

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR TAILORMADE LANDING ON LAND LOCATED AT 1600 SE HAMBLÉN RD., ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2023-162 submitted by Engineering Solutions, LLC, requesting approval of a preliminary development plan in District PI on land located at 1600 SE Hamblén Rd. was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held public hearings for the consideration of the preliminary development plan on September 14, 2023, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on October 10, 2023, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved on the following described property:

Williams Crossing Lot 2

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the requirement that all roof-mounted equipment be screened entirely from view by using parapet walls at the same height as the mechanical units, to allow the proposed screening system in lieu of parapet walls for screening around the periphery of the roof-top mechanical equipment as depicted on the submitted Building Elevations, dated May 2, 2023 and revised June 21, 2023.
2. A modification shall be granted to the requirement that head-in parking from any public right-of-way or private street shall not be permitted, to allow for head-in parking along the private street as depicted on the Preliminary Development Plan, dated June 22, 2023 and revised July 18, 2023.
3. At no time shall tournament or game play be conducted at the facility unless a new preliminary development plan is submitted and approved.
4. Development shall be in accordance with the Preliminary Development Plan, dated June 22, 2023 and revised July 18, 2023.
5. The use of architectural metal panels shall be allowed as a conditional material as depicted on the building elevations May 2, 2023 and revised June 21, 2023.
6. Development shall be in accordance with Traffic Impact Analysis dated August 29, 2023, with the exception of the condition #7 below.

BILL NO. 23-190**ORDINANCE NO. 9766**

7. Do to the nature of the widening on Hamblen Road, removing the current markings and replacing them is not acceptable. All pavement markings shall be removed to the satisfaction of the City Traffic Engineer on the improved section of roadway and new striping put down.

SECTION 3. Development shall be in accordance with the preliminary development plan dated June 22, 2023 and revised July 18, 2023, the building elevations dated May 2, 2023 and revised June 21, 2023. and the Transportation Impact Analysis, dated August 29, 2023, appended hereto as Attachment A, Attachment B and Attachment C respectively.

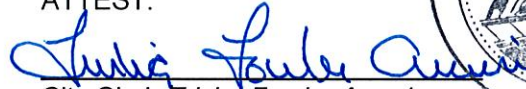
SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 24th day of October, 2023.

ATTEST:


City Clerk Trisha Fowler Arcuri




Mayor William A. Baird

APPROVED by the Mayor of said city this 26th day of October, 2023.

ATTEST:


City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:


City Attorney Brian W. Head




Mayor William A. Baird

Tailormade Landing
Preliminary Development Plan Phase 2
SEC-17 TWP-47 RNG-31 SE 1/4 NE 1/4
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

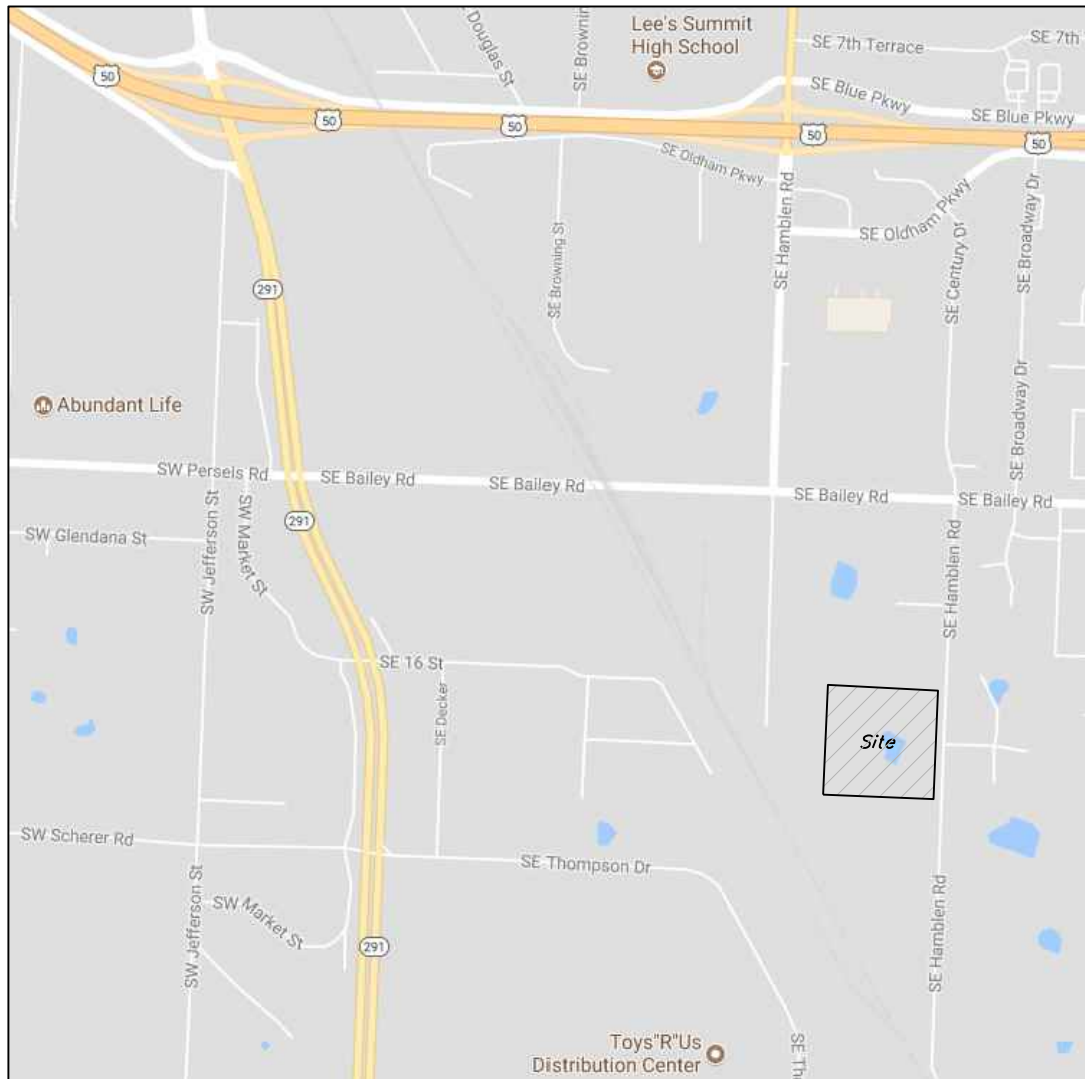
GENERAL NOTES:

- 1 ~ ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- 2 ~ ALL REQUIRED EASEMENTS WITHIN THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR ON THE FINAL PLAT.
- 3 ~ ANY REQUIRED EASEMENT LOCATED OUTSIDE OF THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR BY SEPARATE INSTRUMENT PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- 4 ~ THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH A FIELD ENGINEERING INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.
- 5 ~ THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH THE IMPROVEMENTS PROPOSED BY THESE PLANS AND SITE CONDITIONS.
- 6 ~ THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND OBTAIN THE APPROPRIATE BLASTING PERMITS FOR A REQUIRED BLASTING. IF BLASTING IS ALLOWED, ALL BLASTING SHALL CONFORM TO STATE REGULATIONS AND LOCAL ORDINANCES.

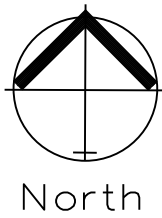
UTILITY COMPANIES:

THE FOLLOWING LIST OF UTILITY COMPANIES IS PROVIDED FOR INFORMATION ONLY. WE DO NOT OFFER ANY GUARANTEE OR WARRANTY THAT THIS LIST IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION AND VERIFYING THE ACTUAL LOCATION OF EACH UTILITY LINE. THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.

EVERGY ~ 288-1196
MISSOURI GAS ENERGY ~ 756-6261
SOUTHWESTERN BELL TELEPHONE ~ 761-5011
COMCAST CABLE ~ 795-1100
WILLIAMS PIPELINE ~ 422-6300
CITY OF LEE'S SUMMIT PUBLIC WORKS ~ 969-1800
CITY OF LEE'S SUMMIT DEVELOPMENT ENGINEERING INSPECTION AT 816.969.1200
CITY OF LEE'S SUMMIT WATER UTILITIES ~ 969-1900
MISSOURI ONE CALL (DIG RITE) ~ 1-800-344-7483



Vicinity Map



North

INDEX OF SHEETS:

- C.001 ~ COVER SHEET
- C.100 ~ SITE PLAN
- C.101 ~ DIMENSION PLAN
- C.200 ~ GRADING PLAN
- C.201 ~ OFFSITE DRAINAGE MAP
- C.250 ~ STREET WIDENING AND PAVEMENT MARKING PLAN
- C.300 ~ STORM SEWER GENERAL PLAN
- C.301 ~ STORM SEWER PLAN AND PROFILE
- C.302 ~ STORM SEWER PLAN AND PROFILE
- C.303 ~ ROOF DRAIN PLAN
- C.400 ~ SANITARY SERVICE PLAN
- C.500 ~ WATER SERVICE PLAN
- L.100 ~ LANDSCAPE PLAN
- L.101 ~ LANDSCAPE DETAILS

PROPERTY DESCRIPTION

Williams Crossing Lot 2

NOTE :

ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813. WHERE DISCREPANCIES EXIST BETWEEN THESE PLANS AND THE DESIGN AND CONSTRUCTION MANUAL, THE DESIGN AND CONSTRUCTION MANUAL SHALL PREVAIL.

ALL PAVING ON THE PARKING LOT WILL COMPLY WITH THE UNIFIED DEVELOPMENT ORDINANCE ARTICLE 8 IN TERMS OF PAVING THICKNESS AND BASE.

OIL - GAS WELLS

ACCORDING TO EDWARD ALTON MAY JR'S ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, THERE ARE NOT OIL AND GAS WELLS WITHIN 185 FEET OF THE PROPERTY AS SURVEYED HEREON.

FLOOD INFORMATION:

SITE IS LOCATED ON MAP NUMBER 29095C0438G, PANEL 438G, DATED JANUARY 20, 2017 AS INDICATED WITH THE THIS MAP NO PORTION OF THE SITE IS LOCATED WITHIN THE FLOOD ZONE.

Site Impervious Area

Total Area Lot 2	3.31 acres (144,332.01 sq. ft.)
Floor/Area Ratio	33.87%
Building	48,885 sq. ft.
Parking/Sidewalk	51,977 sq. ft.
Impervious Area	100,862 sq. ft (70% of Site)
Parking Spaces	174 Standard / 2 Handicap

Parking Required Calculations

- The Facility has four (5) training areas (4 Basketball / Volleyball Courts & 1 Baseball Infield) and 2,000 sf of Office
- Assumption that 12 Coaches and Players will use each field per hour which generates 60 cars
- Peak time will be at the transition of the teams so double the cars to 120 cars
- Office will require 8 parking spaces

Total Required 128 Parking Spaces

Site Improvement Notes

Sanitary Sewer Improvements
The site will require a sanitary service from the existing sanitary to the east.

Water Main Improvements
The existing 8" water main locate to the east of Hamblen Road.

Storm Sewer
Enclosed pipe systems and inlets will collected and convey the onsite storm water runoff and direct it toward the new detention facility located at the northeast corner of the site. The storm sewer shall be designed to convey the 10 year storm event and the building runoff will be collected and directed into the enclosed pipe system.

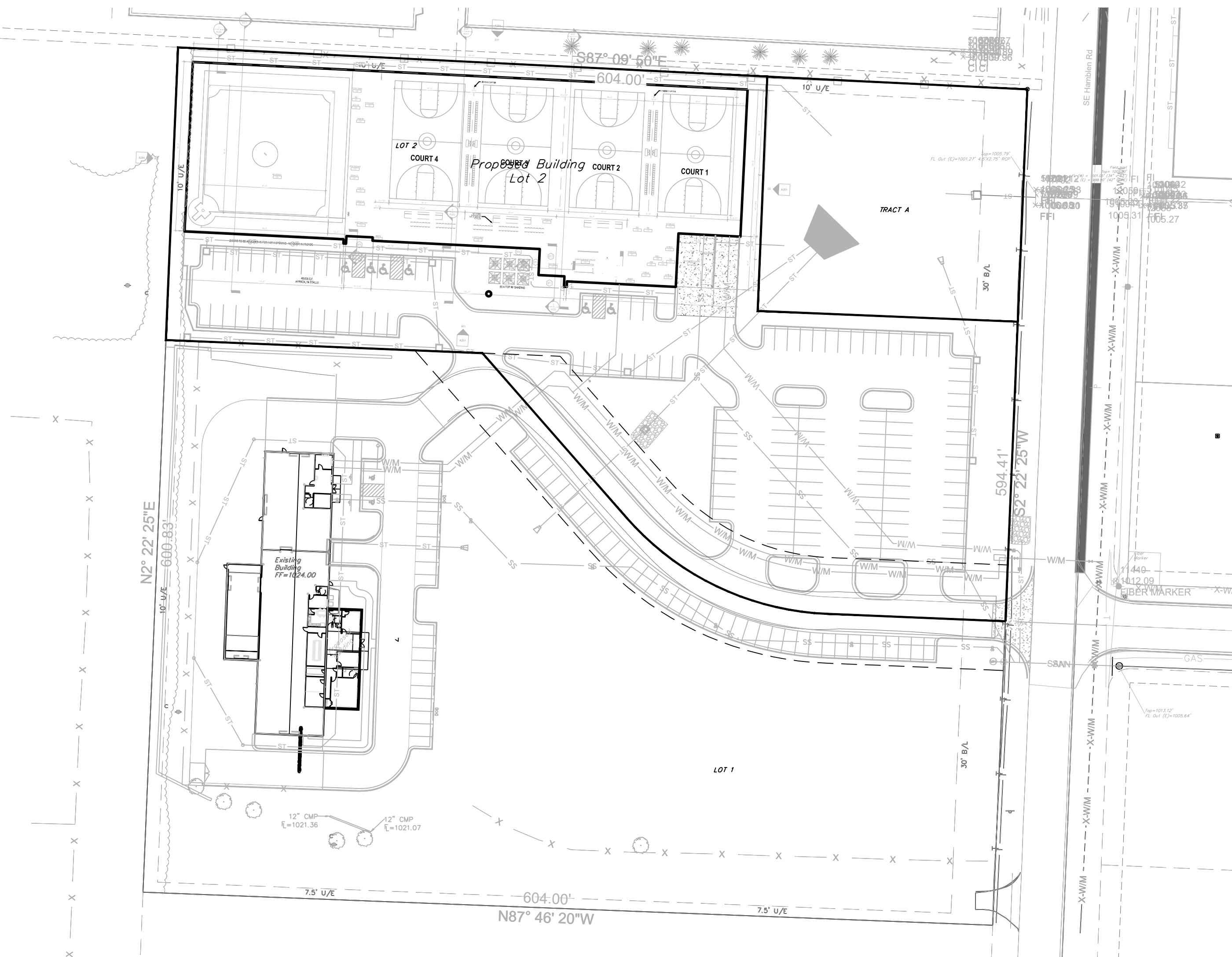
Storm Water Detention
The site will be designed to control the storm water runoff per the current standards as set forth in APIWA Section 5000. The system will be an open aired basin and release into the existing storm of Hamblen Road.

Storm Water Quality Elements
The detention system will incorporate an infiltration system into the bottom of the basin to provide the opportunity for infiltration back into the existing ground. The system will be designed to handle and control the 2 year storm flows and will consist of a gravel base and filter fabric located on the eastern side of the site will be converted into a infiltration system to control the storm.

Hamblen Road
No improvements are anticipated for Hamblen Road

Detention Basin design is for entire site full build out.

All future lots and tracts to be completed with another application. Shown for reference only.



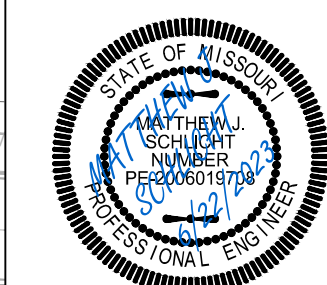
ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P: (816) 623-9888 F: (816) 623-9849

Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1685
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

Project:
1600 SE HAMBLEN RD LEE'S SUMMIT, MO
June 22, 2023

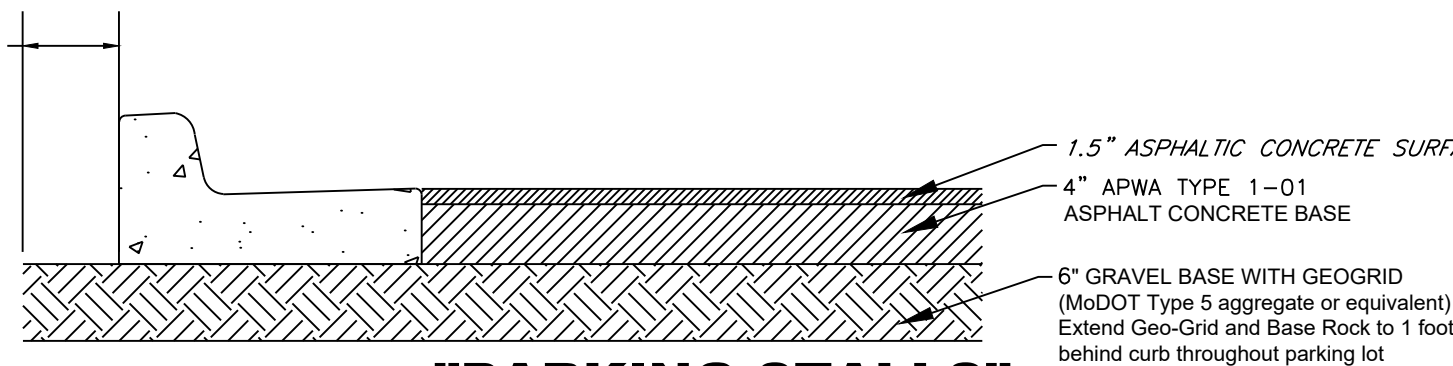
COVER SHEET
Tailormade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri



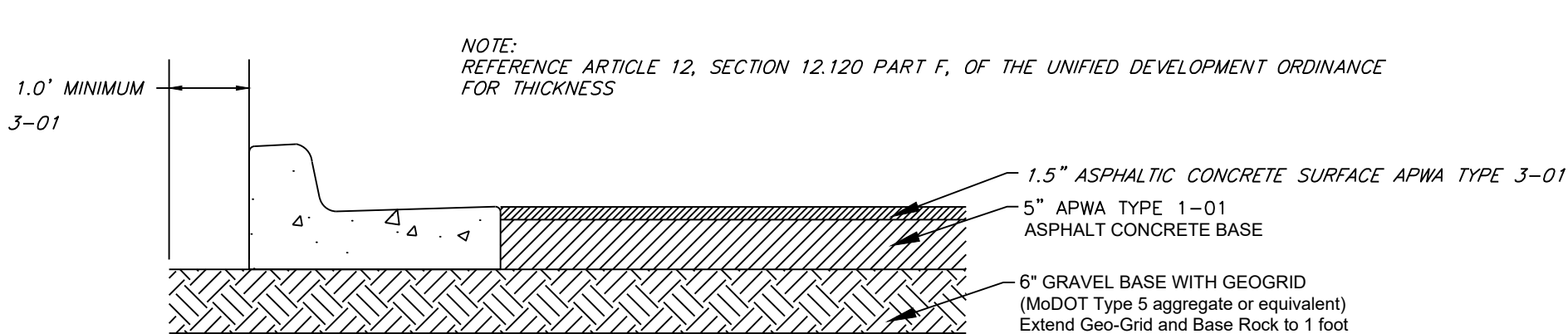
Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

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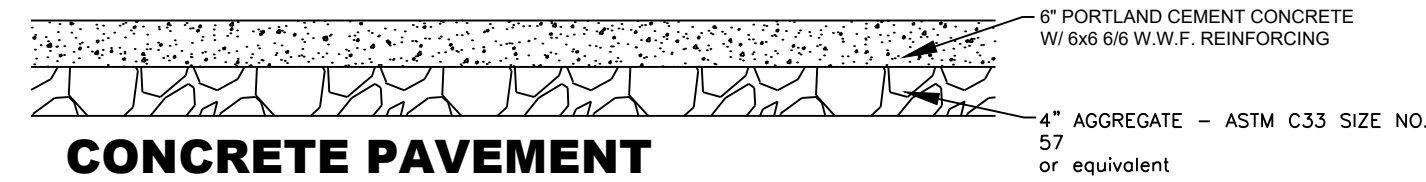
- 1.0' MINIMUM
- Indicates Drive Lane
Private Asphalt Pavement
- Indicates Parking Stalls
Private Asphalt Pavement



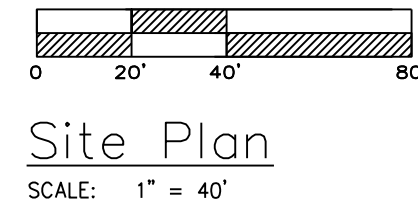
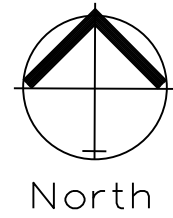
"PARKING STALLS"
PRIVATE ASPHALT PAVEMENT
NOT TO SCALE



"DRIVE LANE"
PRIVATE ASPHALT PAVEMENT
NOT TO SCALE



CONCRETE PAVEMENT
NOT TO SCALE



Site Plan
SCALE: 1" = 40'

OWNER:
TAILORMADE EXTERIORS
RICK MULLIN
317 NW OLIVE STREET
LEE'S SUMMIT, MO
816-322-2444

ALL PAVING ON THE PARKING LOT WILL COMPLY WITH THE UNIFIED DEVELOPMENT ORDINANCE ARTICLE 12 IN TERMS OF PAVING THICKNESS AND BASE.

OIL - GAS WELLS
ACCORDING TO EDWARD ALTON'S ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, THERE ARE NOT OIL AND GAS WELLS WITHIN 185 FEET OF THE PROPERTY AS SURVEYED HEREON.

- Indicates Drive Lane
Private Asphalt Pavement
- Indicates Parking Stalls
Private Asphalt Pavement
- Indicates New Gravel
Placement

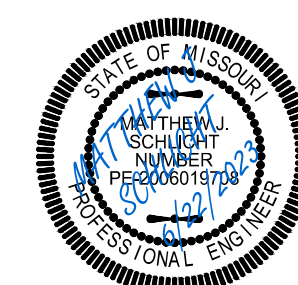
PROPERTY DESCRIPTION
WILLIAMS CROSSING LOT 2

Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

Project:
1600 SE HAMBLEN
RD, LEE'S
SUMMIT, MO
June 22, 2023

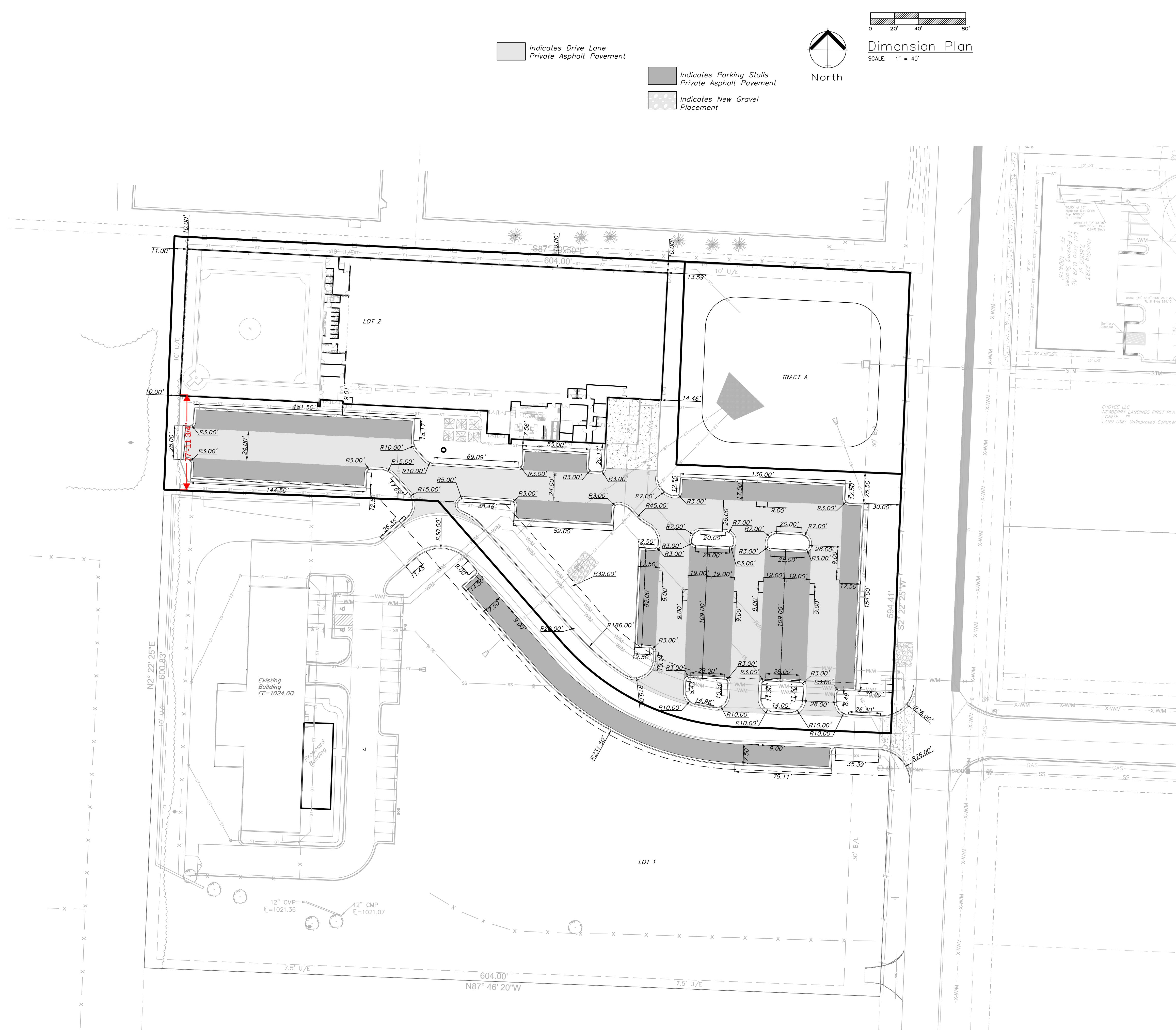
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

SITE PLAN
Tailormade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri



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MO PE 2006019708
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Indicates Drive Lane
Private Asphalt Pavement

Indicates Parking Stalls
Private Asphalt Pavement

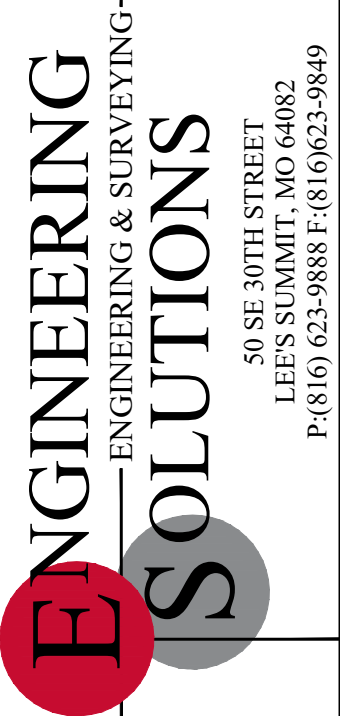
Indicates New Gravel
Placement



0 20' 40' 80'

Dimension Plan

SCALE: 1" = 40'



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Missouri
Engineering 2005002186-D
Surveying 2005008319-D
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Project:
1600 SE HAMBLEN
RD, LEE'S
SUMMIT, MO
June 22, 2023

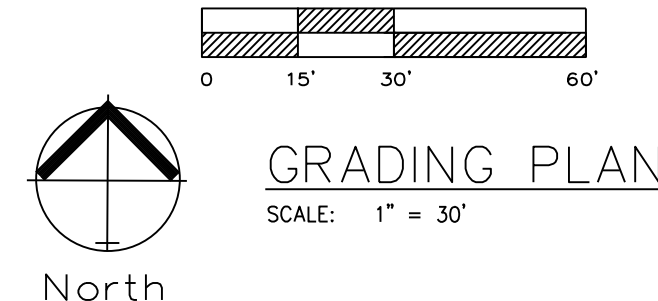
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

DIMENSION PLAN
Tailmade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri



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MO PE 0006019708
KS PE 19071
OK PE 25226
NE PE E-14335

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Estimated Cut / Fill Quantities	
Site Area	8.29 Acres
Cut Volume (Unadjusted)	4,097 c.y.
Fill Volume (Unadjusted)	15,901 c.y.
Building and Sidewalk (Cut)	986 c.y.
Net Import Required	10,818 c.y. (Unadjusted)

- Notes**
1. Contractor is responsible for verifying all existing utility locations prior to excavation
 2. There are no known natural or artificial water storage detention areas, or wetlands in the area designated for construction
 3. No part of the project lies within the 100 year flood plain
 4. All erosion and sediment control measures need to be implemented prior to construction
 5. Additional erosion control may be required by the City Engineer, Design Engineer or Owner at any time problematic areas are noted in the field or existing measures are found to be ineffective
 6. Soil Stabilization of disturbed areas shall be completed within 14 days of construction inactivity
 7. Contractor responsible for all density testing of roadway subgrade and granular base.
 8. Contractor responsible to provide Engineering Solutions an Asbuil topographic survey of the site to verify grades.

Legend

← Drainage Arrows

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P: (816) 623-9888 F: (816) 623-9849

Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
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Oklahoma
Engineering 6254
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Project:
1600 SE HAMBLEN RD, LEE'S SUMMIT, MO 64082
June 22, 2023

1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

GRADING PLAN
Tailmade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

Matthew J. Schlicht
MO PE 2006019708
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REVISIONS

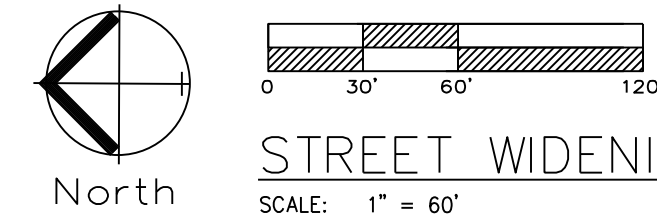
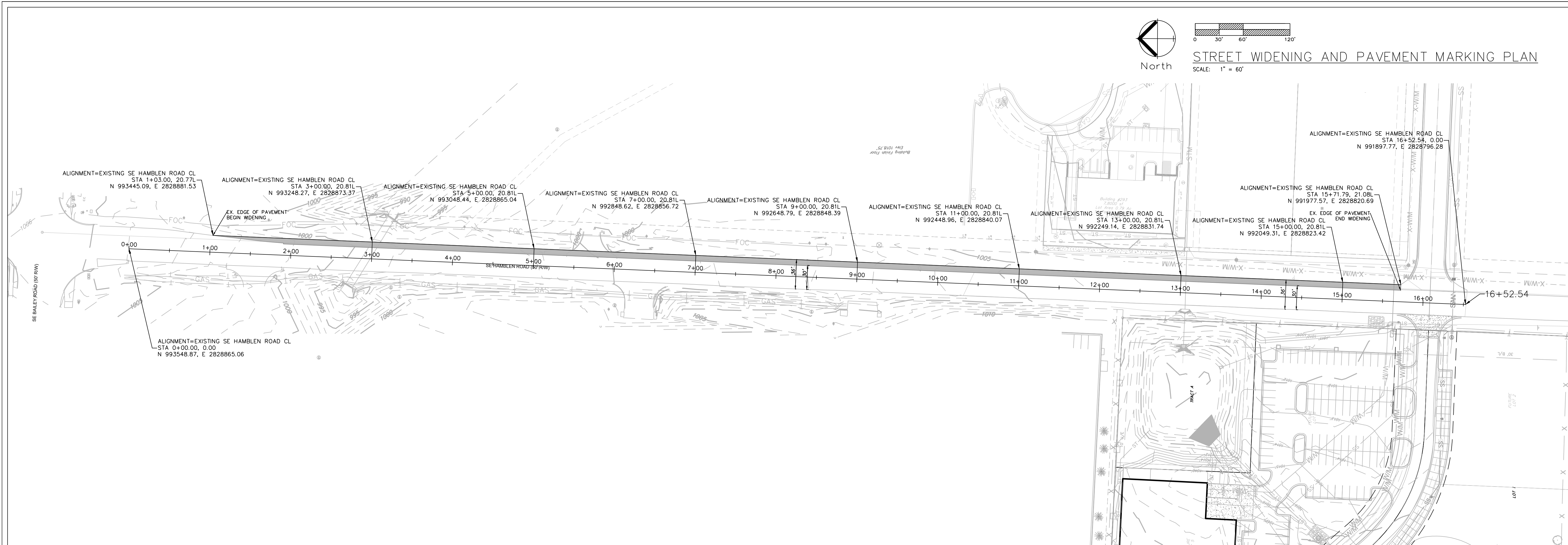
1	Rev 7-18-23

C.200



LineNo.	Inlet ID	Area (ac)	InletTime (min)	Int. (in/hr)	RunoffCoeff. (C)	Q=CI/A (cfs)	Q Carry-over (cfs)	QCaptured (cfs)	QBypassed (cfs)	JunctType	CurbHeight (in)	CurbLength (ft)	GutterSlope (ft/ft)	CrossSlope, Sw (ft/ft)	CrossSlope, Sx (ft/ft)	InletDepth (ft)	BypassDepth (ft)	BypassSpread (ft)	GutterDepth (ft)	GutterSpread (ft)	BypassLine No.
1	Line 1-2	0.5	5	9.83	0.9	4.42	0	4.42	0	Dp-Curb	10	20	Sag	0.2	0.2	0.18	n/a	n/a	0.18	0.88	Sag
2	Line 1-3	0.5	5	9.83	0.9	4.42	0	4.42	0	Dp-Curb	10	20	Sag	0.2	0.2	0.18	n/a	n/a	0.18	0.88	Sag
3	Line 1-4	3.84	5	9.83	0.9	33.98	0	33.98	0	Dp-Curb	10	20	Sag	0.2	0.2	0.68	n/a	n/a	0.68	3.42	Sag

C.201



STREET WIDENING AND PAVEMENT MARKING PLAN

LEGEND:

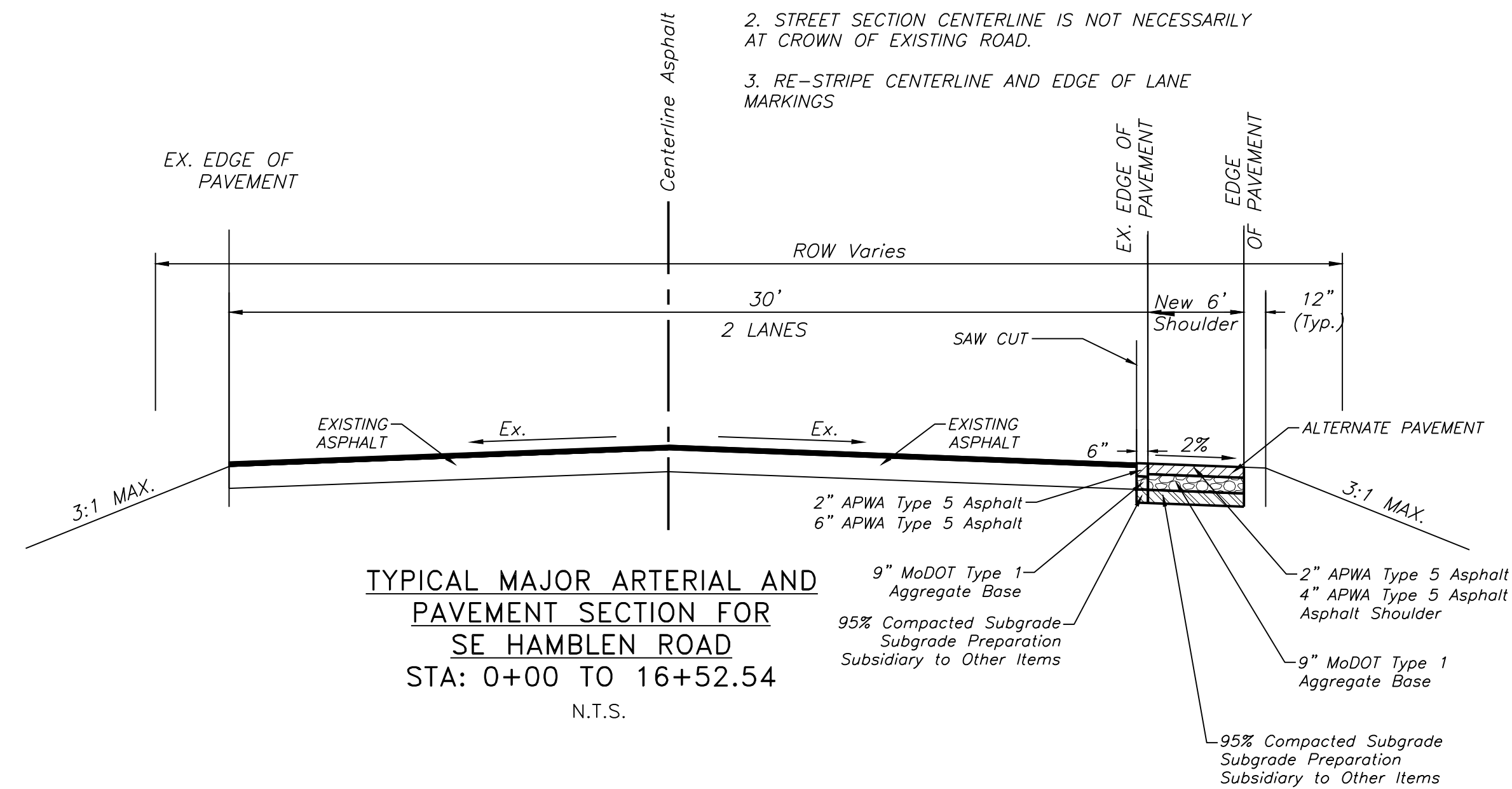
- SHOULDER
- LANE WIDENING

Notes:

1. New Arrows Shall Be Performed Thermoplastic.
2. New Paint Stripes Shall Be High Build Point In Accordance With City Standards and Specifications.

NOTE:

1. CENTERLINE OF STREET SECTION IS CREATED FROM THE WEST EDGE OF EXISTING PAVEMENT AND MEASURED 15' EAST.
2. STREET SECTION CENTERLINE IS NOT NECESSARILY AT CROWN OF EXISTING ROAD.
3. RE-STRIPE CENTERLINE AND EDGE OF LANE MARKINGS



Street Widening Plan and Pavement Marking Plan

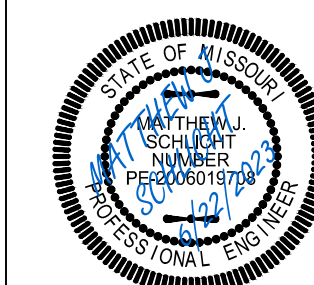
Tailormade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

Project:
1600 SE HAMBLEN
RD LEE'S
SUMMIT, MO
June 22, 2023

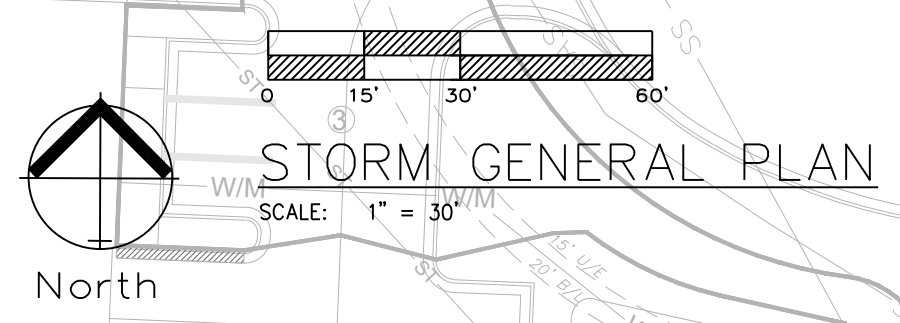
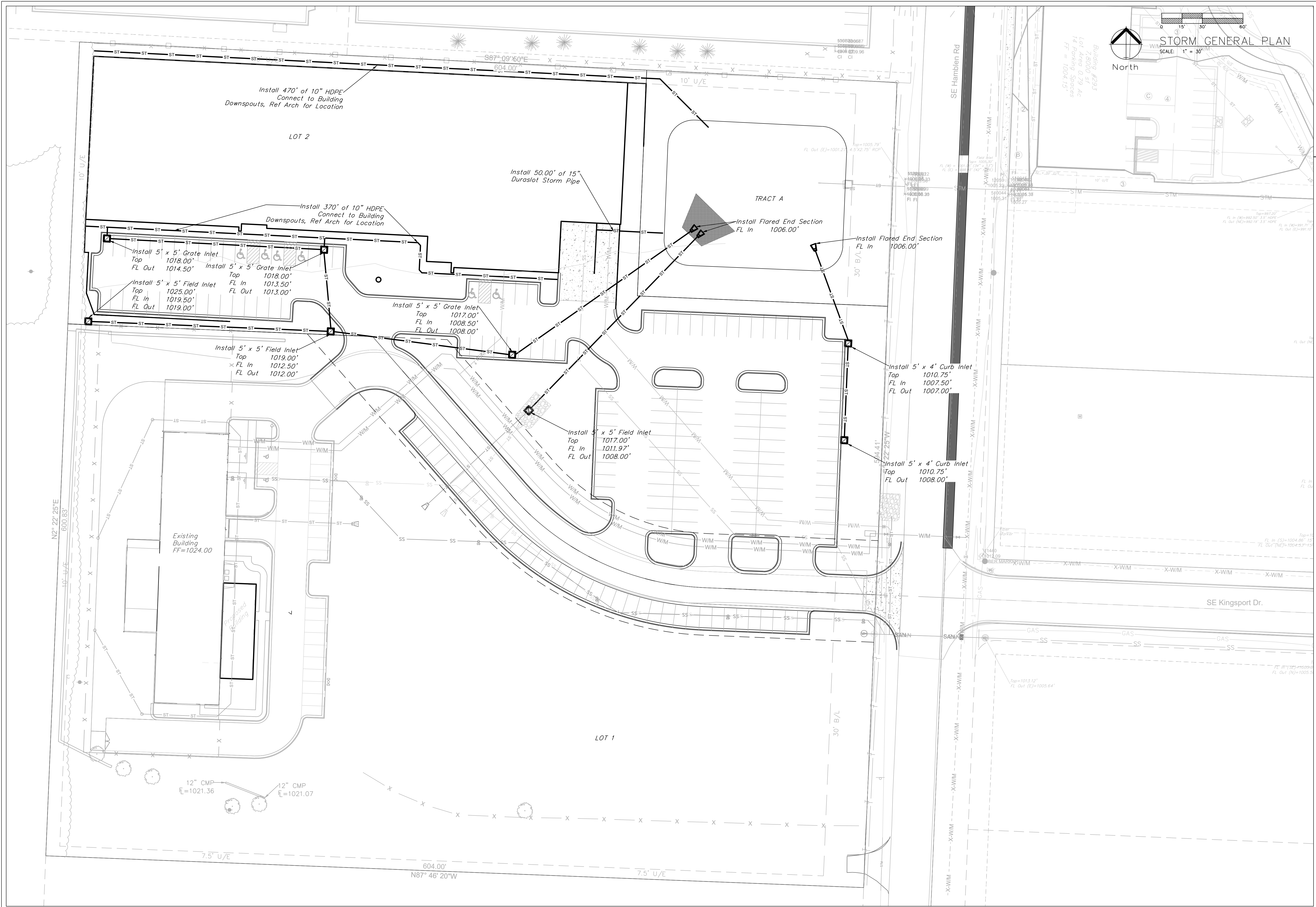
Professional Registration
Missouri
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Surveying 2005008319-D
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Nebraska
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ENGINEERING
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1600 SE HAMBLEN
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1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

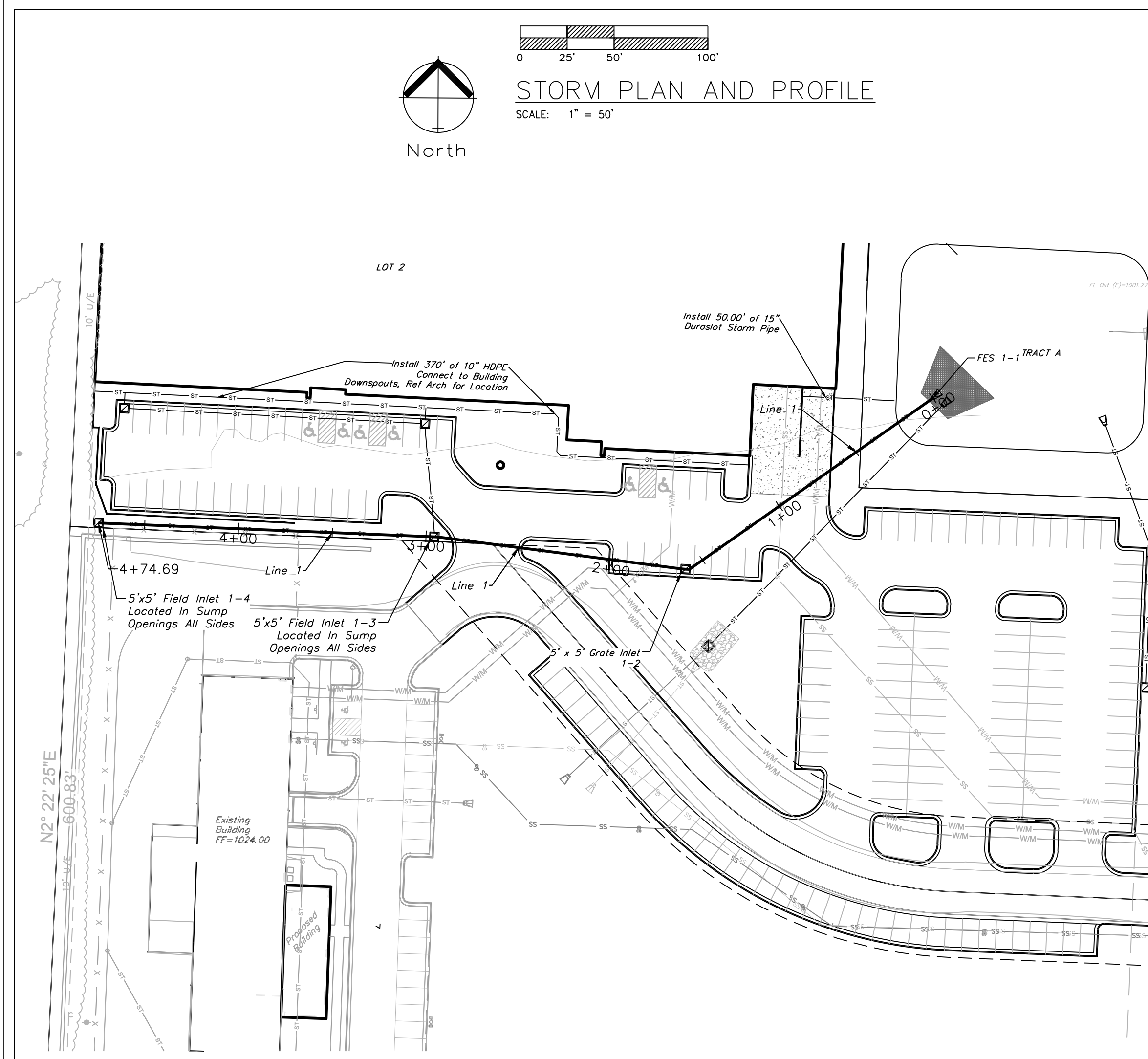
STORM SEWER PLAN
Tailmade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

STATE OF MISSOURI
Matthew J. Schlicht
Professional Engineer
No. 0000019708
Exp. 12/31/2025

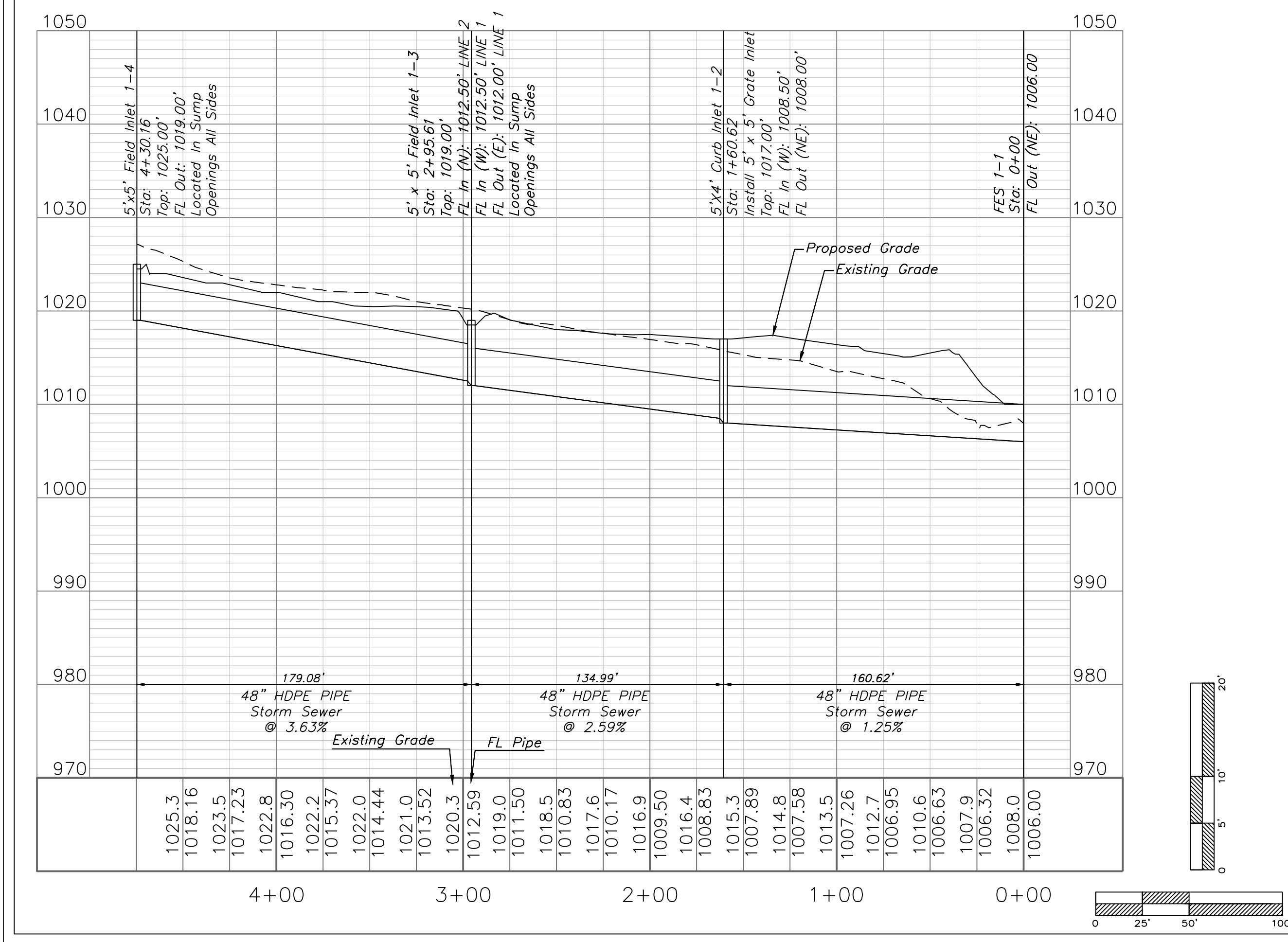
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NE PE E-14335

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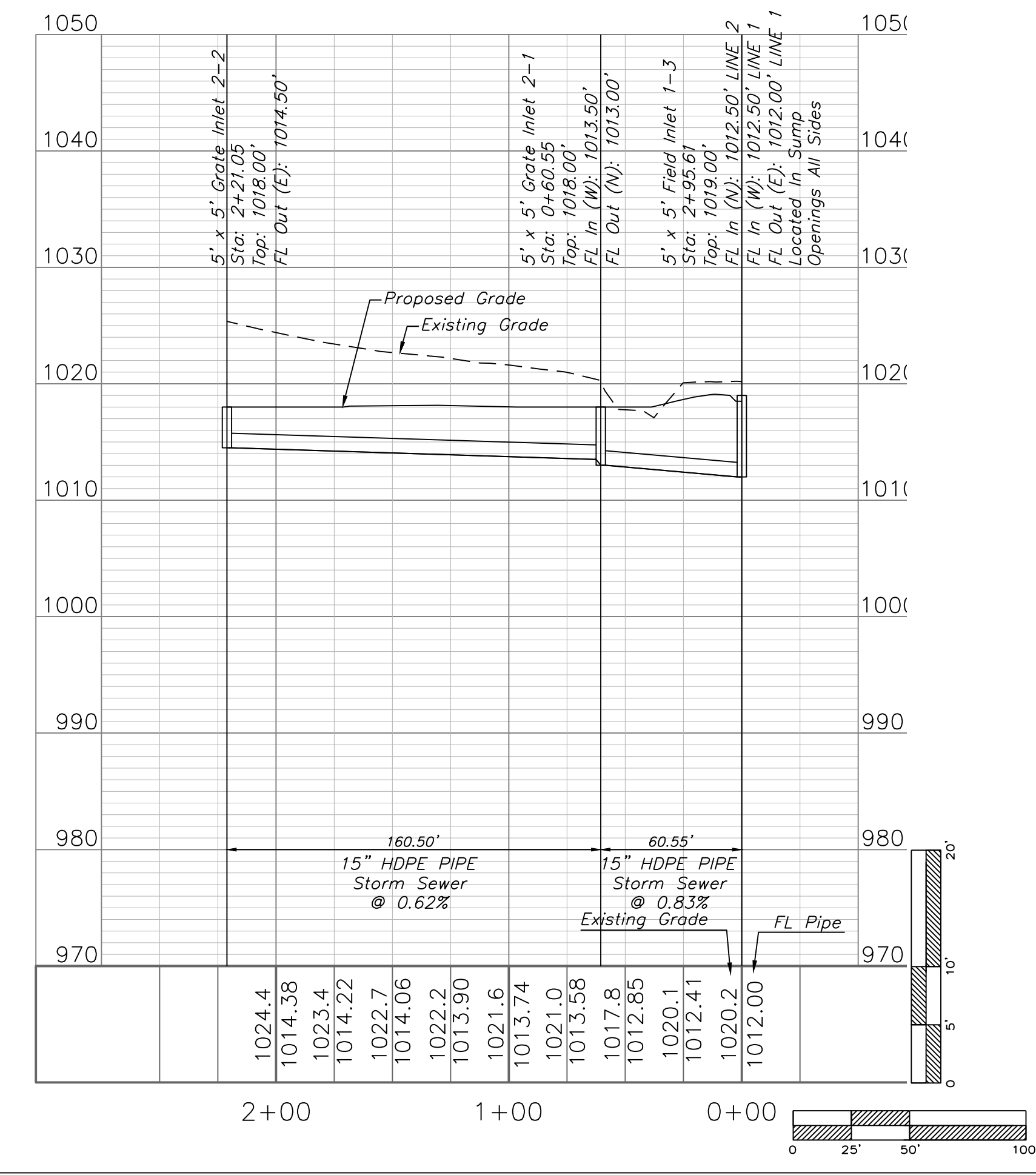
C. 300



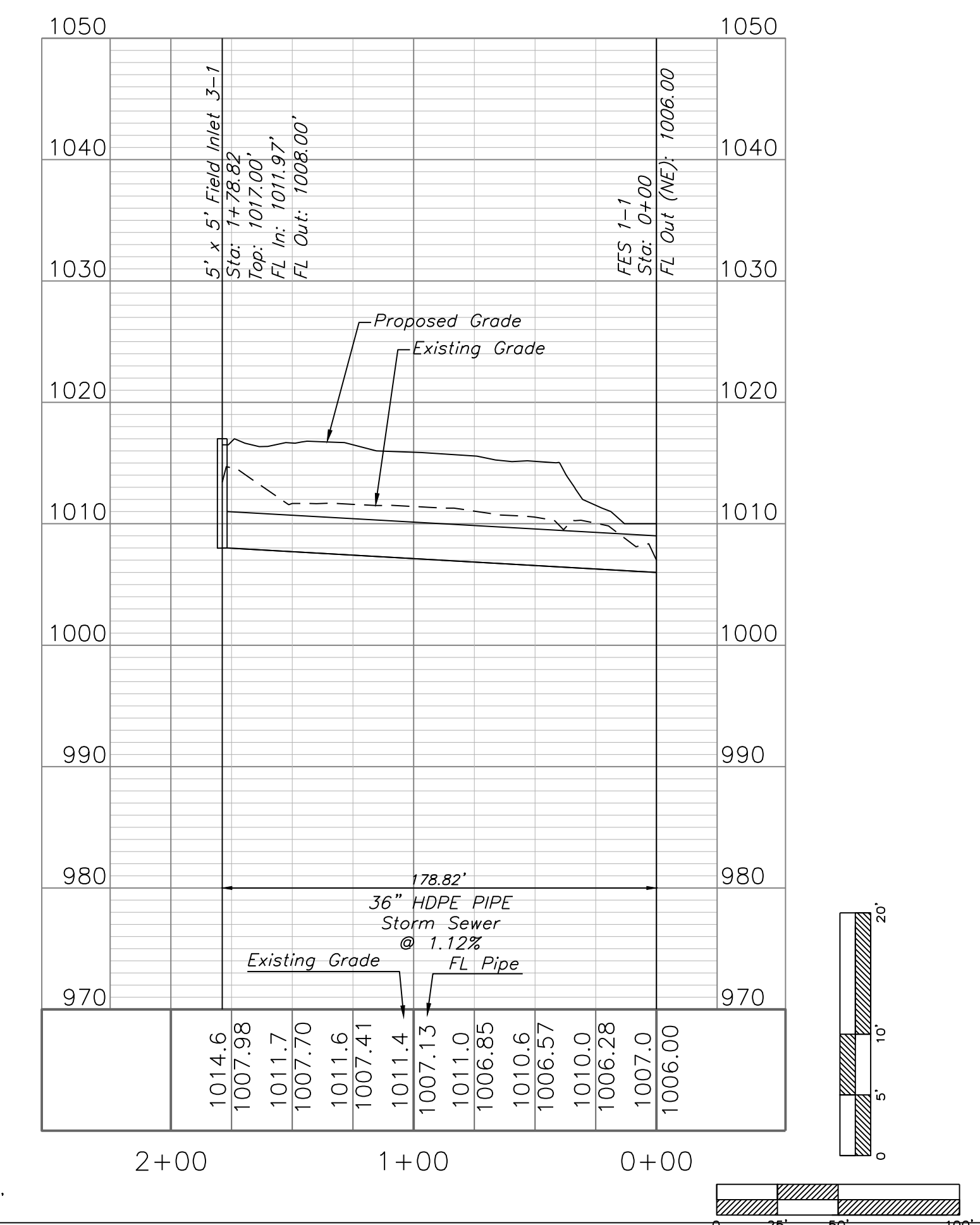
STORM LINE 1



STORM LINE 2



STORM LINE 3



ENGINEERING SOLUTIONS
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50 SE 30TH STREET
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Project:
1600 SE HAMBLEN RD, LEE'S SUMMIT, MO
June 22, 2023

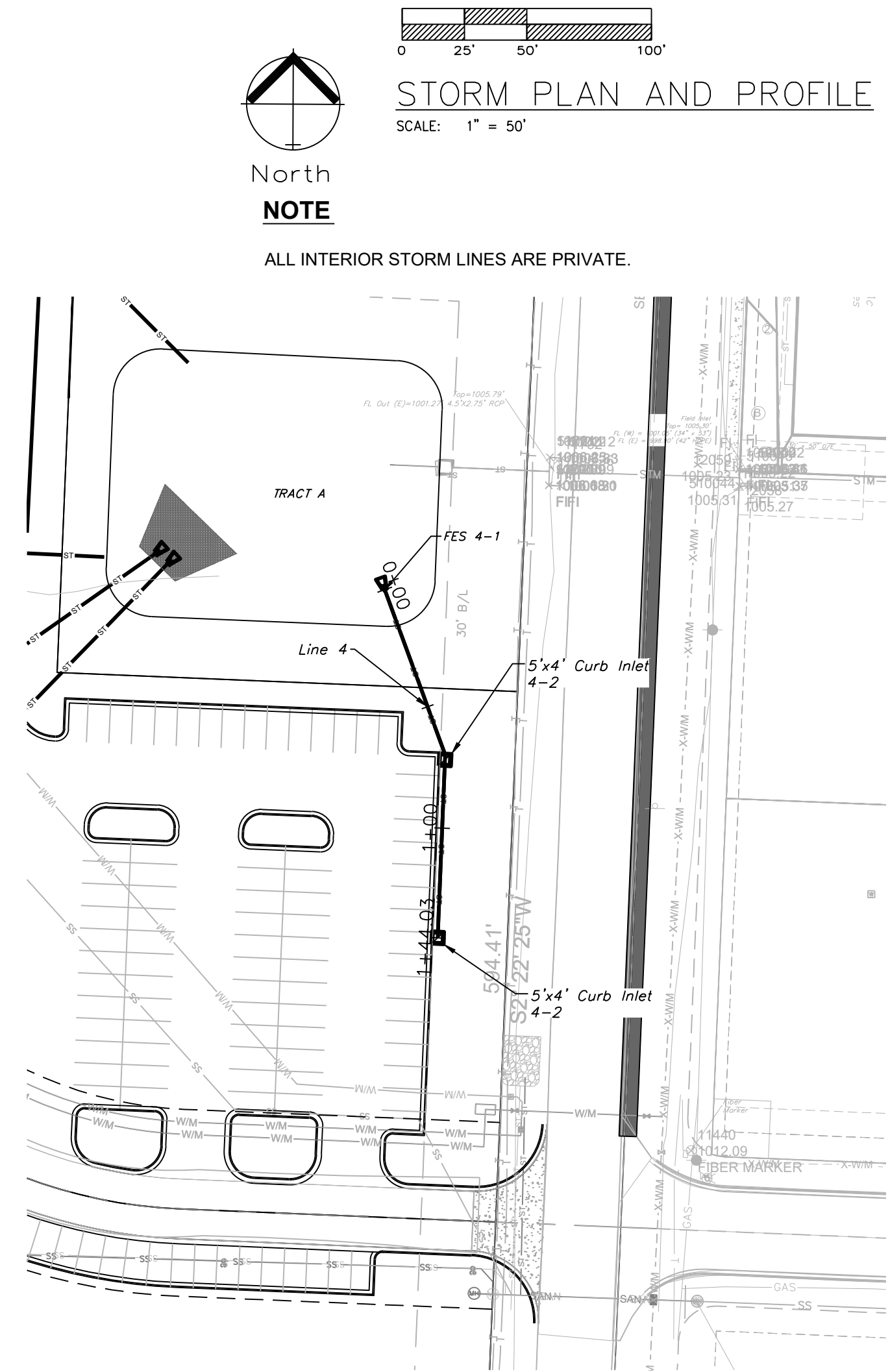
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

STORM PLAN AND PROFILE
Tailmade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

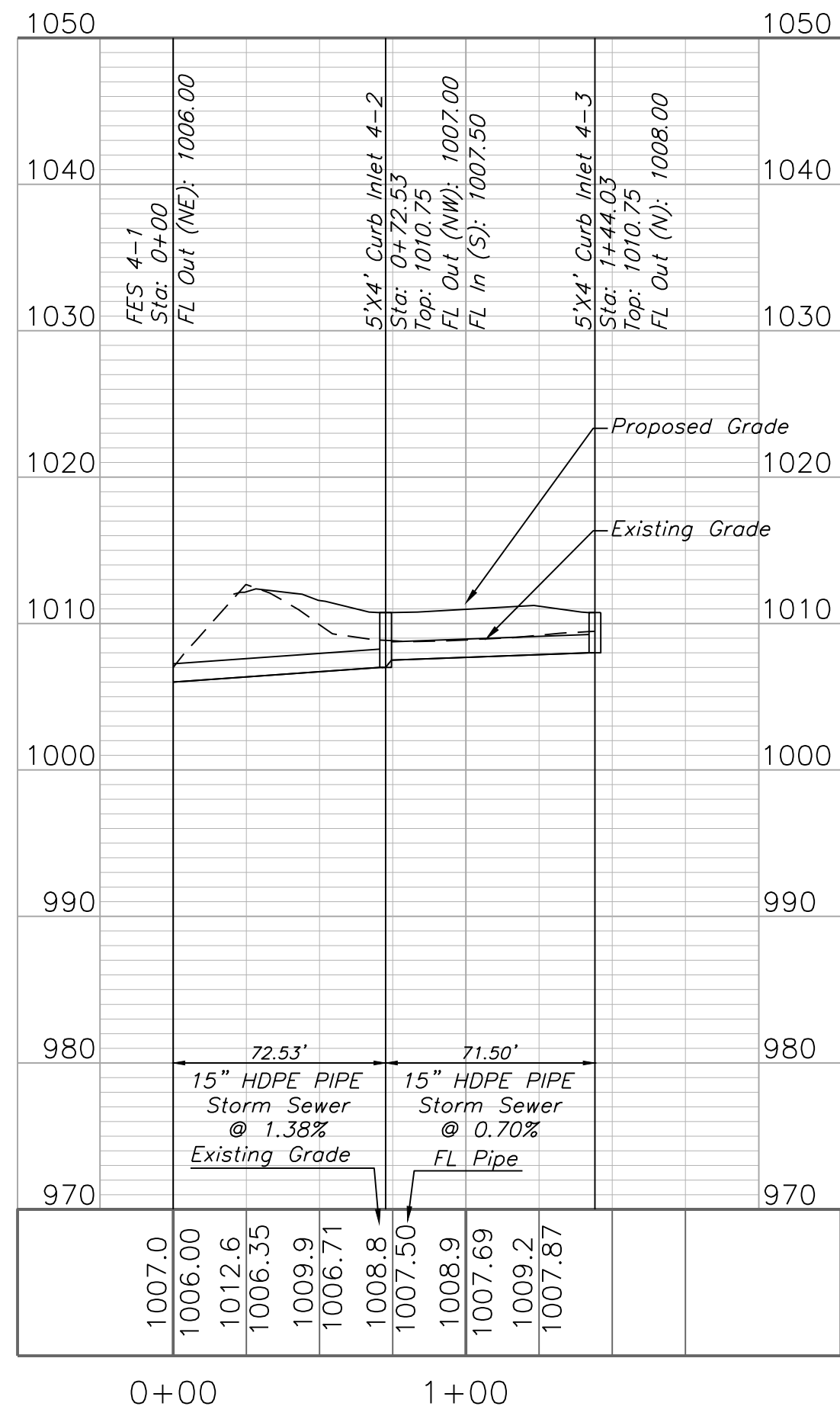
STATE OF MISSOURI
Matthew J. Schlicht
MO PE 2006019708
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NE PE E-14335
Professional Engineer

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C.301



STORM LINE 4



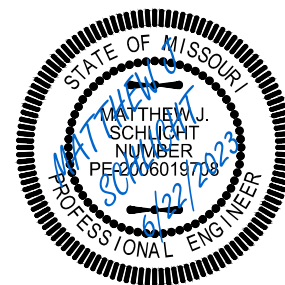
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Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

Project:
1600 SE HAMBLEN
RD, LEE'S
SUMMIT, MO
June 22, 2023

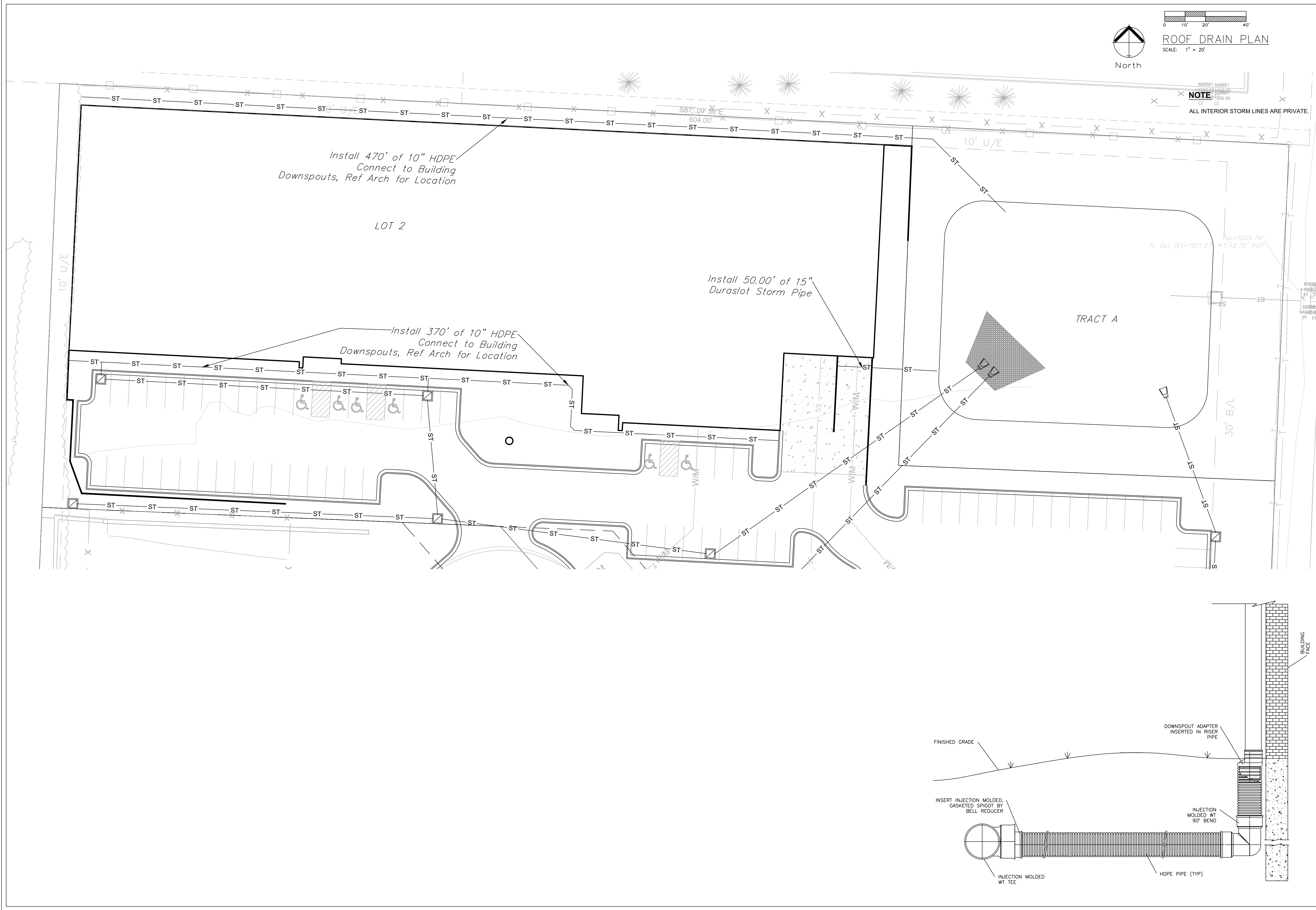
STORM PLAN AND PROFILE

Tailormade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

REVISIONS
① Rev 7-18-23



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LEE'S SUMMIT, MO 64082
P: (816) 623-9888 F: (816) 623-9849

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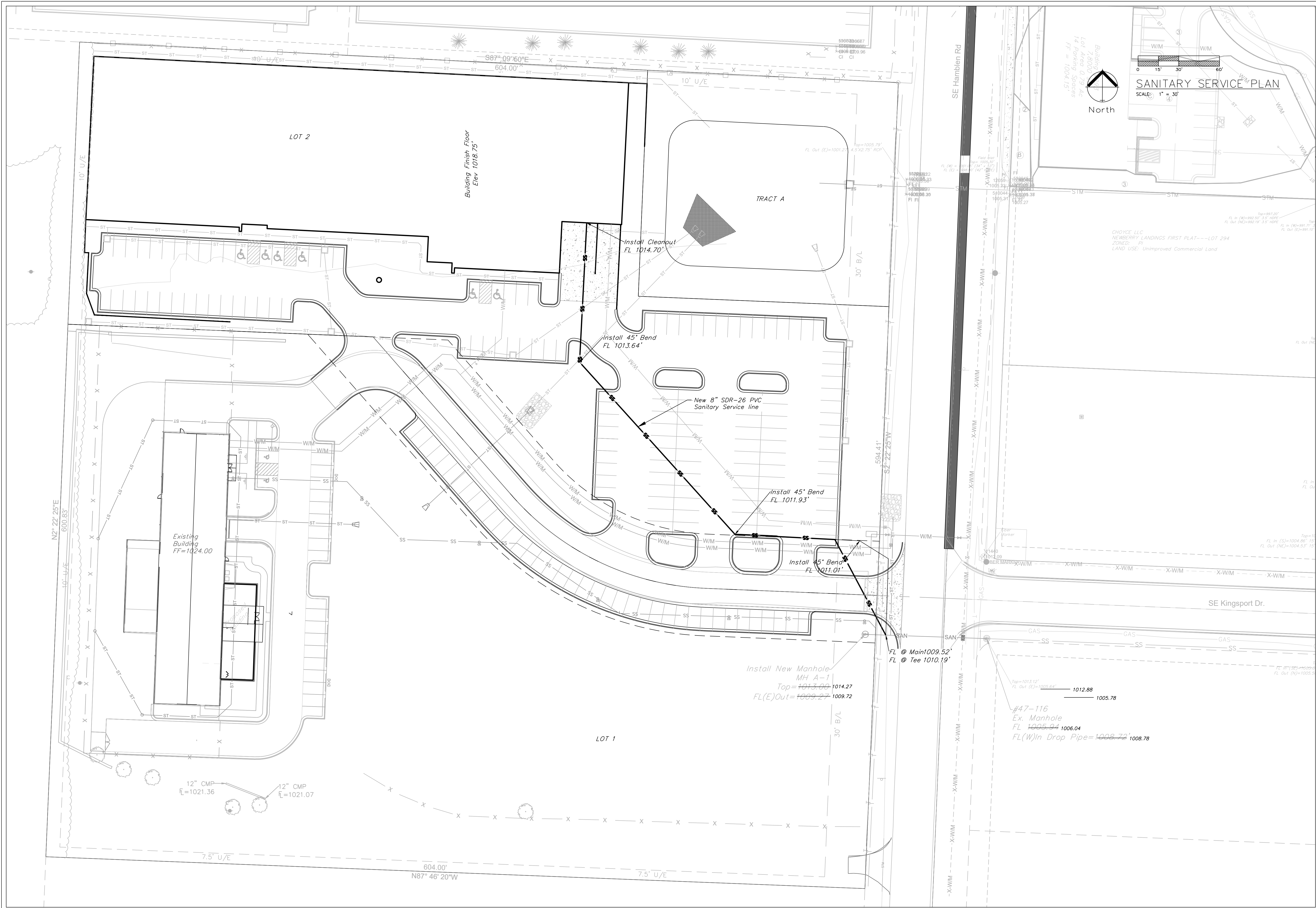
Project:
1600 SE HAMBLEN RD, LEE'S SUMMIT, MO
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ROOF DRAIN PLAN
Tailormade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

STATE OF MISSOURI
Matthew J. Schlicht
Professional Engineer
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

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June 22, 2023

Sanitary Service Plan

Tailorade Landing Phase 2

1600 Hamblen Road

Lee's Summit, Jackson County, Missouri

STATE OF MISSOURI

Matthew J. Schlicht

MO PE 2006019708

KS PE 19071

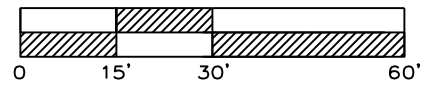
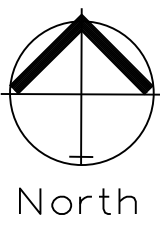
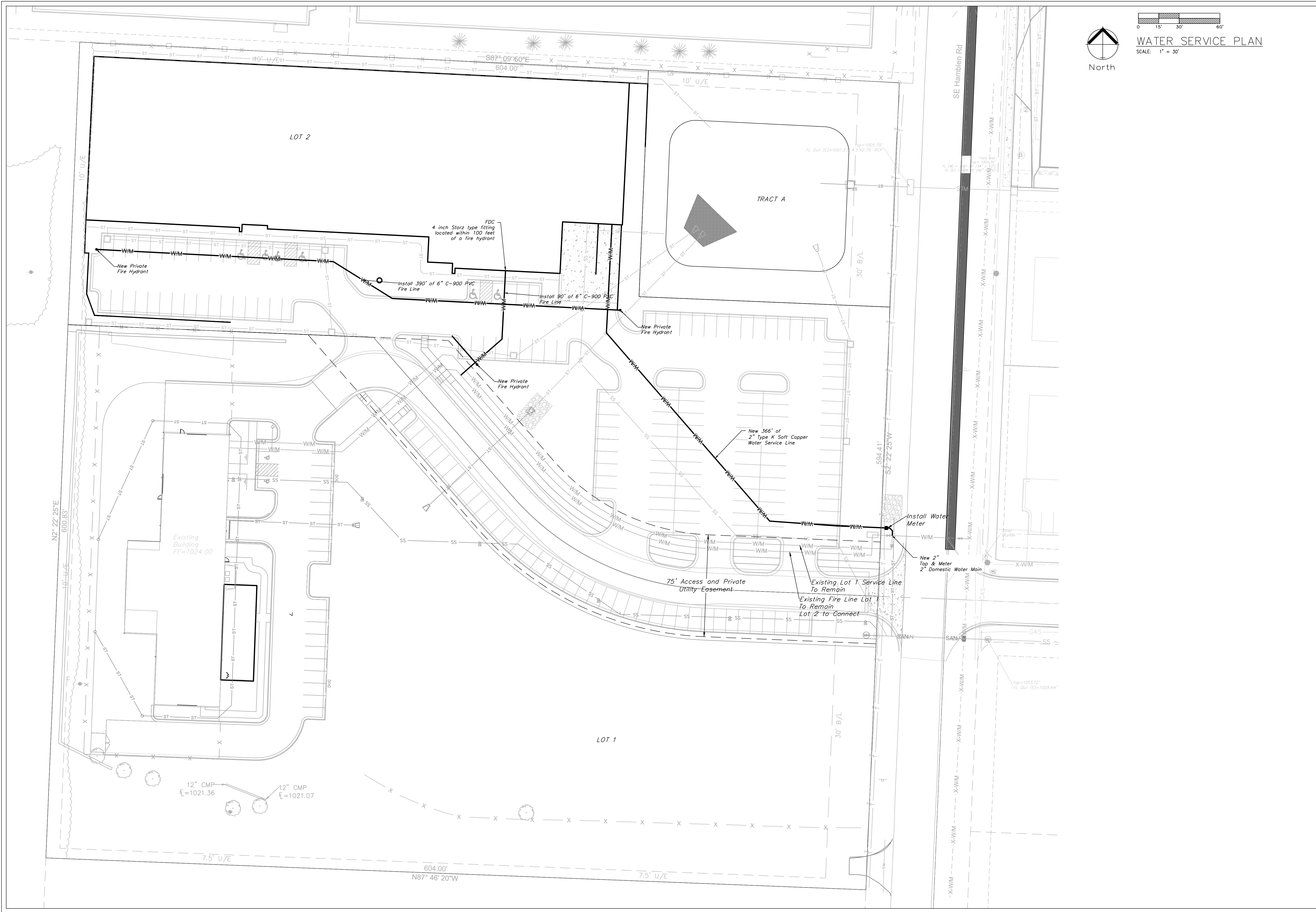
OK PE 25226

NE PE E-14335

REVISIONS

1 Rev 7-18-23

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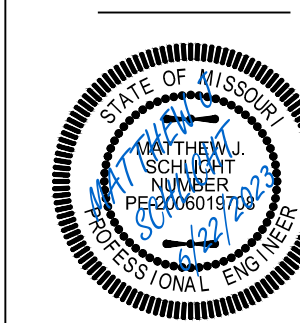
WATER SERVICE PLAN
SCALE: 1" = 30'



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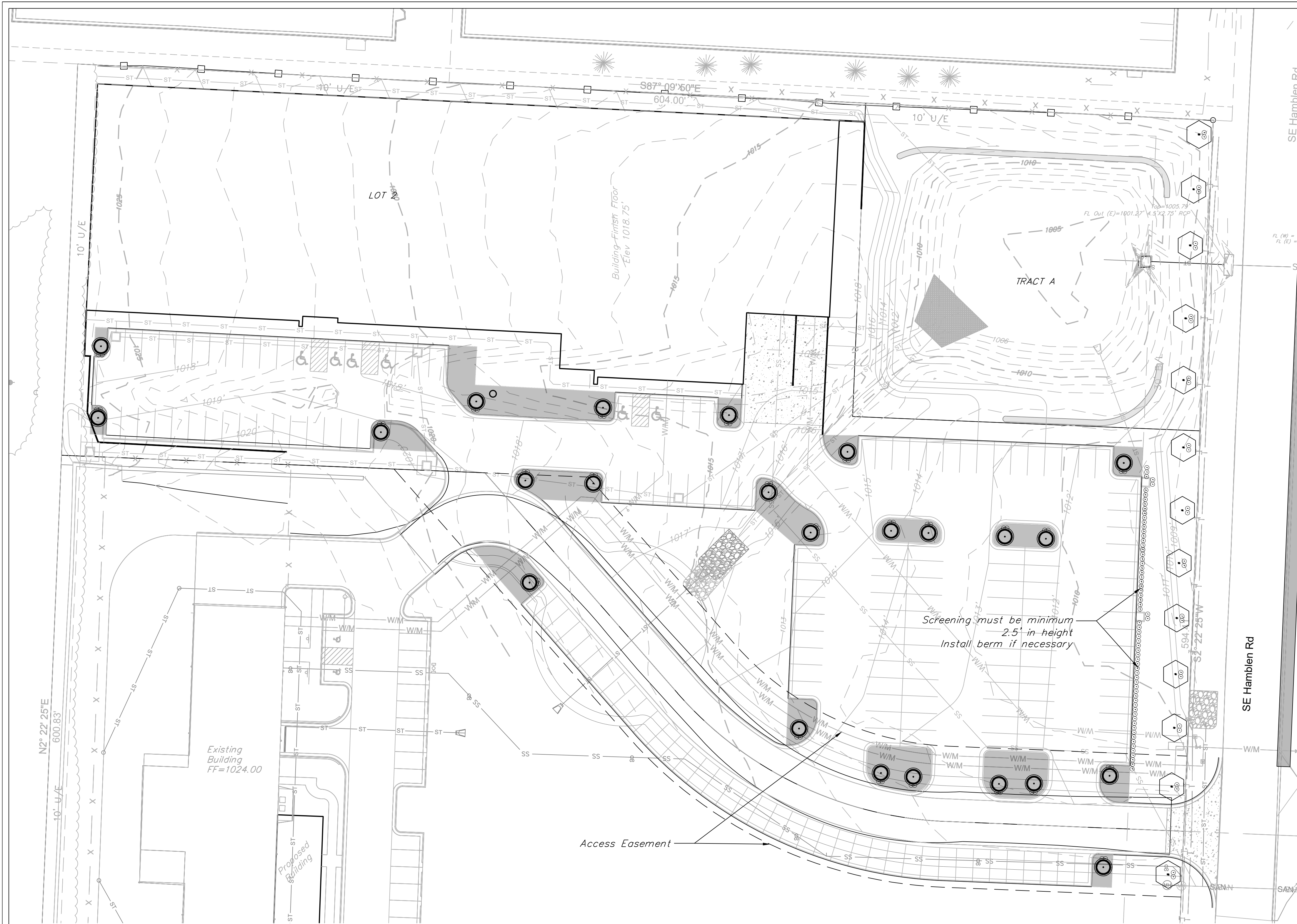
Project:
1600 SE HAMBLEN
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SUMMIT, MO
June 22, 2023

WATER SERVICE PLAN
Tailormade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri



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KS PE 19071
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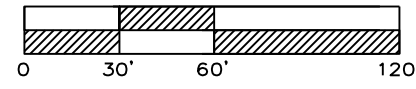
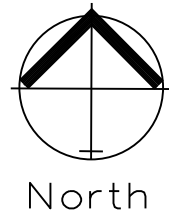


NOTE:

BUFFER/SCREEN REQUIRED BETWEEN LAND USES

Proposed use PMIX
Adjoining use PL

Medium impact screening. A 70 percent semi-opaque screen between land uses which are dissimilar in character. Semi-opaque screening should partially block views from adjoining land uses and create a separation between the adjoining land uses. For medium impact screening either a landscape screen or fencing is required.



LANDSCAPE PLAN
SCALE: 1" = 60'

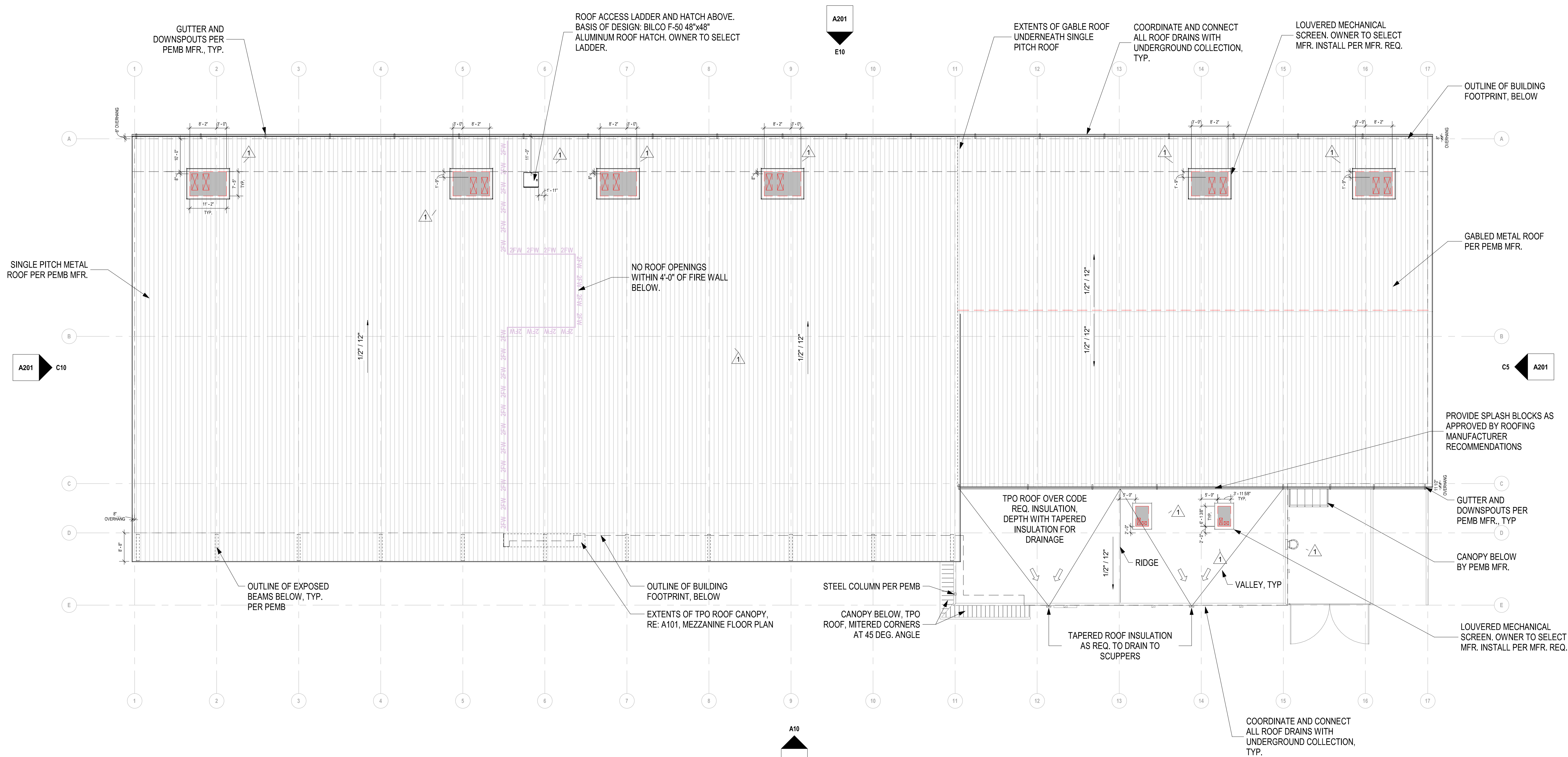
LANDSCAPE WORKSHEET			
	ORDINANCE REQUIREMENT	REQUIRED FOR THIS SITE	PROPOSED LANDSCAPE
14.090.A.1 Street Frontage Trees (SE Hamblen Rd)	1 tree per 30 feet of street frontage	386 ft. of street frontage /30= 13 trees required	13 Trees Provided
14.090.A.3 Street Frontage Shrubs (SE Hamblen Rd)	1 shrub per 20 feet of street frontage	386 ft. of street frontage /20= 19 shrubs required	26 shrubs provided
14.090.B.1 Open Yard Shrubs	2 shrubs per 5000 sq. ft. of total lot area excluding buildings.	144,332 sq. ft. of total lot area minus 48,885 sq.ft. of bldg. = 95,447 sq.ft. /5,000 x 2 = 38 shrubs	48 shrubs
14.090.B.3 Open Yard Trees	1 tree per 5000 sq. ft. of total lot area excluding buildings.	144,332 sq. ft. of total lot area minus 48,885 sq. ft. of bldg. = 95,447 sq. ft./5,000 = 19 trees	24 Provided
14.110. Parking Lot Landscape	5% of entire parking area (spaces, aisles & drives); 1 island at end of every parking bay, min. 9' wide	51,977 sq. ft. of parking area x .05 = 2,599 sq. ft. of landscape parking lot islands required	7,904 sq. ft.
14.120 Screening of Parking Lot, Road	12 shrubs per 40 linear feet (must be 2.5 feet tall; berms may be combined with shrubs)	224 linear feet/40 x 12 67 shrubs required.	67 shrubs provided
*STREET SHRUBS ARE SATISFIED WITH PARKING LOT SCREENING REQUIREMENTS.			

Open areas not covered with planting material shall be covered with sod

PLANTING SCHEDULE:

IS FOR PHASE 1 ONLY. AT FULL BUILD THE UNIFIED DEVELOPMENT ORDINANCE REQUIREMENTS SHALL BE MET.

SYMBOL	QUANT.	KEY	NAME	SIZE
tree	48	TA	AMERICAN BASSWOOD LINDEN TILIA AMERICANA	3.0" CAL
evergreen	39	SR	SKYROCKET JUNIPER JUNIPERUS SCOPULORUM "SKYROCKET"	8' HL
tree	48	RB	OKLAHOMA REDBUD CERCIS RENIFORMIS "OKLAHOMA"	3.0" CAL
shrub	162	BB	BURNING BUSH EUONYMUS ALATA "COMPACTUS"	2 Gallon Pot



A10 ROOF PLAN
1/16" = 1'-0"

GENERAL NOTES:
ROOF PLANS

1. RE: SHEET G001 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
2. DIMENSIONS SHOWN ON THE ROOF PLAN ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FCO), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
3. PROVIDE 1/2" FT. TAPERED INSULATION AT ALL ROOF CURBS AND AT EQUIPMENT WHICH EXCEEDS 18 INCHES IN WIDTH.

ROOF PLAN LEGEND

- SLOPE DIRECTION
- TAPERED INSULATION CRICKET OVERBUILD
- ROOF WALKING PAD
- ROOF DRAIN

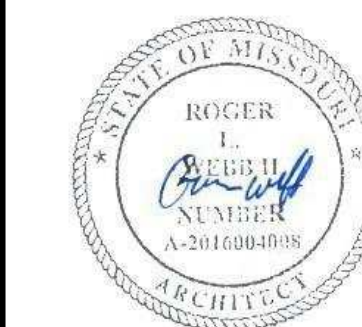
TM FIELDHOUSE

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REVISION DATES:

1 CITY COMMENTS 06/21/2023



PROFESSIONAL SEAL

A104

ISSUE DATE: 2 MAY 2023
COLLINS WEBB# 22103

ROOF PLAN

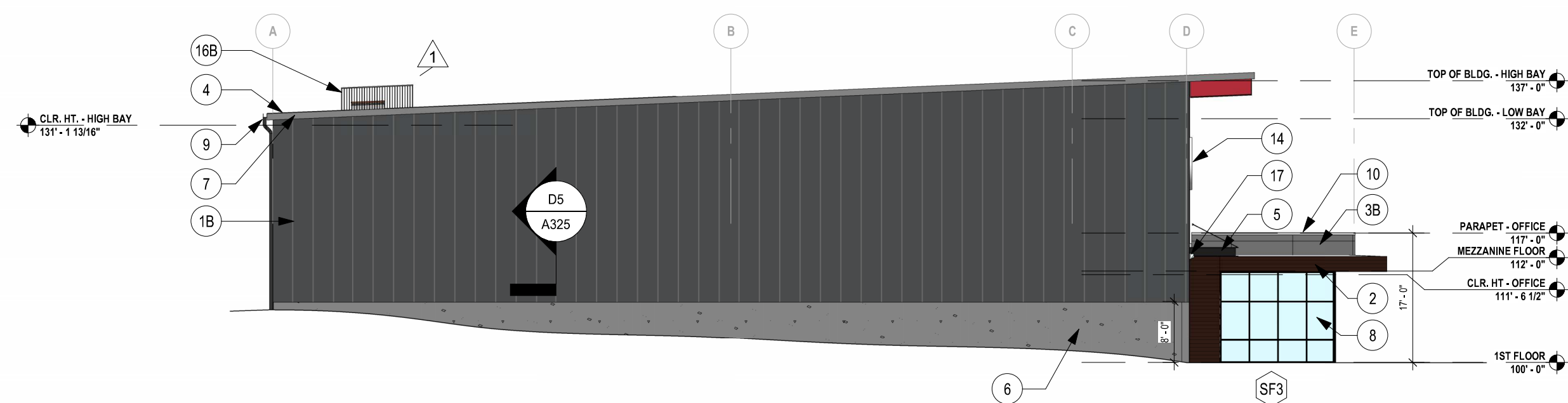


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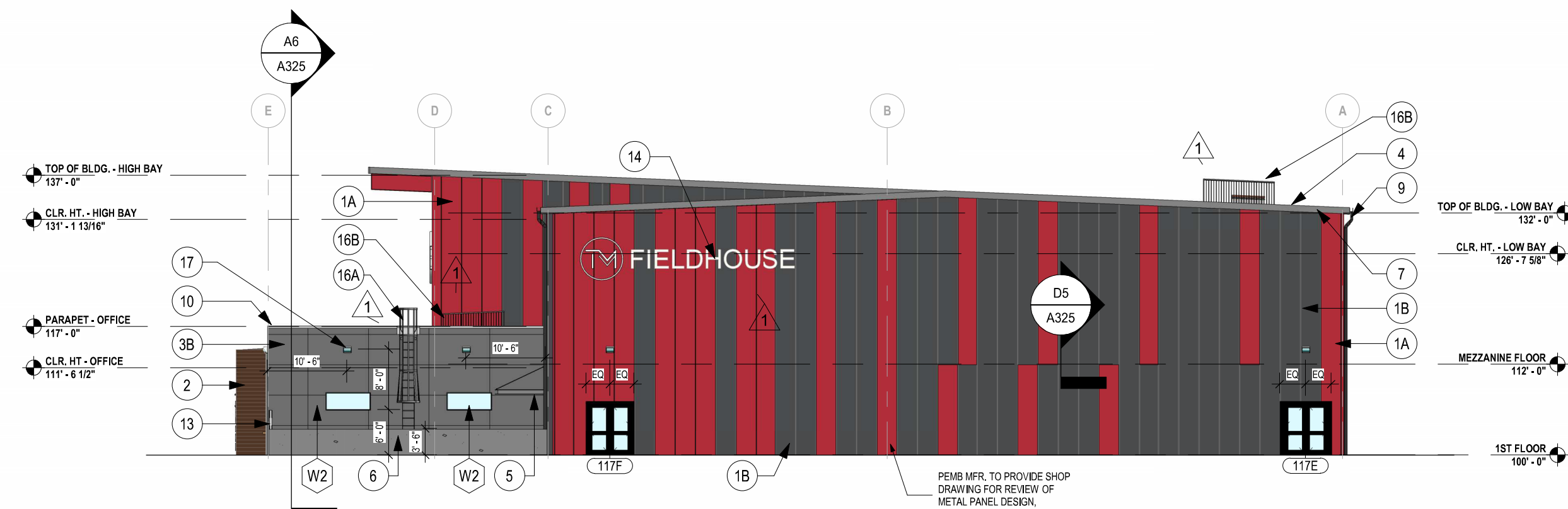
PERMIT SET



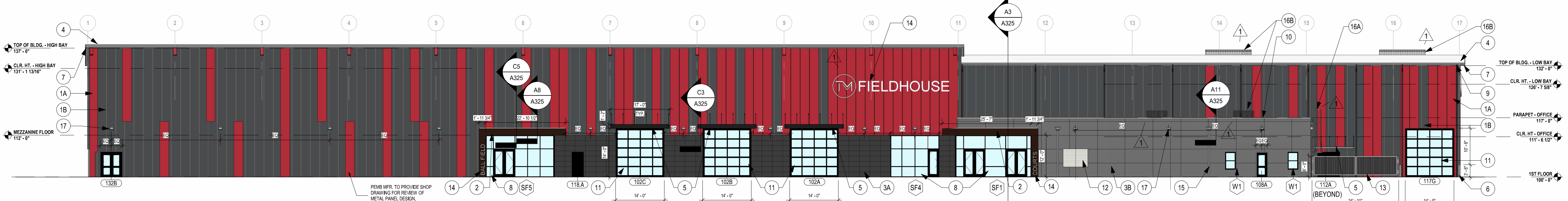
E10 NORTH ELEVATION
1/16" = 1'-0"



C10 WEST ELEVATION
1/16" = 1'-0"



C5 EAST ELEVATION
1/16" = 1'-0"



A10 SOUTH ELEVATION
1/16" = 1'-0"

GENERAL NOTES
EXTERIOR ELEVATIONS:

1. RE: SHEET G001 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
2. DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FCO), FACE OF STUD AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
3. RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.
4. PROVIDE ALL BLOCKING AND POWER AS REQUIRED FOR EXTERIOR SIGNAGE.

KEY NOTES
EXTERIOR ELEVATIONS:

- 1A) PRE-ENGINEERED METAL BUILDING PANEL 1: BASIS OF DESIGN: KYNAR500, COLOR: REGAL RED RE: PEMB MFR, DRAWINGS
- 1B) PRE-ENGINEERED METAL BUILDING PANEL 2: BASIS OF DESIGN: KYNAR500, COLOR: CHARCOAL GRAY RE: PEMB MFR, DRAWINGS
- 2) EXTERIOR ARCHITECTURAL WALL PANEL: BASIS OF DESIGN: NICHHA WOOD SERIES - ROUGHSAWN, COLOR: ESPRESSO
- 3A) EXTERIOR ARCHITECTURAL WALL PANEL: BASIS OF DESIGN: NICHHA FIBER CEMENT PANEL. FINAL SELECTION BY OWNER.
- 3B) EXTERIOR ARCHITECTURAL WALL PANEL: BASIS OF DESIGN: OMNIS STENI COLOUR RAINSCREEN, COLOR: SNB007. FINAL SELECTION BY OWNER.
- 4) STANDING SEAM METAL ROOF RE: PEMB MFR, DRAWINGS
- 5) EXTERIOR PRE-MANUFACTURED CANOPY BY PEMB MFR. PEMB MFR. TO PROVIDE STRUCTURAL SUPPORT IN WALL FOR CANOPY.
- 6) CONCRETE FOUNDATION WALL. RE: STRUCT.
- 7) FASCIA AND SOFFIT RE: PEMB MFR, DRAWINGS
- 8) STOREFRONT SYSTEM. BASIS OF DESIGN: KANINEER TRIFAB VERSAGLAZE 451/451T, COLOR: ANODIZED BLACK
- 9) GUTTER AND DOWNSPOUT, ROUTE DOWNSPOUT TO UNDERGROUND COLLECTION. RE: PEMB MFR, DRAWINGS
- 10) METAL COPING RE: PEMB MFR, DRAWINGS
- 11) OVERHEAD DOOR BASIS OF DESIGN: CLOPAY COMMERCIAL, ENERGY SERIES, RE: DOOR ELEVATIONS/SCHEDULE
- 12) INSULATED ROLLING OVERHEAD DOOR PER DOOR SCHEDULE. BASIS OF DESIGN: CORNELL RE: DOOR ELEVATIONS/SCHEDULE
- 13) TRASH ENCLOSURE GATE PER DOOR SCHEDULE BASIS OF DESIGN: CITYSCAPES CORVIT/TOUGHGATE RE: DOOR ELEVATIONS/SCHEDULE
- 14) STAINLESS STEEL BACKLIT SIGNAGE, OWNER PROVIDED AND CONTRACTOR INSTALLED, RE: MEP FOR LIGHTING
- 15) SCUPPER AND DOWNSPOUT, ROUTE DOWNSPOUT TO UNDERGROUND COLLECTION, RE: CIVIL
- 16A) ROOF ACCESS LADDER, RE: ROOF PLAN
- 16B) ROOF ACCESS HATCH, RE: ROOF PLAN
- 17) EXTERIOR LIGHTING: WALL PACK, RE: MEP

EXTERIOR ELEVATION MATERIALS

- PRE-ENGINEERED METAL PANEL 1, BY OTHERS. COLOR: REGAL RED
- PRE-ENGINEERED METAL PANEL 2, BY OTHERS. COLOR: CHARCOAL GRAY
- EXTERIOR ARCHITECTURAL WALL PANEL, BASIS OF DESIGN: NICHHA WOOD SERIES - ROUGHSAWN, COLOR: ESPRESSO
- EXTERIOR ARCHITECTURAL WALL PANEL, BASIS OF DESIGN: NICHHA FIBER CEMENT PANEL, SELECTION BY OWNER
- EXTERIOR ARCHITECTURAL WALL PANEL, BASIS OF DESIGN: OMNIS STENI COLOUR RAINSCREEN, COLOR: SNB007
- CONCRETE
- STANDING SEAM ROOF

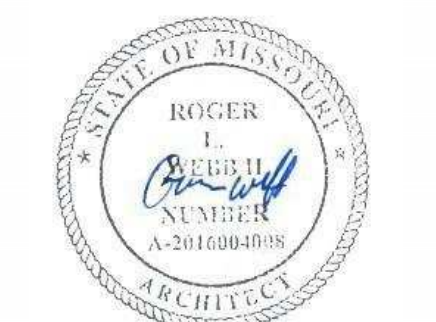


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REVISION DATES:
1 CITY COMMENTS 06/21/2023



PROFESSIONAL SEAL 6.21.2023

A201
ISSUE DATE: 2 MAY 2023
COLLINS WEBB # 22103

EXTERIOR ELEVATIONS



DEVELOPMENT REVIEW FORM
TRANSPORTATION IMPACT

DATE:	August 29, 2023	CONDUCTED BY:	Erin Ralovo, PE, PTOE
SUBMITTAL DATE:	June 22, 2023	PHONE:	816.969.1800
APPLICATION #:	2023162	EMAIL:	Erin.Ralovo@cityofls.net
PROJECT NAME:	TAILORMADE LANDING	PROJECT TYPE:	Prel Dev Plan (PDP)

SURROUNDING ENVIRONMENT (*Streets, Developments*)

The proposed development is generally located on the west side of Hamblen Road across from SE Kingspoint Drive. It is generally surrounded by industrial development on the north and west, and undeveloped property on the east side of Hamblen Road.

ALLOWABLE ACCESS

The proposed development will access Hamblen Road directly across from Kingspoint drive.

EXISTING STREET CHARACTERISTICS (*Lanes, Speed limits, Sight Distance, Medians*)

Hamblen Road is a 2 lane, undeveloped, Minor Arterial roadway with a posted speed limit of 40 MPH. There are no sidewalk or storm facilities along this roadway.

UNIMPROVED ROAD POLICY COMPLIANCE?

Yes ☐

No ☒

This development is subject to the Unimproved Road Policy (URP) considering the existing typical section and street classification of Hamblen Rd. The URP adopted by City Council by resolution provides guidance for staff to use in consideration of development that impacts adjacent roadways which are not constructed to "urban standards". Per the URP, an unimproved road is narrow in width (< 22' of pavement) and consistent with a rural character. An interim standard is generally defined as a minimum of two 12-foot travel lanes with six-foot paved shoulders. Hamblen Road has a width of 30', but does not have paved shoulders, putting it somewhere between an unimproved road and an interim road. According to the URP, no commercial development shall be permitted on an unimproved roadway. A waiver is required to permit development on anything less than an urban standard. The applicant has proposed widening the road to 36', providing 2-12' lanes and 2-6' shoulders, from Bailey Road to the south edge of the entrance drive, bringing Hamblen Road to an Interim Road standard.

Since Hamblen Road has a low traffic volume and is in an industrial area, staff is in support of the waiver with the following conditions: removal of existing thermoplastic pavement markings, installation of a microsurfacing treatment, and installation of new pavement markings.

ACCESS MANAGEMENT CODE COMPLIANCE?

Yes ☒

No ☐

All Access Management Code requirements are met.

TRIP GENERATION

Time Period	Total	In	Out
Weekday			
A.M. Peak Hour	10	5	5
P.M. Peak Hour	120	60	60

A trip generation model was provided by the developer's engineer, however the engineer did not feel there was an appropriate category for this development in the ITE manual. The Engineer calculated the peak hour trips based on the number of fields available and the number of players on each team. 5 Fields X 12 players per field X 1 car per player comes out to 60 trips in the PM peak. There will also be 60 vehicles leaving the site totalling 120 total trips.

TRANSPORTATION IMPACT STUDY REQUIRED? Yes ☒ No ☐

A Traffic Impact Study was submitted on July 24, 2023.

LIVABLE STREETS (*Resolution 10-17*) COMPLIANT ☐ EXCEPTIONS ☒

Hamblen Road does not currently meet the Livable streets requirements as no sidewalks are provided. The applicant will be required to provide Payment in Lieu of sidewalks. As Hamblen Road develops in the future, sidewalks will be added through either development projects or a CIP project. Although this does not provide sidewalks, pedestrians and bicyclists can use the 6' wide paved shoulders to travel along Hamblen Road, which is an improvement over the existing roadway section.

RECOMMENDATION: APPROVAL ☐ DENIAL ☐ N/A ☐ STIPULATIONS ☒

Recommendations for Approval refer only to the transportation impact and do not constitute an endorsement from City Staff.

Staff recommends approval of the proposed development with the following transportation improvement stipulations.

1. Hamblen Road shall be widened to 36 feet from Bailey Road to the south edge of the entrance drive.
2. After widening, any thermoplastic pavement markings shall be removed and a new microsurfacing treatment provided on Hamblen Road through the extent of the widening, followed by the replacement of all pavement markings.
3. A Payment-in-Lieu of for sidewalks is required for their property frontage only.