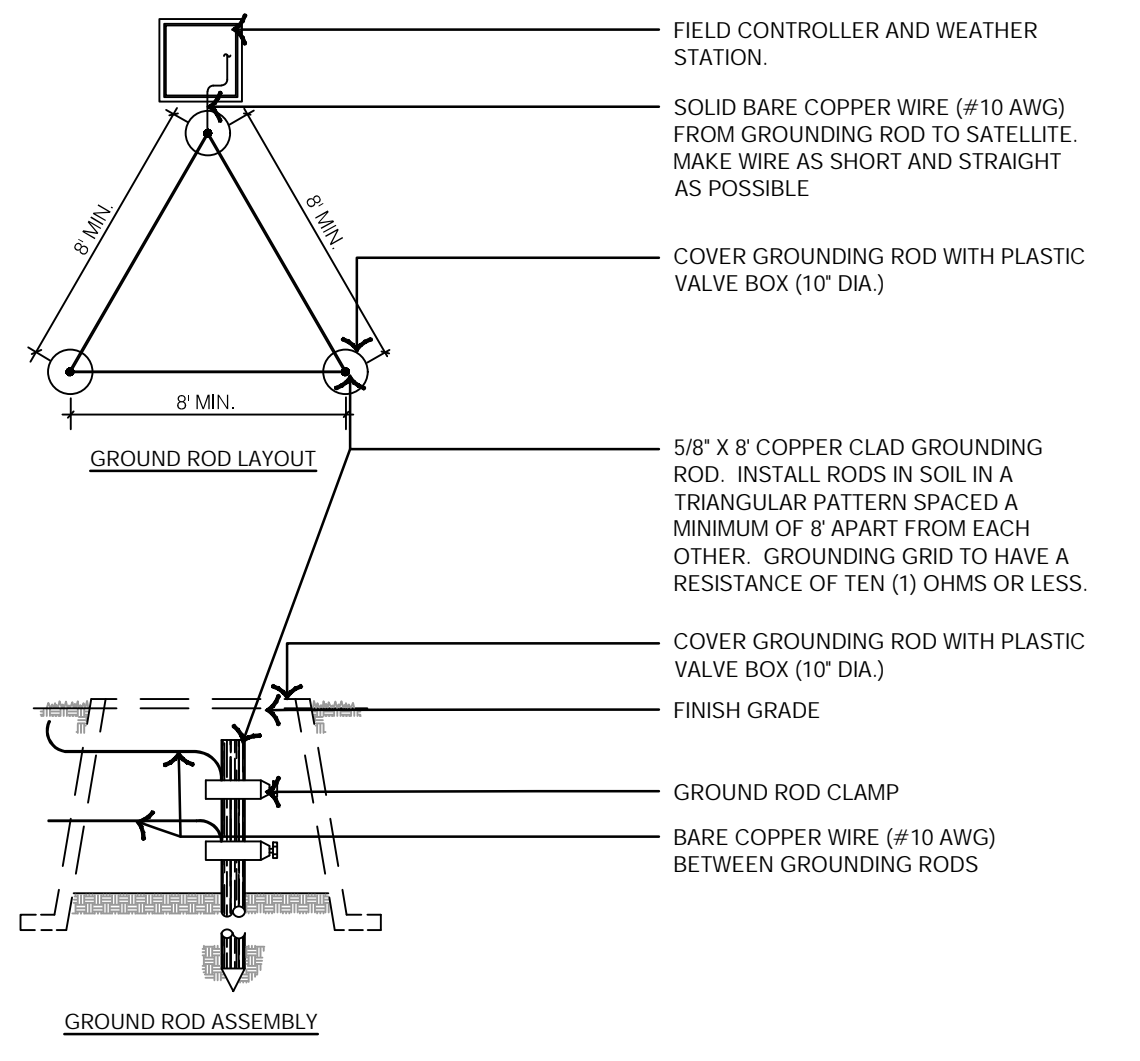
5 TRENCHING DETAIL - POTABLE WATER



6 TAP LAYOUT - POTABLE WATER

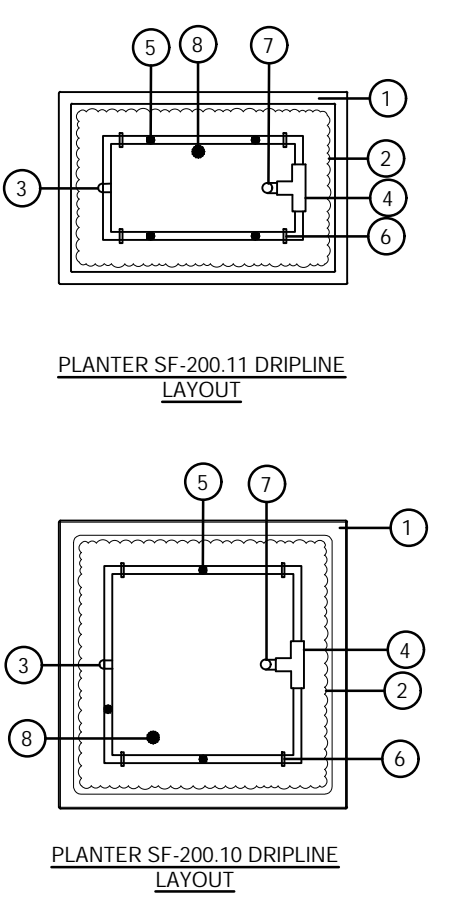


7 WALL MOUNTED AUTOMATIC CONTROLLER



8 CONTROLLER GROUNDING GRID

- PLANTER IRRIGATION NOTES:**
- PLANTER: REF: HARDSCAPE PLANS
 - ANNUAL PLANTINGS: REF: LANDSCAPE PLANS
 - LANDSCAPE DRIPLINE FLUSH CAP. CONTRACTOR SHALL INSTALL A MINIMUM OF ONE PER PLANTER.
 - EASY FIT COMPRESSION TEE RAIN BIRD MDCFTEE (QTY AS REQUIRED)
 - LANDSCAPE DRIPLINE. PRESSURE-COMPENSATING IN-LINE EMITTER TUBING: RAIN BIRD XFD-09-12
 - TIE DOWN STAKE RAIN BIRD TDS-050 WBEND (QTY AS REQUIRED)
 - IRRIGATION LATERAL
 - MICRO SPRAY WITH SPIKE



9 TYPICAL PLANTER IRRIGATION

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	DESIGN PSI	TWO-WIRE PATH
1	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	1.77	265.3 L.F.	40	BLUE
2	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	5.24	786.7 L.F.	40	RED
3	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	0.4	37.5 L.F.	40	RED
4	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	1.78	299.6 L.F.	40	RED
5	RAIN BIRD PEB-IVM	1"	TURF ROTOR	13.88	8	45	RED
6	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	3.53	530.0 L.F.	40	RED
7	RAIN BIRD PEB-IVM	1"	TURF ROTOR	14.26	8	45	RED
8	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	3.18	478.2 L.F.	40	RED
9	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	4.87	731.2 L.F.	40	RED
10	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	4.36	654.7 L.F.	40	RED
11	RAIN BIRD PEB-IVM	1-1/2"	TURF ROTOR	31.66	10	45	BLUE
12	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	5.53	829.3 L.F.	40	BLUE
13	RAIN BIRD PEB-IVM	1-1/2"	TURF ROTOR	26.68	7	45	BLUE
14	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	5.53	829.3 L.F.	40	BLUE
15	RAIN BIRD PEB-IVM	1-1/2"	TURF ROTOR	35.32	11	45	BLUE
16	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	4.78	287.2 L.F.	40	BLUE
17	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	2.48	371.4 L.F.	40	BLUE
18	RAIN BIRD PEB-IVM	1-1/2"	TURF SPRAY	22.03	22	30	BLUE
19	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	0.44	65.4 L.F.	40	BLUE
20	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	1.6	237.9 L.F.	40	BLUE
21	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	0.27	27.0 L.F.	40	BLUE
22	RAIN BIRD XCZ-100-IVMO	1"	AREA FOR DRIPLINE	2.69	402.9 L.F.	40	BLUE

CRITICAL ANALYSIS

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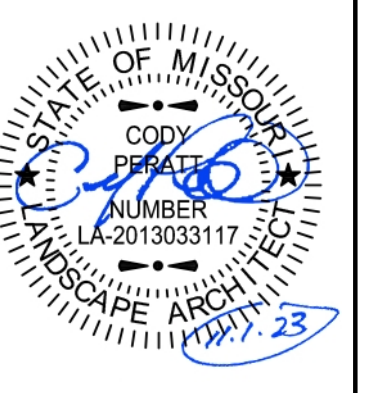
Water Source Information:

FLOW AVAILABLE
Water Meter Size: 2"
Flow Available: 120 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 70 PSI
Elevation Change: 0.00 ft
Service Line Size: 8"
Length of Service Line: 0 ft
Pressure Available: 70 PSI

DESIGN ANALYSIS
Maximum Station Flow: 35.32 GPM
Flow Available at POC: 120 GPM
Residual Flow Available: 84.68 GPM

Critical Station:
Design Pressure: 45 PSI
Friction Loss: 1.4 PSI
Fittings Loss: 0.14 PSI
Elevation Loss: 0 PSI
Loss through Valve: 3.58 PSI
Pressure Req. at Critical Station: 50.1 PSI
Loss for Fittings: 0 PSI
Loss for Main Line: 3.71 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 11.6 PSI
Loss for Master Valve: 2.75 PSI
Loss for Water Meter: 0.87 PSI
Critical Station Pressure at POC: 69.1 PSI
Pressure Available: 70 PSI
Residual Pressure Available: 0.92 PSI



REV. NO.	DATE	REVISIONS DESCRIPTION

2023

IRRIGATION DETAILS
PRIVATE SITE DEVELOPMENT PLANS
THE VILLAGE AT DISCOVERY PARK LOT 3
NW COLBERN RD & NE DOUGLAS ST
LEE'S SUMMIT, MISSOURI

drawn by: EW
checked by: CP
approved by: CP
QA/QC by: BM
project no.: F21-04643
drawing no: IRR_DTL01_F2104643
date: 11.01.2023

DWG: F:\2021\04501-06000\021-04643-F\40-Design\AutoCAD\Final Plans\Sheets\05TUA\IRR_DTL01_F2104643.dwg
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 DEF-TYPICAL-IRR_F2104643
 L_PRRR_F2104643

PLAN LEGEND	
	PARTIAL HEIGHT PARTITION
	NON-RATED PARTITION: SEE ASSEMBLIES
	1 HR RATED PARTITION: SEE ASSEMBLIES
	2 HR RATED PARTITION: SEE ASSEMBLIES
	WINDOW TYPE: SEE WINDOW SCHEDULE
	DOOR TYPE: SEE DOOR SCHEDULE
	PARTITION TYPE: SEE ASSEMBLIES
	FRAMING DIMENSIONS
	LAYOUT LINE DIMENSIONS
	HEARING/VISIBILITY
	ADA/ACCESSIBLE UNITS

KEYNOTE LEGEND

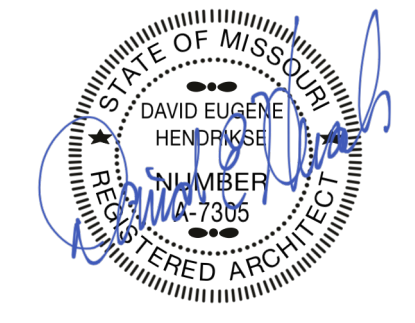
PRINTS ISSUED
11/01/2023 - CITY SUBMITTAL

REVISIONS:

rosemann & ASSOCIATES P.C.
ARCHITECTURE
INTERIOR DESIGN
ENGINEERING
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Kansas City, MO 64108-1404
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w: www.rosemann.com
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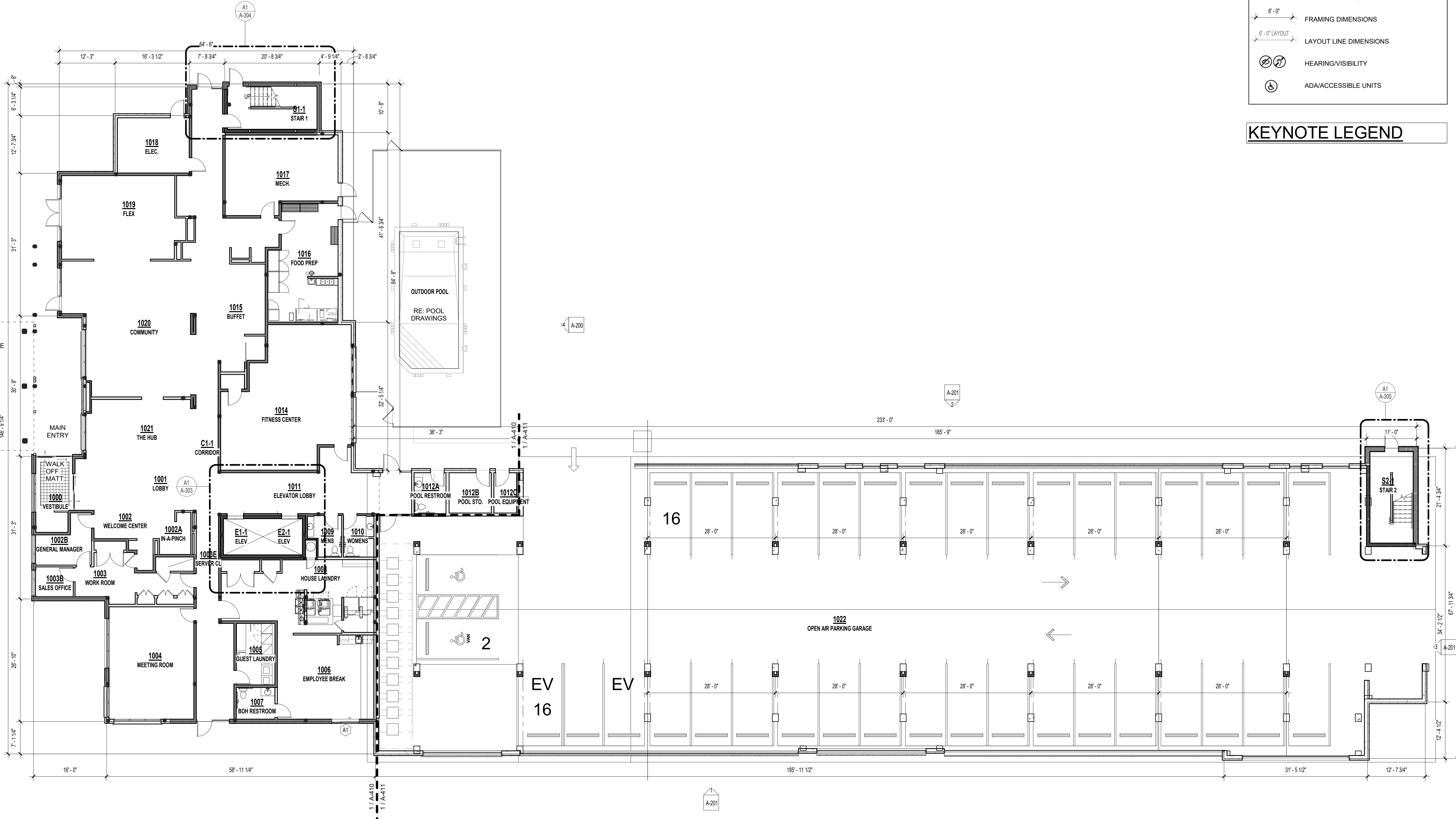
TOWNEPLACE SUITES
1810 NORTHEAST DOUGLAS ST.
LEE'S SUMMIT 64064 USA

SHEET TITLE
FIRST FLOOR PLAN

PROJECT NUMBER: 23098

SHEET NUMBER:

A-101



3' 12' 24' N

1 1ST FLOOR PLAN
3/32" = 1'-0"

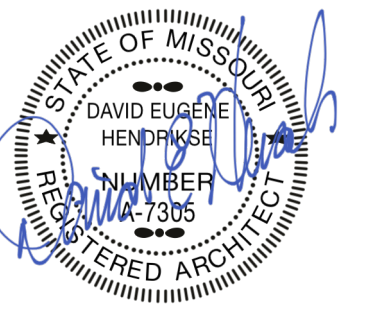
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REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-101 FOR PLAN LEGEND

KEYNOTE LEGEND

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REVISIONS:

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W: www.rosemann.com
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TOWNEPLACE SUITES

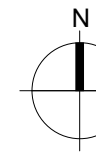
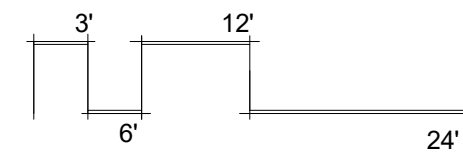
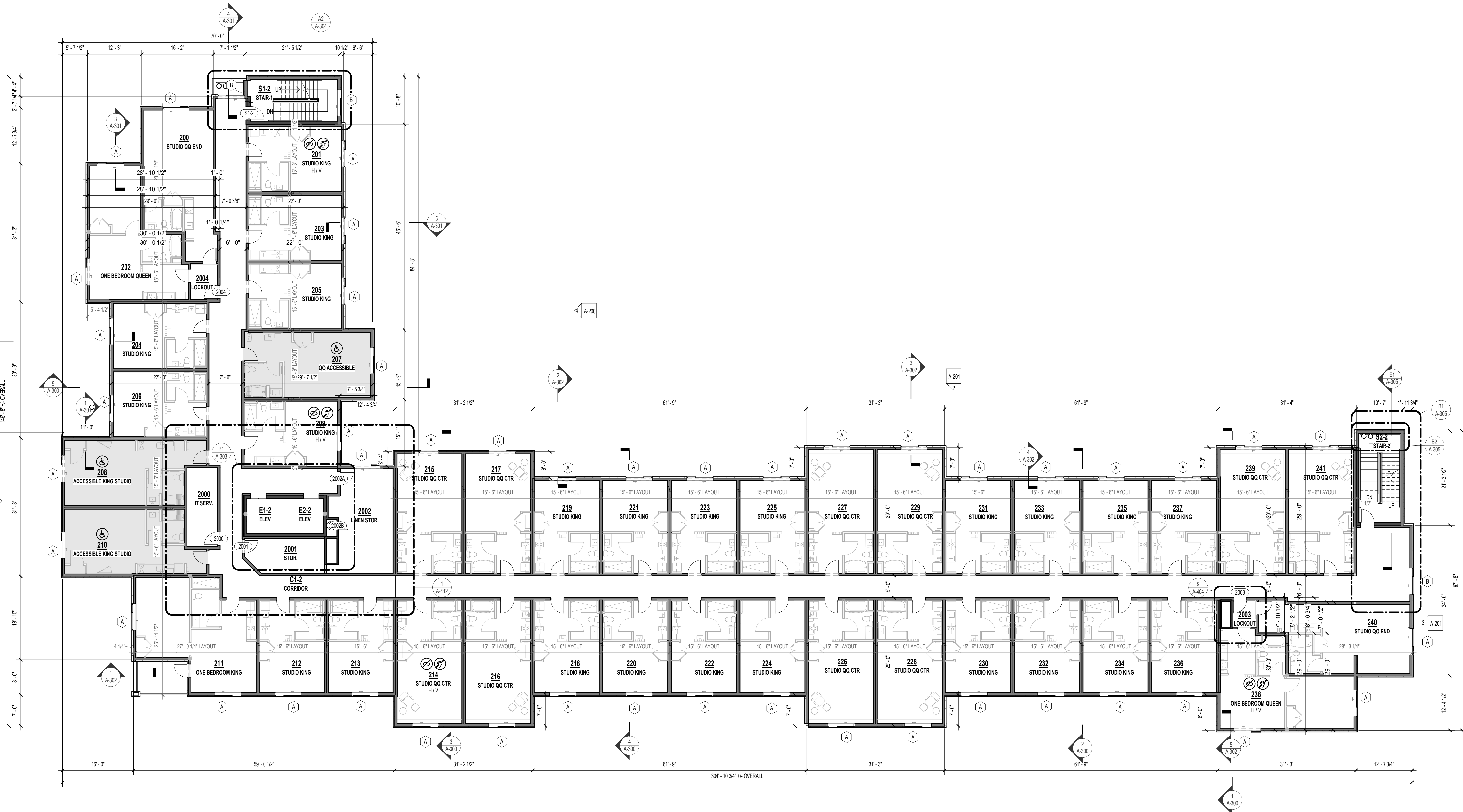
1810 NORTHEAST DOUGLAS ST.
LEE'S SUMMIT 64064 USA

SHEET TITLE
SECOND FLOOR PLAN

PROJECT NUMBER: 23098

SHEET NUMBER:

A-102



1 SECOND FLOOR PLAN
3/32" = 1'-0"

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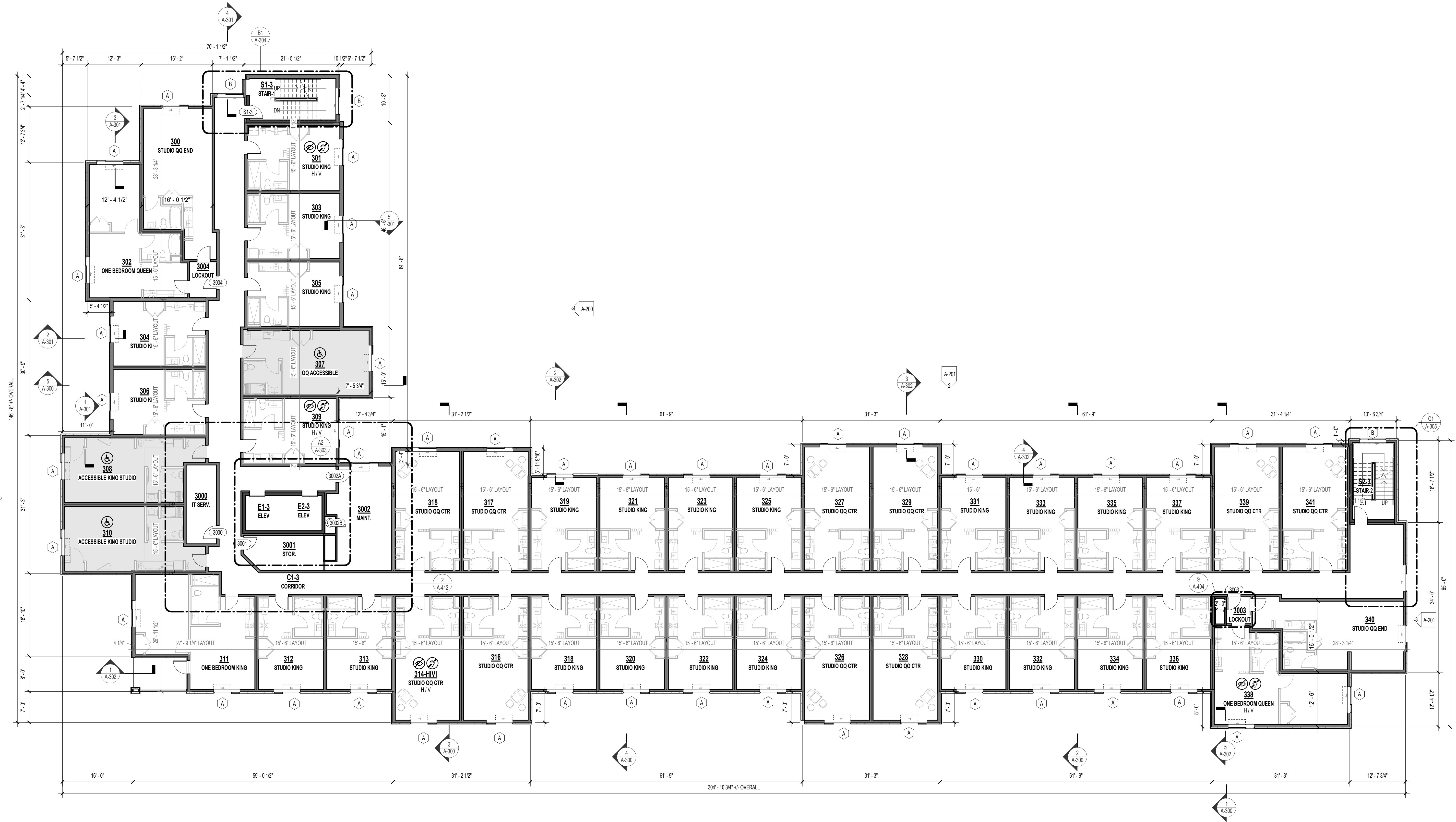
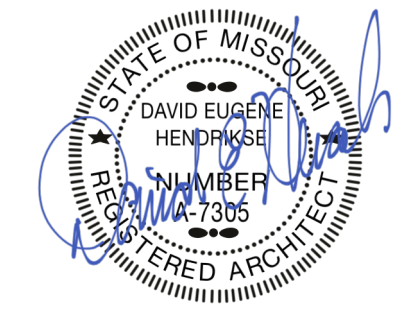
VERIFY SHEET #S

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-101 FOR PLAN LEGEND

PRINTS ISSUED
11/01/2023 - CITY SUBMITTAL
REVISIONS:

KEYNOTE LEGEND

rosemann & ASSOCIATES P.C.
ARCHITECTURE
INTERIOR DESIGN
ENGINEERING
PLANNING
1526 Grand Boulevard
Kansas City, MO 64108-1404
P: 816.472.1448
W: www.rosemann.com
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TOWNEPLACE SUITES

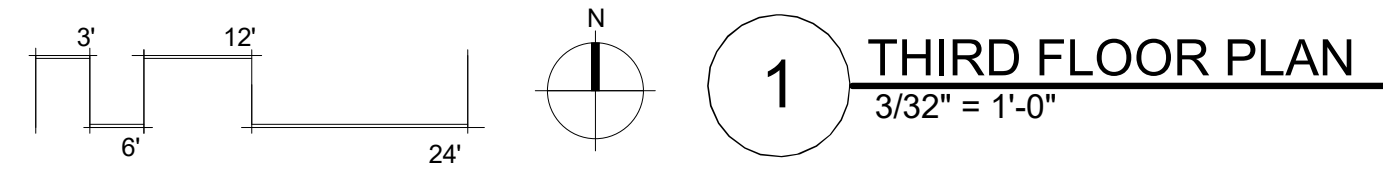
**1810 NORTHEAST DOUGLAS ST.
LEE'S SUMMIT 64064 USA**

SHEET TITLE
THIRD FLOOR PLAN

PROJECT NUMBER: 23098

SHEET NUMBER:

A-103



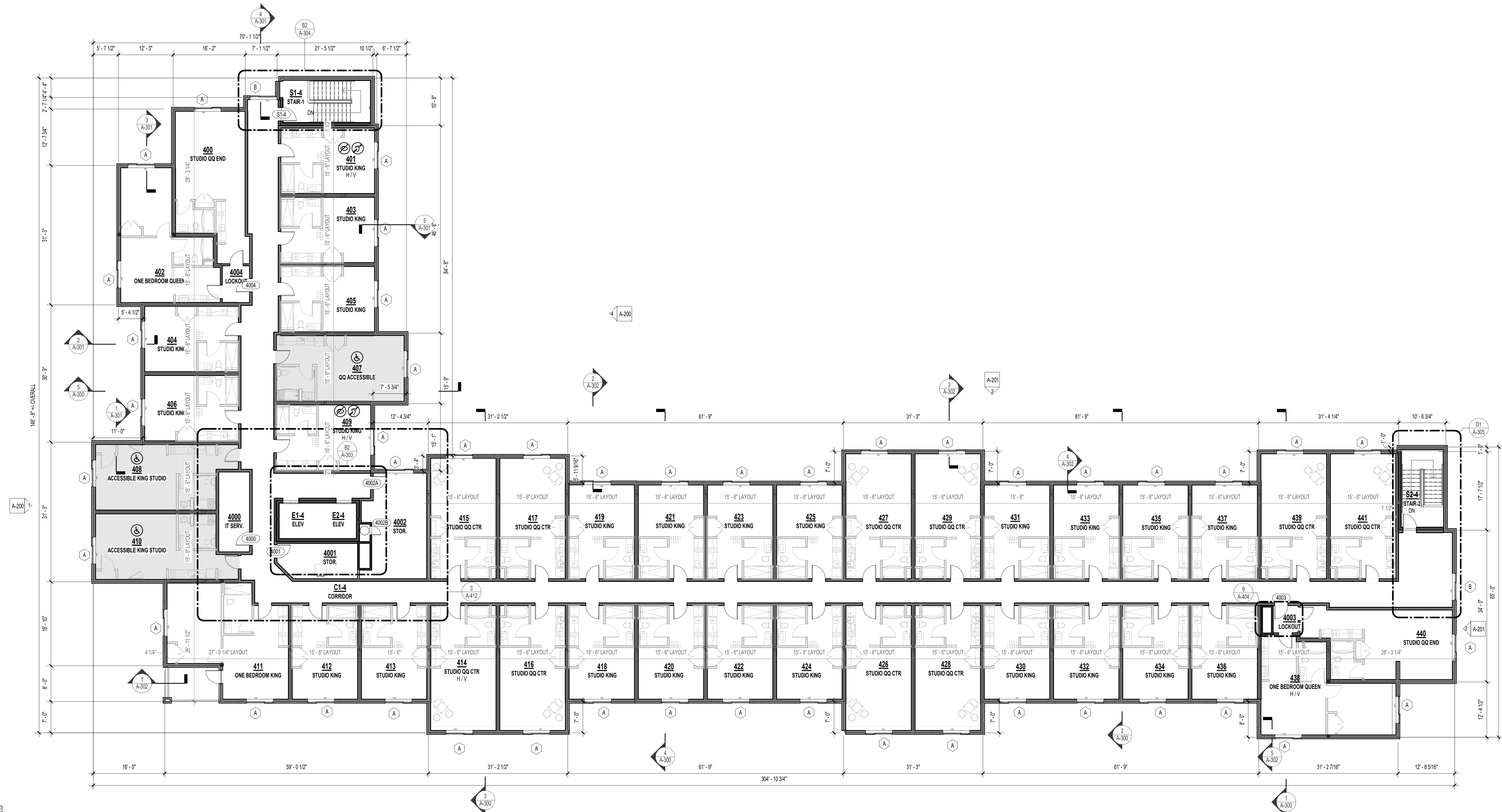
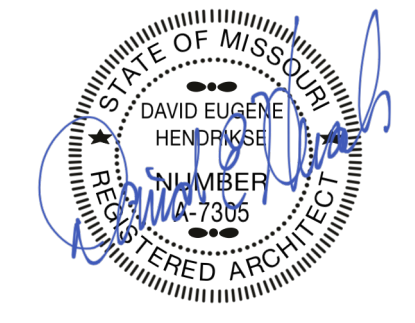
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KEYNOTE LEGEND

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TOWNEPLACE SUITES

1810 NORTHEAST DOUGLAS ST.
LEE'S SUMMIT 64064 USA

SHEET TITLE
FOURTH FLOOR PLAN

PROJECT NUMBER: 23098

SHEET NUMBER:

A-104

1 FOURTH FLOOR PLAN
 3/32" = 1'-0"

11/1/2023 11:15:38 AM
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Zone A		Zone B		Zone C		Zone D	
AREA TO BE VENTED	866 S.F.	AREA TO BE VENTED	1360 S.F.	AREA TO BE VENTED	763 S.F.	AREA TO BE VENTED	915 S.F.
VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300
TOTAL REQUIRED VENTING = (866 S.F. x 144) / 300 =	416 SQ.IN.	TOTAL REQUIRED VENTING = (1360 S.F. x 144) / 300 =	653 SQ.IN.	TOTAL REQUIRED VENTING = (763 S.F. x 144) / 300 =	366 SQ.IN.	TOTAL REQUIRED VENTING = (915 S.F. x 144) / 300 =	439 SQ.IN.
HIGH ROOF VENTING = 416 SQ.IN. x 1 =	416 SQ.IN.	HIGH ROOF VENTING = 653 SQ.IN. x 1 =	653 SQ.IN.	HIGH ROOF VENTING = 366 SQ.IN. x 1 =	366 SQ.IN.	HIGH ROOF VENTING = 439 SQ.IN. x 1 =	439 SQ.IN.
LOW ROOF VENTING = 416 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 653 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 366 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 439 SQ.IN. x 0 =	0 SQ.IN.
HIGH ROOF VENTING	416 SQ.IN. REQUIRED	HIGH ROOF VENTING	653 SQ.IN. REQUIRED	HIGH ROOF VENTING	366 SQ.IN. REQUIRED	HIGH ROOF VENTING	439 SQ.IN. REQUIRED
PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	762 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED
(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA
(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA	(2) Exhaust Vent @ 254 NFA =	508 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA
TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	762 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED

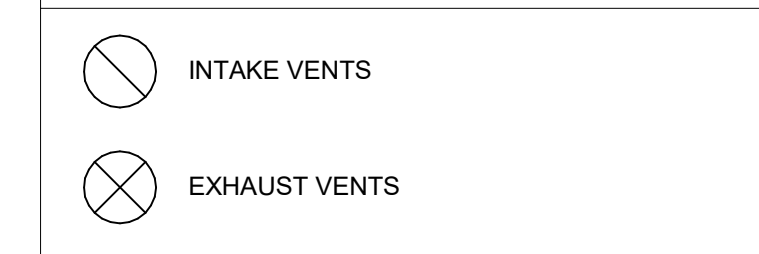
Zone E		Zone F		Zone G		Zone H		Zone I	
AREA TO BE VENTED	1228 S.F.	AREA TO BE VENTED	975 S.F.	AREA TO BE VENTED	743 S.F.	AREA TO BE VENTED	815 S.F.	AREA TO BE VENTED	849 S.F.
VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300
TOTAL REQUIRED VENTING = (1228 S.F. x 144) / 300 =	589 SQ.IN.	TOTAL REQUIRED VENTING = (975 S.F. x 144) / 300 =	468 SQ.IN.	TOTAL REQUIRED VENTING = (743 S.F. x 144) / 300 =	357 SQ.IN.	TOTAL REQUIRED VENTING = (815 S.F. x 144) / 300 =	391 SQ.IN.	TOTAL REQUIRED VENTING = (849 S.F. x 144) / 300 =	408 SQ.IN.
HIGH ROOF VENTING = 589 SQ.IN. x 1 =	589 SQ.IN.	HIGH ROOF VENTING = 468 SQ.IN. x 1 =	468 SQ.IN.	HIGH ROOF VENTING = 357 SQ.IN. x 1 =	357 SQ.IN.	HIGH ROOF VENTING = 391 SQ.IN. x 1 =	391 SQ.IN.	HIGH ROOF VENTING = 408 SQ.IN. x 1 =	408 SQ.IN.
LOW ROOF VENTING = 589 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 468 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 357 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 391 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 408 SQ.IN. x 0 =	0 SQ.IN.
HIGH ROOF VENTING	589 SQ.IN. REQUIRED	HIGH ROOF VENTING	468 SQ.IN. REQUIRED	HIGH ROOF VENTING	357 SQ.IN. REQUIRED	HIGH ROOF VENTING	391 SQ.IN. REQUIRED	HIGH ROOF VENTING	408 SQ.IN. REQUIRED
PROVIDED HIGH ROOF VENTING	762 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED
(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA
(2) Exhaust Vent @ 254 NFA =	508 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA
TOTAL ROOF VENTING PROVIDED	762 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED

Zone J		Zone K		Zone L		Zone M	
AREA TO BE VENTED	1025 S.F.	AREA TO BE VENTED	665 S.F.	AREA TO BE VENTED	828 S.F.	AREA TO BE VENTED	660 S.F.
VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300
TOTAL REQUIRED VENTING = (1025 S.F. x 144) / 300 =	492 SQ.IN.	TOTAL REQUIRED VENTING = (665 S.F. x 144) / 300 =	319 SQ.IN.	TOTAL REQUIRED VENTING = (828 S.F. x 144) / 300 =	397 SQ.IN.	TOTAL REQUIRED VENTING = (660 S.F. x 144) / 300 =	317 SQ.IN.
HIGH ROOF VENTING = 492 SQ.IN. x 1 =	492 SQ.IN.	HIGH ROOF VENTING = 319 SQ.IN. x 1 =	319 SQ.IN.	HIGH ROOF VENTING = 397 SQ.IN. x 1 =	397 SQ.IN.	HIGH ROOF VENTING = 317 SQ.IN. x 1 =	317 SQ.IN.
LOW ROOF VENTING = 492 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 319 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 397 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 317 SQ.IN. x 0 =	0 SQ.IN.
HIGH ROOF VENTING	492 SQ.IN. REQUIRED	HIGH ROOF VENTING	319 SQ.IN. REQUIRED	HIGH ROOF VENTING	397 SQ.IN. REQUIRED	HIGH ROOF VENTING	317 SQ.IN. REQUIRED
PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED
(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA
(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA
TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED

Zone N		Zone O		Zone P		Zone Q	
AREA TO BE VENTED	871 S.F.	AREA TO BE VENTED	1042 S.F.	AREA TO BE VENTED	1215 S.F.	AREA TO BE VENTED	1345 S.F.
VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300	VENTING CALCULATION FACTOR PER IBC	300
TOTAL REQUIRED VENTING = (871 S.F. x 144) / 300 =	418 SQ.IN.	TOTAL REQUIRED VENTING = (1042 S.F. x 144) / 300 =	500 SQ.IN.	TOTAL REQUIRED VENTING = (1215 S.F. x 144) / 300 =	583 SQ.IN.	TOTAL REQUIRED VENTING = (1345 S.F. x 144) / 300 =	646 SQ.IN.
HIGH ROOF VENTING = 418 SQ.IN. x 1 =	418 SQ.IN.	HIGH ROOF VENTING = 500 SQ.IN. x 1 =	500 SQ.IN.	HIGH ROOF VENTING = 583 SQ.IN. x 1 =	583 SQ.IN.	HIGH ROOF VENTING = 646 SQ.IN. x 1 =	646 SQ.IN.
LOW ROOF VENTING = 418 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 500 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 583 SQ.IN. x 0 =	0 SQ.IN.	LOW ROOF VENTING = 646 SQ.IN. x 0 =	0 SQ.IN.
HIGH ROOF VENTING	418 SQ.IN. REQUIRED	HIGH ROOF VENTING	500 SQ.IN. REQUIRED	HIGH ROOF VENTING	583 SQ.IN. REQUIRED	HIGH ROOF VENTING	646 SQ.IN. REQUIRED
PROVIDED HIGH ROOF VENTING	508 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	762 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	762 SQ.IN. PROVIDED	PROVIDED HIGH ROOF VENTING	762 SQ.IN. PROVIDED
(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA	(1) Intake Vent @ 254 NFA =	254 SQ.IN./FT NFA
(1) Exhaust Vent @ 254 NFA =	254 SQ.IN./FT NFA	(2) Exhaust Vent @ 254 NFA =	508 SQ.IN./FT NFA	(2) Exhaust Vent @ 254 NFA =	508 SQ.IN./FT NFA	(2) Exhaust Vent @ 254 NFA =	508 SQ.IN./FT NFA
TOTAL ROOF VENTING PROVIDED	508 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	762 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	762 SQ.IN. PROVIDED	TOTAL ROOF VENTING PROVIDED	762 SQ.IN. PROVIDED

REFERENCE G-003 FOR GENERAL NOTES

ROOF PLAN LEGEND

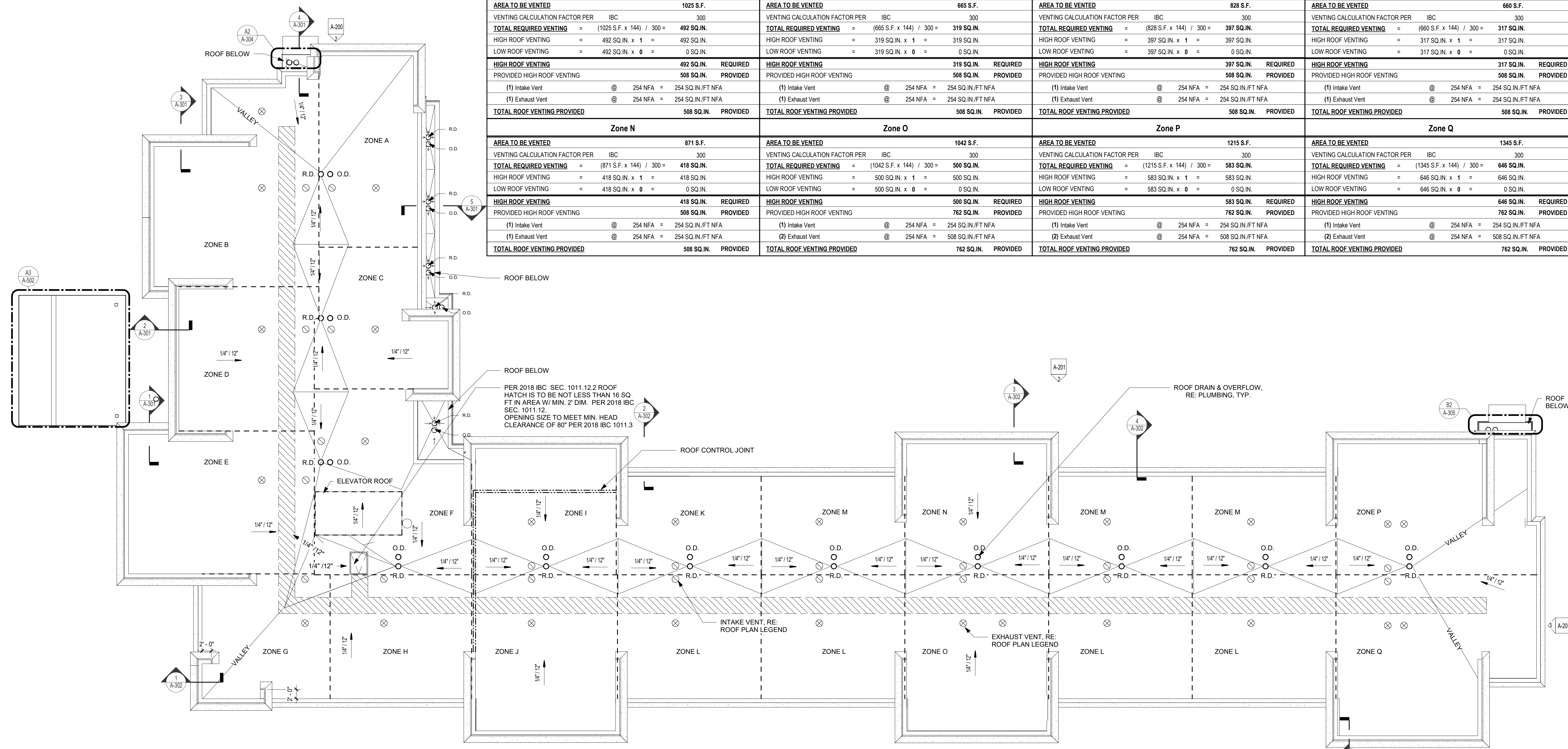
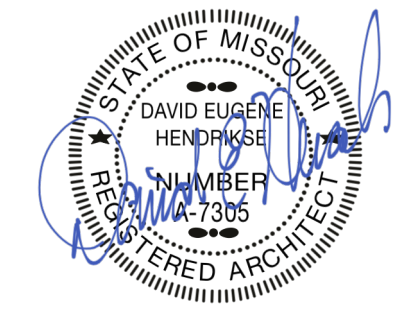


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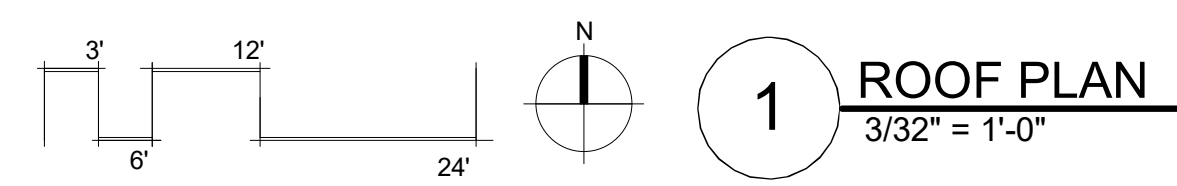
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LEE'S SUMMIT 64064 USA

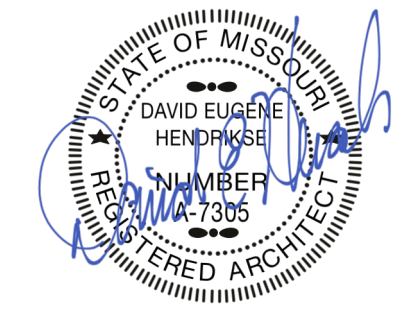
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ROOF PLAN
PROJECT NUMBER: 23098
SHEET NUMBER:

A-105



1 ROOF PLAN
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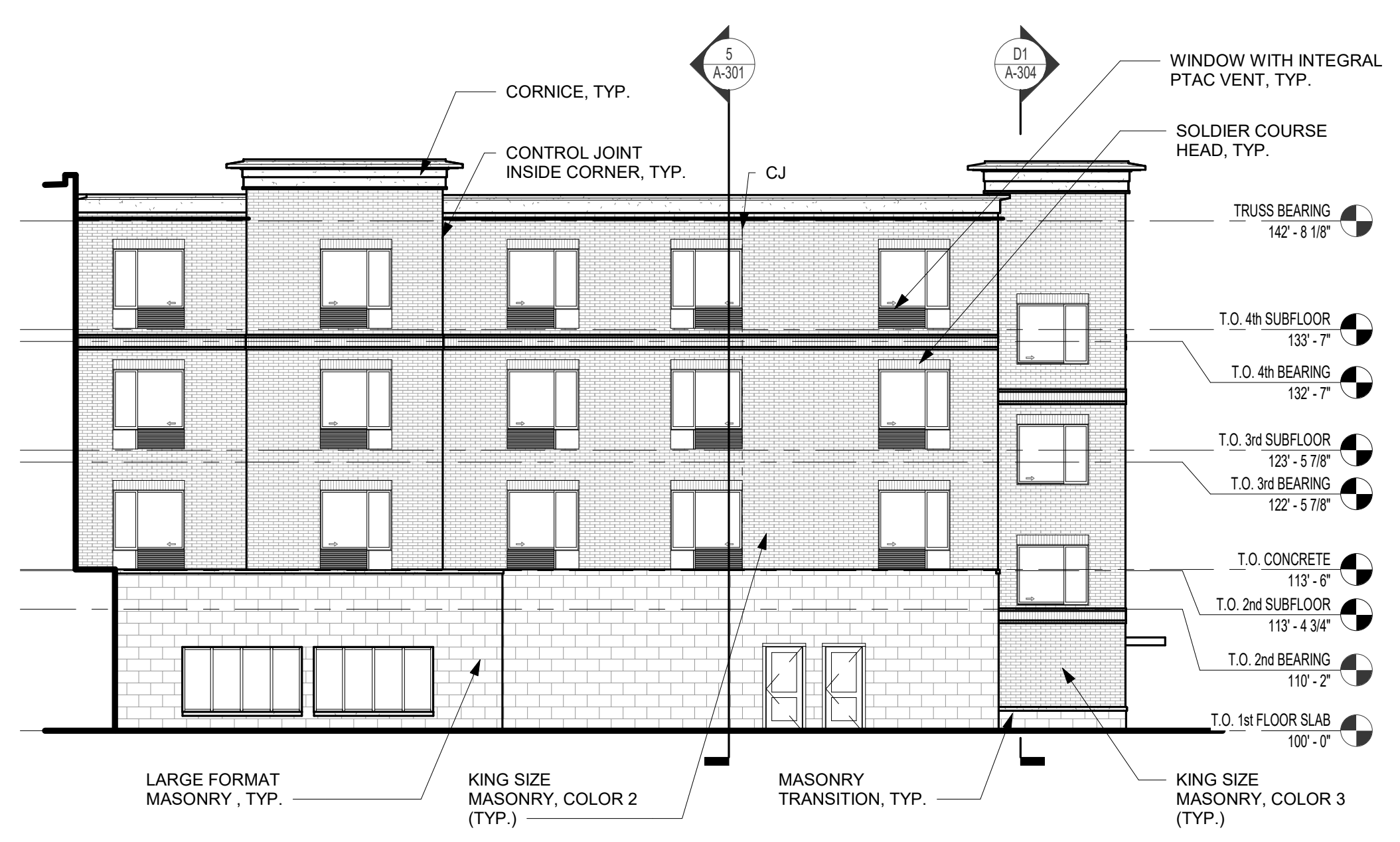
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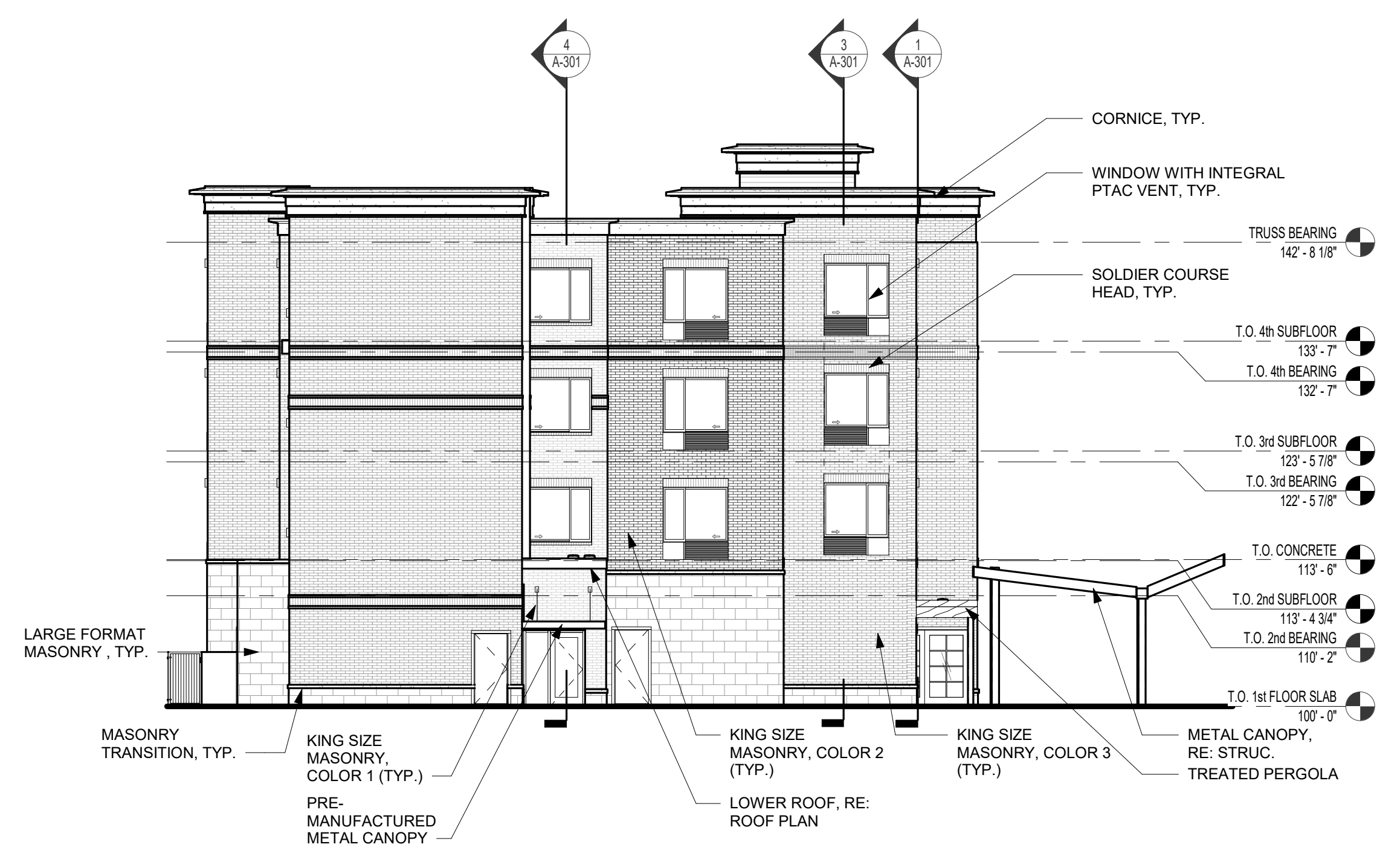
TOWNEPLACE SUITES
1810 NORTHEAST DOUGLAS ST.
LEE'S SUMMIT 64064 USA

SHEET TITLE
EXTERIOR ELEVATIONS
PROJECT NUMBER: 23098
SHEET NUMBER:

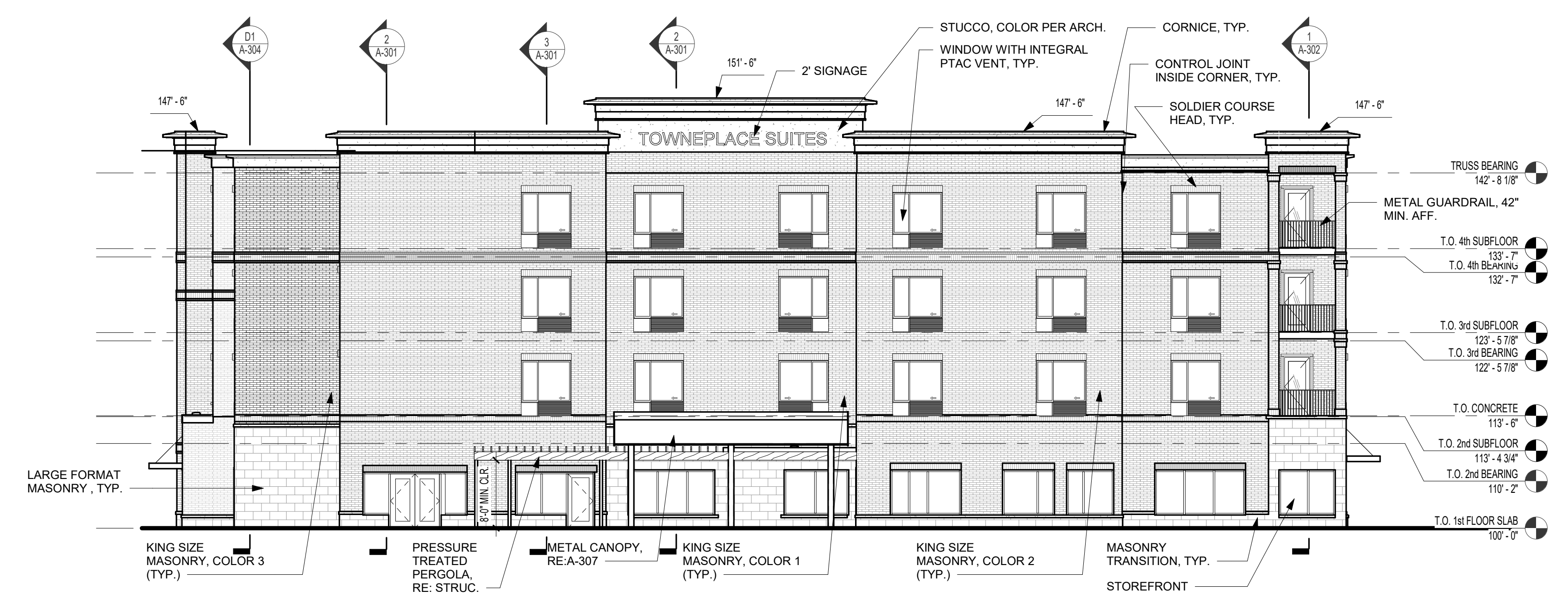
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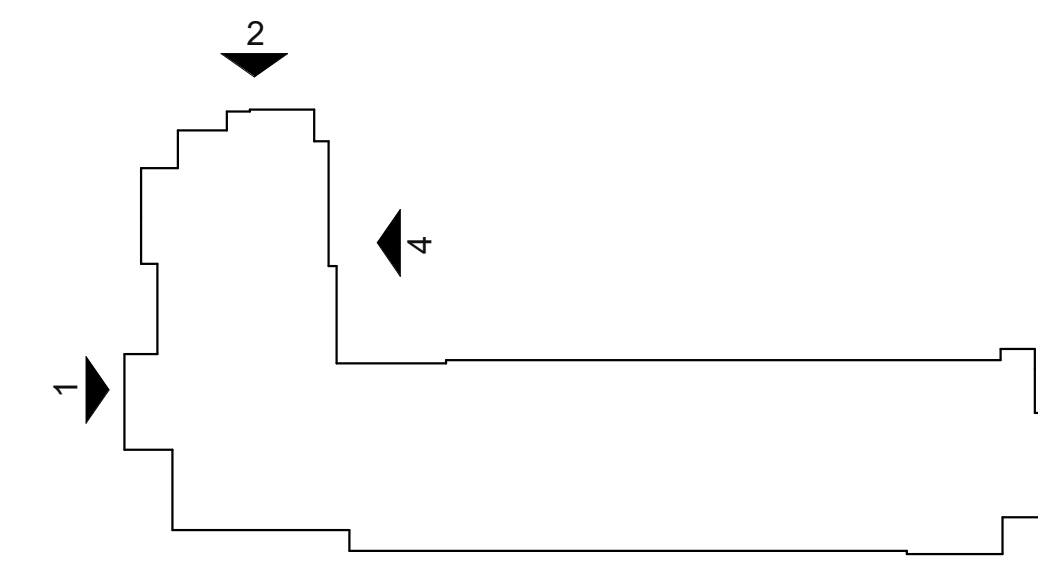
4 EAST ELEVATION (NORTH WING)
3/32" = 1'-0"



2 NORTH ELEVATION (NORTH WING)
3/32" = 1'-0"



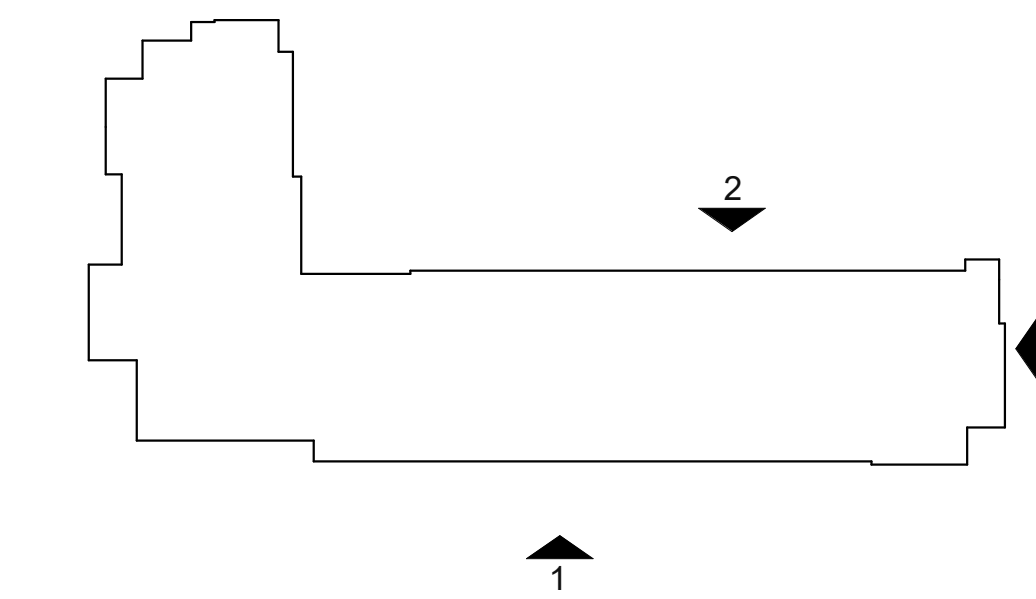
1 WEST ELEVATION - FRONT
3/32" = 1'-0"



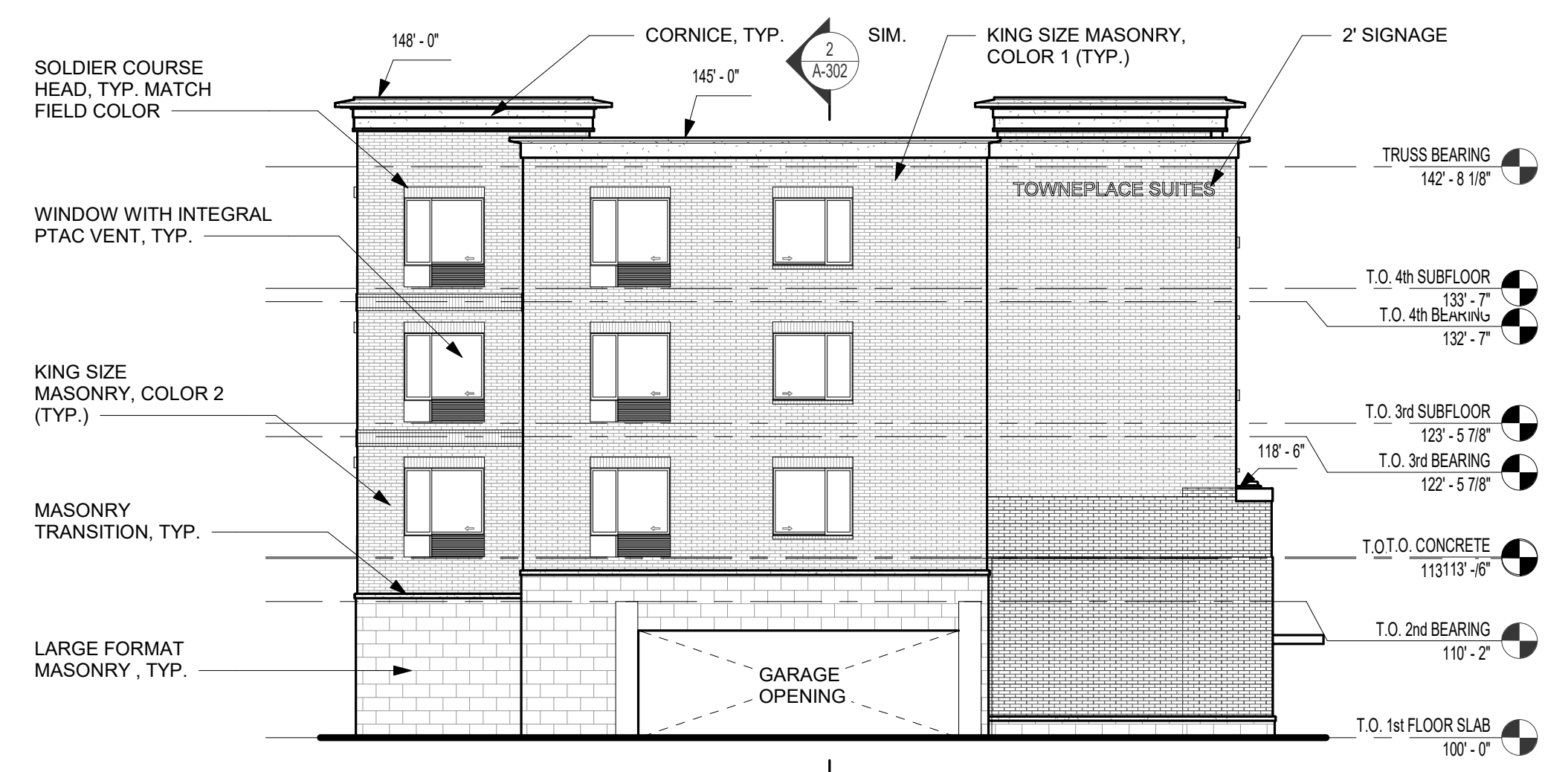
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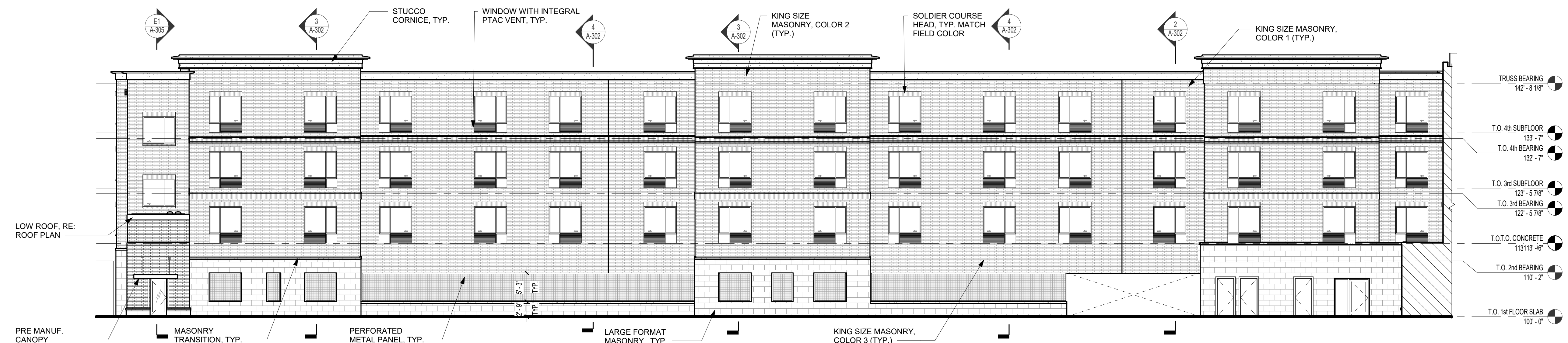
KEYNOTE LEGEND



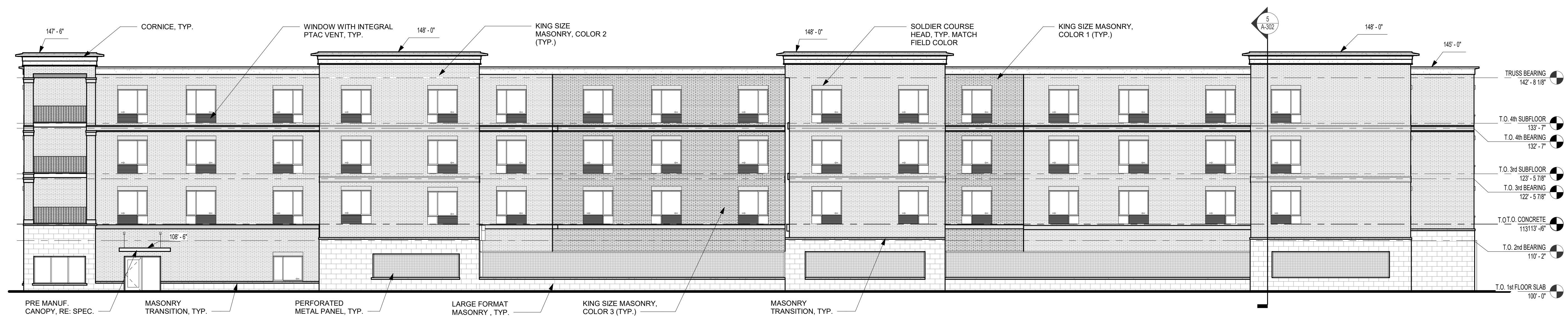
KEY PLAN



3 EAST ELEVATION (EAST WING)
 3/32" = 1'-0"

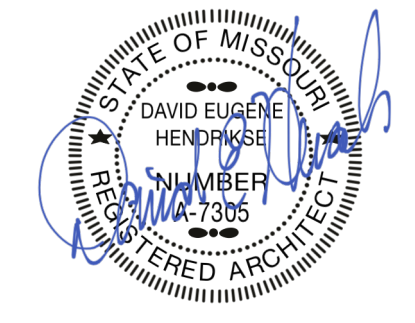


2 NORTH ELEVATION (EAST WING)
 3/32" = 1'-0"



1 SOUTH ELEVATION (EAST WING)
 3/32" = 1'-0"

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TOWNEPLACE SUITES

**1810 NORTHEAST DOUGLAS ST.
 LEE'S SUMMIT 64064 USA**

SHEET TITLE
 EXTERIOR ELEVATIONS

PROJECT NUMBER: 23098

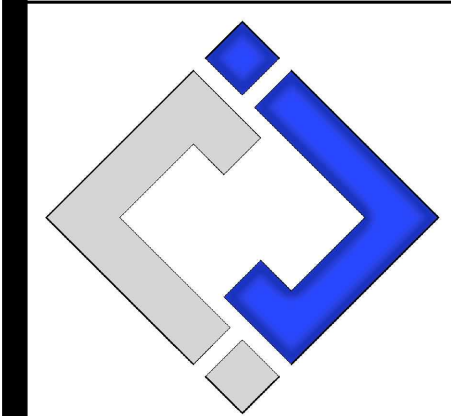
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A-201

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James Watson, P.E. November 1, 2023
 PE-2015017071
 MO Certificate of Authority # 2018029680



**J-SQUARED
 ENGINEERING**

2400 Bluff Creek Drive, Suite 101
 Columbia, Missouri 65201
 573 - 234 - 4492 phone
 www.j-squaredeng.com

J2 PROJECT No: J21006
 J2 DESIGN: ACW

ISSUE TITLE DATE
 CITY SUBMISSION 11 / 01 / 2023

Mechanical - Electrical - Plumbing Design Drawings for
Towneplace Suites By Marriott
 1810 Northeast Douglas St.
 Lee's Summit, Missouri 64064

AHJ APPROVAL STAMP

SHEET TITLE

**SITE UTILITIES
 PLAN**

SHEET NUMBER

MEP2

SITE PLAN SYMBOL LEGEND

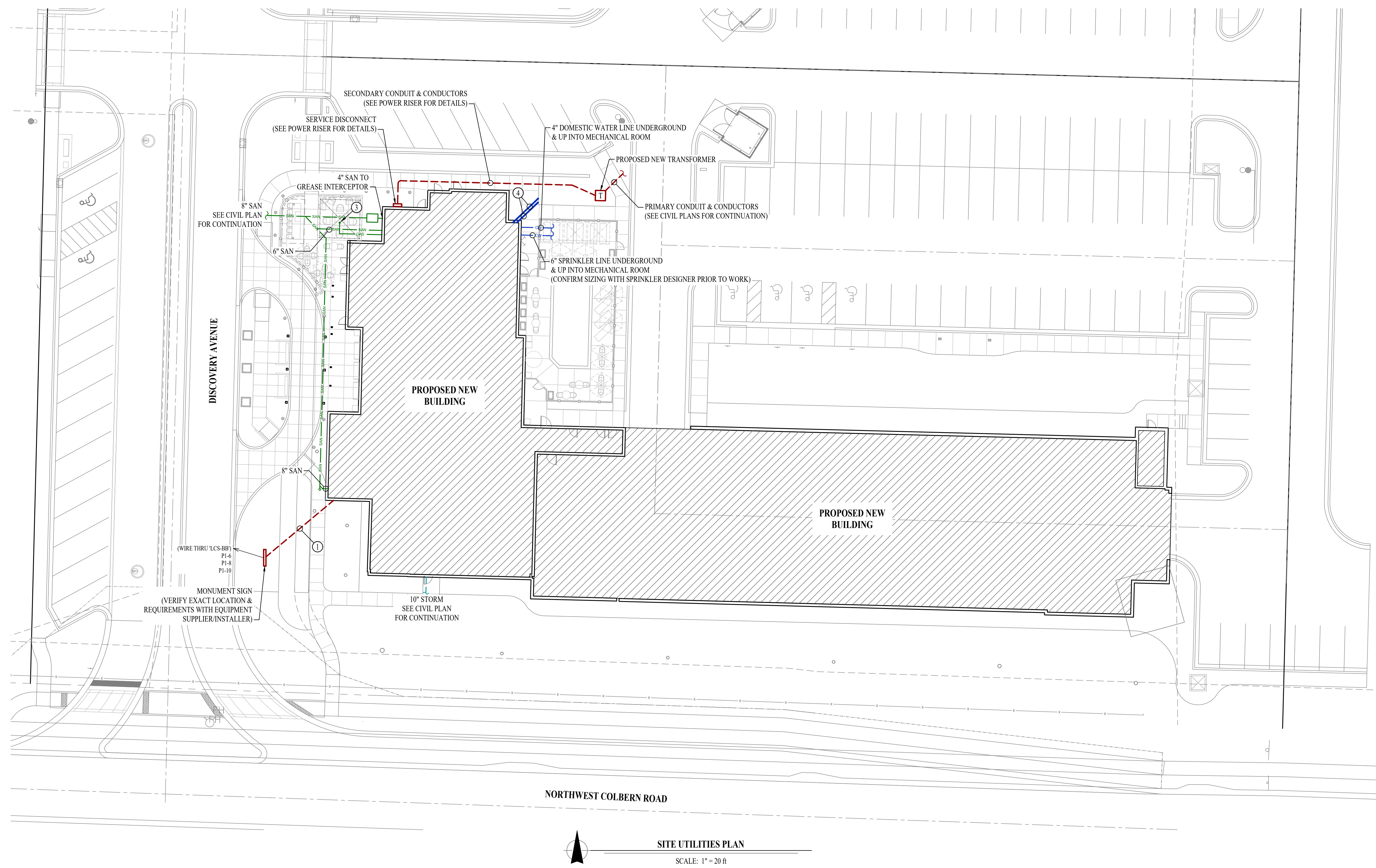
- SANITARY SEWER PIPING
- COLD WATER LINE
- WATER METER
- VALVE
- GAS LINE
- GAS METER
- TIE INTO EXISTING
- ELECTRIC

SITE UTILITIES PLAN GENERAL NOTES:

1. REFER TO CIVIL PLANS FOR EXACT UTILITY LOCATIONS, CONNECTIONS, DETAILS, ETC.

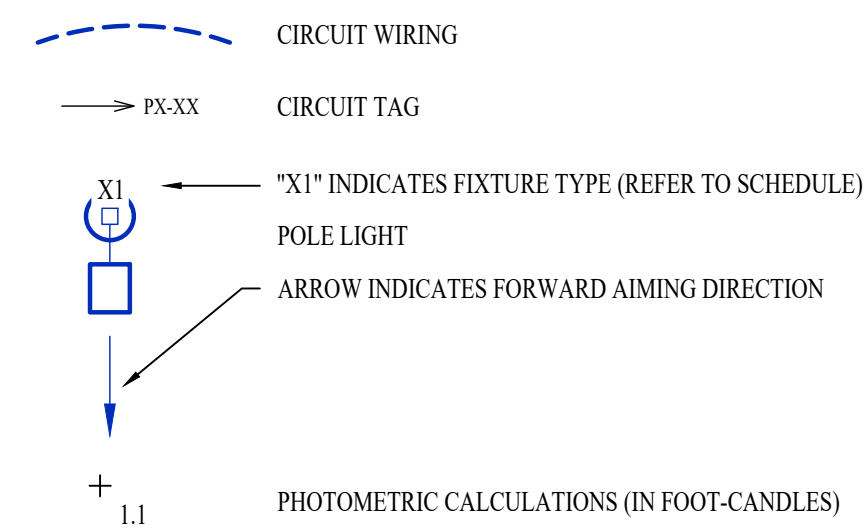
SITE UTILITIES PLAN KEY NOTES:

- ① (1) 2" CONDUIT WITH (6) #10 CU. & (3) #10 CU. EQ. GRD.
- ② STUB UP PRIMARY CONDUIT FOR FUTURE EXTENSION TO NEW TRANSFORMER FOR EV-CHARGING. COORDINATE WITH EVERGY.
- ③ TOTAL ESTIMATED LOAD AT GRILL/FIREPIT = 200kBTU. PLUMBING CONTRACTOR PROVIDE & INSTALL 120V ELECTRICALLY HELD (NORMALLY CLOSED) SOLENOID ON GAS LINE FOR EMERGENCY SHUT-OFF. COORDINATE WITH ELECTRICAL CONTRACTOR.
- ④ (2) 2" SLEEVES BELOW GRADE FROM MECHANICAL ROOM TO IRRIGATION METER FOR CONTROLS. COORDINATE WITH IRRIGATION CONTRACTOR.



SITE UTILITIES PLAN
 SCALE: 1" = 20'

SITE LIGHTING PLAN SYMBOL LEGEND



LIGHTING PLAN GENERAL NOTES:

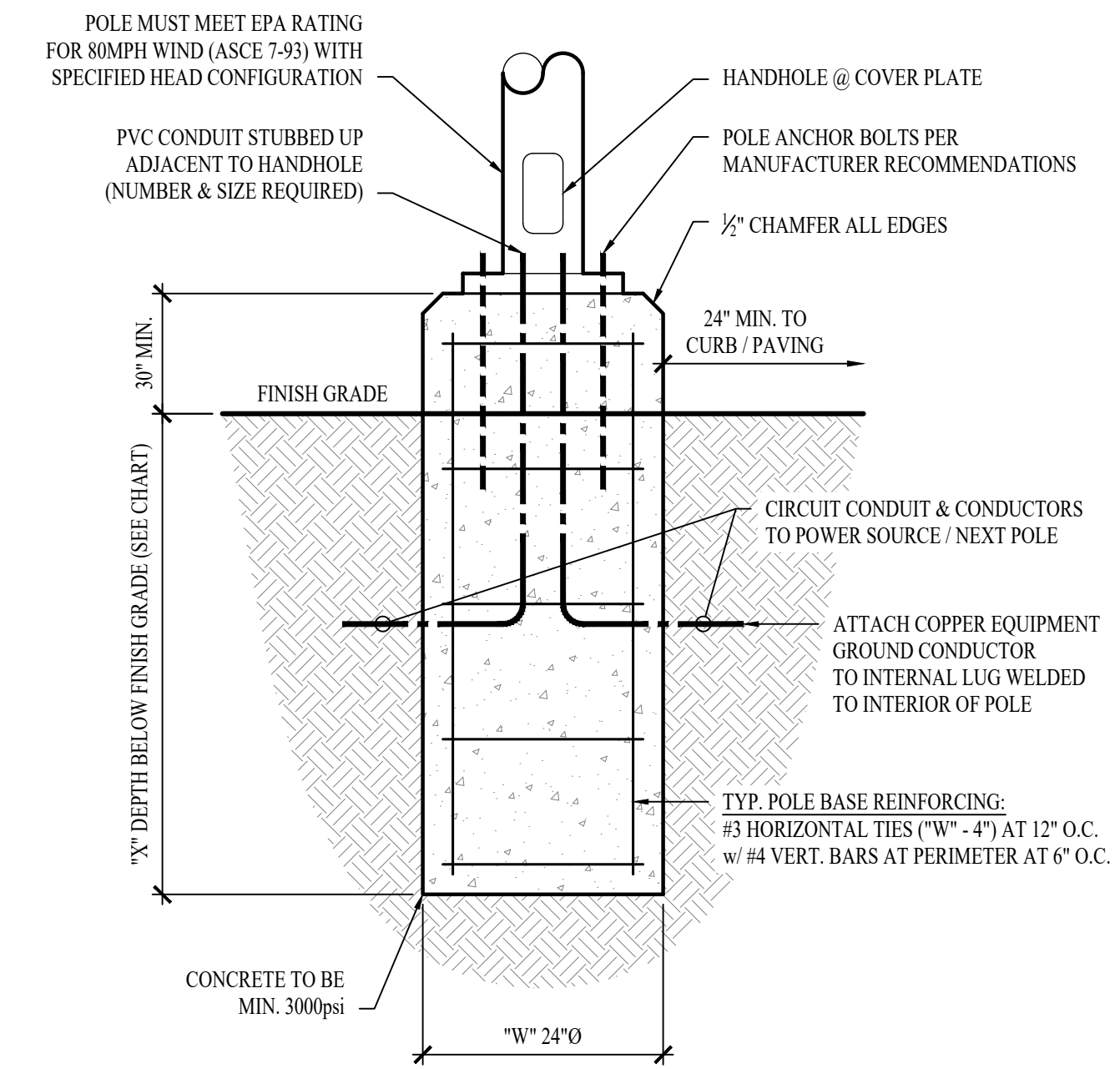
- SITE PHOTOMETRIC VALUES SHOWN HAVE BEEN CALCULATED PER SPECIFIED LIGHT FIXTURES AT INDICATED MOUNTING HEIGHTS. ANY CHANGES OR ALTERATIONS TO LIGHTING LAYOUT SHOWN WILL REQUIRE RECALCULATING SITE PHOTOMETRICS AND WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR / EQUIPMENT SUPPLIER.
- PHOTOMETRIC CALCULATIONS SHOWN DO NOT INCLUDE EXISTING LIGHT FIXTURE(S), ONLY NEW POLE LIGHT FIXTURE(S) SHOWN.
- SEE SHEET EL101 & EL111 FOR BUILDING MOUNTED EXTERIOR LIGHT FIXTURE CIRCUITING AND ADDITIONAL DETAILS.

SITE LIGHTING PLAN KEY NOTES:

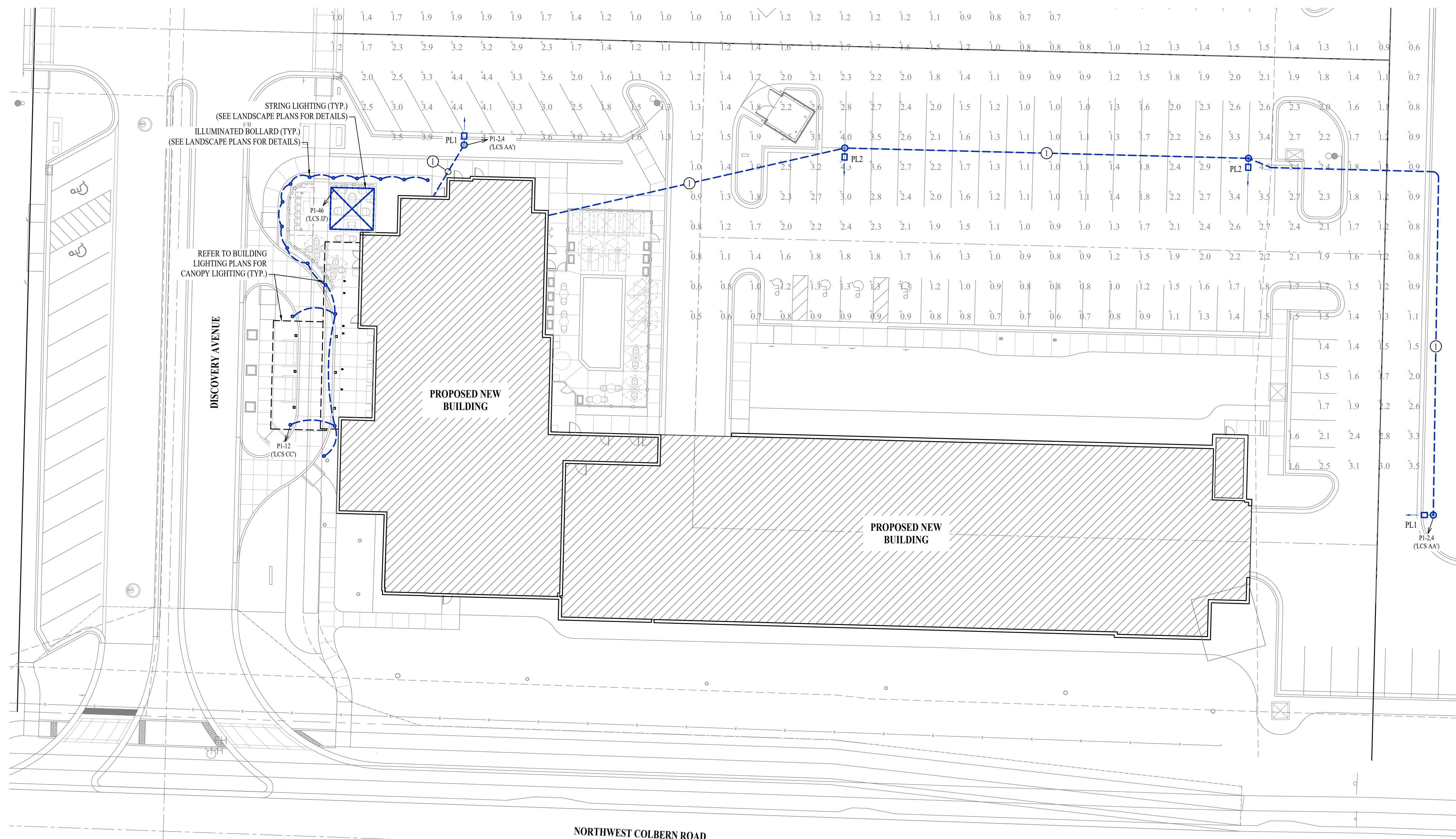
- ① 1" CONDUIT WITH (2) #10 CU. & (1) #10 CU. EQ. GRD.

SITE LIGHTING FIXTURE SCHEDULE										
TAG	MANUFACTURER (OR EQUAL)	MODEL NUMBER (OR EQUAL)	DESCRIPTION	MOUNTING	LUMEN OUTPUT	CCT (°K)	CRI	VOLTS	WATTS	NOTES
PL1	MCGRAW EDISON	PRV-XL-PA3B-740-U-T4W-HSS	POLE LIGHT	20" #SSS POLE ON 30" BASE	24,843	4000	70	208	234	WITH #MS-DIM-L40W MOTION SENSING DIMMING
PL2	MCGRAW EDISON	PRV-XL-PA3B-740-U-5WQ	POLE LIGHT	20" #SSS POLE ON 30" BASE	31,559	4000	70	208	234	WITH #MS-DIM-L40W MOTION SENSING DIMMING
NOTES: 1. VERIFY LIGHT FIXTURE FINISHES WITH OWNER / ARCHITECT PRIOR TO INSTALLATION										

POLE HEIGHT	"X" DEPTH
10ft - 14ft	4'-6"
15ft - 20ft	6'-0"
21ft - 25ft	7'-0"
26ft - 30ft	8'-0"

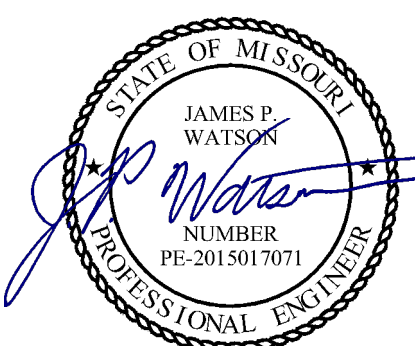


TYP. LIGHT POLE DETAIL - 1

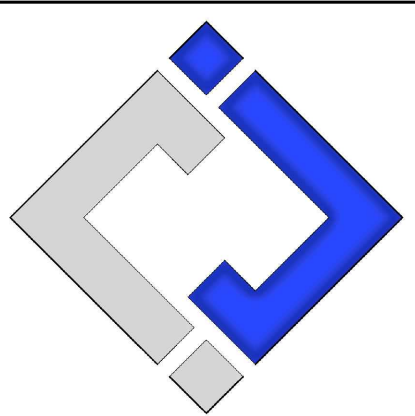


SITE LIGHTING PLAN

SCALE: 1" = 20' R



James Watson, P.E. November 1, 2023
 PE-2015017071
 MO Certificate of Authority # 2018029680



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 Columbia, Missouri 65201
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J2 PROJECT No: J21006
 J2 DESIGN: ACW

ISSUE TITLE DATE
 CITY SUBMISSION 11 / 01 / 2023

Mechanical - Electrical - Plumbing Design Drawings for
Towneplace Suites By Marriott
 1810 Northeast Douglas St.
 Lee's Summit, Missouri 64064

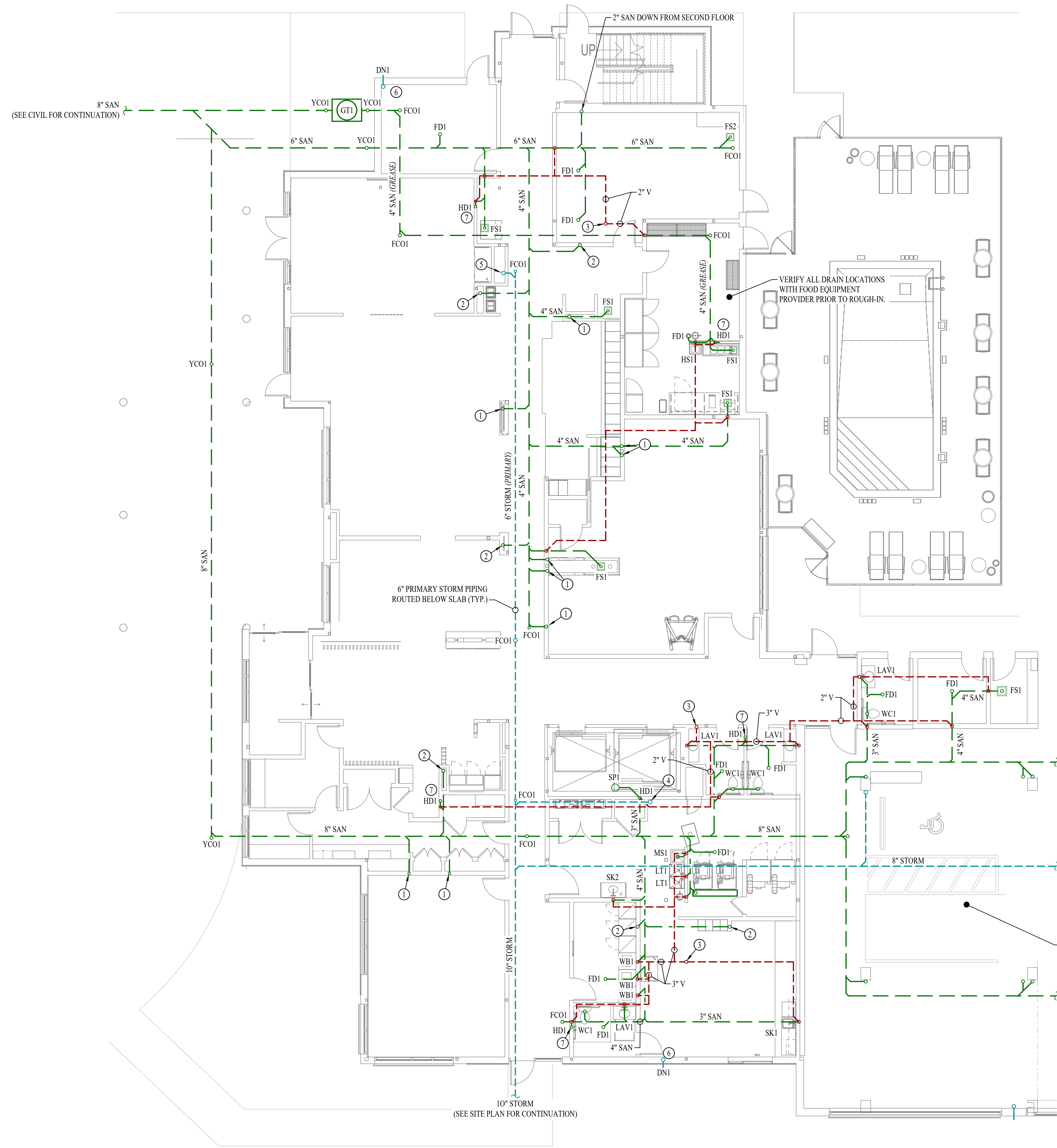
AHJ APPROVAL STAMP

SHEET TITLE

SITE LIGHTING PLAN

SHEET NUMBER

MEP3



SANITARY SEWER PLAN - 1ST FLOOR - AREA A
SCALE: 1/8" = 1'-0"

SANITARY SEWER PLAN SYMBOL LEGEND

- SANITARY SEWER PIPING
- VENT PIPING
- STORM PIPING
- PIPING TURNED DOWN / TURNED UP
- TIE INTO EXISTING

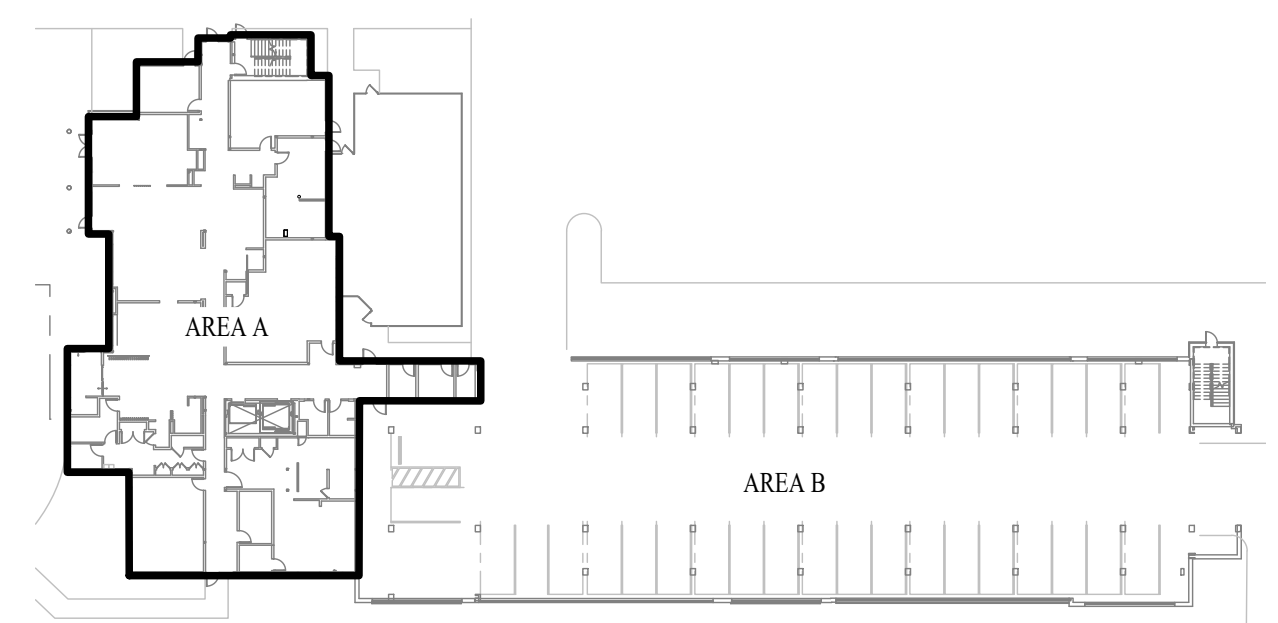
SANITARY SEWER PLAN GENERAL NOTES:

1. SEE SHEET P501 FOR ADDITIONAL PLUMBING NOTES, DETAILS, & SCHEDULES.
2. INCLUDE ACCESSIBLE CLEANOUT WITH ACCESS COVER AT BASE OF EACH SANITARY STACK.

SANITARY SEWER PLAN KEY NOTES:

- ① 3" SAN DOWN FROM SECOND FLOOR.
- ② 4" SAN DOWN FROM SECOND FLOOR.
- ③ 3" VENT UP TO SECOND FLOOR.
- ④ 4" STORM DRAIN PIPING DOWN FROM SECOND FLOOR.
- ⑤ 6" STORM DRAIN PIPING DOWN FROM SECOND FLOOR.
- ⑥ STORM PIPING DOWN FROM SECOND FLOOR TO DOWNSPOUT NOZZLE AT 18" ABOVE GRADE.
- ⑦ HUB DRAIN IN WALL WITH ACCESS PANEL FOR CONDENSATE FROM GUEST ROOM PTACS.

SEE SHEET PS111 FOR SANITARY DETAILS IN THIS AREA



KEY PLAN
SCALE: 1" = 50'

J2 PROJECT No:	J21006
J2 DESIGN:	ACW
ISSUE TITLE	DATE
CITY SUBMISSION	11 / 01 / 2023

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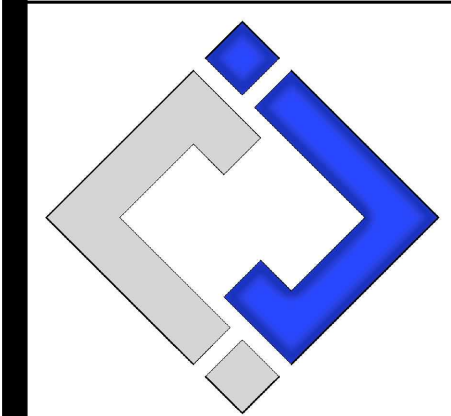
AHJ APPROVAL STAMP

SHEET TITLE
SANITARY SEWER PLAN - 1ST FLOOR - AREA A

SHEET NUMBER
PS101



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J2 PROJECT No: J21006
 J2 DESIGN: ACW

ISSUE TITLE DATE
 CITY SUBMISSION 11 / 01 / 2023

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 1810 Northeast Douglas St.
 Lee's Summit, Missouri 64064

AHJ APPROVAL STAMP

SHEET TITLE
WATER & GAS PLAN - 1ST FLOOR - AREA A

SHEET NUMBER
PW101

WATER & GAS PLAN SYMBOL LEGEND

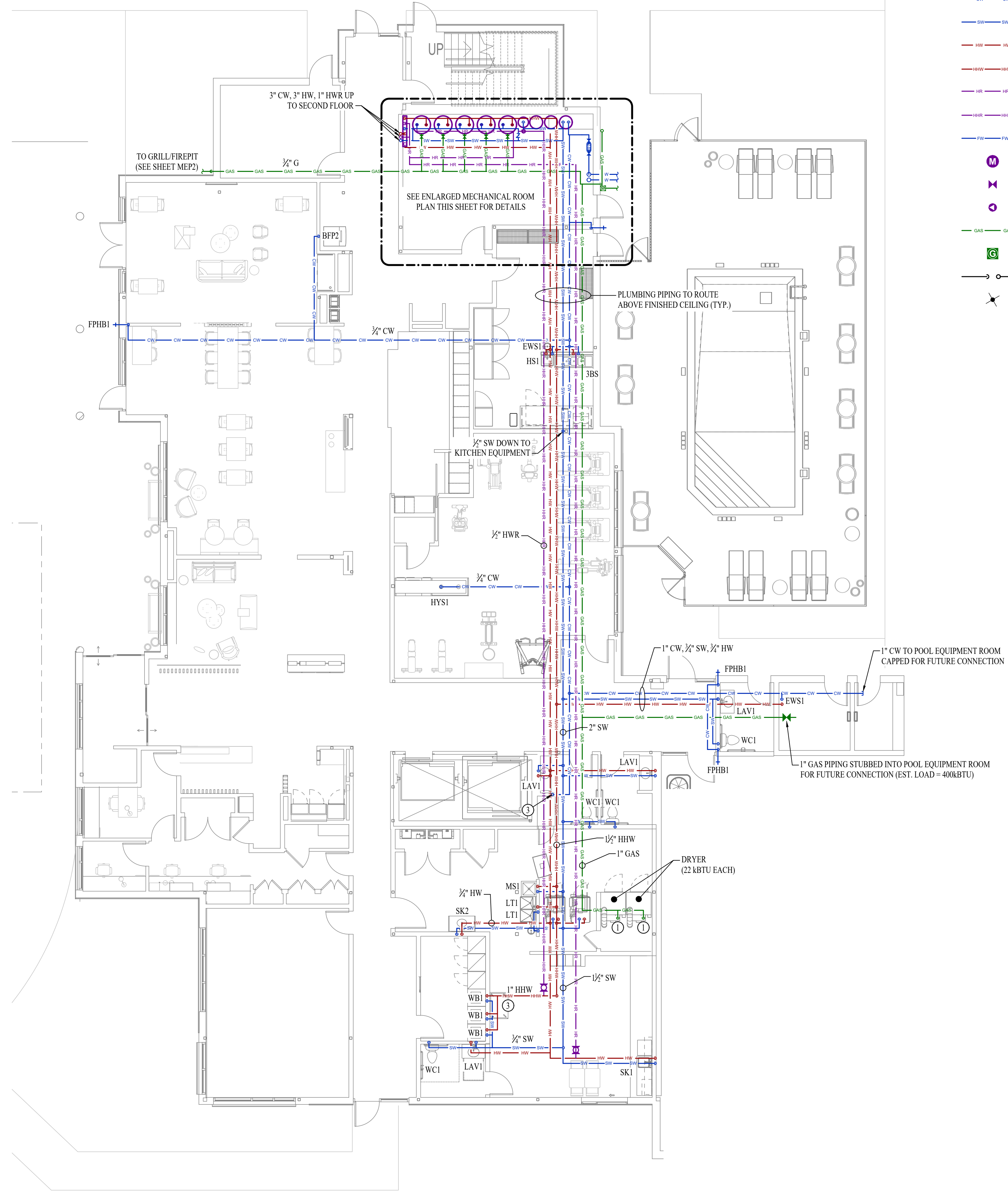
- CW — CW COLD WATER LINE
- - - CSW COLD SOFT WATER LINE
- HW — HW HOT (120°F) WATER LINE
- - - HSW HOT (140°F) WATER LINE
- HR — HR HOT (120°F) WATER RECIRCULATION LINE
- - - HSR HOT (140°F) WATER RECIRCULATION LINE
- FW — FW FILTERED WATER LINE
- M WATER METER
- X VALVE
- P PUMP
- GAS — GAS GAS LINE
- G GAS METER
- PIPING TURNED DOWN / TURNED UP
- ✕ TIE INTO EXISTING

WATER & GAS PLAN GENERAL NOTES:

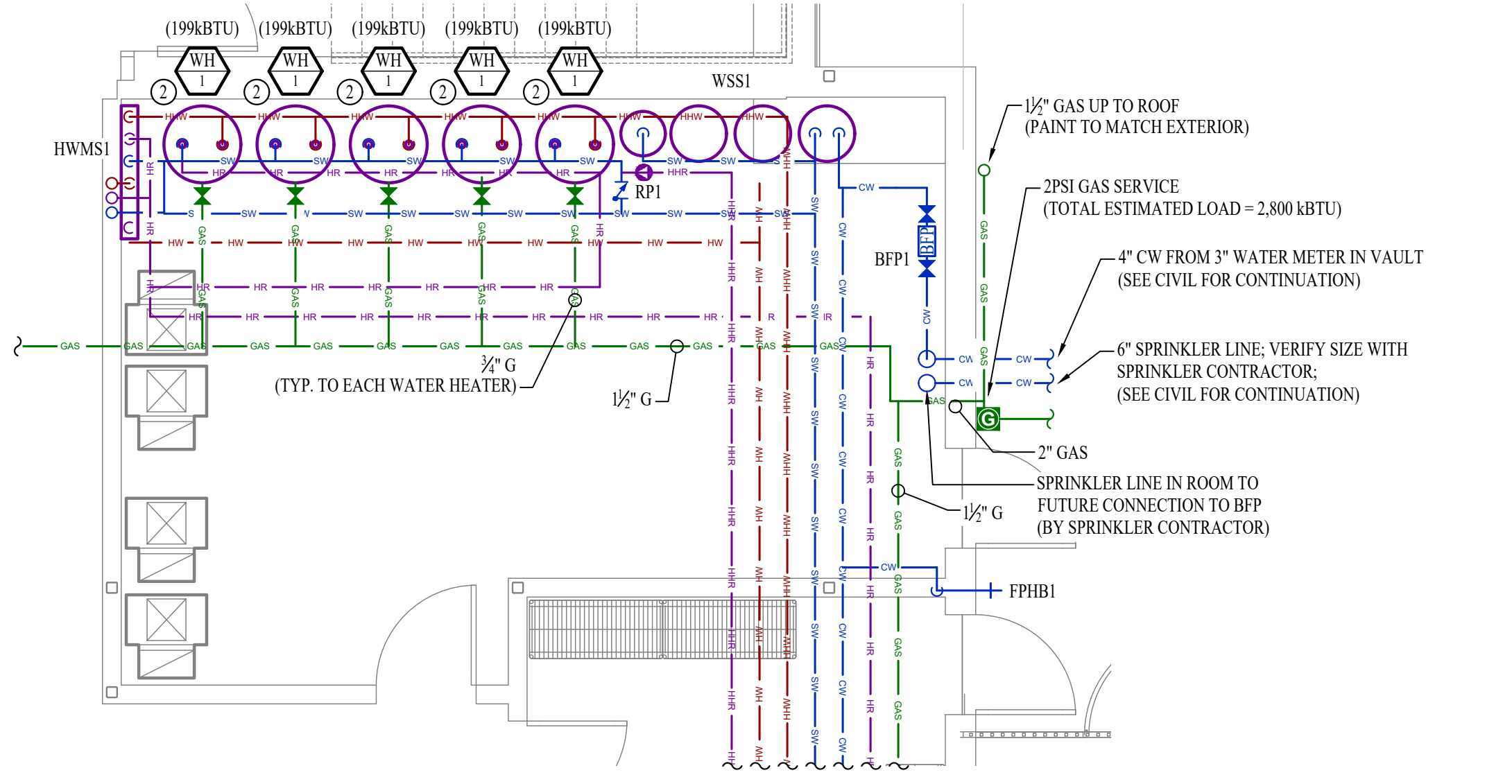
1. SEE SHEET P501 FOR ADDITIONAL PLUMBING NOTES, DETAILS, & SCHEDULES.
2. PROVIDE & INSTALL 2PSI TO 11"W.C. VENTLESS REGULATOR & SHUT-OFF VALVE AT ALL GAS EQUIPMENT.
3. CALCULATED WATER DEMAND FOR THIS FACILITY IS 900 WSFUS (APPROXIMATELY 180GPM)

WATER & GAS PLAN KEY NOTES:

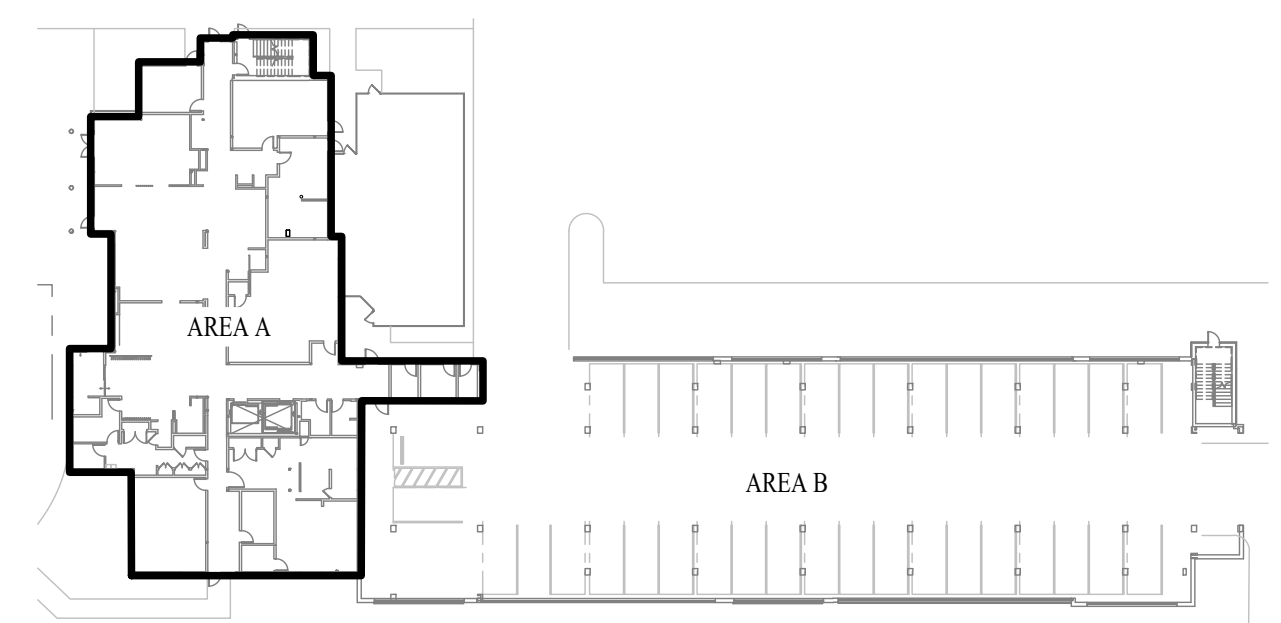
- ① PROVIDE UNION, 3" MINIMUM DIRT LEG, SHUT-OFF VALVE, & PRESSURE REGULATOR IN GAS PIPING AT CONNECTION TO EQUIPMENT. VENT PRESSURE REGULATOR TO OUTSIDE AS REQUIRED. PROVIDE A UNION ON BOTH SIDES OF REGULATOR. REGULATOR MUST BE INSTALLED IN HORIZONTAL POSITION DOWNSTREAM OF DIRT LEG.
- ② PROVIDE & INSTALL WATER HEATER VENT & COMBUSTION AIR TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS.
- ③ 3/4" CW UP TO ROOF HYDRANT(S) ON ROOF. (SEE SHEET MEP4 FOR HYDRANT LOCATIONS)



WATER & GAS PLAN - 1ST FLOOR - AREA A
 SCALE: 1/8" = 1'-0"



ENLARGED MECHANICAL ROOM PLAN
 SCALE: 1/4" = 1'-0"



KEY PLAN
 SCALE: 1" = 50' R