

## MINUTES

# Lee's Summit Downtown Market Plaza

Preliminary Development Plan

## **Neighborhood Meeting**

Lee's Summit City Hall

8/23/2023 5:30PM

### MINUTES (Published 8.24.23)

- *Neighborhood Meeting notification attached.*
- LANE4 and City Staff began arriving at Council Chambers at 5:00PM
- Public attendees began arriving in small numbers at 5:10PM
- 5:10PM – 5:55PM – Mark Allen greeting incoming attendees, providing orientation to the space and meeting format. Instructed attendees to sign-in and described the opportunity to write comments on provided Post-Its and attach their feedback to display boards.
- 5:32PM – Brandon Buckley made an announcement to attendees regarding open house format, described opportunity to examine available architectural renderings and ask questions to design and development team members.
  - Design and Development Team members present:
    - Mark Allen (LANE4)
    - Brandon Buckley (LANE4)
    - Ryan Elam (City)
    - Chaz Prunte (GLMV)
    - Dan Pierce (GLMV)
    - Korey Schulz (Olsson)
    - Darren Varner (Olsson)
    - Weston Buckley (LANE4)
- *Public attendance roster attached.*
- 6:40PM – All public attendees have exited.
- 6:50PM – Design and Development team close the meeting.
- No written comments were shared by attendees in the offered format.

END

4705 CENTRAL SREET  
KANSAS CITY, MO 64112  
P: 816-960-1444  
F: 816-960-1441



Figure 1 5:26PM - Public gathers in City Council chambers, begins engaging with design displays and asking questions. GLMV site animation plays on large screen.

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www.lane4group.com



Figure 2 5:29PM – Public continues to gather as Brandon Buckley prepares to offer meeting introduction.



**Dear Resident,**

A Preliminary Development Plan & Rezoning application has been submitted to the City's Development Services Department, proposing a new real estate development project near your property. Prior to re-submittal of a development application, Lee's Summit City Code requires a meeting between the applicant and neighbors. You have been identified as the owner of property within the required notice boundary.

This is your notice to meet and view the proposed rezoning and development of the *Lee's Summit Downtown Farmers Market & Plaza (a public development)* and rezoning of adjacent pad site for future private commercial uses. This is not a public hearing, and public officials will not be present. If you have questions regarding meeting requirements, please contact the Development Services Department at 816-969-1200.

**Purpose**

To view the proposed development of the Lee's Summit Downtown Farmers Market and adjacent public plaza and site amenities (a public development) and rezoning of three pad sites (currently owned by the City of Lee's Summit) for future sale for private redevelopment and commercial use.

**When**

Wednesday, August 23, 2023 at 5:30PM

**Where**

Lee's Summit City Hall, Council Chambers, 1<sup>st</sup> Floor.

**Project Description**

The planned 5.11-acre development will combine City owned parcels in vicinity of 220 SE Green St, Lee's Summit, Mo, 64063. Key element will be a 17,277sq. ft. (estimated) enclosed, 4 seasons farmers market building. Adjacent to the market will be a public plaza consisting of landscape, hardscape, and public seating and entertainment amenities. A proposed structural canopy will create a sheltered greenspace north of the farmer's market, intended to host outdoor farmers market activities, concerts, and other public events.

Preliminary site plan and concept renderings are enclosed for reference.

If you have questions about the meeting or the development project, please contact LANE4 Property Group, Brandon Buckley, at 816-268-9112

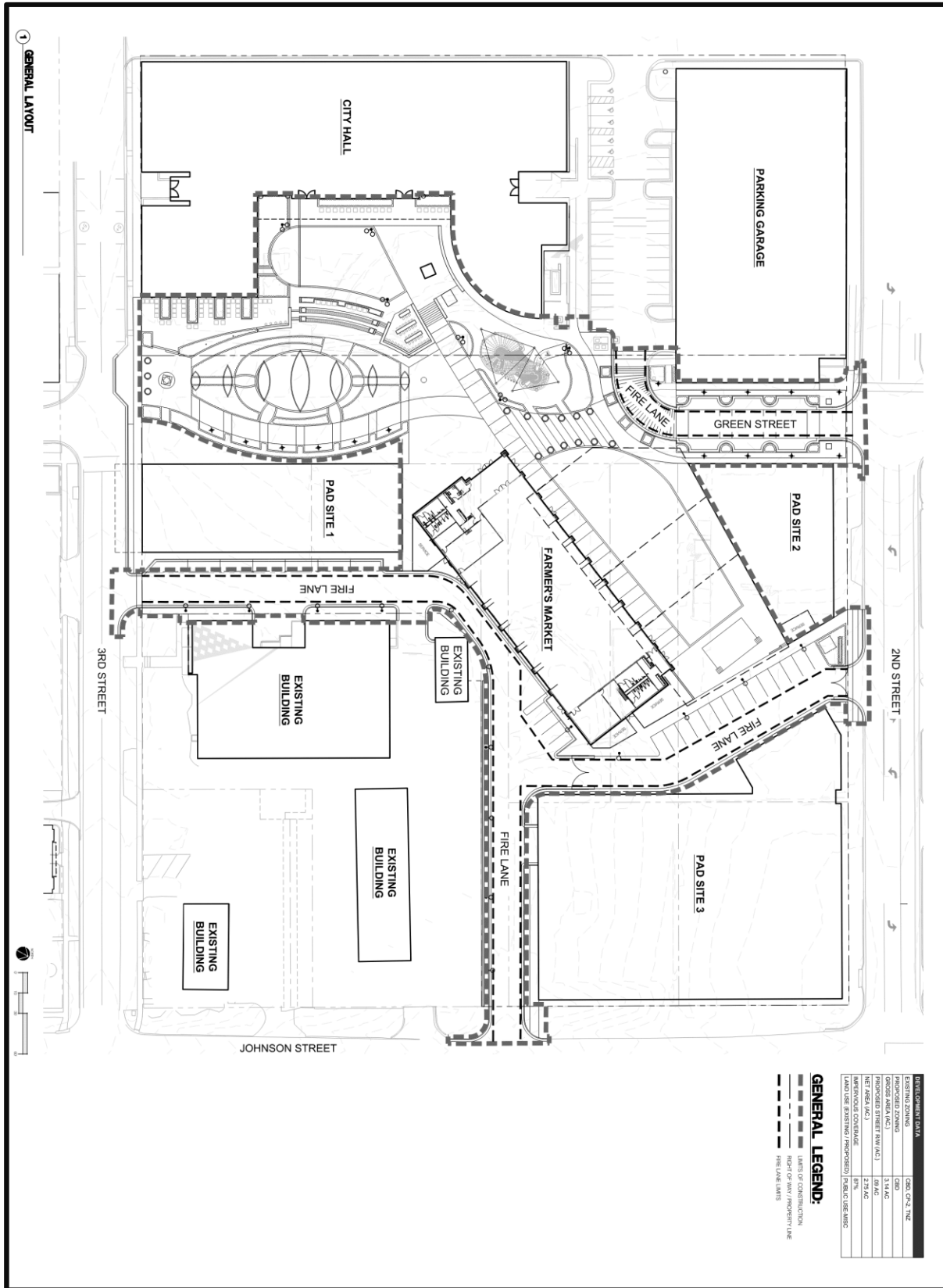


Figure 1 Proposed Site Layout. Additional details available during Neighborhood Meeting.



Figure 2 Conceptual Rendering of Market Bldg. and Plaza, view from atop City Hall looking North.



Figure 3 Conceptual Rendering of Market Bldg. View to main entry, including proposed canopy structure.

LEE'S SUMMIT DOWNTOWN MARKET PLAZA

8.23.23 PDP Neighborhood Meeting Attendance Roster



Wednesday, August 23, 2023

First & Last Name	Address	Email Address	Phone
1 Dwight Maring	401 NE Castle Dr Lee's Summit Mo. 64086	dwightmaring@gmail.com	816-524-0458
2 Fred Grogan	1121 SW Coachlight Dr Lee's Summit, MO	fgroganfred@stcglobal.net	816-519-5979
3 JULIAN & DEBBIE DZIURAWIEC	1240 NE FLORENCE LS, MO 64086		
4 Payton Hatcher	221 SE Libian St, LSUMO, 64082	payton@IGREK.com	816-582-0707
5 Jim & Rachael Fell	201 SE Johnson St	jrfell@ych.com	816-509-4200
6 Ryan & Alexis Waters	129 & 127 SE 5th St	ryan@1hundredk.com	816-533-9609
7 Cliff & Julie Bond	2212 SE 3rd		
8 Jennie Swearingin	809 NE Michael Dr LS MO 64086	jennie.galt@psllp.biz	816-863-5555
Brad & Carole Culbertson	209 SW 3rd LSMO 64063	bradcarole@stcglobal.net	816-456-9820
10 Chris & Linda Colbern	504 SW Siferspar Circle LSMO 64081	ccolburn@kc.rr.com	816-525-2925
11 Sam & Bryant Horgan	1919 SW 5th St Lee's Summit MO 64081	bryanhorgan50@gmail.com	620-249-9779
12 Courtney Law Auld	612 SE Douglas		
13 Debbie Stoddard	108 NE Forest		
14 DAVID ZAK	208 SE 3rd ST		
15 PETER NORTHENTH	112 SW WINTER PARK LN	pnorthenth@afkoo.com	816-500-3453
16 MARY MAYER	537 NE TOPAZ DR		
17 PAUL BELL	2821 Jennifer Dr		
18 Donnie Rodgers	135E 3rd	donnie@downtownls.org	
19 Ray BRIGGS	107 NW Moore		
20			

LEE'S SUMMIT DOWNTOWN MARKET PLAZA

8.23.23 PDP Neighborhood Meeting Attendance Roster



Wednesday, August 23, 2023

First & Last Name	Address	Email Address	Phone
1 Richard Veasman	2257 NW Summerfeld Dr LS MO 64081	Rveas@aol.com	816-524-4616
2 Peggy Veasman	same as above	-	same as above
3 BRYAN HUBBARD	243 SW PINETREE		
4 Fred Liggett	407 S.W. Stratford Dr.		
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