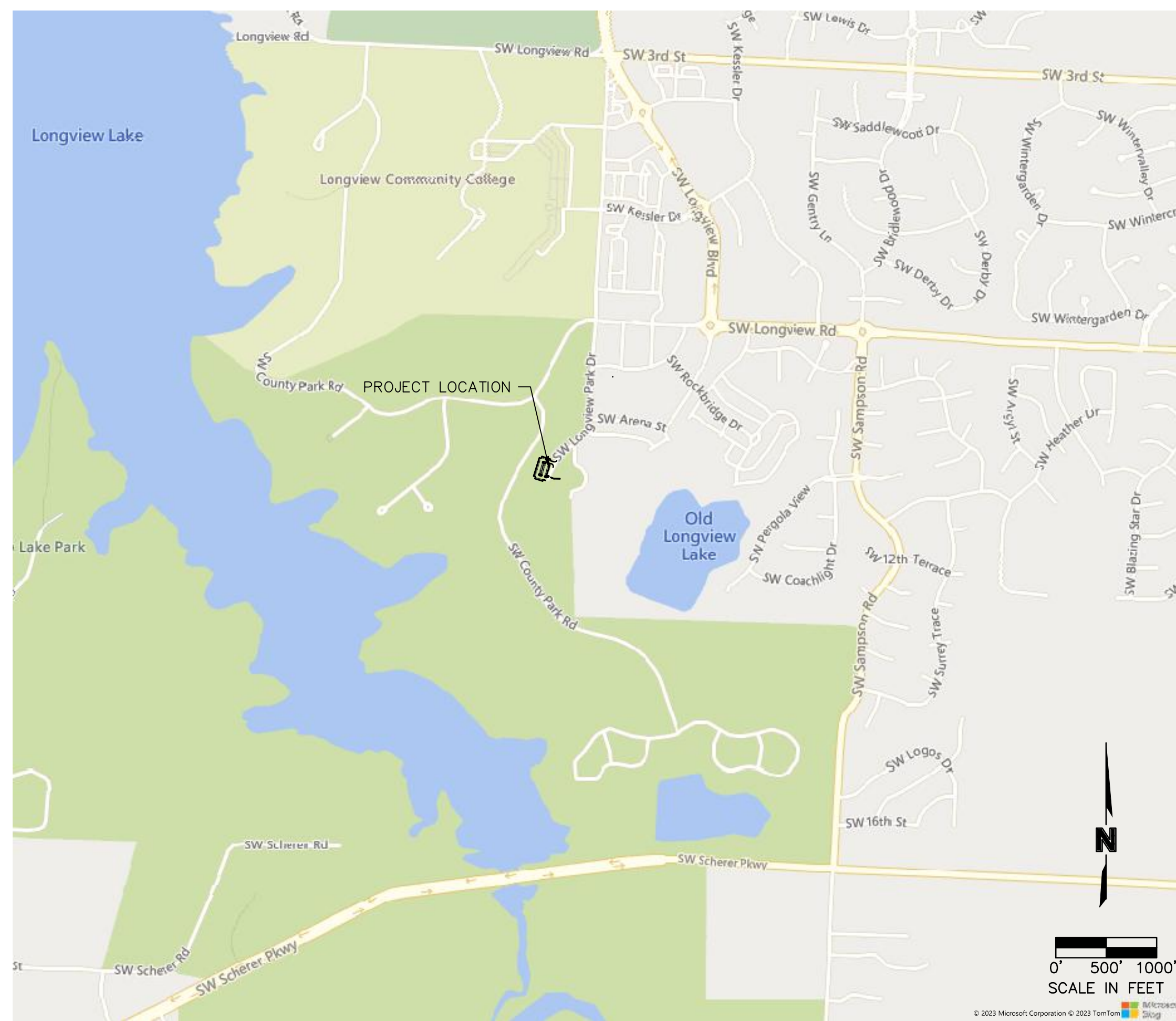


LONGVIEW MANSION PARKING ADDITION PRELIMINARY DEVELOPMENT PLAN

SECTION 09, TOWNSHIP 47N, RANGE 32W
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PROJECT TEAM CONTACT LIST
<u>DEVELOPER</u> NLV MANSION LLC 1125 GRAND BLVD, SUITE 202 KANSAS CITY, MO 64108 CONTACTS: MARK MUEBERLY, MARK McHUGH PHONE: 816.581.3997 EMAIL: MMUEBERLY@SUNFLOWERKC.COM, MARK@SUNFLOWERKC.COM
<u>ENGINEERS & LANDSCAPE ARCHITECTS</u> OLSSON 1301 N BURLINGTON STREET, STE 100 NORTH KANSAS CITY, MO 64116 CONTACT: CHRIS HOLMQUIST, PLA PHONE: 816.361.1177 EMAIL: CHOLMQUIST@OLSSON.COM



SHEET LIST TABLE	
Sheet Number	Sheet Title
C000	TITLE SHEET
C100	EXISTING CONDITIONS
C200	SITE PLAN
C300	GRADING & UTILITIES PLAN
L100	LANDSCAPE PLAN
E100	SITE LIGHTING PHOTOMETRICS PLAN

PROPERTY DESCRIPTION:
OBTAINED VIA JACKSON COUNTY PARCEL VIEWER

NEW LONGVIEW MANSION LOTS 1 AND 2---ALL TH PT LOT 1 DAF: BEG AT NW COR SD LOT 1 TH E ALG N LI 328.21' TH N 55 DEG 22 MIN 30 SEC E 31.41' TH NELY ALG A CURVE TO F55.71' TH S 53 DEG 58 MIN 07 SEC E 70'; TH SWLY ALG CURVE TO R1 50.65' TH SLY ALG CUR TO LF 23.27' TH SELY ALG CURVE TO LF 44.50' TO PT ON E LI LOT 1 TH S ALG SD E LI 152' MOL TH NWLY 170' MOL TH S 34 DEG 05 MIN 56 SEC W 246.92' TH S 10; DEG 35 MIN 45 SEC W 246.69' TH N 86 DEG 45 MIN 08 SEC W 288.48' TO PT ON W LI LOT 1 TH N 17 DEG 13 MIN 45 SEC E 619' MOL TO POB

drawn by: _____ C:JH	
checked by: _____ CW	
approved by: _____ SS	
QA/QC by: _____ CJH	
project no.: 022-06318	
drawing no.: C-TTL01-02206318	
date: 2023.11.01	
SHEET C000	
TITLE SHEET	
LONGVIEW MANSION PARKING ADDITION PRELIMINARY DEVELOPMENT PLAN	
LEE'S SUMMIT, MO	
2023	
REV. NO.	DATE
REVISIONS DESCRIPTION	
BY	
olsson	
Olsson - Civil Engineering Missouri Certificate of Authority #001582 1301 Burlingdon Street North Kansas City, MO 64116 TEL 816.361.1177 www.olsson.com	

DWG: F:\2022\06001-08500\022-06318\40-Design\AutoCAD\Preliminary Plans\Sheets\GNCV\C_EXC01_02206318.dwg
DATE: Oct 31, 2023 10:47am XREFS: C_PTBK_02206318 C_XTPO_02206318 C_XBASE_02206318



EXISTING CONDITIONS

LONGVIEW MANSION PARKING ADDITION PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

BY

REVISIONS DESCRIPTION

DATE _____

REV.

REVISIONS

2023

drawn by: _____ CJH
checked by: _____ CW
approved by: _____ SS
QA/QC by: _____ CJH
project no.: _____ 022-06318
drawing no.: C_EXC01_02206318
date: _____ 2023.11.01

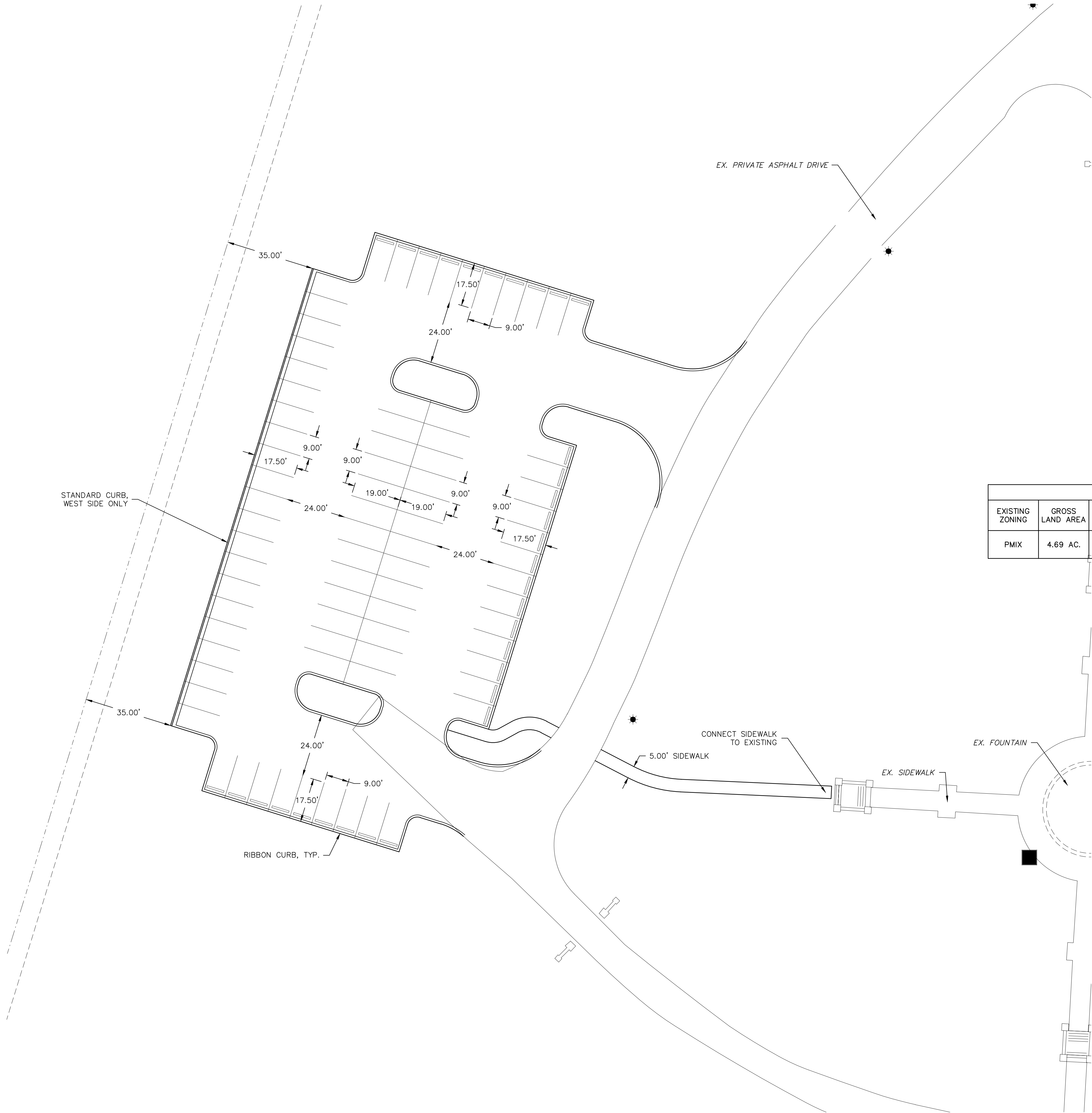
SHEET
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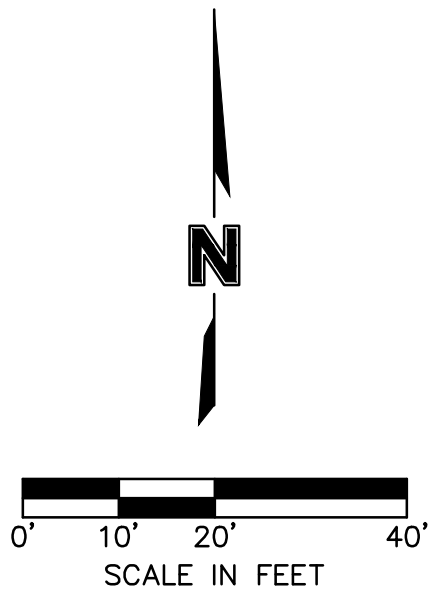
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1301 Burlington Street
North Kansas City, MO 64116

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SITE DEVELOPMENT DATA										
EXISTING ZONING	GROSS LAND AREA	PROPOSED STREET R/W	NET LAND AREA	LAND USE	BUILDING FLOORS	BUILDING FLOOR AREA	BUILDING COVERAGE	F.A.R.	PARKING STALLS REQUIRED	PARKING STALLS PROVIDED
PMIX	4.69 AC.	0	4.69 AC.	EVENT SPACE PARKING	N/A	N/A	N/A	N/A	75	79



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REVISIONS DESCRIPTION

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SITE PLAN

LONGVIEW MANSION PARKING ADDITION
PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

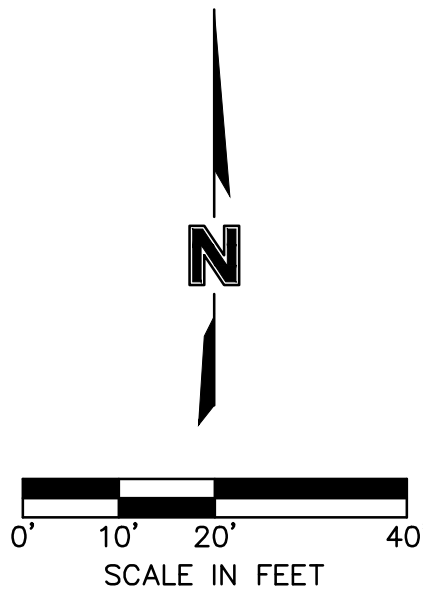
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checked by: CW
approved by: SS
QA/QC by: C/JH
project no.: 022-06318
drawing no.: C_SIT01_02206318
date: 2023.11.01

SHEET
C200

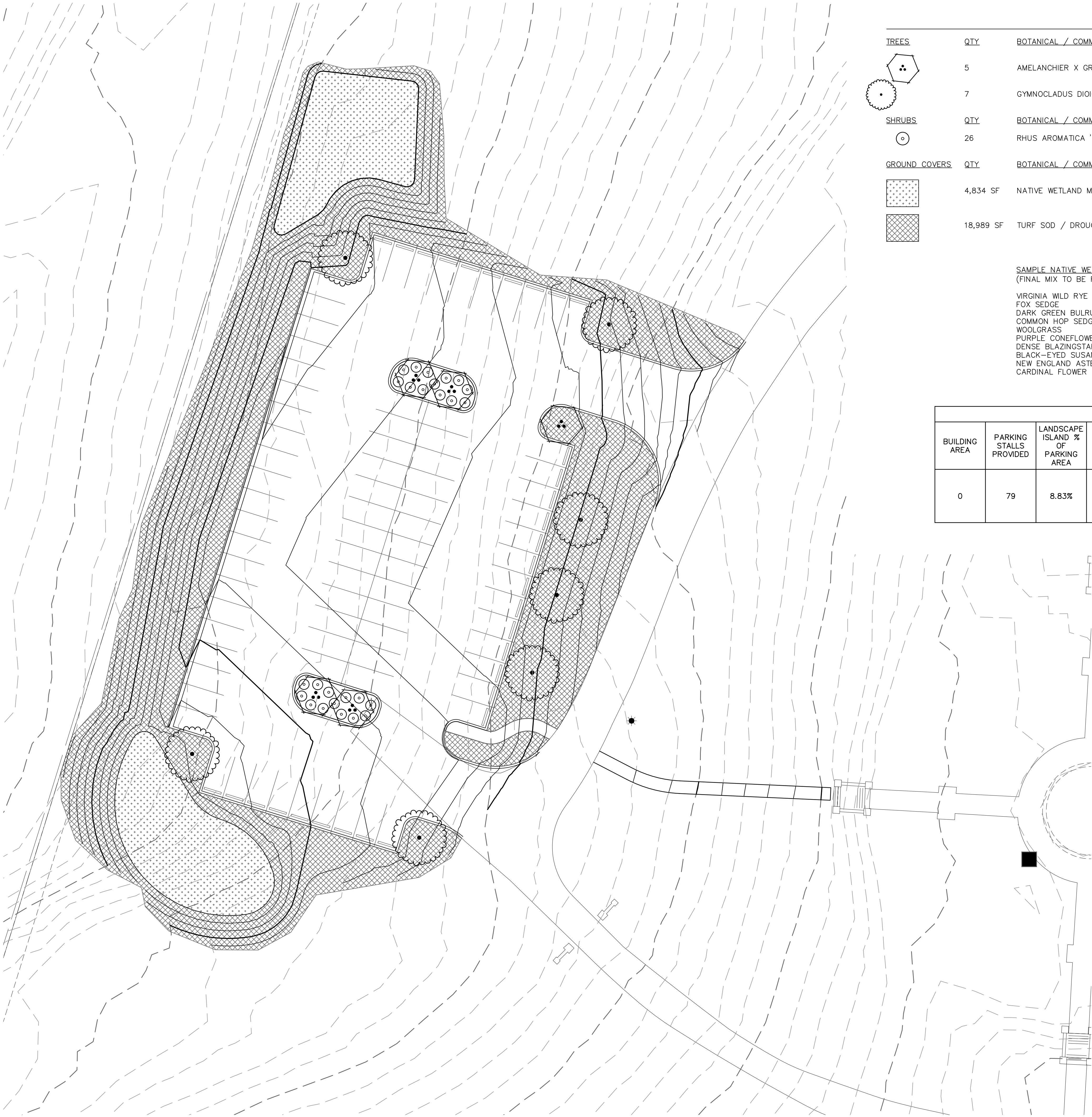
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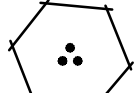
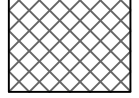


NOTE: NO PUBLIC OR PRIVATE WATER, SANITARY SEWER, OR STORM SEWER PROPOSED.

[illegible]

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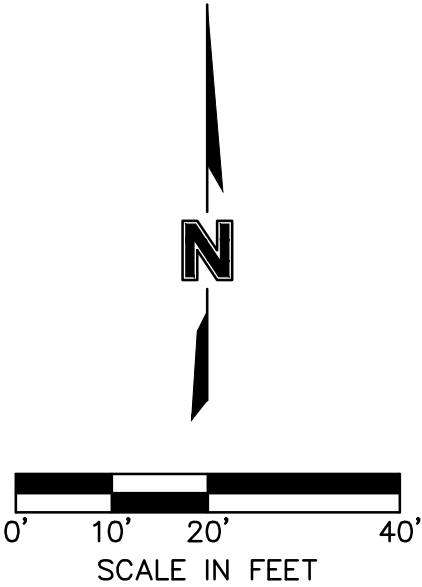


TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION	CALIPER
	5	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	N/A	B & B	3"
	7	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	N/A	B & B	3"
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE		
	26	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT		
	4,834 SF	NATIVE WETLAND MIX X / SEE WETLAND SEED MIX NOTES	SQFT		
	18,989 SF	TURF SOD / DROUGHT TOLERANT FESCUE BLEND	SQFT		

SAMPLE NATIVE WETLAND SEED MIX
(FINAL MIX TO BE FINALIZED WITH CONSTRUCTION DOCUMENTS / FDP)

VIRGINIA WILD RYE
FOX SEDGE
DARK GREEN BULRUSH
COMMON HOP SEDGE
WOOLGRASS
PURPLE CONEFLOWER
DENSE BLAZINGSTAR
BLACK-EYED SUSAN
NEW ENGLAND ASTER
CARDINAL FLOWER

LANDSCAPE DATA										
BUILDING AREA	PARKING STALLS PROVIDED	LANDSCAPE ISLAND % OF PARKING AREA	R/W LENGTH	LANDSCAPE STRIP BETWEEN PARKING AND R/W	STREET FRONTAGE TREES	STREET FRONTAGE SHRUBS	OPEN YARD AREA TREES	OPEN YARD AREA SHRUBS	PARKING LOT SCREENING SHRUBS	BUFFER
0	79	8.83%	N/A	N/A	N/A	N/A	12 PROPOSED PLUS EXISTING VEGETATION TO REMAIN	26 PROPOSED PLUS EXISTING VEGETATION TO REMAIN	N/A	N/A



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LANDSCAPE PLAN

LONGVIEW MANSION PARKING ADDITION
PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

drawn by: C/JH

checked by: C/W

approved by: SS

QA/QC by: C/JH

project no.: 022-06318

drawing no.: C LSC01_02206318

date: 2023.11.01

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BY

2023

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SHEET

L100



1 SITE LIGHTING PHOTOMETRICS PLAN
SCALE: 1" = 20'-0"



D-Series Size 1 LED Area Luminaire



Catalog Number
Notes
Type

Introduction
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED

DSX1 LED	Forward optics	(this section 70CRI only)	Automotive front row	TSM Type V	MVOLT (120V-277V) 4	Shipped included
P1	P6	30K 3000K	AFR Type I short T15	medium TSLG Type	HVOLT (347V-480V) 5.6	Square pole mounting
P2	P7	40K 4000K	T2M Type II medium	V low glare TSW	XVOLT (277V-480V) 7.9	SFA (#8 drilling) Round pole mounting RPA (#8 drilling) Square pole mounting SPAS #5
P3	P8	50K 5000K	70CRI	Type V wide BLC3		drilling 9 Round pole mounting RPAS #5
P4	P9	(this section 80CRI only, extended lead times apply)	T3LG Type III low glare	Type IV backlight control 3 BLC4	208 16, 26	drilling 9 Square pole mounting RPAS #5
P5			3 T4M Type IV medium	Type IV backlight control 3 LCCO Left corner cutoff 3	244 16, 26	Square narrow pole mounting #8 drilling
	Rotated optics		T4LG Type IV low glare	3 TFTM Forward throw medium	277 16, 26	WBA Wall bracket 10 Mast arm adapter MA (mounts on 2 3/8" OD horizontal tenon)
P10 1	P12 1	27K 2700K	80CRI		244 16, 26	
P11 1	P13 1	30K 3000K	80CRI		277 16, 26	
		35K 3500K	80CRI		244 16, 26	
		40K 4000K	80CRI		277 16, 26	
		50K 5000K	80CRI		480 16, 26	

Shipped installed

NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. 11, 12, 20, 21 Highlow, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. 13, 20, 21 NEMA twist-lock receptacle only (controls ordered separately) 14 Five-pin receptacle only (controls ordered separately) 14, 21

Seven-pin receptacle only

(controls PER7 ordered separately) 14, 21 Field adjustable output 15, 21 FAO Bi-level switched dimming, 30%, 16, 21 BL30 Bi-level switched dimming, 50% 16, 21 BL50 DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) 17 DS Chul switching 18, 19, 21

Shipped installed

SPD20KV 20KV surge protection HS Houseside shield (black finish standard) 22 Left rotated optics 1 Right rotated optics 1 CCE Coastal Construction 23 50°C ambient operation 24 Buy America(n) Act Compliant BAA Single fuse (120, 277, 347V) SF 26 Double fuse (208, 240, 480V) 26
Shipped separately
EGSR External Glare Shield (reversible, field install required, matches housing finish) Bird Spikes (field install required)

DDBXD Dark Bronze
DBLXD Black
DNAXD Natural Aluminum
DWHXD White
DOBXD Textured dark bronze
DBLXD Textured black
DNATXD Textured natural aluminum
DWHGXD Textured white

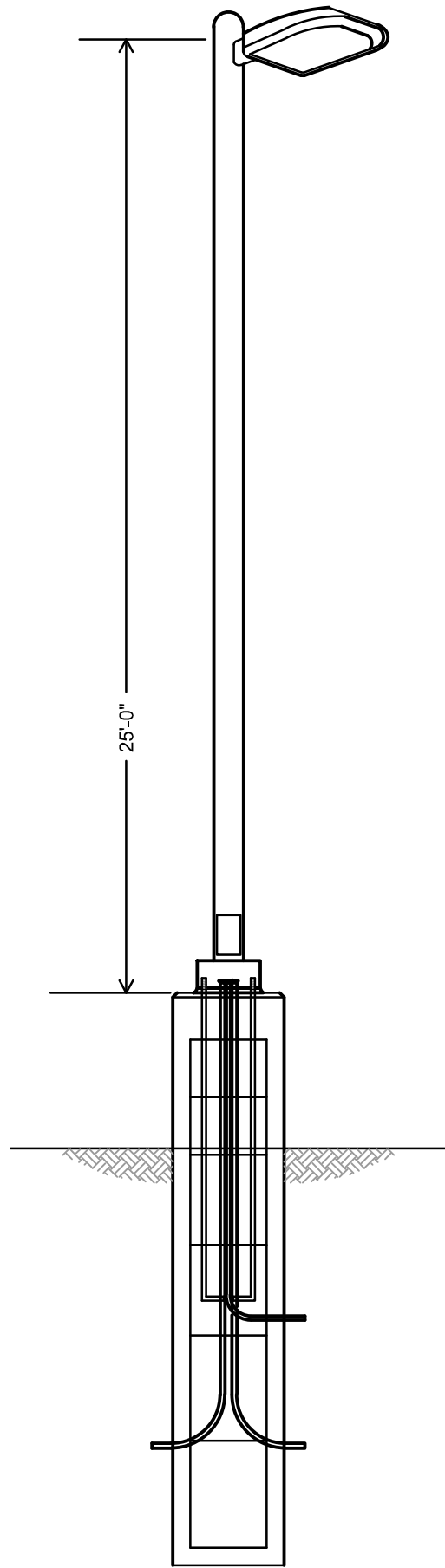


One Lithonia Way • • • Conyers, Georgia 30012 • • Phone: 1-800-705-SERV (7378) • • www.lithonia.com
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DSX1 LED
Rev. 09/09/23
Page 1 of 10

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
	P3	2	Lithonia Lighting	DSX1 LED P4 40K 80CRI T3M EGS	D-Series Size 1 Area Luminaire P4 Performance Package 4000K COT 80 CRI Type 3 Medium External Glare Shield	1	9637	0.9
							247.6746	

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
PARKING	+	1.0 fc	2.7 fc	0.4 fc	6.8:1	2.5:1	



2 LIGHT POLE DETAIL
SCALE: NOT TO SCALE

SITE PLAN

LONGVIEW MANSION PARKING ADDITION
PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

drawn by: _____
checked by: _____
approved by: _____
QA/QC by: _____
project no.: 022-06318
drawing no.: E_NSITE_022-06318
date: 2023.11.01

SHEET
E100

BY

REVISIONS DESCRIPTION

DATE

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