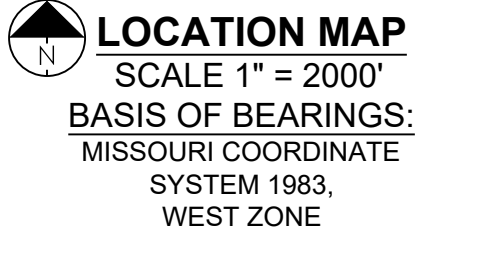
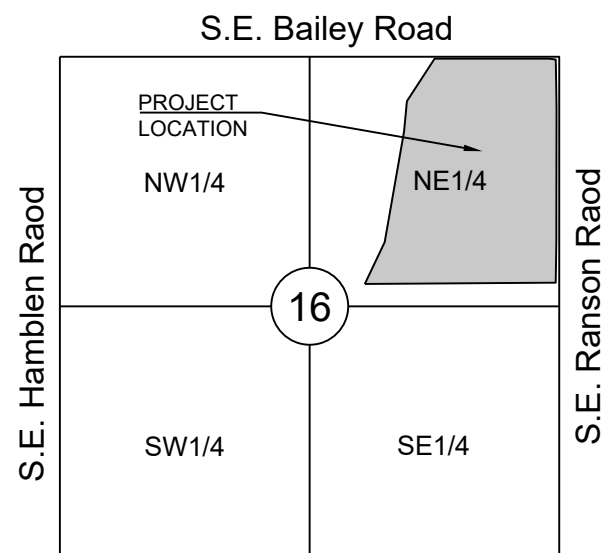


LEGEND:

- A/E - ACCESS EASEMENT
BC - BACK OF CURB
B/B - BACK TO BACK
BM - BENCHMARK
BL or B.L. - BUILDING LINE
CO - CLEANOUT
TJB - TELEPHONE JUNCTION BOX
C&G - CURB AND GUTTER
D/E - DRAINAGE EASEMENT
E/E - ELECTRICAL EASEMENT
EL - ELEVATION
FL - FLOW LINE
G/E - GAS LINE EASEMENT
HDPE - HIGH-DENSITY POLYETHYLENE
L/E - LANDSCAPE EASEMENT
MSFE - MINIMUM SERVICEABLE FLOOR ELEVATION
PVC - POLYVINYL CHLORIDE
P/L - PROPERTY LINE
PUB/E - PUBLIC EASEMENT
RCP - REINFORCED CONCRETE PIPE
ROW or RW - RIGHT-OF-WAY
S/E - SANITARY SEWER EASEMENT
SL - SERVICE LINE
SW - SIDEWALK
TE - TOP ELEVATION
U/E - UTILITY EASEMENT
WSE - WATER SURFACE ELEVATION
W/E - WATERLINE EASEMENT

- ASPHALT PAVEMENT - EXISTING
ASPHALT PAVEMENT - PROPOSED
CONCRETE PAVEMENT - EXISTING
CONCRETE SIDEWALK - EXISTING
CONCRETE SIDEWALK - PROPOSED
CURB & GUTTER
CURB & GUTTER - EXISTING
TREELINE
EXISTING LOT AND RW LINES
EXISTING PLAT LINES
P/L - PROPERTY LINES
ROW - RIGHT-OF-WAY
SANITARY SEWER MAIN
SANITARY SEWER MAIN - EXIST.
STO - STORM SEWER
STORM SEWER - EXISTING
CABLE TV - EXISTING
FIBER OPTIC CABLE - EXISTING
TELEPHONE LINE - EXIST.
ELECTRIC LINE - EXISTING
OVERHEAD POWER LINE - EXIST.
UNDERGROUND ELECTRIC - EX.
GAS LINE - EXISTING
WATERLINE - EXISTING
LIGHT - EXISTING
EXISTING MANHOLE
CLEANOUT
EXISTING SANITARY MANHOLE
PROPOSED SANITARY MANHOLE
EXISTING AREA INLET
EXISTING CURB INLET
EXISTING GRATE INLET
EXISTING JUNCTION BOX
EXISTING STORM MANHOLE



UTILITY CONTACTS:

MISSOURI DEPARTMENT OF TRANSPORTATION (MODOT)
Steve Holloway
600 NE Colbern Road
Lee's Summit, MO 64086
(816) 607-2186

MISSOURI GAS ENERGY (MGE)
Brent Jones
3025 SE Clover Drive
Lee's Summit, MO 64082
(816) 399-9633
brent.jones@spireenergy.com

KANSAS CITY POWER & LIGHT COMPANY (KCP&L)
Ron Dejamette
1300 SE Hamblen Road
Lee's Summit, MO 64081
Office: (816) 347-4316
Cell: (816) 810-5234
ron.dejamette@kcpcl.com

CITY OF LEES SUMMIT PUBLIC WORKS
Dena Mezger
220 SE Green Street
Lee's Summit, MO 64063
(816) 969-1800

AT&T
Mark Manion or Marty Loper
500 E. 8th Street, Room 370
Kansas City, MO 64106
(816) 275-2341 or (816) 275-1550

COMCAST CABLE
John Meadows
4700 Little Blue Parkway
Independence, MO 64057
(816) 795-2257

CITY OF LEE'S SUMMIT WATER UTILITIES
Mark Schaufel
1200 SE Hamblen Road
Lee's Summit, MO 64081
(816) 969-1900

SUMMARY OF QUANTITIES

Table with columns: ITEM, QUANTITY, UNITS. Includes rows for CLEARING AND GRUBBING, GRADING, ASPHALT PAVEMENT, CONCRETE SIDEWALK, CURB AND GUTTER, and various utility inlets.

Table with columns: ITEM, QUANTITY, UNITS. Includes rows for HDPE RCP, RCP, CONCRETE SIDEWALK, and END OF ROAD MARKERS.

STREET, STORMWATER, AND MASTER DRAINAGE PLAN FOR MANOR AT BAILEY FARMS, FIRST PLAT IN THE CITY OF LEE'S SUMMIT JACKSON COUNTY, MISSOURI

GENERAL NOTES:

- 1. ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI.

EARTHWORK:

- 1. It is recommended that a Geotechnical Engineer observe and document all earthwork activities.
2. Contours have been shown at 1-foot or 2-foot intervals, as indicated. Grading shall consist of completing the earthwork required to bring the physical ground elevations of the existing site to the finished grade (or sub-grade) elevations provided on the plans as spot grades, contours or others means as indicated on the plans.

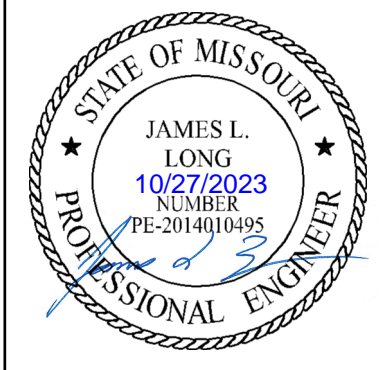
UTILITIES:

- 1. Existing utilities have been shown to the greatest extent possible based upon information provided to the Engineer.
2. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts.

Sheet List Table with columns: Sheet Number, Sheet Title. Lists sheets from 1 (COVER SHEET) to 49 (OM-4 SIGN DETAILS).



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN SE BAILEY ROAD AND SE RANSON ROAD LEE'S SUMMIT, MISSOURI

APPROVED BY:

CITY ENGINEER DATE
APPROVED FOR ONE YEAR FROM THIS DATE

OWNER/DEVELOPER:

CLAYTON PROPERTIES GROUP INC., DBA SUMMIT HOMES BRADLEY KEMPF 120 SE 30TH STREET LEE'S SUMMIT, MO 64082 p (816) 246-6700 BRADLEY@SUMMITHOMESKC.COM



MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987. ELEV. = 1046.25

Revision table with columns: REVISION DATE, DESCRIPTION. Includes revisions from 01/21/2022 to 10/27/2023.

COVER SHEET

SHEET

1

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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT**  
**STREET, STORMWATER, AND MASTER DRAINAGE**  
**PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD**  
**LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
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04/20/2022	City Comments dated 02/14/2022
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10/27/2023	Reviewed Details to current 2023 Details

GENERAL LAYOUT (NORTH)

SHEET

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

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ELEV. = 1046.25

**BASIS OF BEARINGS:**

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

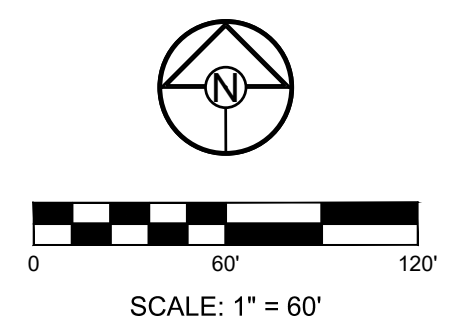
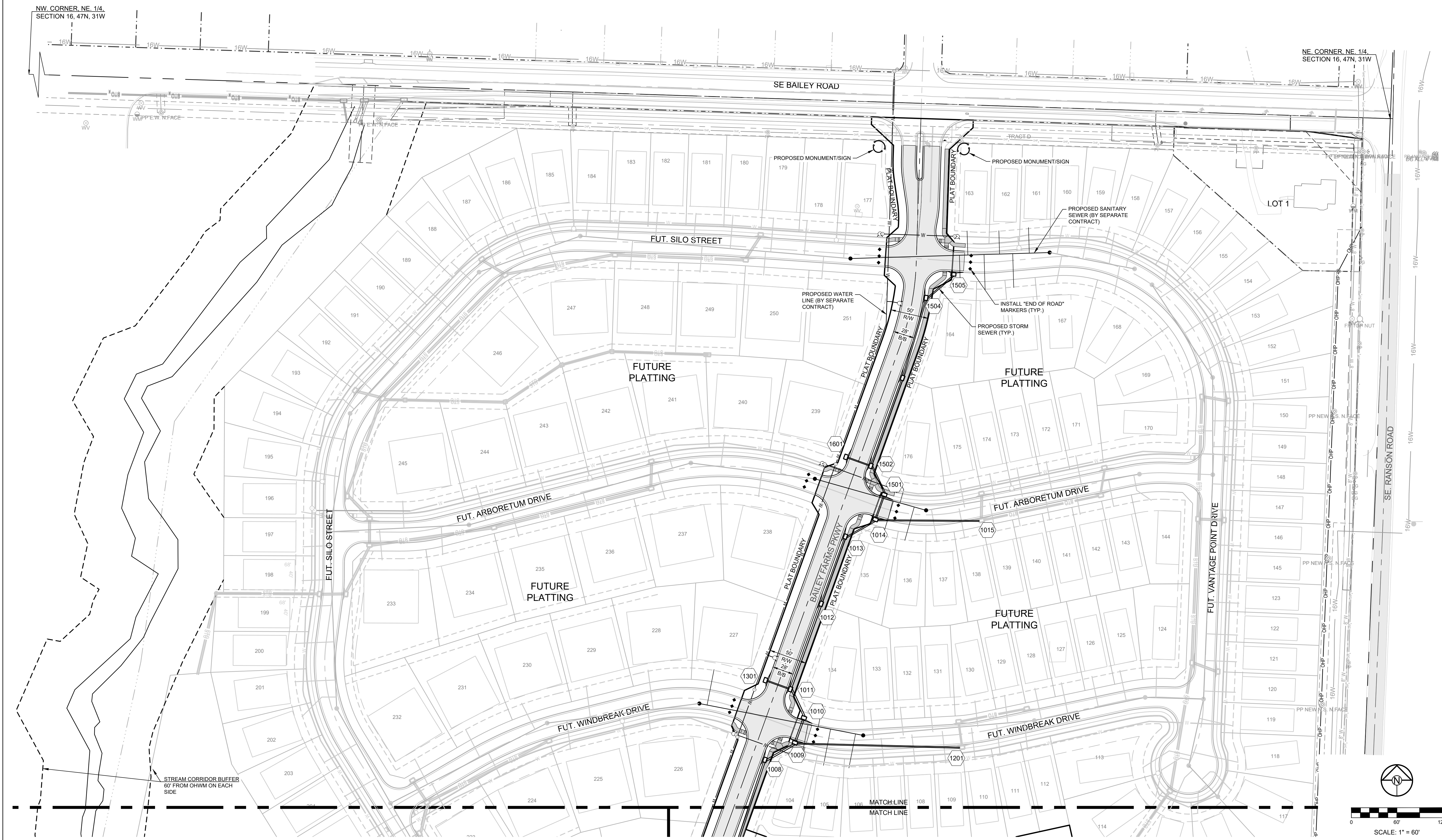
**NOTES:**

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**STREET LEGEND:**

- RESIDENTIAL LOCAL
- RESIDENTIAL COLLECTOR



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**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

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**STREET LEGEND:**

- RESIDENTIAL LOCAL
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**SCHLAGEL**  
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 14920 West 107th Street • Lenexa, Kansas 66215  
 (913) 492-5158 • Fax: (913) 492-8400  
 WWW.SCHLAGELASSOCIATES.COM  
 Missouri State Certificates of Authority  
 #E2200203690F #LAC201005237 #LS2002008695F

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

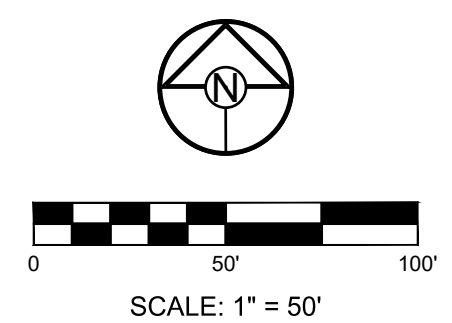
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GENERAL LAYOUT (EAST)

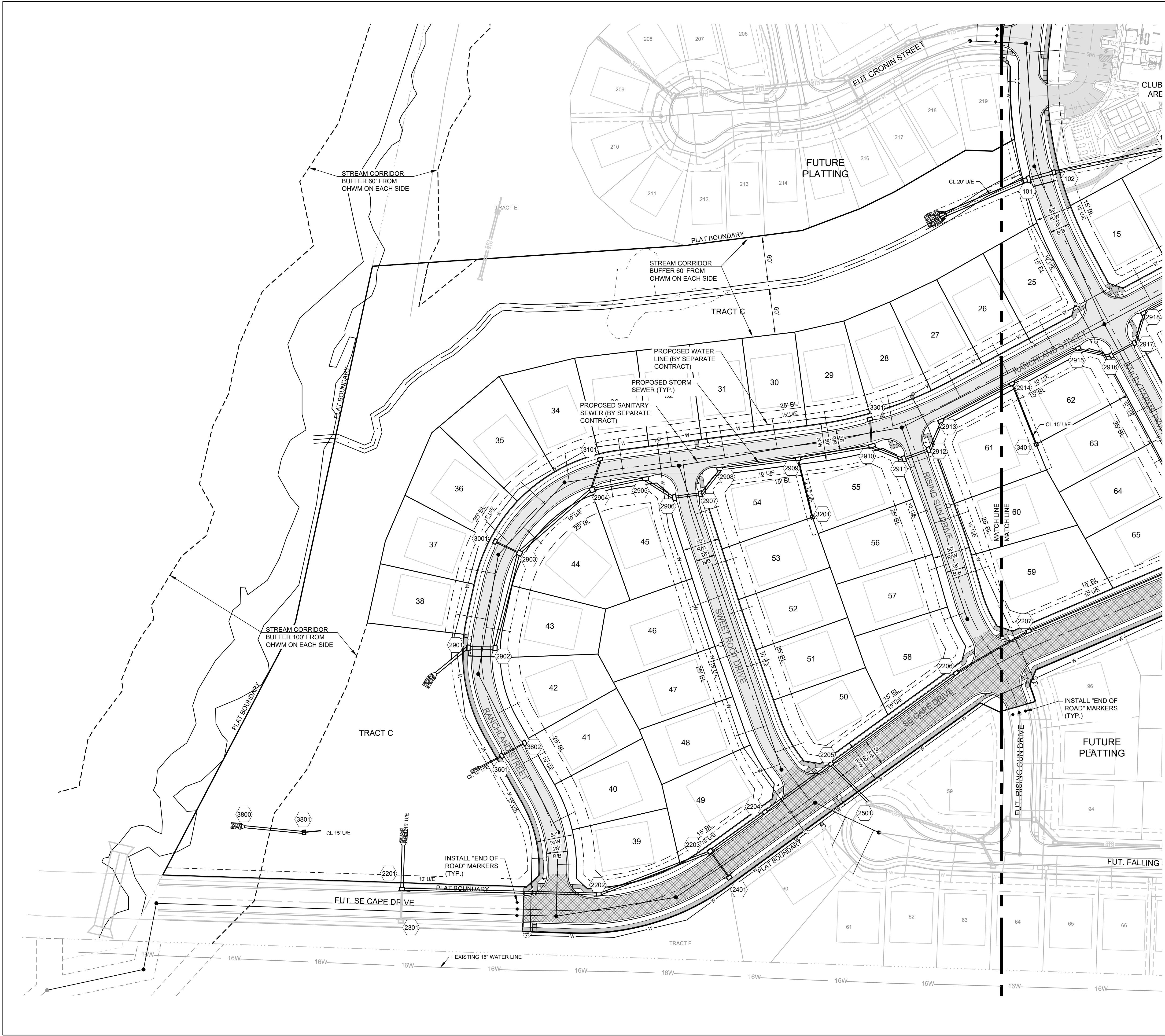
SHEET

**3**



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**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

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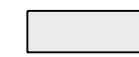
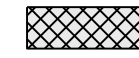
**BASIS OF BEARINGS:**

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

**NOTES:**

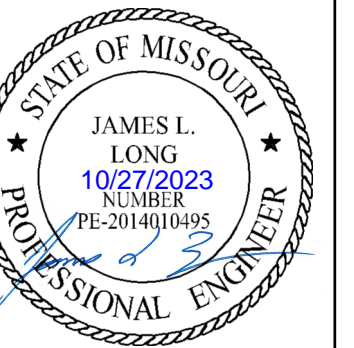
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**STREET LEGEND:**

-  RESIDENTIAL LOCAL
-  RESIDENTIAL COLLECTOR



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

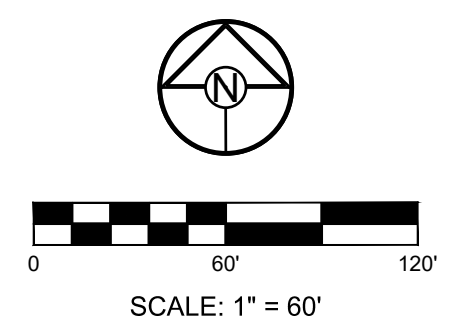
**MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD**  
**LEES SUMMIT, MISSOURI**

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**GENERAL LAYOUT (WEST)**

SHEET

**4**



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD  
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MASTER  
 DRAINAGE  
 PLAN-GRADING  
 PLAN (NORTH)

SHEET  
**5**

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM  
 BENCHMARK:**

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ELEV. = 1046.25

**BASIS OF BEARINGS:**

MISSOURI STATE PLANE COORDINATE SYSTEM  
 (NAD) 1983, MISSOURI, WEST ZONE

**NOTES:**

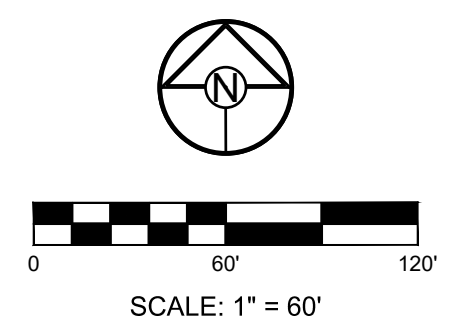
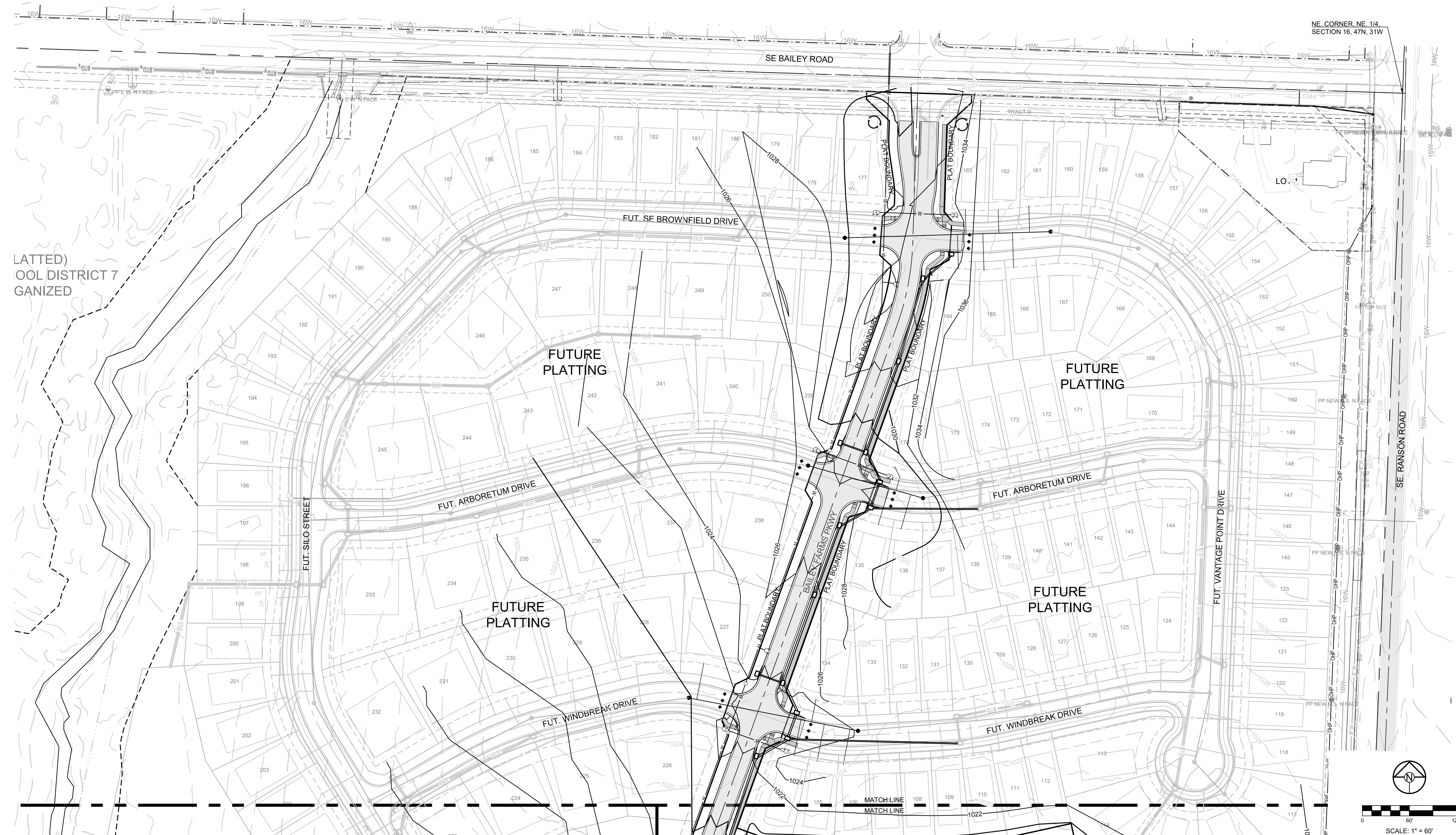
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**GRADING LEGEND:**

- 1023 --- EXISTING CONTOUR
- 1023 — PROPOSED CONTOUR
- - - - - MWSE

- EL.000.00 DENOTES FINISHED GRADE ELEVATION
- EL.000.00 (EX) DENOTES EXISTING GRADE ELEVATION
- HP 000.00 DENOTES LOT HIGH POINT ELEVATION



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

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**BASIS OF BEARINGS:**

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

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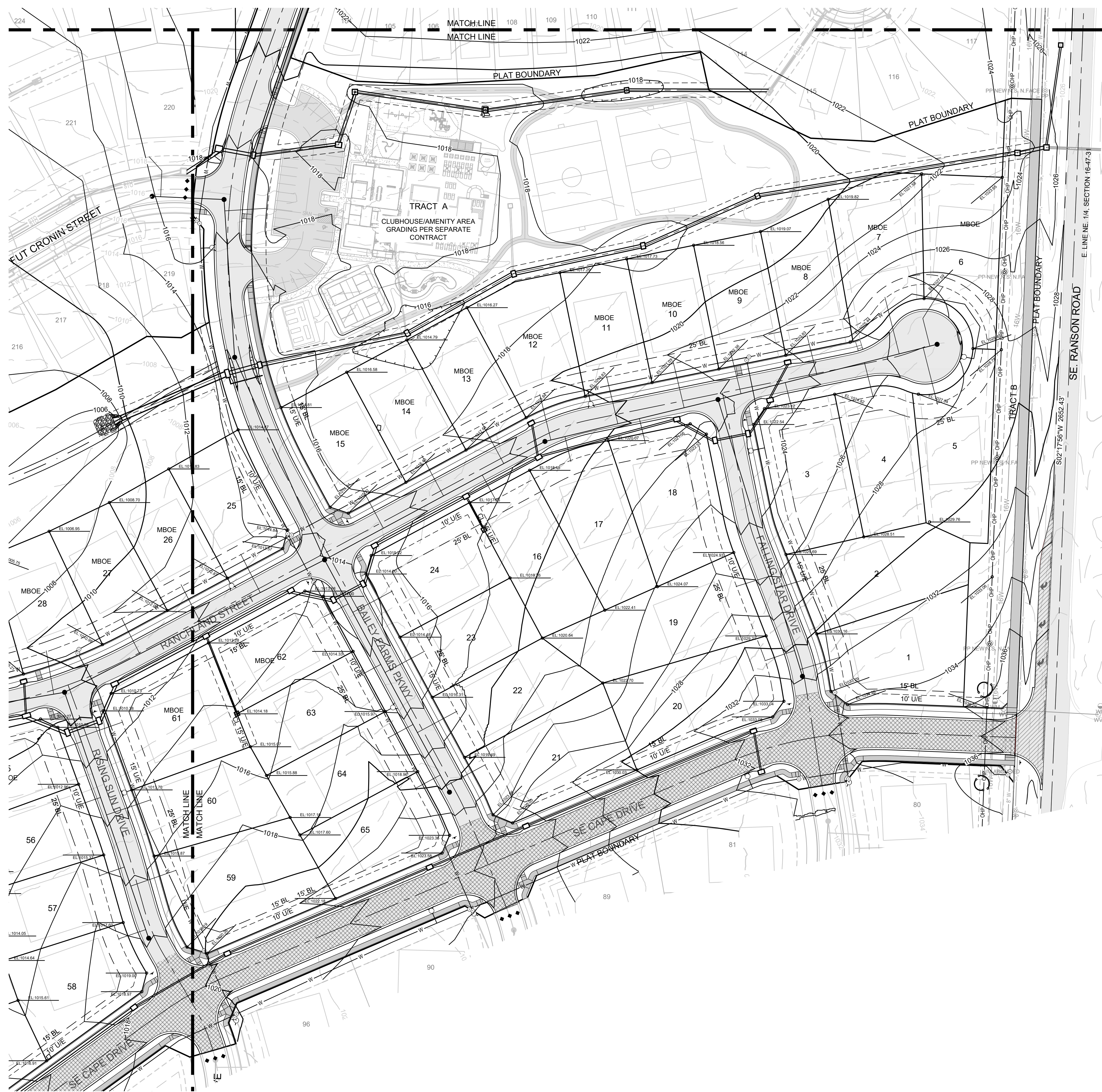
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**NOTES:**

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2. EGL = ENERGY GRADE LINE (100 YR)
3. WSE = WATER SURFACE ELEVATION (100 YR)
4. ENGINEERED SWALES TO BE GRADED TO NORMAL DEPTH OF FLOW (WATER SURFACE ELEVATION) OR 1.0 FT, WHICHEVER IS GREATER. MINIMUM SLOPE OF ENGINEERED SWALES SHALL BE AS NOTED.
5. MBOE'S ADJACENT TO SUMPED INLETS SHALL BE A MINIMUM OF 1' ABOVE TOP OF ADJACENT BERM.

LOT TYPE TABLE			LOT TYPE TABLE		
LOT #	BASEMENT TYPE	MBOE	LOT #	BASEMENT TYPE	MBOE
1	STANDARD		34	DAYLIGHT	
2	STANDARD		35	DAYLIGHT	
3	STANDARD		36	WALKOUT	
4	STANDARD		37	WALKOUT	
5	STANDARD		38*	STANDARD	1002
6*	STANDARD	1027	39	STANDARD	
7*	STANDARD	1025	40	STANDARD	
8*	DAYLIGHT	1022	41	STANDARD	
9*	DAYLIGHT	1022	42	STANDARD	
10*	STANDARD	1021	43	STANDARD	
11*	STANDARD	1021	44	STANDARD	
12*	STANDARD	1018	45	STANDARD	
13*	STANDARD	1020	46	WALKOUT	
14*	STANDARD	1020	47	WALKOUT	
15*	STANDARD	1020	48	DAYLIGHT	
16	STANDARD		49	DAYLIGHT	
17	STANDARD		50	STANDARD	
18	STANDARD		51	STANDARD	
19	DAYLIGHT		52	STANDARD	
20	DAYLIGHT		53	STANDARD	
21	STANDARD		54*	STANDARD	1014
22	STANDARD		55*	STANDARD	1014
23	STANDARD		56	STANDARD	
24	STANDARD		57	STANDARD	
25	DAYLIGHT		58	STANDARD	
26*	DAYLIGHT	1009	59	STANDARD	
27*	DAYLIGHT	1009	60	STANDARD	
28*	DAYLIGHT	1008	61*	STANDARD	1017
29*	DAYLIGHT	1008	62*	STANDARD	1017
30*	DAYLIGHT	1007	63	STANDARD	
31*	DAYLIGHT	1007	64	STANDARD	
32*	DAYLIGHT	1005	65	STANDARD	
33*	DAYLIGHT	1005			

\* LOTS WHICH REQUIRE AN "AS-GRADED PLOT PLAN" BEFORE OCCUPANCY.



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#E200203606F #LAC201005237 #S200200895F

PREPARED BY:



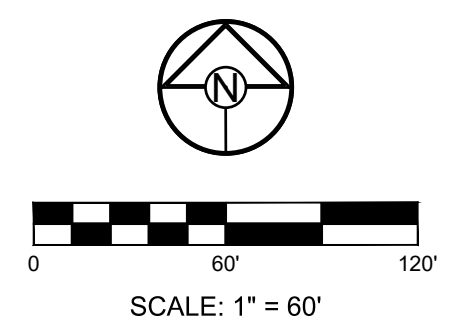
SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEES SUMMIT, MISSOURI

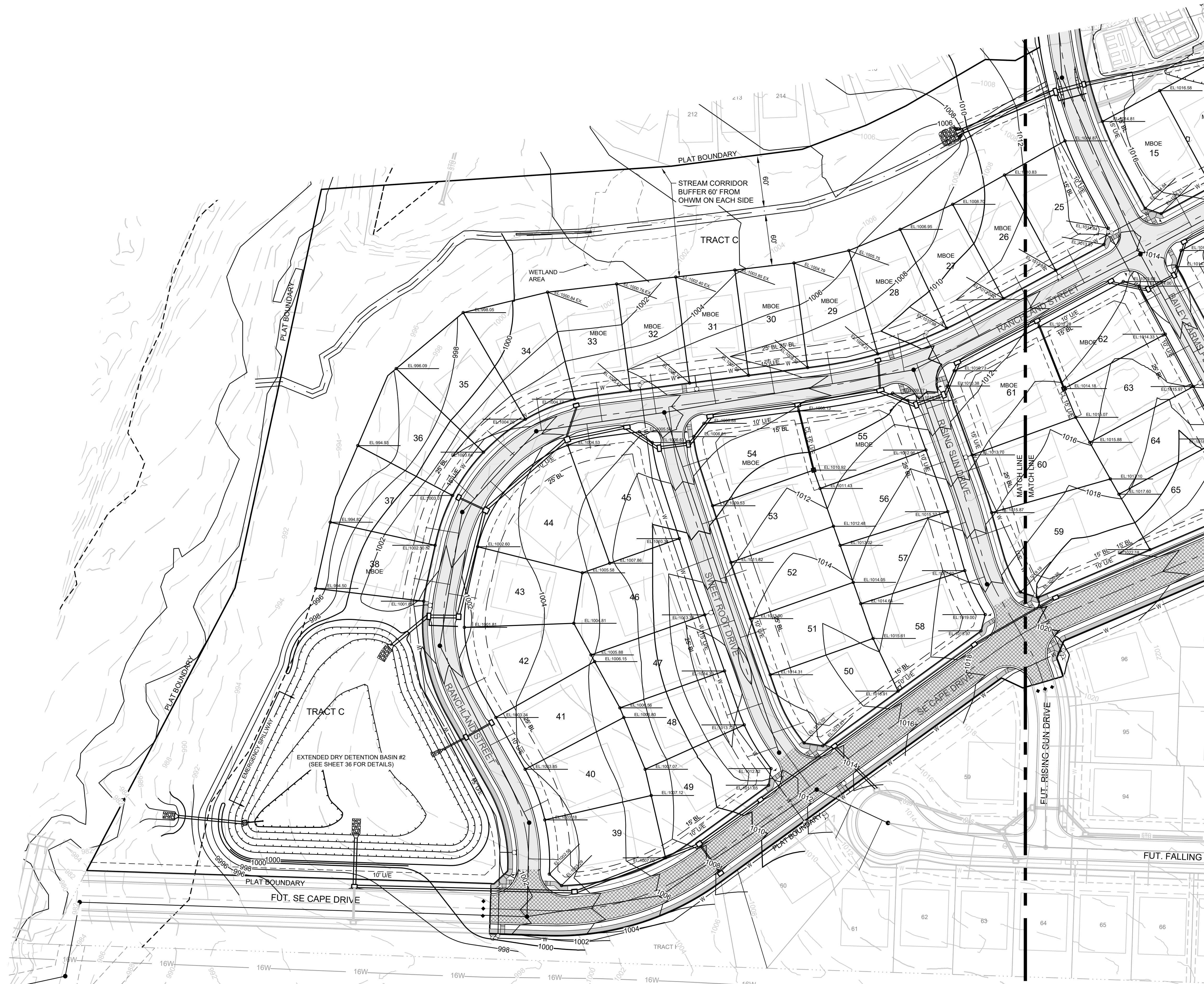
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MASTER DRAINAGE PLAN-GRADING PLAN (EAST)

SHEET  
**6**



I:\PROJECTS\2021\121-130\3.0 Design\3.0 DWG Plans\6.0 SS\21-130-SS-GRADE.dwg, MASTER DRAINAGE PLAN-GRADING PLAN (WEST), 10/27/2023 1:40:45 PM, 1:1



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ELEV. = 1046.25

**BASIS OF BEARINGS:**

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

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- 1023 --- EXISTING CONTOUR
- 1023 — PROPOSED CONTOUR
- - - - - MWSE
- EL.000.00 DENOTES FINISHED GRADE ELEVATION
- EL.000.00 (EX.) DENOTES EXISTING GRADE ELEVATION
- HP 000.00 DENOTES LOT HIGH POINT ELEVATION

**NOTES:**

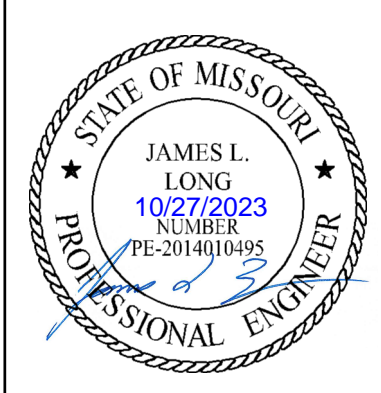
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17	STANDARD		50	STANDARD	
18	STANDARD		51	STANDARD	
19	DAYLIGHT		52	STANDARD	
20	DAYLIGHT		53	STANDARD	
21	STANDARD		54*	STANDARD	1014
22	STANDARD		55*	STANDARD	1014
23	STANDARD		56	STANDARD	
24	STANDARD		57	STANDARD	
25	DAYLIGHT		58	STANDARD	
26*	DAYLIGHT	1009	59	STANDARD	
27*	DAYLIGHT	1009	60	STANDARD	
28*	DAYLIGHT	1008	61*	STANDARD	1017
29*	DAYLIGHT	1008	62*	STANDARD	1017
30*	DAYLIGHT	1007	63	STANDARD	
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32*	DAYLIGHT	1005	65	STANDARD	
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PREPARED BY:



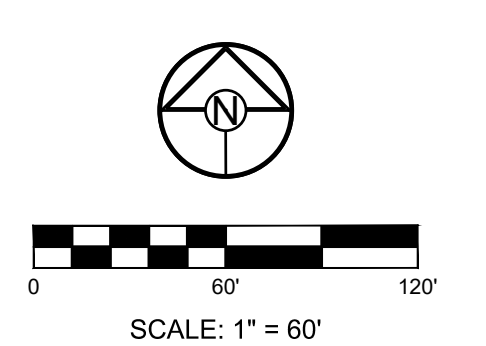
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MASTER DRAINAGE PLAN-GRADING PLAN (WEST)

SHEET 7



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

**BASIS OF BEARINGS:**

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

**NOTES:**

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**GRADING LEGEND:**

- 1023 --- EXISTING CONTOUR
- 1023 — PROPOSED CONTOUR
- MWSE ---
- ↑ A ↑ DENOTES OVERFLOW SWALE
- EL.000.00 DENOTES FINISHED GRADE ELEVATION
- EL.000.00 (EX.) DENOTES EXISTING GRADE ELEVATION
- HP 000.00 DENOTES LOT HIGH POINT ELEVATION

**NOTES:**

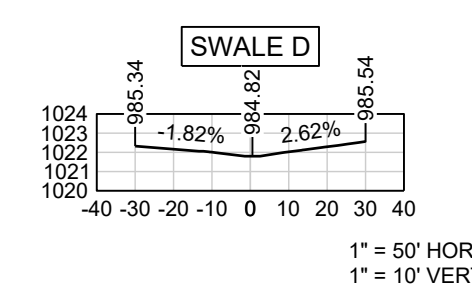
1. MBOE = MINIMUM BUILDING OPENING ELEVATION FOR HOUSES ADJACENT TO ENGINEERED OVERFLOW SWALES SHALL BE MINIMUM 2 FEET ABOVE THE 100 YR WATER SURFACE ELEVATION.
2. EGL = ENERGY GRADE LINE (100 YR)
3. WSE = WATER SURFACE ELEVATION (100 YR)
4. ENGINEERED SWALES TO BE GRADED TO NORMAL DEPTH OF FLOW (WATER SURFACE ELEVATION) OR 1.0 FT. WHICHEVER IS GREATER. MINIMUM SLOPE OF ENGINEERED SWALES SHALL BE AS NOTED.
5. MBOE'S ADJACENT TO SUMPED INLETS SHALL BE A MINIMUM OF 1' ABOVE TOP OF ADJACENT BERM



WEIR CALCULATIONS (Q = CLH<sup>3/2</sup>)

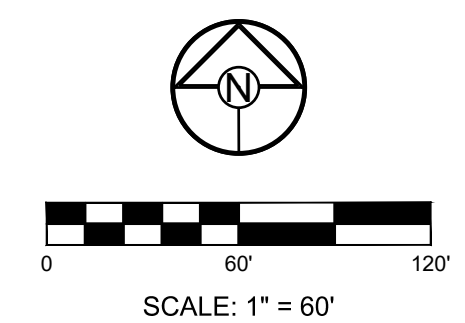
SECTION	DRAINAGE AREA (AC.)	Q100 (CFS)	DESIGN OVERFLOW (CFS)	WEIR ELEVATION	WEIR COEFFICIENT	LENGTH	HEAD REQ'D	WSE
1	6.45	67.40	67.40	1016.56	3.33	10'-0"	1.60	1018.20
2	5.50	57.47	57.47	1016.63	3.33	10'-0"	1.44	1018.10
3	4.95	51.72	51.72	1017.89	3.33	10'-0"	1.34	1019.30
4	4.30	44.93	44.93	1018.84	3.33	10'-0"	1.22	1020.10

**RUNOFF CALCULATIONS:**  
 $Q = K \cdot C \cdot i \cdot A$   
 $K_{10} = 1.0 \quad K_{100} = 1.25 \quad C = 0.51$   
 $i = \text{INTENSITY } (i_{10} = 7.35" / i_{100} = 10.32")$   
 $\text{DESIGN OVERFLOW} = Q_{\text{OVERFLOW}} = Q_{100} \cdot Q_{10}$   
**MANNINGS "n" = 0.030 FOR SWALES**



100 YEAR OVERFLOW SWALES

SECTION	DRAINAGE AREA (AC.)	Q100 (CFS)	Q10 (CFS)	DESIGN OVERFLOW (CFS)	BED SLOPE (%)	BASE WIDTH (FT.)	SIDE SLOPE	TOP WIDTH (FT.)	NORMAL DEPTH (FT.)	VELOCITY (FPS)	VELOCITY HEAD (FT.)	EGL (FT.)
D-D	4.30	28.29	16.12	12.17	2.00	5	50:1	35.00	0.30	2.03	0.06	0.36



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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEES SUMMIT, MISSOURI**

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DRAWN BY: NCA  
 CHECKED BY: JLL  
 DATE PREPARED: 11/05/2021  
 PROJ. NUMBER: 21-130

**MASTER  
 DRAINAGE  
 PLAN-SWALE  
 GRADING PLAN  
 SHEET (EAST)**



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

**BASIS OF BEARINGS:**

MISSOURI STATE PLANE COORDINATE SYSTEM (NAD) 1983, MISSOURI, WEST ZONE

**NOTES:**

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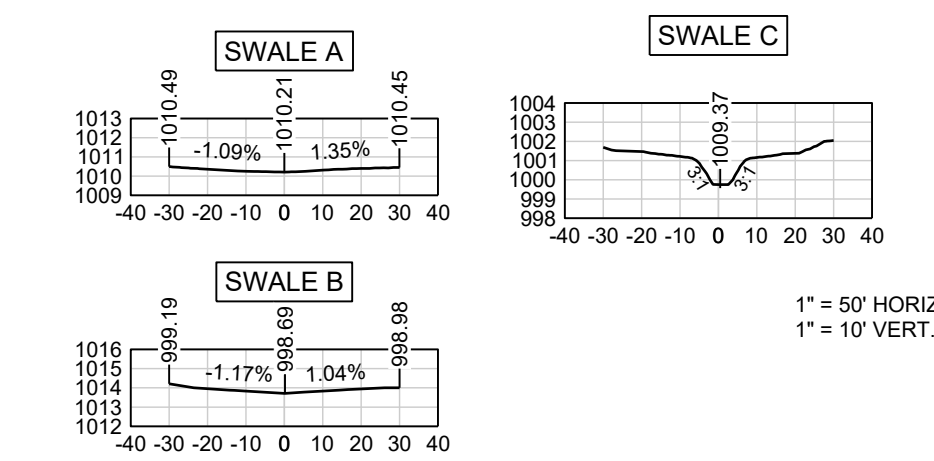
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**GRADING LEGEND:**

- 1023 --- EXISTING CONTOUR
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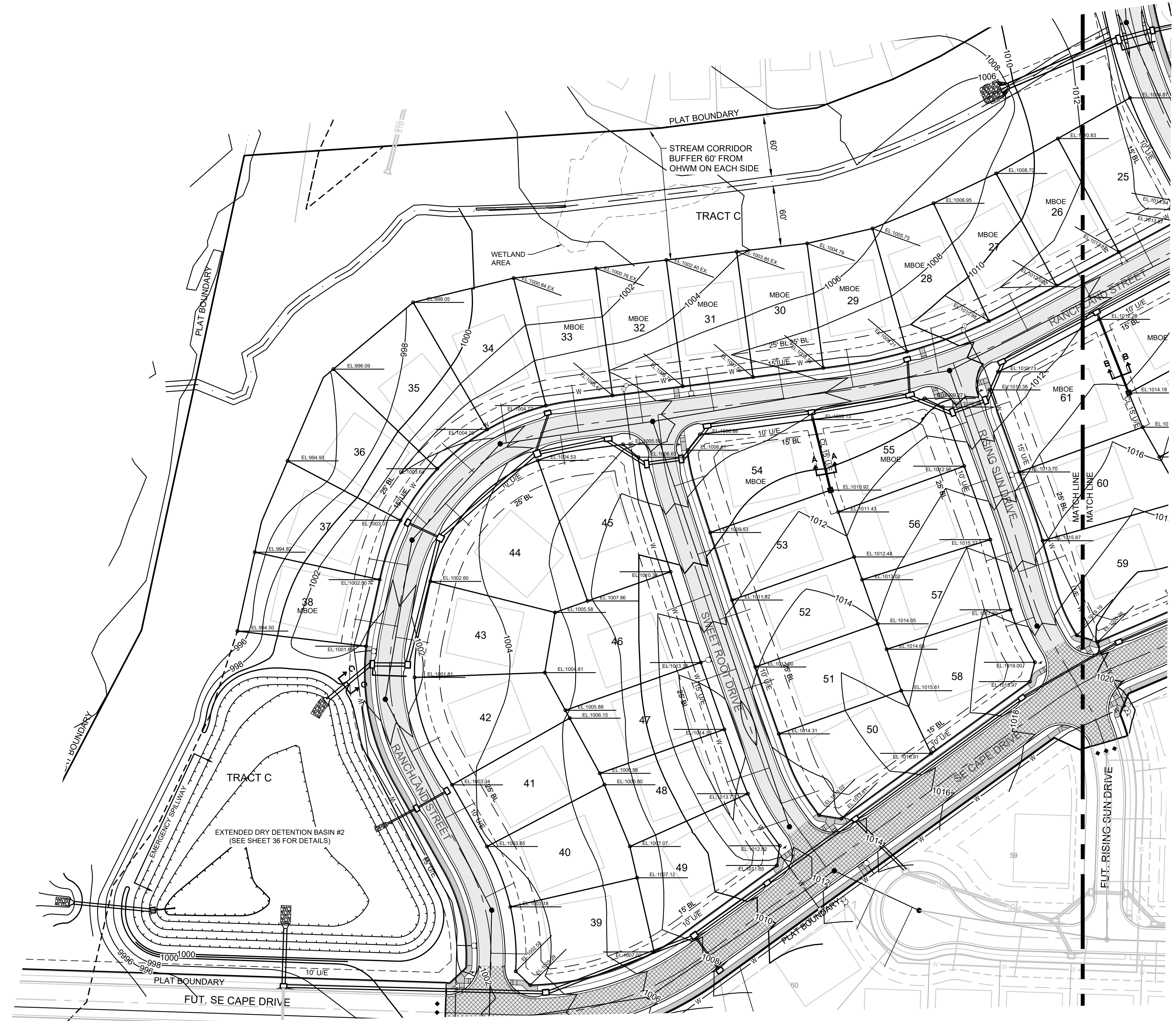
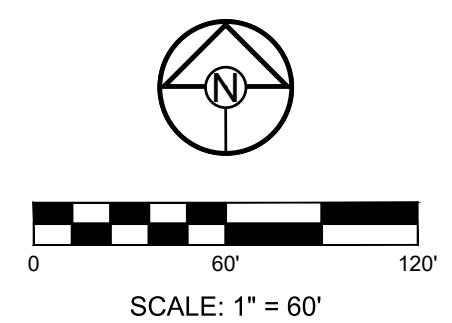
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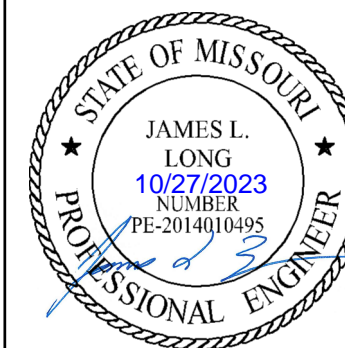


SECTION	DRAINAGE AREA (AC.)	Q100 (CFS)	Q10 (CFS)	DESIGN OVERFLOW (CFS)	BED SLOPE (%)	BASE WIDTH (FT.)	SIDE SLOPE	TOP WIDTH (FT.)	NORMAL DEPTH (FT.)	VELOCITY (FPS)	VELOCITY HEAD (FT.)	EGL (FT.)
A-A	1.10	7.24	4.12	3.12	2.6	--	100:1	30.00	0.15	1.39	0.03	0.18
B-B	0.90	5.92	3.38	2.54	3.5	--	100:1	28.00	0.14	1.30	0.03	0.17
C-C	14.80	97.37	55.48	41.89	2.4	5	3:1	10.58	0.93	5.78	0.52	1.45

**RUNOFF CALCULATIONS:**  
 $Q = K \cdot C \cdot I \cdot A$   
 $K_{10} = 1.0 \quad K_{100} = 1.25 \quad C = 0.51$   
 $i = \text{INTENSITY } (i_{10} = 7.35" / i_{100} = 10.32")$   
 $\text{DESIGN OVERFLOW} = Q_{\text{OVERFLOW}} = Q_{100} \cdot Q_{10}$   
**MANNINGS "n" = 0.030 FOR SWALES**



PREPARED BY:

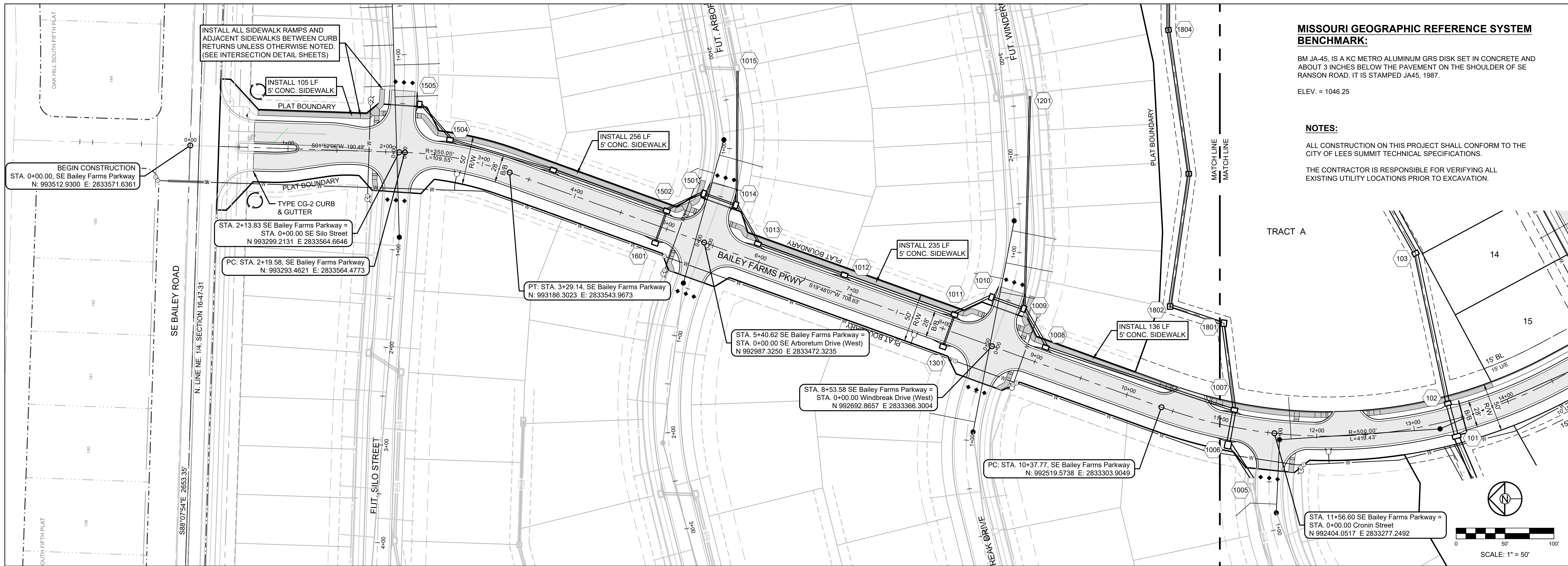


SCHLAGEL & ASSOCIATES, P.A.

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**SE BAILEY ROAD AND SE RANSON ROAD**  
**LEES SUMMIT, MISSOURI**

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**MASTER DRAINAGE PLAN-SWALE GRADING PLAN SHEET (WEST)**  
**9**



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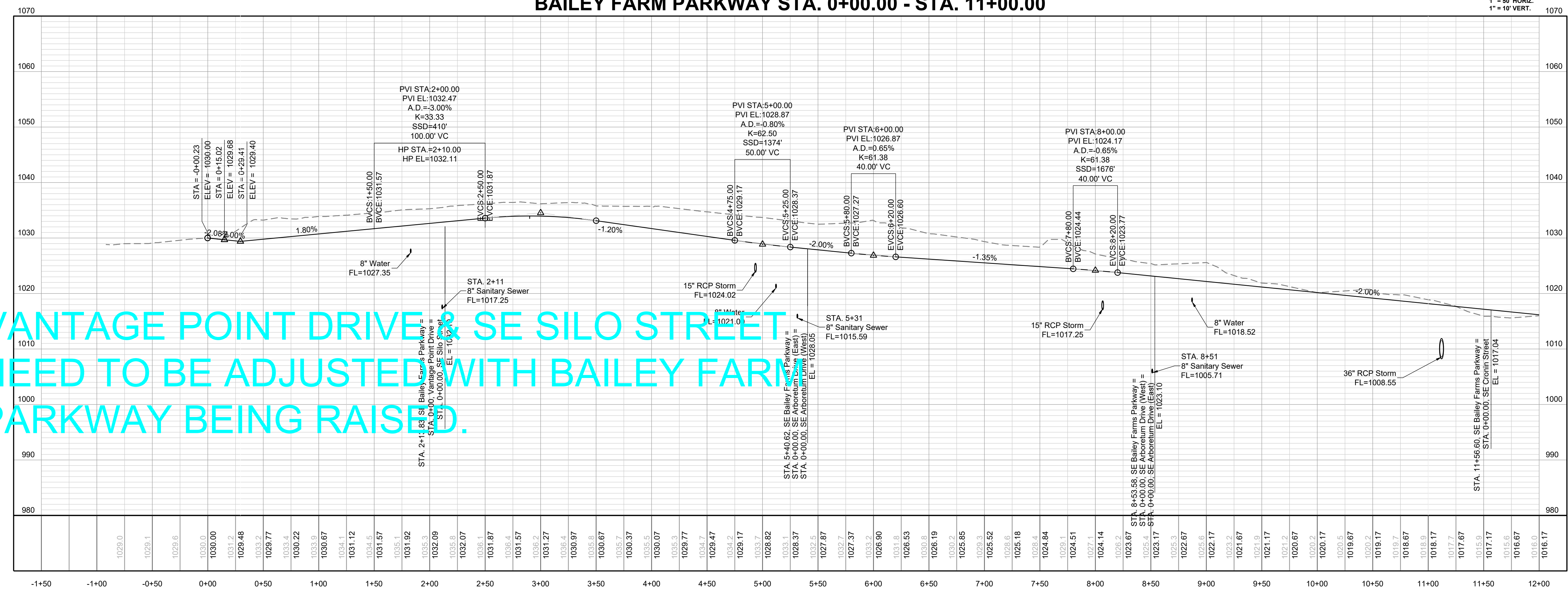
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PREPARED BY:  
 JAMES L. LONG  
 10/27/2023  
 PE-2014010195  
 PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.

**BAILEY FARM PARKWAY STA. 0+00.00 - STA. 11+00.00**



**VANTAGE POINT DRIVE & SE SILO STREET NEED TO BE ADJUSTED WITH BAILEY FARM PARKWAY BEING RAISED.**

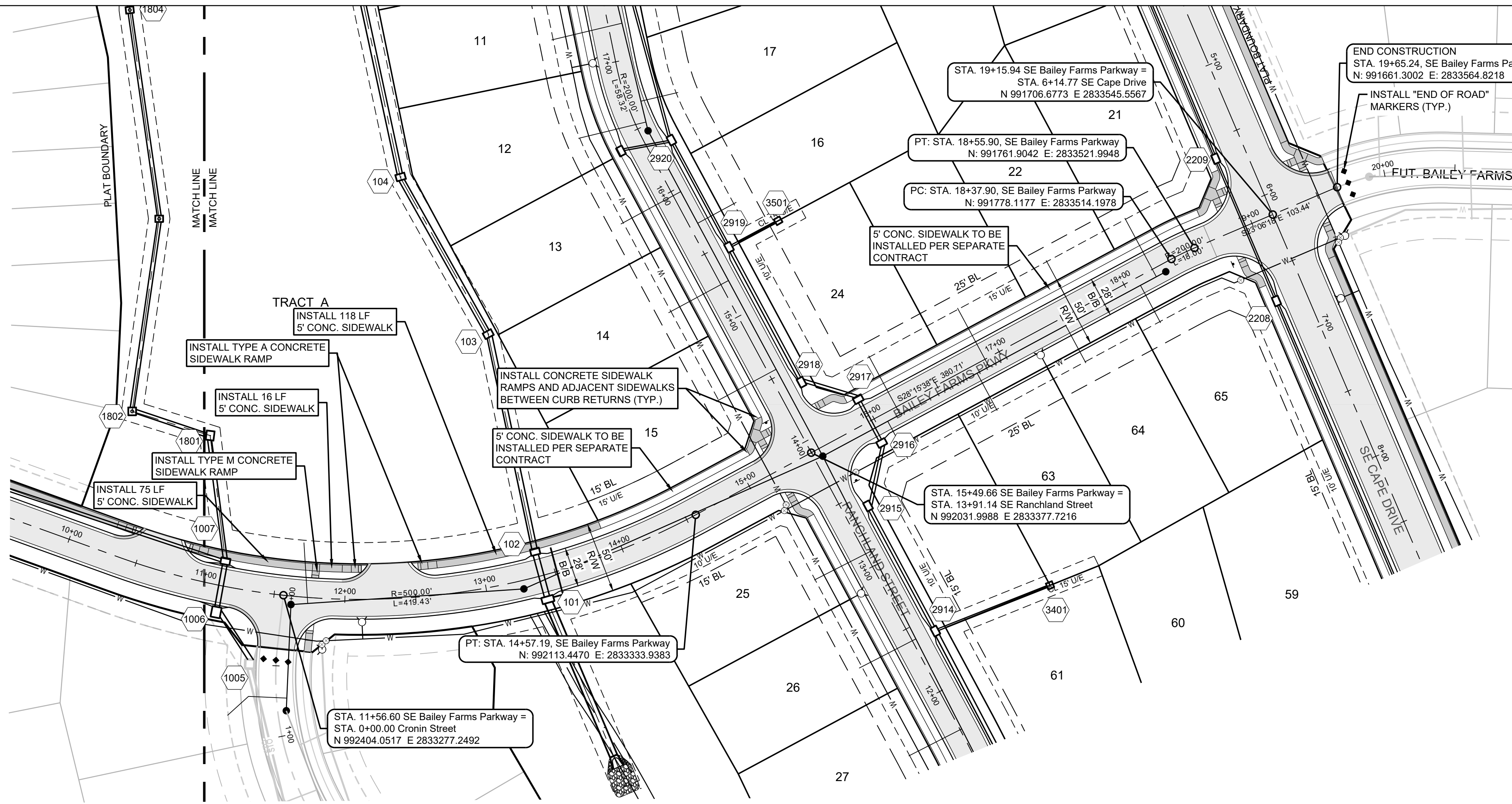
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DRAWN BY: NCA	CHECKED BY: JLL	DATE PREPARED: 11/05/2021	PROJ. NUMBER: 21-130
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BAILEY FARMS  
 PKWY NORTH  
 PLAN & PROFILE

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**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

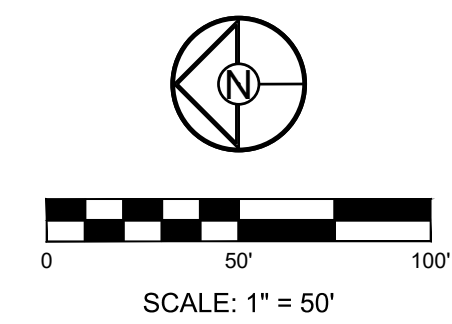
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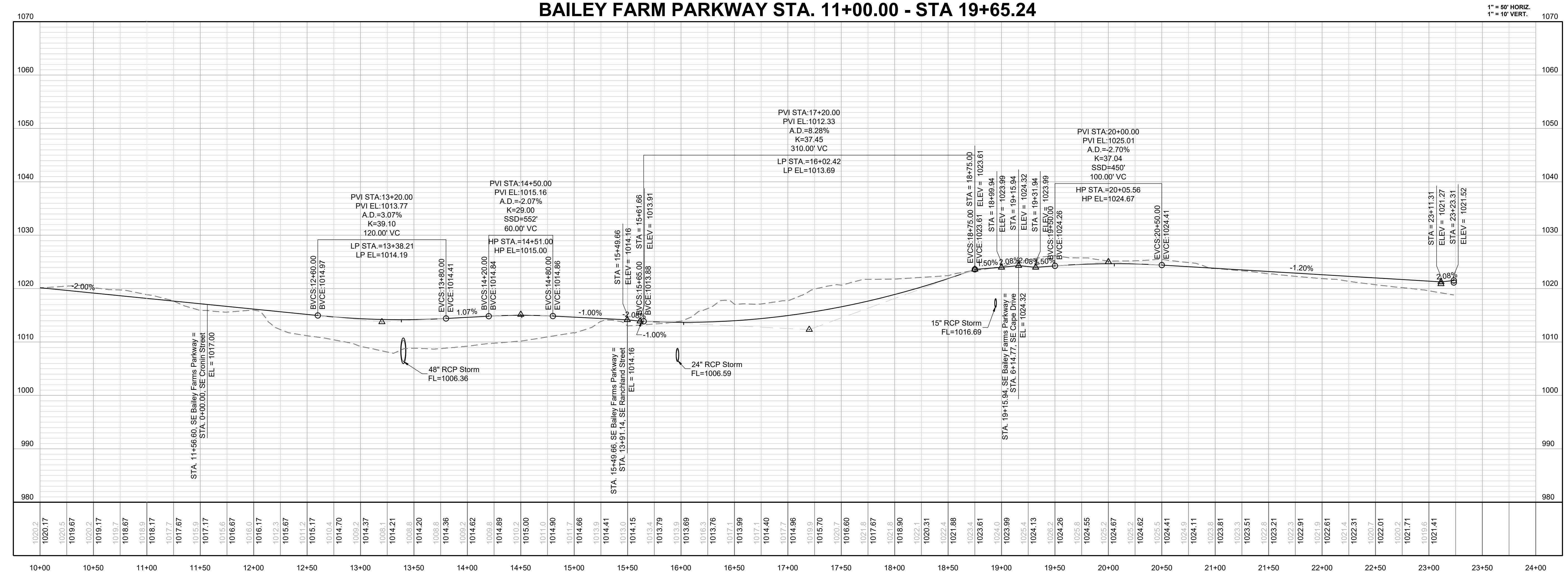
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PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

**BAILEY FARM PARKWAY STA. 11+00.00 - STA 19+65.24**



MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN

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**BAILEY FARMS PKWY SOUTH PLAN & PROFILE**

SHEET  
**11**

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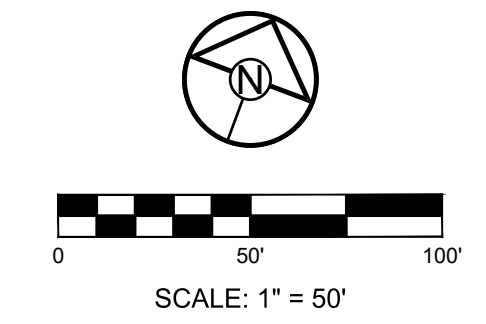
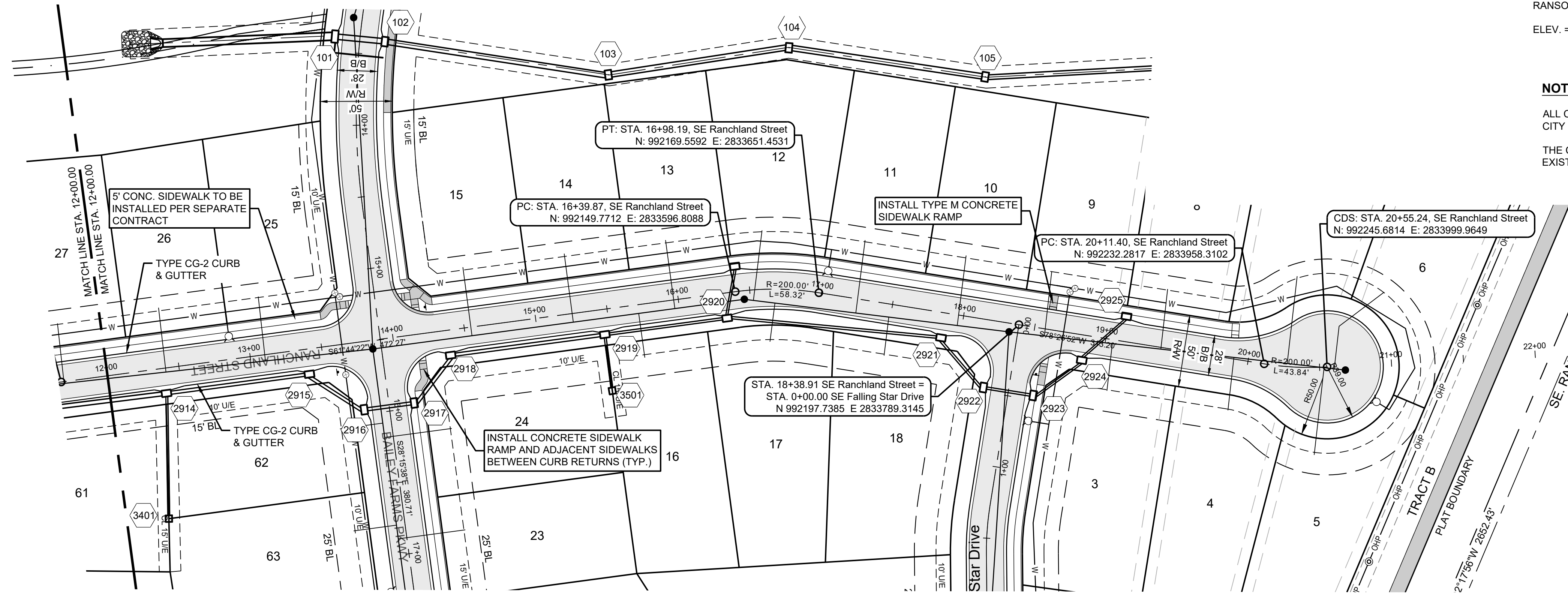
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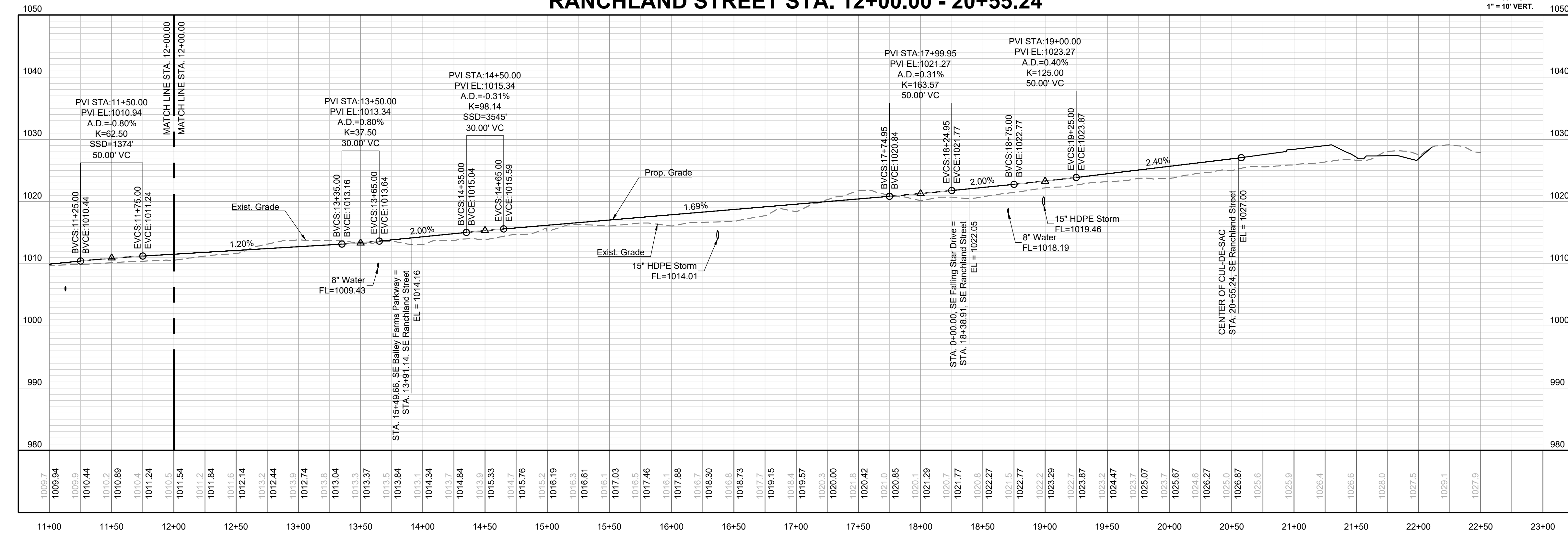
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**RANCLAND STREET STA. 12+00.00 - 20+55.24**



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PREPARED BY:  
  
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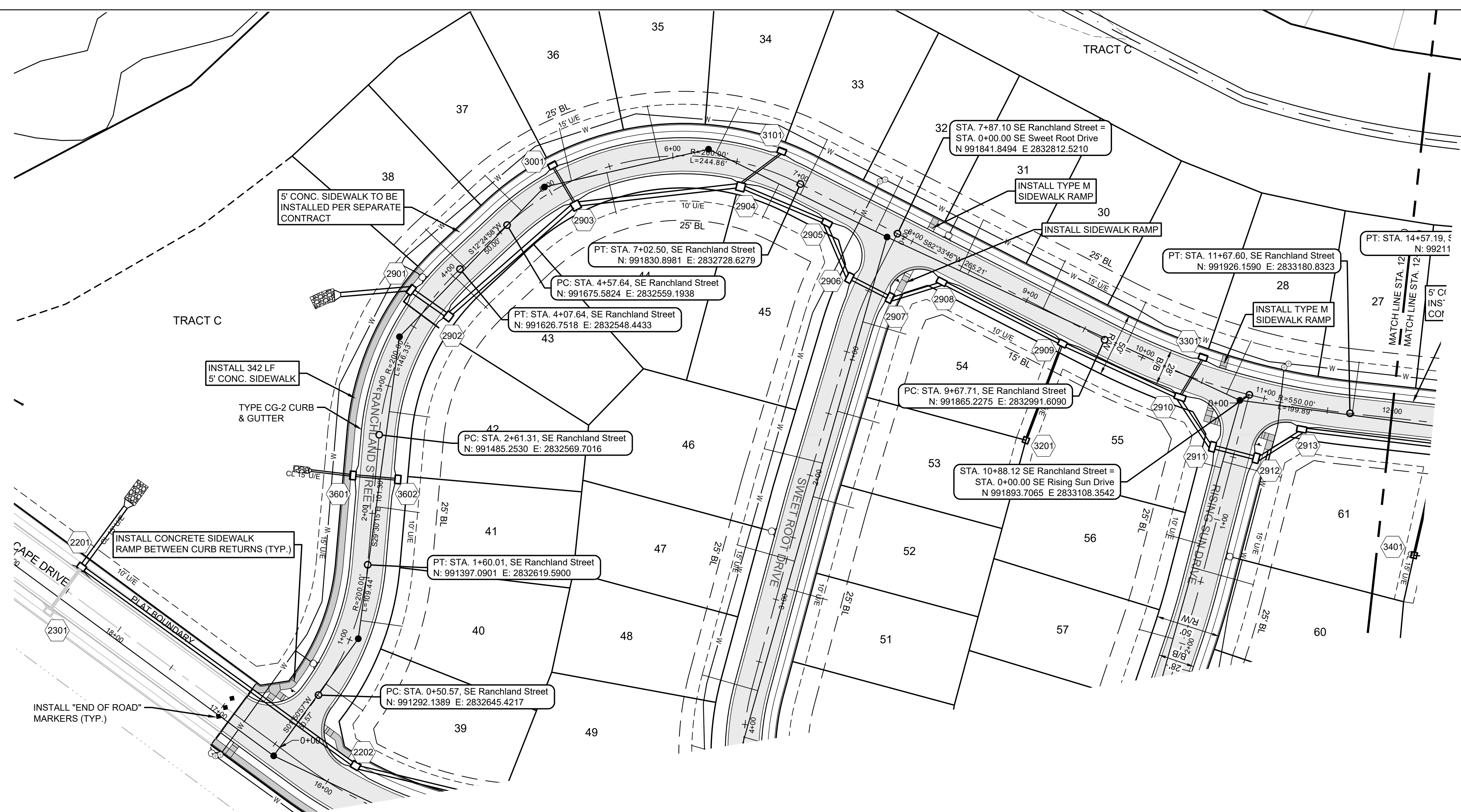
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RANCLAND ST  
EAST PLAN &  
PROFILE

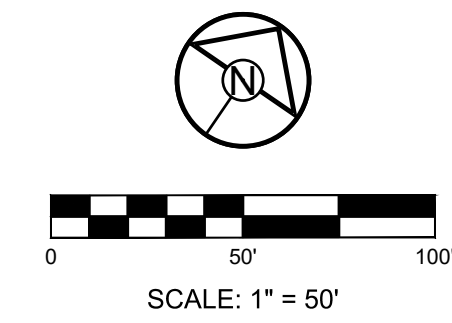
SHEET  
**12**

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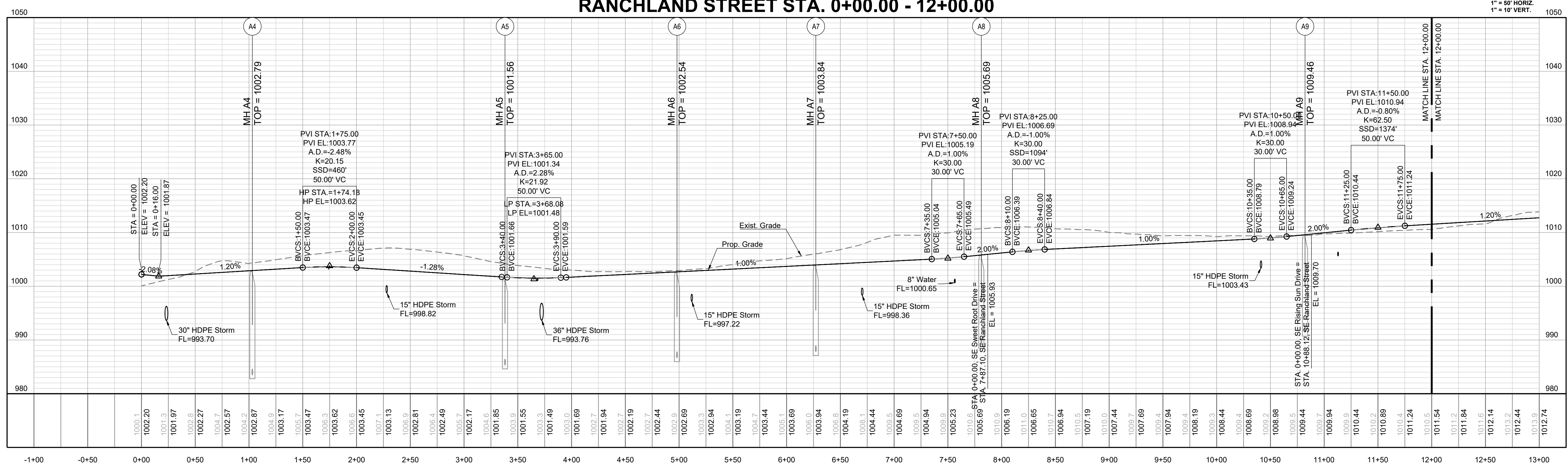
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PREPARED BY:  
  
 JAMES L. LONG  
 10272023  
 EXPIRES 12/31/2025

SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
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**RANCHLAND STREET STA. 0+00.00 - 12+00.00**



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**RANCHLAND ST WEST PLAN & PROFILE**

SHEET  
**13**

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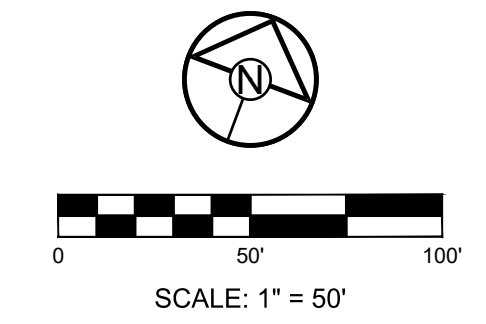
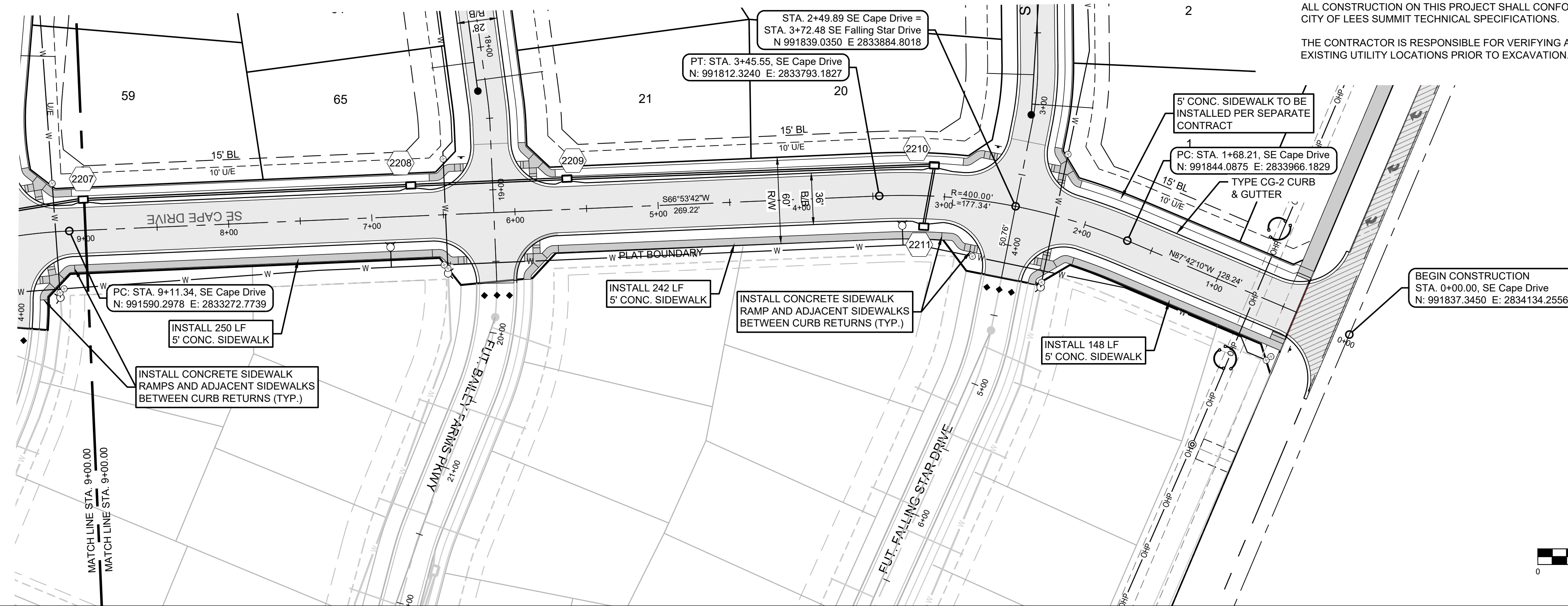
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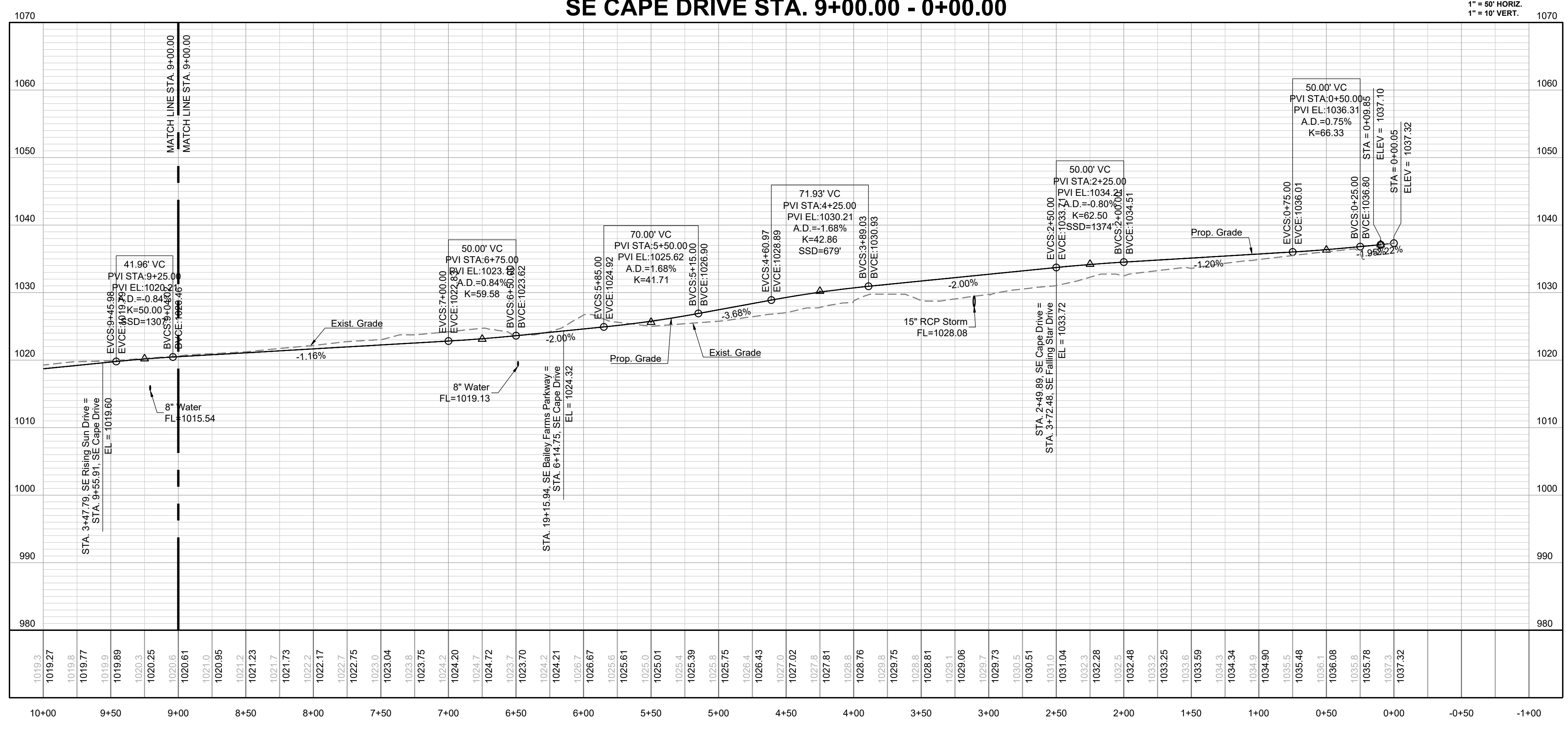
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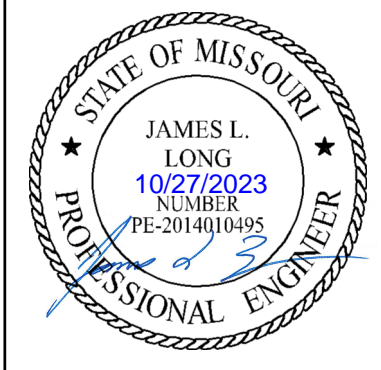


**SE CAPE DRIVE STA. 9+00.00 - 0+00.00**



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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

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CAPE DR EAST PLAN & PROFILE

SHEET

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**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

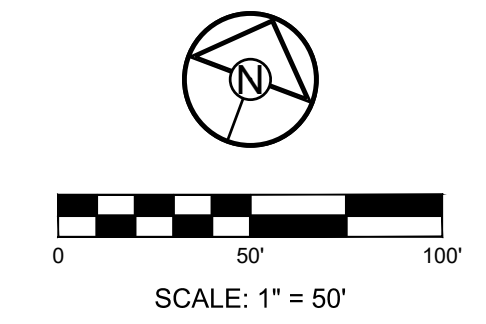
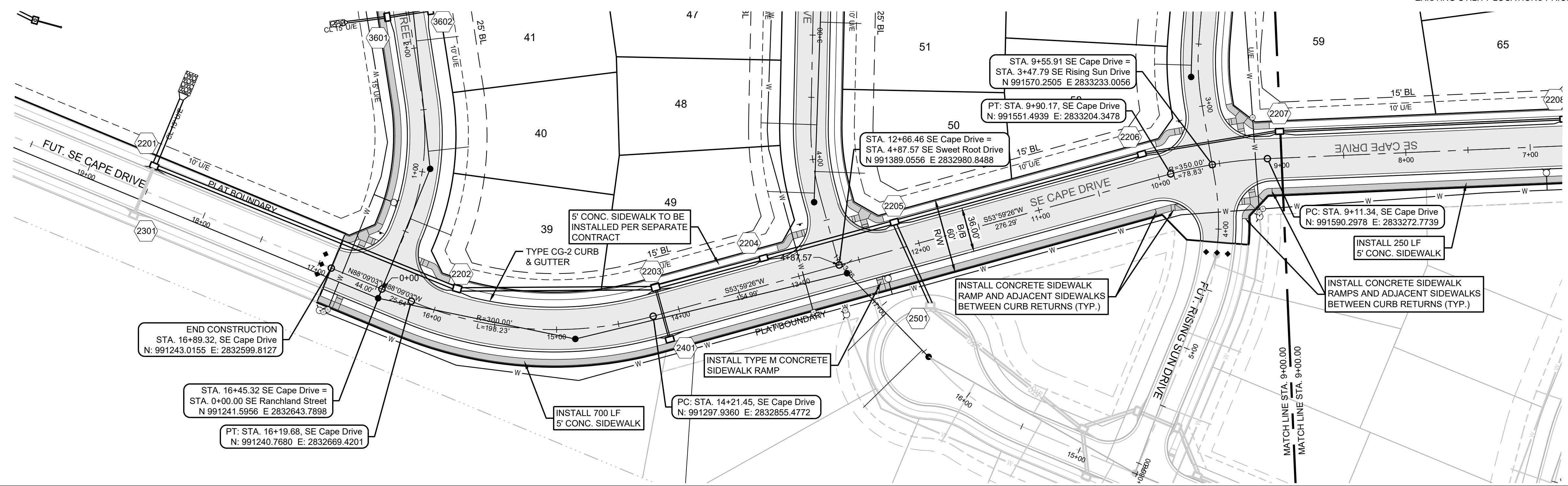
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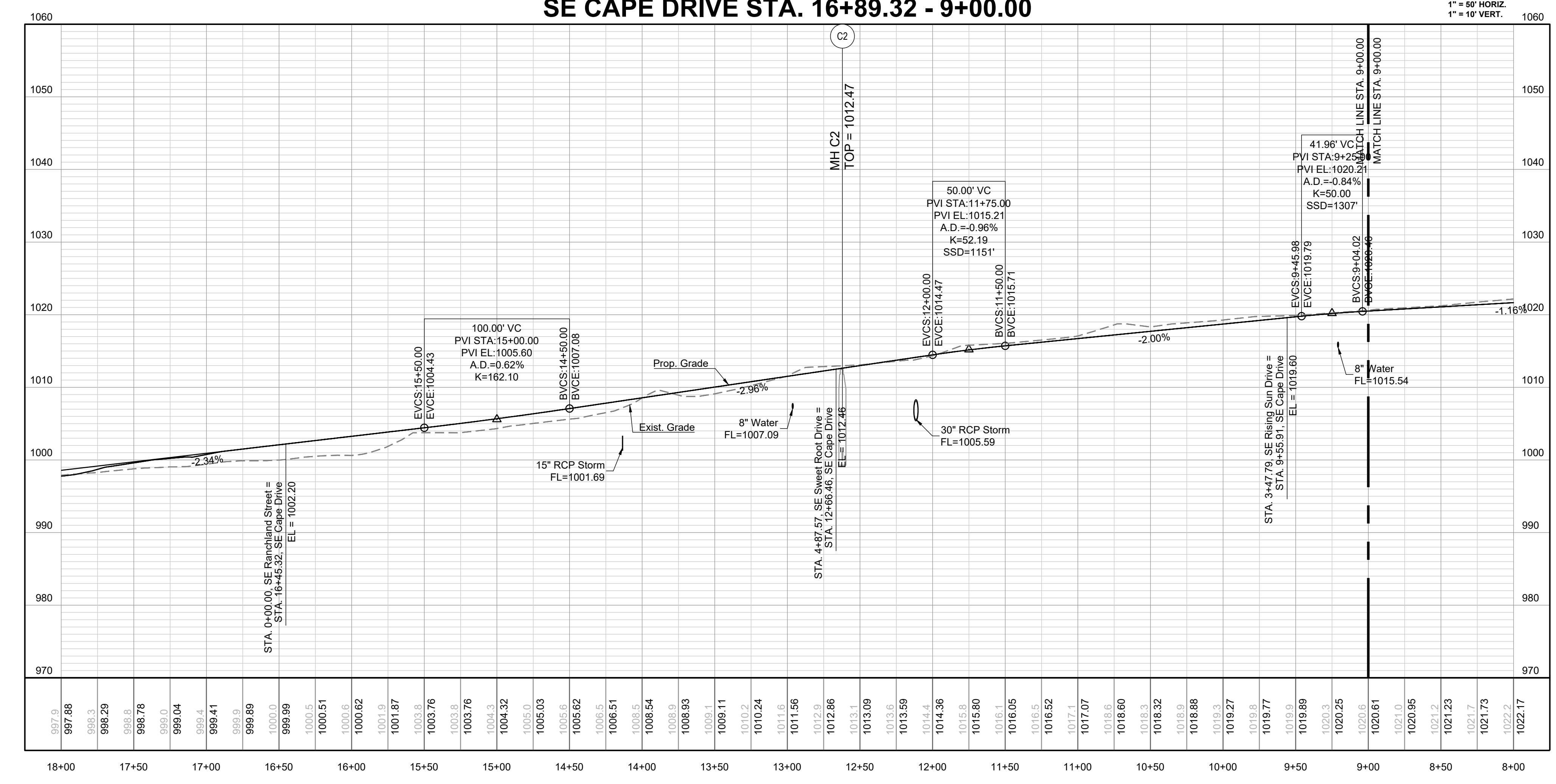
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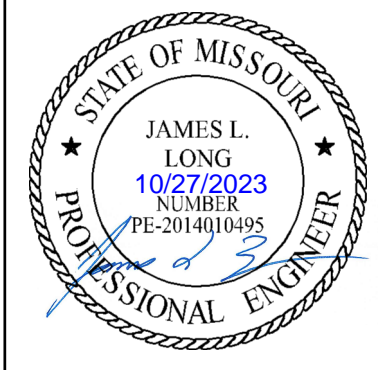


**SE CAPE DRIVE STA. 16+89.32 - 9+00.00**



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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

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CAPE DR WEST PLAN & PROFILE

SHEET

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REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022
05/17/2022	City Comments dated 5/11/2022
10/27/2023	Reviewed Details to current 2023 Details

DRAWN BY:	CHECKED BY:	DATE PREPARED:	PROJ. NUMBER:
NCA	JLL	11/05/2021	21-130

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM  
 BENCHMARK:**

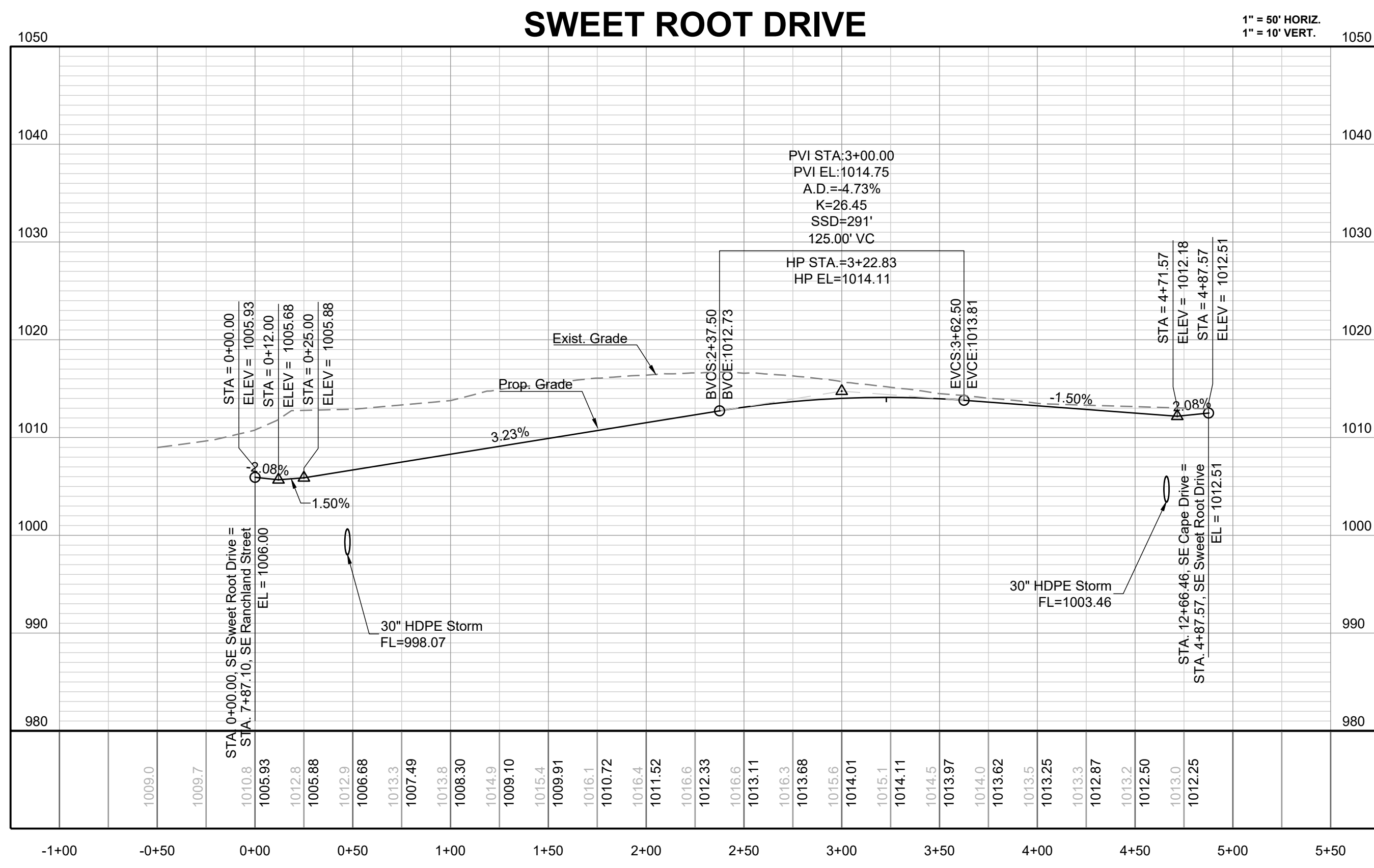
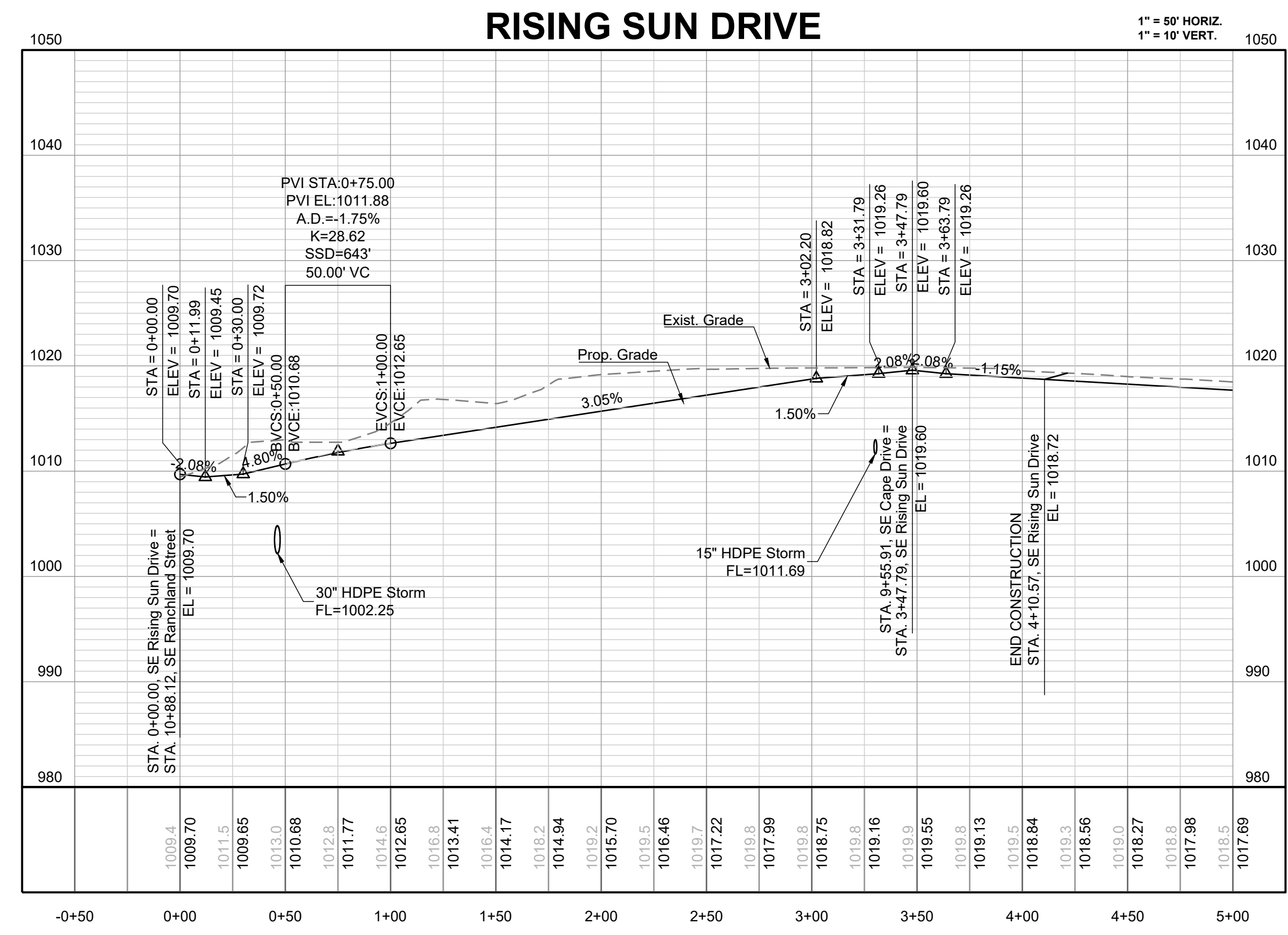
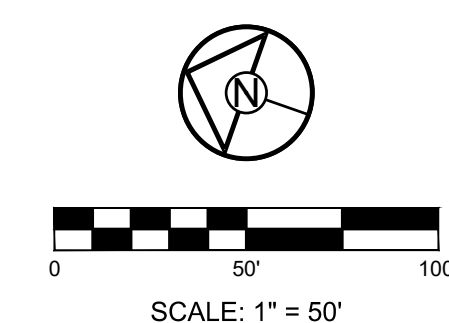
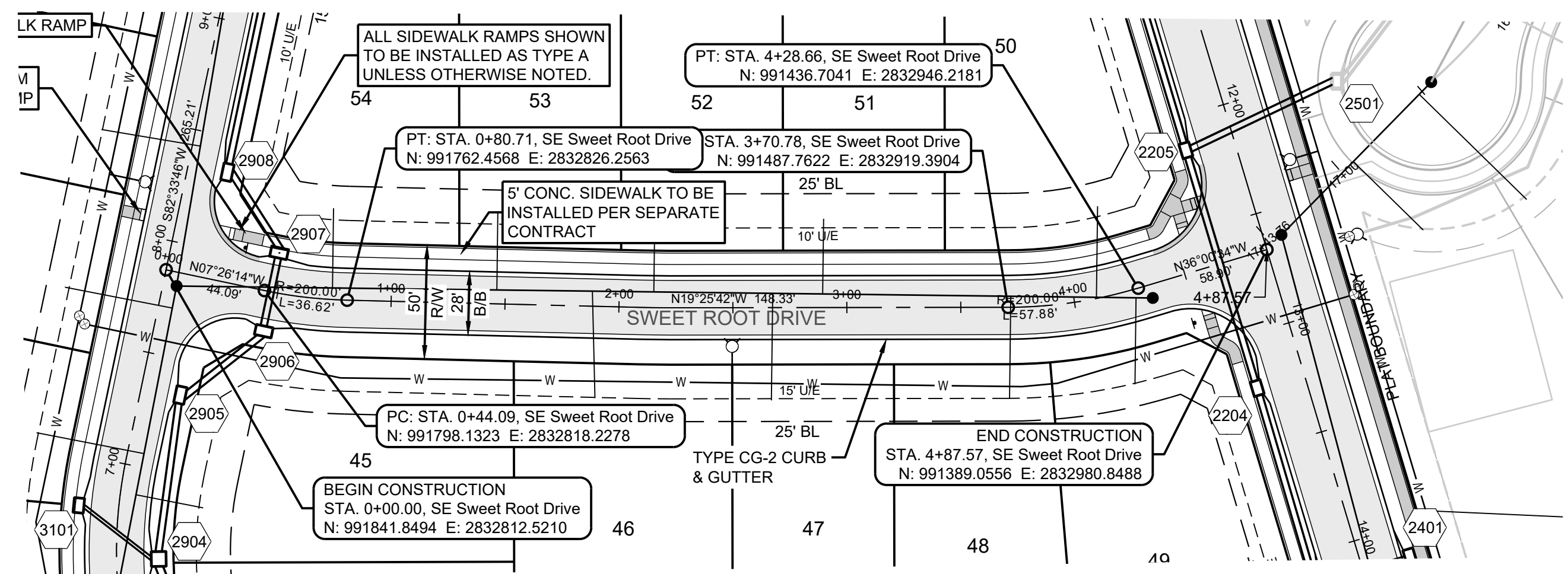
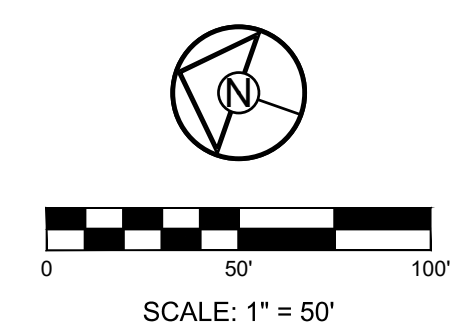
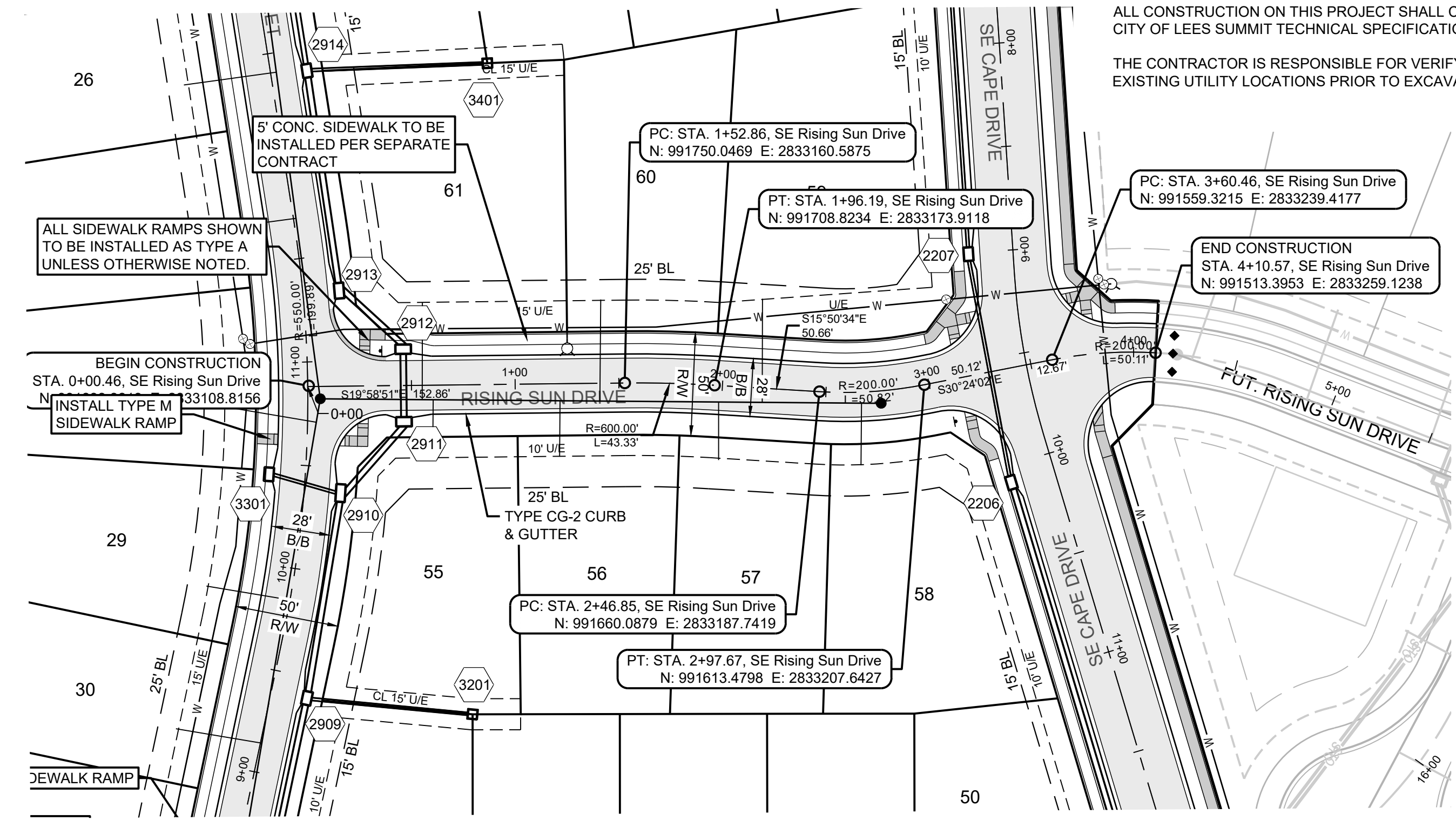
BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

**NOTES:**

ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.





**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

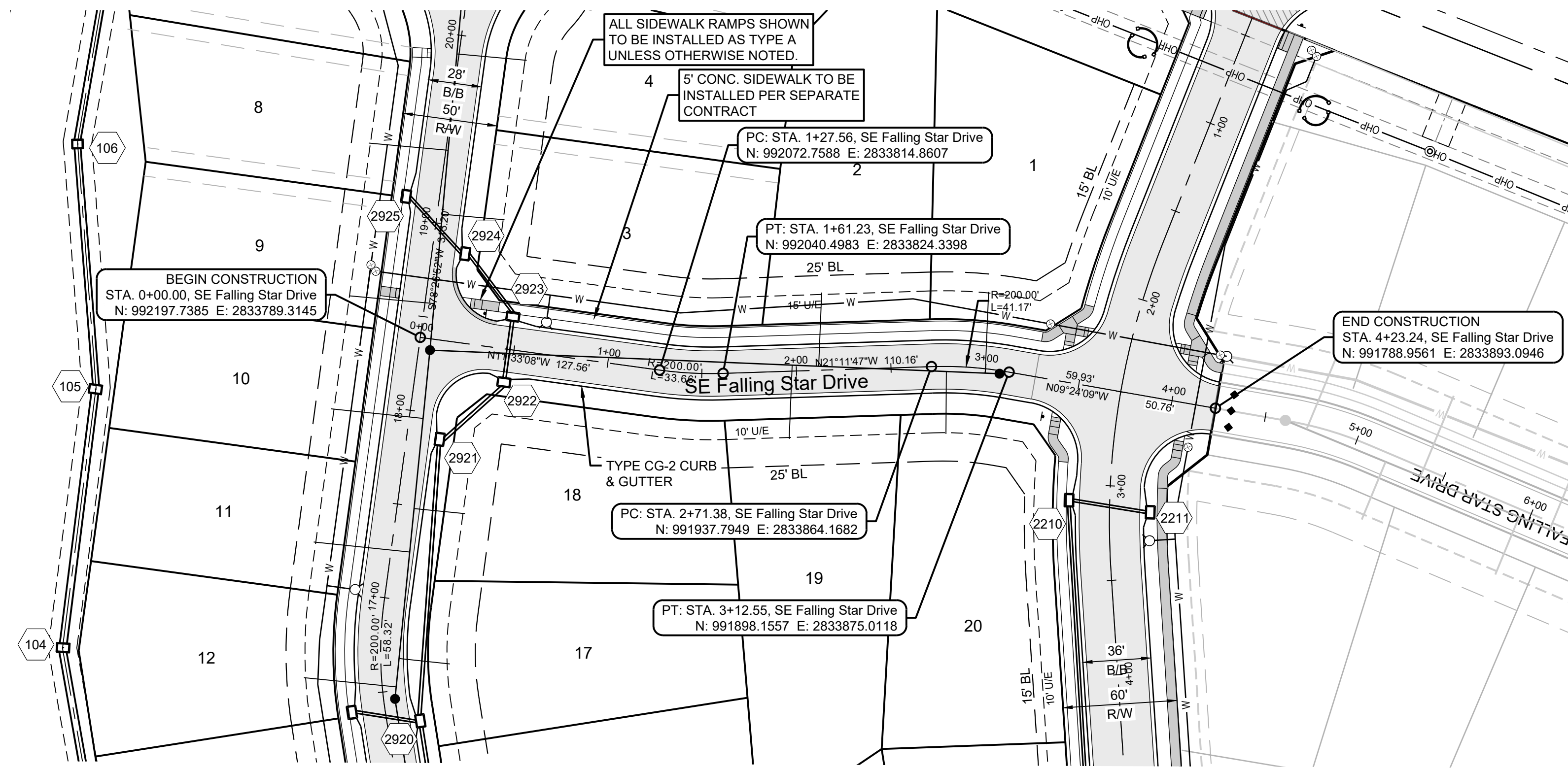
BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

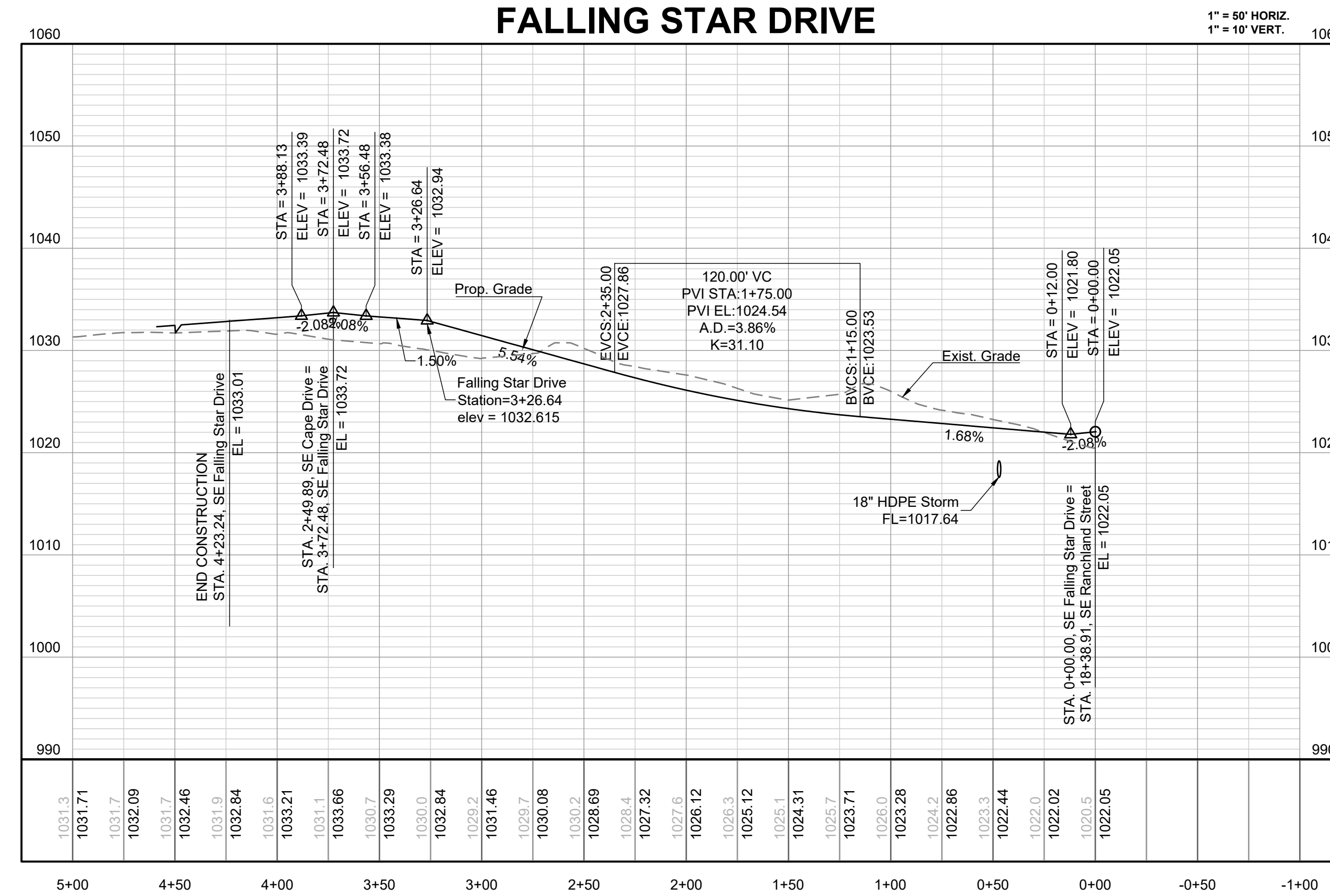
**NOTES:**

ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE CITY OF LEES SUMMIT TECHNICAL SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.



**FALLING STAR DRIVE**



PREPARED BY:



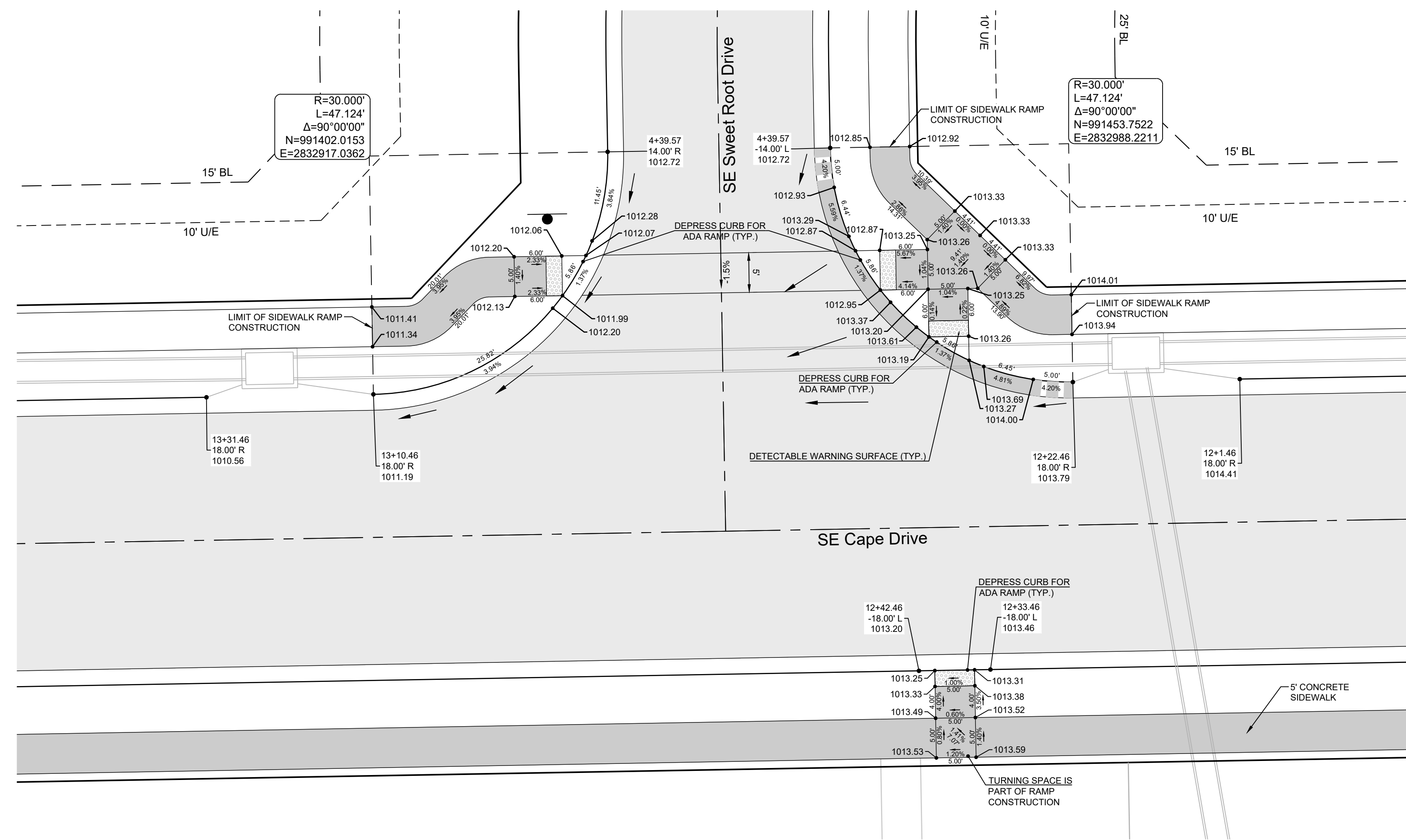
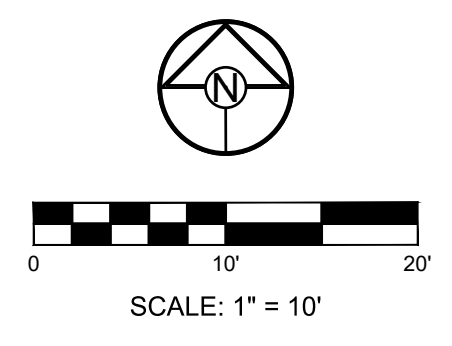
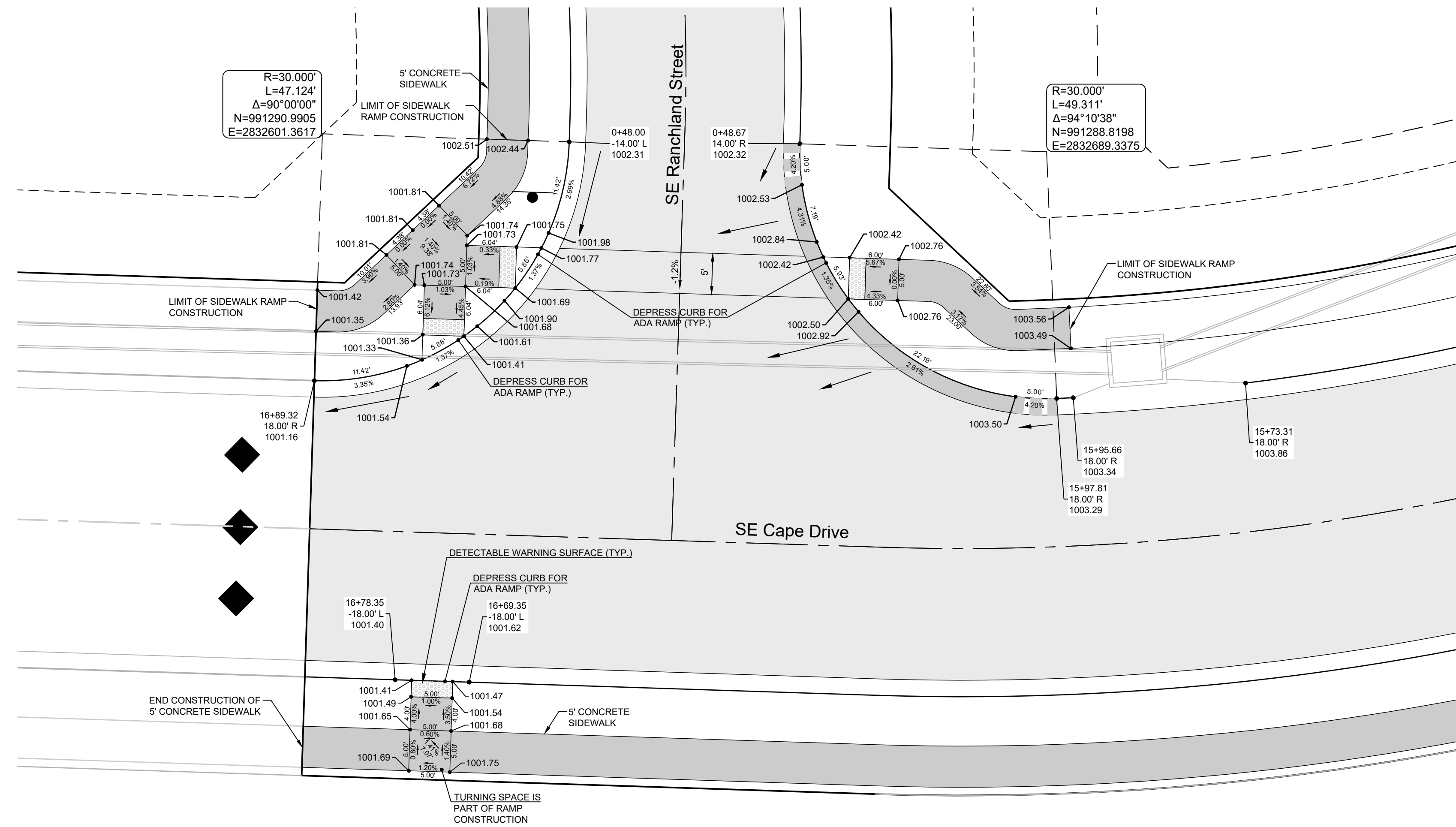
SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
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05/17/2022	City Comments dated 5/11/2022
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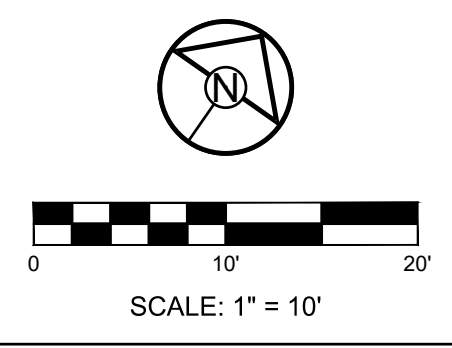
FALLING STAR  
DR PLAN &  
PROFILE

SHEET  
**17**



**CURB LEGEND**

	CURB & GUTTER - EXISTING
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	TYPE "CG-2" DRY CURB & GUTTER
	TRANSITION "CG-2" TO "CG-2 DRY"



MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

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DRAWN BY: NCA  
CHECKED BY: JLL  
DATE PREPARED: 11/05/2021  
PROJ. NUMBER: 21-130

INTERSECTION  
DETAILS 1 OF 8

PREPARED BY:



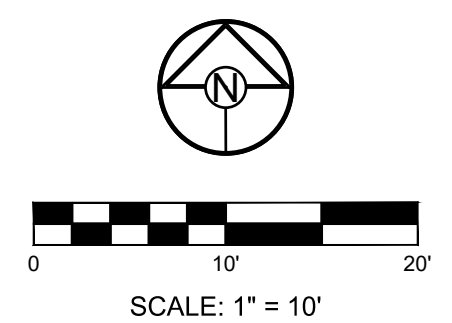
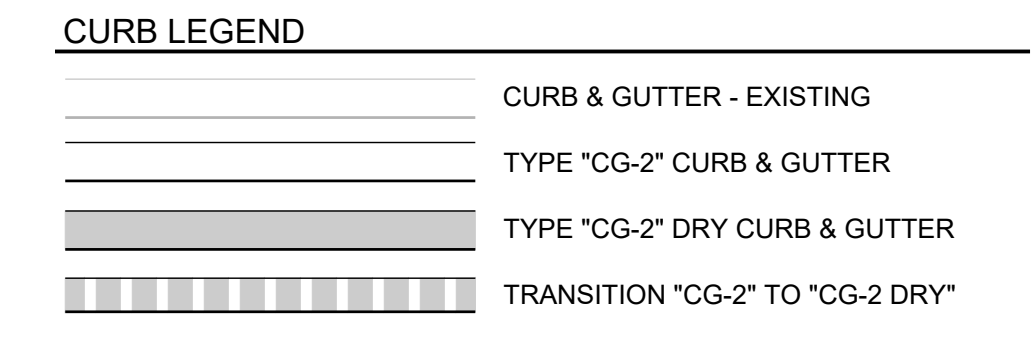
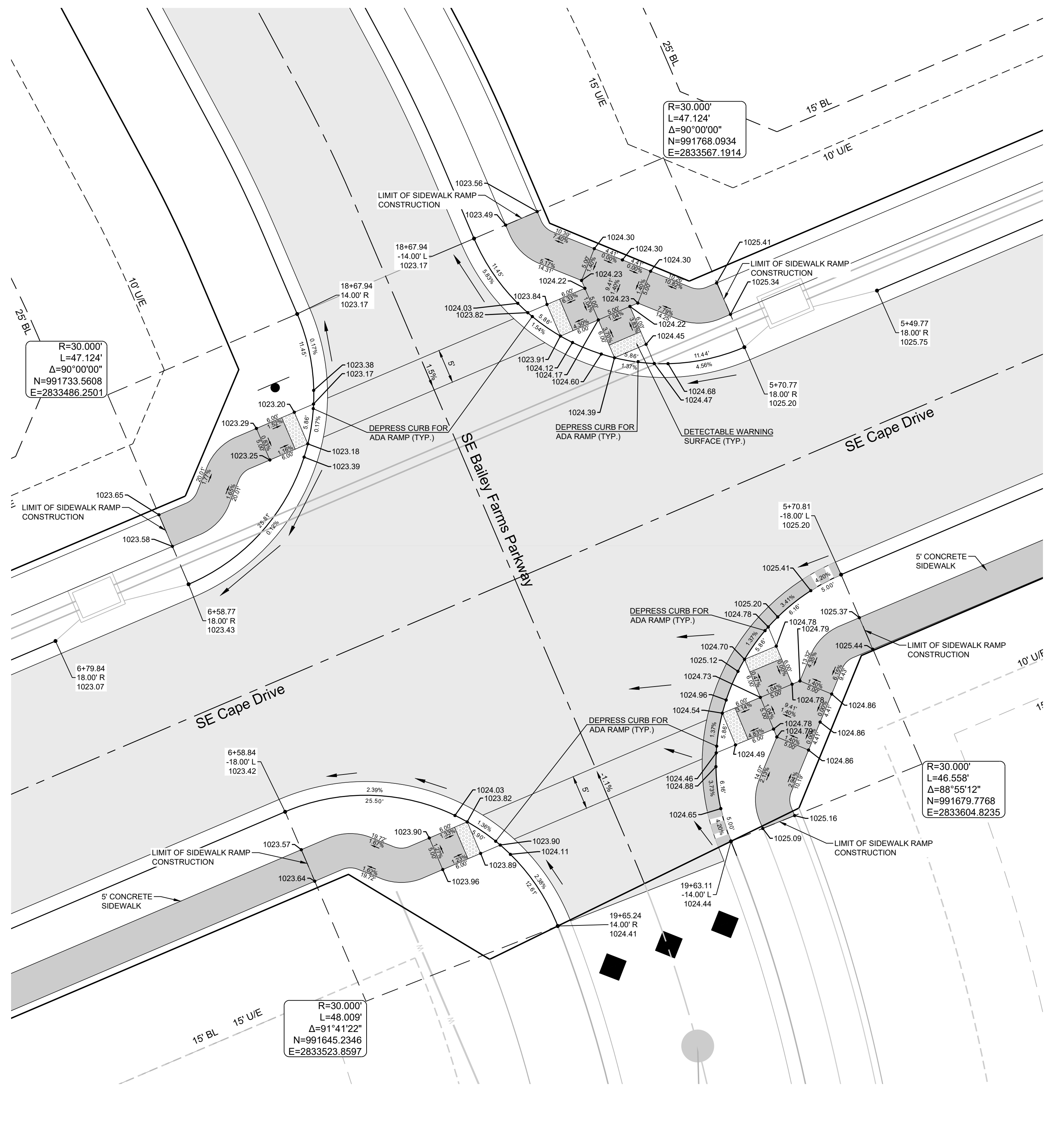
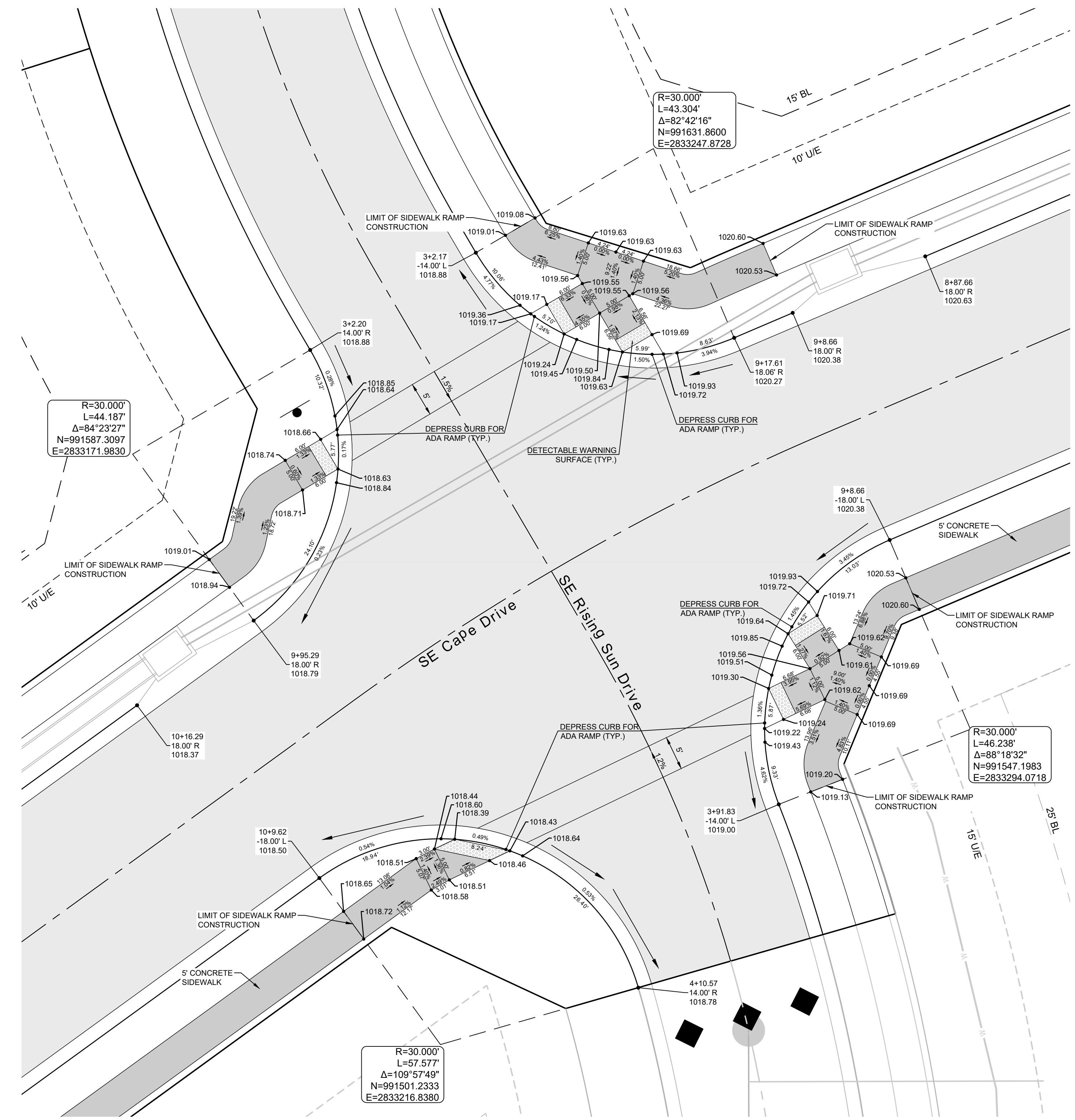
SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER DRAINAGE  
 PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
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05/17/2022	City Comments dated 5/11/2022
10/27/2023	Reviewed Details to current 2023 Details

INTERSECTION  
 DETAILS 2 OF 8

SHEET  
**19**



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

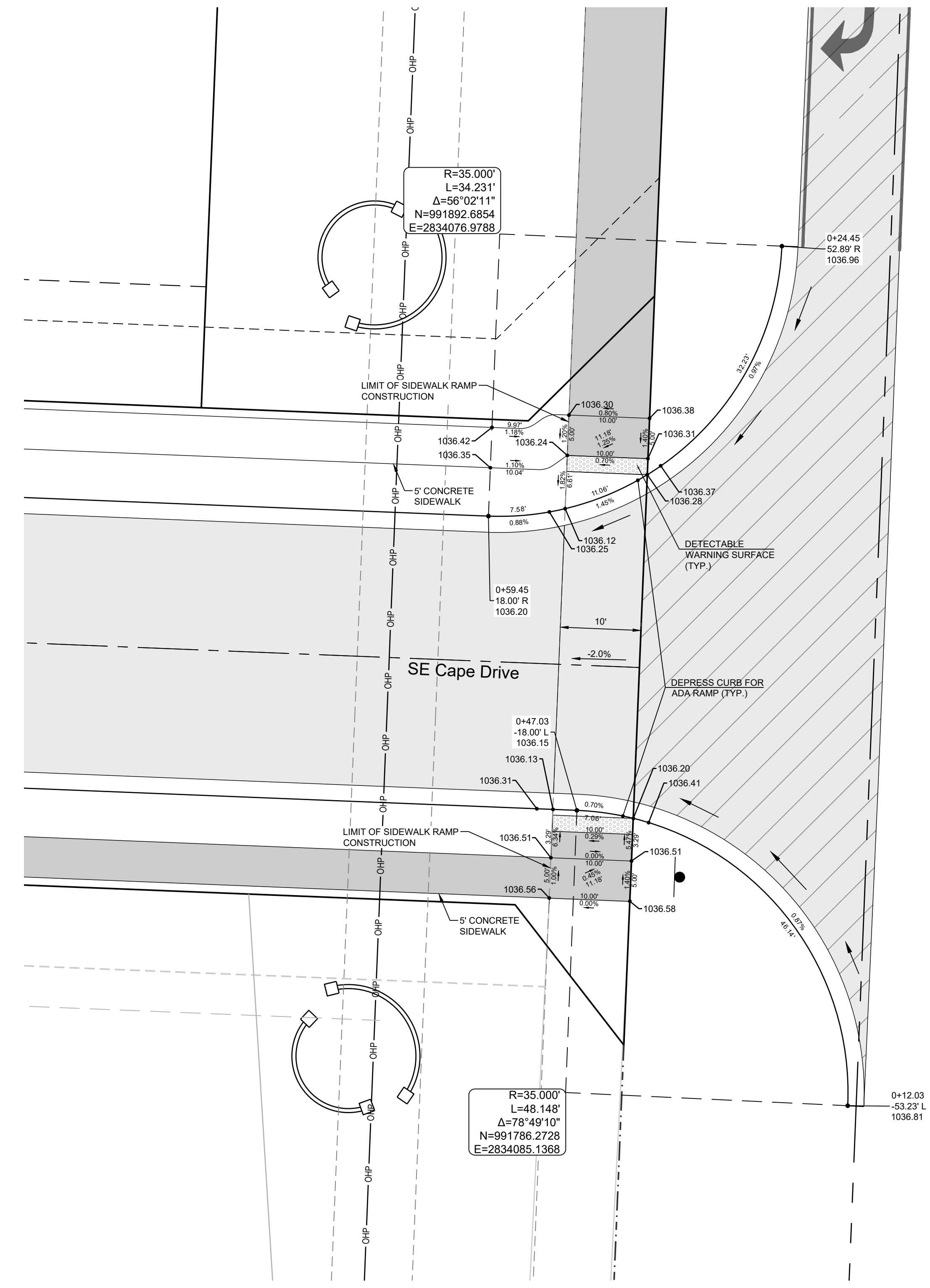
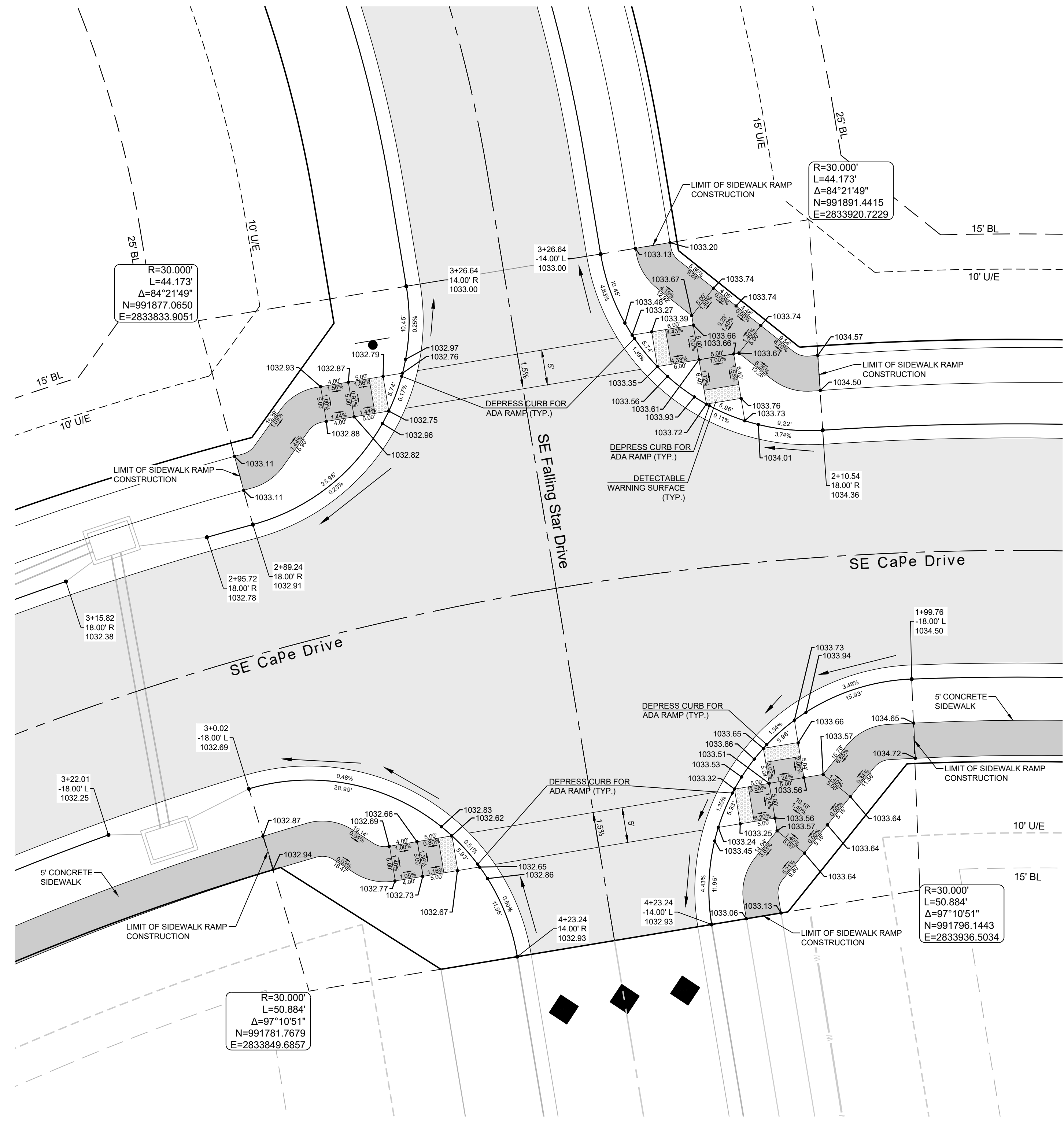
**MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD  
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**INTERSECTION  
 DETAILS 3 OF 8**

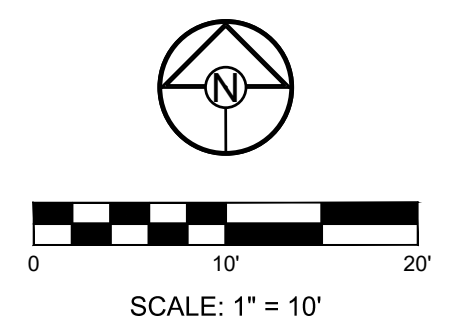
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**20**

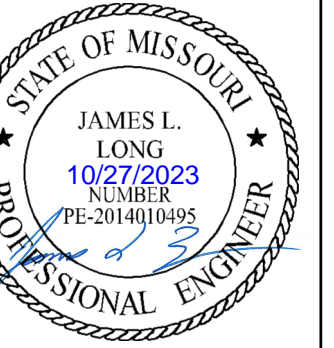


**CURB LEGEND**

	CURB & GUTTER - EXISTING
	TYPE "CG-2" CURB & GUTTER
	TYPE "CG-2" DRY CURB & GUTTER
	TRANSITION "CG-2" TO "CG-2" DRY



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

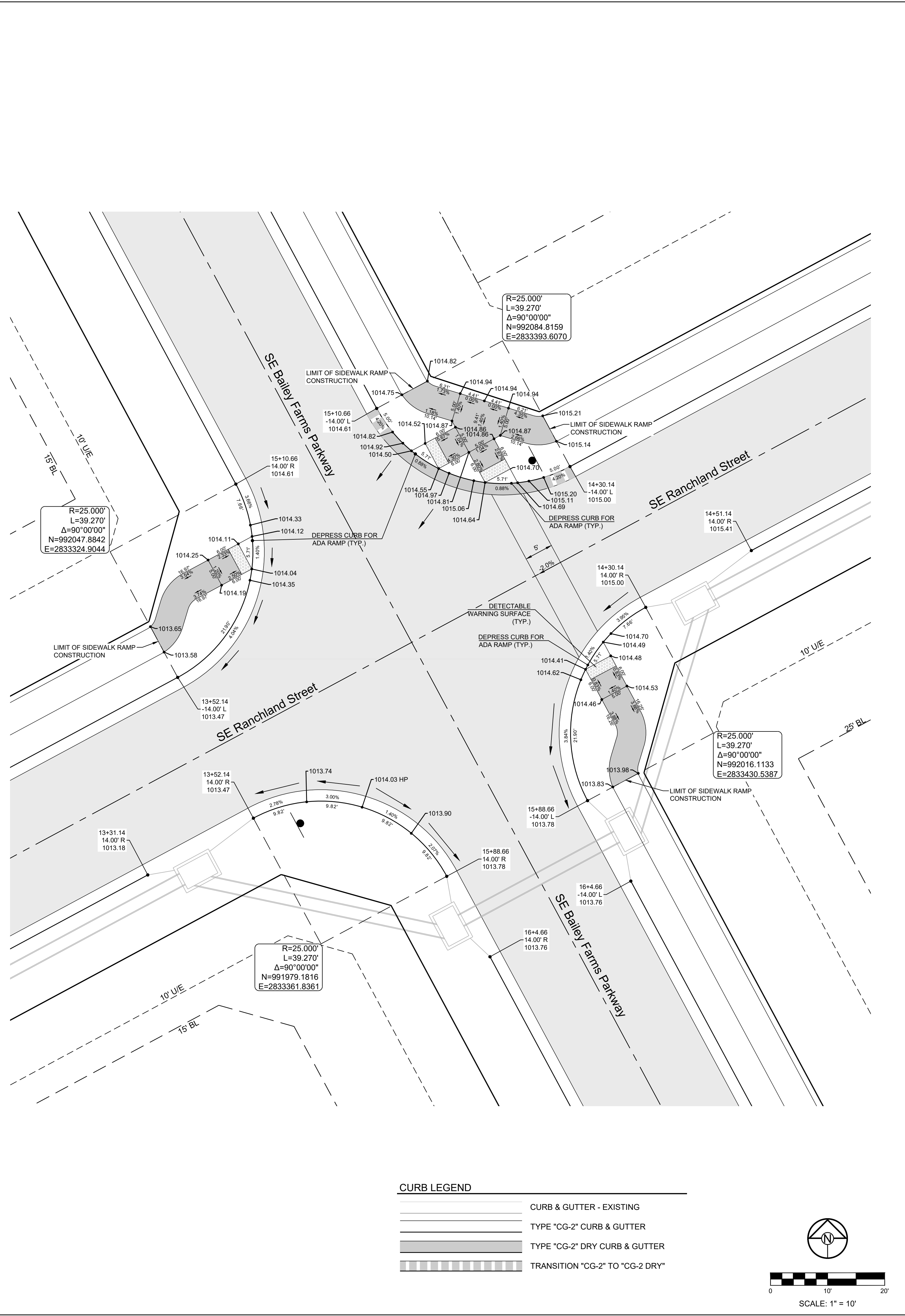
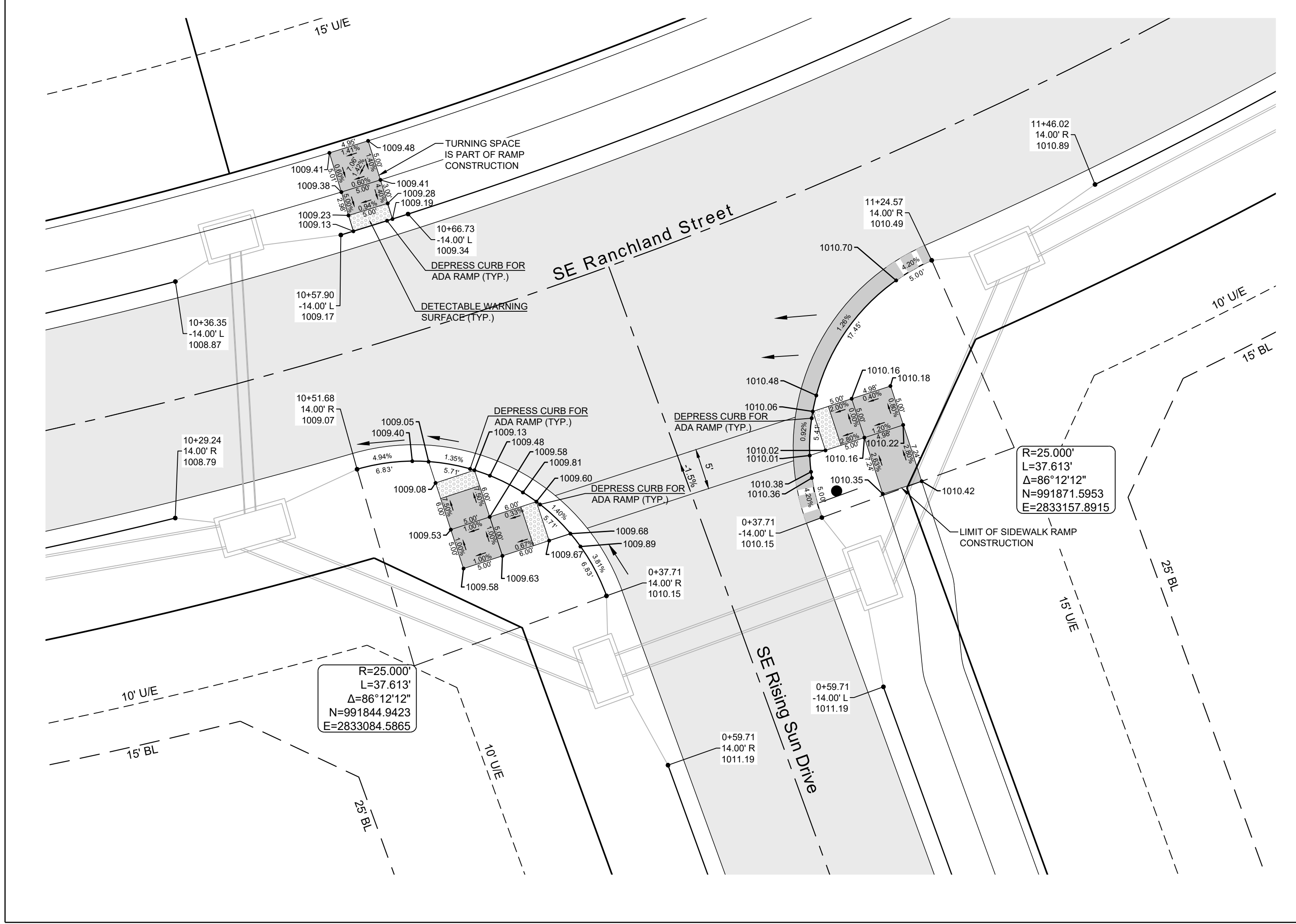
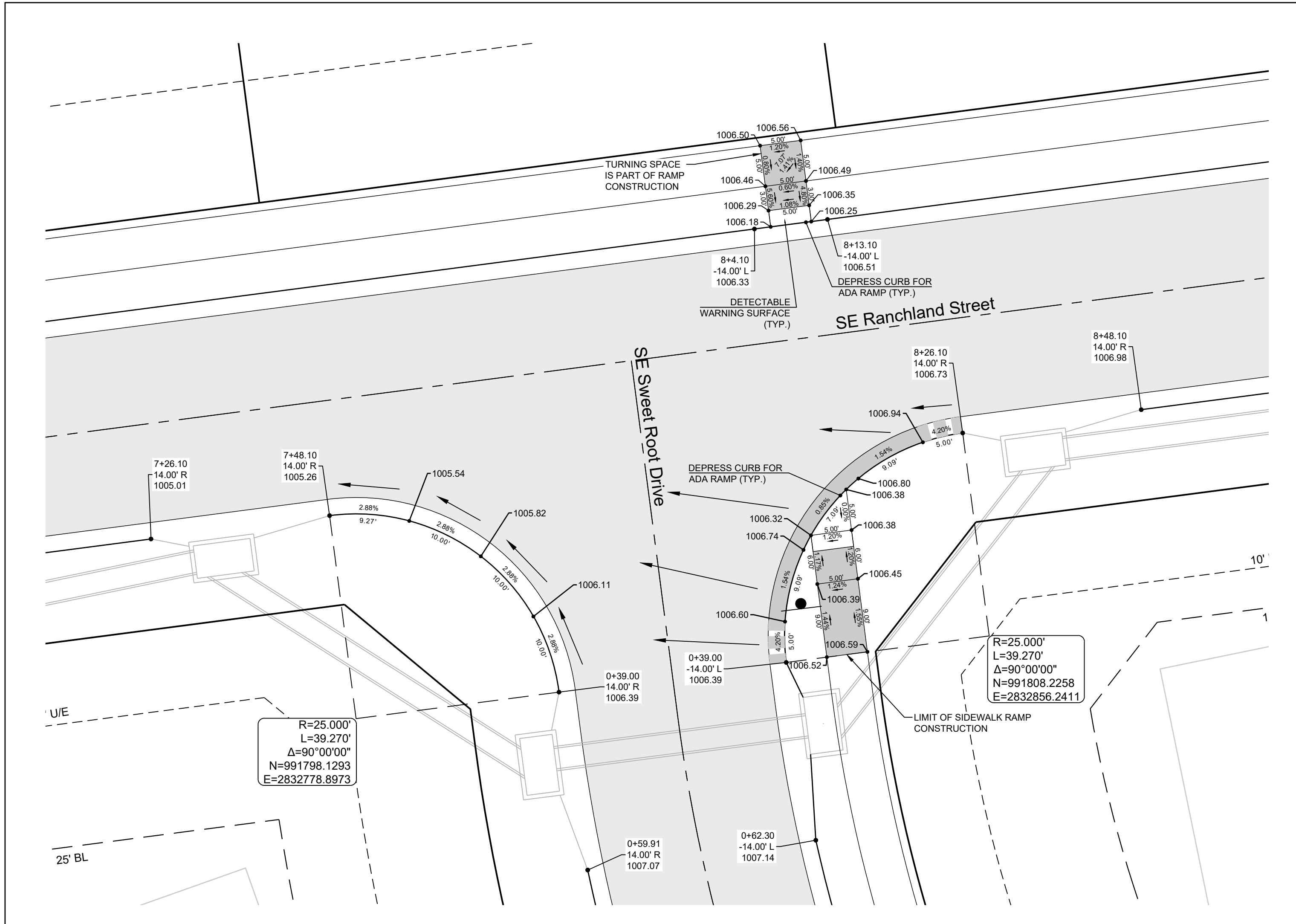
MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
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INTERSECTION  
 DETAILS 4 OF 8

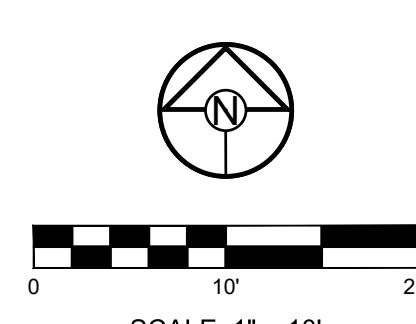
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 21

SCALE: 1" = 10'

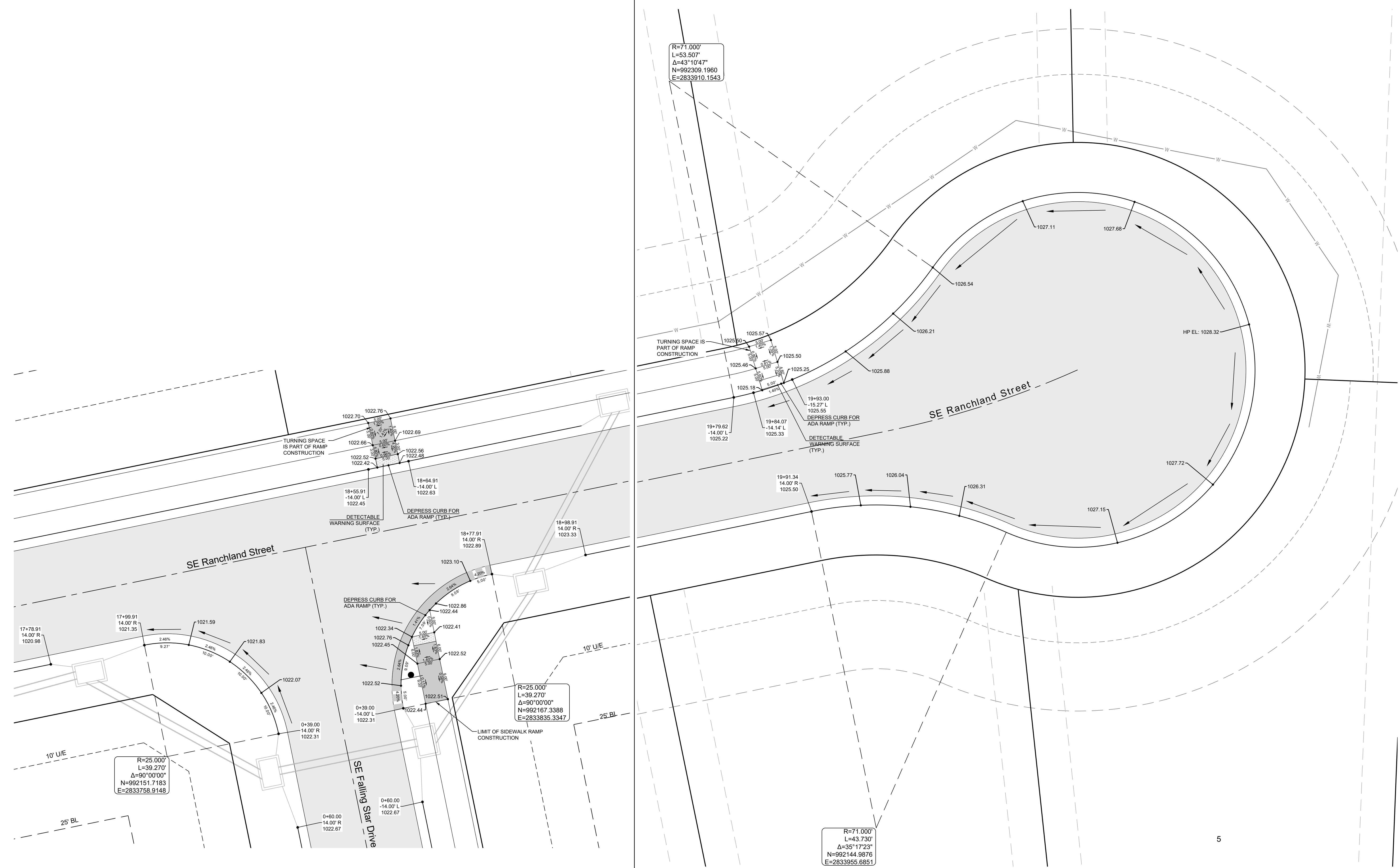


**CURB LEGEND**

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	TYPE "CG-2" DRY CURB & GUTTER
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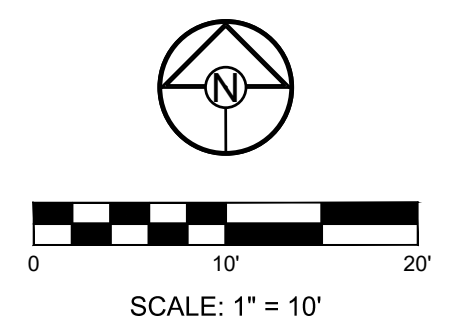
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E=2833758.9148

R=71.000'  
L=43.730'  
Δ=35°17'23"  
N=992144.9876  
E=2833955.6851

**CURB LEGEND**

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	TRANSITION "CG-2" TO "CG-2 DRY"



MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
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10/27/2023	Revised Details to current 2023 Details

DRAWN BY: NCA  
CHECKED BY: JLL  
DATE PREPARED: 11/05/2021  
PROJ. NUMBER: 21-130

INTERSECTION  
DETAILS 5 OF 8

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

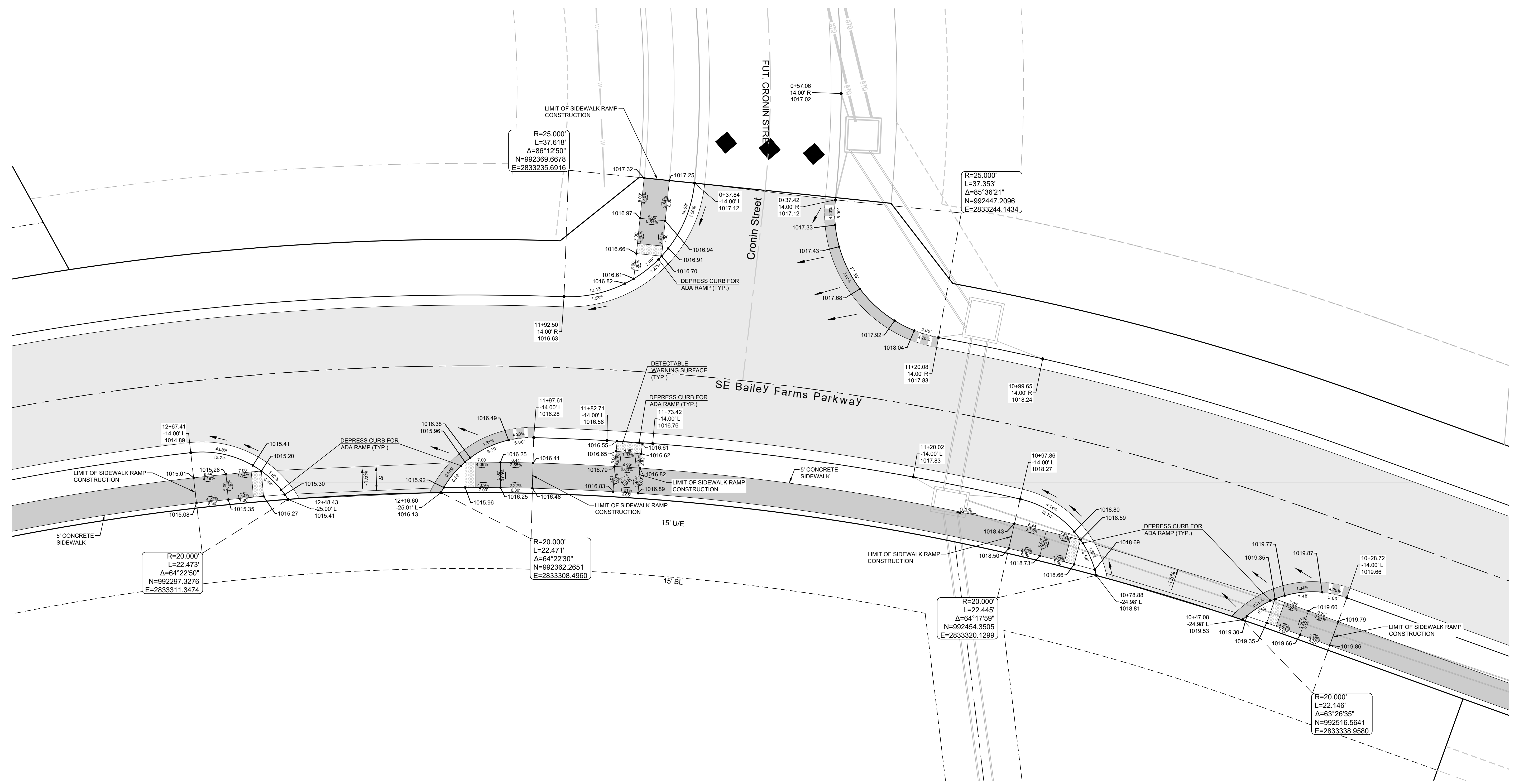
**MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI**

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**INTERSECTION  
 DETAILS 6 OF 8**

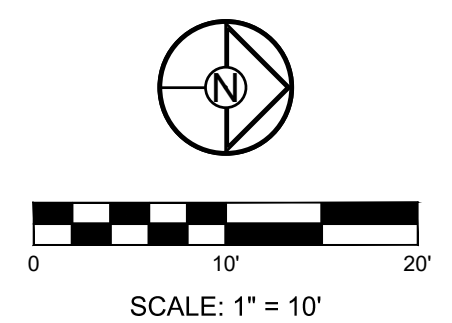
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**23**



**CURB LEGEND**

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	TRANSITION "CG-2" TO "CG-2 DRY"



PREPARED BY:



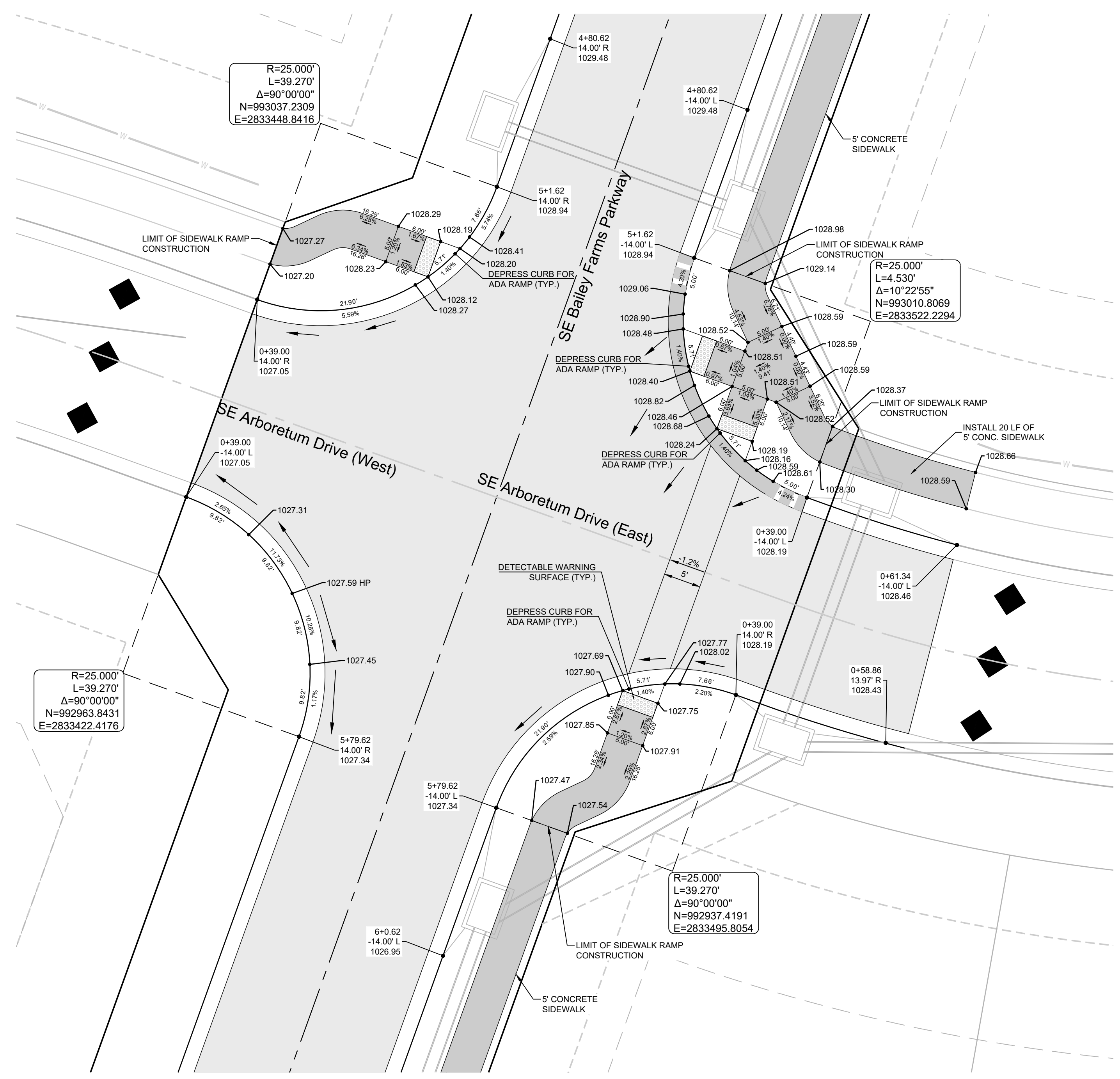
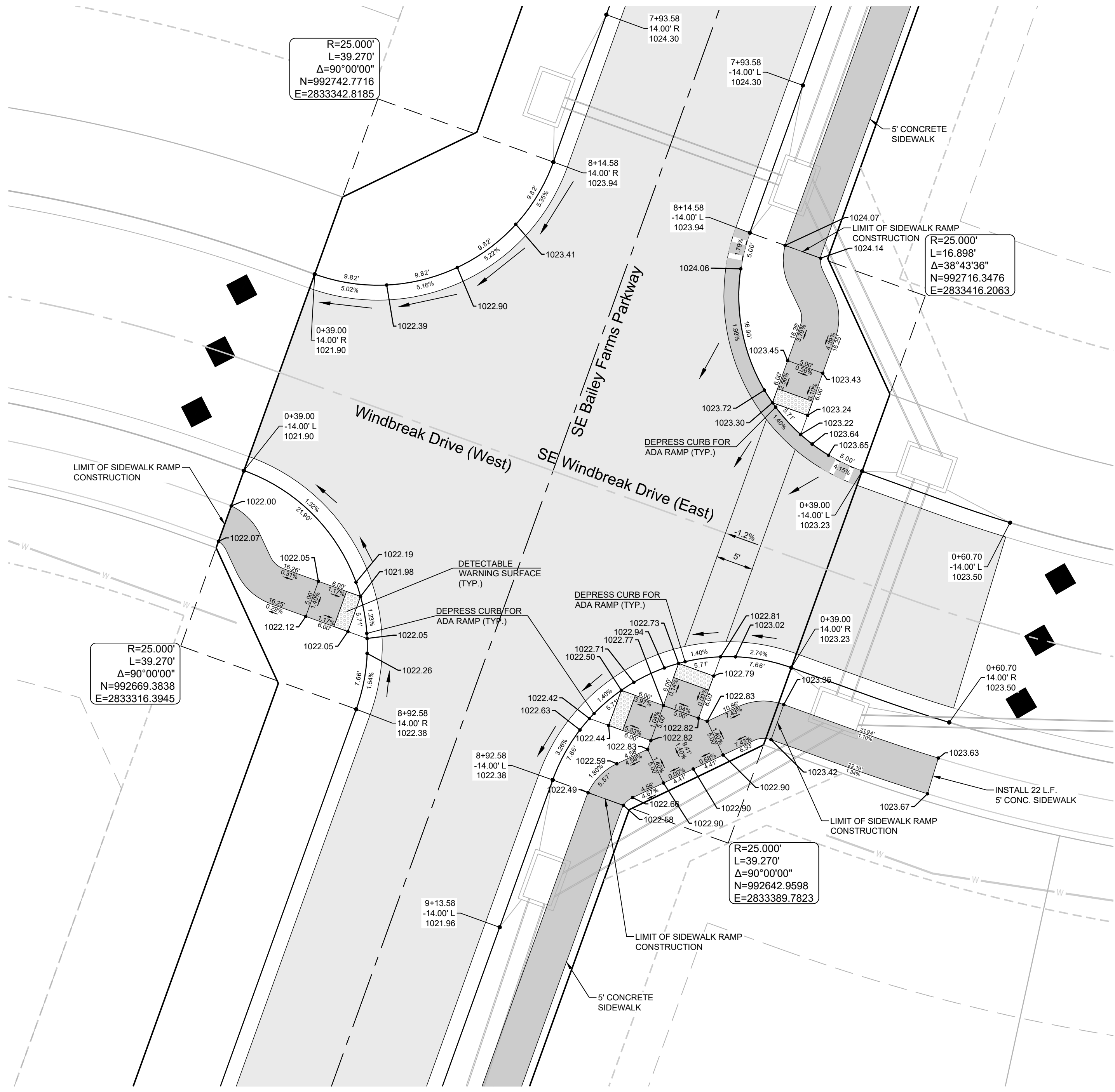
SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
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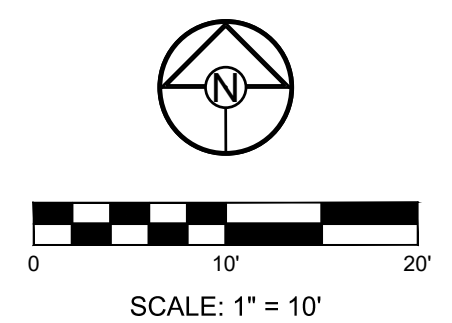
INTERSECTION DETAILS 7 OF 8

SHEET



**CURB LEGEND**

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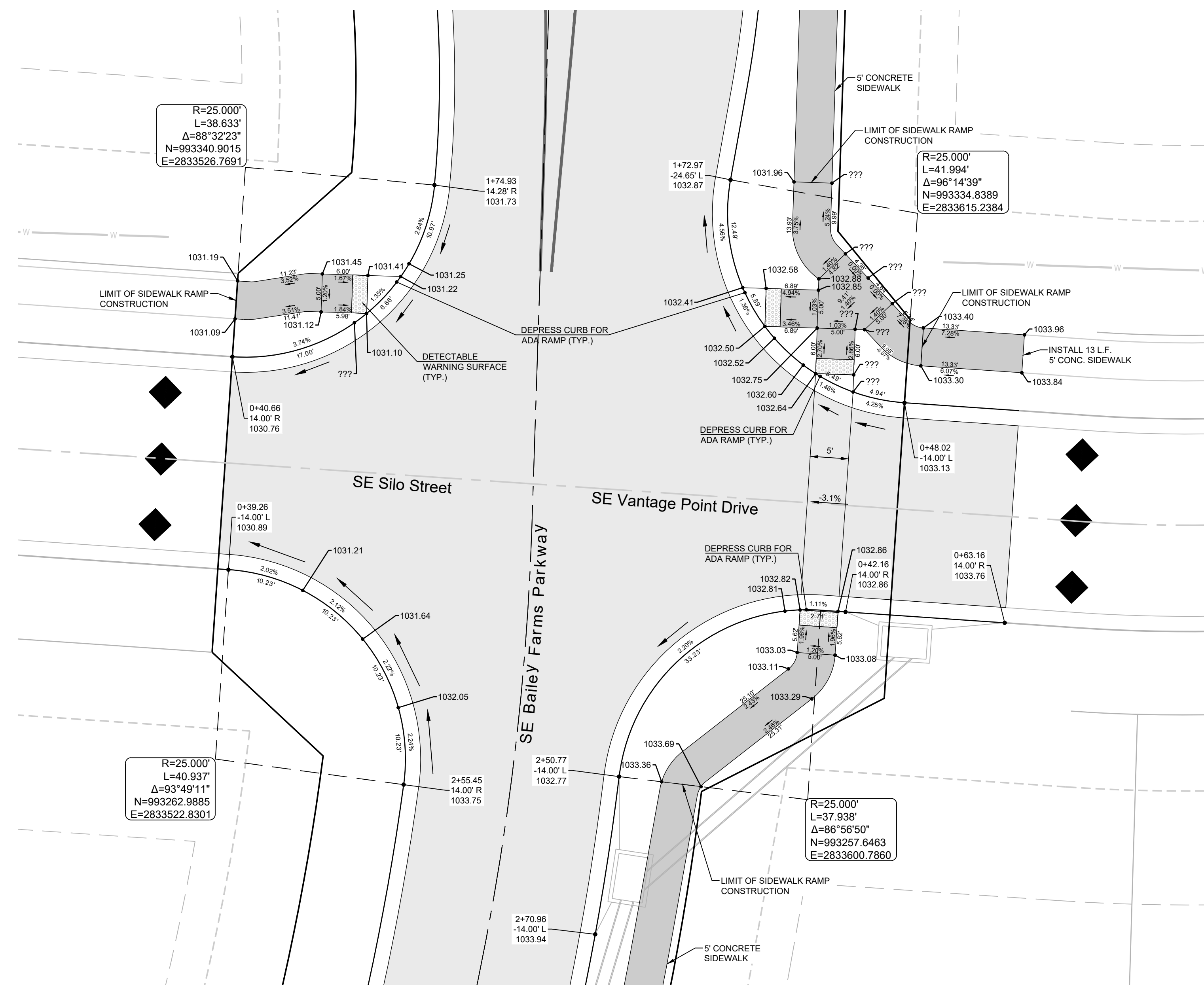


PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI



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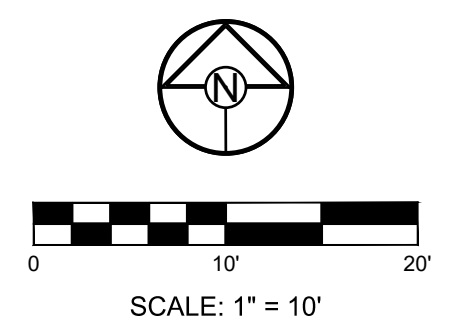
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**CURB LEGEND**

	CURB & GUTTER - EXISTING
	TYPE "CG-2" CURB & GUTTER
	TYPE "CG-2" DRY CURB & GUTTER
	TRANSITION "CG-2" TO "CG-2 DRY"



**\*\*NEED TO BE UPDATED PER NEW STREET PROFILE AND SECTION. NO LONGER CROWNED NORTH OF INTERSECTION. WILL NEED DRY CURB.**

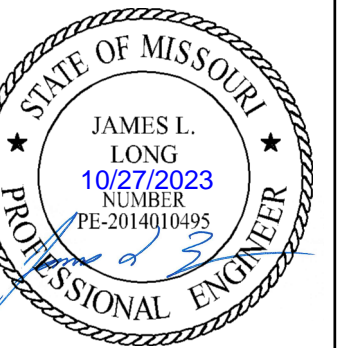
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DRAWN BY:	NCA
CHECKED BY:	JLL
DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

INTERSECTION  
 DETAILS 8 OF 8

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
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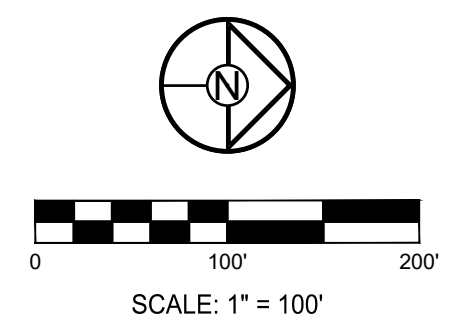
MASTER  
 DRAINAGE  
 PLAN-DRAINAGE  
 MAP

SHEET  
**26**

**MISSOURI GEOGRAPHIC REFERENCE SYSTEM  
 BENCHMARK:**

BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25



10-YEAR RUNOFF CALCULATIONS

Table with columns for Design Storm, K Value, F Factor, and Runoff Calculations. It lists 10-year runoff data for various pipe segments (LINE 100 to LINE 3700) including area, intensity, and pipe properties.

100-YEAR RUNOFF CALCULATIONS

Table with columns for Design Storm, K Value, F Factor, and Runoff Calculations. It lists 100-year runoff data for various pipe segments (LINE 1000 to LINE 3700) including area, intensity, and pipe properties.



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN SE BAILEY ROAD AND SE RANSON ROAD LEE'S SUMMIT, MISSOURI

Table with columns for REVISION DATE, DESCRIPTION, and revision details. It tracks changes to the drawing, such as 'City Comments dated 12/19/2021'.

MASTER DRAINAGE PLAN-DRAINAGE CALCS SHEET

I:\PROJECTS\2021\121-130\3\0 Design\3\0 DWG Plans\6.0 SS\21-130-SS-DRAINAGE.dwg, MASTER DRAINAGE PLAN-DRAINAGE CALCS, 10/27/2023 1:46:38 PM, 11



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

**MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN**  
**SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI**

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STORM LAYOUT SHEET

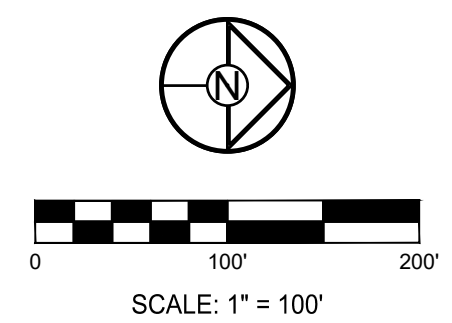
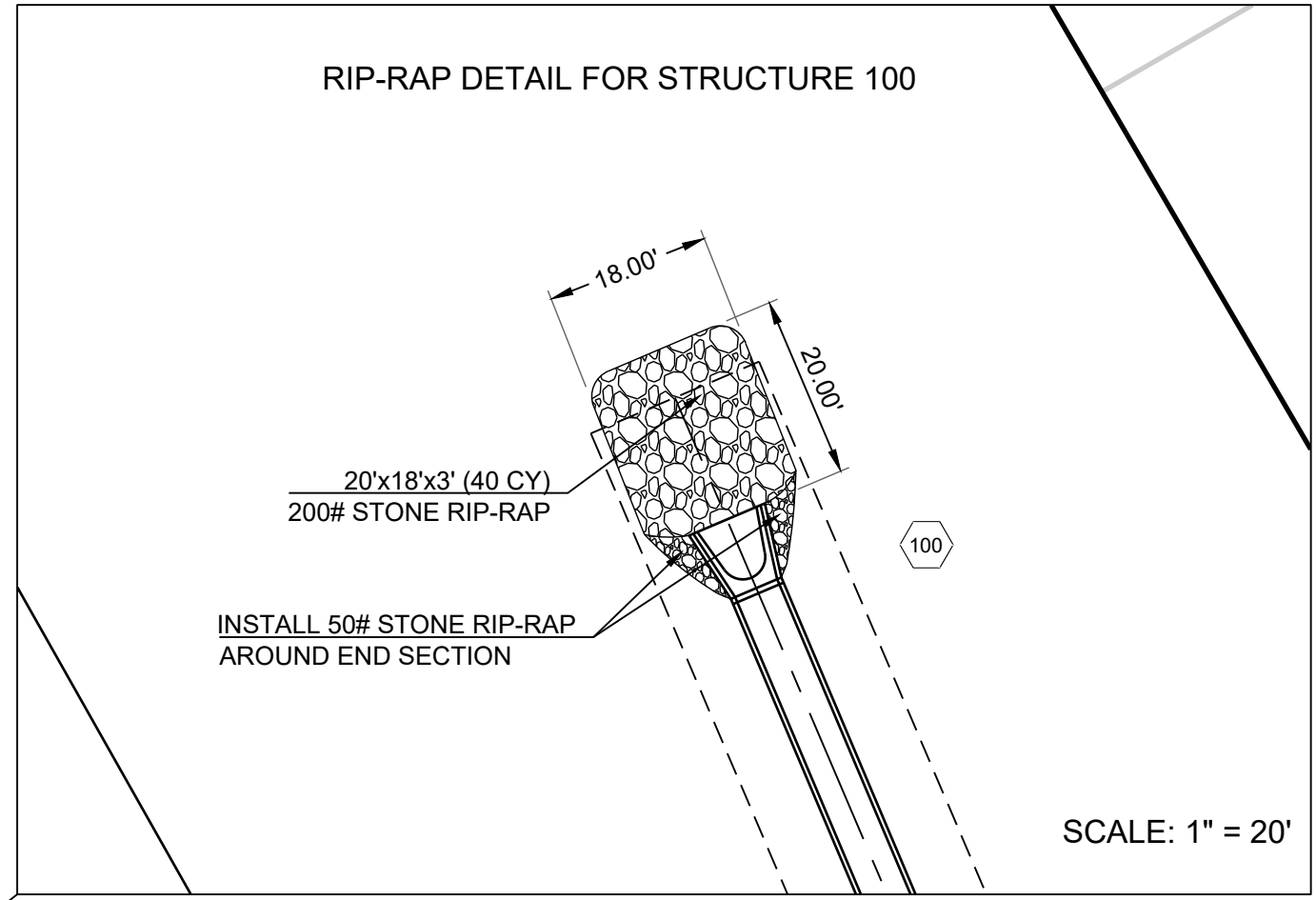
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**29**

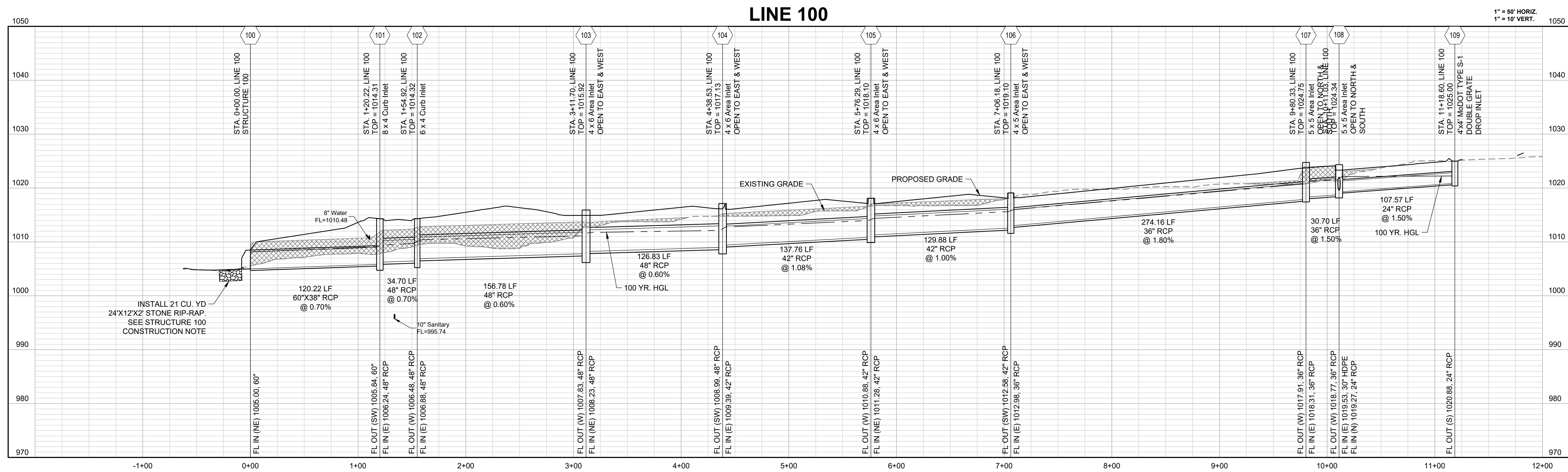
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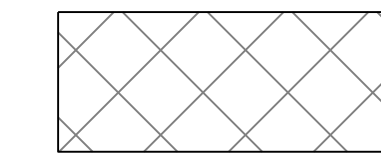
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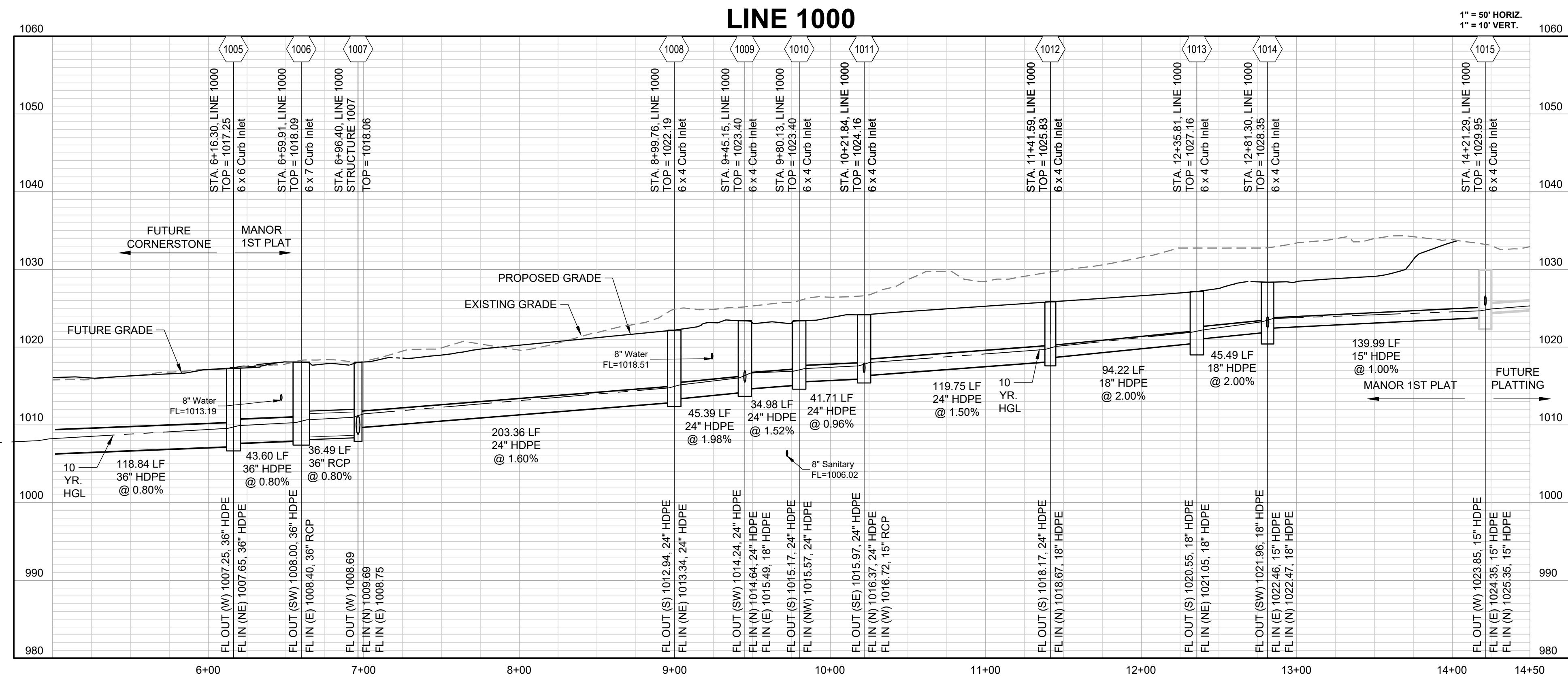




10-YEAR HGL ———  
 100-YEAR HGL ———



COMPACTED FILL TO BE PLACED A MINIMUM OF  
 18" ABOVE TOP OF PIPE PRIOR TO PIPE EXCAVATION



PREPARED BY:



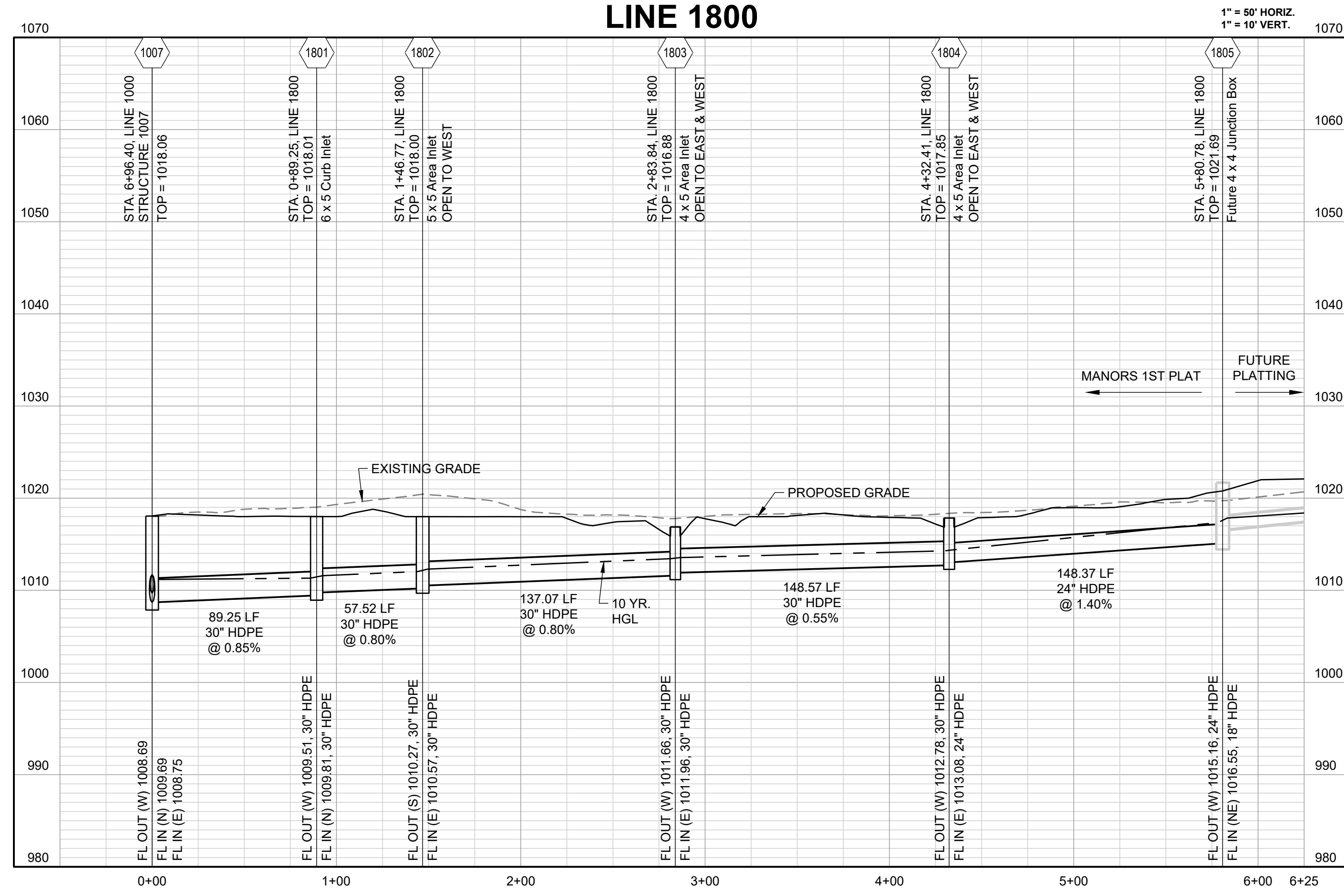
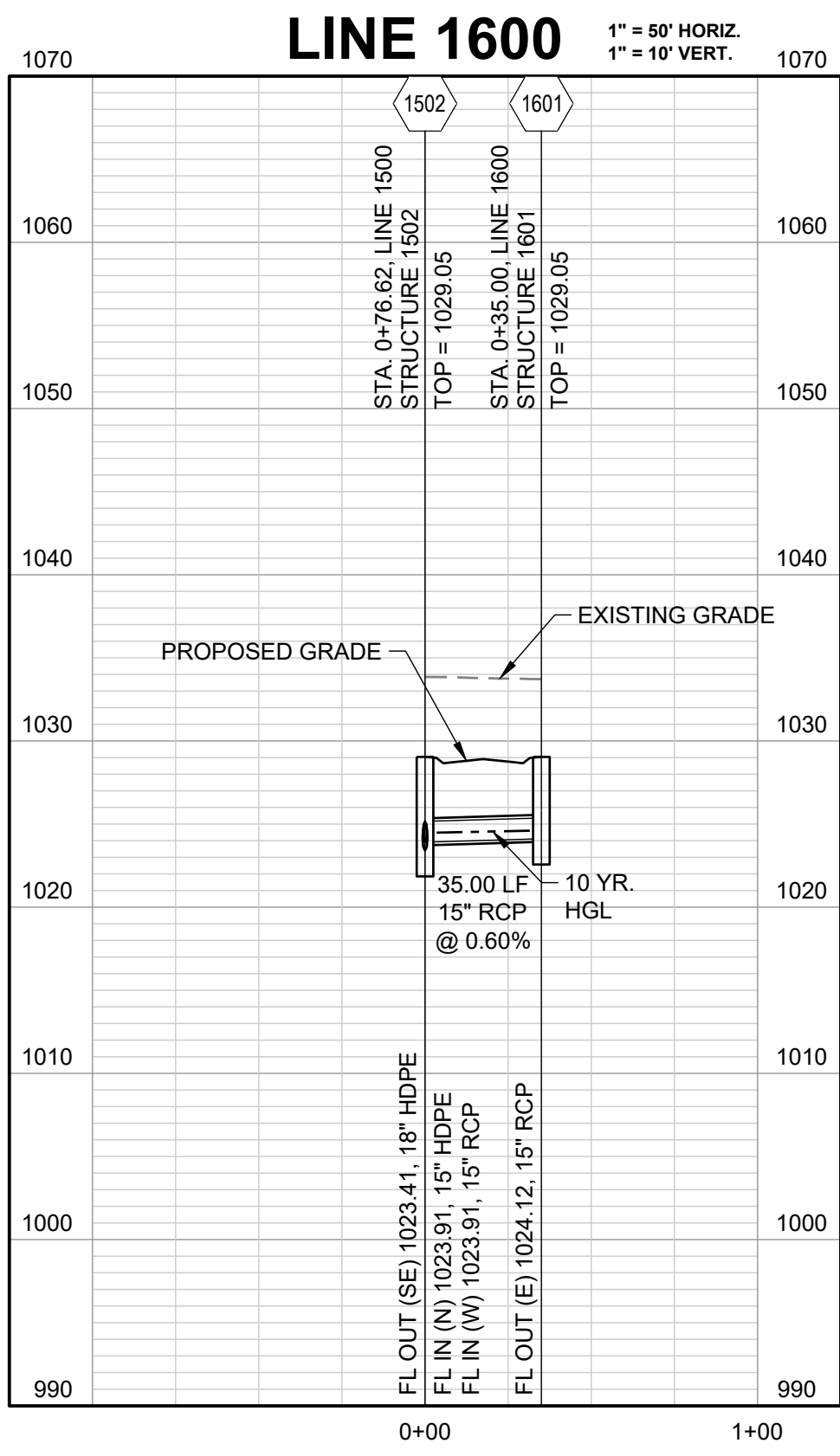
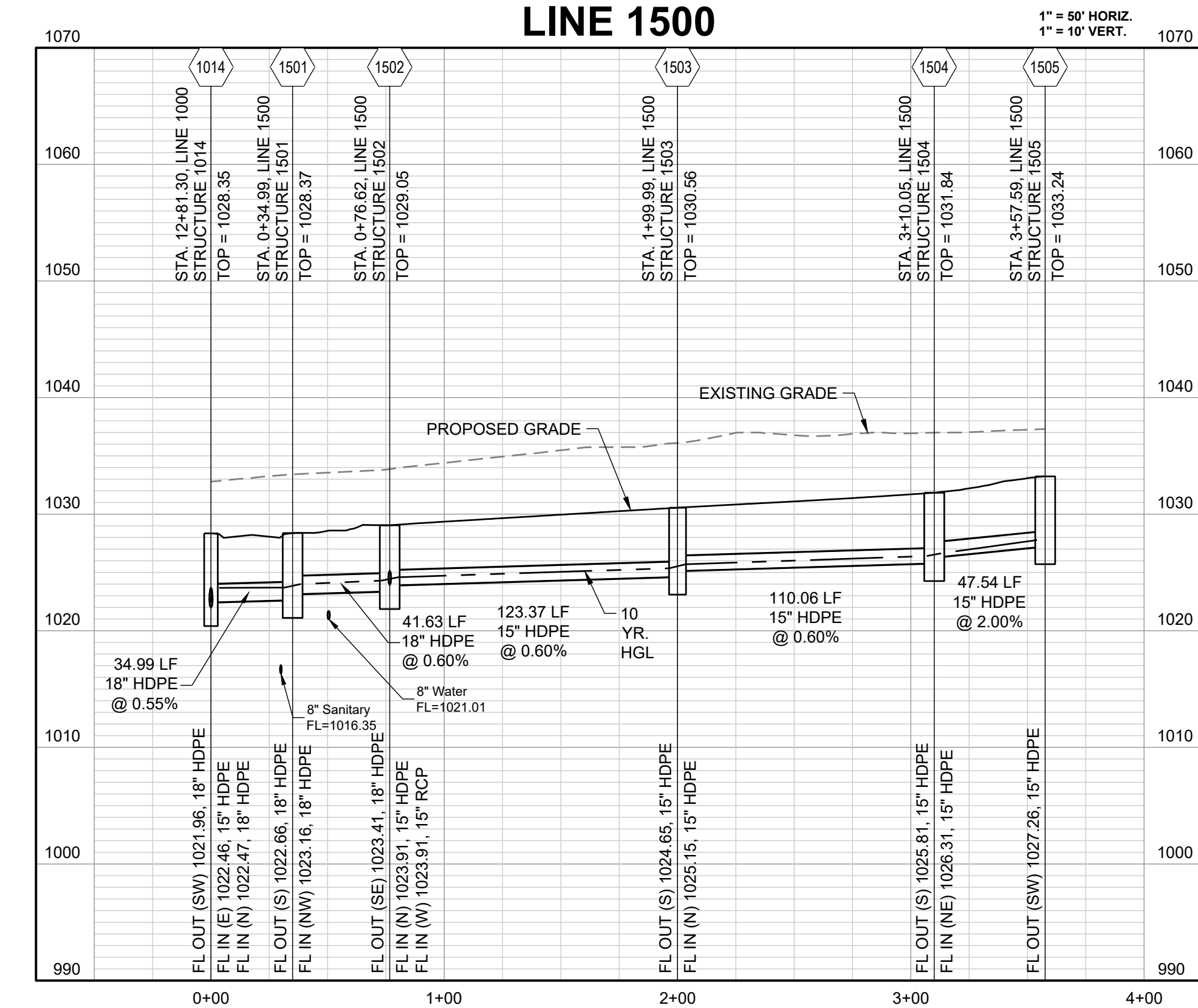
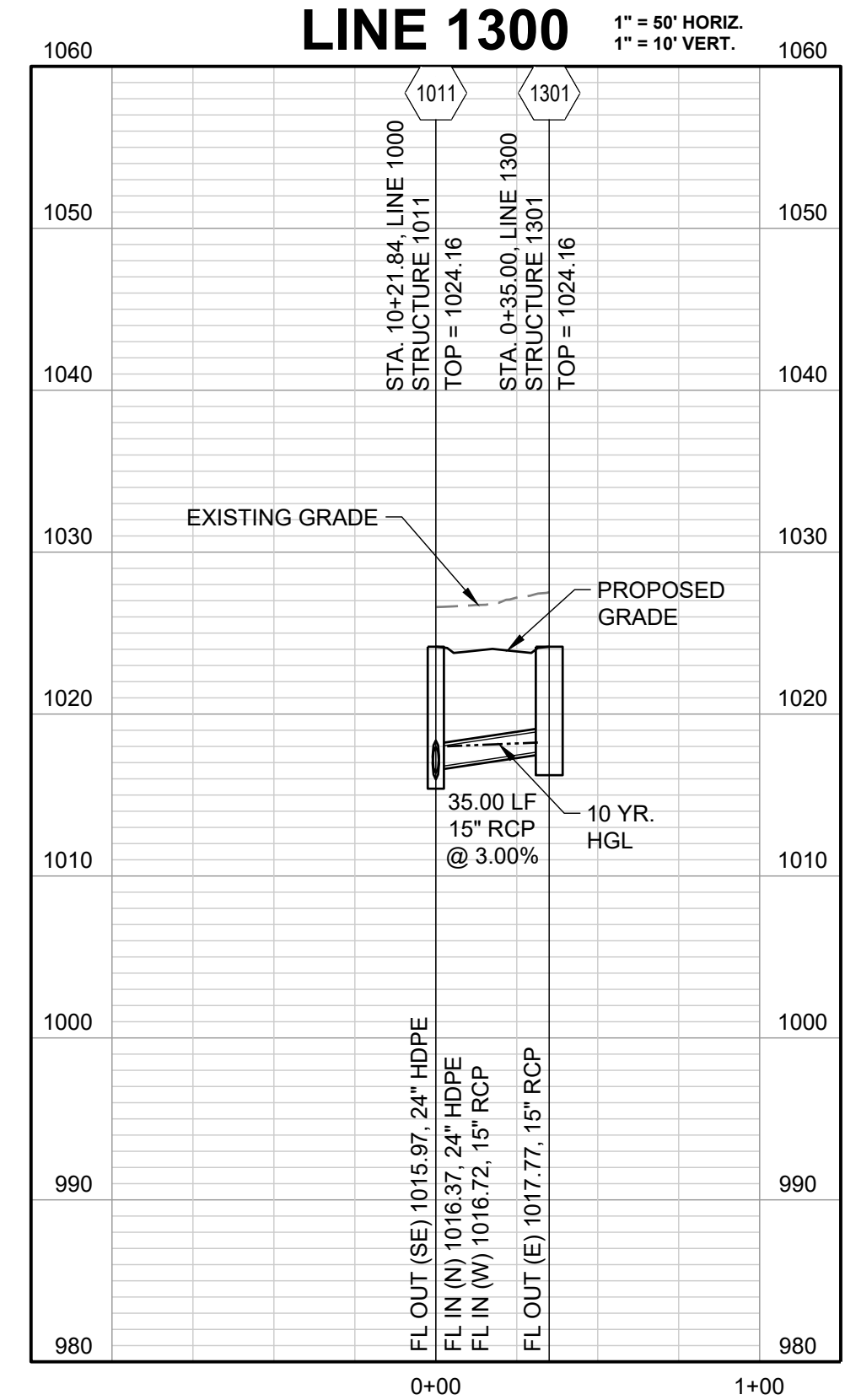
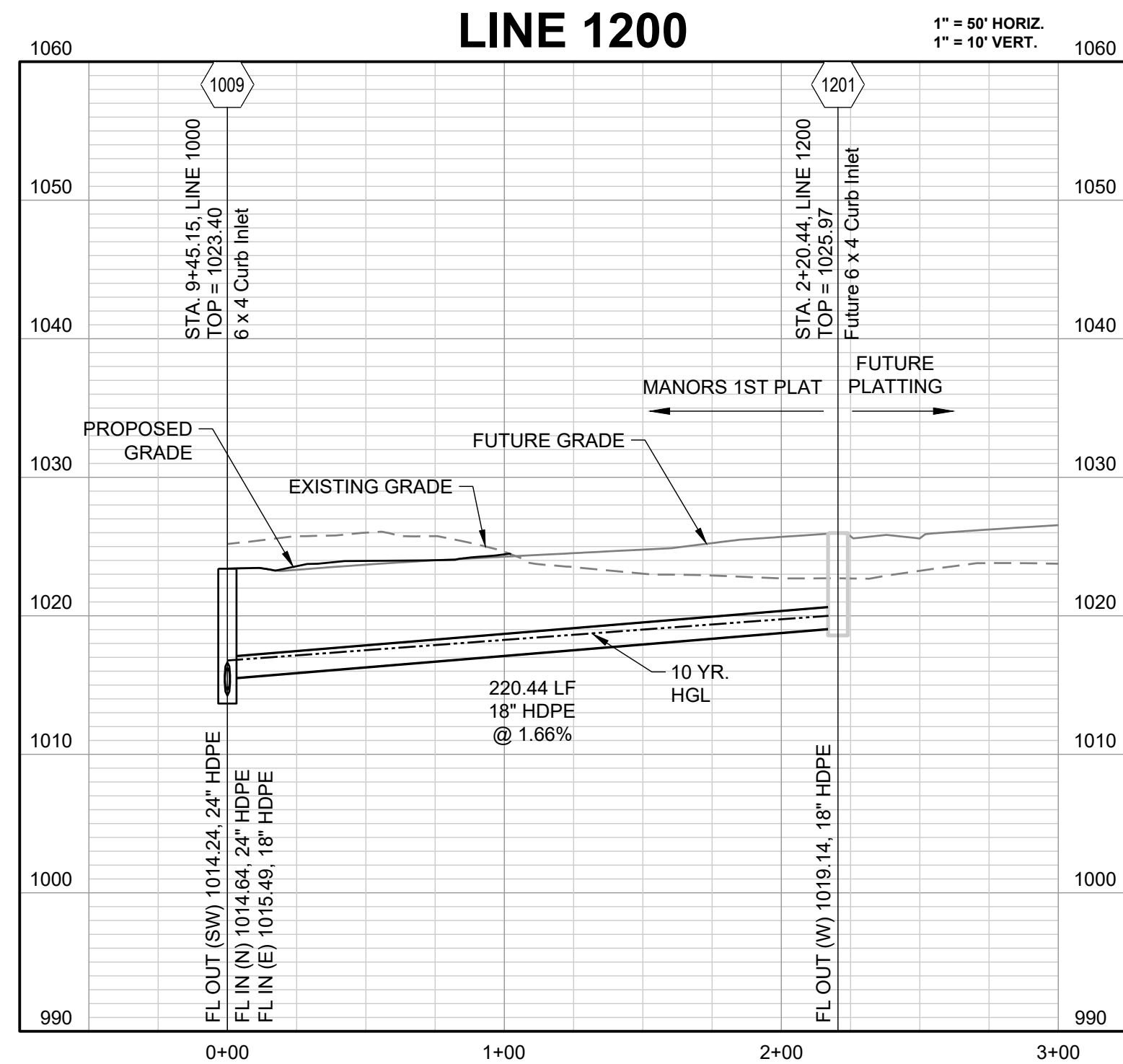
SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

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01/21/2022	City Comments dated 12/19/2021
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10/27/2023	Reviewed Details to current 2023 Details

STORM  
 PROFILES 1

SHEET  
 31



10-YEAR HGL - - - - -

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

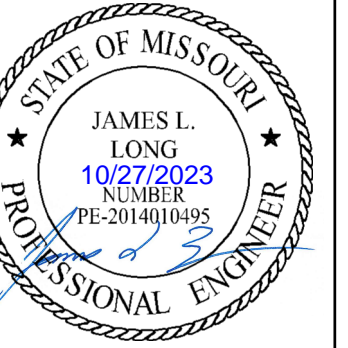
MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
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LEE'S SUMMIT, MISSOURI

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DRAWN BY: NCA  
 CHECKED BY: JLL  
 DATE PREPARED: 11/05/2021  
 PROJ. NUMBER: 21-130



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

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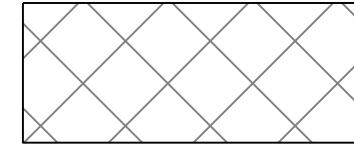
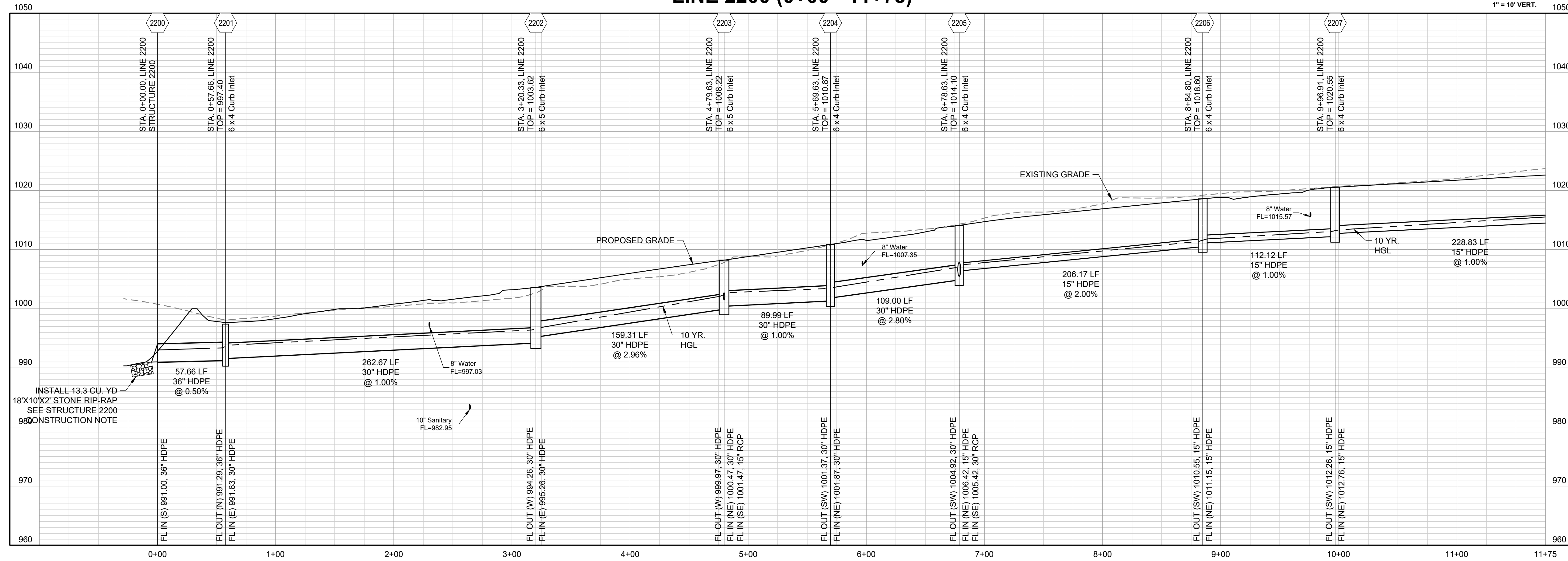
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DATE PREPARED:	11/05/2021
PROJ. NUMBER:	21-130

STORM  
 PROFILES 3

SHEET

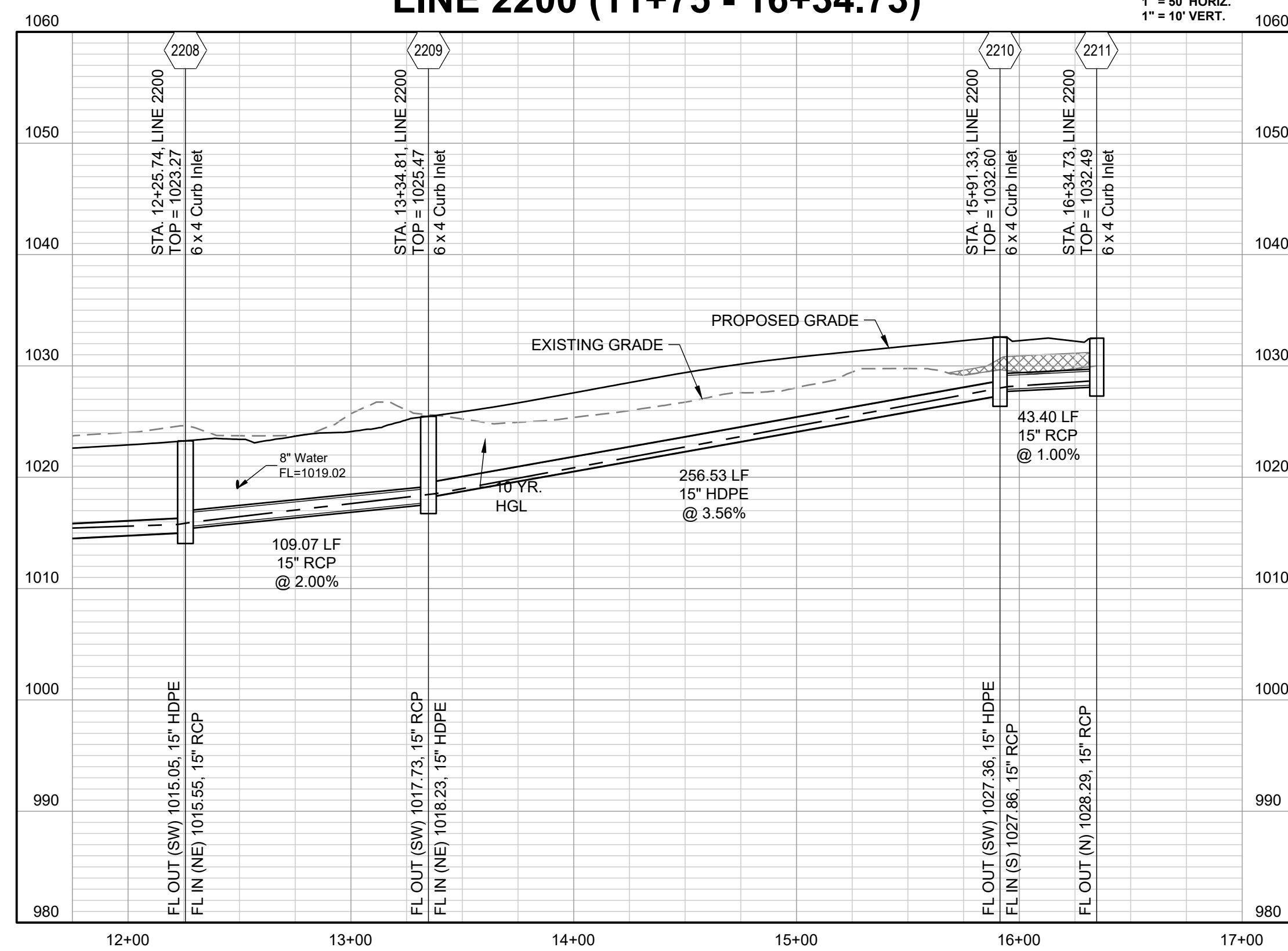
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**LINE 2200 (0+00 - 11+75)**

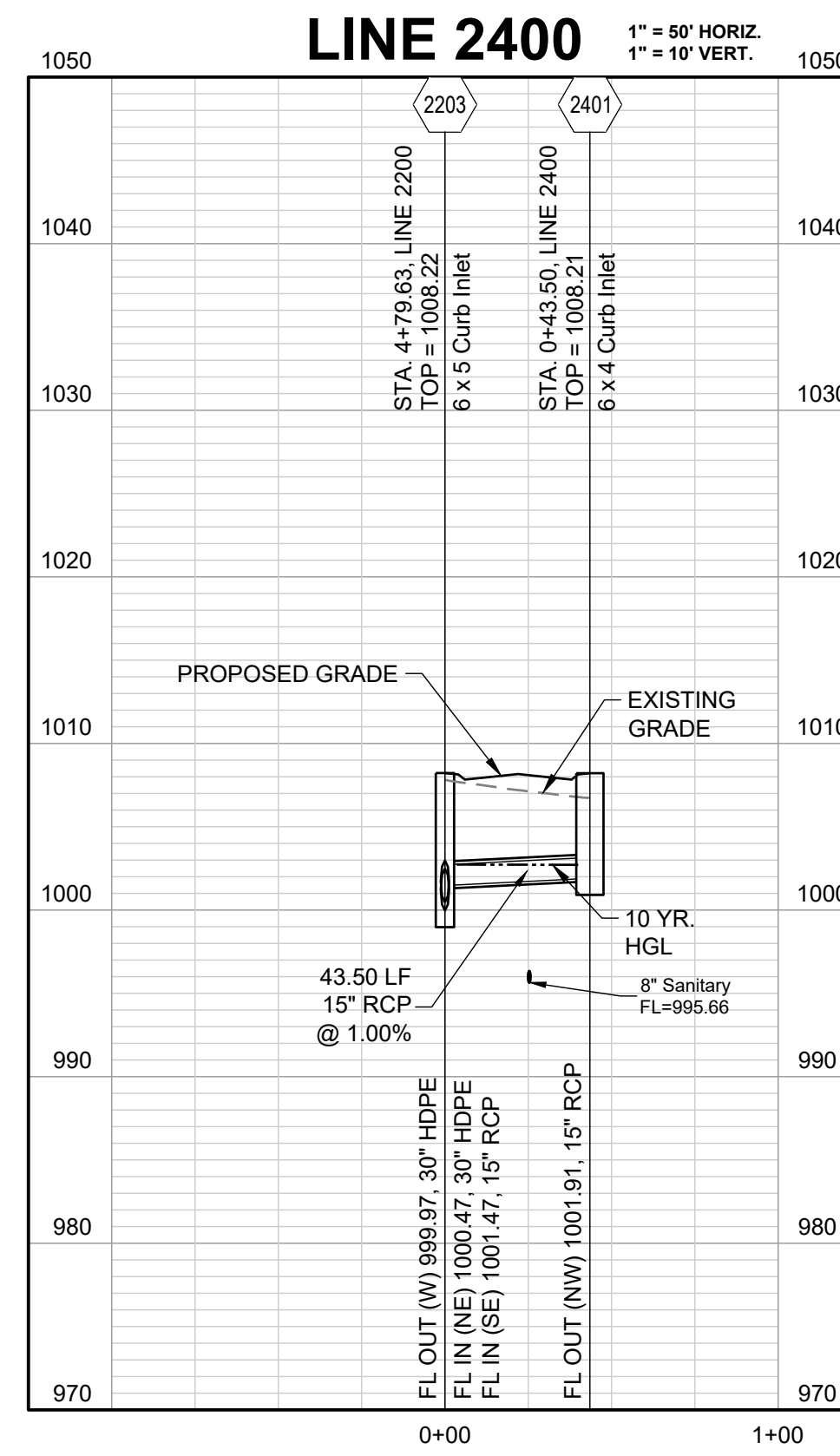


COMPACTED FILL TO BE PLACED A MINIMUM OF  
 18" ABOVE TOP OF PIPE PRIOR TO PIPE EXCAVATION

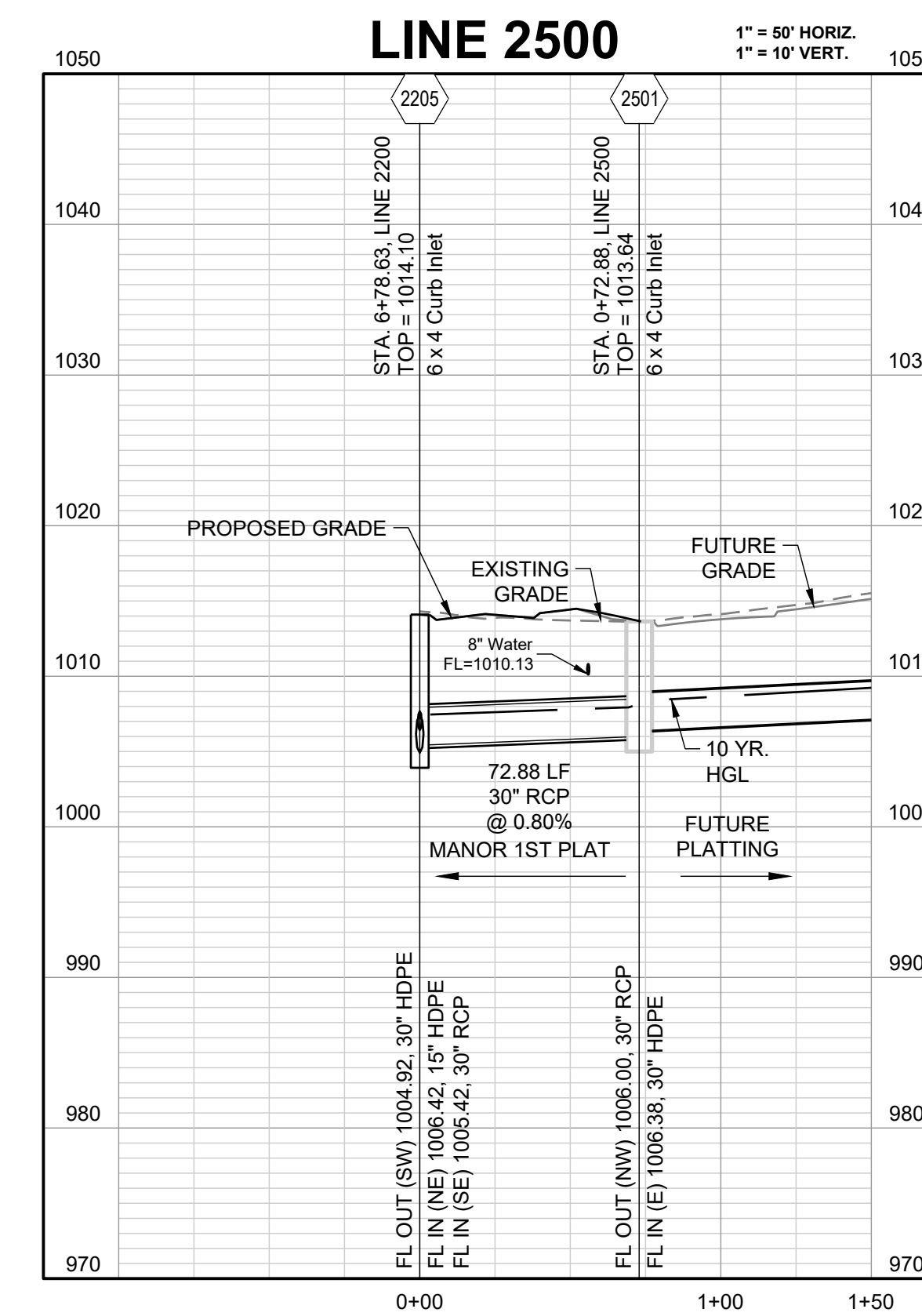
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**LINE 2400**

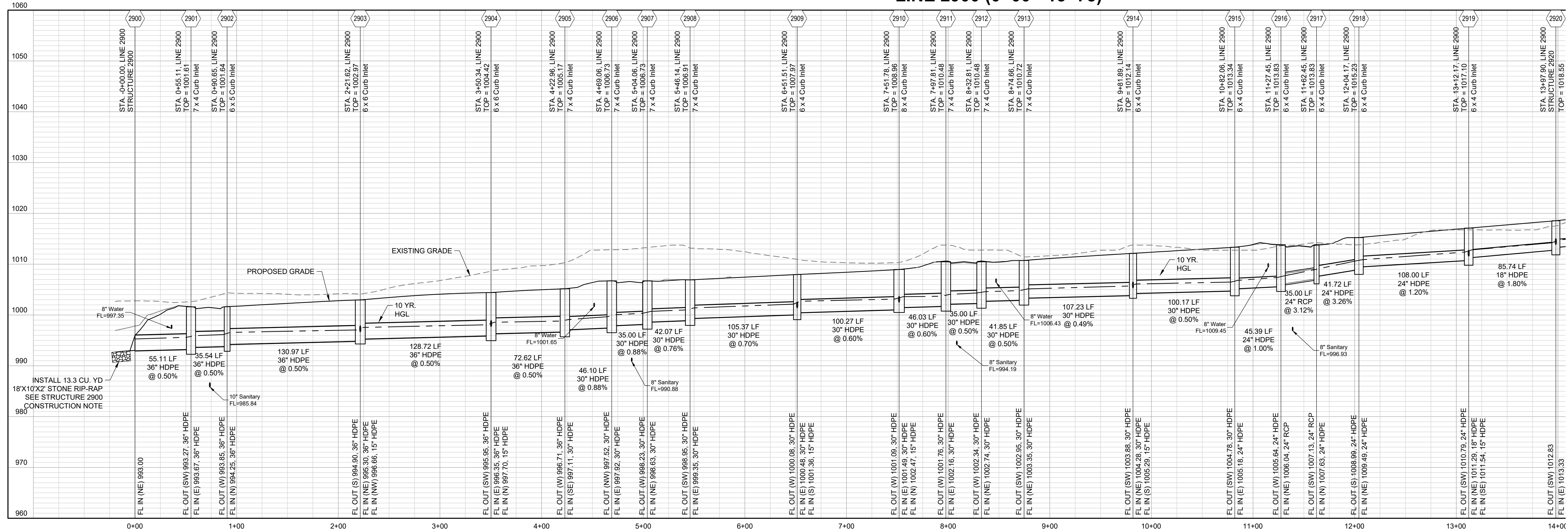


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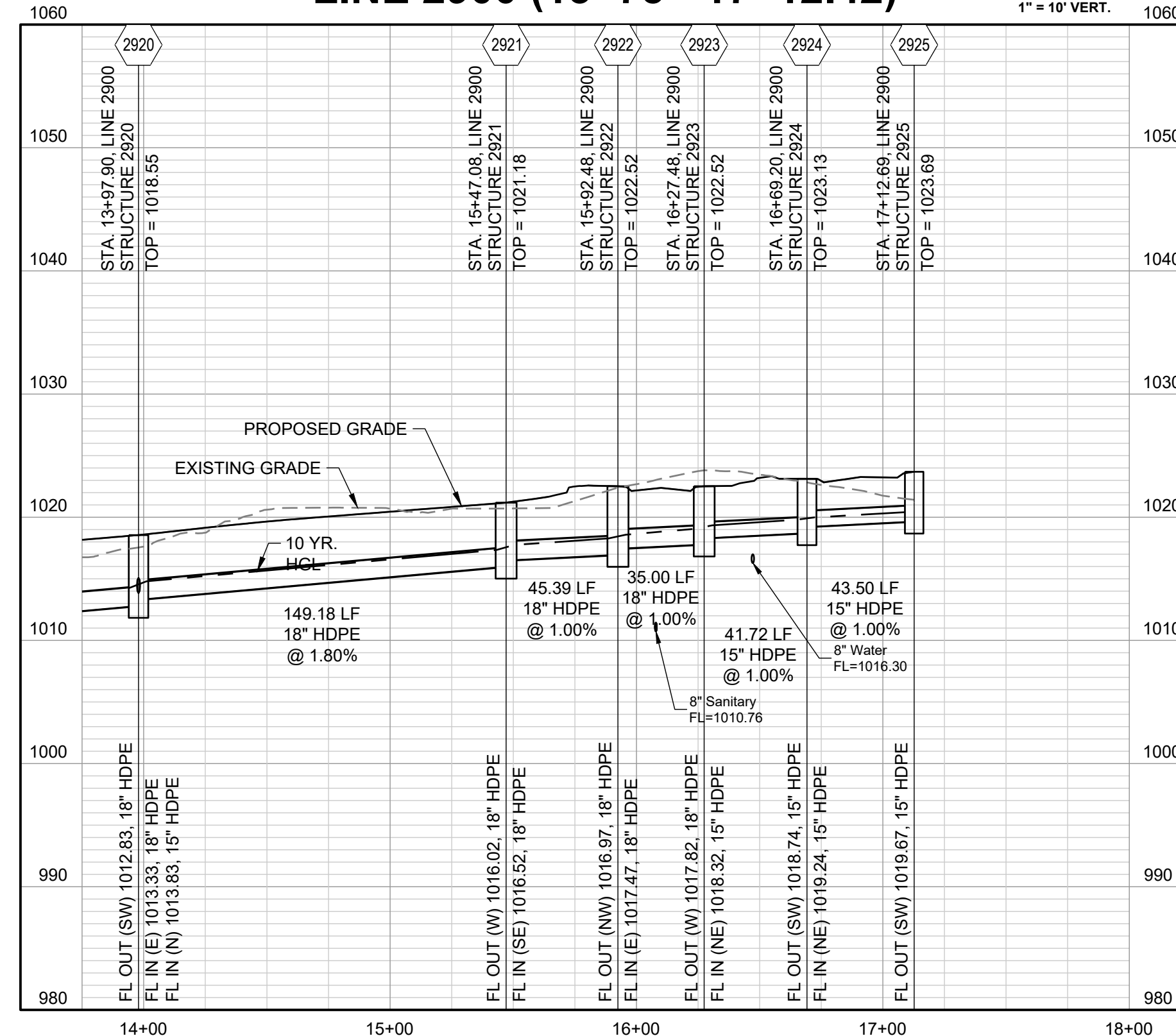
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**LINE 2900 (0+00 - 13+75)**

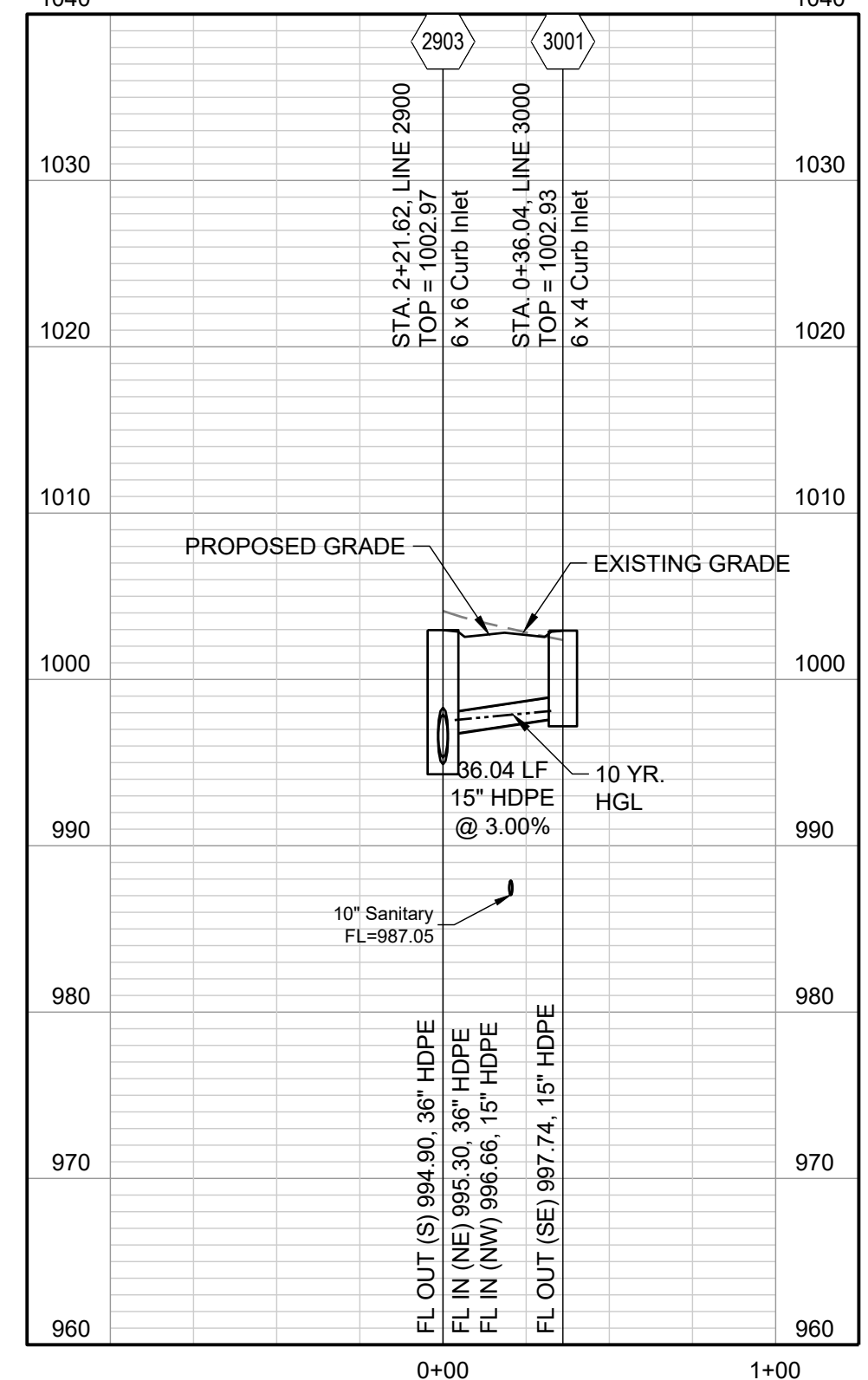


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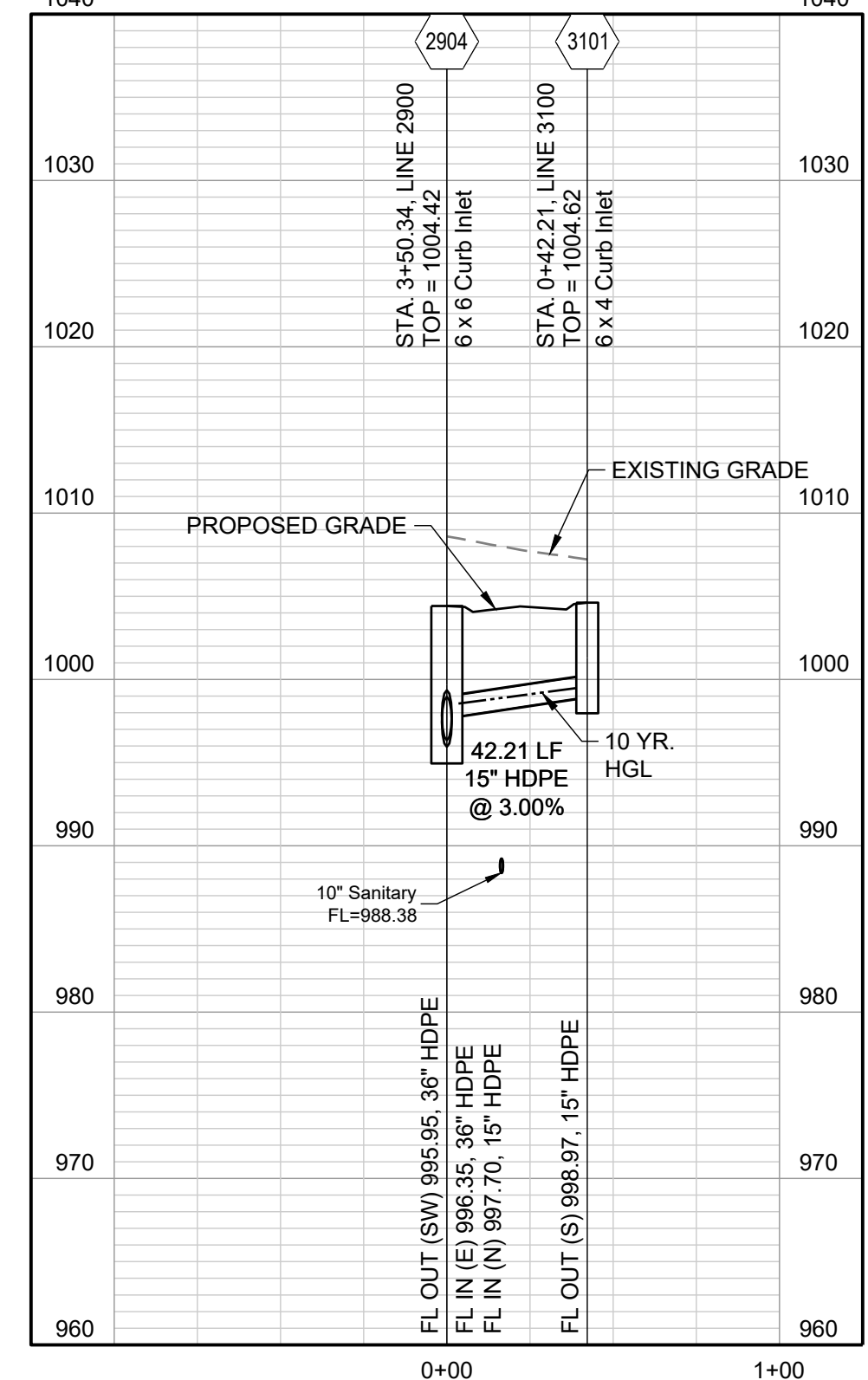
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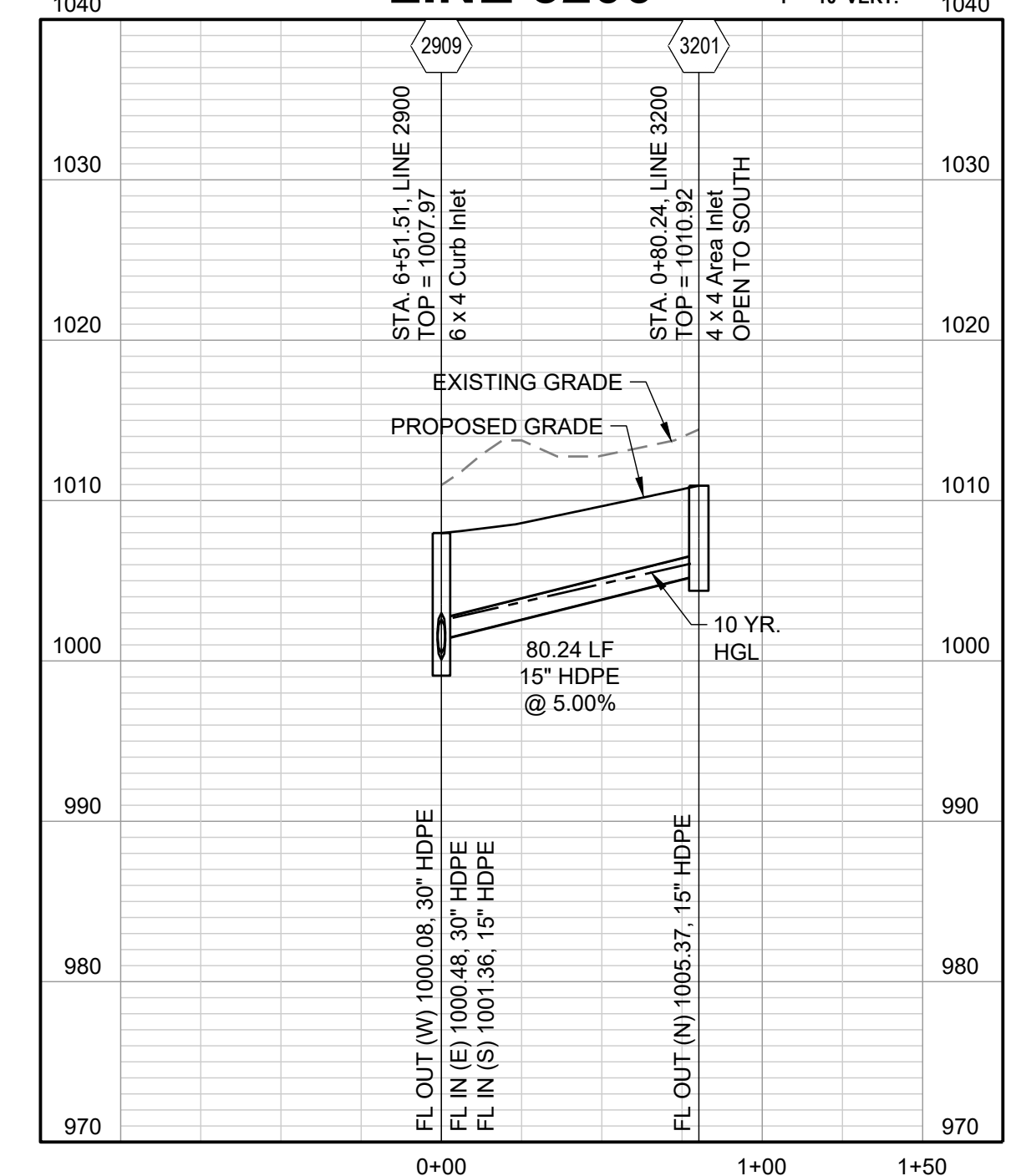
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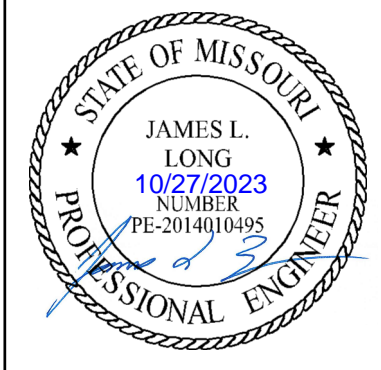
**LINE 3100**



**LINE 3200**



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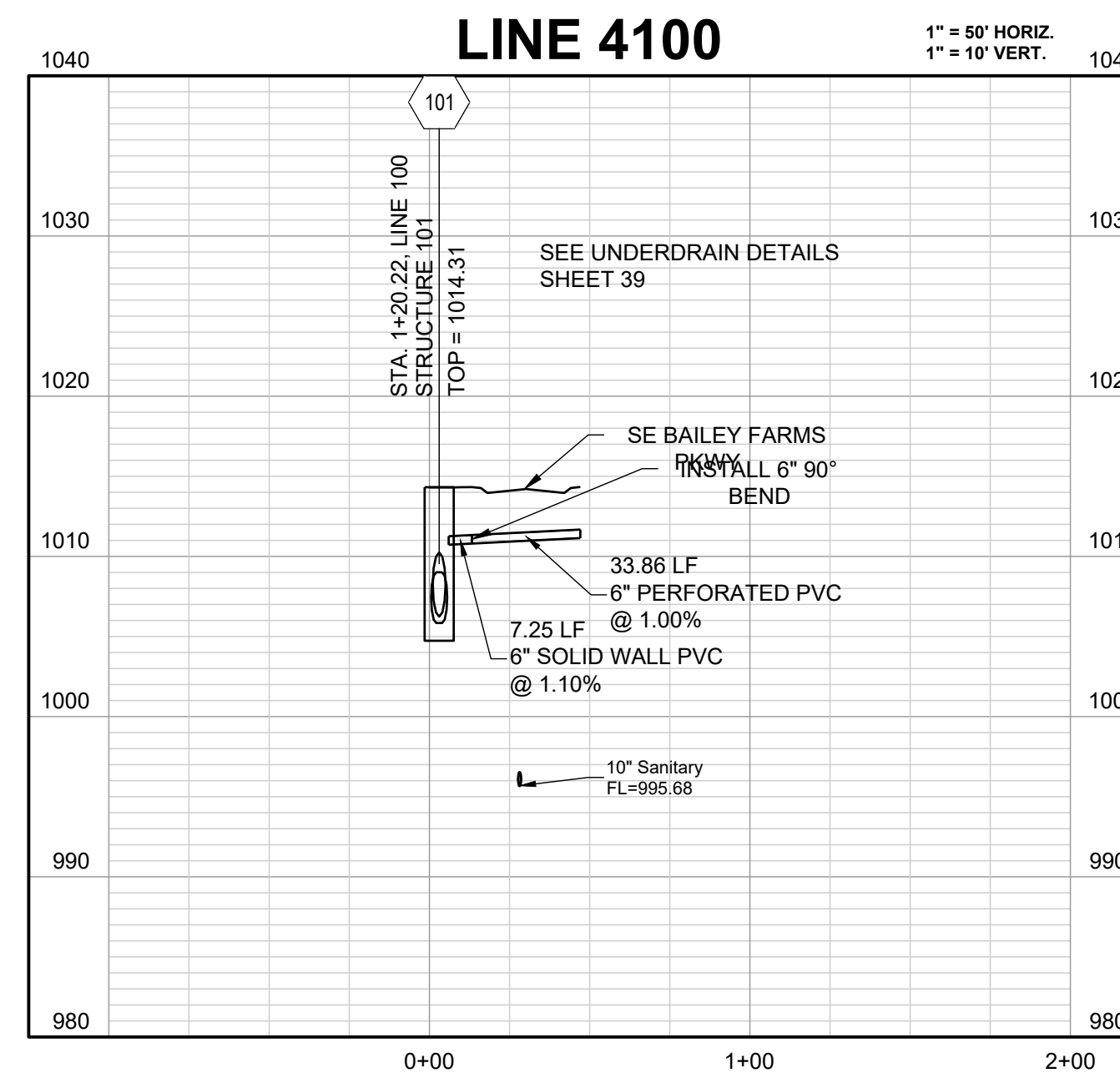
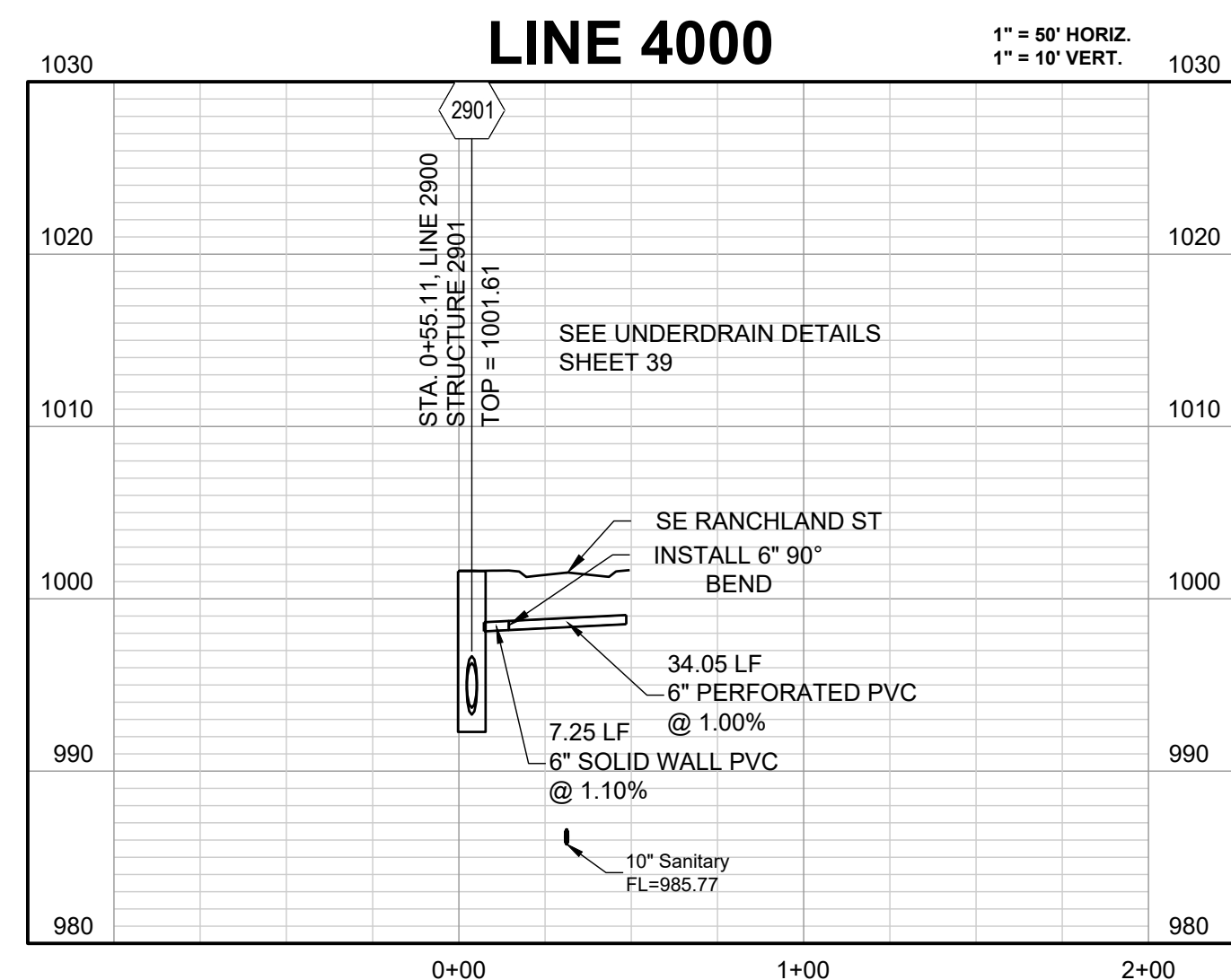
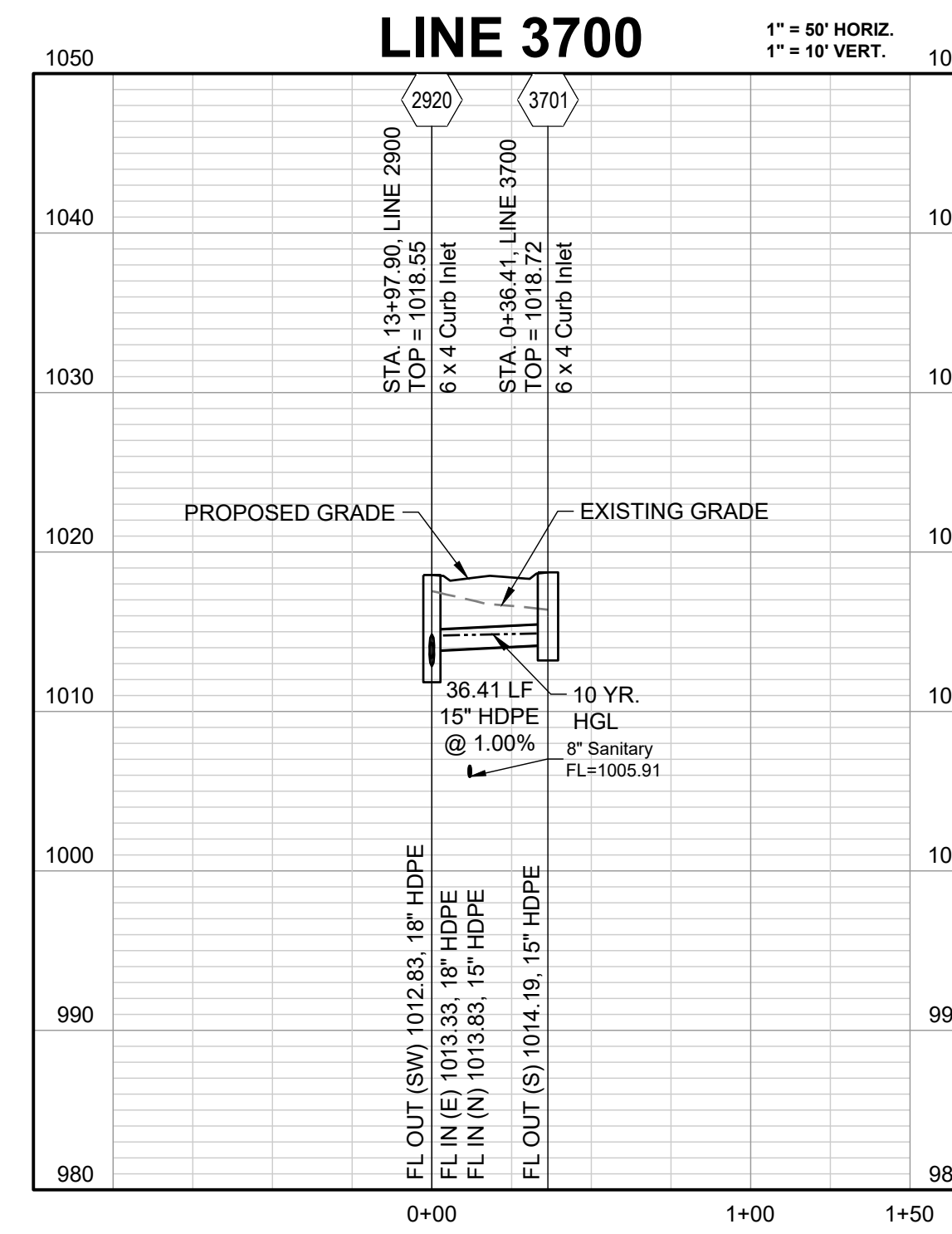
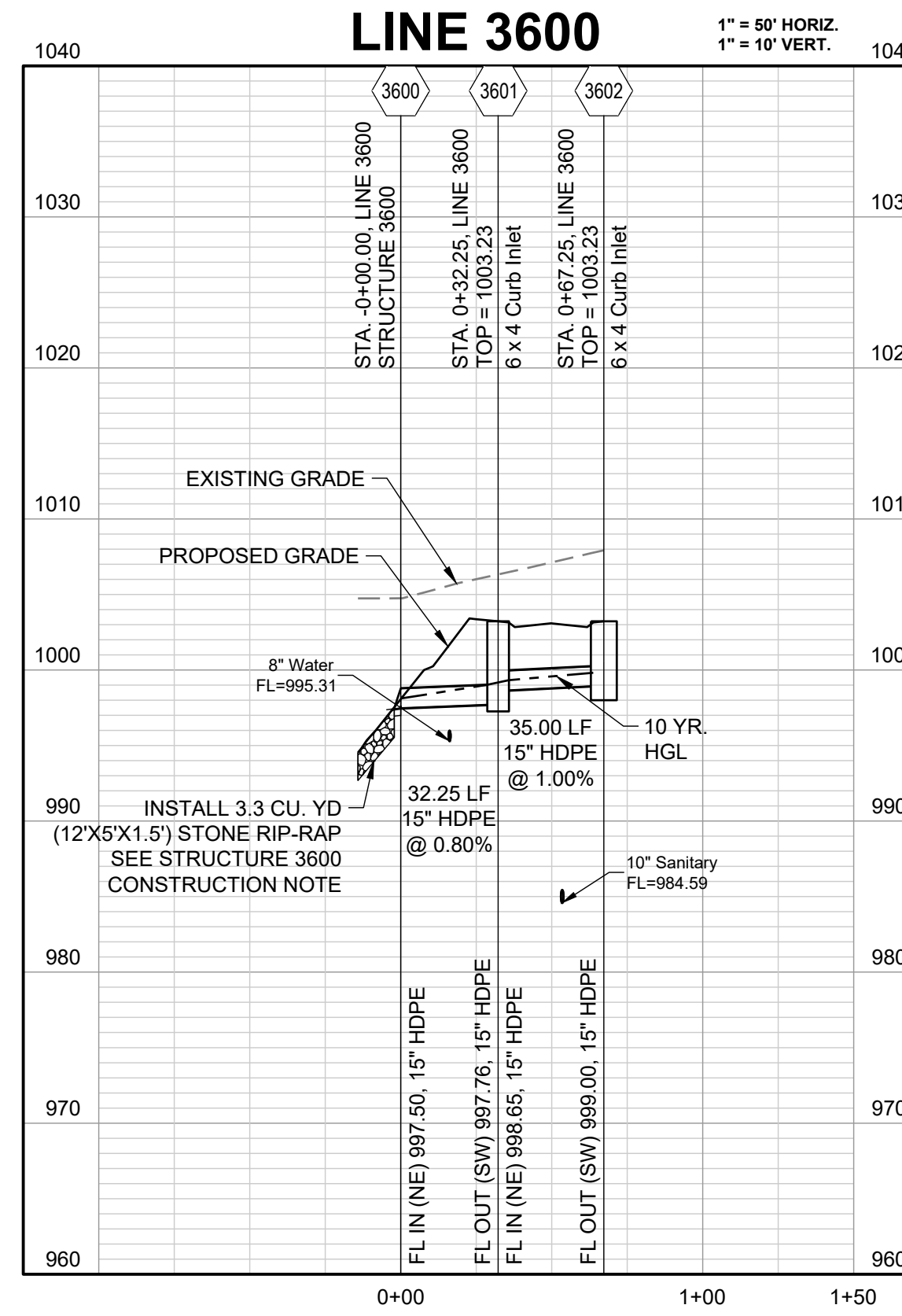
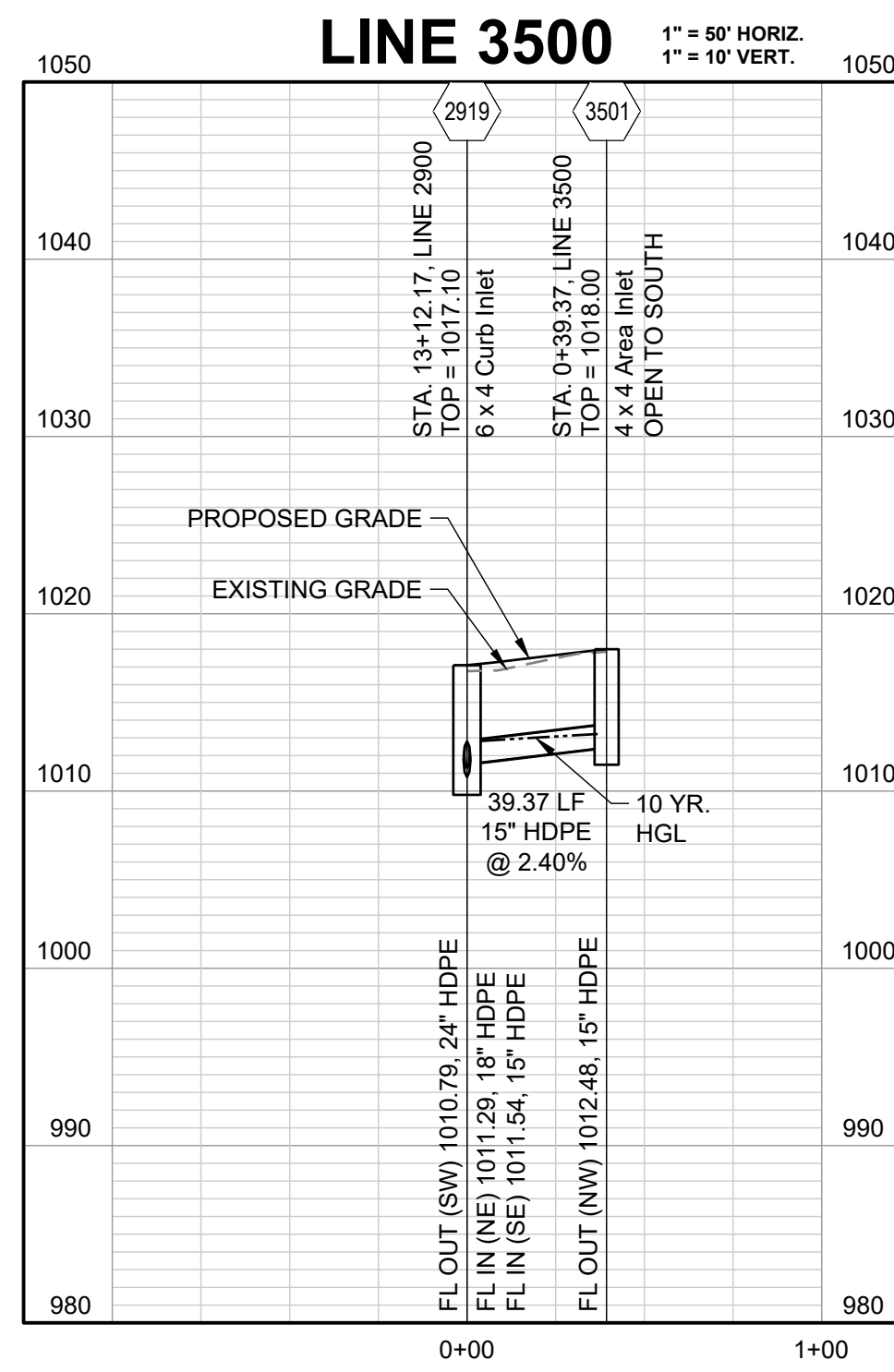
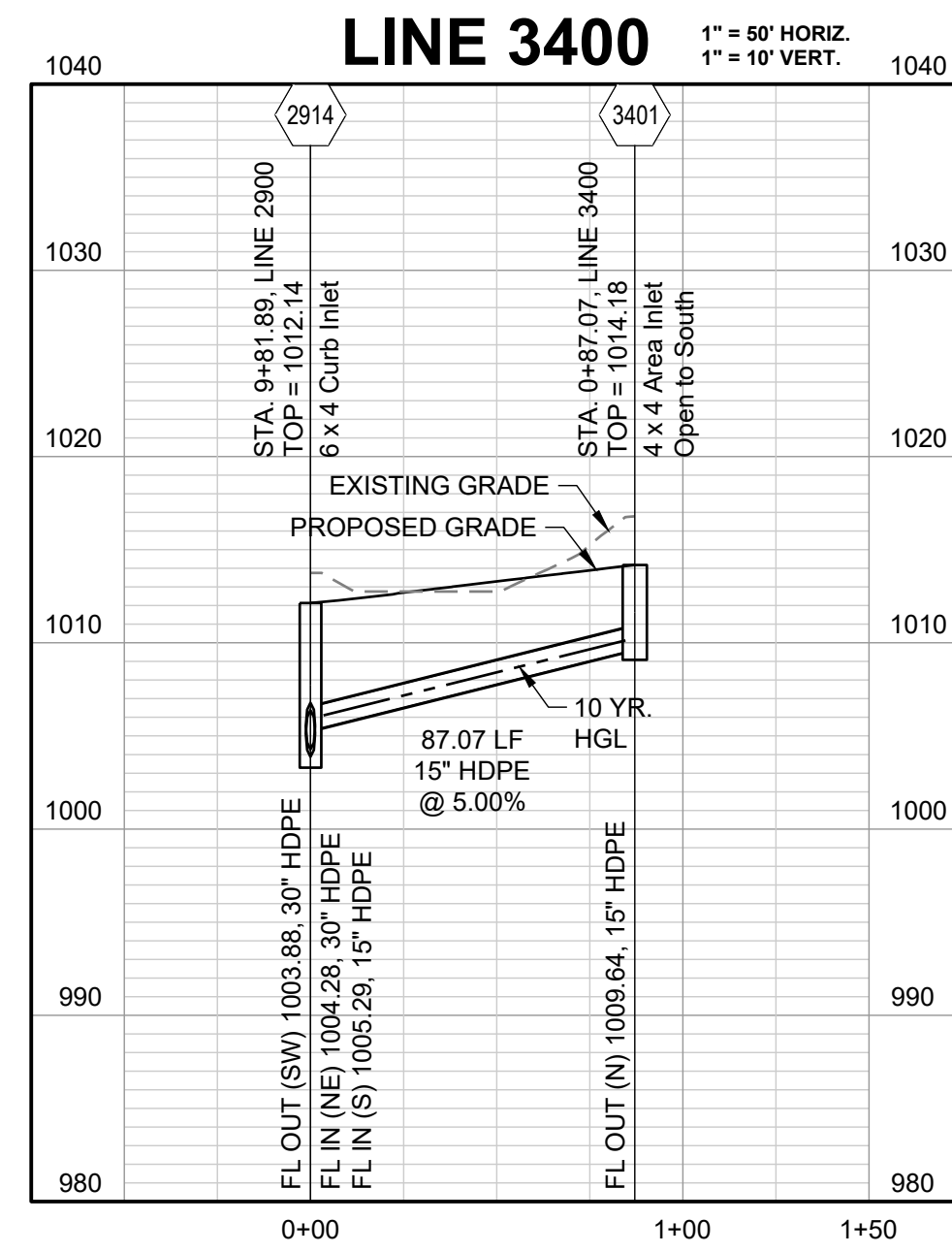
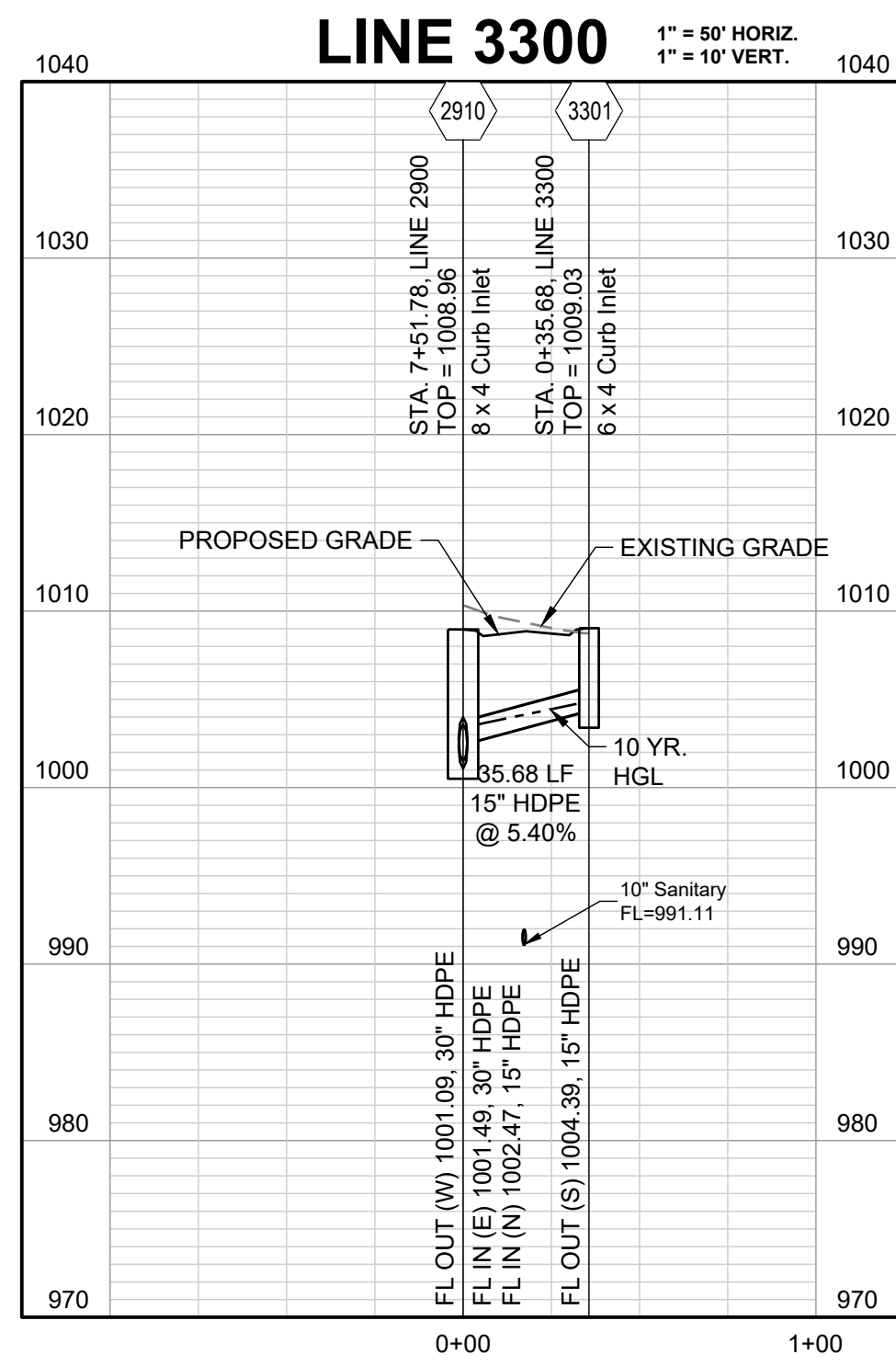
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STORM  
PROFILES 4

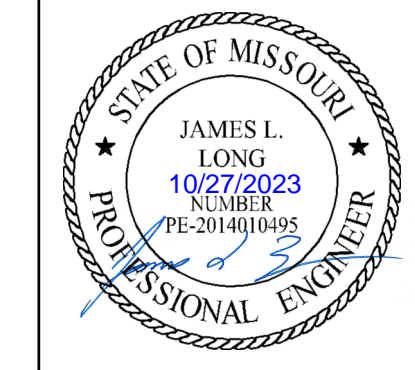
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10-YEAR HGL -----

PREPARED BY:

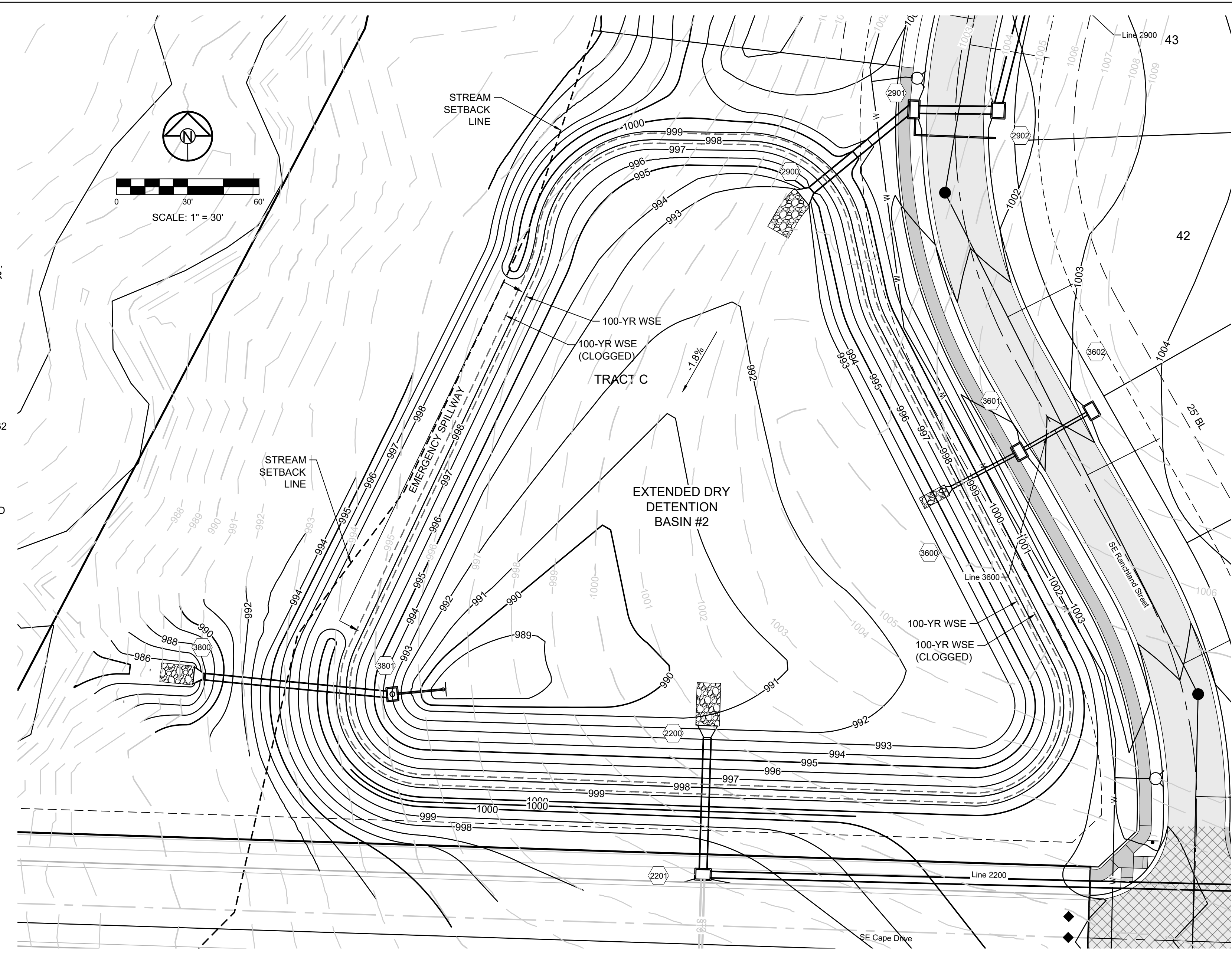
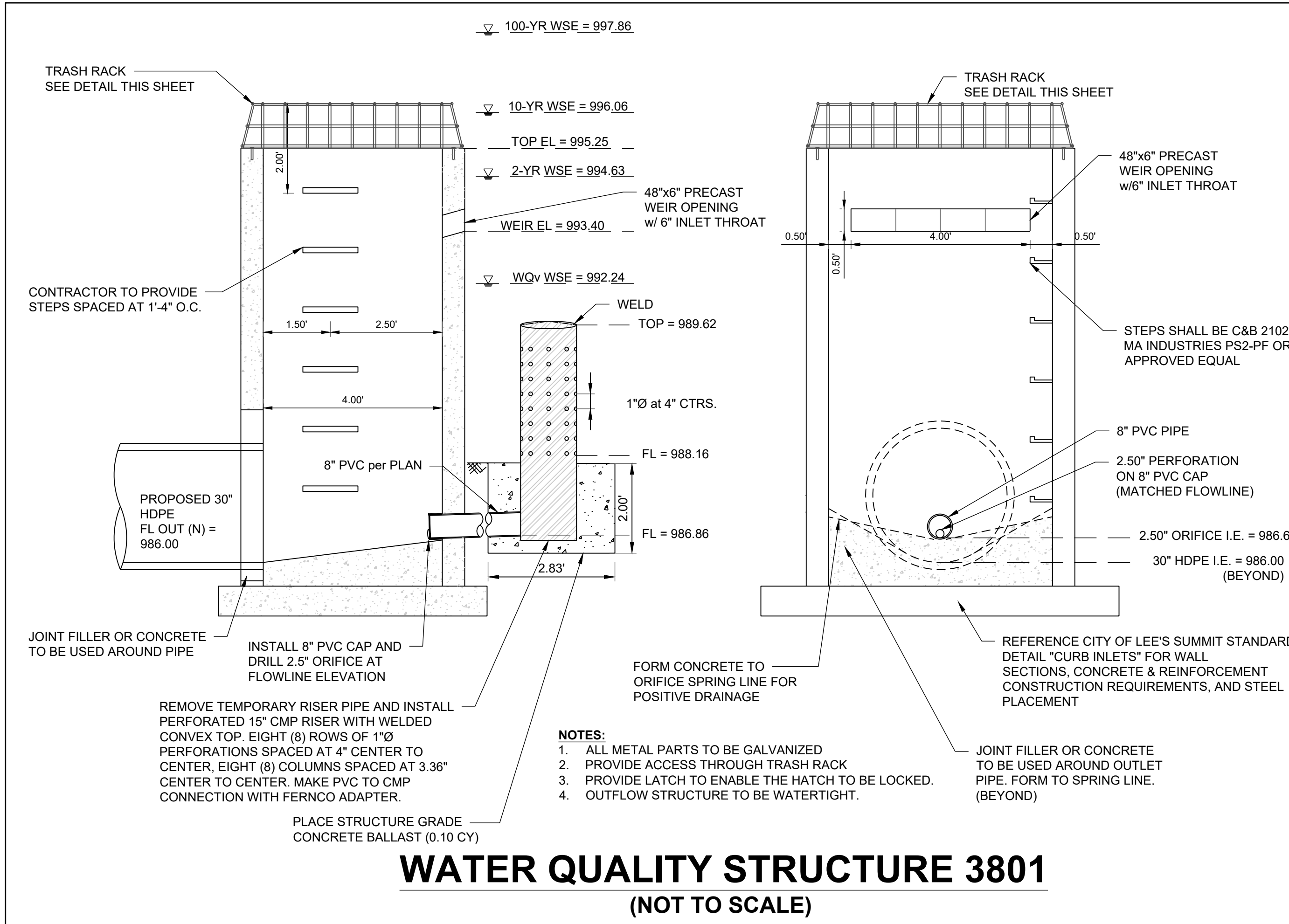


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STORM PROFILES 5

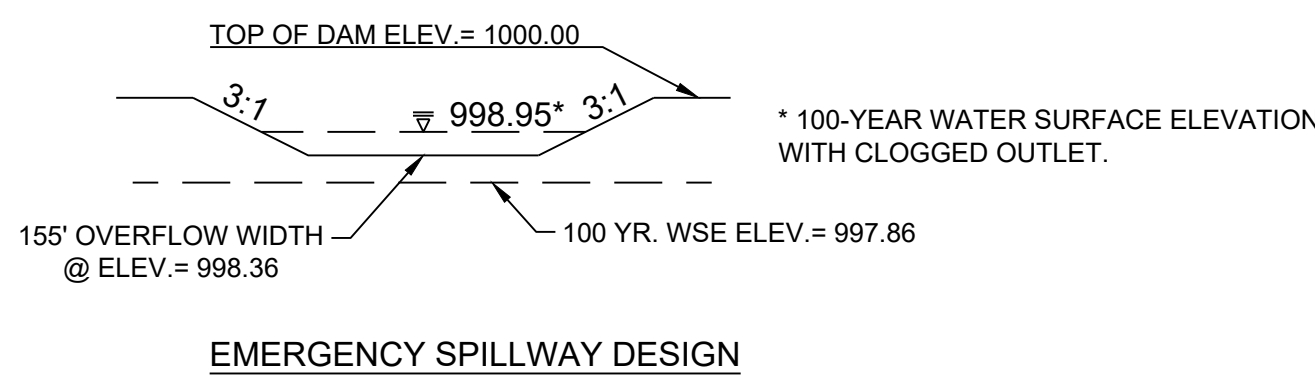


**DETENTION STORAGE:**  
 100 YEAR, 24 HR. RAINFALL - MAXIMUM WSE = 997.86  
 (SEE FINAL STORMWATER MGMT. PLAN)

EMERGENCY SPILLWAY FLOWLINE SET AT 0.5 FEET ABOVE MAX. WSE, SPILLWAY ELEV. = 998.36

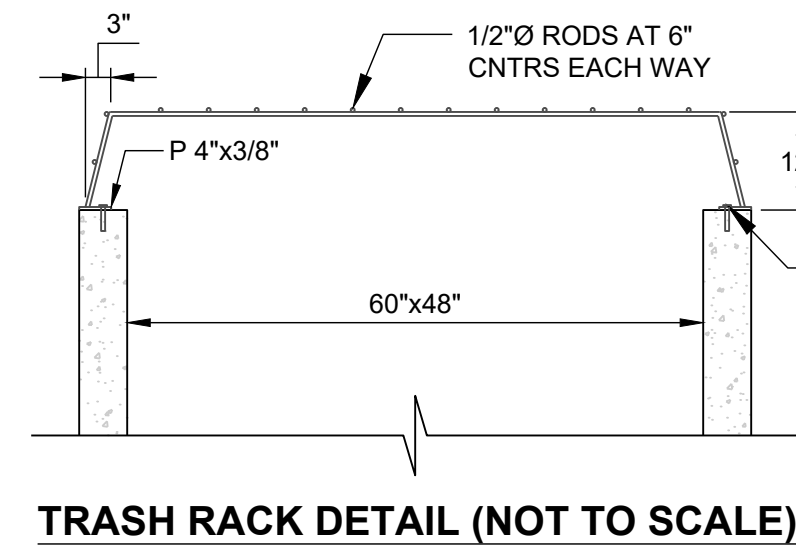
EMERGENCY SPILLWAY DESIGN:  
 $Q(100) = 232.03$  CFS,  $Q = CLH^{3/2}$ ,  $C = 3.33$ ,  
 $L = 155$  FT.,  $232.03$  CFS =  $3.33 * 155$  FT.  $^1 (H^{3/2})$ ,  $H = 0.59$  FT

WATER SURFACE ELEVATION THROUGH SPILLWAY = 998.95  
 + ONE (1) FOOT OF FREEBOARD = 999.95  
 SET BASIN TOP AT 1000.00



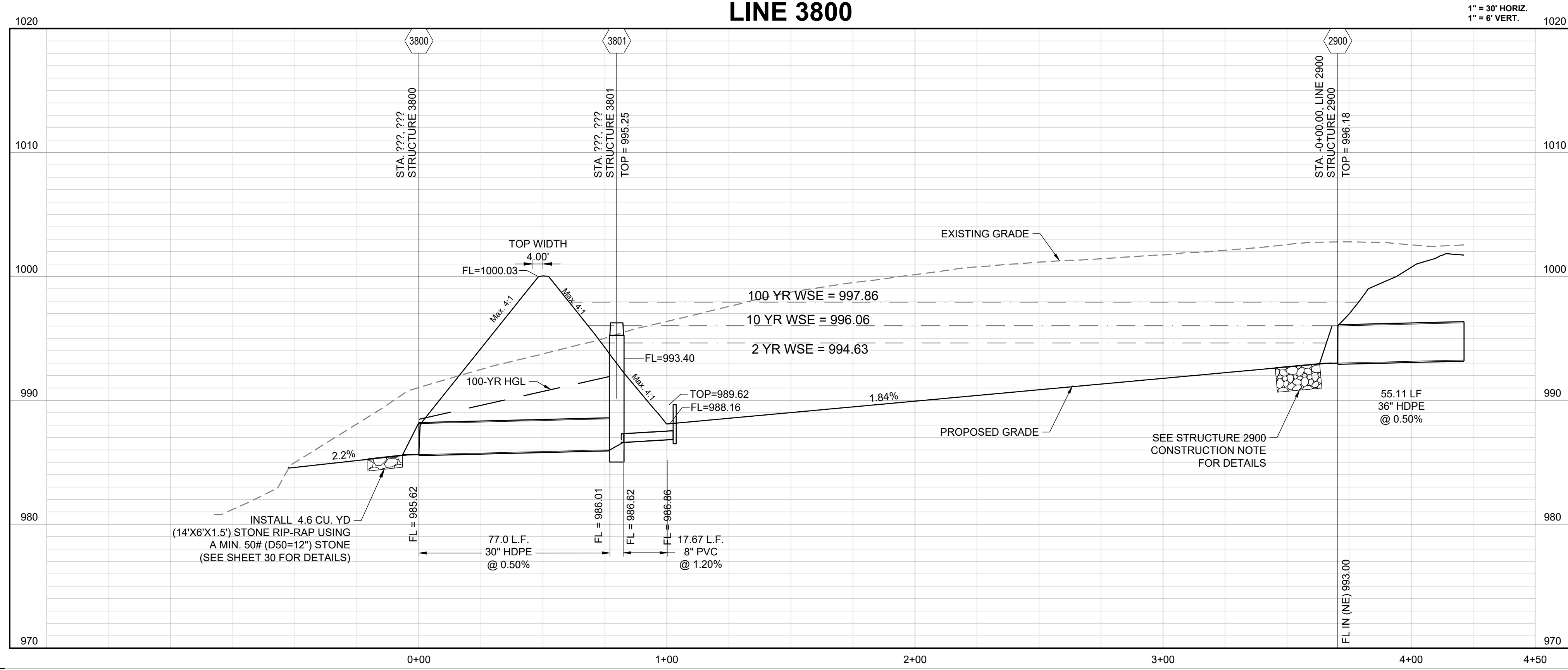
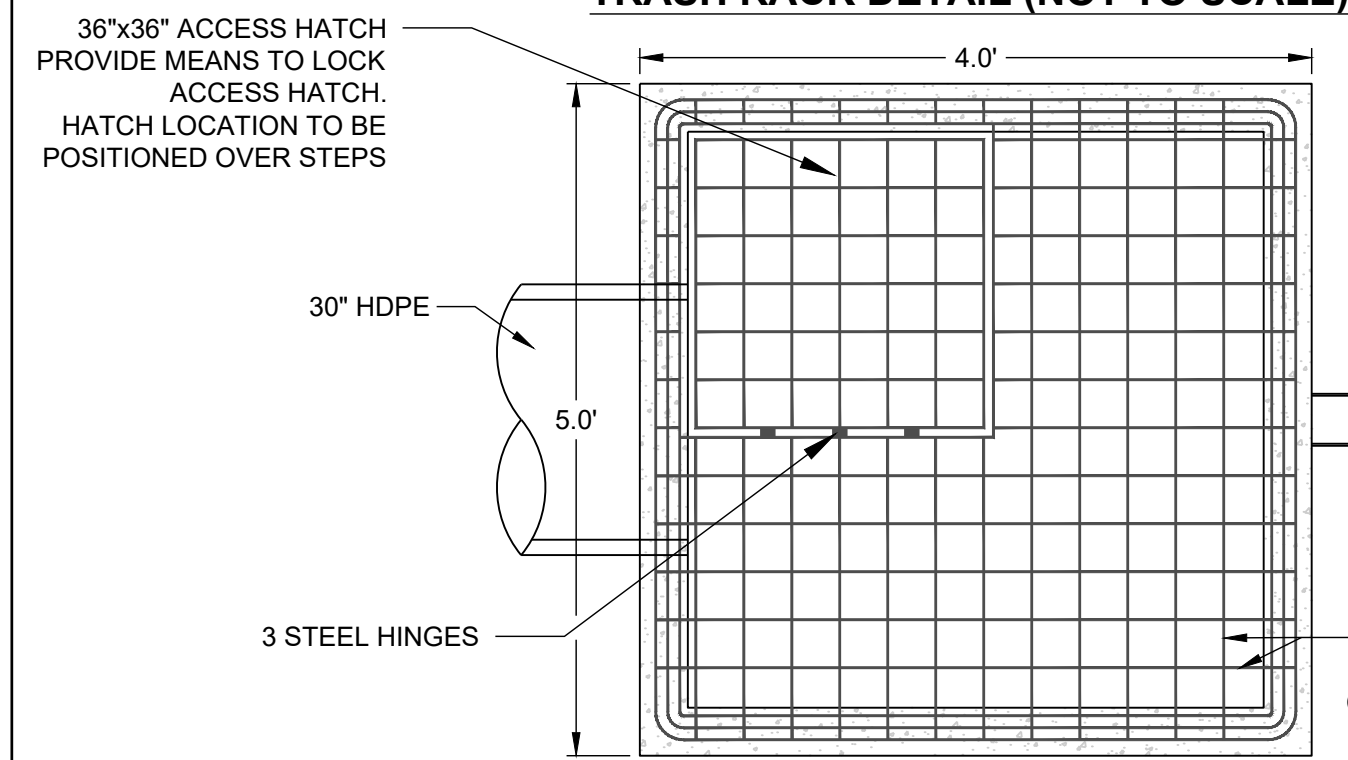
NOTE:  
 DETENTION / SEDIMENT BASIN SHALL BE CONSTRUCTED ALONG WITH ALL OTHER EROSION CONTROL AND SEDIMENT CONTROL DEVICES AND PRIOR TO ANY INFRASTRUCTURE BEING CONSTRUCTED.

DESIGN STORM	VOLUME (CUBIC FEET)
2-YEAR	122,558
10-YEAR	189,935
100-YEAR	285,540



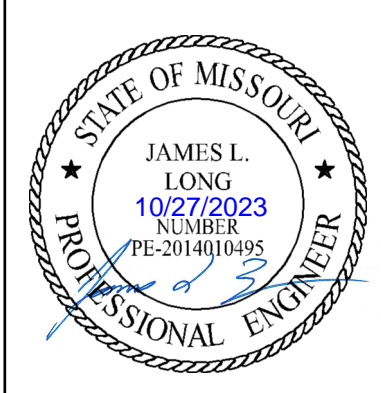
NOTES:

1. ALL METAL PARTS TO BE GALVANIZED.
2. PROVIDE ACCESS THROUGH TRASH RACK.
3. PROVIDE LATCH TO ENABLE THE HATCH TO BE LOCKED.
4. OUTFLOW STRUCTURE TO BE WATERTIGHT.
5. BAR GRATING TO BE INSTALLED OVER V-NOTCH CASTING AFTER THE REMOVAL OF THE TEMPORARY SEDIMENT PERFORATED STEEL PLATE. (RE: EROSION CONTROL PLAN)



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PREPARED BY:



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DRAWN BY:	CHECKED BY:	DATE PREPARED:	PROJ. NUMBER:
NCA	JLL	11/05/2021	21-1-130

**DRIVEWAY WITH BUFFER**  
NOT TO SCALE

**DRIVEWAY WITHOUT BUFFER**  
NOT TO SCALE

**DRIVEWAY TYPICAL SECTION (NO SIDEWALK OR SHARED-USE PATH)**  
NOT TO SCALE

**DRIVEWAY TYPICAL SECTION (SIDEWALK OR SHARED-USE PATH WITH BUFFER)**  
NOT TO SCALE

**DRIVEWAY TYPICAL SECTION (SIDEWALK OR SHARED-USE PATH WITHOUT BUFFER)**  
NOT TO SCALE

**GENERAL NOTES**

- SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
- ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL GEN-3B). SIDEWALK/SHARED USE PATH RAMP AT DRIVEWAY DETAIL.
- JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
- KCMB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
- COMMERCIAL DRIVEWAYS IN THE PUBLIC RIGHT OF WAY SHALL BE KCMB 4K CONCRETE MIX.
- RESIDENTIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, KCMB 4K CONCRETE MIX IS RECOMMENDED, OTHER CONCRETE MIXES NEED TO BE APPROVED BY CITY INSPECTOR.
- A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
- 8" FROM TOP OF CURB TO FLOWLINE AT DRIVEWAY (TYPE CG-1 CURB ONLY). MUST MAINTAIN ORIGINAL FLOWLINE OF CURB.
- SIDEWALK ADJOINING CURB SHALL BE 6" THICK, EXTENDING 3' FROM THE DRIVEWAY.
- THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

DRIVEWAY DETAIL

GEN-1

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

ADA RAMP RETROFIT DETAIL

GEN-3A

**STRAIGHT CURB (TYPE C-1)**

**DOWELLED CURB (TYPE DC)**

**STRAIGHT BACK CURB & GUTTER (TYPE CG-1)**

**ROLL BACK CURB & GUTTER (TYPE CG-2)**

**CURB & GUTTER DETAIL AT RAMP (ADA SLOPE REQUIREMENTS)**

**CURB REPLACEMENT DETAIL**

**GENERAL NOTES**

- 3/4" ISOLATION JOINTS WITH 3 (#2-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
- 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
- CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
- KCMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
- ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
- CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
- ALL DOWELS & TIE BARS SHALL BE EPOXY COATED.

STANDARD DETAILS  
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CURB & GUTTER DETAIL

GEN-4

STANDARD DETAILS  
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ADA RAMP RETROFIT DETAIL

GEN-3B

**3-D VIEW TYPE A SIDEWALK/SHARED-USE RAMP**

**3-D VIEW TYPE B SIDEWALK/SHARED-USE RAMP**

**TYPE A SIDEWALK/SHARED-USE RAMP**  
Not to Scale

**TYPE B SIDEWALK/SHARED-USE RAMP**  
Not to Scale

**LEGEND**

- SIDEWALK RAMP
- TURNING SPACE
- DETECTABLE WARNING SURFACE
- TRANSITION

**SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES:**

- CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48" WIDE.
- USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED THE BARS 9" IN EACH DIRECTION.
- ALL RAMPS, SIDEWALKS, SHARED-USE PATHS SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
- LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
- ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 100' CENTERS MAX.
- ADA MINIMUM RAMP SLOPE = 8.33%  
ADA MAXIMUM CROSS SLOPE = 2.0%
- \*ROADWAY EXCEPTIONS:** WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENT OF 8.33% OR LESS, THE RAMP SHALL BE EXTENDED TO A LENGTH OF 15 FEET TO MATCH EXISTING SIDEWALK. CROSS SLOPE OF RAMP SHALL BE 1.5%, 8.05%.
- TURNING SPACES SHALL BE 1.5%, 8.05% SLOPE IN ANY DIRECTION. TURNING SPACES SHALL HAVE A MINIMUM 4'x4' TURNING AREA. TURNING SPACES WITH A SIDEWALK CURB, SHALL HAVE A 5' TURNING AREA PERPENDICULAR TO THE SIDEWALK CURB.
- FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR.
- RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK. ANY TRANSITIONS REQUIRED TO MATCH RAMPS TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF EXISTING SIDEWALK BEYOND THE RAMP AREA. SIDEWALK TRANSITION LENGTH SHALL BE EQUAL TO OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENSIONS SHALL BE A CONTINUOUS SLOPE.
- ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

ADA RAMP RETROFIT DETAIL

GEN-3A

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

ADA RAMP RETROFIT DETAIL

GEN-3B

**3-D VIEW TYPE M SIDEWALK/SHARED-USE RAMP**

**3-D VIEW SIDEWALK/SHARED-USE RAMP AT DRIVEWAY**

**TYPE M SIDEWALK RAMP**  
Not to Scale

**LEGEND**

- SIDEWALK RAMP
- TURNING SPACE
- DETECTABLE WARNING SURFACE
- TRANSITION

**SIDEWALK/SHARED USE RAMP AT DRIVEWAY WITH ADJOINING CURB**

**SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES:**

- CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48" WIDE.
- USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED THE BARS 9" IN EACH DIRECTION.
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STANDARD DETAILS  
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ADA RAMP RETROFIT DETAIL

GEN-3B

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

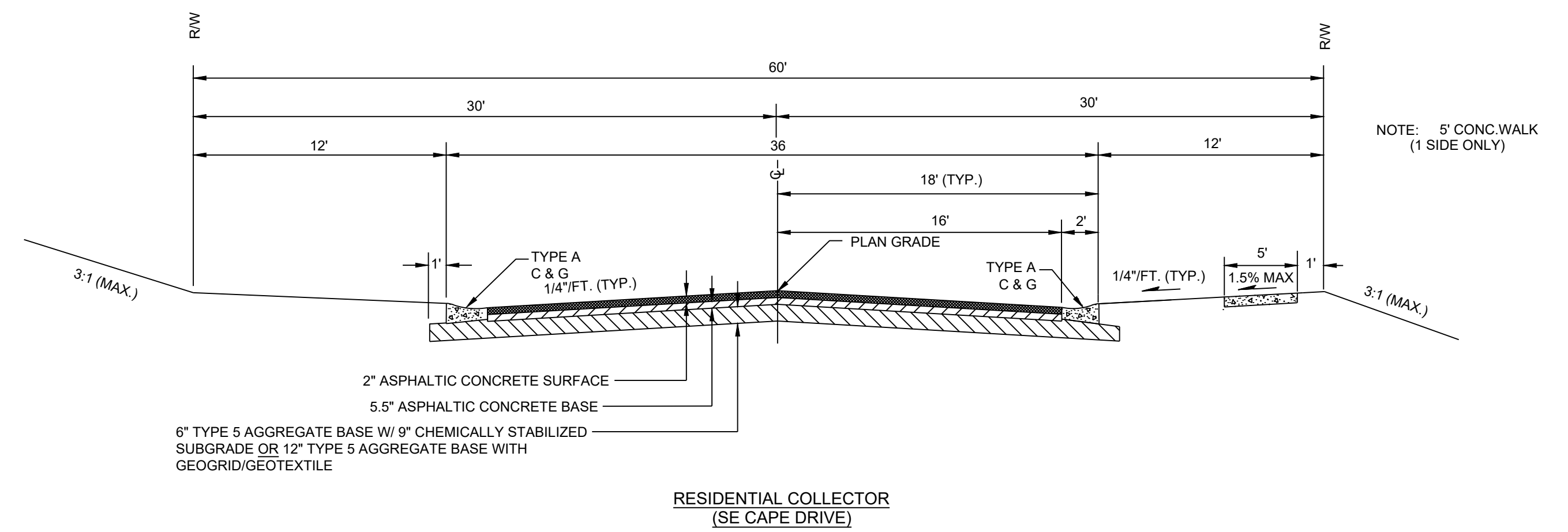
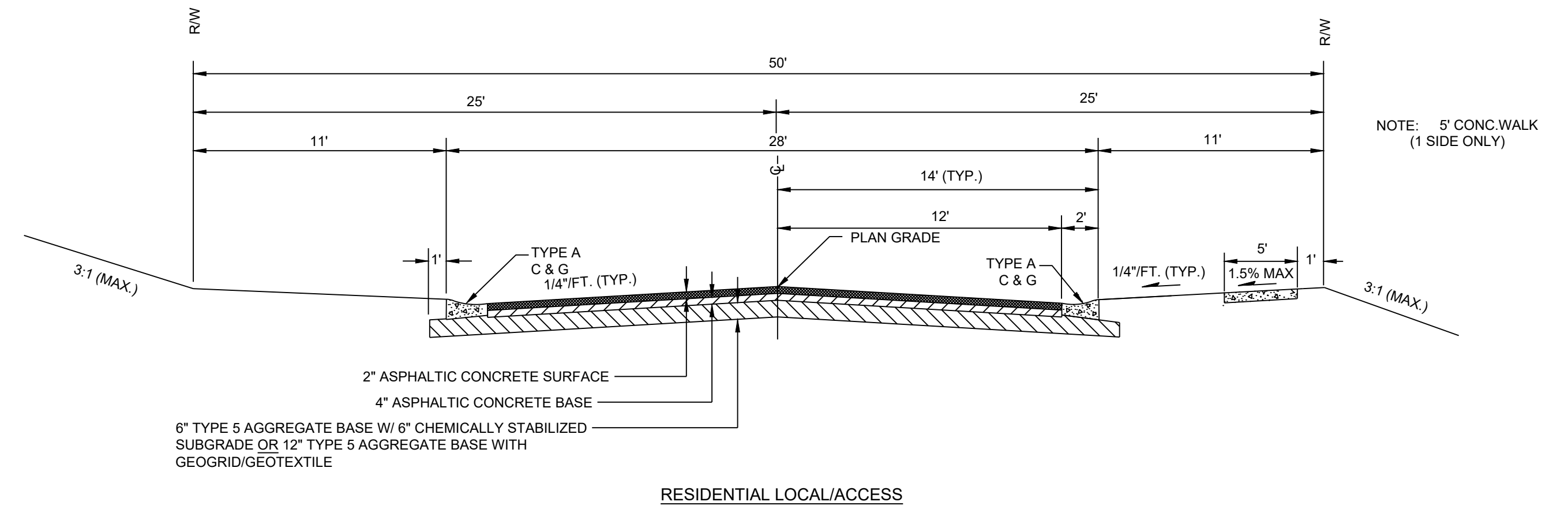
ADA RAMP RETROFIT DETAIL

GEN-3B

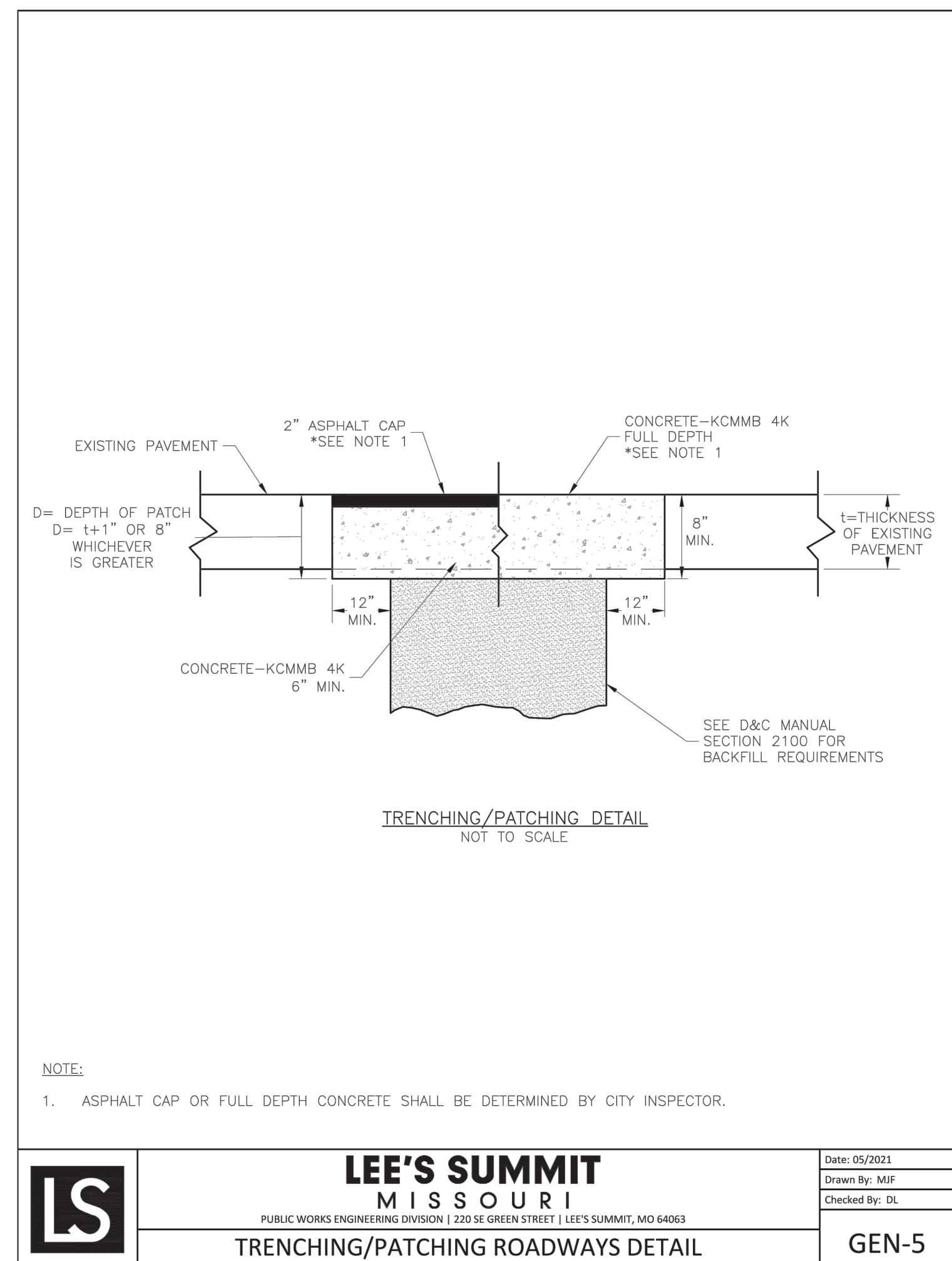
**TABLE LS-2: MINIMUM ASPHALT PAVEMENT THICKNESSES**

Street Classification	Pavement Option	AC Surface (in.)	AC Base (in.)	Aggregate Base (in.)	Chemical Subgrade Stabilization (in.)	Geogrid / Geotextile <sup>(1)</sup>
Residential Local/Access	A	2	4	6	6	--
	B	2	4	12	--	Geogrid / Geotextile
Residential Collector	A	2	5.5	6	9	--
	B	2	5.5	12	--	Geogrid / Geotextile
Commercial Industrial Local/Collector	A	2	7.5	6	9	--
	B	2	7.5	12	--	Geogrid / Geotextile

Notes:  
(1) Geogrid shall be polypropylene material and Geotextile shall be woven, polypropylene as shown in the City's Approved Products List

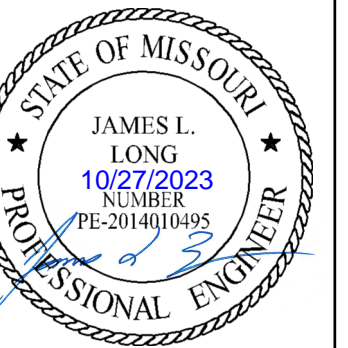


LSS200 17 July 2020



<b>LS</b>	<b>LEE'S SUMMIT MISSOURI</b> <small>PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063</small>	Date: 05/2021
	<b>TRENCHING/PATCHING ROADWAYS DETAIL</b>	Drawn By: MJF Checked By: DL
		<b>GEN-5</b>

PREPARED BY:



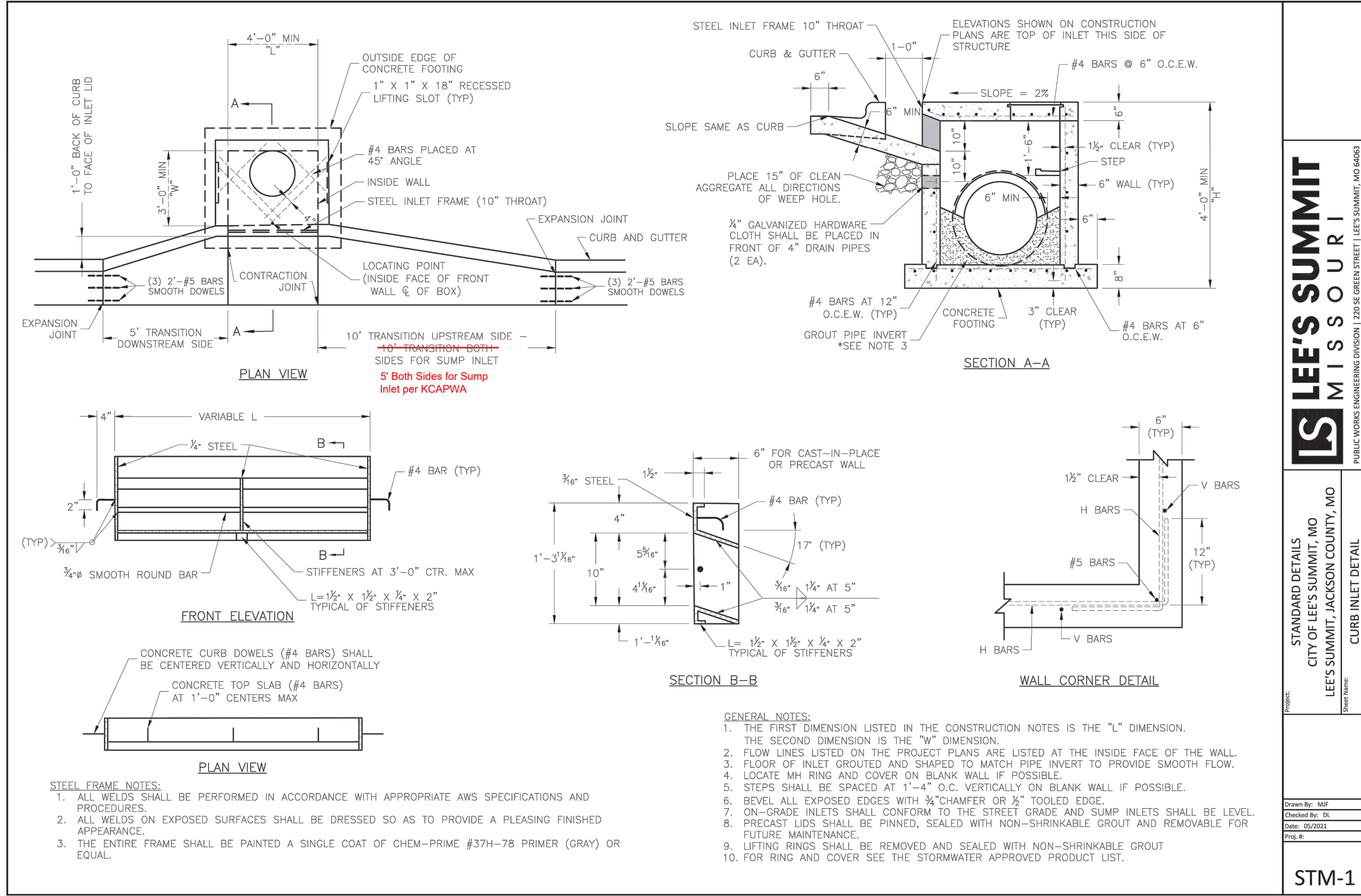
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10/27/2023	Revised Details to current 2023 Details

DRAWN BY: NCA  
CHECKED BY: JLL  
DATE PREPARED: 11/05/2021  
PROJ. NUMBER: 21-130

**STREET DETAILS  
2**

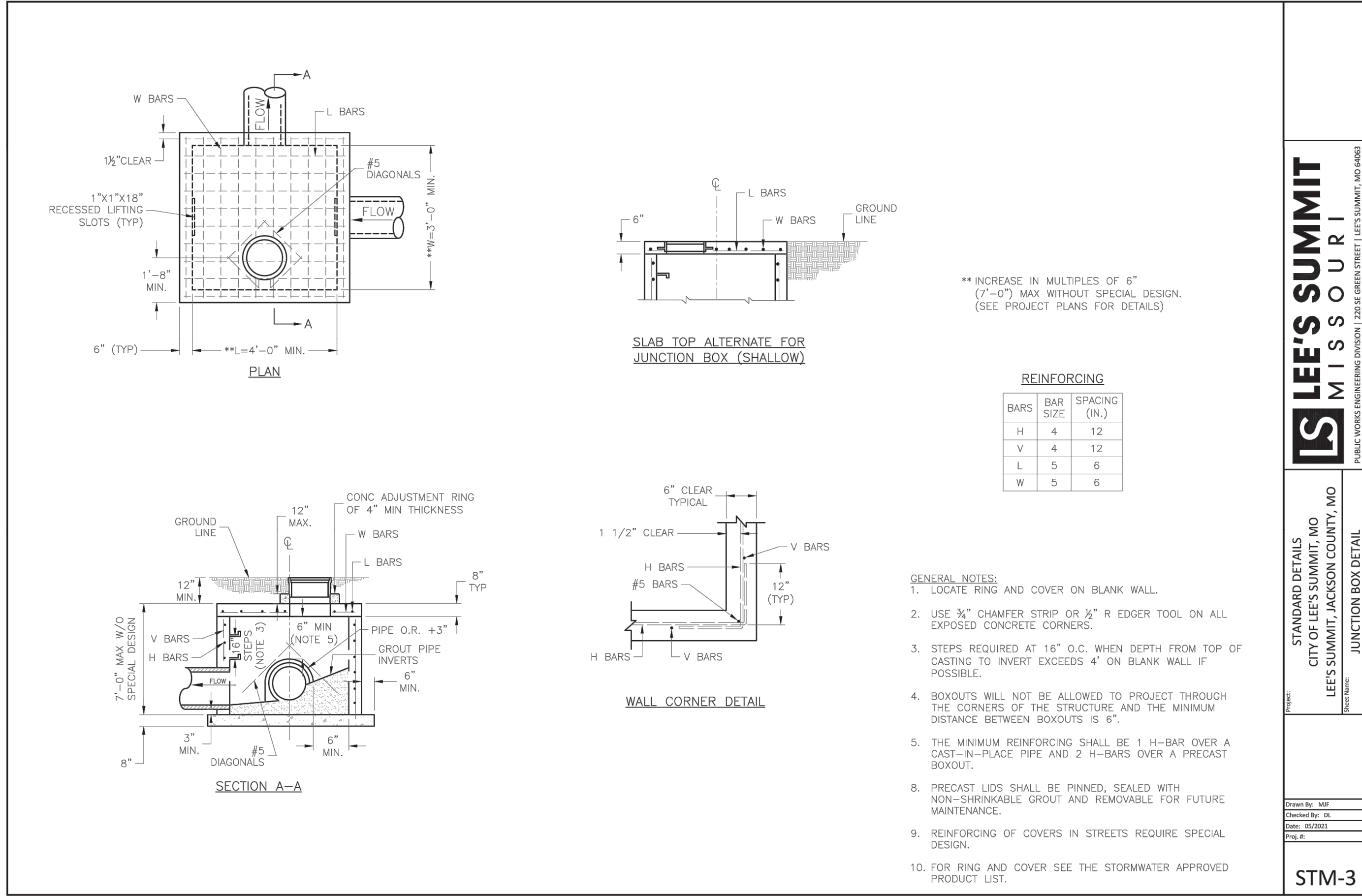


**LEE'S SUMMIT MISSOURI**

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MIF  
Checked By: DL  
Date: 05/2021  
Proj. #: STM-1

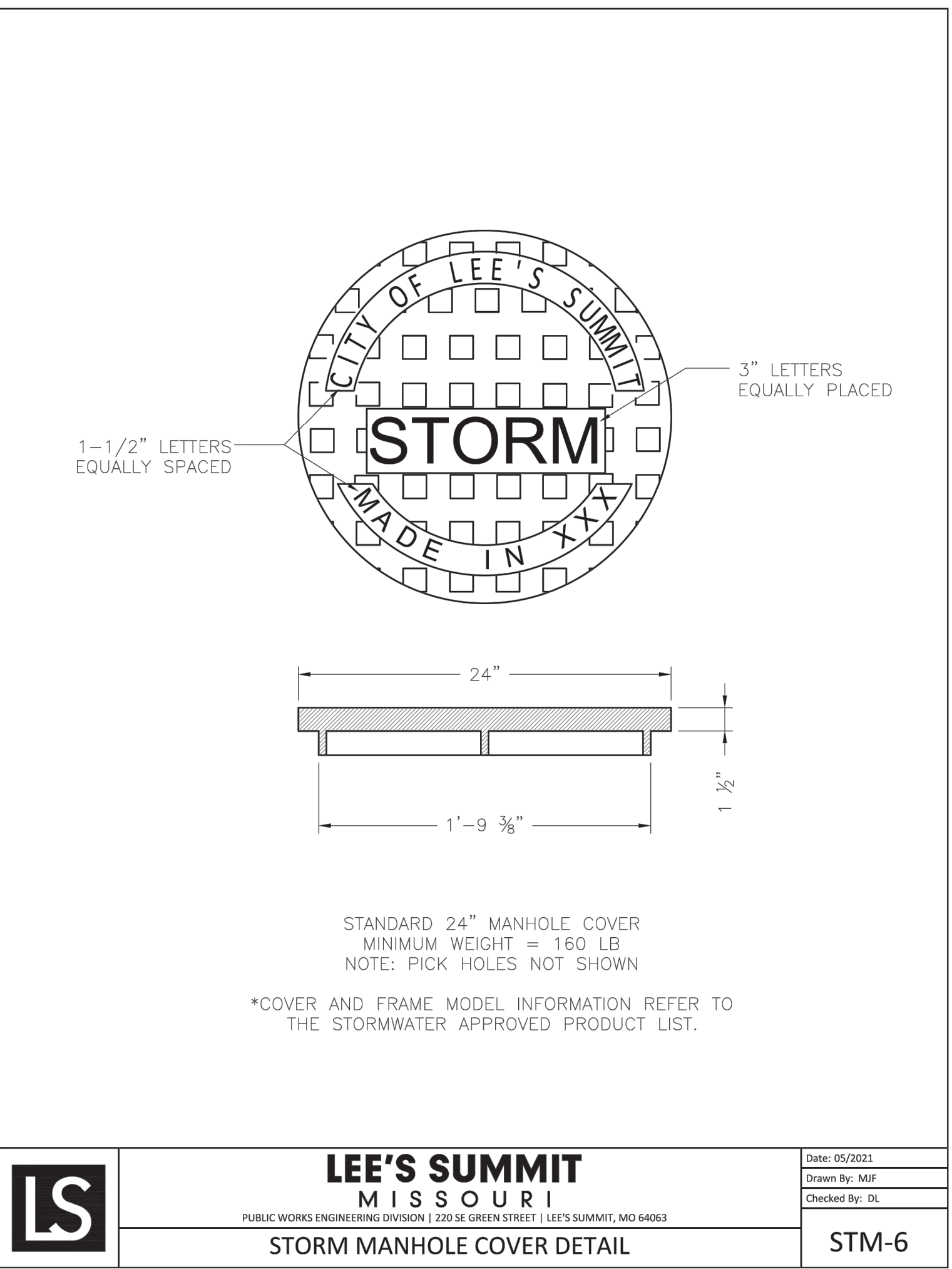
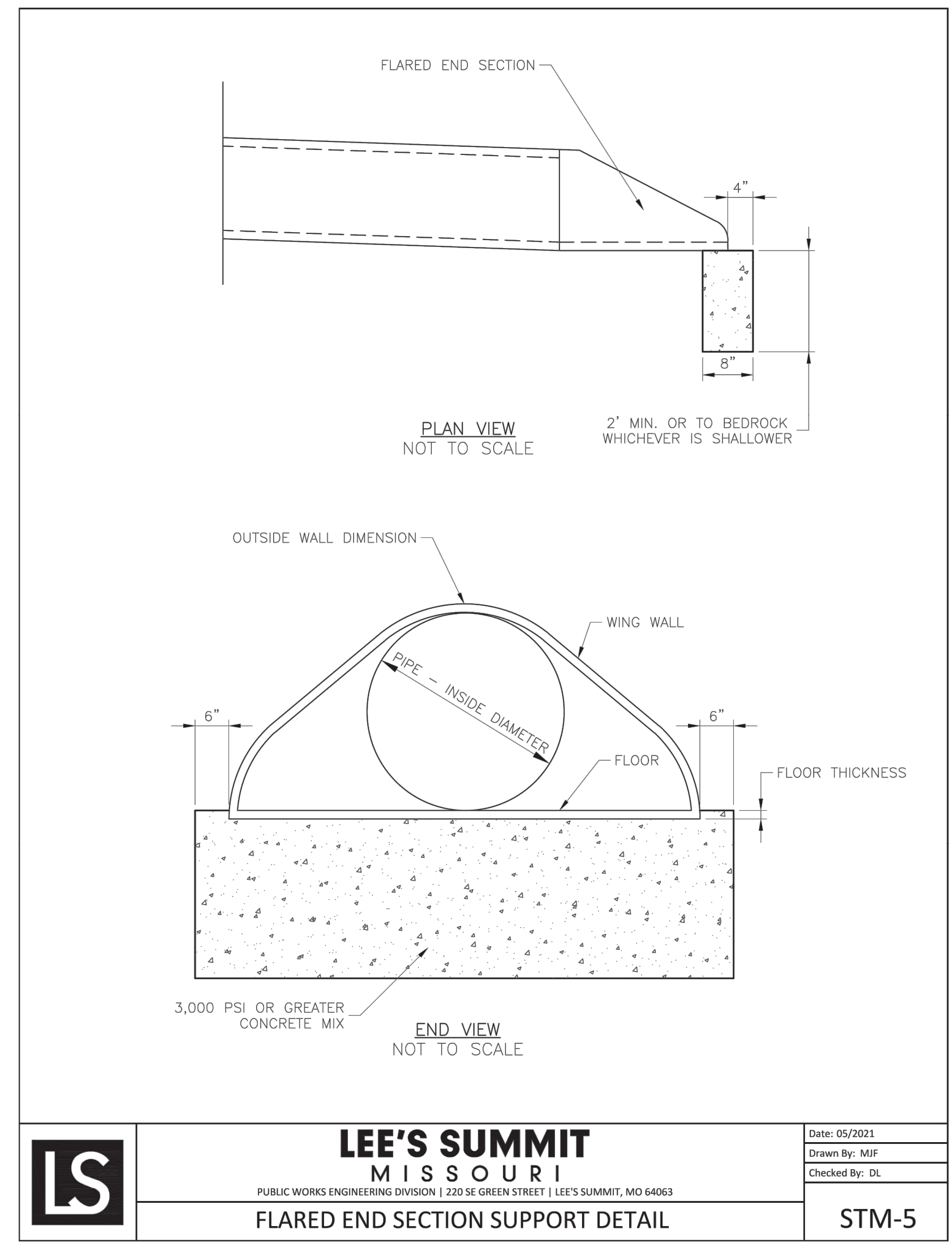


**LEE'S SUMMIT MISSOURI**

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MIF  
Checked By: DL  
Date: 05/2021  
Proj. #: STM-3



**SCHLAGEL ENGINEERS**

PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

14920 West 107th Street • Lenexa, Kansas 66215  
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WWW.SCHLAGELASSOCIATES.COM  
Missouri State Certificates of Authority  
#E200200360P #LAC2001005237 #LS200200869F

PREPARED BY:

**JAMES L. LONG**  
10/27/2023  
PE-2014010495  
PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN

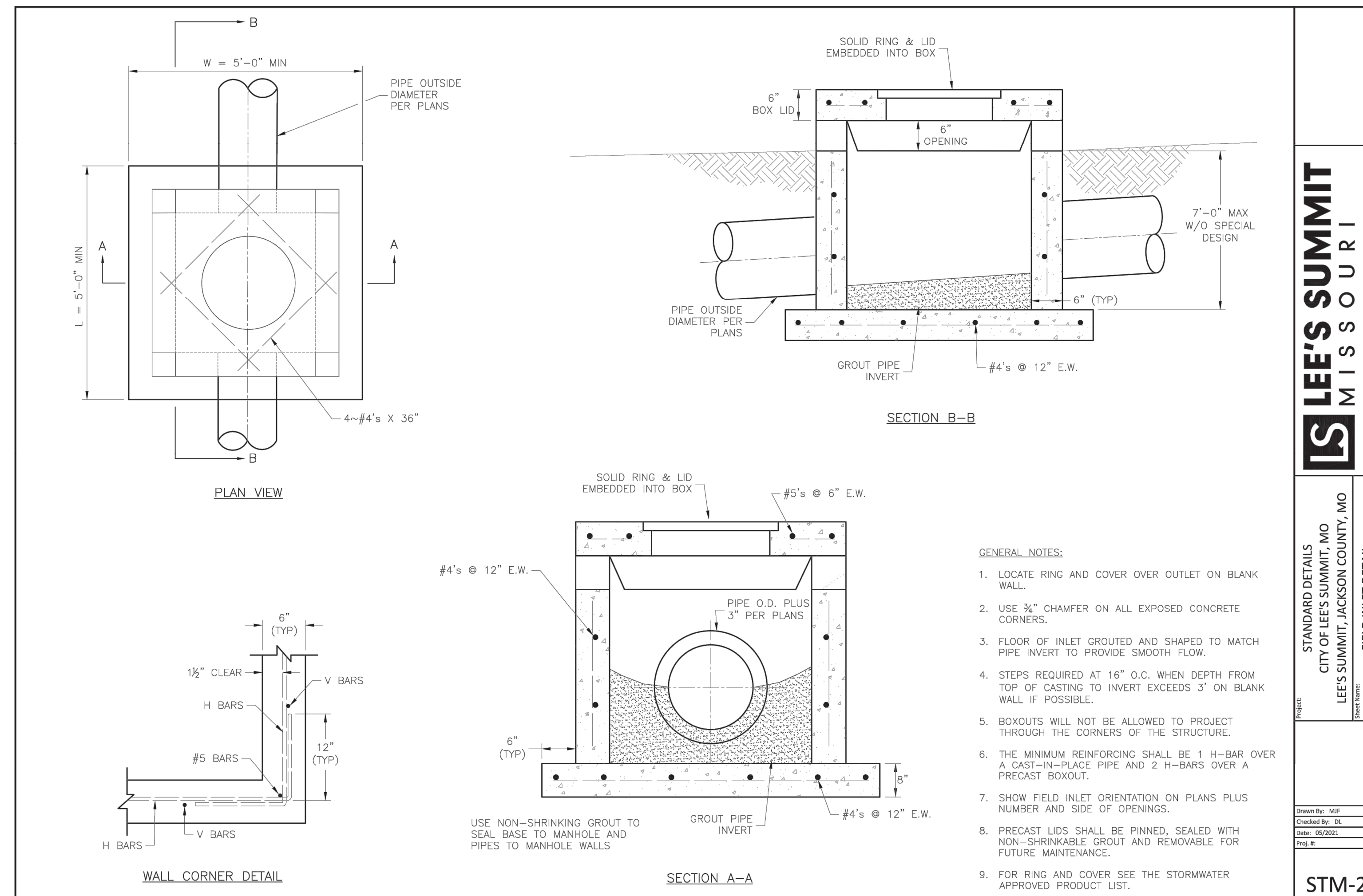
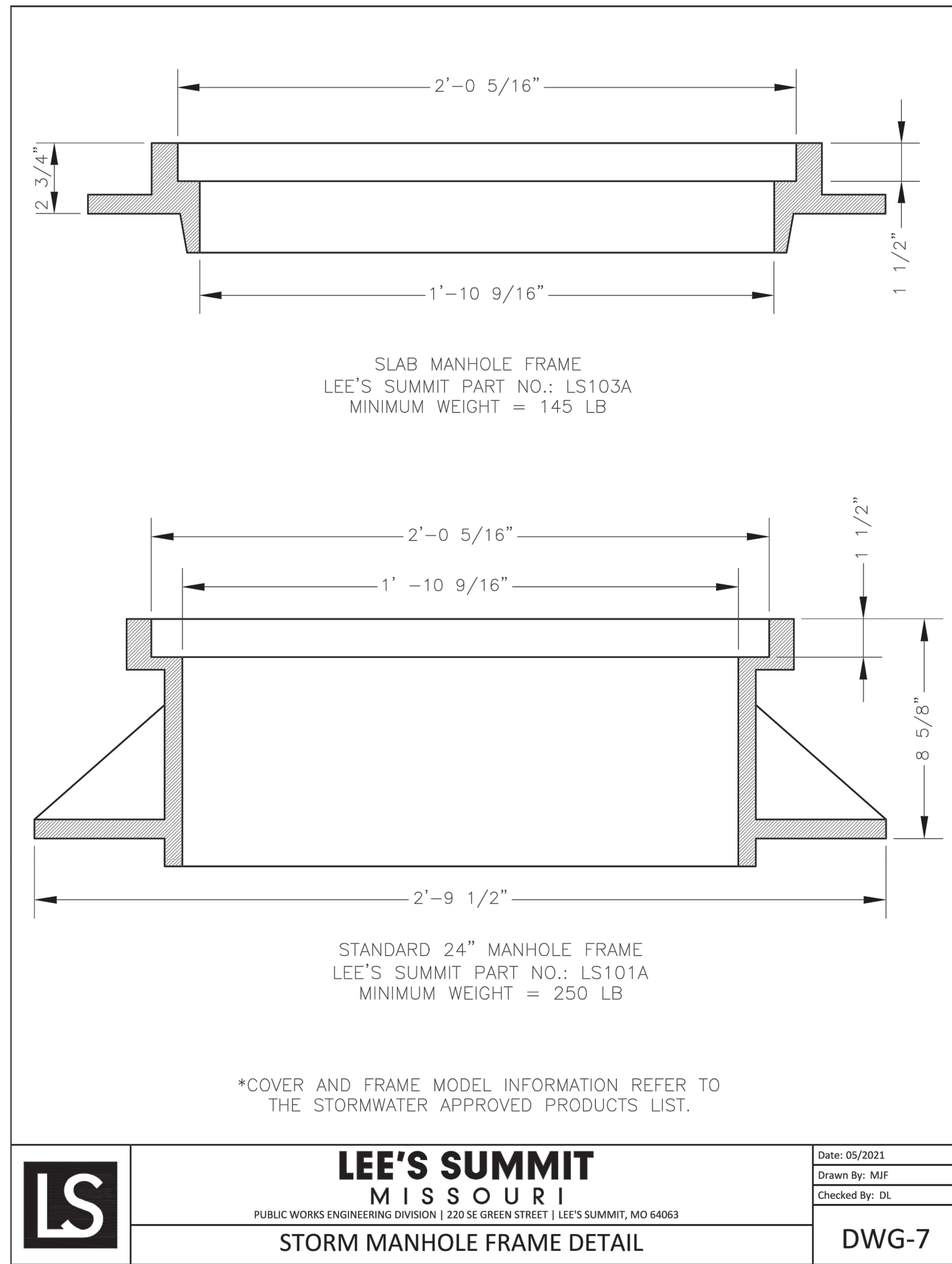
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

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PROJ. NUMBER: 21-130

STORM DETAILS  
1

SHEET  
**39**

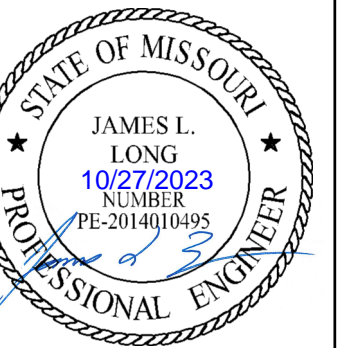


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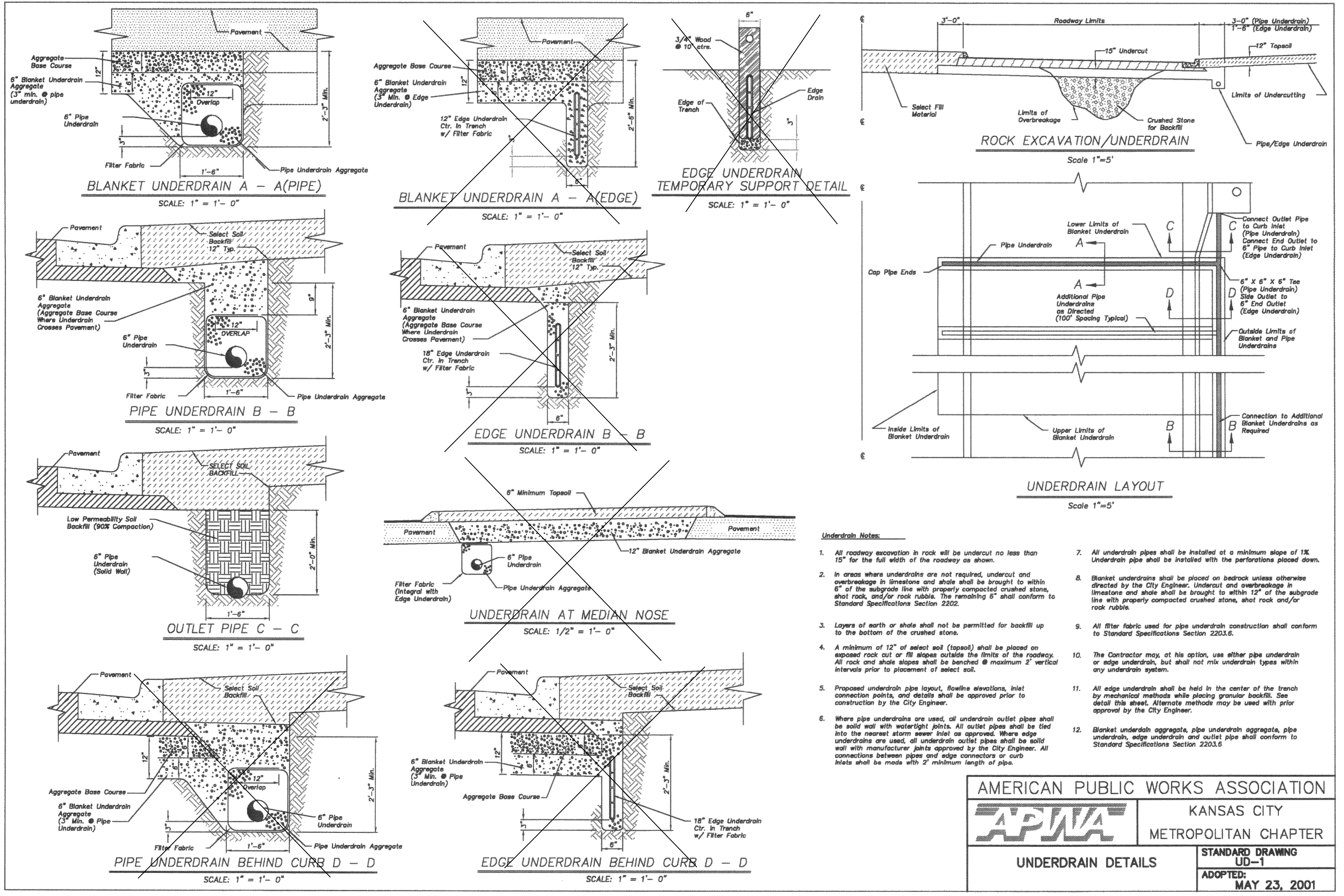
DRAWN BY: NCA  
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DATE PREPARED: 11/05/2021  
PROJ. NUMBER: 21-130



PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.



- Underdrain Notes:**
- All roadway excavation in rock will be undercut no less than 15" for the full width of the roadway as shown.
  - In areas where underdrains are not required, undercut and overbreakage in limestone and shale shall be brought to within 6" of the subgrade line with properly compacted crushed stone, shot rock, and/or rock rubble. The remaining 6" shall conform to Standard Specifications Section 2202.
  - Layers of earth or shale shall not be permitted for backfill up to the bottom of the crushed stone.
  - A minimum of 12" of select soil (topsoil) shall be placed on exposed rock cut or fill slopes outside the limits of the roadway. All rock and shale slopes shall be benched @ maximum 2' vertical intervals prior to placement of select soil.
  - Proposed underdrain pipe layout, flowline elevations, inlet connection points, and details shall be approved prior to construction by the City Engineer.
  - Where pipe underdrains are used, all underdrain outlet pipes shall be solid wall with watertight joints. All outlet pipes shall be tied into the nearest storm sewer inlet as approved. Where edge underdrains are used, all underdrain outlet pipes shall be solid wall with manufacturer joints approved by the City Engineer. All connections between pipes and edge connectors or curb inlets shall be made with 2' minimum length of pipe.
  - All underdrain pipes shall be installed at a minimum slope of 1%.
  - Blanket underdrains shall be placed on bedrock unless otherwise directed by the City Engineer. Undercut and overbreakage in limestone and shale shall be brought to within 12" of the subgrade line with properly compacted crushed stone, shot rock and/or rock rubble.
  - All filter fabric used for pipe underdrain construction shall conform to Standard Specifications Section 2203.6.
  - The Contractor may, at his option, use either pipe underdrain or edge underdrain, but shall not mix underdrain types within any underdrain system.
  - All edge underdrain shall be held in the center of the trench by mechanical methods while placing granular backfill. See detail this sheet. Alternate methods may be used with prior approval by the City Engineer.
  - Blanket underdrain aggregate, pipe underdrain aggregate, pipe underdrain, edge underdrain and outlet pipe shall conform to Standard Specifications Section 2203.6

AMERICAN PUBLIC WORKS ASSOCIATION  
**APWA**  
 KANSAS CITY  
 METROPOLITAN CHAPTER

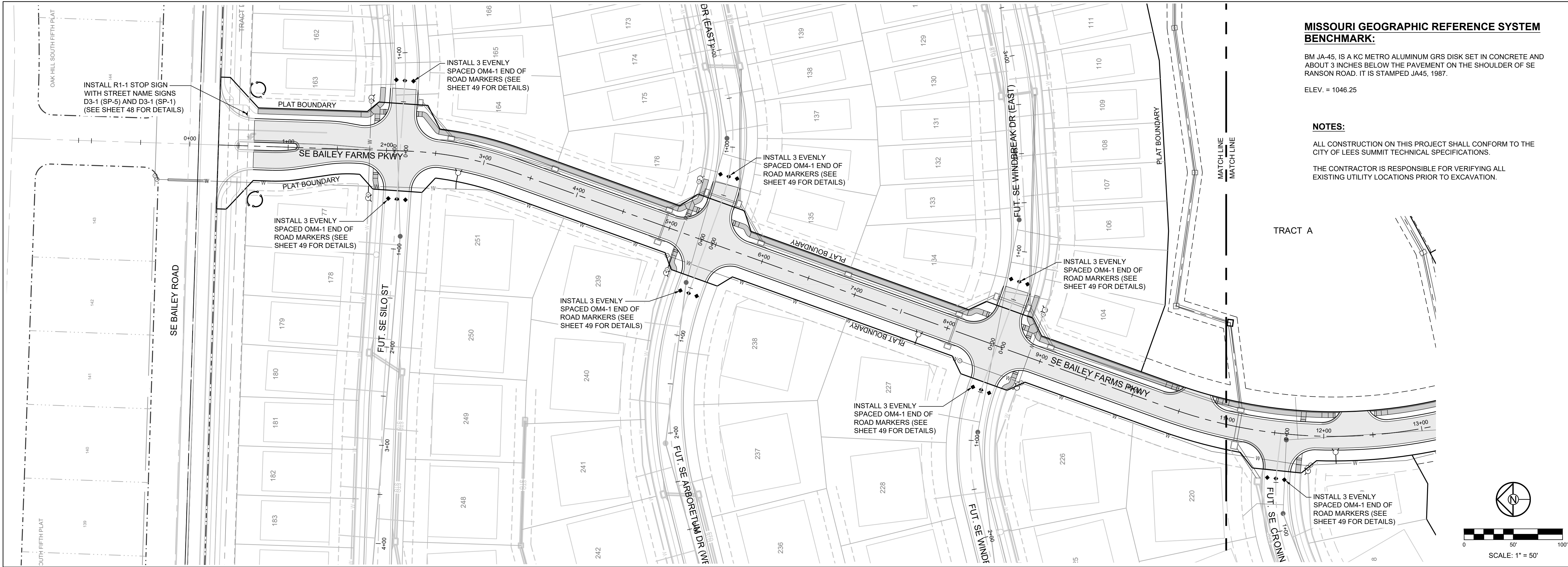
UNDERDRAIN DETAILS

STANDARD DRAWING  
 UD-1  
 ADOPTED:  
 MAY 23, 2001

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

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STORM UNDERDRAIN DETAILS  
 SHEET  
**41**



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

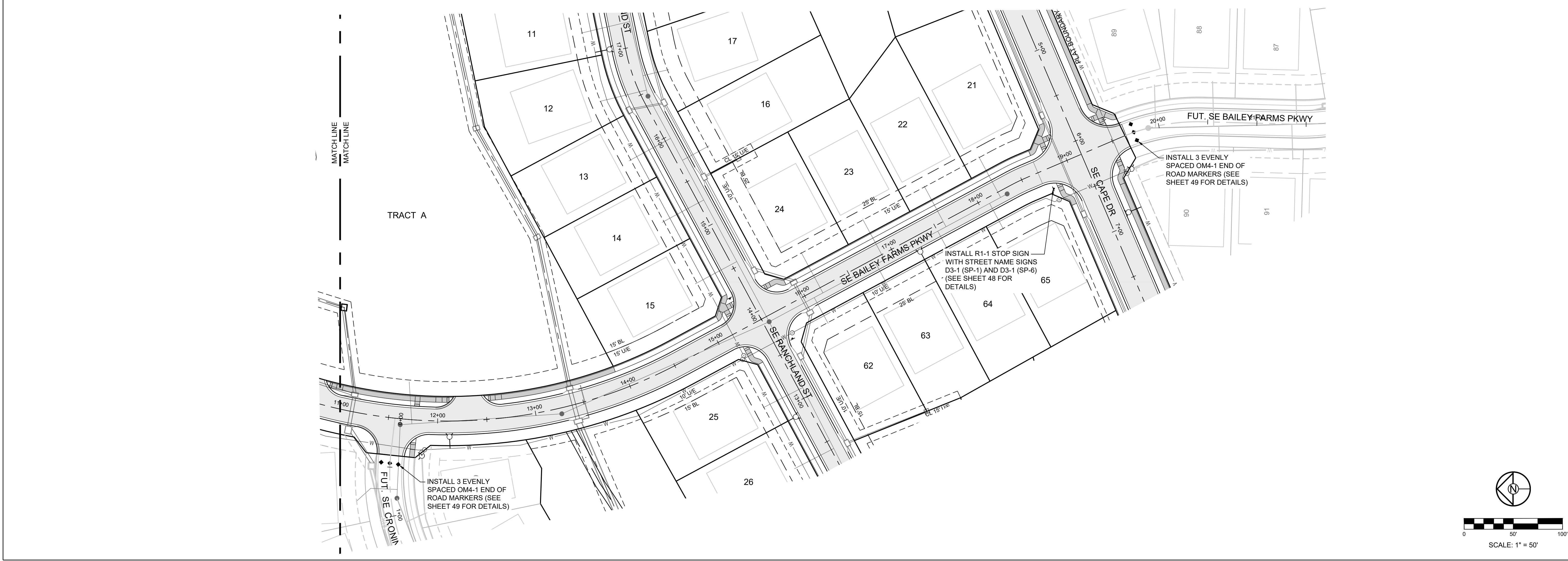
BM JA-45, IS A KC METRO ALUMINUM GRS DISK SET IN CONCRETE AND ABOUT 3 INCHES BELOW THE PAVEMENT ON THE SHOULDER OF SE RANSON ROAD. IT IS STAMPED JA45, 1987.

ELEV. = 1046.25

**NOTES:**

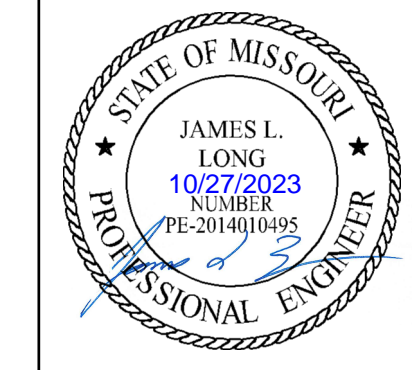
ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE CITY OF LEES SUMMIT TECHNICAL SPECIFICATIONS.

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**SCHLAGEL**  
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WWW.SCHLAGELANDSCAPE.COM  
Missouri State Certificate of Authority  
#E200200360F #LAC2001005237 #LS200200859F

PREPARED BY:



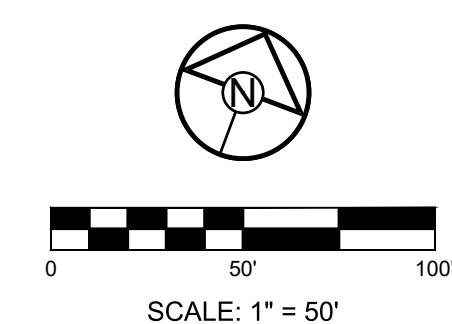
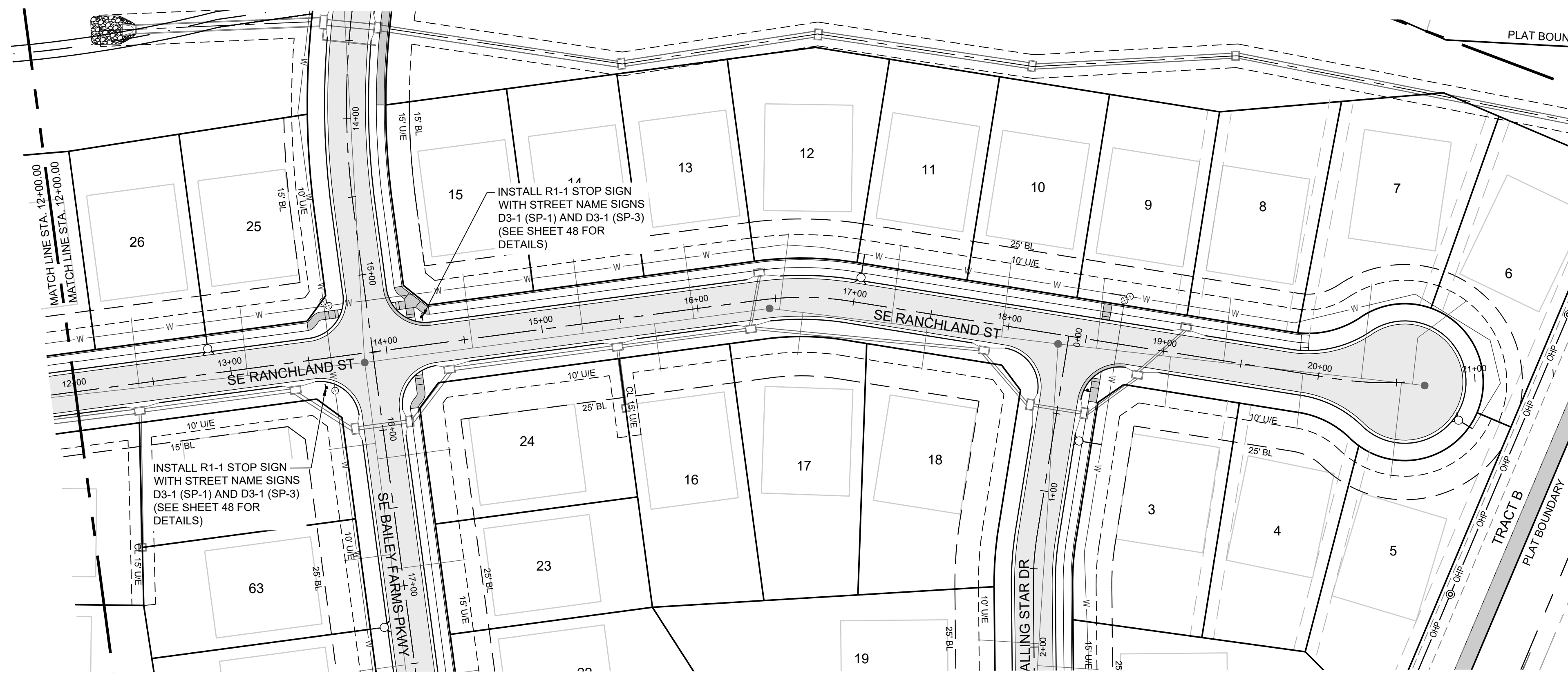
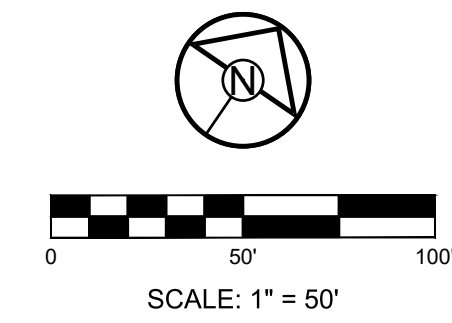
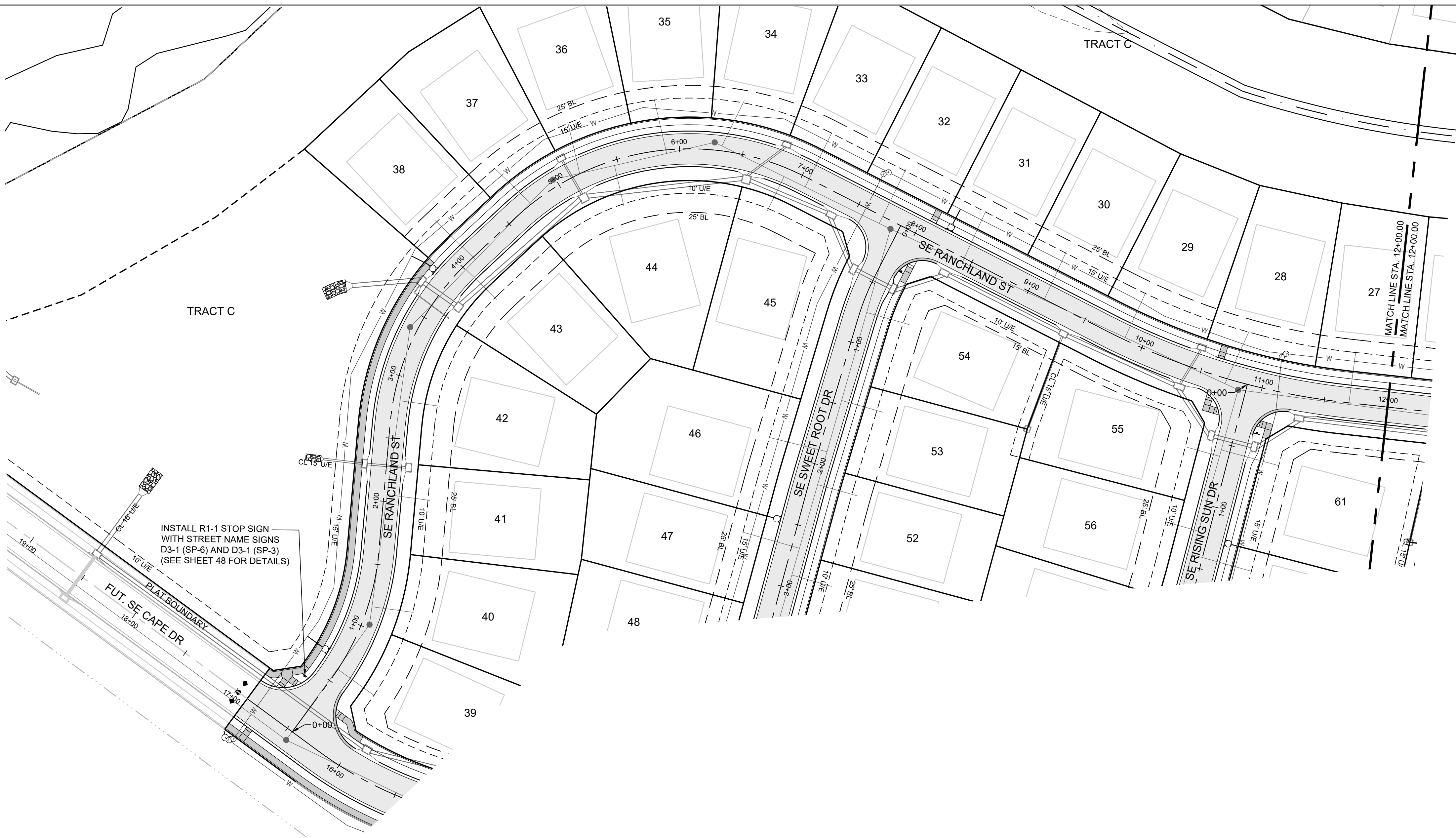
SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
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SE BAILEY FARMS PKWY SIGNAGE PLAN

SHEET  
**42**



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**  
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 Missouri State Certificates of Authority  
 #E2002003690-F #LAC2001005237 #LS2002008695-F

PREPARED BY:  
  
 JAMES L. LONG  
 10272023  
 10/27/2025

SCHLAGEL & ASSOCIATES, P.A.

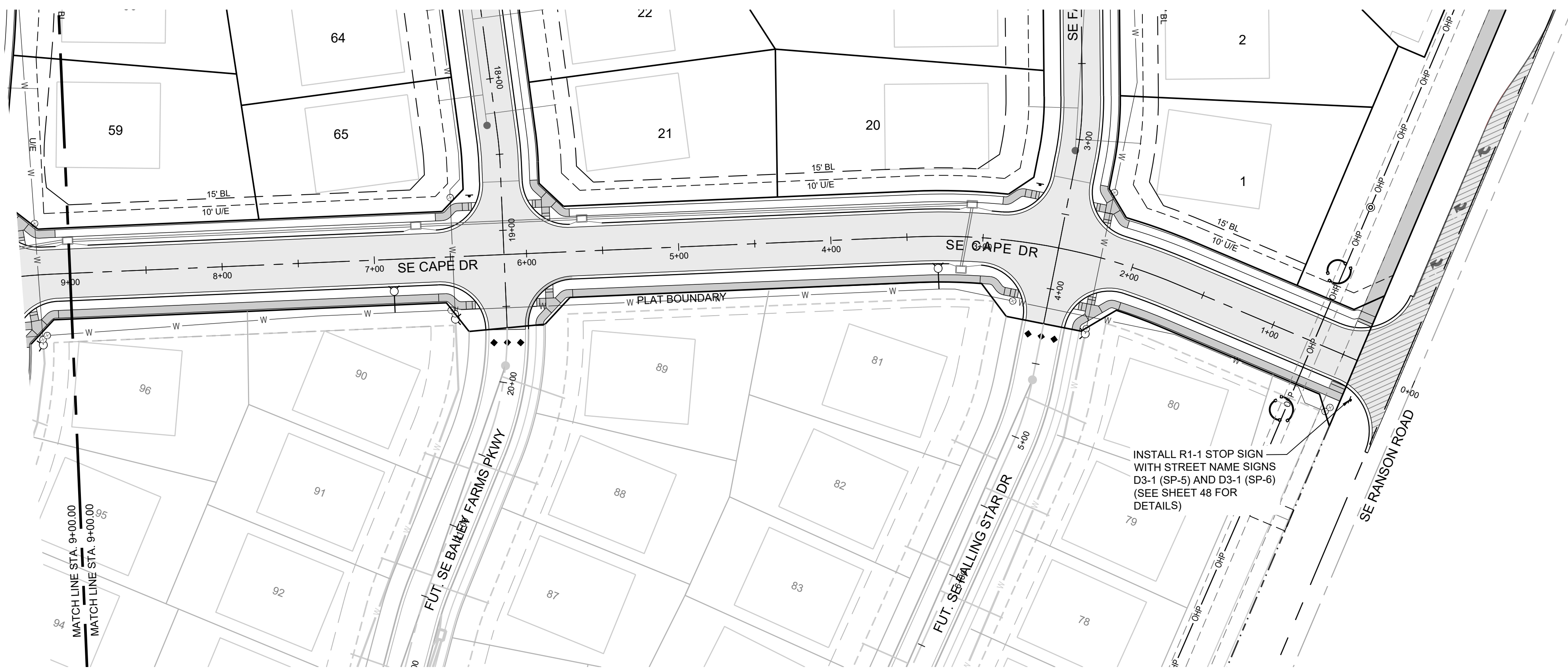
MANOR AT BAILEY FARMS, FIRST PLAT  
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 DRAINAGE PLAN  
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 CHECKED BY: JLL  
 DATE PREPARED: 11/05/2021  
 PROJ. NUMBER: 21-130

SE RANGLAND ST SIGNAGE PLAN

SHEET  
**43**



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

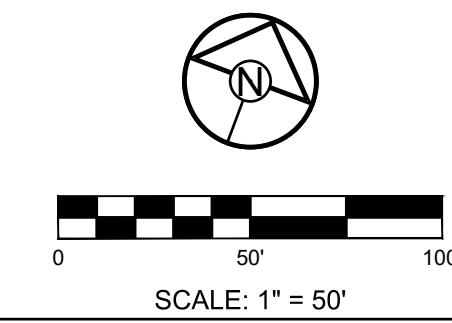
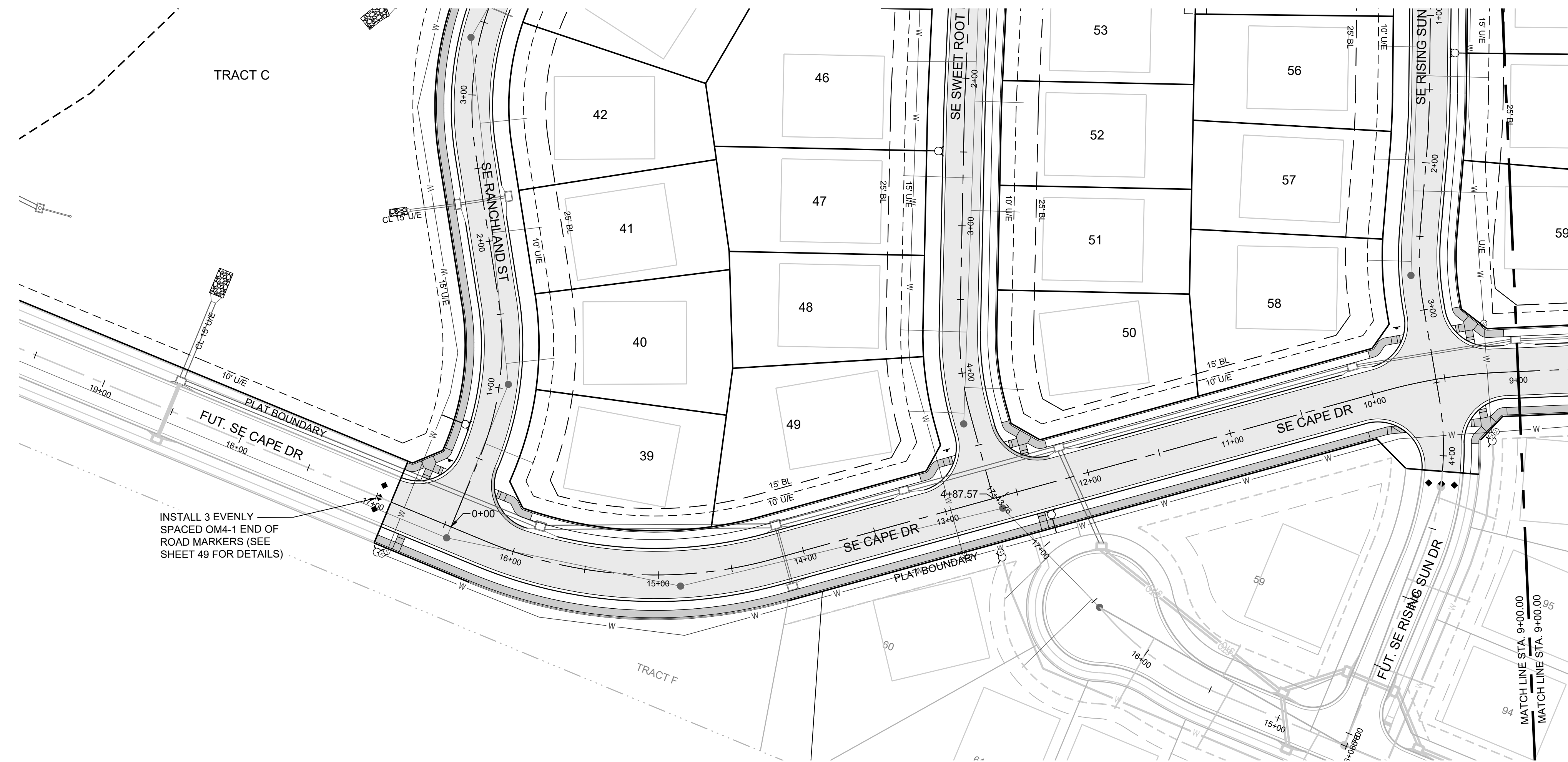
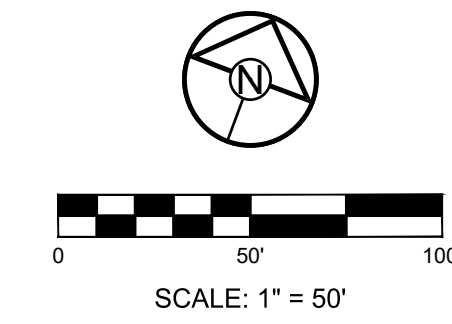
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ELEV. = 1046.25

**NOTES:**

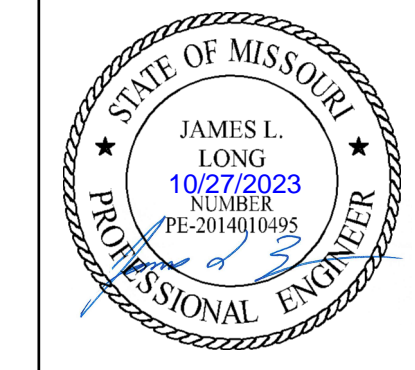
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 #E2200203690F #LAC201005237 #LS2002008695F

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

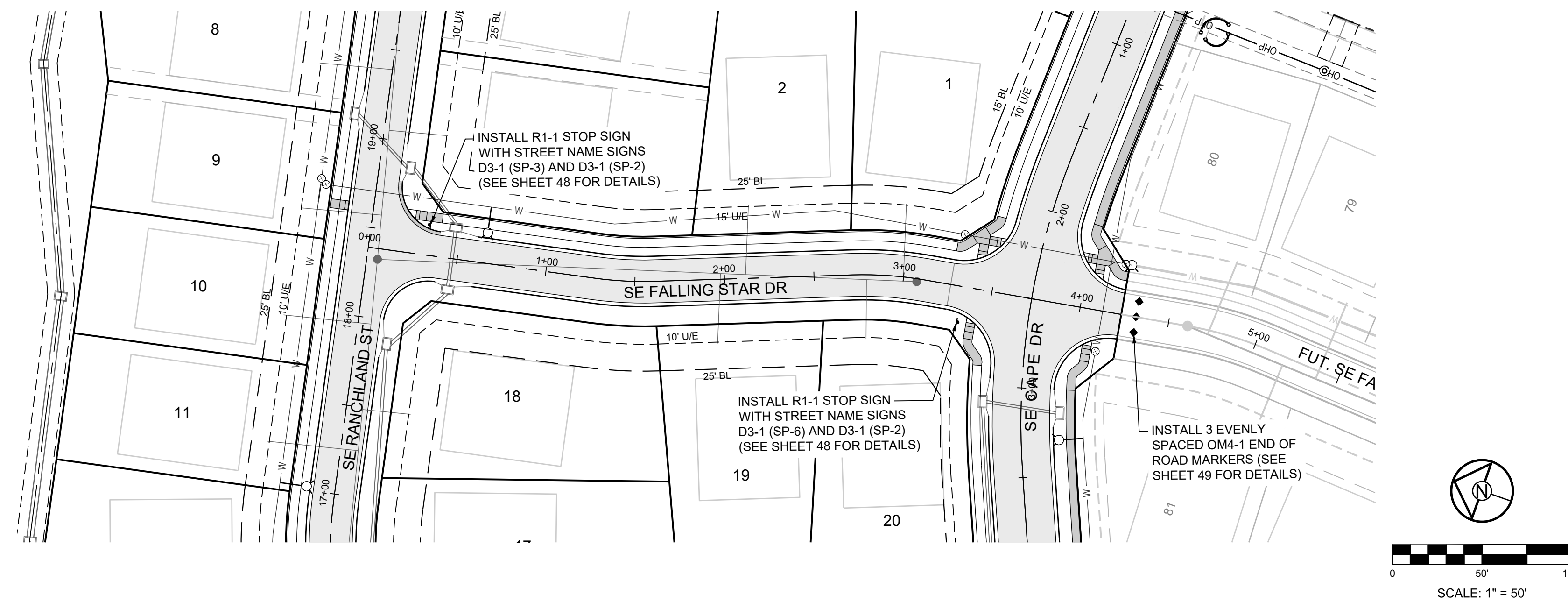
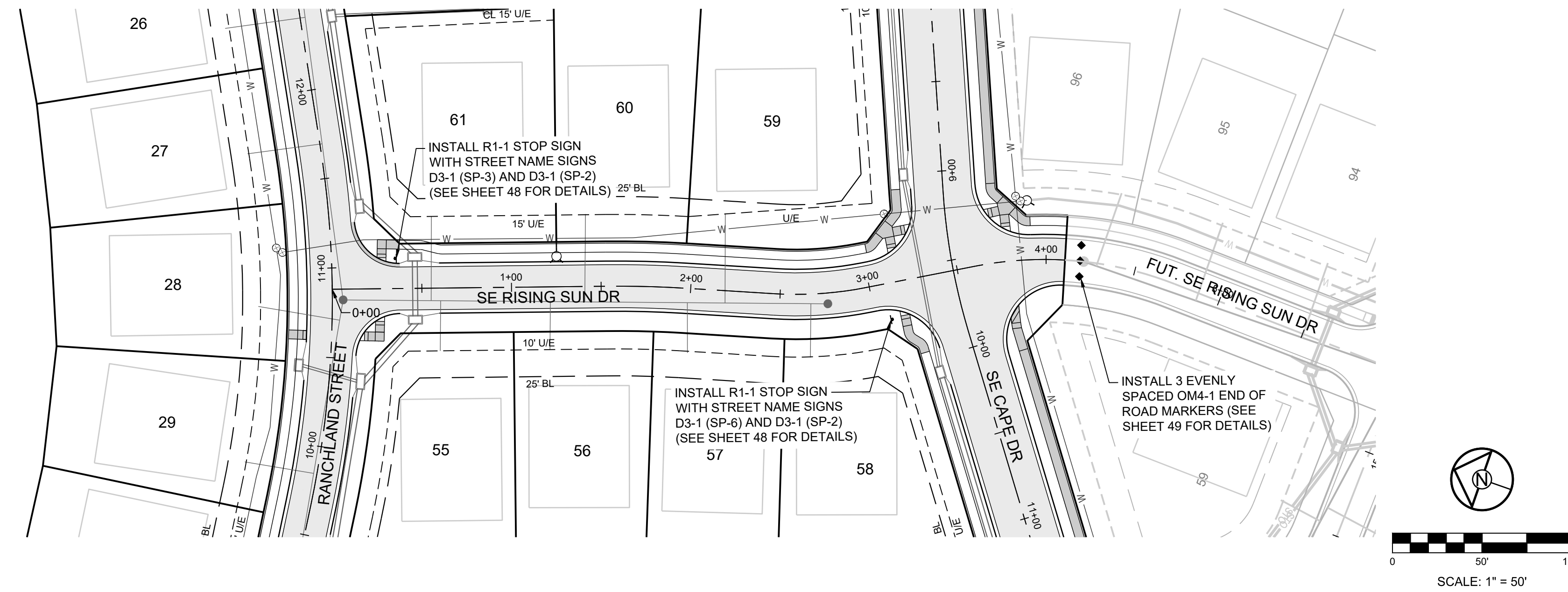
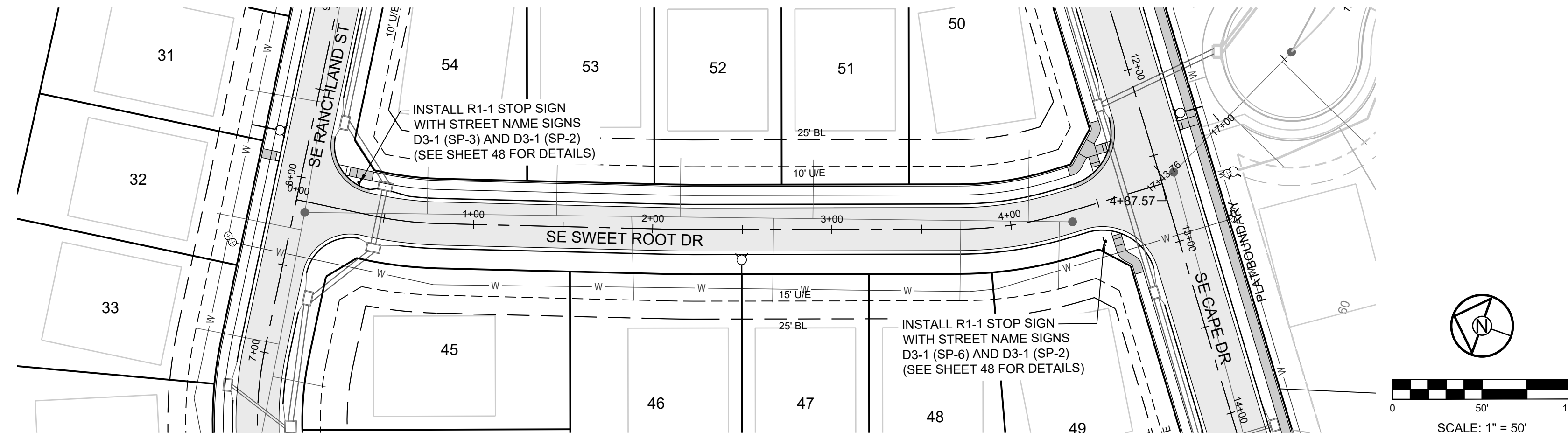
MANOR AT BAILEY FARMS, FIRST PLAT STREET, STORMWATER, AND MASTER DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

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 CHECKED BY: JLL  
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SE CAPE DR SIGNAGE PLAN

SHEET  
**44**



**MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCHMARK:**

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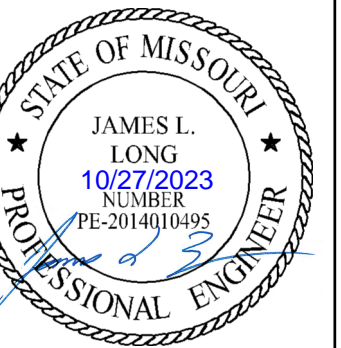
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PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
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SE SWEET ROOT  
DR RISING SUN  
DR FALLING  
STAR DR  
SIGNAGE PLAN

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**LEE'S SUMMIT**  
**MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT, JACKSON COUNTY, MO  
 Sheet Name:  
 POST DETAILS

Drawn By: BWC  
 Checked By: MP  
 Date: 01/2020  
 Proj. #:

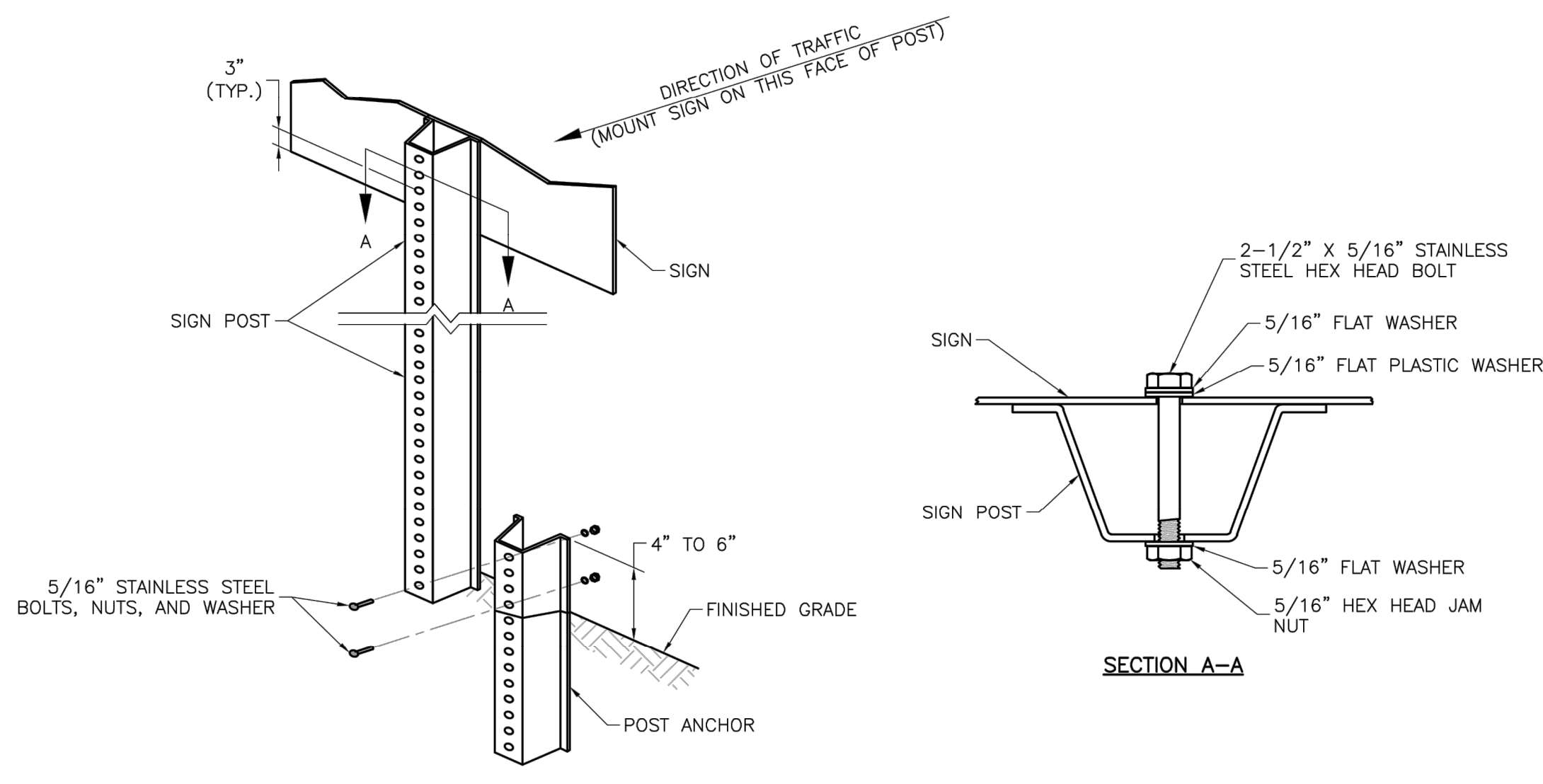
**SN-2**

PERMANENT SIGNING GENERAL NOTES:

1. ALL SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. THE CONTRACTOR IS RESPONSIBLE FOR AVOIDING ANY AND ALL UTILITIES WHEN INSTALLING SIGN POSTS, WHETHER THE UTILITY IS INDICATED ON THE PLANS OR NOT.
3. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF LEE'S SUMMIT.
4. THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL SIGN POSTS TO BE INSTALLED. THE CITY INSPECTOR SHALL INSPECT THE STAKING PRIOR TO INSTALLATION. MINOR RELOCATION TO AVOID CONFLICTS MAY BE ALLOWED WITH THE APPROVAL OF THE CITY TRAFFIC ENGINEER.
5. SIGNS SHOWN TO BE INSTALLED ON THE SIDE OF METAL POLES SHALL BE MOUNTED WITH STAINLESS STEEL STRAPS OR WING BRACKETS AS DETAILED. NO SIGNS ARE TO BE INSTALLED ON WOOD POLES. SEE TRAFFIC SIGNAL STANDARD DRAWINGS FOR THE INSTALLATION OF SIGNS ON MAST ARMS.
6. ALL POST MOUNTED SIGNS SHALL BE INSTALLED WITH BREAKAWAY ANCHORS ACCORDING TO THE STANDARD DRAWINGS.
7. ALL EXISTING SIGNS WILL BE USED IN PLACE DURING CONSTRUCTION AND PROTECTED FROM DAMAGE UNLESS OTHERWISE INDICATED IN THE PLANS. IF THE CONTRACTOR DAMAGES ANY EXISTING SIGN OR POSTS DURING CONSTRUCTION, THE CONTRACTOR WILL BE REQUIRED TO REPLACE THE DAMAGED MATERIALS WITH NEW SIGNS OR POSTS AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND STORING ANY SIGNS THAT ARE TO BE REINSTALLED ON THE PROJECT. ALL EQUIPMENT SHALL BE REINSTALLED IN GOOD CONDITION.
8. EXISTING PERMANENT SIGNS AND POSTS REMOVED BY THE CONTRACTOR FOR CONSTRUCTION PURPOSES WHICH ARE NOT TO BE REINSTALLED SHALL BE DELIVERED TO THE CITY'S PUBLIC WORKS MAINTENANCE FACILITY (1971 SE HAMBLEN ROAD). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND STORING EQUIPMENT IN GOOD CONDITION AND IS FULLY RESPONSIBLE FOR THE EQUIPMENT UNTIL IT IS DELIVERED.
9. ALL STOP, YIELD, OR STREET NAME SIGNS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION FOR THE DRIVING PUBLIC. ALL STOP AND YIELD SIGNS REMOVED FOR CONSTRUCTION PURPOSES CAN BE TEMPORARILY ERECTED IN REFLECTORIZED DRUMS (NO LESS THAN 7 FEET ABOVE THE PAVEMENT SURFACE) UNTIL THEY CAN BE REINSTALLED. ANY TEMPORARY STOP OR YIELD SIGN INSTALLATION TO BE LEFT IN PLACE OVERNIGHT WILL REQUIRE PRIOR APPROVAL FROM THE CITY INSPECTOR.

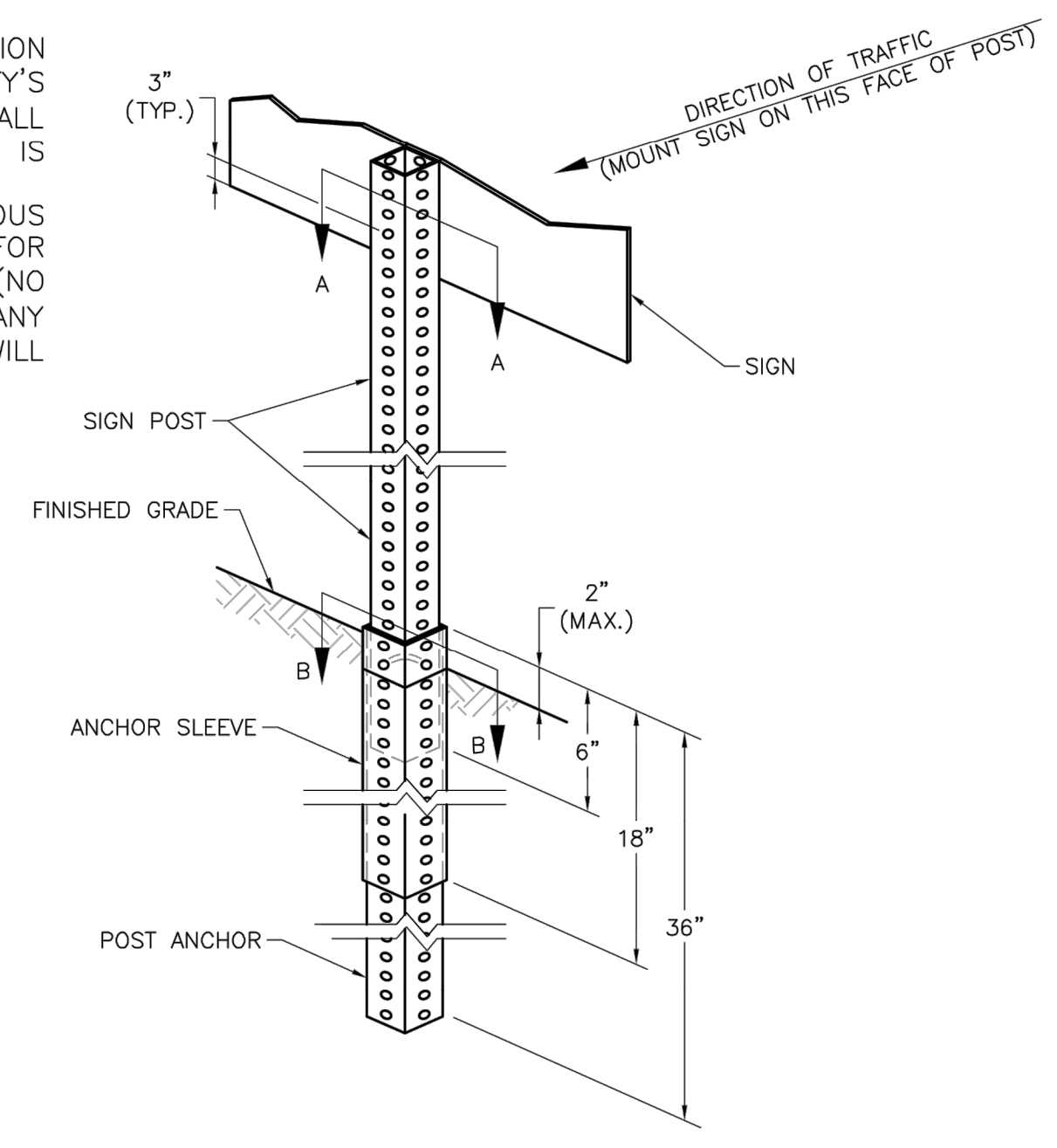
SQUARE STEEL POST INSTALLATION SEQUENCE:

1. SIGN POST ANCHOR DRIVEN PARTIALLY INTO THE GROUND USING A DRIVE CAP WITH A SLEDGE OR POWER EQUIPMENT.
2. ANCHOR SLEEVE SLIPPED OVER ANCHOR AND DRIVE INTO THE GROUND TOGETHER WITH THE SIGN POST ANCHOR.
3. INSERT SIGN POST INTO THE POST ANCHOR AND BOLT IN PLACE.



NOTES:

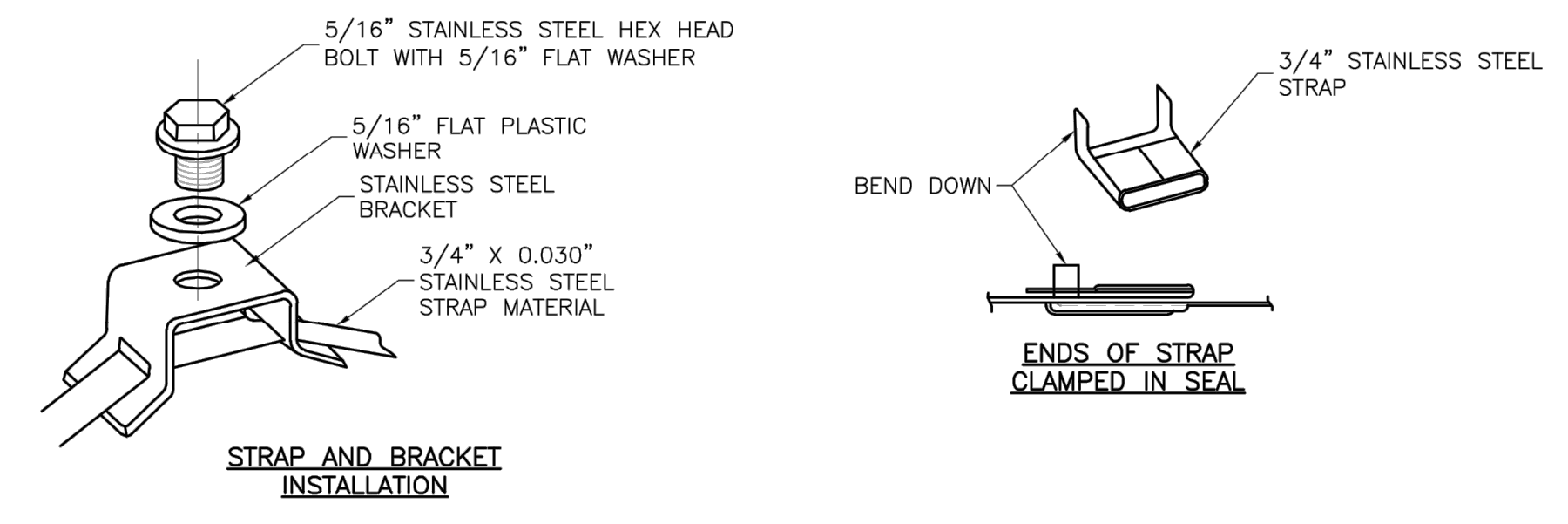
1. SPLICE SHALL BE POSITIONED ENTIRELY BETWEEN FINISHED GRADE LINE AND 18" ABOVE FINISHED GRADE LINE. ONLY ONE SPLICE WILL BE ALLOWED PER POST.
2. U-STEEL POST SHALL BE 3 LB./FT., GALVANIZED ACCORDING TO ASTM A123.
3. U-STEEL POST CAN BE USED FOR INSTALLATION OF SIGNS WITH AN AREA OF LESS THAN 2.5 SQUARE FEET.
4. ALL POSTS SHALL BE EMBEDDED A MINIMUM OF 3 FEET.



SECTION A-A

CORNER BOLT

SECTION B-B



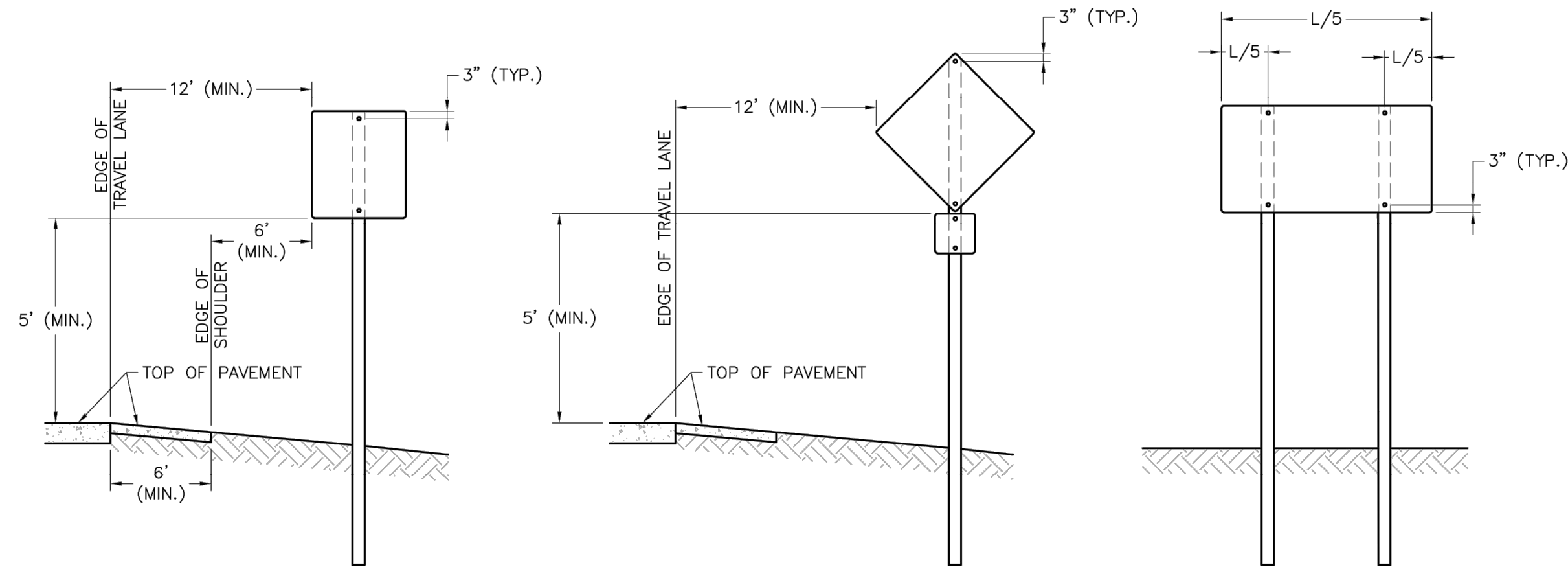
STRAP TYPE SIGN SUPPORT DETAILS

NOTES:

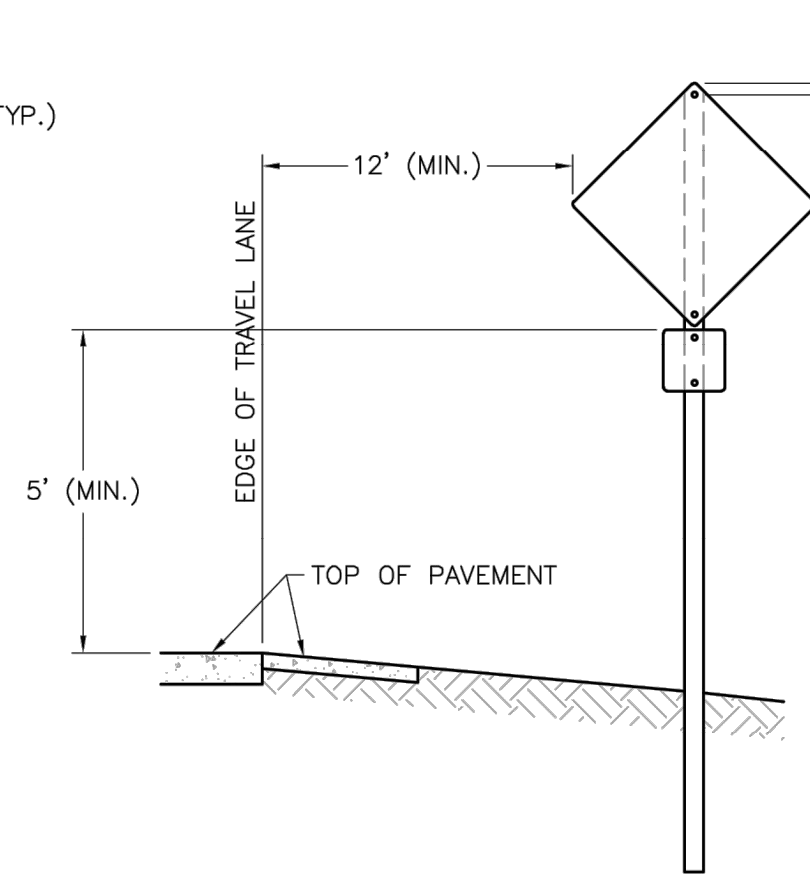
1. SIGNS ON METAL POLES SHALL BE ATTACHED WITH TWO BRACKETS AND STAINLESS STEEL BANDS.
2. HOLES IN SIGN FOR ATTACHMENT TO THE MOUNTING BRACKETS SHALL BE OFFSET A MINIMUM OF 2 INCHES FROM THE EDGE OF THE SIGN.
3. HOLES IN SIGN SHALL BE LOCATED SUCH THAT THE SIGN IS LEVEL.
4. ALL STRAP, BRACKET, AND SEAL MATERIALS SHOULD BE TYPE 201 STAINLESS STEEL.

NOTES:

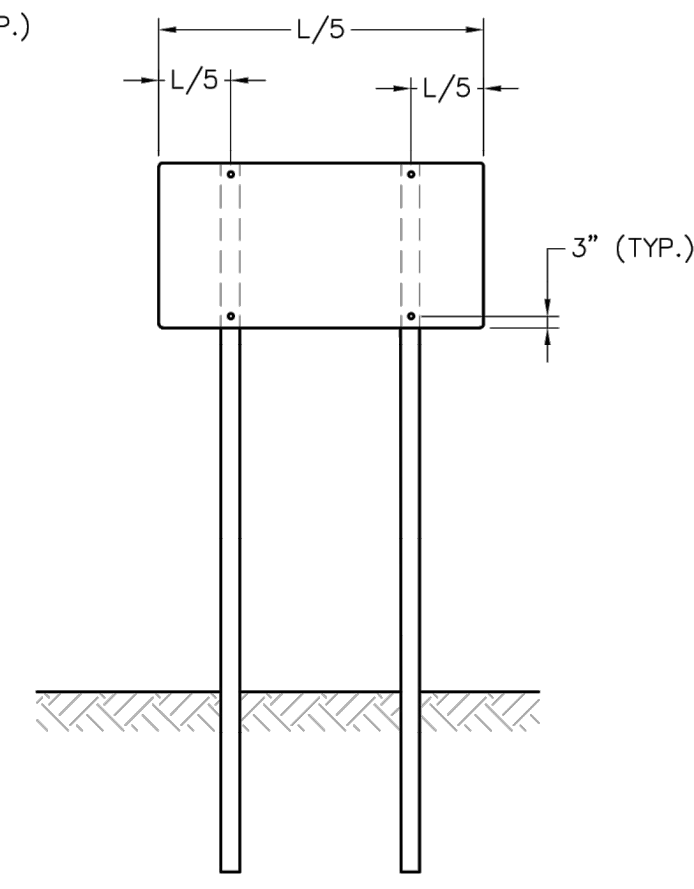
1. SQUARE STEEL SIGN POSTS AND BREAK-AWAY ANCHOR SHALL CONSIST OF THE FOLLOWING MATERIALS:  
 SIGN POST - 14 GA. 2" X 2" SQUARE STEEL POST  
 POST ANCHOR - 12 GA. 2 1/4" X 2 1/4" X 36" SQUARE STEEL POST  
 ANCHOR SLEEVE - 12 GA. 2 1/2" X 2 1/2" X 18" SQUARE STEEL POST
2. 14 GA. POSTS MUST MEET A CERTIFIED MINIMUM YIELD STRENGTH OF 60,000 PSI.
3. IN ALL INSTALLATIONS THE FIRST HOLE ABOVE THE FINISHED GRADE LINE ON THE SIGN POST, ANCHOR, AND ANCHOR SLEEVE MUST BE IN LINE FOR THE INSERTION OF THE CORNER BOLT.
4. THE MAXIMUM AREA FOR ONE SIGN POST IS 9.0 SQUARE FEET. A SIGN OR COMBINATION OF SIGNS WITH AN AREA GREATER THAN 9.0 SQUARE FEET WILL REQUIRE TWO POSTS. ALSO, SIGNS WITH A WIDTH GREATER THAN OR EQUAL TO 48" (NOT INCLUDING 36" X 36" DIAMOND SHAPED SIGNS) WILL REQUIRE TWO POSTS.



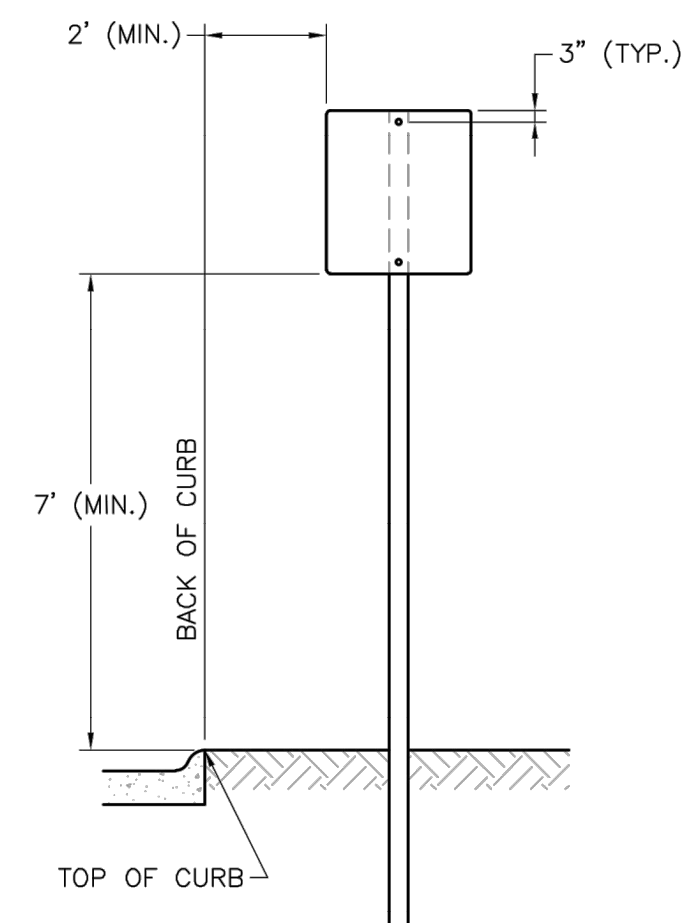
SIGN INSTALLATION FOR NON-CURBED STREET



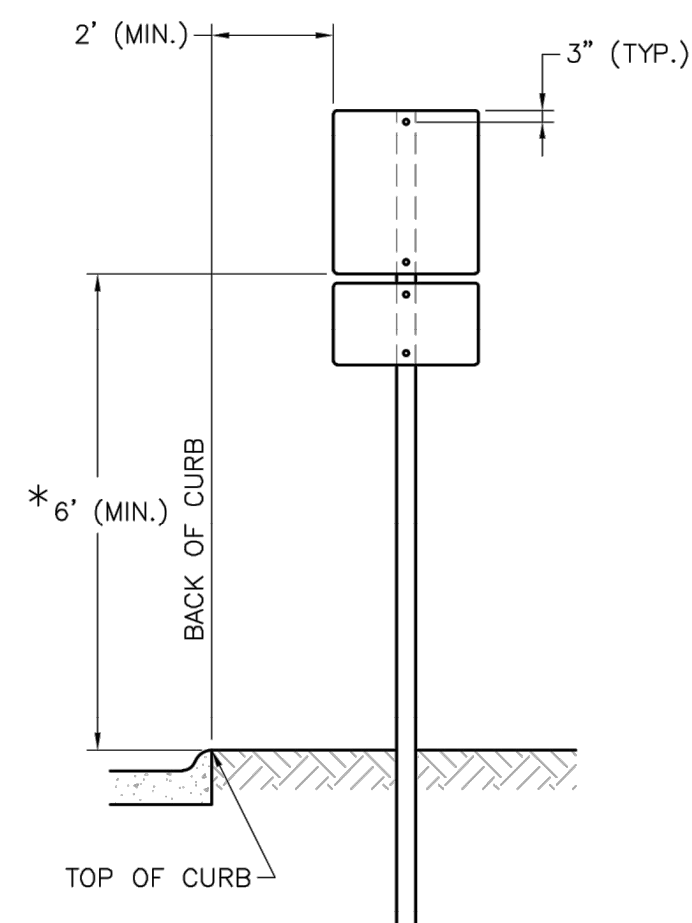
SIGN INSTALLATION WITH AUXILIARY SIGN FOR NON-CURBED STREET



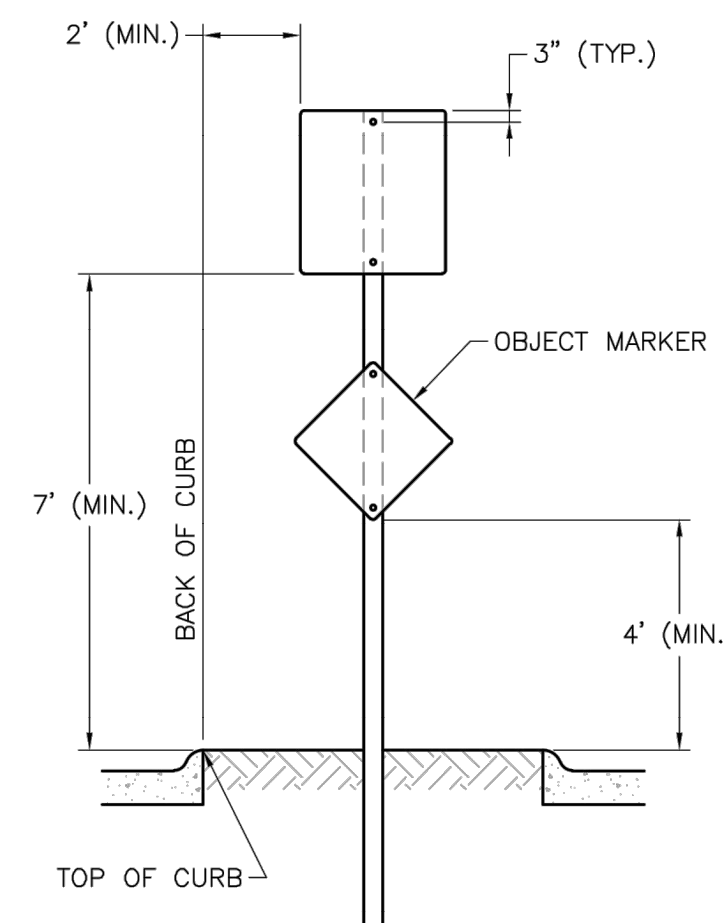
SIGN INSTALLATION WITH TWO SIGN POSTS



SIGN INSTALLATION FOR CURBED STREET



SIGN INSTALLATION WITH AUXILIARY SIGN FOR CURBED STREET

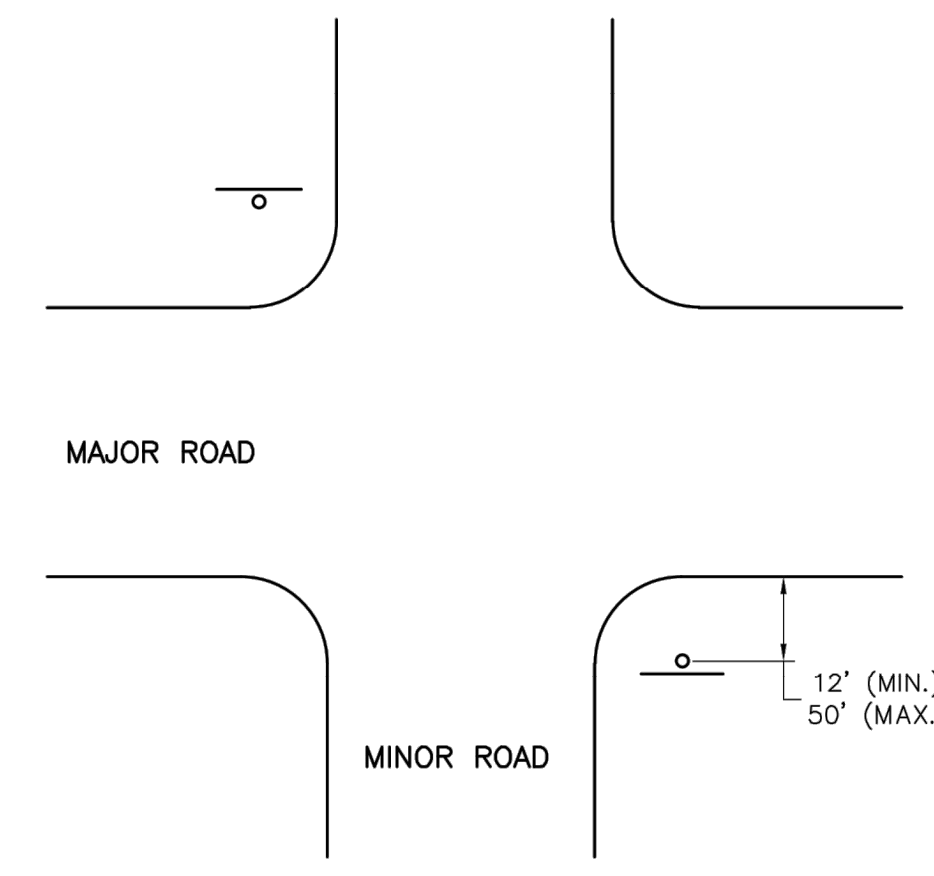


SIGN INSTALLATION FOR RAISED MEDIANS

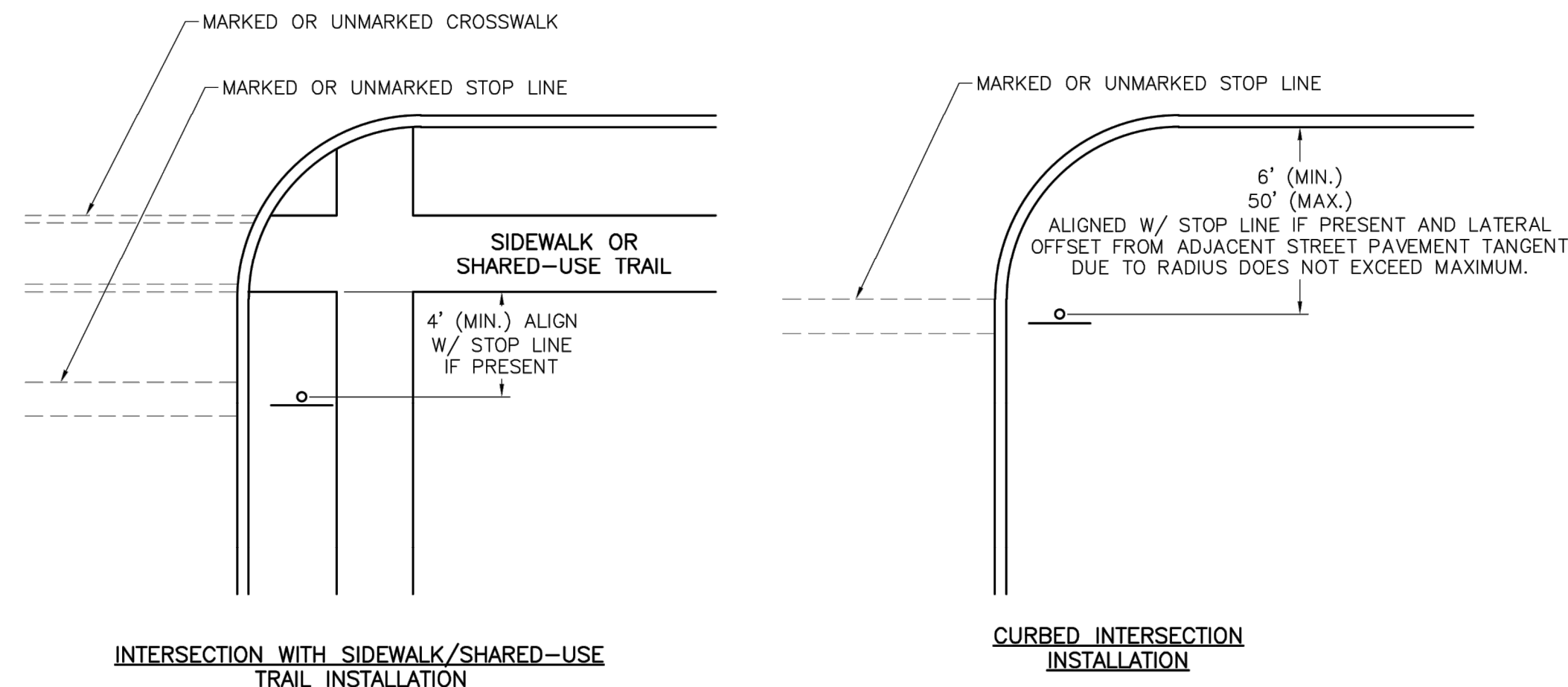
**SIGN MOUNTING DETAILS**

**NOTES:**

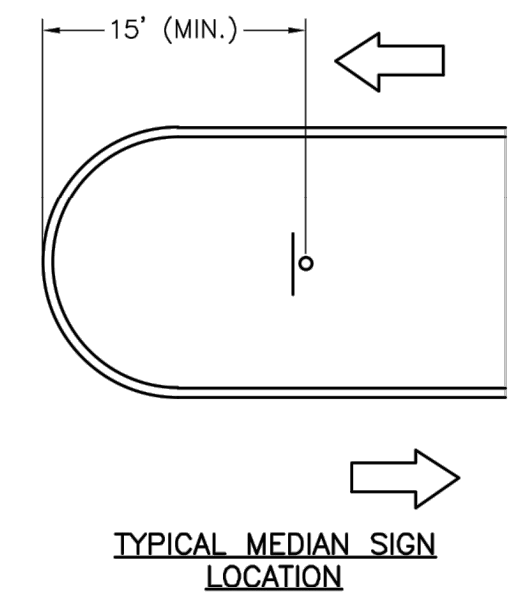
1. GENERALLY, THE SIGN MOUNTING HEIGHT SHOULD NOT BE MORE THAN 1" GREATER THAN THE MINIMUM MOUNTING HEIGHT.
2. \*THE HEIGHT TO THE BOTTOM OF A SIGN WHEN IT IS LOCATED IN A PEDESTRIAN WALKWAY OR EXTENDS INTO A WALKWAY SHALL BE A MINIMUM OF 80 INCHES ABOVE THE WALKWAY.



NON-CURBED INTERSECTION INSTALLATION



**CONTROL SIGN LOCATION**



**MEDIAN SIGN LOCATION**

**NOTES:**

1. A 4" P.V.C. SLEEVE SHALL BE INSTALLED IN NEW CONCRETE MEDIANS AT EACH LOCATION WHERE A SIGN IS TO BE INSTALLED.
2. FOR EXISTING CONCRETE MEDIANS, A 4" HOLE SHALL BE CORED INTO THE CONCRETE.

**LEE'S SUMMIT MISSOURI**

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Project: STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
Sheet Name: SIGN MOUNTING DETAILS

Drawn By: BWC  
Checked By: MP  
Date: 01/2020  
Proj. #:

SN-1



SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
STREET, STORMWATER, AND MASTER  
DRAINAGE PLAN  
SE BAILEY ROAD AND SE RANSON ROAD  
LEE'S SUMMIT, MISSOURI

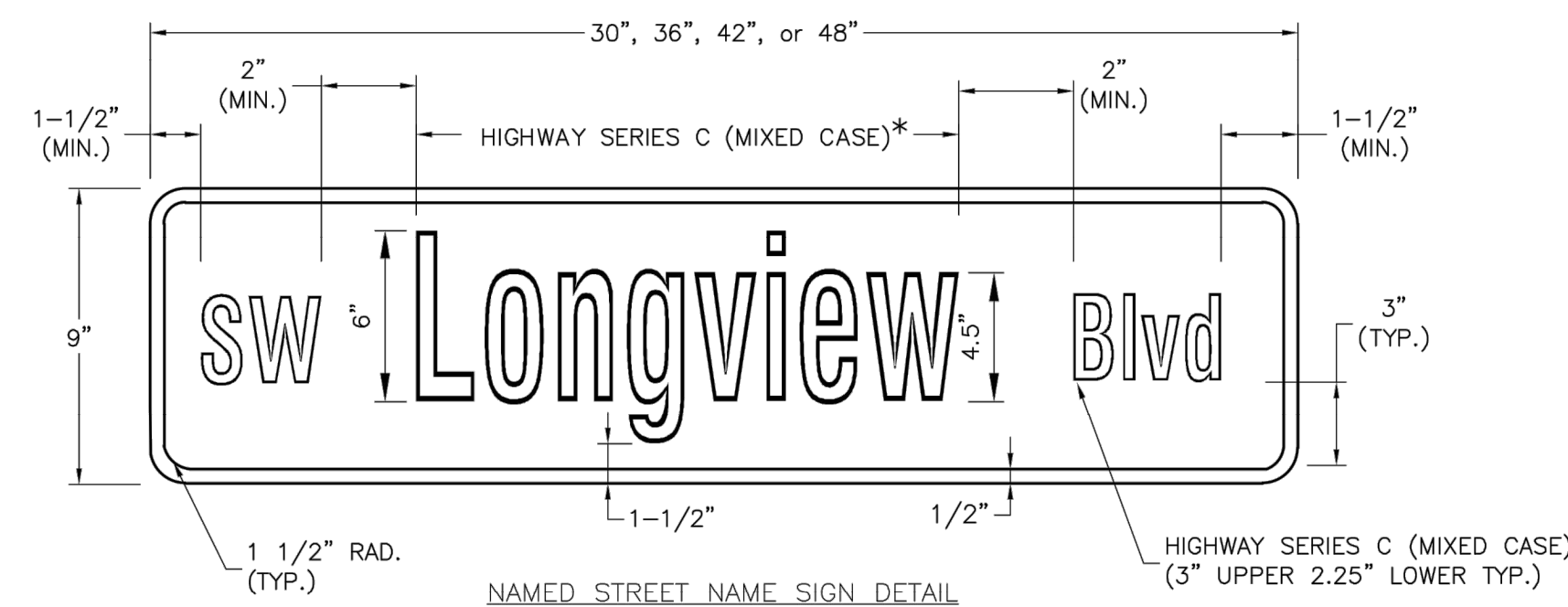
REVISION DATE	DESCRIPTION
01/21/2022	City Comments dated 12/19/2021
04/20/2022	City Comments dated 02/14/2022
05/17/2022	City Comments dated 5/11/2022
10/27/2023	Reviewed Details to current 2023 Details

SIGN MOUNTING DETAILS (SN-1)

STANDARD ABBREVIATION LISTS

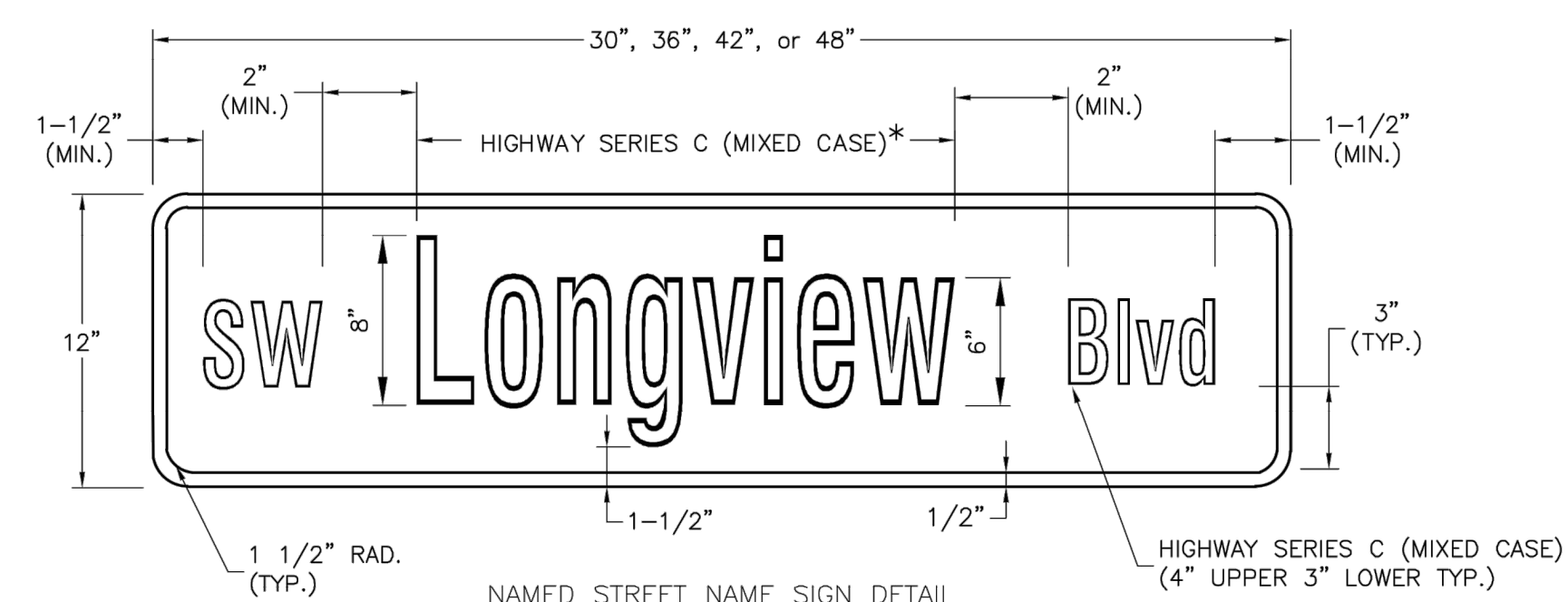
NAMED STREETS	
AVENUE	Ave
BOULEVARD	Blvd
CIRCLE	Cir
CREEK	Cr
COURT	Ct
CROSSING	Xing
DRIVE	Dr
HIGHWAY	Hwy
LANE	Ln
PARKWAY	Pkwy
PLACE	Pl
ROAD	Rd
STREET	St
TERRACE	Ter
TRAIL	Trl
WAY	Way

NUMBERED STREETS	
FIRST	ST
SECOND	ND
THIRD	RD
FOURTH TO TENTH	TH



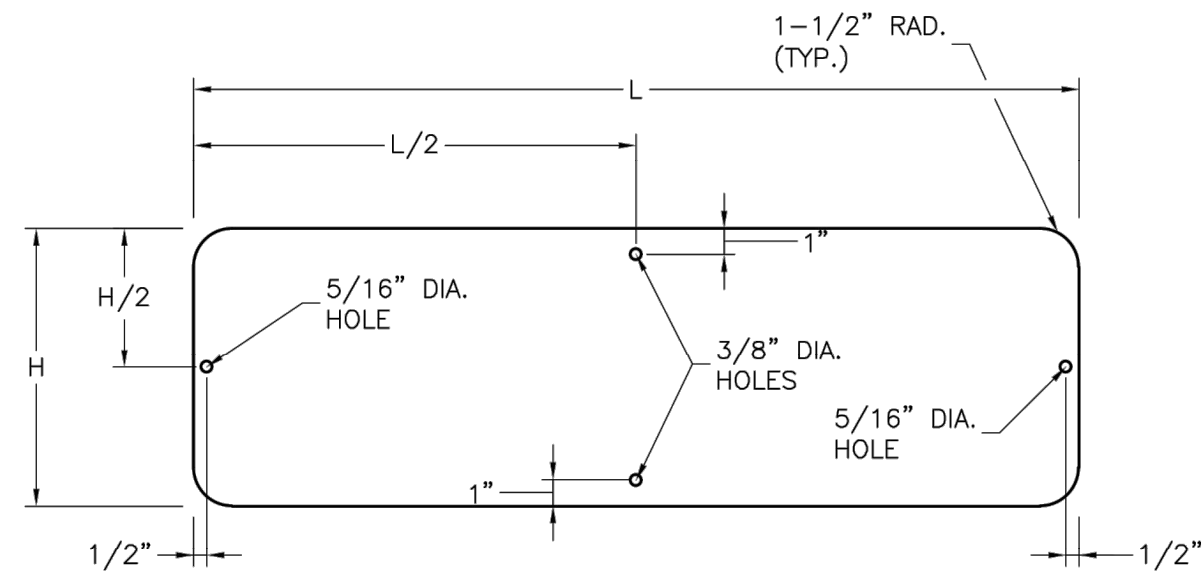
NAMED STREET NAME SIGN DETAIL  
 \* USE HIGHWAY SERIES B (MIXED CASE) IN LIEU OF SERIES C IF NECESSARY TO FIT TEXT ON A 36" SIGN BLANK.

STREET NAME SIGN FACE DETAILS  
 POST MOUNTED 2-LANE ALL SPEEDS AND MULTI-LANE UNDER 40 MPH

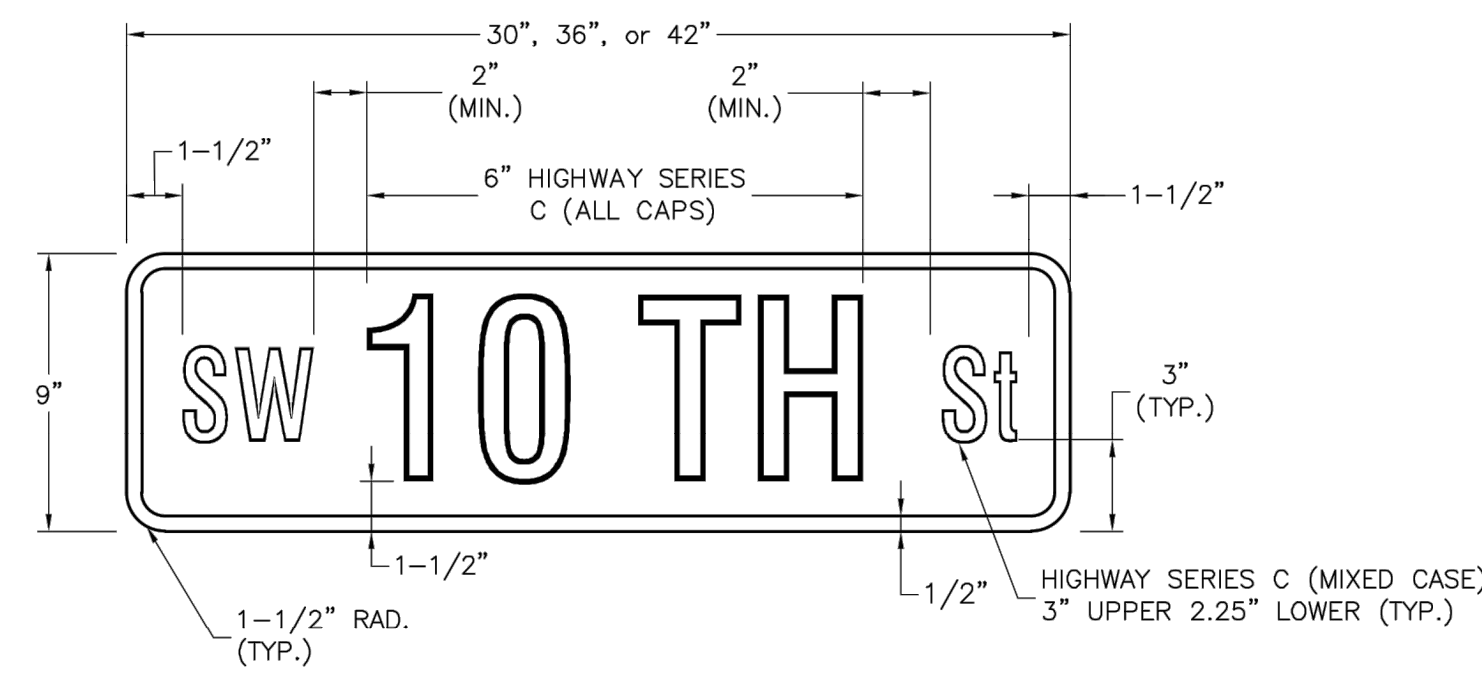


NAMED STREET NAME SIGN DETAIL  
 \* USE HIGHWAY SERIES B (MIXED CASE) IN LIEU OF SERIES C IF NECESSARY TO FIT TEXT ON A 36" SIGN BLANK.

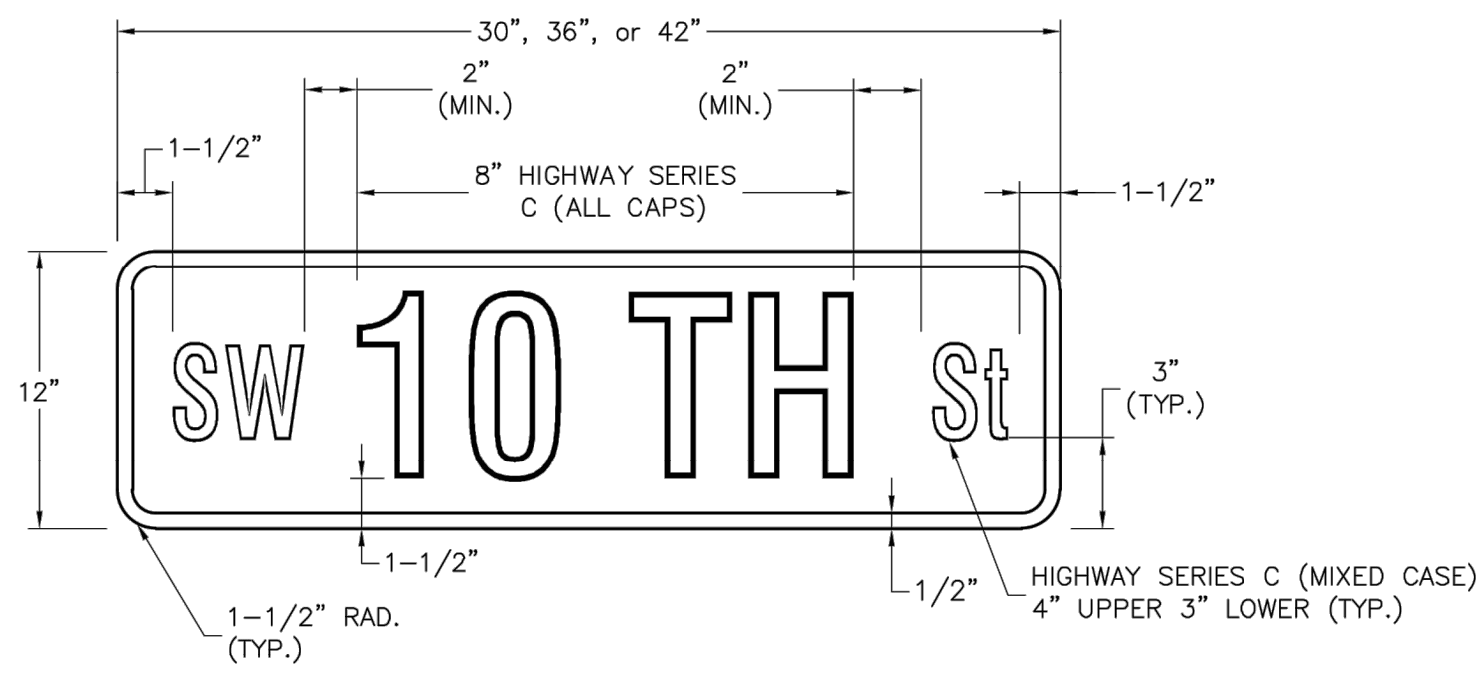
STREET NAME SIGN FACE DETAILS  
 POST MOUNTED MULTI-LANE GREATER THAN 40 MPH



STREET NAME SIGN BLANK DETAILS  
 FOR MOUNTING ON SQUARE STEEL POSTS



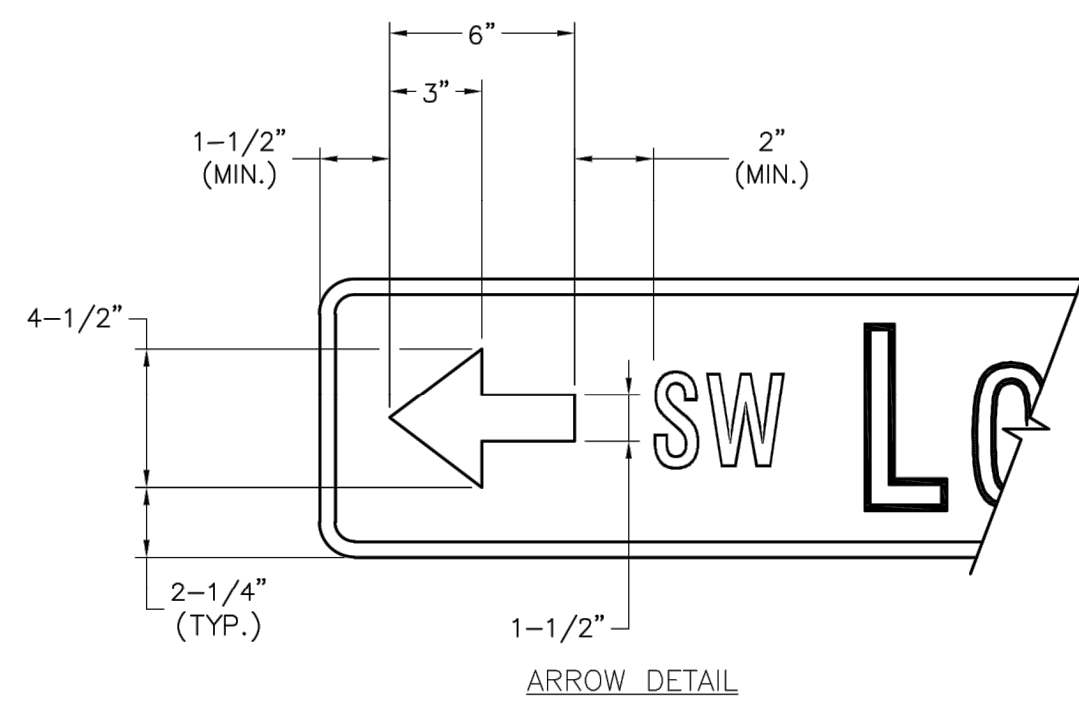
NUMBERED STREET NAME SIGN DETAIL  
 STREET NAME SIGN FACE DETAILS  
 POST MOUNTED 2-LANE ALL SPEEDS AND MULTI-LANE UNDER 40 MPH



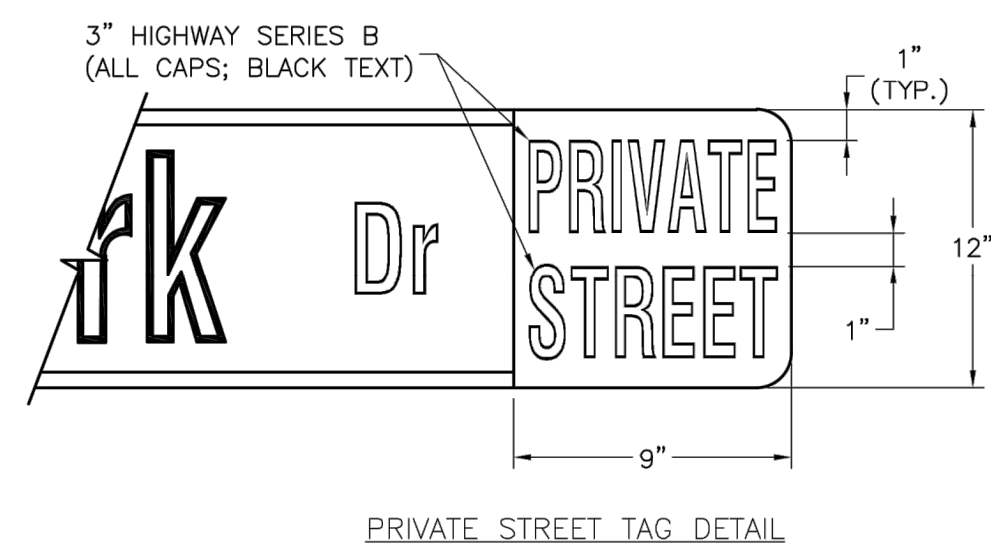
NUMBERED STREET NAME SIGN DETAIL  
 STREET NAME SIGN FACE DETAILS  
 POST MOUNTED MULTI-LANE GREATER THAN 40 MPH

NOTES:

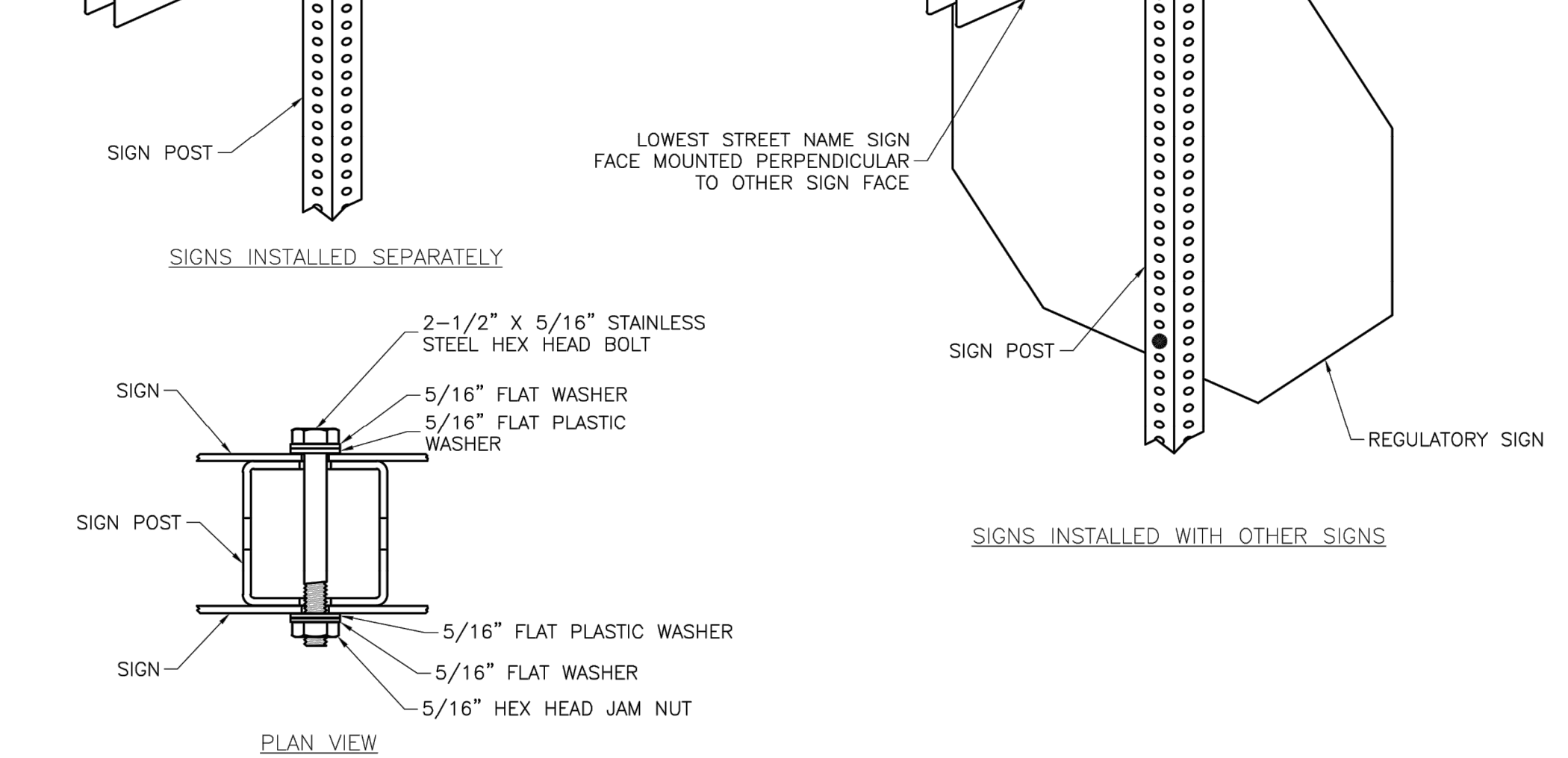
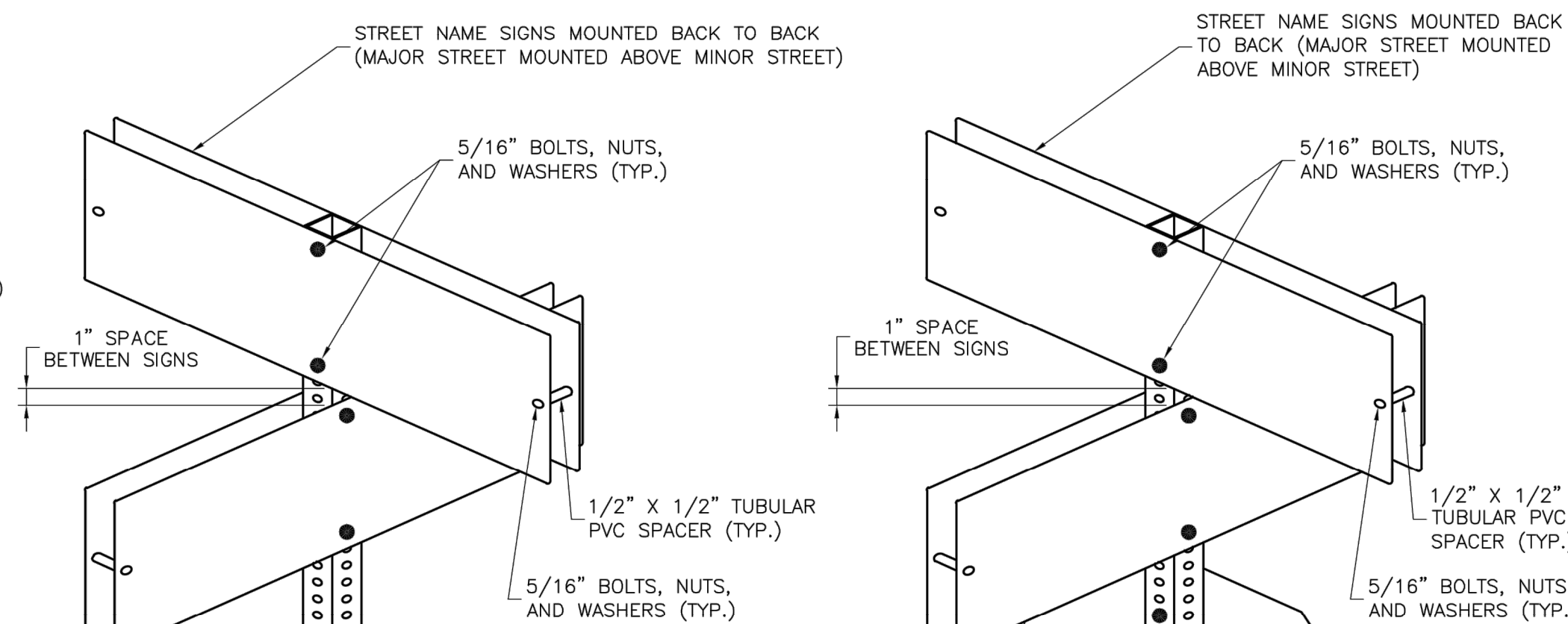
- FOR ALL STREET NAME SIGNS, THE LEGEND SHALL BE WHITE AND THE BACKGROUND SHALL BE GREEN.
- ARROWS SHALL BE ADDED TO STREET NAME SIGNS WHERE THE NAME OF A STREET CHANGES AT AN INTERSECTION. STREET NAME SIGNS WITH ARROWS ARE TO BE INSTALLED ON EACH SIDE OF THE INTERSECTION TO INDICATE THE CHANGE IN NAMES. ARROWS SHALL BE WHITE.
- THE "PRIVATE STREET" TAG SHOULD BE ADDED TO THE END OF STREET NAME SIGNS TO INDICATE WHERE A STREET THAT IS OUTSIDE THE RIGHT-OF-WAY INTERSECTS A PUBLIC STREET. THE BACKGROUND FOR THE "PRIVATE STREET" TAG SHALL BE YELLOW.
- MULTI-LANE IS DEFINED AS HAVING 2 LANES OR MORE IN EACH DIRECTION, EXCLUDING TURN LANES.
- OVERHEAD SIGN DETAILS MAY BE FOUND ON THE SIGNAL HEAD MOUNTING DETAIL.



ARROW DETAIL



PRIVATE STREET TAG DETAIL



SQUARE STEEL POST MOUNTING DETAILS

STREET NAME SIGN INVENTORY

SE Bailey Farms Pkwy	D3-1 (SP-1)	SE Ranchland St	D3-1 (SP-3)
SE Falling Star Dr	D3-1 (SP-2)	SE Ranson Rd	D3-1 (SP-5)
SE Sweet Root Dr	D3-1 (SP-2)	SE Bailey Rd	D3-1 (SP-5)
SE Rising Sun Dr	D3-1 (SP-2)	SE Cape Dr	D3-1 (SP-6)

**LEE'S SUMMIT**  
**MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT, JACKSON COUNTY, MO  
 STREET NAME SIGN DETAILS

Project: LEE'S SUMMIT, MO  
 Sheet Name: STREET NAME SIGN DETAILS

SN-3

**SCHLAGEL**  
 ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
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 (913) 492-5158 • Fax: (913) 492-8400  
 WWW.SCHLAGELASSOCIATES.COM  
 Missouri State Certificates of Authority  
 #E200200360F #LAC201005237 #LS200200869F

PREPARED BY:  
  
 JAMES L. LONG  
 10272023  
 PE-2014010495  
 PROFESSIONAL ENGINEER

SCHLAGEL & ASSOCIATES, P.A.

MANOR AT BAILEY FARMS, FIRST PLAT  
 STREET, STORMWATER, AND MASTER  
 DRAINAGE PLAN  
 SE BAILEY ROAD AND SE RANSON ROAD  
 LEE'S SUMMIT, MISSOURI

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STREET NAME SIGN DETAILS (SN-3)  
 SHEET  
**48**



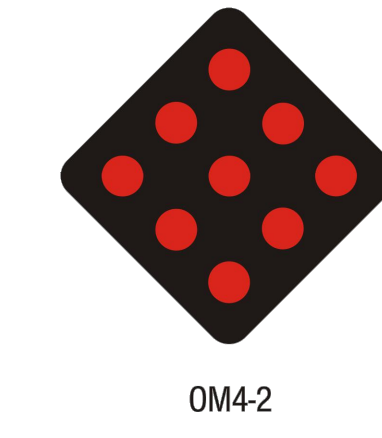
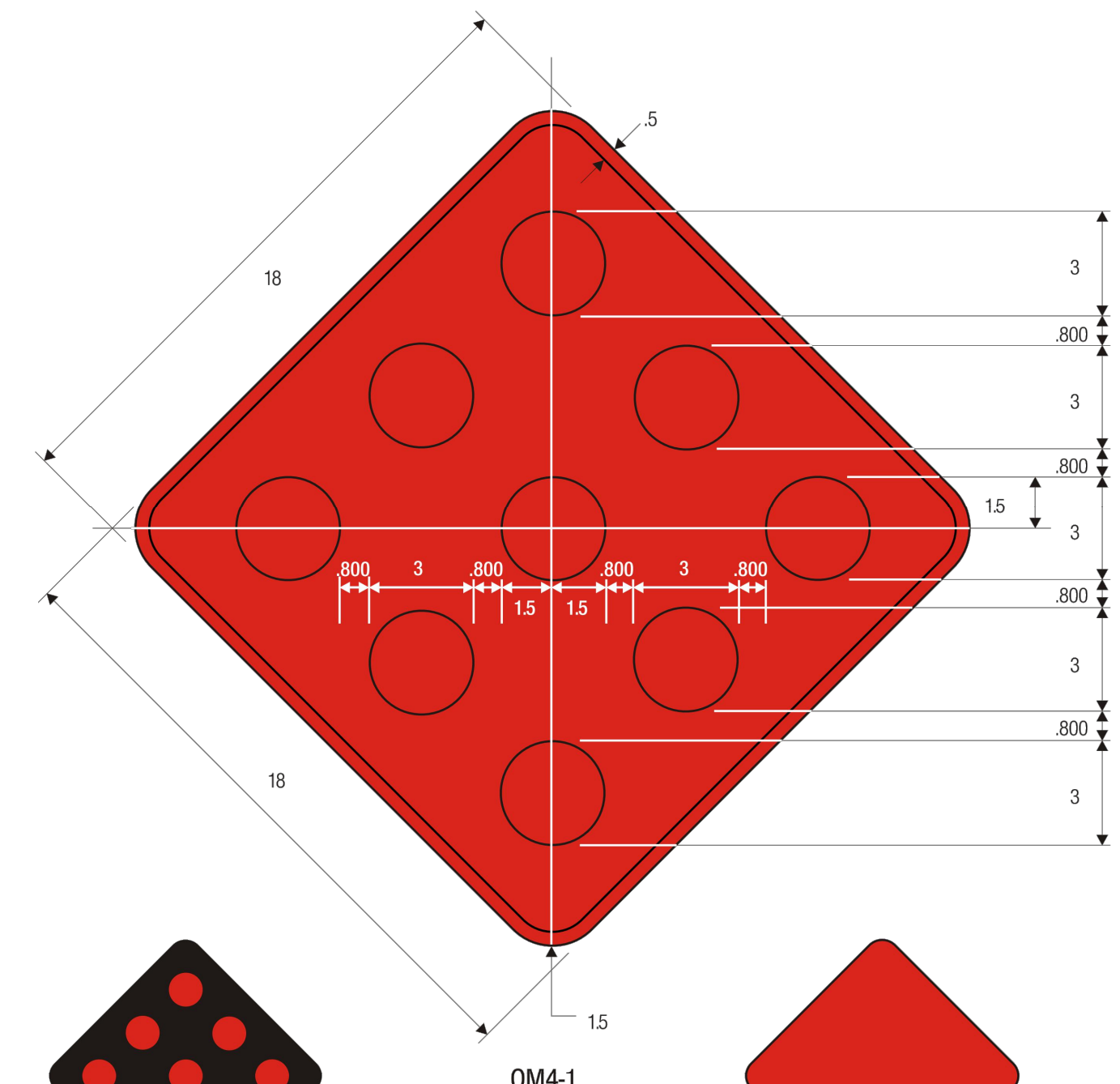


PREPARED BY:



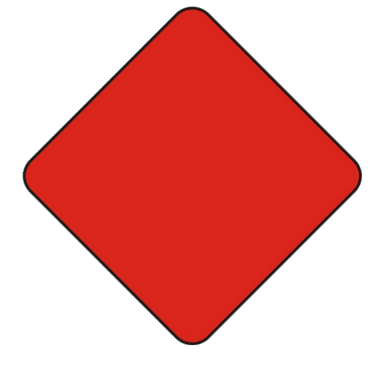
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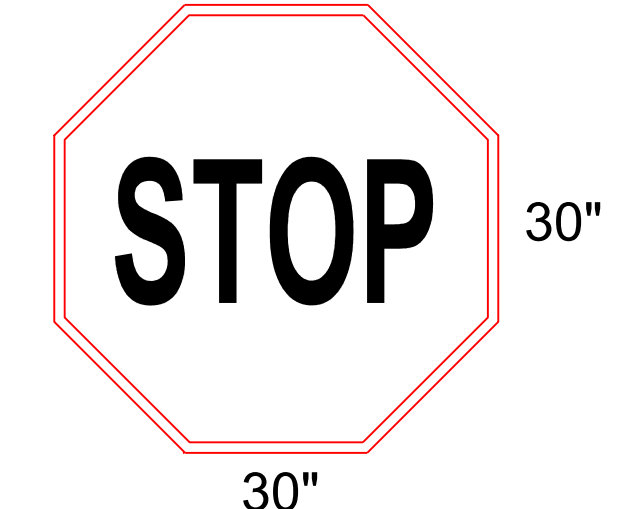
OM4-2 COLORS:  
 REFLECTORS - RED (RETROREFLECTIVE)  
 BACKGROUND - BLACK

OM4-1 COLORS:  
 REFLECTORS - RED (RETROREFLECTIVE)  
 BACKGROUND - RED  
 BORDER - RED (RETROREFLECTIVE)

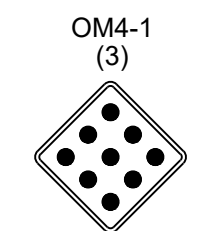


OM4-3 COLORS:  
 SIGN PANEL - RED (RETROREFLECTIVE)

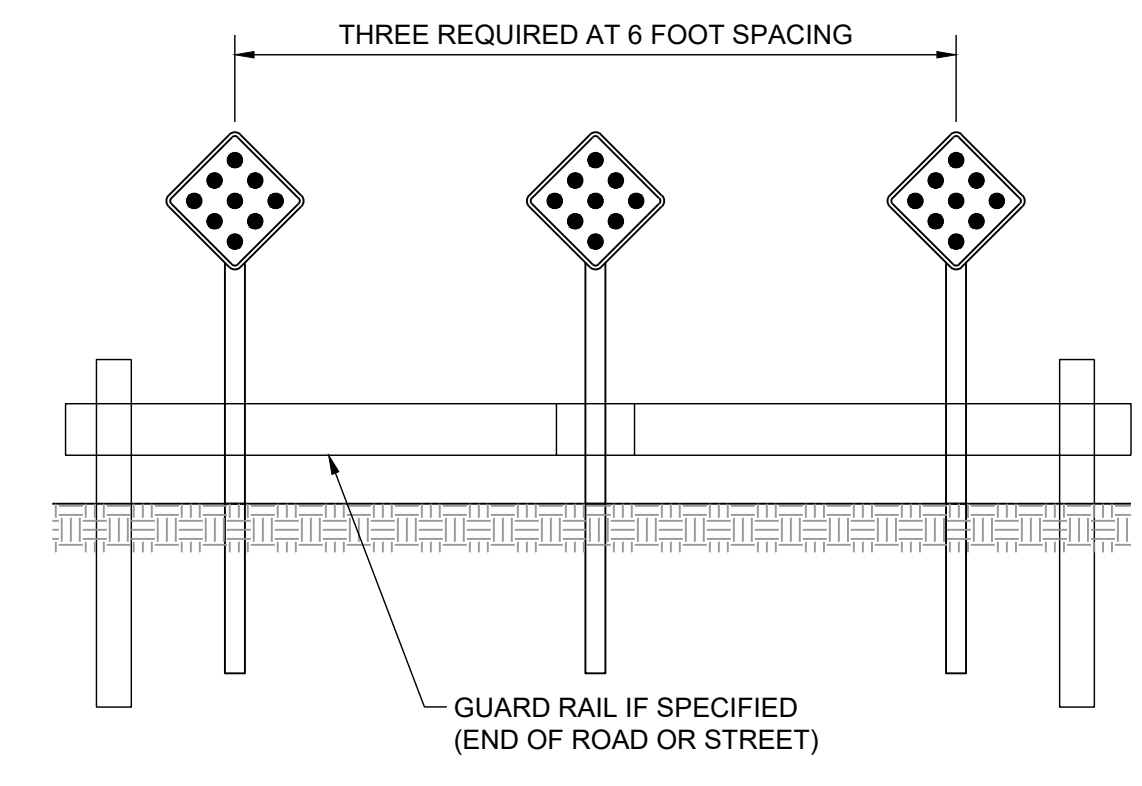
11-4



R1-1  
 STOP SIGN



NOTE:  
 THICKNESS OF FLAT SHEET FOR END OF ROAD  
 MARKERS SHALL BE 0.0063". RED REFLECTORS  
 ON RED BACKGROUND.



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OM-4 SIGN  
 DETAILS