

- LEGEND**
- M - MEASURED
 - R - RECORD
 - R - RADIUS
 - CH - CHORD LENGTH
 - U/E - UTILITY EASEMENT
 - L/E - LANDSCAPE EASEMENT
 - D/E - DRAINAGE EASEMENT
 - W/E - WATER EASEMENT
 - SS/E - SEWER EASEMENT
 - S/B - BUILDING LINE
 - C/L - CENTERLINE
 - R/W - RIGHT OF WAY
 - ITB - INITIAL TANGENT BEARING

MONUMENT LEGEND

SET 1/2" REBAR AND CAP
@ ALL REAR LOT CORNERS
RLS-2134, MO.
RLS-1069, KS.

CURB NOTCHES ARE ON AN
EXTENSION OF THE SIDE LOT
LINES.

MONUMENTATION WILL BE
COMPLETED WITHIN 6 MONTHS
AFTER COMPLETION OF ALL
STREETS AND UTILITIES.

MISSOURI STATE PLANE
COORDINATES IN FEET

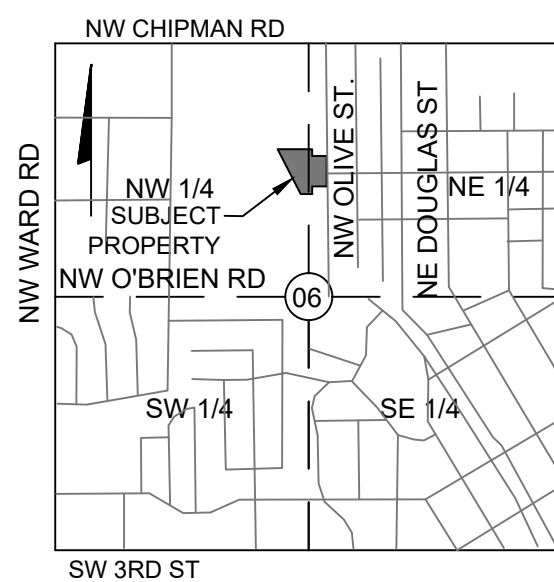
	NORTHING	EASTING
1	1003343.89	2821316.25
2	1003273.95	2821313.43
3	1003267.85	2821463.31
4	1002950.56	2821450.52
5	1002956.06	2821300.64
6	1002876.72	2821297.42
7	1002881.60	2821177.44
8	1003358.60	2820954.55

1 METER = 3.28083333'
KC METRO CONTROL STATION JA-43 WAS USED TO CREATE THE
COORDINATES AS SHOWN # AND IS BASED ON "MISSOURI
COORDINATE SYSTEM OF 1983, WEST ZONE" USING A
COMBINED GRID FACTOR OF 0.9998981.

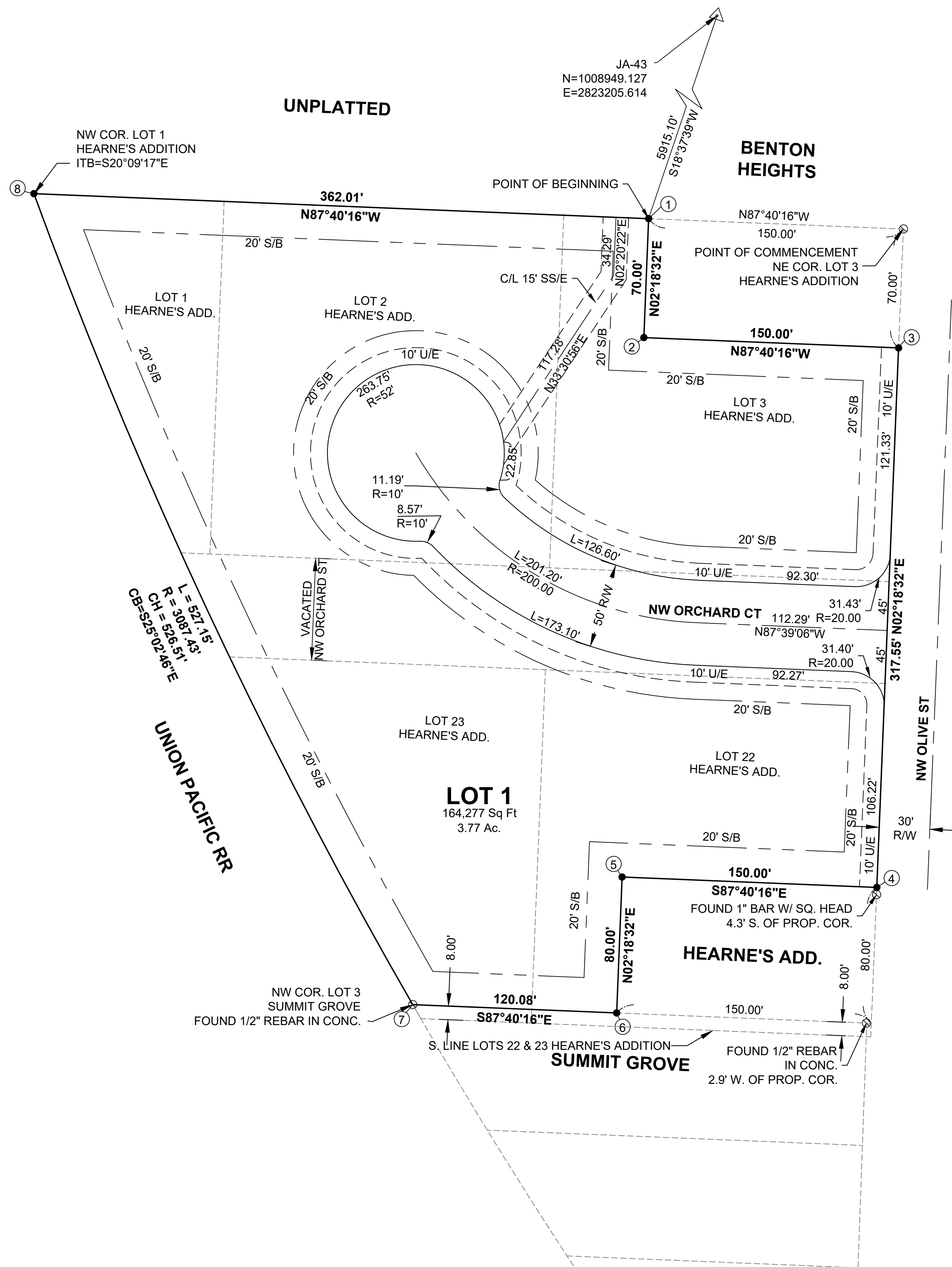
NOTES:
1. THE SUBJECT PROPERTY CONTAINS 3.77 ACRES MORE OR LESS.

FLOOD STATEMENT:
THE SUBJECT PROPERTY LIES IN AN AREA LABELED ZONE "X" (AREAS
DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN) AS
DETERMINED BY THE FEMA FLOOD INSURANCE RATE MAP NUMBER
29095C0417G.

BASIS OF BEARINGS:
BEARINGS SHOWN ARE GRID BEARINGS BASED ON MISSOURI STATE
PLANE COORDINATE SYSTEM OF 1983, WEST ZONE.



LOCATION MAP
SCALE=1"=2000'
SECTION 6
TOWNSHIP 47 RANGE 31



FINAL PLAT SEQUOIA RESIDENTIAL LOT 1

A REPLAT OF LOTS 1, 2 AND 23 AND PART OF LOTS 3 AND 22,
HEARNE'S ADDITION, A SUBDIVISION IN
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PLAT DEDICATION:
THE UNDERSIGNED PROPRIETORS OF THE ABOVE DESCRIBED TRACT OF LAND HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THE
ACCOMPANYING PLAT, WHICH SUBDIVISION SHALL BE HEREAFTER KNOWN AS "SEQUOIA RESIDENTIAL".

BUILDING LINES:
BUILDING LINES OR SETBACK LINES WILL BE ESTABLISHED BY THE DEVELOPMENT PLAN AND NO BUILDING OR PORTION THEREOF SHALL BE BUILT BETWEEN
THIS LINE AND THE LOT LINE NEAREST THERETO

EASEMENT DEDICATION:
AN EASEMENT IS HEREBY GRANTED TO CITY OF LEE'S SUMMIT, MISSOURI, TO LOCATE, CONSTRUCT AND MAINTAIN OR TO AUTHORIZE THE LOCATION,
CONSTRUCTION AND MAINTENANCE OF POLES, WIRES, ANCHORS, CONDUITS, AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER,
SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF
THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENT" (U.E.) OR WITHIN ANY STREET OR
THOROUGHFARE DEDICATED TO PUBLIC USE ON THIS PLAT, THE GRANTOR, ON BEHALF OF HIMSELF, HIS HEIRS, HIS ASSIGNS AND SUCCESSORS IN INTEREST,
HEREBY WAIVES, TO THE FULLEST EXTENT ALLOWED BY LAW INCLUDING, WITHOUT LIMITATION, SECTION 527.188 RSMO, (2006) ANY RIGHT TO REQUEST
RESTORATION OF RIGHTS PREVIOUSLY TRANSFERRED AND VACATION OF THE EASEMENTS HEREIN GRANTED.

AN EASEMENT IS HEREBY GRANTED TO CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT AND MAINTAIN OR TO AUTHORIZE THE LOCATION,
CONSTRUCTION OR MAINTENANCE AND USE OF SANITARY SEWER LINES, SANITARY SEWER STRUCTURES, AND SIMILAR FACILITIES, UPON, OVER AND UNDER
THESE AREAS OUTLINED AND DESIGNATED ON THIS PLAT AS "SANITARY SEWER EASEMENT" (SS/E) OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED
TO PUBLIC USE ON THIS PLAT, IS HEREBY GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI, THE GRANTOR, ON BEHALF OF HIMSELF, HIS HEIRS, HIS
ASSIGNS AND SUCCESSORS IN INTEREST, HEREBY WAIVES, TO THE FULLEST EXTENT ALLOWED BY LAW, INCLUDING, WITHOUT LIMITATION, SECTION 527.188
RSMO, (2006), ANY RIGHT TO REQUEST RESTORATION OF RIGHTS PREVIOUSLY TRANSFERRED AND VACATION OF THE EASEMENT HEREIN GRANTED.

STREET DEDICATION:
STREETS SHOWN HEREON AND NOT HERETOFORE DEDICATED FOR PUBLIC USE AS STREET RIGHT-OF-WAY ARE HEREBY DEDICATED.

LEGAL DESCRIPTION:
ALL THAT PART OF LOTS 1, 2, 3, 22, AND 23, HEARNE'S ADDITION, A SUBDIVISION OF LAND IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI,
TOGETHER WITH ALL OF VACATED ORCHARD STREET LYING ADJACENT TO SAID LOTS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 3, HEARNE'S ADDITION, THENCE NORTH 87°40'16" WEST, ALONG THE NORTH LINE OF SAID LOT 3,
AND ALSO BEING ALONG THE SOUTH LINE OF LOT 1, BENTON HEIGHTS, A SUBDIVISION OF LAND IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI,
A DISTANCE OF 150.00 FEET TO THE NORTHWEST CORNER OF THE EAST 150 FEET OF SAID LOT 3 AND BEING THE TRUE POINT OF BEGINNING OF LAND BEING
DESCRIBED; THENCE CONTINUING NORTH 87°40'16" WEST, ALONG SAID NORTH LINE OF LOT 3, AND ALONG THE NORTH LINE OF SAID LOTS 2 AND 1, OF SAID
HEARNE'S ADDITION, A DISTANCE OF 362.01 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, SAID POINT BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF
THE UNION PACIFIC RAILROAD, AS NOW EXISTS; THENCE SOUTHEASTERLY ALONG THE WESTERLY LINE OF SAID LOT 1 AND SAID LOT 23, HEARNE'S ADDITION,
AND BEING ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID RAILROAD, ON A CURVE TO THE LEFT, SAID CURVE HAVING AN INITIAL TANGENT BEARING OF
SOUTH 20°09'17" EAST, A CHORD WHICH BEARS SOUTH 25°02'46" EAST, A RADIUS OF 3,087.43 FEET, A CHORD DISTANCE OF 526.51 FEET, AN ARC LENGTH OF
527.15 FEET TO A POINT 8 FEET DUE NORTH OF AND ADJACENT TO THE SOUTH LINE OF SAID LOT 23; THENCE SOUTH 87°40'16" EAST, ALONG A LINE 8 FEET
DUE NORTH OF AND ADJACENT TO AND PARALLEL WITH THE SOUTH LINE OF SAID LOT 23 AND SAID LOT 22, HEARNE'S ADDITION, A DISTANCE OF 120.08 FEET
TO THE SOUTHWEST CORNER OF THE NORTH 80 FEET OF THE SOUTH 88 FEET OF THE EAST 150 FEET OF SAID LOT 22; THENCE NORTH 02°18'32" EAST, ALONG
THE WEST LINE OF THE EAST 150 FEET OF SAID LOT 22, A DISTANCE OF 80.00 FEET TO THE NORTHWEST CORNER OF THE SOUTH 88 FEET OF THE EAST 150
FEET OF SAID LOT 22; THENCE SOUTH 87°40'16" EAST, 88 FEET DUE NORTH OF AND ADJACENT TO AND PARALLEL WITH THE SOUTH LINE OF SAID LOT 22, A
DISTANCE OF 150.00 FEET TO THE NORTHEAST CORNER OF THE SOUTH 88 FEET OF SAID LOT 22; THENCE NORTH 02°18'32" EAST, ALONG THE EAST LINE OF
SAID LOTS 22 AND 3, HEARNE'S ADDITION, AND ALSO BEING ALONG THE WESTERLY RIGHT-OF-WAY LINE OF OLIVE STREET, AS NOW EXISTS, A DISTANCE OF
317.55 FEET TO THE SOUTHEAST CORNER OF THE NORTH 70 FEET OF SAID LOT 3; THENCE NORTH 87°40'16" WEST, ALONG A LINE 70 FEET DUE SOUTH OF AND
ADJACENT TO AND PARALLEL WITH THE NORTH LINE OF SAID LOT 3, A DISTANCE OF 150.00 FEET TO THE SOUTHWEST CORNER OF THE NORTH 70 FEET OF
THE EAST 150 FEET OF SAID LOT 3; THENCE NORTH 02°18'32" EAST, ALONG THE WEST LINE OF THE EAST 150 FEET OF SAID LOT 3, A DISTANCE OF 70.00 FEET
TO THE PLACE OF BEGINNING, PREPARED OCTOBER 27, 2023 BY ROGER A. BACKUES, PLS-2134
CONTAINING 164,714.19 SQUARE FEET OR 3.781 ACRES, MORE OR LESS.

ACKNOWLEDGEMENT:

IN WITNESS WHEREOF, ORCHARD PARK DEVELOPMENT, LLC, A MISSOURI LIMITED LIABILITY COMPANY HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS
MEMBER THIS ____ DAY OF ____, 20__.

MEMBER - DICK BURTON

STATE OF MISSOURI)

COUNTY OF JACKSON)

ON THIS ____ DAY OF ____, 20__, BEFORE ME APPEARED DICK BURTON, MEMBER OF ORCHARD PARK DEVELOPMENT, LLC, A MISSOURI LIMITED
LIABILITY COMPANY TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT; AND ACKNOWLEDGED THAT HE
EXECUTED THE SAME AS HIS FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL AT MY OFFICE
IN ____, THE DAY AND YEAR LAST ABOVE WRITTEN.

SEAL

NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE

MY TERM EXPIRES ____

CITY ACKNOWLEDGEMENT:

THIS IS TO CERTIFY THAT THE WITHIN PLAT OF "SEQUOIA RESIDENTIAL" WAS SUBMITTED TO AND DULY APPROVED BY THE MAYOR AND CITY COUNCIL OF
THE CITY OF LEE'S SUMMIT, MISSOURI THIS ____ DAY OF ____,
20__ BY ORDINANCE NO. ____

MAYOR - WILLIAM A. BAIRD DATE

CITY CLERK - TRISHA FOWLER ARCURI DATE

PLANNING COMMISSION SECRETARY - CYNDA A. RADER DATE

DIRECTOR OF DEVELOPMENT SERVICES - RYAN A. ELAM, P.E. DATE

CITY ENGINEER - GEORGE M. BINGER III, P.E. DATE

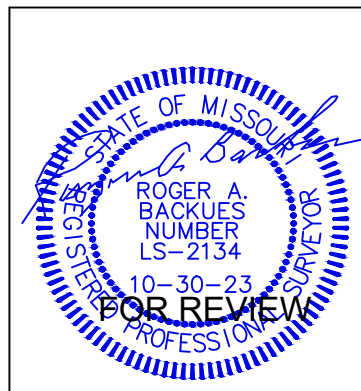
JACKSON COUNTY ASSESSOR APPROVAL:

BY: JACKSON COUNTY ASSESSMENT DEPARTMENT

DATE:

I HEREBY DECLARE THAT AN ACTUAL PROPERTY
BOUNDARY RE-SURVEY WAS MADE BY ME OR UNDER MY
DIRECT SUPERVISION AND THAT SURVEY MEETS OR
EXCEEDS THE CURRENT MINIMUM STANDARDS FOR
PROPERTY BOUNDARY SURVEYS TO THE BEST OF MY
PROFESSIONAL KNOWLEDGE, INFORMATION AND
BELIEF.

SURVEYOR: ROGER A. BACKUES - RLS NO. 2134



DATE: OCTOBER 30, 2023

DEVELOPER

ORCHARD PARK DEVELOPMENT, LLC
8 SW AA HIGHWAY
KINGSVILLE, MO. 64061

**SEQUOIA RESIDENTIAL - LOT 1
A REPLAT OF LOTS 1, 2 AND 23 AND
PART OF LOTS 3 AND 22,
HEARNE'S ADDITION, A SUBDIVISION IN
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI**

**BOUNDARY & CONSTRUCTION
SURVEYING, INC.**

821 NE COLUMBUS STREET SUITE 100, LEE'S SUMMIT, MO. 64063
PH # 816/554-9798, FAX # 816/554-0337

PROJECT NO. 23-183

SHEET 1 OF 1

SEQUOIA RIDGE, LEE'S SUMMIT, MISSOURI