

IN WITNESS WHEREOF:

WALSER REAL ESTATE, LLC, A MINNESOTA LIMITED LIABILITY COMPANY LICENSED TO DO BUSINESS IN THE STATE OF MISSOURI, HAS CAUSED THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF _____ 2023.

WALSER REAL ESTATE, LLC, A MINNESOTA LIMITED LIABILITY COMPANY

STATE OF MINNESOTA COUNTY OF HENNEPIN

BE IT REMEMBERED THAT ON THIS _____ DAY OF _____ 2023, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, CAME _____ TO ME PERSONALLY KNOWN, WHO BEING BY ME DULY SWORN, DID SAY THAT _____ IS _____ OF WALSER REAL ESTATE, LLC A MINNESOTA LIMITED LIABILITY COMPANY AND THAT SAID INSTRUMENT WAS SIGNED IN BEHALF OF SAID LIMITED LIABILITY COMPANY AND THAT SAID _____ ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY.

IN WITNESS WHEREOF:

I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL IN THE DATE HEREIN LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

FLOODPLAIN:

THE SUBJECT PROPERTY IS LOCATED IN "ZONE X" (AREAS OF MINIMAL FLOODING) ACCORDING TO "FLOOD INSURANCE RATE MAP" COMMUNITY PANEL NO. 29095C04176, JACKSON COUNTY, MISSOURI FLOOD MAP REVISED JANUARY 20, 2017.

DRAINAGE NOTE:

INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW PATHS ON THE LOTS.

OIL AND GAS WELLS:

NO OIL OR GAS WELLS AFFECT THIS PROPERTY AS LISTED IN 07-28-2022 OIL AND GAS WELLS DATABASE AS DISPLAYED ON MISSOURI DEPARTMENT OF NATURAL RESOURCES WEBSITE.

PROPERTY DESCRIPTION:

LOT 1A, SUMMIT INNOVATION CENTER, LOTS 1A & 1B, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

UTILITY EASEMENT:

AN EASEMENT OR LICENSE IS HEREBY GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI, TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF POLES, WIRES, ANCHORS, CONDUITS, AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENTS" (U.E.) OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE ON THIS PLAT. GRANTOR, ON BEHALF OF HIMSELF, HIS HEIRS, HIS ASSIGNS AND SUCCESSORS IN INTEREST, HEREBY WAIVES, TO THE FULLEST EXTENT ALLOWED BY LAW, INCLUDING, WITHOUT LIMITATION, SECTION 527.188, RSMO. (2006), ANY RIGHT TO REQUEST RESTORATION OF RIGHTS PREVIOUSLY TRANSFERRED AND VACATION OF THE EASEMENT HEREIN GRANTED.

PREPARED FOR:

OWN, INC C/O JOHN V. HUSS, P.E. 4240 PHILIPS FARM ROAD, STE 101 COLUMBIA, MO 65201

PLAT DEDICATION:

THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER AS SHOWN ON THE ACCOMPANYING PLAT, WHICH SUBDIVISION AND PLAT SHALL HEREAFTER BE KNOWN AS:

SUMMIT INNOVATION CENTER, LOTS 1A-1 & 1A-2

BUILDING LINES:

BUILDING LINES OR SETBACK LINES ARE HEREBY ESTABLISHED, AS SHOWN ON THE ACCOMPANYING PLAT, AND NO BUILDING OR PORTION THEREOF SHALL BE BUILT BETWEEN THIS LINE AND THE LOT LINE NEAREST THERETO.

SURVEYORS NOTES:

1. PROPERTY INFORMATION REFERENCING THIS SURVEY WAS TAKEN FROM THE COMMITMENT FOR TITLE INSURANCE REPORT, ISSUED BY CHICAGO TITLE COMPANY, LLC. FILE NO. KCC230206, EFFECTIVE JANUARY 26, 2023 AT 8:00 A.M.

NOTE: THIS SURVEYOR HAS MADE NO SEARCH AT THE COUNTY REGISTER OF DEEDS OFFICE OR SEARCHED COURT DOCUMENTS FOR EASEMENTS, VACATIONS, RIGHT-OF-WAY ACQUISITIONS, CONDEMNATIONS, COURT DECREES OR ENCUMBRANCES THAT MAY AFFECT THIS PROPERTY. THE AFOREMENTIONED ITEMS SHOWN HEREON, IF ANY, ARE BASED ENTIRELY UPON THE TITLE REPORT, COMMITMENT, OR OWNERSHIP AND ENCUMBRANCE REPORT CITED ABOVE. BY DOCUMENTS FOUND IN THIS FIRMS POSSESSION, DOCUMENTS OBTAINED FROM OTHER SOURCES, OR OTHER INFORMATION THAT PROMPTED A SPECIFIC SEARCH FOR SUCH ITEMS. IF ANY OTHER EASEMENTS, VACATIONS, RIGHT-OF-WAY ACQUISITIONS, CONDEMNATIONS, COURT DECREES OR ENCUMBRANCES AFFECT THIS PROPERTY THEIR EXISTENCE IS UNKNOWN TO THIS SURVEYOR AND ARE THEREFORE NOT SHOWN.

2. BEARINGS USED HEREON ARE BASED ON THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983, WEST ZONE.

3. THE RIGHT OF INGRESS-EGRESS ACROSS AND ALONG THE AREA DESIGNATED AS ACCESS EASEMENT IS HEREBY GRANTED AS OPEN ACCESS.

CURVE TABLE with columns: ID, RADIUS, DISTANCE, DELTA, INITIAL TANGENT. Rows C1 through C5.

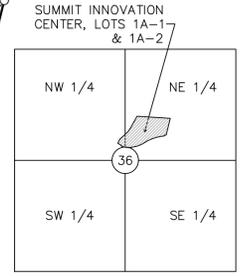
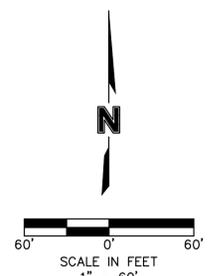
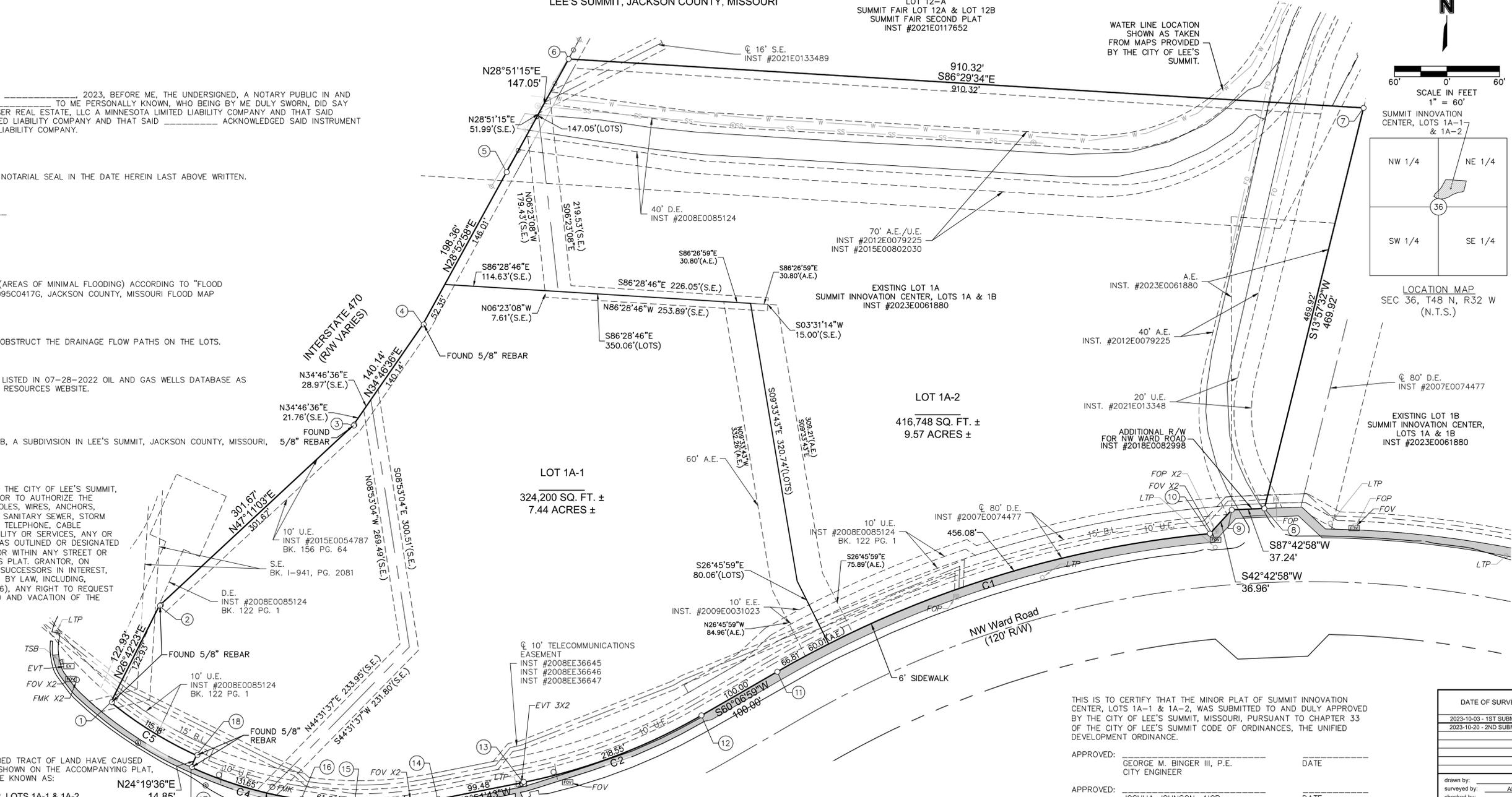
SEWER EASEMENT:

A SEWER EASEMENT (S.E.) FOR THE LOCATION, CONSTRUCTION, RECONSTRUCTION, MAINTENANCE, OPERATION AND REPAIR OF SEWERAGE IMPROVEMENTS AND ANY AND ALL APPURTENANCES INCIDENTAL THERETO IN, UNDER, UPON, OVER AND THROUGH LAND LYING, BEING AND SITUATED IN LEE'S SUMMIT, MISSOURI ("THE CITY") IS HEREBY GRANTED TO THE CITY. BY THE GRANTING OF THIS EASEMENT, IT SHALL NOT BE CONSTRUED TO PROHIBIT DEVELOPMENT OF ANY ADJOINING PROPERTY OR FROM THE LAYING OUT, ESTABLISHING AND CONSTRUCTING PAVEMENT, SURFACING OF ROADWAYS, CURBING AND GUTTERS ALONG, UPON, OVER OR ACROSS SAID EASEMENT OR ANY PORTION THEREOF; PROVIDED, HOWEVER, SAID EASEMENT SHALL BE KEPT FREE FROM ADDITIONAL DEPTH OF OVERBURDEN, BUILDINGS, AND ANY OTHER STRUCTURE OR OBSTRUCTION (EXCEPT SIDEWALKS, ROADWAYS, PAVEMENT, GRASS, SHRUBS, FENCES, OR CURBS), WHICH WILL INTERFERE WITH THE CITY IN ENTERING UPON SAID ADJACENT LAND AND EASEMENT FOR THE PURPOSE OF LAYING, CONSTRUCTING, RECONSTRUCTING, OPERATING, REPAIRING AND MAINTAINING SUCH SEWERAGE IMPROVEMENTS AND APPURTENANCES.

LEGEND table with symbols and descriptions for FOUND 1/4 REBAR, SET MONUMENT, ACCESS EASEMENT, ELECTRIC VAULT, FIBER OPTIC PEDESTAL, FIBER OPTIC VAULT, LIGHT POLE, OVERHEAD POWER LINE, POWER EASEMENT, SANITARY MANHOLE, SANITARY SEWER EASEMENT, SIGN, STORM DRAINAGE EASEMENT, TRAFFIC SIGNAL BOX, TRAFFIC SIGNAL WITH MAST ARM, UNDERGROUND FIBER OPTIC LINE, UNDERGROUND SANITARY SEWER, UNDERGROUND WATER LINE, UTILITY EASEMENT.

SUMMIT INNOVATION CENTER, LOTS 1A-1 & 1A-2 REPLAT OF LOT 1A, SUMMIT INNOVATION CENTER, LOTS 1A & 1B

N 1/2, SEC 36 - T48N. - R32W. LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



STATE PLANE COORDINATE TABLE with columns: Point Number, Grid Northing, Grid Easting. Rows 1 through 18.

THIS IS TO CERTIFY THAT THE MINOR PLAT OF SUMMIT INNOVATION CENTER, LOTS 1A-1 & 1A-2, WAS SUBMITTED TO AND DULY APPROVED BY THE CITY OF LEE'S SUMMIT, MISSOURI, PURSUANT TO CHAPTER 33 OF THE CITY OF LEE'S SUMMIT CODE OF ORDINANCES, THE UNIFIED DEVELOPMENT ORDINANCE.

APPROVED: GEORGE M. BINGER III, P.E. CITY ENGINEER DATE
APPROVED: JOSHUA JOHNSON, AICP DIRECTOR OF DEVELOPMENT SERVICES DATE
APPROVED: JACKSON COUNTY ASSESSORS OFFICE DATE
APPROVED: TRISHA FOWLER ARCURI CITY CLERK DATE

THIS PLAT AND SURVEY OF SUMMIT INNOVATION CENTER, LOTS 1A-1 & 1A-2 WERE EXECUTED BY OLSSON, 1301 BURLINGTON STREET #100, NORTH KANSAS CITY, MISSOURI 64116.

I HEREBY CERTIFY: THAT THE PLAT OF SUMMIT INNOVATION CENTER, LOTS 1A-1 & 1A-2 SUBDIVISION IS BASED ON AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS AND LANDSCAPE ARCHITECTS AND THE MISSOURI DEPARTMENT OF AGRICULTURE. I FURTHER CERTIFY THAT I HAVE COMPLIED WITH ALL STATUTES, ORDINANCES, AND REGULATIONS GOVERNING THE PRACTICE OF SURVEYING AND PLATTING OF SUBDIVISIONS TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.



OLSSON, MO CLS 366 JEFFREY P. MEANS, MO PLS 2000147866 OCTOBER 20, 2023 JMEANS@OLSSON.COM

DATE OF SURVEY table with rows for 2023-10-03 - 1ST SUBMITTAL and 2023-10-20 - 2ND SUBMITTAL.

drawn by: JRH surveyed by: AH-CAJ checked by: JSE approved by: JPM project no.: A23-04717 file name: V_FPT_A23-04717.DWG

Olsson logo and contact information: 1301 Burlington Street, North Kansas City, MO 64116. TEL 816.361.1177 FAX 816.361.1888

USER: foldcroft DWG: F:\2023\04501-05000\023-04717-A\40-Design\Survey\SRV\Sheets\Minor Sub\V_FPT_A23-04717.dwg DATE: Oct 20, 2023 9:17AM