

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR KENSINGTON FARMS, 2ND PLAT, 3RD PLAT AND FUTURE PHASE ON APPROXIMATELY 77 ACRES GENERALLY LOCATED SOUTH OF SW COUNTY LINE ROAD, BETWEEN SW WARD ROAD AND SW PRAIRIE LANE, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2023-053 submitted by Inspired Homes requesting approval of a preliminary development plan in District PMIX on 77 acres of land generally located south of SW County Line Rd, between SW Ward Rd and SW Prairie Ln was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held public hearings for the consideration of the preliminary development plan on August 24, 2023, and September 14, 2023, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on September 26, 2023, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved on the following described property:

All of Kensington Farms, 2nd Plat and Kensington Farms, 3rd Plat, containing approximately 76.7 acres.

SECTION 2. That the following conditions of approval apply:

1. The existing Kensington Farms PDP shall be amended in accordance with the revised architectural building elevations to include the Kensington Farms Design Guidebook dated August 4, 2023.
2. Continued development of Kensington Farms shall be subject to the existing conditions of approval numbers 2-7 of Ordinance No. 7531 approved on October 2, 2014.

SECTION 3. Development shall be in accordance with the preliminary development plan amended to include the revised architectural building elevations dated August 4, 2023, appended hereto as Attachment A.

BILL NO. 23-188**ORDINANCE NO. 9762**

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 10th day of October, 2023.

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri



William A. Baird
Mayor William A. Baird

APPROVED by the Mayor of said city this 13th day of October, 2023.

William A. Baird
Mayor William A. Baird

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri



APPROVED AS TO FORM:

Brian W. Head
for City Attorney Brian W. Head

August 4, 2023

Planning Department

Attn: Hector Soto

City of Lee's Summit

220 SE Green Street, Lee's Summit, MO 64063

RE: Kensington Farms PDP

Dear Mr. Soto,

Inspired Homes is pleased to present to the City of Lee's Summit revised elevations and new floorplans for our community Kensington Farms. Kensington Farms has an existing preliminary development plan (PDP) that was originally approved in 2005. In 2014, the PDP was revised to accommodate market trends including revisions to the phasing plans, setbacks, community districts, and updated elevations. Our current request for amendment to the existing PDP is to seek approval of additional exterior elevations only. Zoning, density, setbacks, phasing, community districts, and lot sizes will all remain without change.

As is expected in the home construction industry, trends in materials and style of home construction have evolved since the original approval of the PDP in 2005. Building on our company's vision to stay current in market trends and to remain a leader in home construction in the KC Metro, we have updated the previously approved elevations for Kensington Farms. The revised elevations reflect current design styles while complimenting the existing homes in the neighborhood to ensure cohesiveness. Additionally, we are excited to offer new floorplans for our Kensington Farms Community.

Inspired Homes is dedicated in our continued investment in Lee's Summits' sustainable growth by providing quality homes that meet the needs of a wide range of buyers. Whether it is a home that supports the growth of a young family, or a maintenance provided home that accommodates a lock and leave lifestyle, we offer a diverse portfolio of floorplans. We want to thank you for your time and consideration as you review our proposed elevations.

Please feel free to reach out with any questions.

Sincerely,

Raegan Long, PE

Director of Land Development

General Project Information:

The following elevations use a variety of materials on the front facade to ensure a diverse yet cohesive look throughout the community. The rear and side elevations will be constructed of LP Smartside vertical paneled siding. This is the standard material used for single family home construction in the KC metro for homes in the Kensington Farms price range. The use of LP Smartside provides a sustainable material while also helping to keep home costs at a more attainable price point.

The revised elevations will replace previously approved elevations that were part of the original PDP. Many of the updated elevations mirror styles that honor the original intent of the initial homes constructed in Kensington Farms, while incorporating more modern trim details, stone materials, and roof lines.

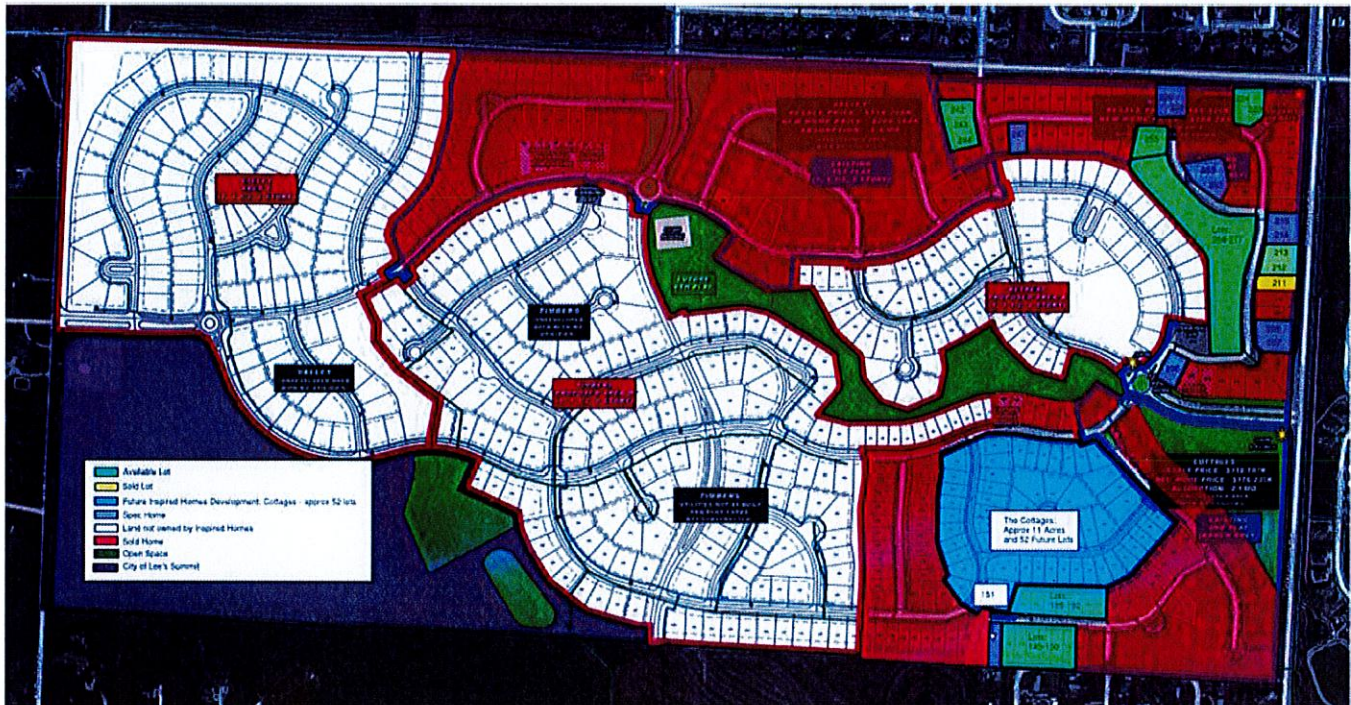
As part of this PDP amendment, Inspired Homes is not requesting to alter any of the approved district areas. Our current developed lots in the Retreat District will continue to only allow the construction of ranch and reverse 1 ½ story homes. This is the maintenance provided portion of Kensington Farms and we plan to continue to offer a smaller home for buyers looking to downsize or to take advantage of a lock and leave lifestyle.

Inspired Homes owns an additional 11 acres in the Cottages that we plan to develop in the future. The Cottages District allows for 1, 1 ½, and 2 story home construction. It is our intent to leave this district as previously approved and not request any changes. This area will be more market driven and allowing a broad spectrum of home types and styles provides needed flexibility. The capacity to construct multiple floorplans and elevations also ensures a unique streetscape with a mix of heights and material usage.

The below map identifies the different housing districts within Kensington Farms and future and existing plat boundaries. The map is from 2014; therefore, the lot information shown is not correct.



Below is an updated version of the 2014 map that shows the status of developed lots within Kensington Farms and the existing undeveloped area that was part of the original masterplan. Inspired Homes only own the undeveloped area shown in light blue below. It is an 11-acre parcel and will be developed in the future into approximately 52 single family lots. All the areas shown in white below are not developed and are not owned by Inspired Homes. Areas shown in red represent sold lots. An enlarged Legend for the below map is provided that identifies the status of each individual platted lot.



Map Legend:



The following tables summarizes the current lot count:

Sold Homes	230
Unsold Lots	36
Sold Lots	1
Spec Homes	11
Total Platted Lots	278

The following pages include the proposed elevations for each floorplan and describe in more detail the materials that will be used. Also included below are typical foundation plans for each floorplan. The

developed lots at Kensington Farms vary in size and shape. Additionally, some lots have easements that restrict the buildable area. Due to variables in lot size, at times adjustments might be required to the length of home or overall width. This is necessary to ensure that the footprint of the home remains within the required setbacks and allowed buildbox. Additionally, the elevations below represent the overall concept of the exterior design and are meant to serve as a guidebook going forward. Each home prior to permit is prepared by a registered Architect and minor modifications to the exterior components might be required. Typical modifications could include adding stone, adjusting the style of post on the front porch, adjusting the style of a peak detail, adding more trim detail, etc. These minor revisions are at times driven at the request of a buyer and at other times are driven by the builder to ensure variety in adjacent homes. The revisions are minor in nature and stay true to the original intent of the elevation while also providing variety when needed. The below elevations are to serve as a guidebook going forward for home construction in Kensington Farms, while also ensuring that the elevations are fluid and can adjust as needed to ensure a neighborhood that is cohesive but also provides diversity in the streetscape.

CALISTOGA:

The Calistoga is a 2,990 square foot 2-Story home with 5 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shaker siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.



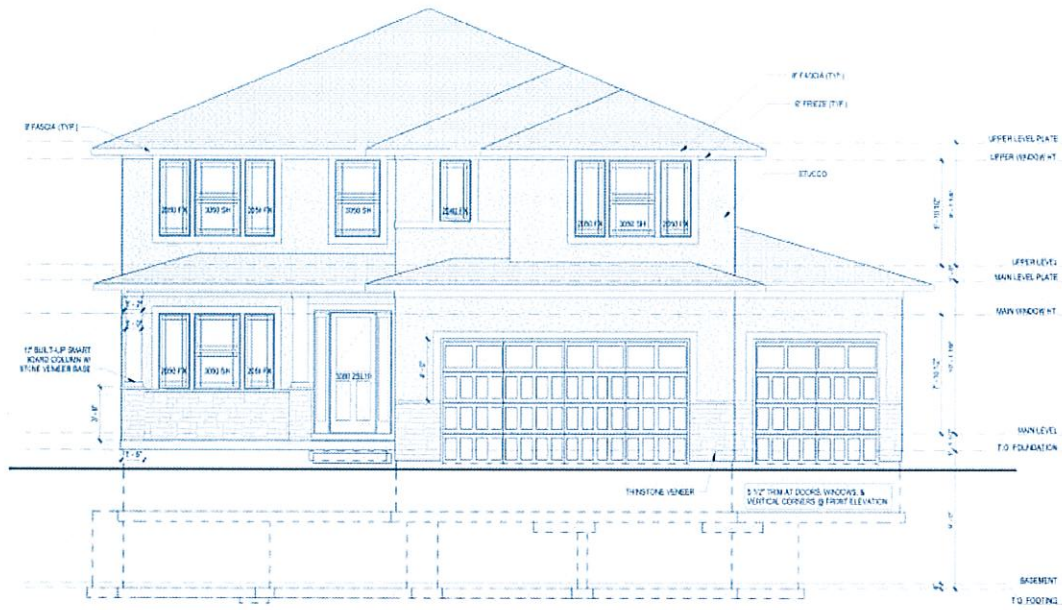
Modern Farmhouse



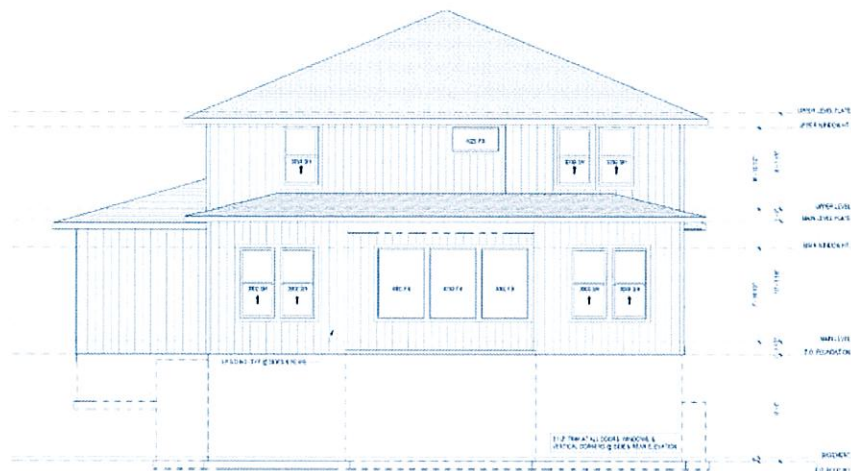
Prairie





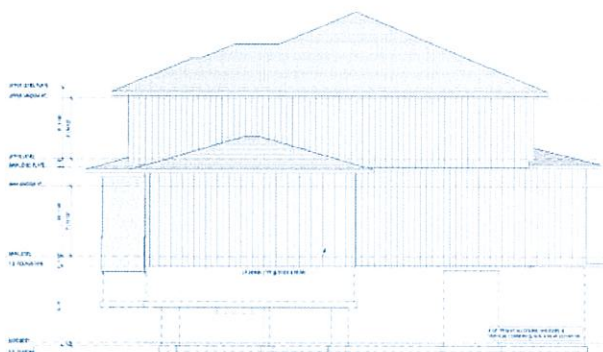


1
A210 1/2



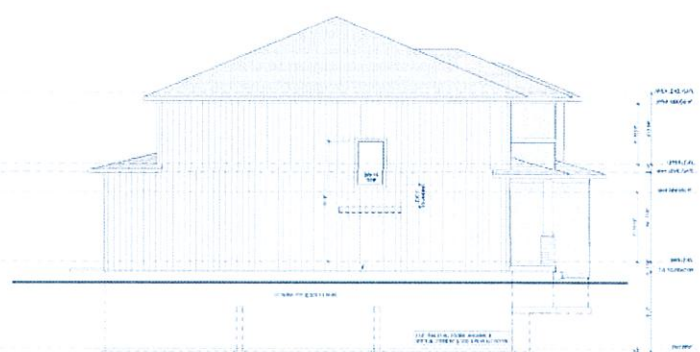
1 REAR ELEVATION

1/2\"/>



2 RIGHT ELEVATION

1/2\"/>



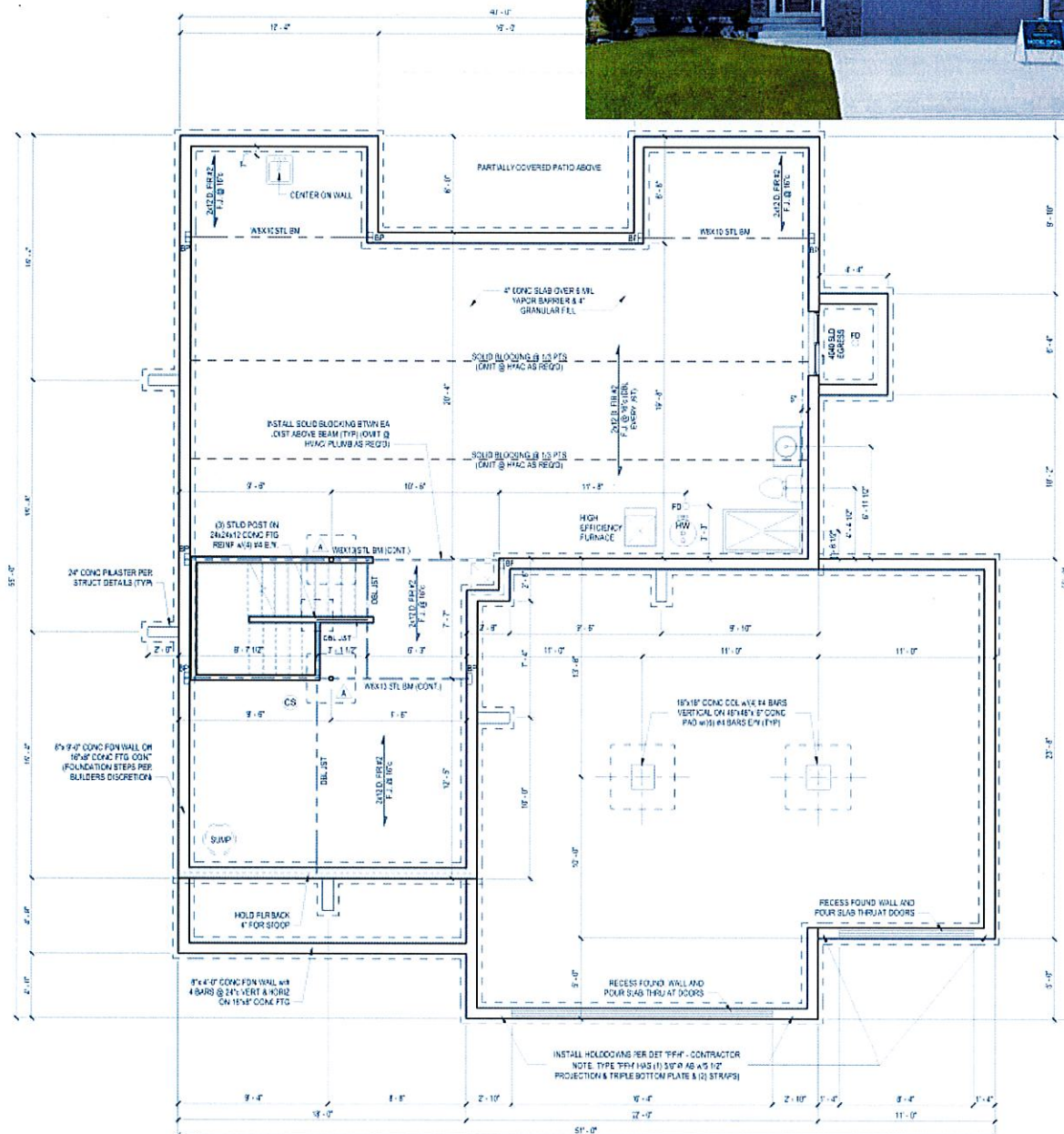
2 LEFT ELEVATION

1/2\"/>

Floor Plan Dimensions:

The following is a typical foundation plan for the Calistoga. Exact dimensions will vary slightly based on the front elevation that is constructed. Dimensions provided below are approximate and rounded to the nearest foot.

- Front door to face of garage: 9'
- Flex room to face of garage: 9'
- Front porch to face of garage: 4'
- Overall length of home: 55'

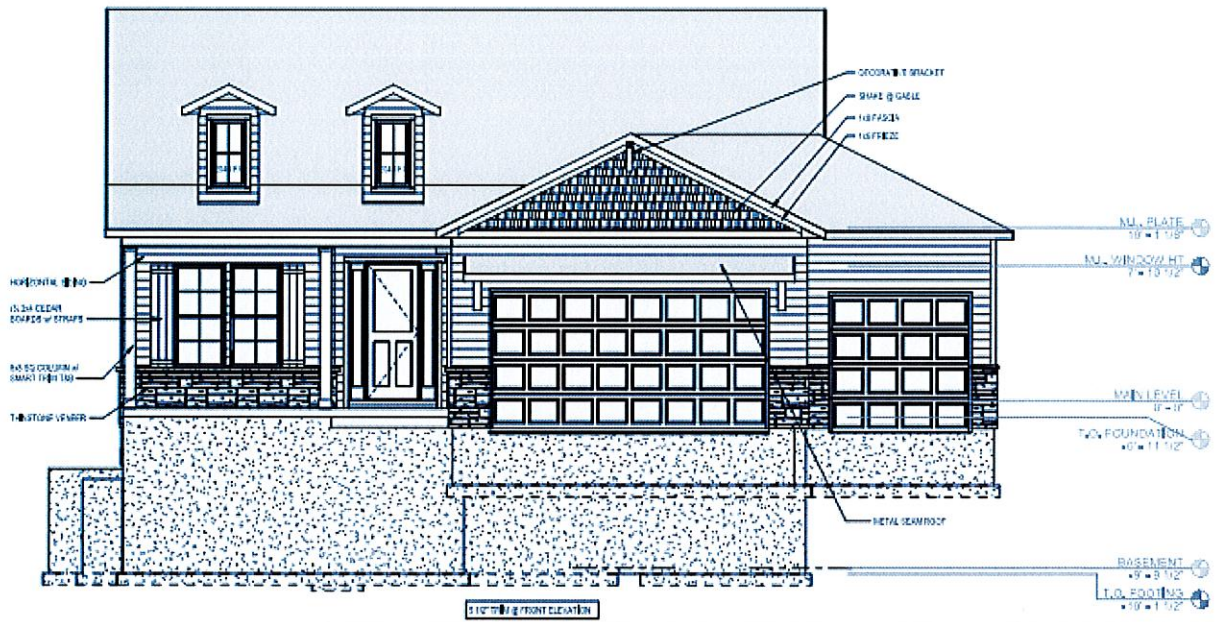


CARDINALE:

The Cardinale is a 2,640 square foot reverse 1 ½-Story home with 4 elevations. Materials to be used include stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.



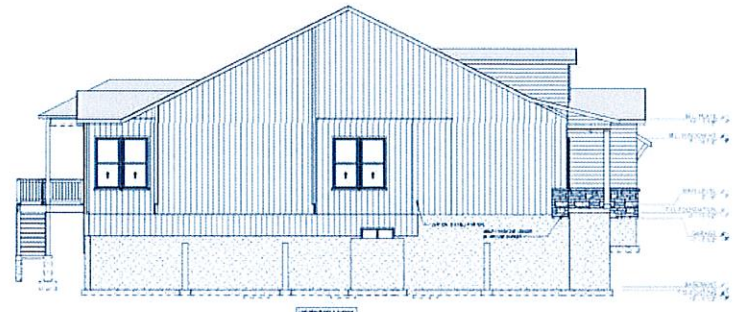
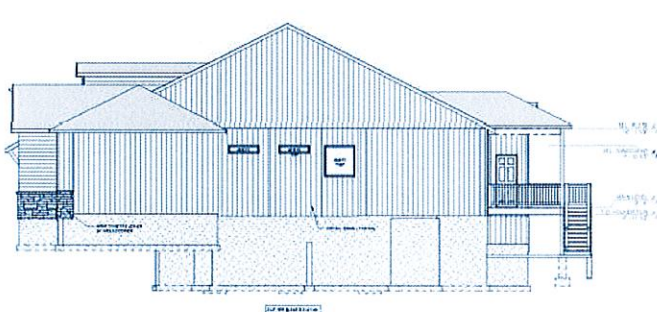




① FRONT
1/4" = 1'-0"



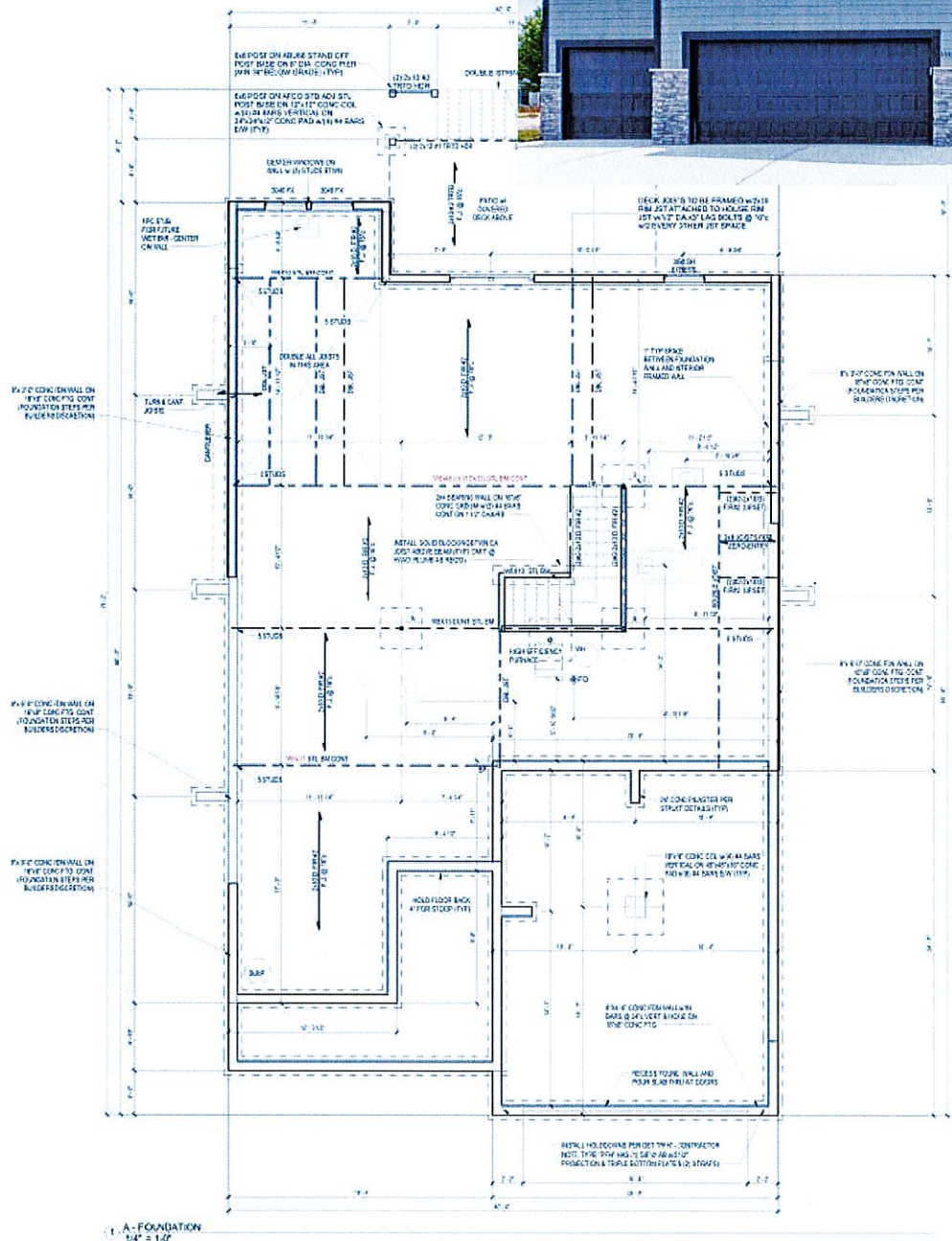
② BACK
1/4" = 1'-0"



Floor Plan Dimensions:

The following is a typical foundation plan for the Cardinale. Exact dimensions will vary slightly based on the front elevation that is constructed. Dimensions provided below are approximate and rounded to the nearest foot.

- Front door to face of garage: 18'
- Flex room to face of garage: 8'
- Front porch to face of garage: 3'
- Overall length of home: 61'

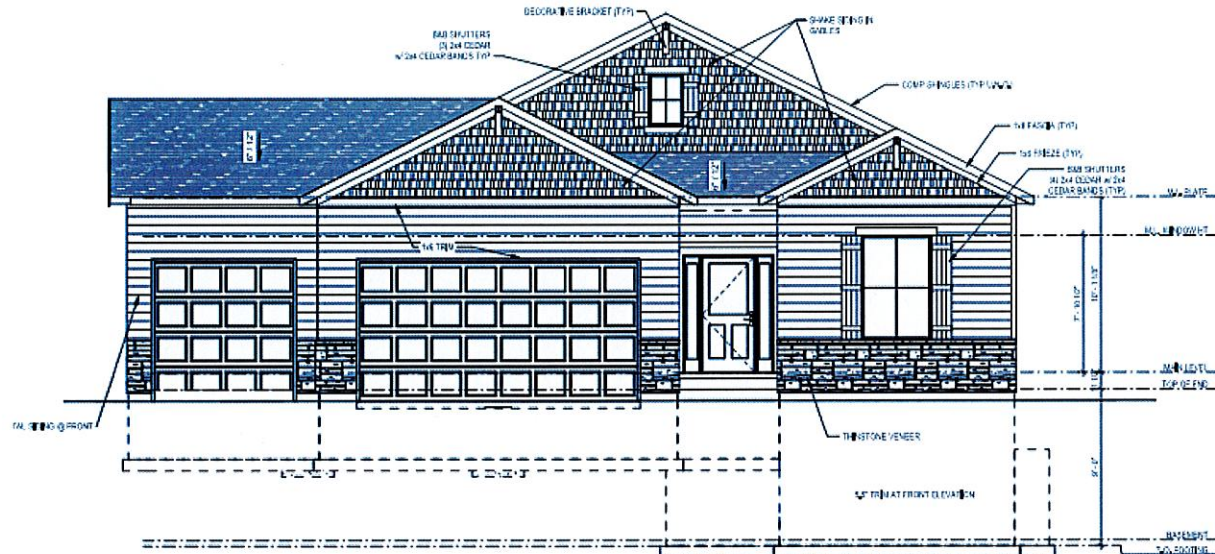


Danbury:

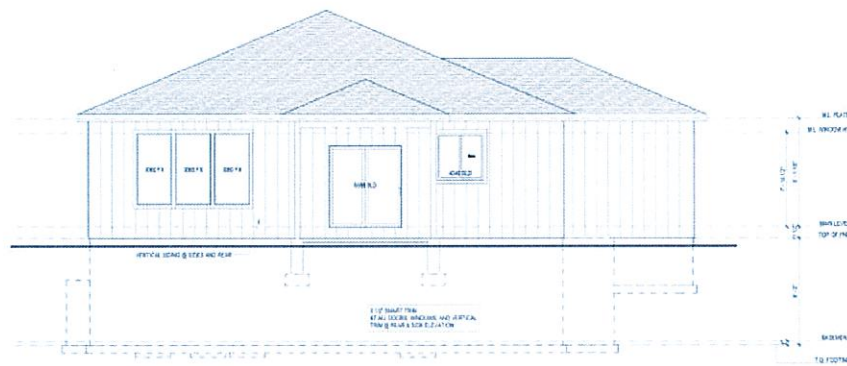
The Danbury is a 2,140 square foot reverse 1 ½ story home with 4 elevations. Materials to be used include stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.



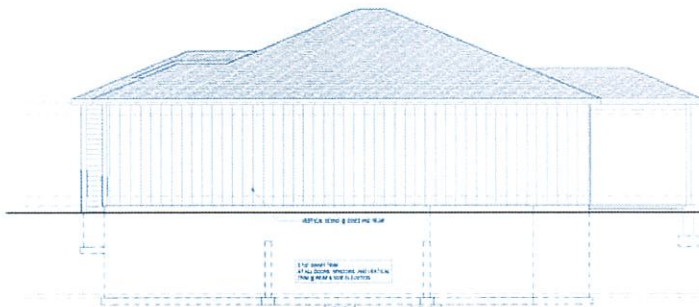




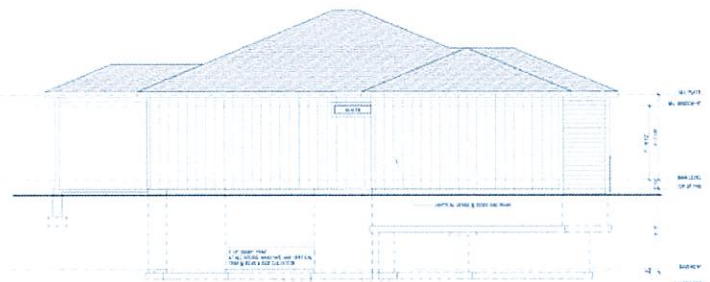
① FRONT ELEVATION
1/4" = 1'-0"



1. REAR ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1.4" = 1.0"

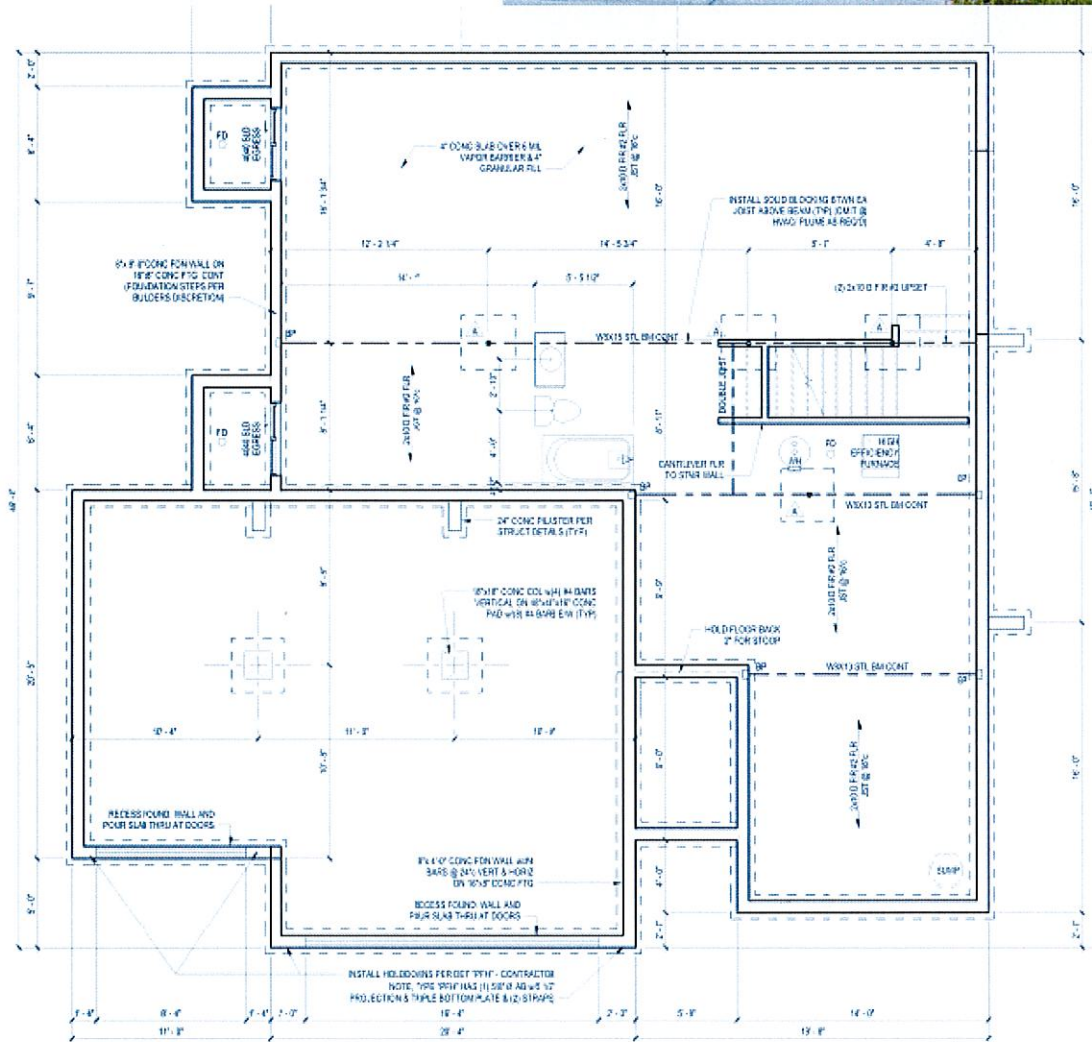


2. LEFT ELEVATION
1.4" = 1.0"

Floor Plan Dimensions:

The following is a typical foundation plan for the Danbury. Exact dimensions will vary slightly based on the front elevation that is constructed. Dimensions provided below are approximate and rounded to the nearest foot.

- Front door to face of garage: 15'
- Flex room to face of garage: 2'
- Front porch to face of garage: NA
- Overall length of home: 50'



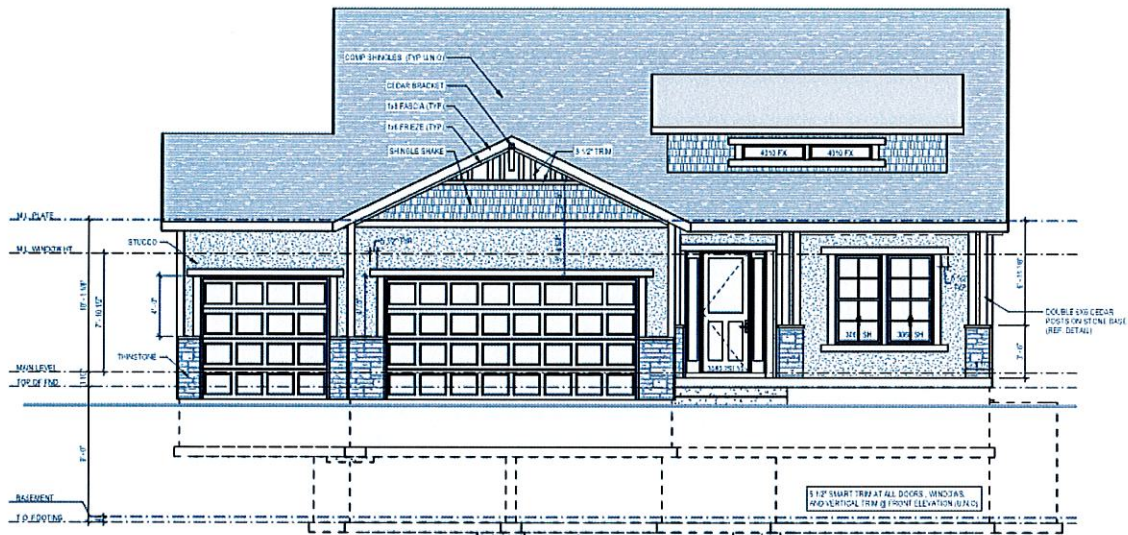
1 FOUNDATION PLAN
1/4" = 1'-0"

Fairfield:

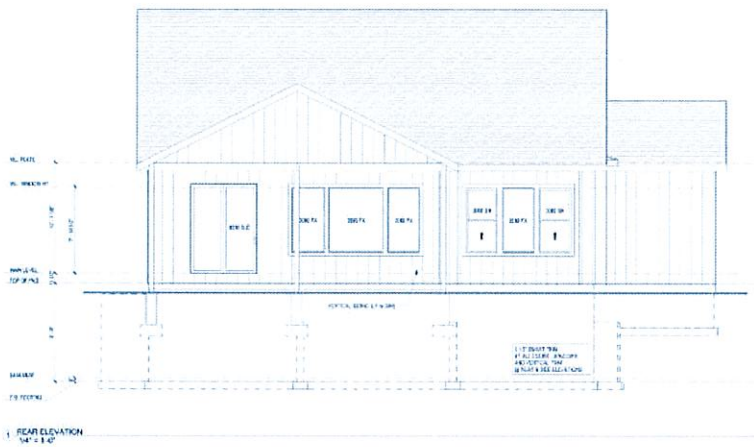
The Fairfield is a 2,720 square foot reverse 1 ½-Story home with 3 elevations. Materials to be used include stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters and posts. Final color palette to be selected by homeowner.



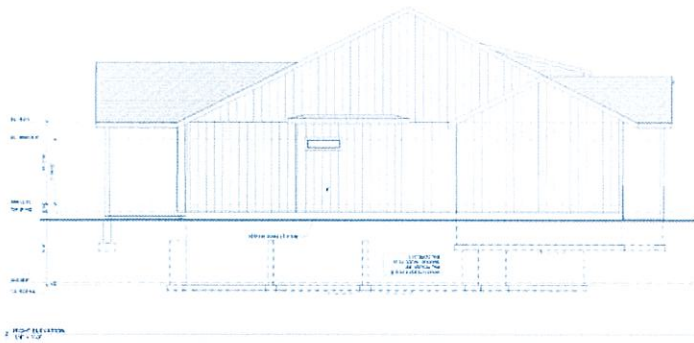




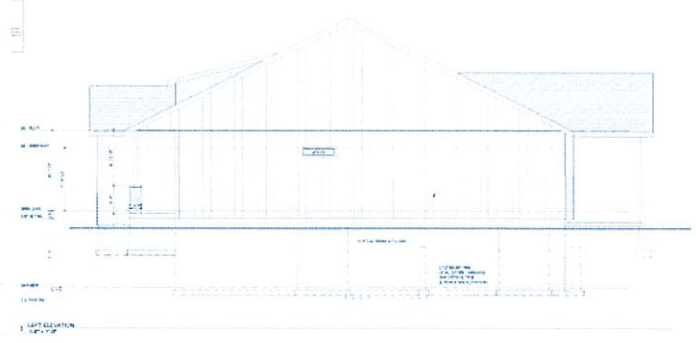
1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



3 RIGHT ELEVATION
1/4" = 1'-0"

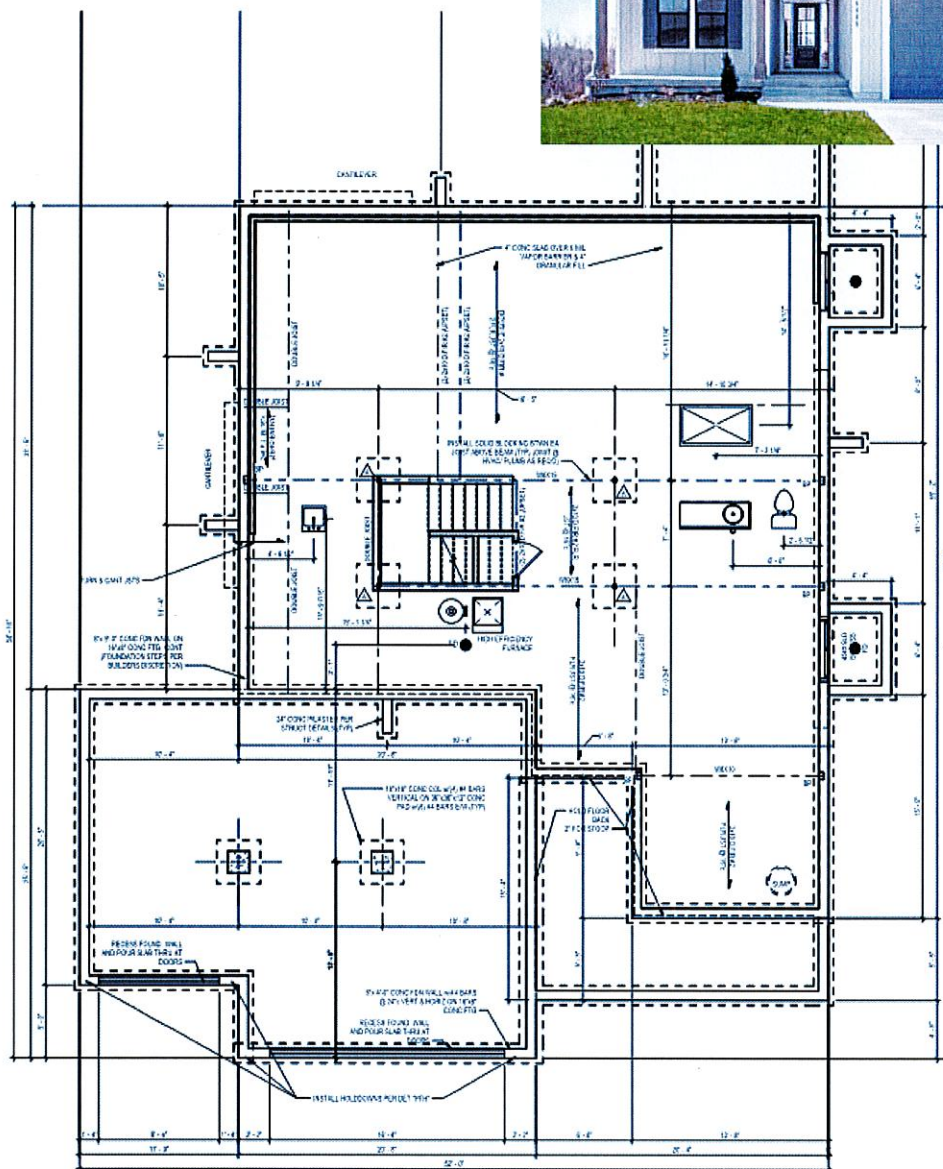


4 LEFT ELEVATION
1/4" = 1'-0"

Floor Plan Dimensions:

The following is a typical foundation plan for the Fairfield. Exact dimensions will vary slightly based on the front elevation that is constructed. Dimensions provided below are approximate and rounded to the nearest foot.

- Front door to face of garage: 20'
- Flex room to face of garage: 10'
- Front porch to face of garage: 4'
- Overall length of home: 59'

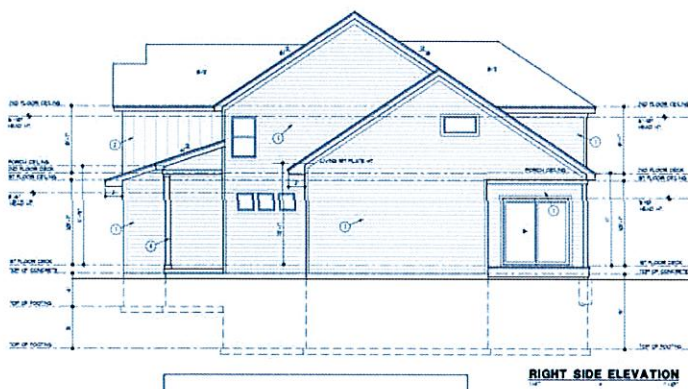
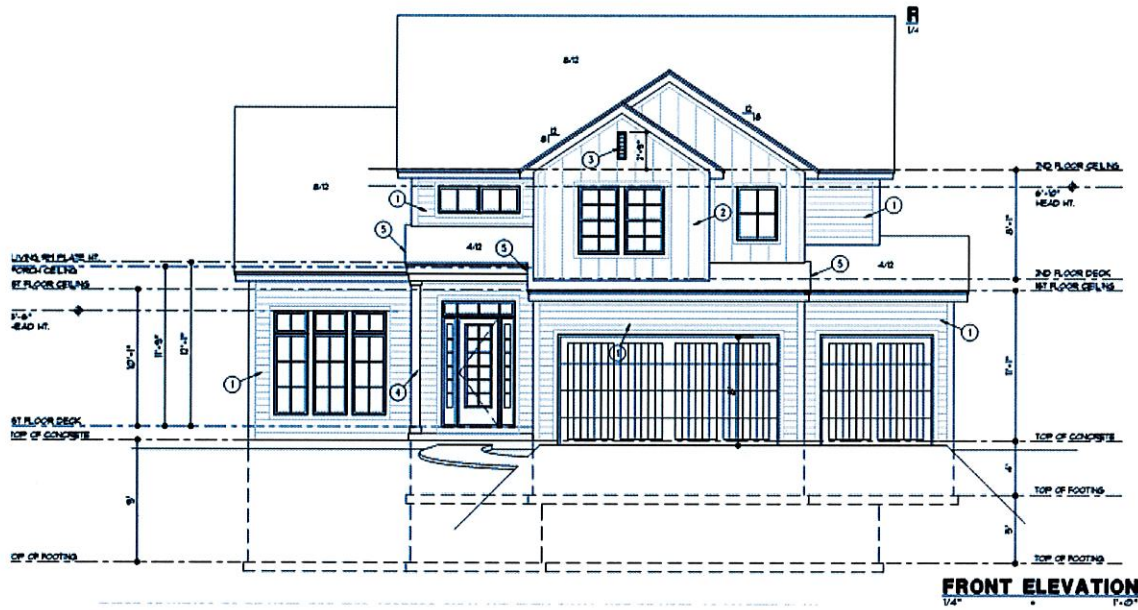


① FOUNDATION PLAN
1/4" = 1'-0"

Glenwood:

The Glenwood is a 2,975 square foot 2-Story home with 1 elevation. Materials to be used include lap siding and board and batten. Final color palette to be selected by homeowner.

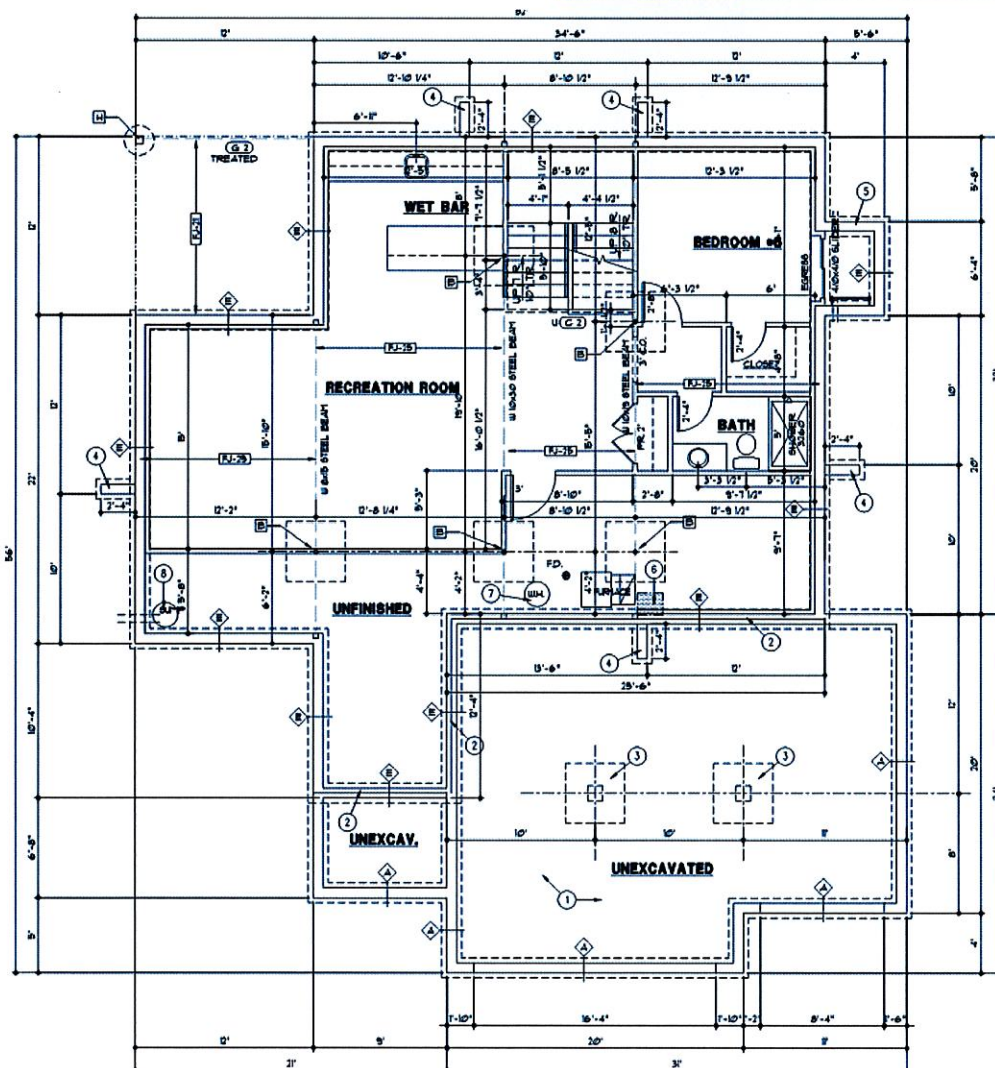




Floor Plan Dimensions:

The following is a typical foundation plan for the Glenwood. Exact dimensions will vary slightly based on the front elevation that is constructed. Dimensions provided below are approximate and rounded to the nearest foot.

- Front door to face of garage: 12'
- Flex room to face of garage: 21'
- Front porch to face of garage: 5'
- Overall length of home: 56'



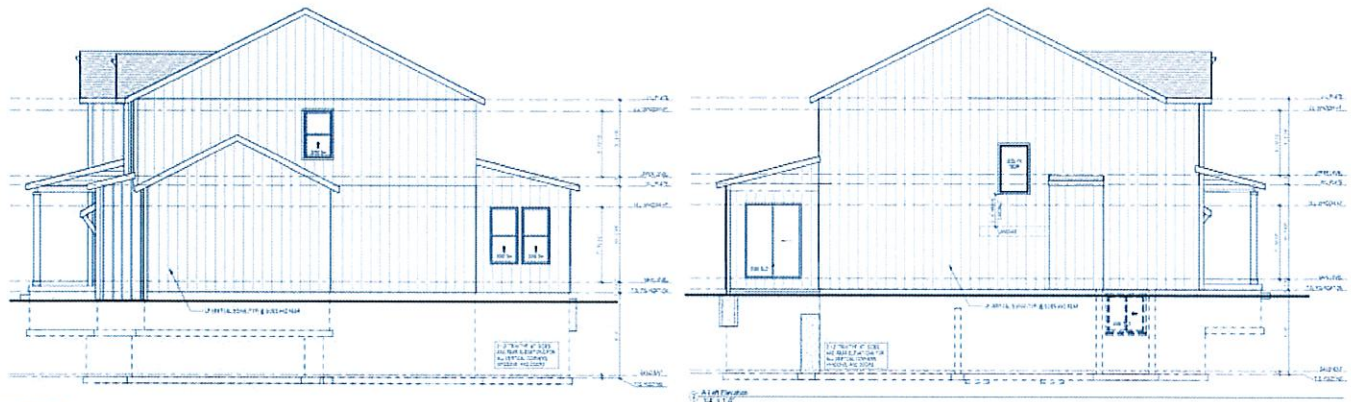
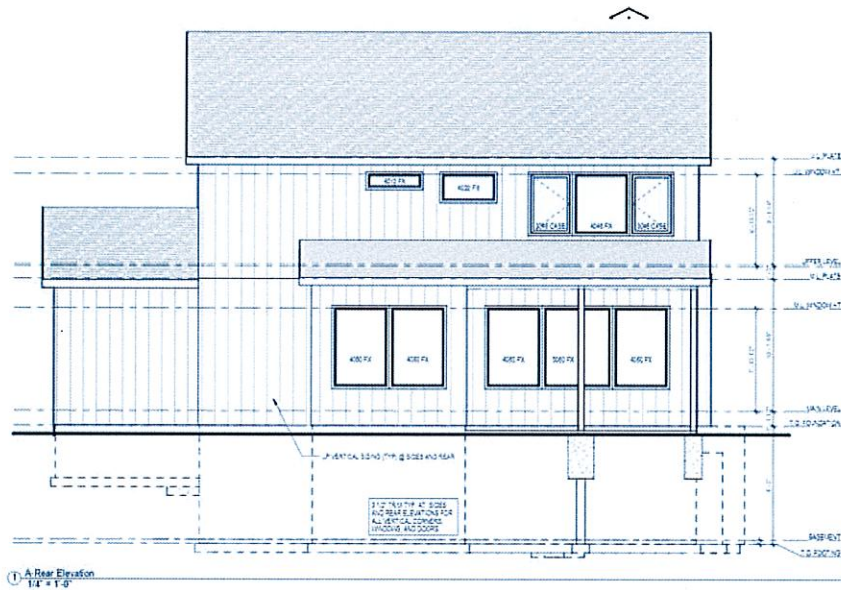
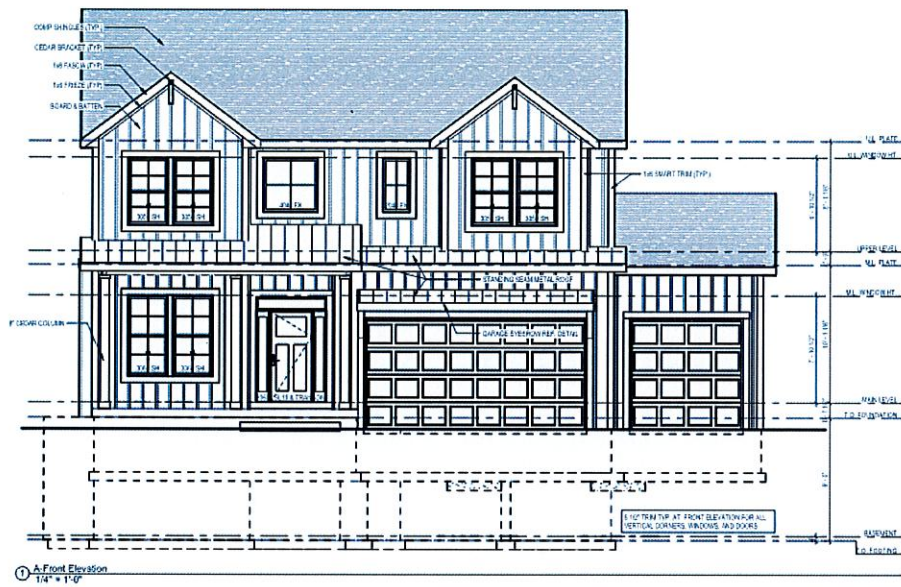
Inglennook:

The Inglennook is a 2,488 square foot 2-Story home with 5 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.





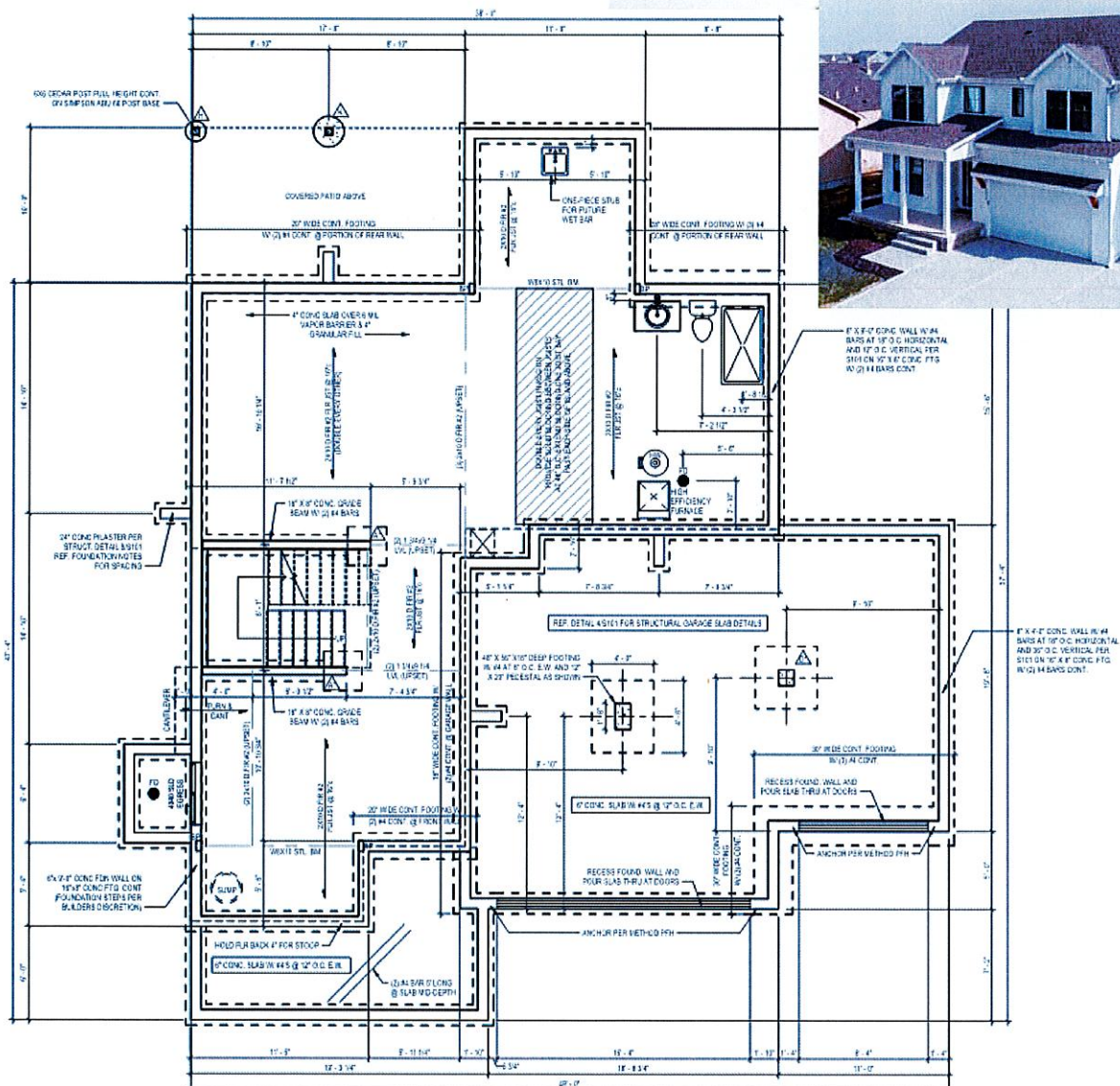




Floor Plan Dimensions:

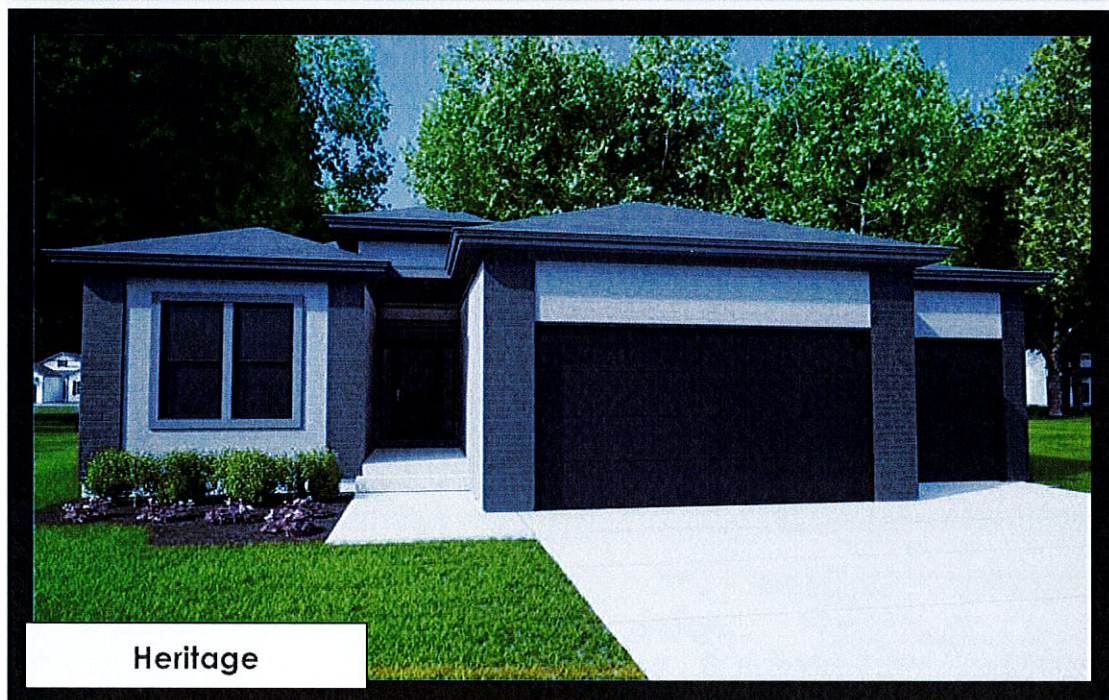
The following is a typical foundation plan for the Inglenook. Exact dimensions will vary slightly based on the front elevation that is constructed. Dimensions provided below are approximate and rounded to the nearest foot.

- Front door to face of garage: 5'
- Flex room to face of garage: Flush
- Front porch to face of garage: Porch extends 6'
- Overall length of home: 57'



Monterey:

The Monterey is a 2,771 square foot 1 ½ -Story home with 4 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.

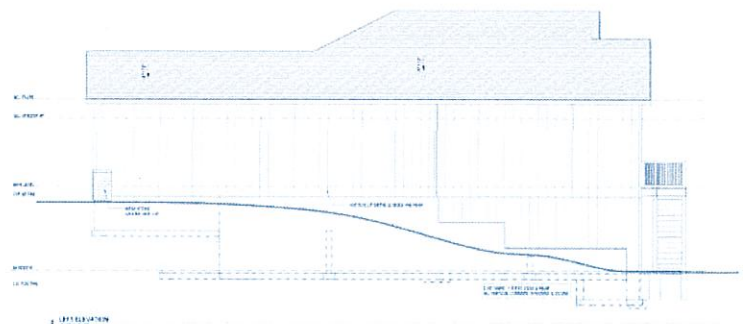
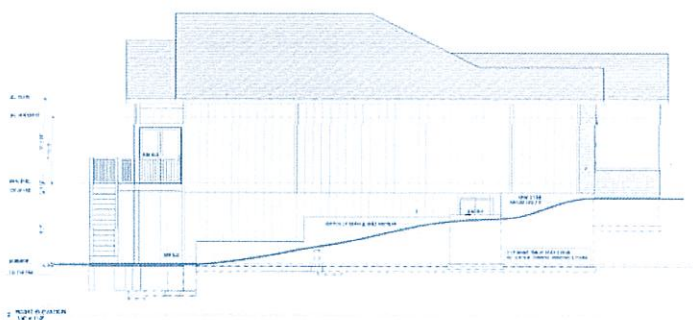
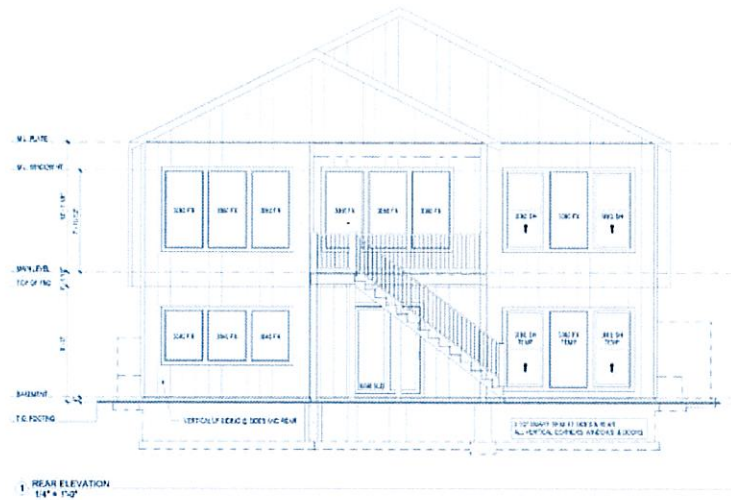
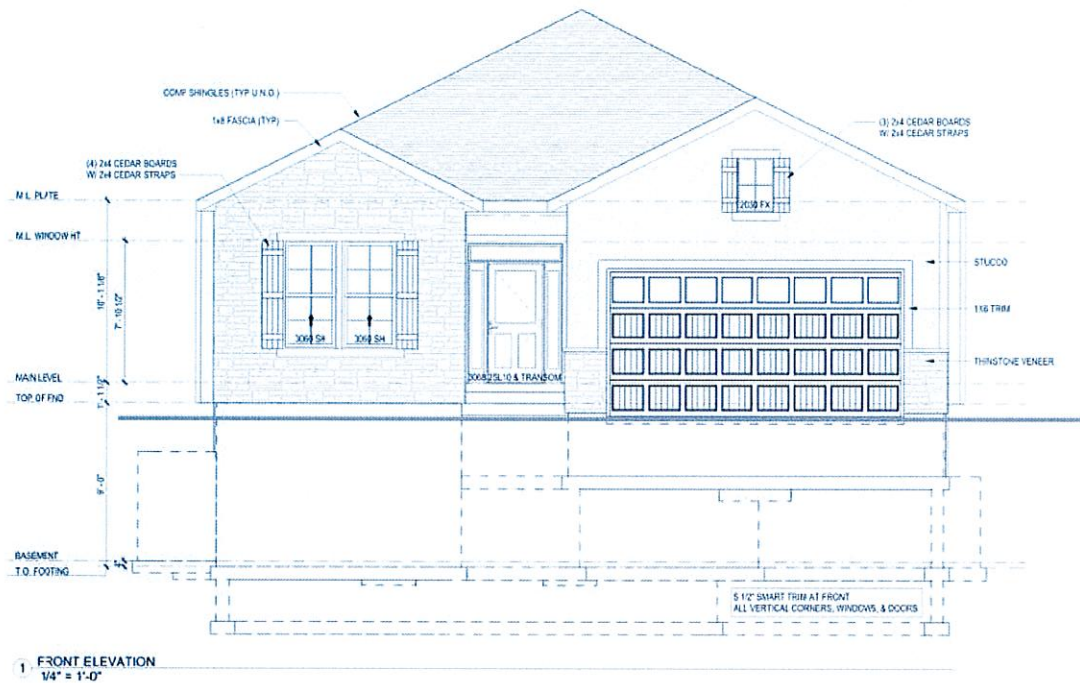




Farmhouse



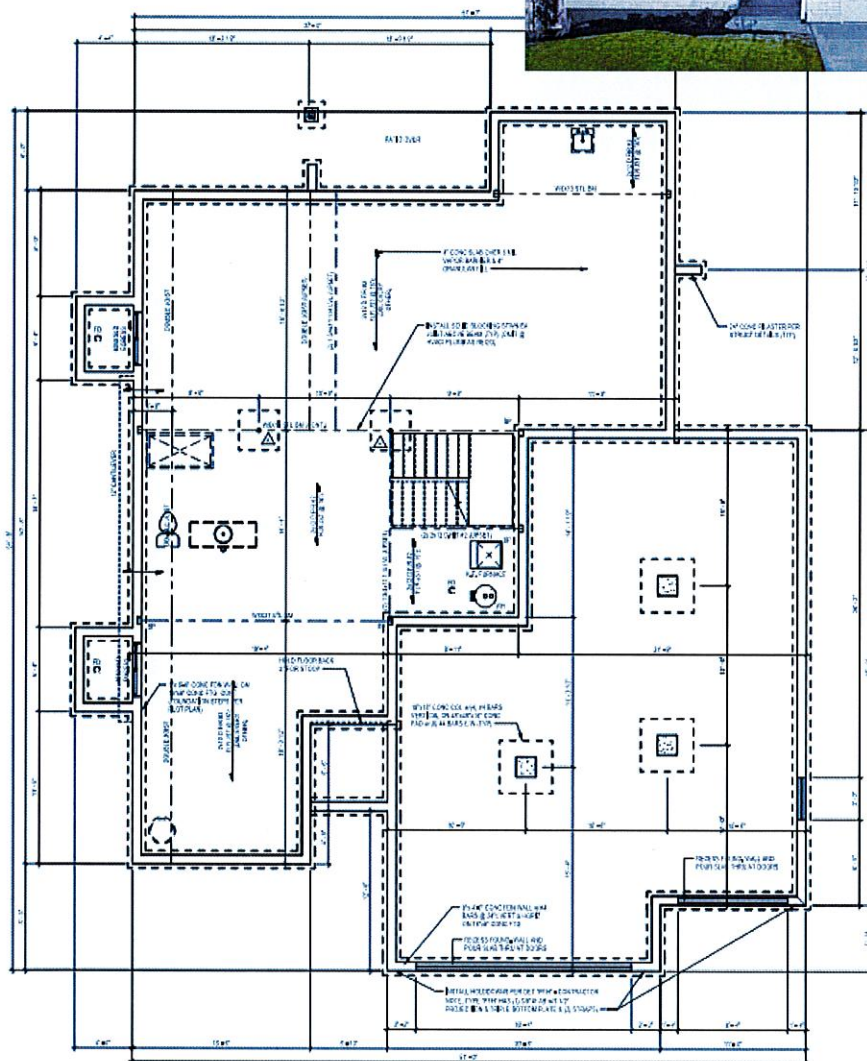
Craftsman



Floor Plan Dimensions:

The following is a typical foundation plan for the Monterrey. Exact dimensions will vary slightly based on the front elevation that is constructed. Dimensions provided below are approximate and rounded to the nearest foot.

- Front door to face of garage: 19'
- Flex room to face of garage: 8'
- Front porch to face of garage: NA
- Overall length of home: 65'



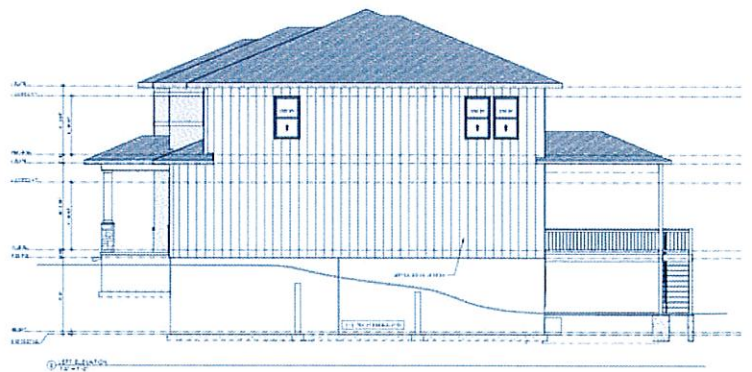
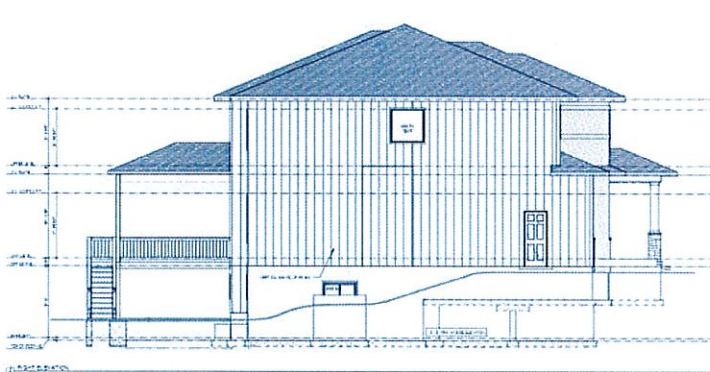
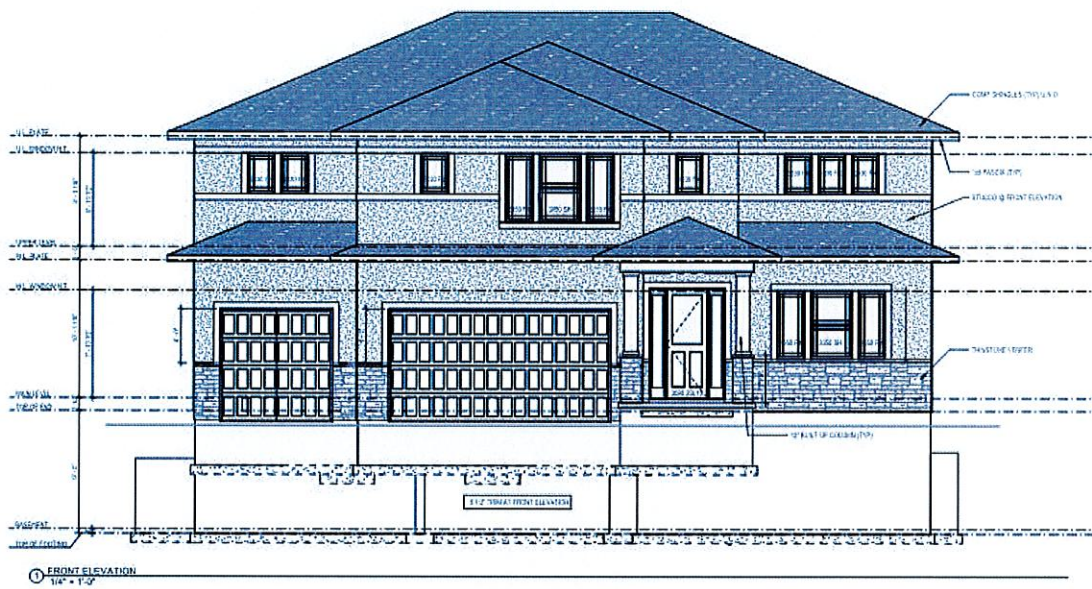
① FOUNDATION PLAN
1/4" = 1'-0"

Opus:

The Opus is a 3,300 square foot 2-Story home with 3 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters and posts. Final color palette to be selected by homeowner.



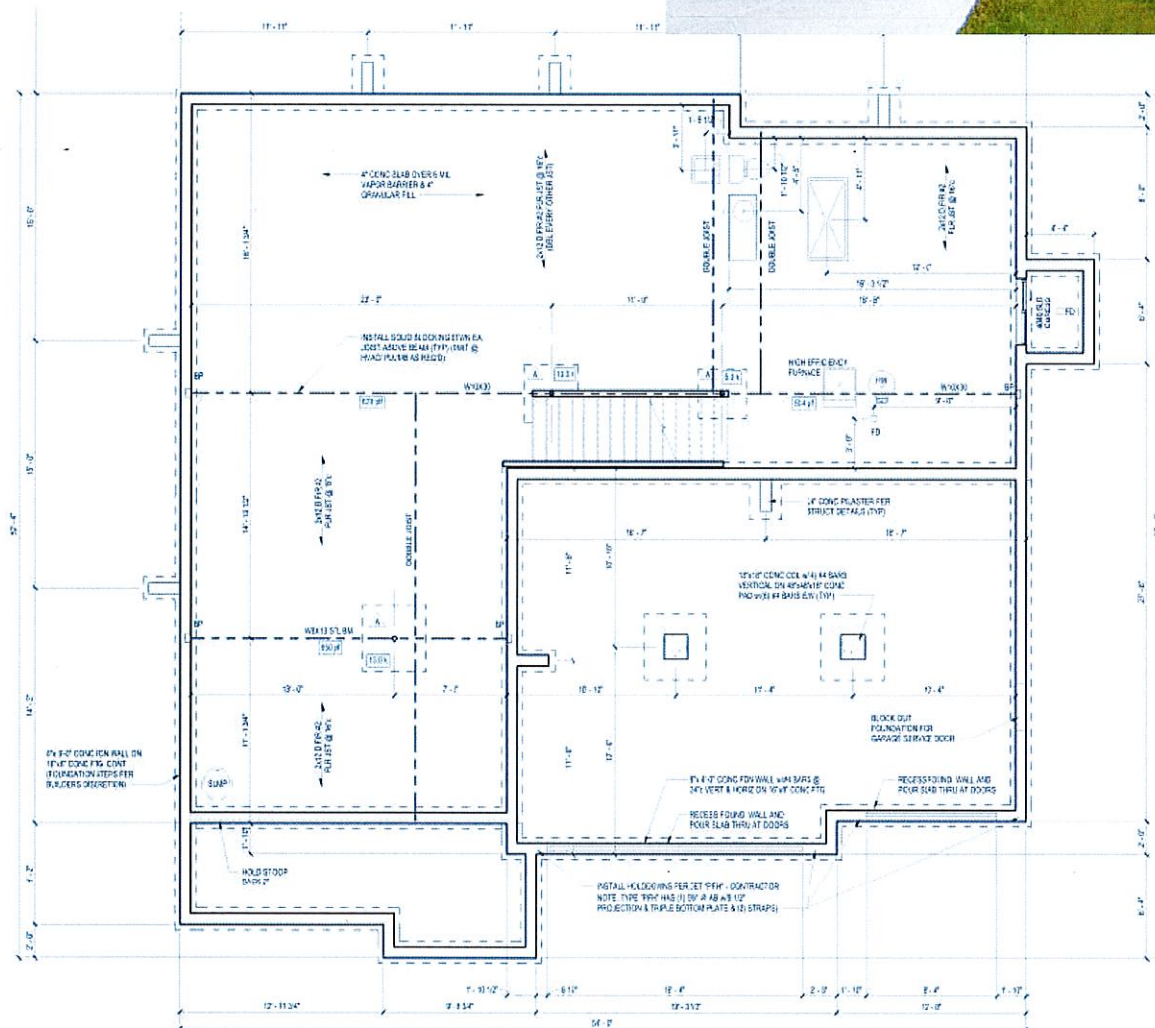




Floor Plan Dimensions:

The following is a typical foundation plan for the Opus. Exact dimensions will vary slightly based on the front elevation that is constructed. Dimensions provided below are approximate and rounded to the nearest foot.

- Front door to face of garage: 2'
- Flex room to face of garage: 2'
- Front porch to face of garage: Porch extends 6'
- Overall length of home: 52'



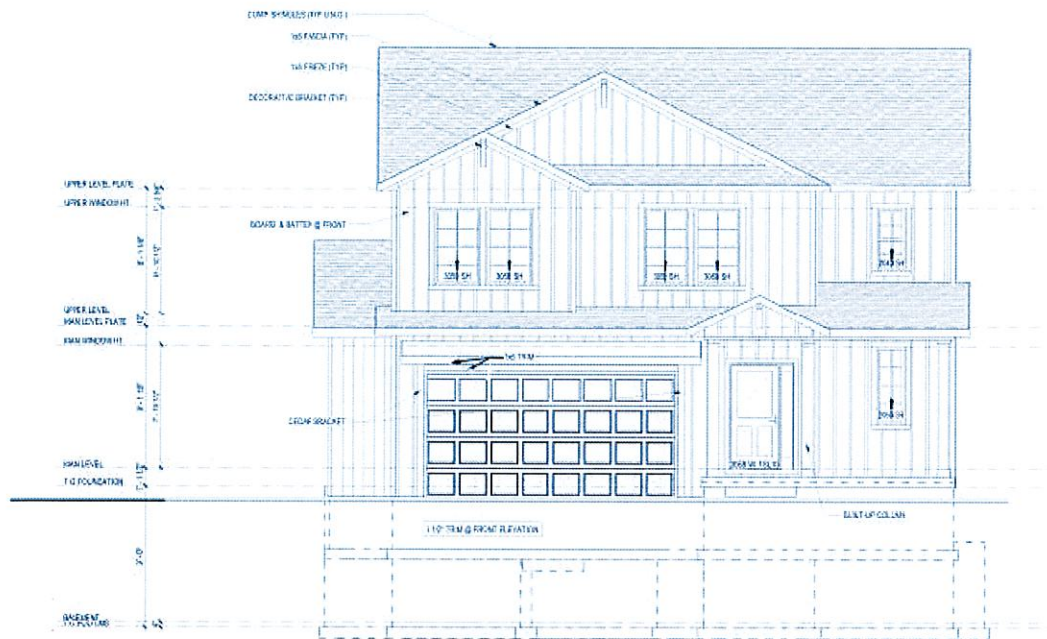
1 FOUNDATION PLAN
1/4" = 1'-0"

Rutherford:

The Rutherford is a 2,060 square foot 2-Story home with 4 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.

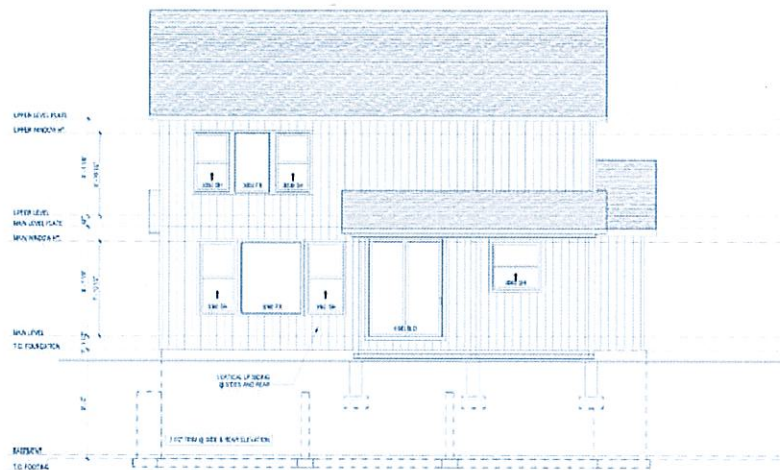






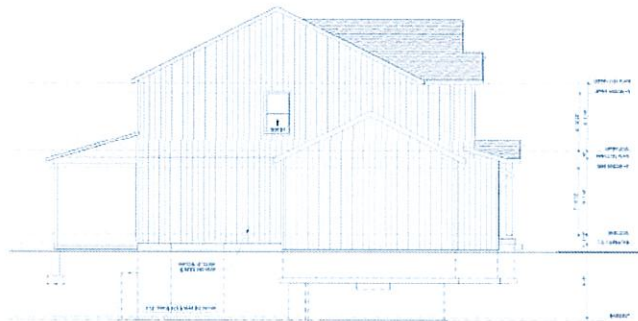
1 FRONT ELEVATION

ASIS 1/4" = 1'-0" ARCHITECTURAL SCALE / ARCHITECTURE 502



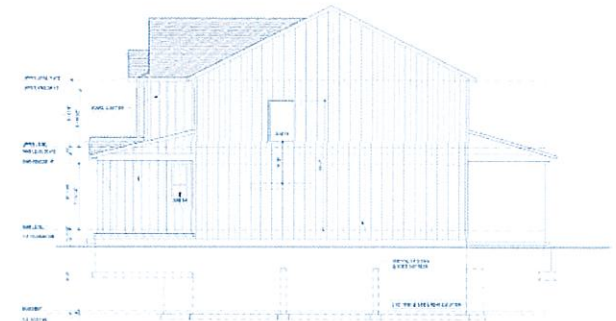
1 REAR ELEVATION

ASIS 1/4" = 1'-0" ARCHITECTURAL SCALE / ARCHITECTURE 502



2 RIGHT ELEVATION

ASIS 1/4" = 1'-0" ARCHITECTURAL SCALE / ARCHITECTURE 502



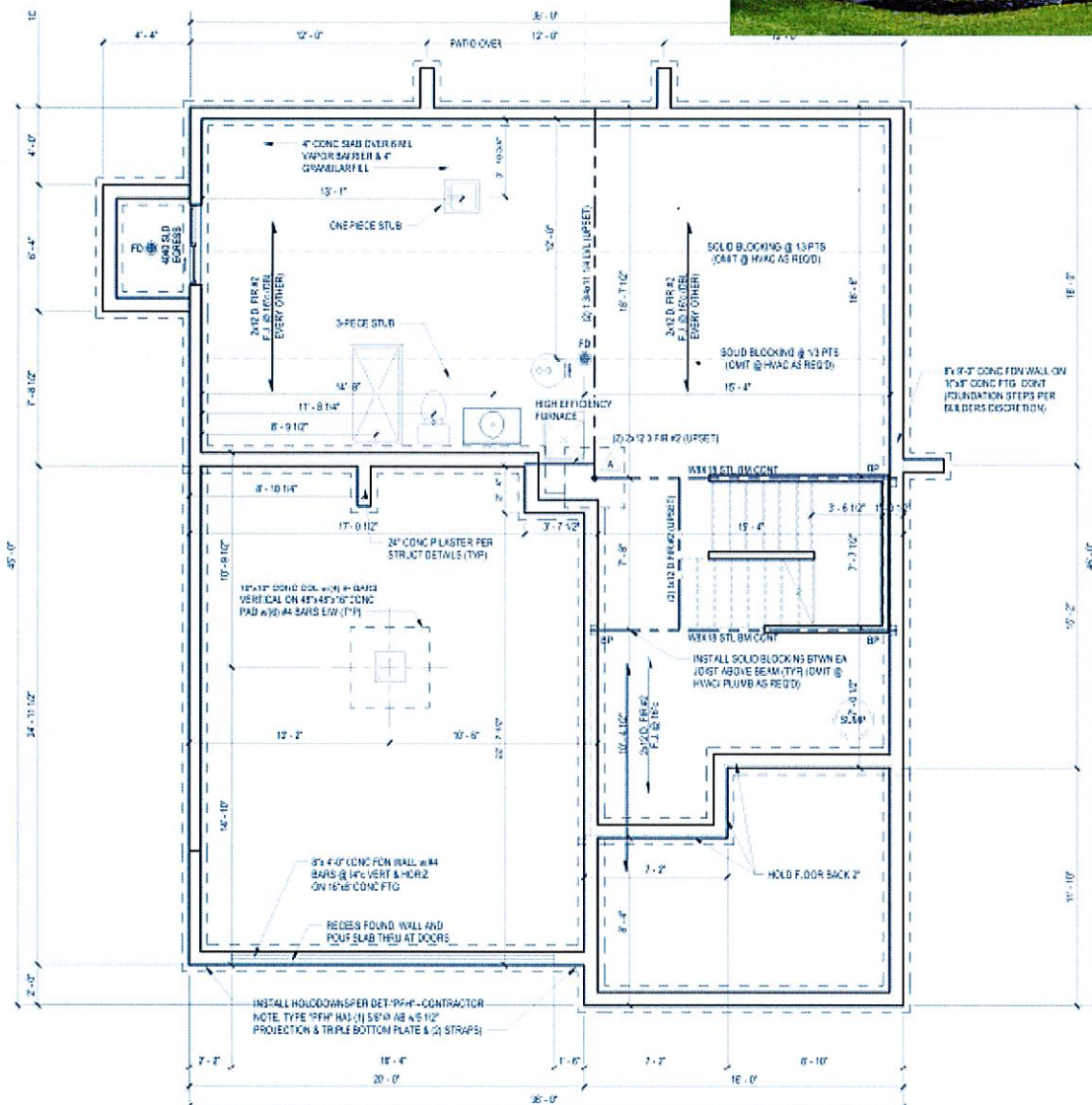
2 LEFT ELEVATION

ASIS 1/4" = 1'-0" ARCHITECTURAL SCALE / ARCHITECTURE 502

Floor Plan Dimensions:

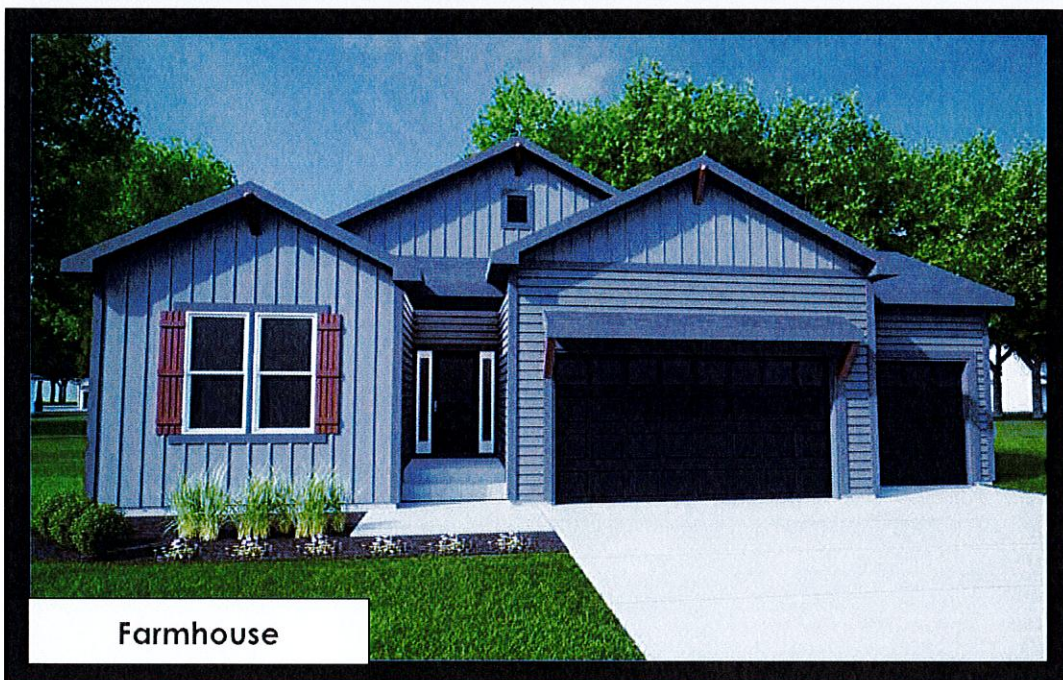
The following is a typical foundation plan for the Rutherford. Exact dimensions will vary slightly based on the front elevation that is constructed. Dimensions provided below are approximate and rounded to the nearest foot.

- Front door to face of garage: 6'
- Flex room to face of garage: 9'
- Front porch to face of garage: Porch extends 2'
- Overall length of home: 45'

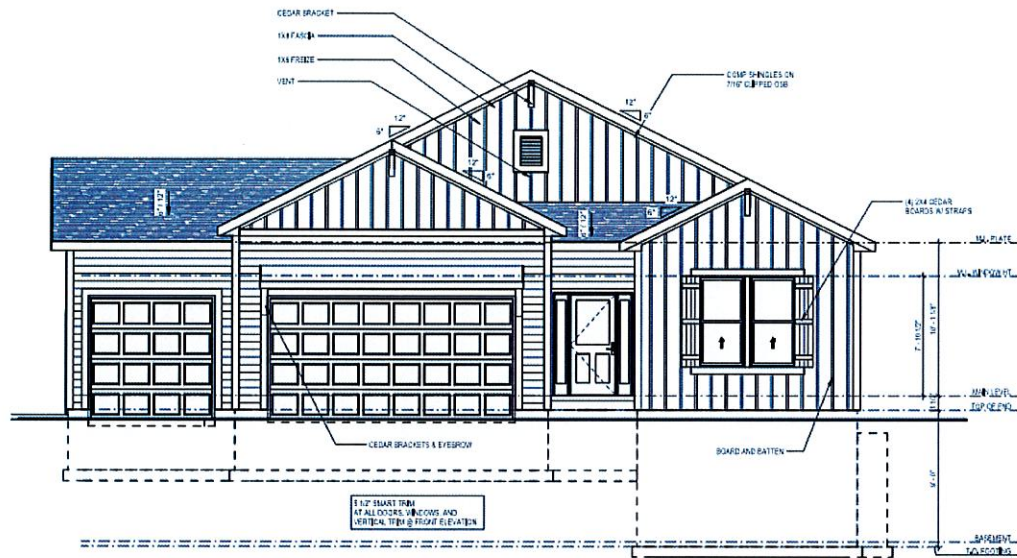


Sonoma:

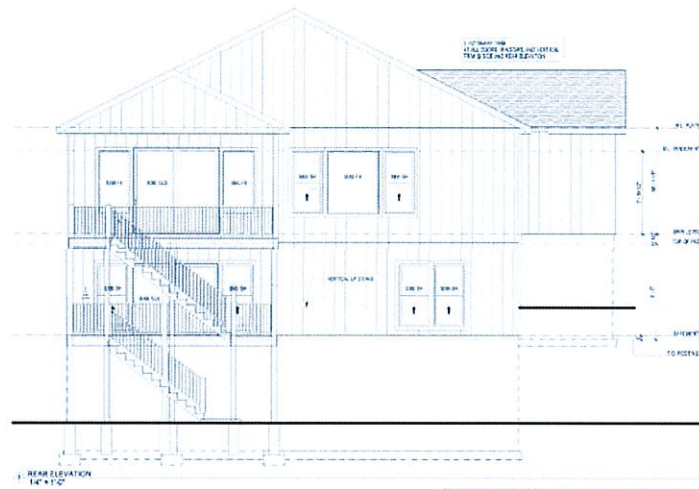
The Sonoma is a 2,960 square foot Ranch home with 3 elevations. Materials to be used include stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters and posts. Final color palette to be selected by homeowner.



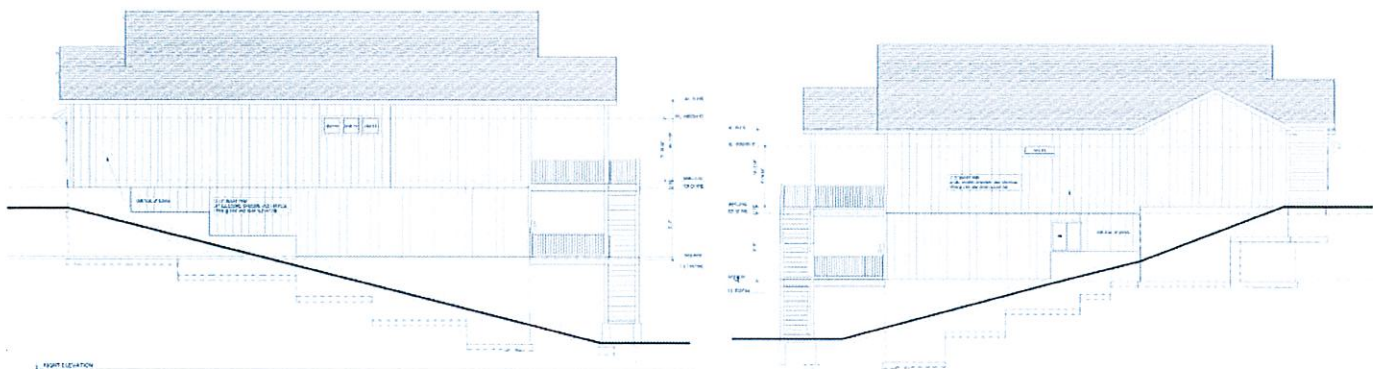




① FRONT ELEVATION
1/4" = 1'-0"



② REAR ELEVATION
1/4" = 1'-0"

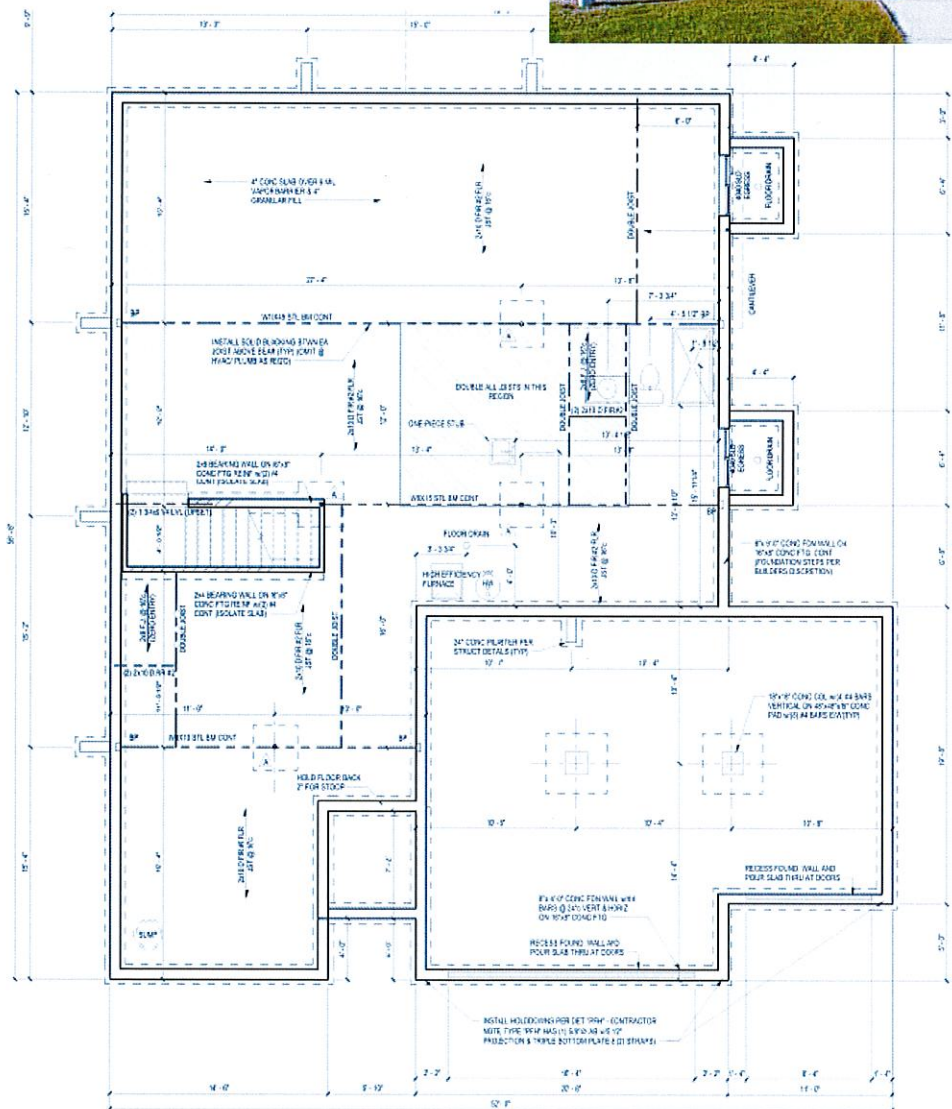


③ SIDE ELEVATION
1/4" = 1'-0"

Floor Plan Dimensions:

The following is a typical foundation plan for the Sonoma. Exact dimensions will vary slightly based on the front elevation that is constructed. Dimensions provided below are approximate and rounded to the nearest foot.

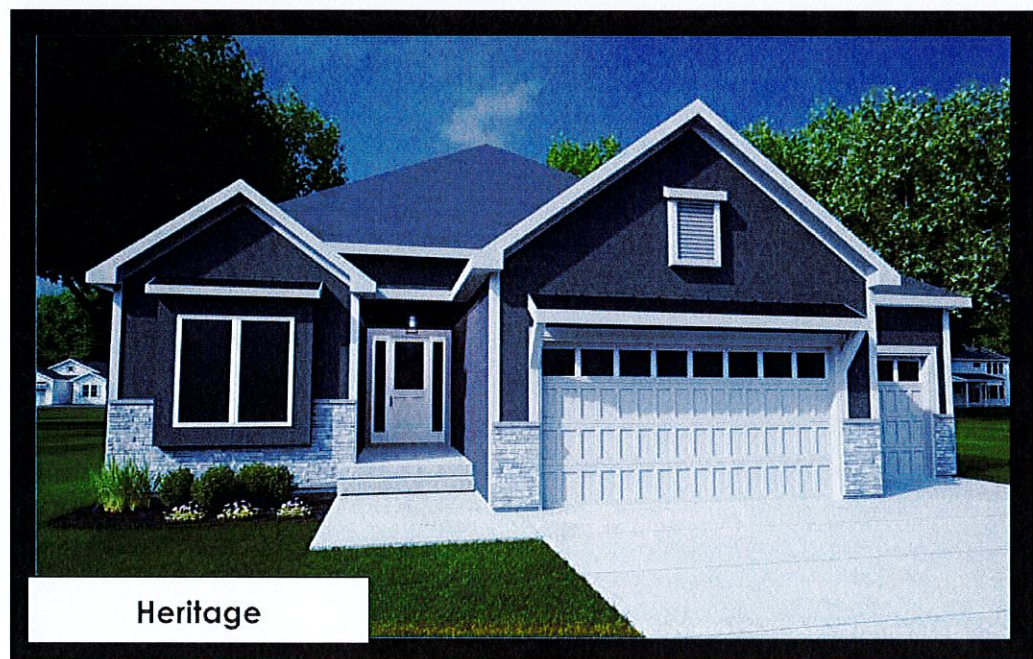
- Front door to face of garage: 11'
- Flex room to face of garage: Flush
- Front porch to face of garage: NA
- Overall length of home: 59'



1. FOUNDATION PLAN
1/4" = 1'-0"

Windsor:

The Windsor is a 3,460 square foot 1 ½ -Story home with 4 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.





1. **FRONT ELEVATION**
3/4" = 1'-0"



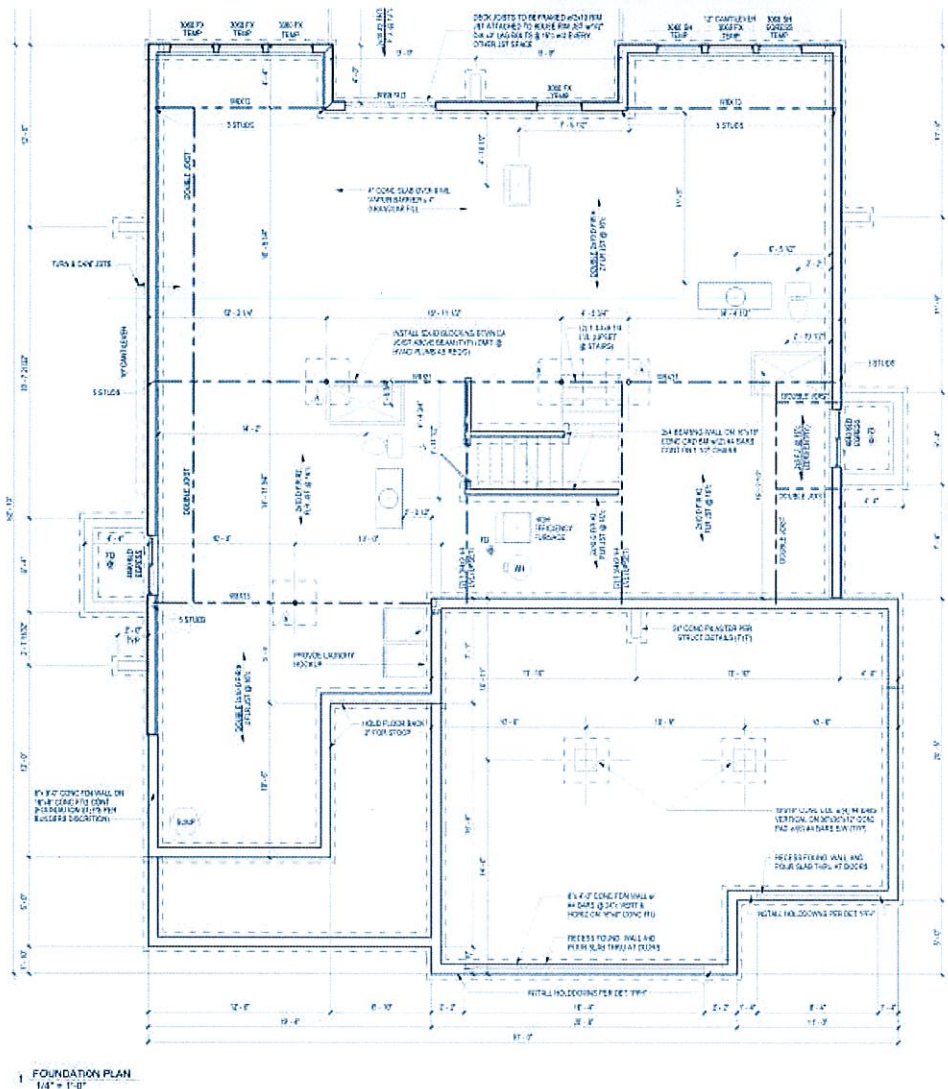
1. REAR ELEVATION
14' x 10'

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Floor Plan Dimensions:

The following is a typical foundation plan for the Windsor. Exact dimensions will vary slightly based on the front elevation that is constructed. Dimensions provided below are approximate and rounded to the nearest foot.

- Front door to face of garage: 18'
- Flex room to face of garage: 8'
- Front porch to face of garage: 2'
- Overall length of home: 63'



Constructed Homes:

The following pictures represent homes that have been constructed in other communities in the KC metro. The pictures represent real world application of the elevations we are seeking approval of as part of the PDP amendment. The pictures demonstrate that the garage extends out slightly from the front exterior but proportional to the home. Additionally, many of the elevations include details above the garage doors or front porches to aesthetically enhance the front facade.





The below images are of the Fairfield. The Fairfield is our reverse floorplan that has the largest protrusion of the garage from the front face of the home. This measurement is approximately 10' when measured from the front flex room to the face of garage. The Fairfield has a front porch and dormers incorporated into all elevations that Inspired Homes offers, which cohesively blends the front facade into the garage. The below images are of the craftsman elevation and farmhouse elevation.

