

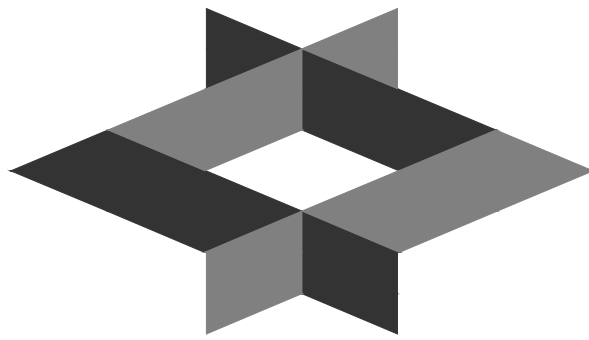
LEE'S SUMMIT FIRE STATION NO. 5

801 SW MO 150 HIGHWAY

LEE'S SUMMIT, MISSOURI 64082

FINAL DEVELOPMENT PLAN

CONSULTANT:



GLMV
1525 E. Douglas, Wichita, KS 67211
Tel: (316) 265-9387
www.glmv.com

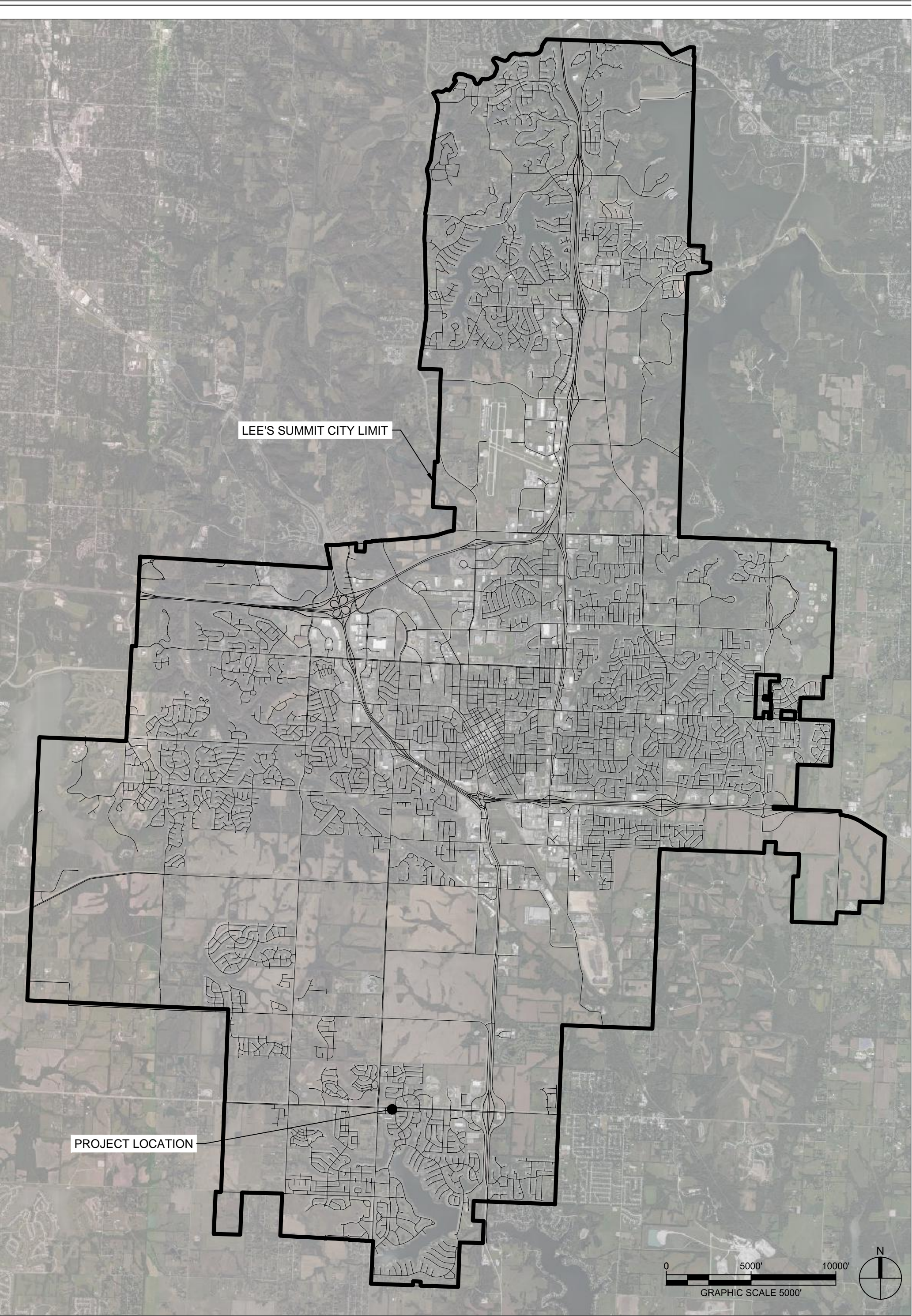
9229 WARD PKWY
KANSAS CITY, MISSOURI 64114
DERICK HOLMES
DERICK.HOLMES@GLMV.COM
T (816) 444-4200

PARCEL INFORMATION:

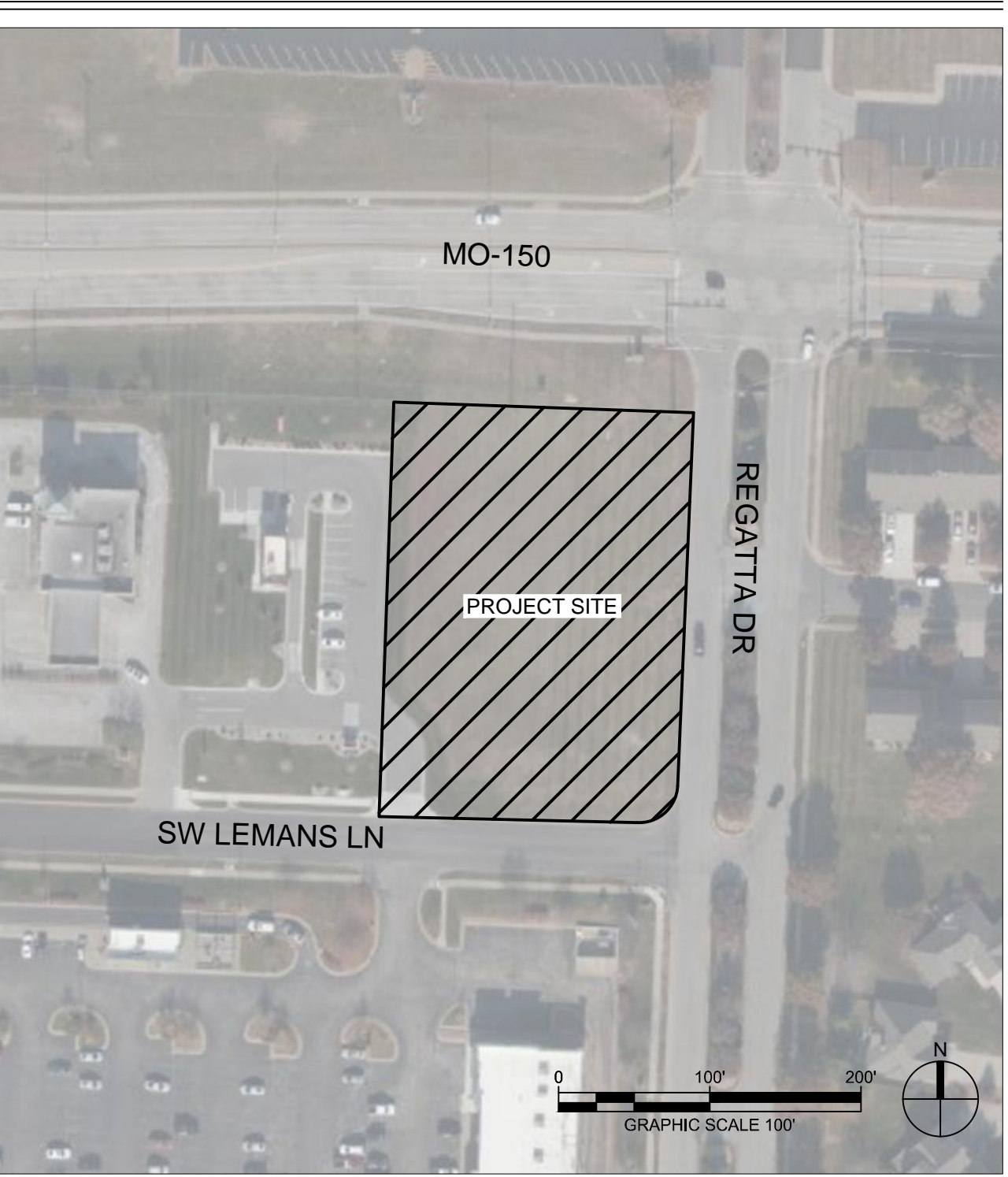
ACREAGE:	1.00
ADDRESS:	801 SW MO 150 HIGHWAY LEE'S SUMMIT, MO 64082
LEGAL DESCRIPTION	ALL OF LOT 5, RAINTREE LAKE VILLAGE, A SUBDIVISION IN THE NW 1/4 OF SECTION 31, T-47 N, R-31 W, LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
FEMA FLOODPLAIN	THE SUBJECT PROPERTY IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) 29095C0532G, EFFECTIVE JANUARY 20, 2017.
OIL AND GAS WELLS	NO EVIDENCE OF OIL OR GAS WELLS WERE FOUND ON LOT 6-A AND THE PORTION OF LOT 7 PROPOSED TO BE REPLATTED AS EVIDENCED BY THE FOLLOWING SOURCES 1. ATLAS/NSPS LAND SURVEY PERFORMED BY J&J SURVEYING LLC, DATED AUGUST 12, 2021. 2. MISSOURI SPATIAL DATA INFORMATION SERVICE (FEBRUARY 20, 2022), MO 2018 STATE PERMITTED OIL AND GAS WELLS. RETRIEVED FROM HTTP://DATA-MSDIS.OPENDATA.ARCGIS.COM/DATASETS
ZONING	CP-2, PLANNED COMMUNITY COMMERCIAL

LAND USE SCHEDULE	
TOTAL FLOOR AREA	12,189 SF
NUMBER OF DWELLING UNITS	8
LAND AREA	1.00 ACRES
REQUIRED PARKING	DIRECTED BY FIRE CHIEF
PROPOSED PARKING	13 SPACES
IMPERVIOUS COVERAGE	25,745 SF (.59 ACRES)
FLOOR AREA RATIO (FAR)	0.28
PERMITTED LAND USE	FIRE STATION - MUNICIPAL = CONDITIONAL
DWELLING UNITS PER ACRE WITH COMMON AREA	8
DWELLING UNITS PER ACRE WITHOUT COMMON AREA	8

VICINITY MAP:



SITE LOCATION MAP:



INDEX OF DRAWINGS

SHEET NO.	SHEET NAME
C-001	COVER SHEET
GS001	ALTA/NSPS LAND TITLE SURVEY
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-201	BUILDING ELEVATIONS
A-202	BUILDING ELEVATIONS
C-100	SITE PLAN
C-101	LAYOUT PLAN
C-102	DEMOLITION PLAN
C-103	EROSION CONTROL PLAN
C-104	GRADING & DRAINAGE PLAN
C-105	UTILITY PLAN
C-220	PUBLIC WATER PLAN & PROFILE
C-231	PUBLIC STORMWATER PROFILES
C-231	PRIVATE STORMWATER PROFILES
C-400	SITE ENLARGEMENTS
C-401	SITE ENLARGEMENTS
C-402	SITE ENLARGEMENTS
C-500	SITE DETAILS
C-501	SITE DETAILS
C-502	SITE DETAILS
C-503	SITE DETAILS
C-504	SITE DETAILS
C-510	EROSION CONTROL DETAILS
C-511	EROSION CONTROL DETAILS
C-520	WATER DETAILS
C-521	WATER DETAILS
C-530	STORMWATER DETAILS
C-531	STORMWATER DETAILS
C-532	STORMWATER DETAILS
C-540	SANITARY SEWER DETAILS
ME001	MPE SITE PLAN
ME002	SITE LIGHTING PHOTOMETRIC PLAN
L-100	LANDSCAPE SCHEDULE
L-101	LANDSCAPE PLAN



REVISIONS:		
#	Description	Date

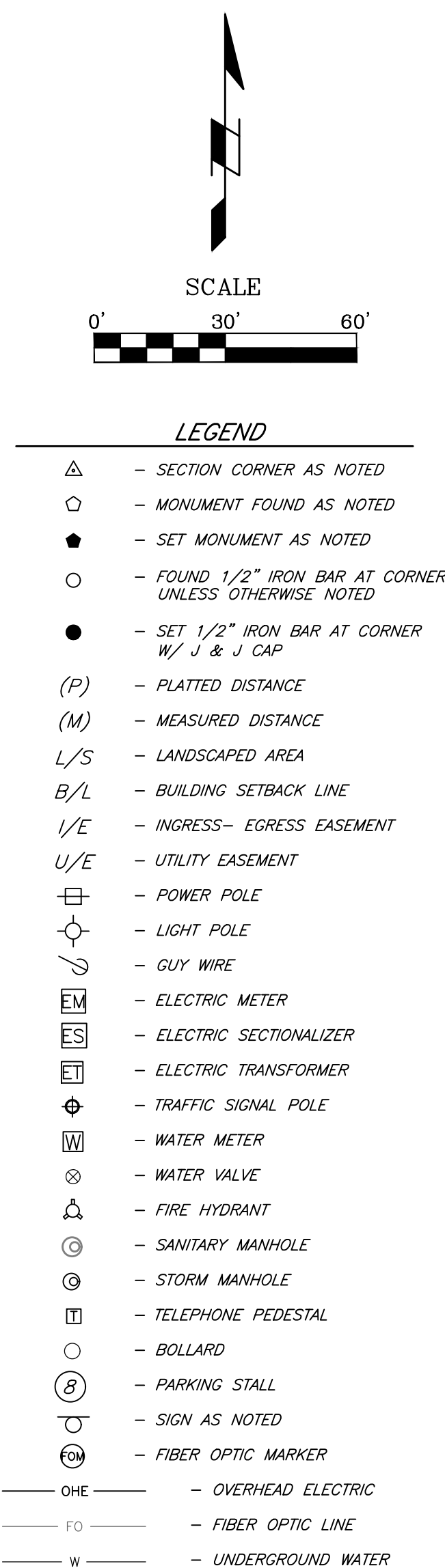
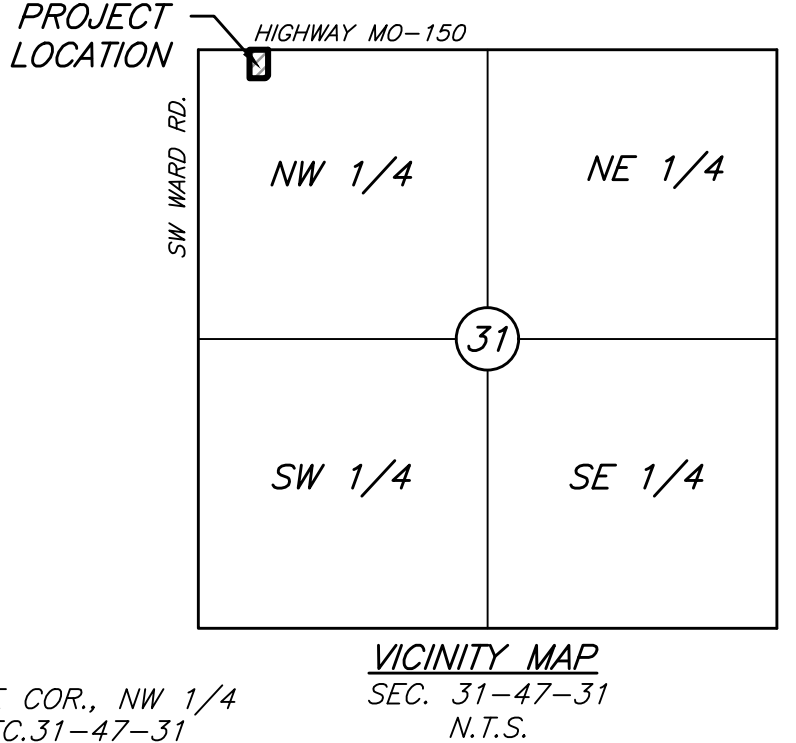
ISSUED FOR
PERMITTING

PROJECT NO:	18225R21001
DATE:	10.28.2022

COVER
SHEET

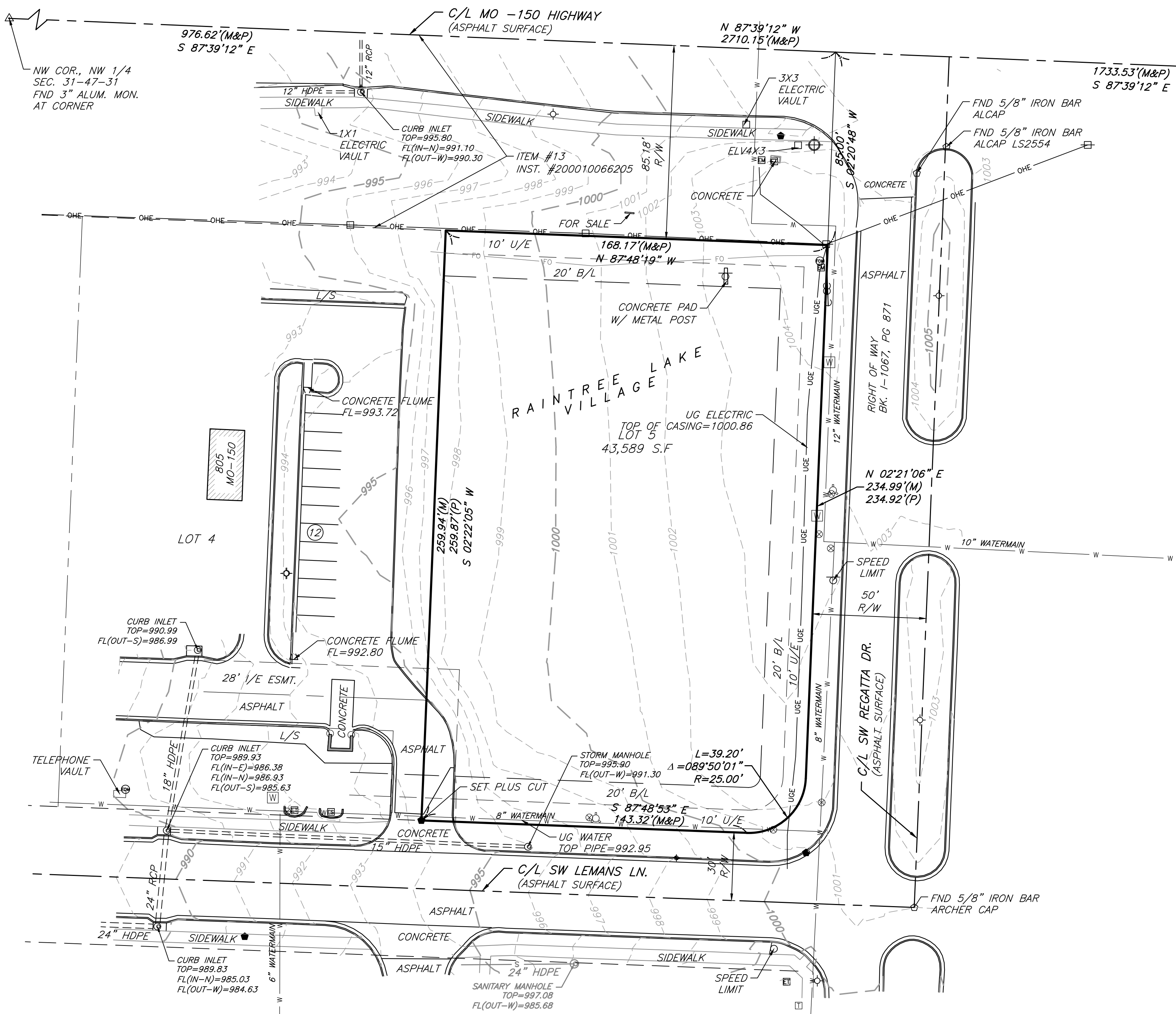
C-001

ALTA/NSPS LAND TITLE SURVEY
NW 1/4, SECTION 31, TOWNSHIP 47 NORTH, RANGE 31 WEST
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



CLIENT:
GLMV Architecture
Attn: Paul J. Michell
9229 Ward Parkway Ste. 210
Kansas City, Mo 64082

PROPERTY ADDRESS:
801 SW MO-150 HIGHWAY
Lee's Summit, Mo 64082



GENERAL SURVEY NOTES:

- 1.) The plot of RAINTREE LAKE VILLAGE is recorded in Plat Book 1-89 at Page 66 in the Recorder of Deeds Office in Jackson County, Missouri.
- 2.) Title Report No. MJ117076 dated April 12, 2021 at 8:00 am provided by First American Title Insurance Company.
- 3.) Bearings used on this survey are based on the Missouri State Plane coordinate system from GPS observation.
- 4.) The subject property is located in Zone X, areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map (FIRM) 29095C05326, effective January 20, 2017.
- 5.) There are NO parking stalls identified on Subject Property at the time of this survey.
- 6.) There were no Wetland delineation at the time of survey.
- 7.) This property is Zoned CP-2, Planned Community Commercial
- 8.) Water utilities are based on the City Map image provided by City of Lee's Summit, Missouri, GIS department.

UTILITY NOTE:

The utilities on this survey are shown based on source information from plans and markings and were combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plot or map that this excavation and survey assessment is not complete for the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

SURVEY CONTROL POINTS

<i>Point #</i>	<i>Northing</i>	<i>Easting</i>	<i>Elevation</i>	<i>Description</i>
1	974540.74	2824139.37	993.44	JA137
41	977854.30	2818488.69	998.56	CHLSD SQ
50	978172.10	2818534.58	1002.12	CP +
51	977856.50	2818545.74	1001.18	CP +
52	977819.61	2818298.73	991.45	CP +

BENCHMARKS:

STATION JA 137: Alum Disk, Located about 0.7 miles South of the intersection of highway 150 and highway 291 of Lee's Summit.

ELEVATION = 993.44

TITLE DESCRIPTION:

Lot 5, RAINTREE LAKE VILLAGE, a subdivision in Lee's Summit, Jackson County, Missouri.

SCHEDULE B – PART II NOTES:

Items 1 - 7 and 14 - 18 are non survey related

8.) Easements, restrictions and setback lines as per plat, recorded in Plat Book 89, Page 66. Affects the the Subject Property and is shown hereon.

9.) The terms and provisions contained in the document entitled "Decree" recorded December 23, 1992, as Document No. Affects the the Subject Property and is Blanket in nature.

10.) The premises described herein lie within the Raintree Lake Village Transportation Development District according to the Circuit Court Case No. 0516-V22158 recorded October 31, 2005 as Document No. 200510096572 of Official Records. Affects the Subject Property but has nothing to plot.

11.) Building restrictions and restrictions as to use and occupancy as set forth in Declaration of Restrictions, recorded December 22, 2005, Document No. 200501121272, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, sex, religion, marital status, handicap, age, sex, origin, sexual orientation, marital status, source of income or disability, to the extent such covenants, conditions, or restrictions violate Title 42, Section 3604 of the United States Codes or any State Statute or Local Ordinance. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as prohibited by this provision. *See* 42 USC § 3605, Page 1479 of Official Records. Affects the Subject Property and is Blanket in nature.

12.) The terms and provisions contained in the document entitled "Cooperative Agreement" recorded October 11, 2006 as Document No. 2006E0105458 of Official Records. Affects the Subject property and is Blanket in nature.

13.) Declaration of Covenants, Conditions and Restrictions, recorded October 29, 1973, Document No. 1167323 in Book 1478, Page 989 but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42USC 3604(c) or any similar state statute or local ordinance. Does not affect the Subject Property.

The above contains provision for among other things, the levy of assessments by Raintree Lake Property Owners Association, Inc., a Missouri not-for-profit corporation, which if unpaid, may become a lien thereon.

Amendment of Declaration of Covenants, Conditions and Restrictions recorded August 16, 1984, as Document No. 1584739 in Book 11341, Page 1995. Does not affect the Subject Property.

Declaration of Annexation recorded August 9, 1985, as Document No. 1641018 in Book 11449, Page 1536 of Official Records, Affects the Subject Property and is Blanket in Nature. subject to the premises in question to the Declaration of Covenants, Conditions and Restrictions recorded as Document No. 1167323 in Book 1478, Page 989. Does not affect the Subject Property.

Developer Rights Assignment Agreement filed October 04, 2000 as Document No. 200010066205. Affects the Subject Property and is shown hereon.

Certification Concerning Declaration of Covenants, Conditions and Restrictions recorded November 14, 2013, as Document No. 2013E0118167. Affects the Subject Property and is Blanket in nature.

14.) The Premises described herein may lie within the boundaries of a public sewer district, Pursuant to 249.255 and 249.645 Rsmo Supp. 1991. Does not affect the Subject Property.

15.) *Rights of parties in possession under unrecorded leases. Does not affect the Subject Property.*

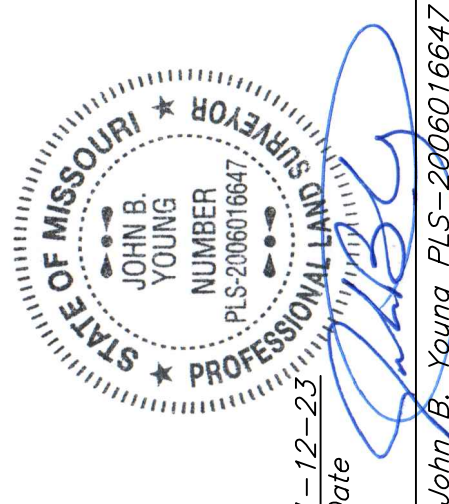
16.) Any lien or right to lien by any Real Estate Brokers or Real Estate Appraisers. Does not affect the Subject Property.

17.) If there has been construction, improvements or repairs to or on the property in the last 12 months, or a portion or all of the loan proceeds will be used for such, then unrecorded mechanics lien coverage will not be furnished unless arrangements are made prior to closing. If the property is 1-4 family residential and we are being asked to extend mechanic's lien coverage (through date downs or otherwise) on a construction loan, a Mechanic's Lien Indemnity Agreement secured by a satisfactory Letter of Credit will need to be furnished to the company. If the transaction is not a residential construction loan, either the foregoing secured indemnity or satisfactory financing statements, indemnitors, affidavits and possibly a lien waiver will need to be furnished to the company. Failure to notify the company in writing before closing will invalidate any mechanic's lien coverage given in the policy. Does not affect the Subject Property.

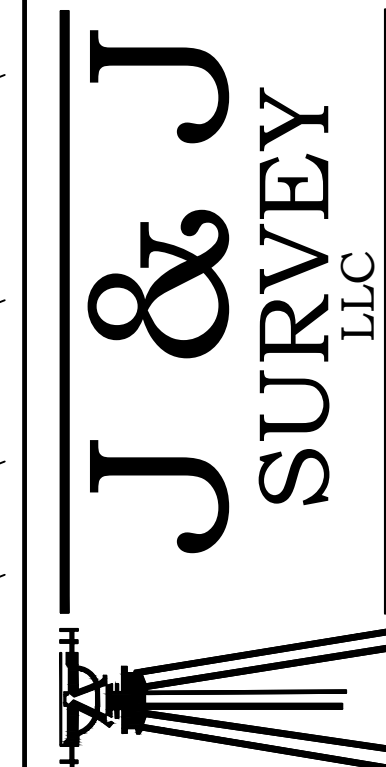
CERTIFICATION:

To: First American Title Insurance Company, Assured Quality Title Company and Raintree Investors, LLC, a Missouri limited liability company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7a, 8, 9, 11b, 13 and 16 of Table A thereof. The field work was completed on the 16th day of July, 2021.



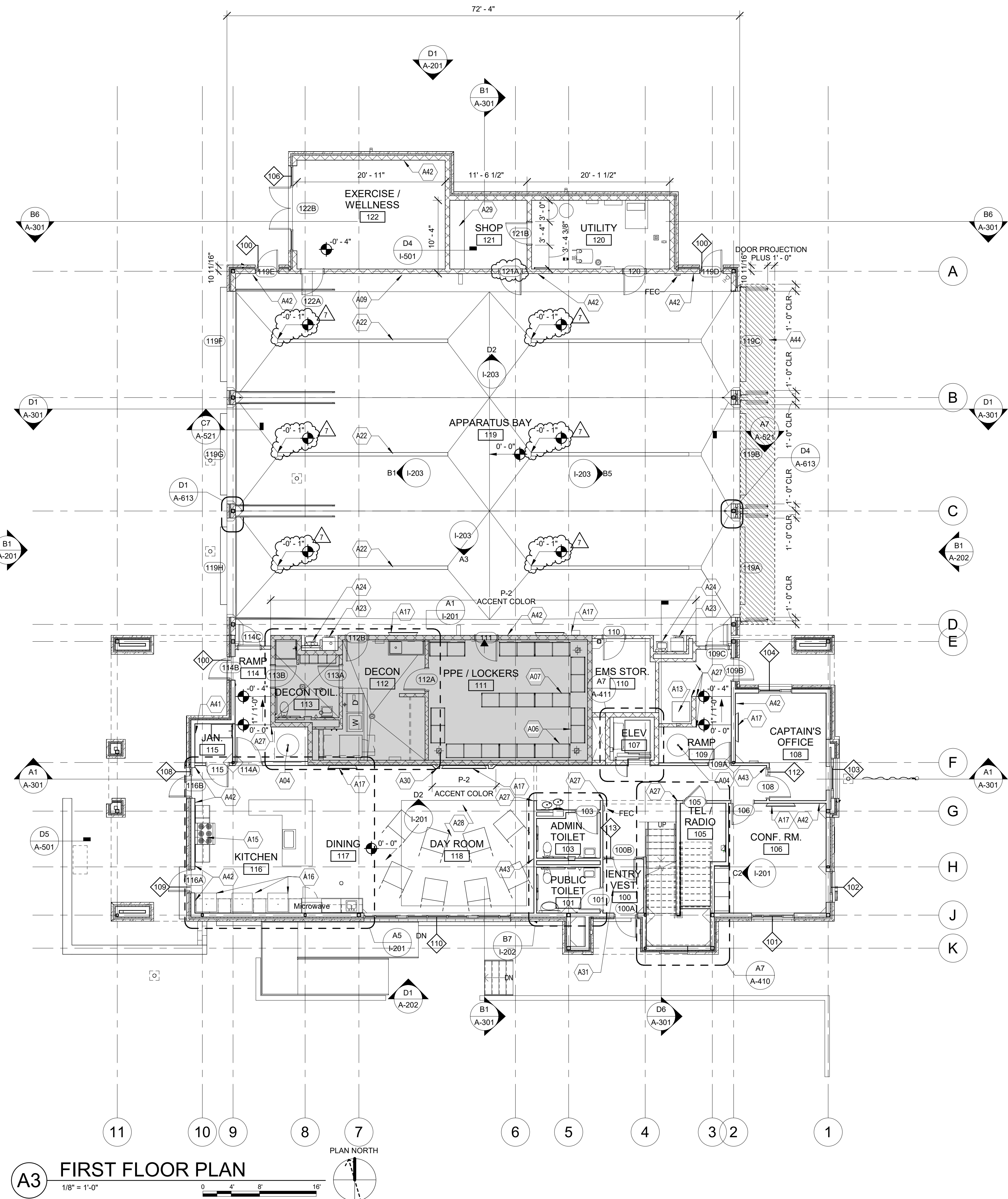
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5500 NW TOWER DR., SUITE 102 • PLATTE WOODS, MO 64151
PHONE (816) 741-1017 • FAX (816) 741-1018

[illegible]

E
D
C
B
A



ARCH NOTES

- A. THE GENERAL CONTRACTOR SHALL COORDINATE ACCESS TO THE SITE, AND THE STORAGE OF MATERIALS AND EQUIPMENT ON SITE WITH THE OWNER.
- B. THE GENERAL CONTRACTOR SHALL REPAIR DAMAGE TO ANY ADJACENT AREAS OCCURRING DURING CONSTRUCTION.
- C. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS TRASH AND OTHER MISCELLANEOUS MATERIALS FROM THE SITE DAILY.
- D. MAINTAIN EXIT PATHS FOR THE DURATION OF THE CONSTRUCTION.
- E. CONTRACTOR SHALL NOT REPRODUCE ANY PORTION OF A CONTRACT DRAWING FOR USE IN ANY PORTION OF A SUBMITTAL.
- F. ALL DIMENSIONS ARE FROM THE FACE OF STUD FRAMING, FACE OF MASONRY, FACE OF CONCRETE, OR CENTER LINE OF STRUCTURAL STEEL (U.N.O.).
- G. ALL DOORS ARE LOCATED 8 INCHES FROM THE ADJACENT PERPENDICULAR STUD WALL FRAMING AND 8 INCHES FROM THE ADJACENT PERPENDICULAR CMU WALL FRAMING TO THE HINGE SIDE OF THE DOOR OPENING (U.N.O.).
- H. COORDINATE THE LOCATION AND INSTALLATION OF ALL MECHANICAL AND ELECTRICAL DEVICES, REGISTERS, FIXTURES, ETC. PRIOR TO INSTALLATION OF FINISH MATERIAL.
- I. ALL A.D.A. ACCESSIBLE WATER CLOSETS MUST BE LOCATED 18 INCHES MINIMUM FROM THE FINISHED FACE OF THE NEAREST ADJACENT WALL TO THE CENTER LINE OF THE FIXTURE (U.N.O.).
- J. PROVIDE CONTROL JOINTS ON CONTINUOUS GYPSUM BOARD SURFACES IN EXCESS OF 30'-0", AT A MAXIMUM INCREMENT OF 30'-0" ON CENTER (U.N.O.).
- K. PROVIDE SEALANT IN FLOOR JOINTS OF EXPOSED FINISHES PER FLOOR COATING MANUFACTURER'S RECOMMENDATIONS.
- L. SEE SHEET A-601 FOR PARTITION TYPES (REFER TO ARCHITECTURAL FLOOR PLANS FOR ADDITIONAL PARTITION IDENTIFICATION).
- M. REFER TO STRUCTURAL NOTES FOR ALL CAST-IN-PLACE CONCRETE AND MASONRY CONTROL JOINTS.

FLOOR PLAN KEYNOTES

KEY	DESCRIPTION
A01	ROOFTOP ACCESS LADDER AND ACCESS HATCH
A04	SLIDING POLE UNIT (1 HR RATED)
A06	30"-WIDE, WALL-HUNG "GEAR GRID" LOCKERS
A07	30"-WIDE, FREE-STANDING "GEAR GRID" LOCKERS
A09	GEAR GRID WALL-MOUNT HOSE DRYER, OFOI
A11	HEAVY-DUTY RESIDENTIAL WASHER, OFCI
A12	HEAVY-DUTY RESIDENTIAL DRYER, OFCI
A13	ICE MACHINE, CFCI
A15	6-BURNER RANGE W/ OVEN & RESIDENTIAL HOOD W/ INTEGRAL FIRE SUPPRESSION
A16	RESIDENTIAL REFRIGERATOR, OFOI
A17	WALL-MOUNTED TV, OFOI, BLOCKING AND TV BRACKET, CFCI
A22	TRENCH DRAIN, SEE PLUMBING
A23	BOOT WASH, SEE PLUMBING
A24	HAND WASHING SINK FOR CONTAMINANT CONTROL W/ EYEWASH ATTACHMENT, SEE PLUMBING
A26	CAR WASH SYSTEM INTEGRATED INTO THIS BAY, SEE PLUMBING
A27	VINYL CORNER GUARD AT EXTERIOR CORNER - FULL WALL HEIGHT
A28	CARPET TILE, TO LAY ON TOP OF POLISHED CONC FLOOR
A29	WOOD WORK BENCH
A30	GYP. BD. SURROUND TO CREATE TV NICHE
A31	RECESSED SLAB AT ENTRY FOR RECESSED W.O.M.
A41	MOP AND BROOM RACK
A42	P-2 - ACCENT COLOR
A43	P-3 - ACCENT COLOR
A44	DOOR OPERATING AND SAFETY CLEARANCE.

FLOOR PLAN NOTES

■ EXTEND OF STORM SHELTER, SEE G-004 FOR MORE INFORMATION



CONSULTING ARCHITECT
FSMA ARCHITECTS
11250 ROGER BACON DRIVE, SUITE 16
RESTON, VIRGINIA 20190
TEL: (703) 956-5600

CIVIL ENGINEER & LANDSCAPE ARCH.
GLMV ARCHITECTURE, INC.
MISSOURI CIVIL COA #2018033898
MISSOURI LANDSCAPE COA #000008
9229 WARD PARKWAY, SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200

STRUCTURAL ENGINEER
LEIGH + O'KANE
MISSOURI COA #001644
250 NE MULBERRY, SUITE 201
LEE'S SUMMIT, MO 64086
(816) 444-3144

MECH., ELECT. & PLUMB. ENGINEERS
HOSS & BROWN ENGINEERS
MISSOURI COA #01022
15902 MIDLAND DRIVE
SHAWNEE, KS 66217
(913) 362-9090

SECURITY & IT ENGINEERS
HENDERSON ENGINEERS
MISSOURI COA #000556
1801 MAIN STREET, SUITE 300
KANSAS CITY, MO 64108
(816) 653-8700

FIRE STATION #5
CITY OF LEE'S SUMMIT
801 MISSOURI HIGHWAY 150
LEE'S SUMMIT, MISSOURI 64082

#	Description	Date
1	ASB 01	11/21/2022
4	ASB 04	02/01/2023
6	ASB 06	02/22/2023
7	ASB 07	05/04/2023



CHAD R. BARD - ARCHITECT
MO# A-2018024473

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PROJECT NO: 18225R21001
DATE: 05.04.2023
DRAWN BY: JSP
CHK'D BY: GLW

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FIRST FLOOR PLAN

A-101

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FILE PATH: BM 360/18225R21001_LeeSummitFireStation_#4 and #5LSMO_FIRE STATION 5.rvt

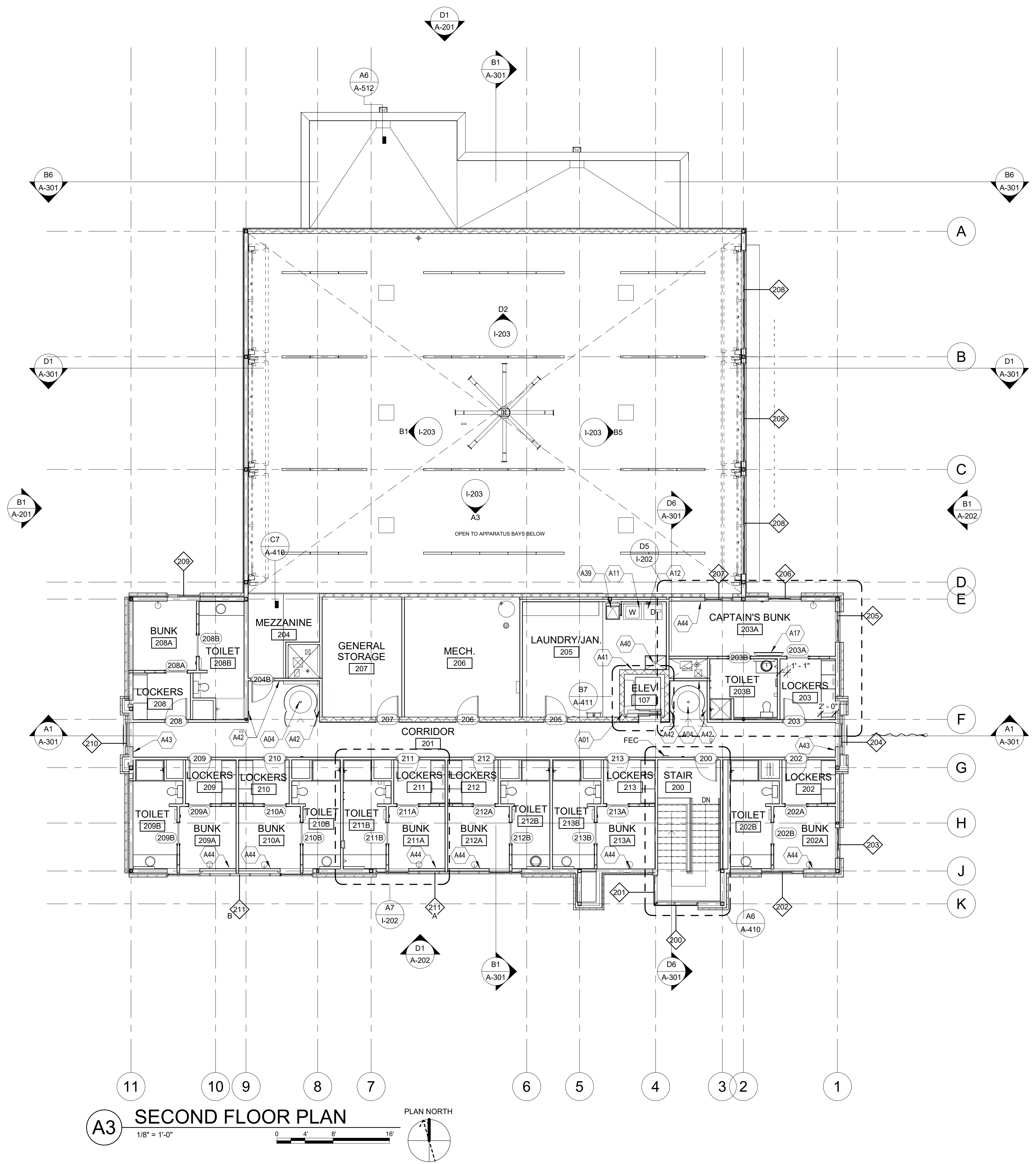
E

D

C

B

A



A3 SECOND FLOOR PLAN
1/8" = 1'-0"
0 4' 8' 16'
PLAN NORTH

ARCH NOTES

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A43	P-3 - ACCENT COLOR
A44	P-4 - ACCENT COLOR



GLMV Architecture
9229 WARD PARKWAY
SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
FAX: (316) 265-5646
www.glmv.com

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MISSOURI STATE CERTIFICATE OF AUTHORITY
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FIRE STATION #5
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LEE'S SUMMIT, MISSOURI 64082

REVISIONS:

#	Description	Date
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PAUL J. MICHELL - ARCHITECT
MO# A-2009021701

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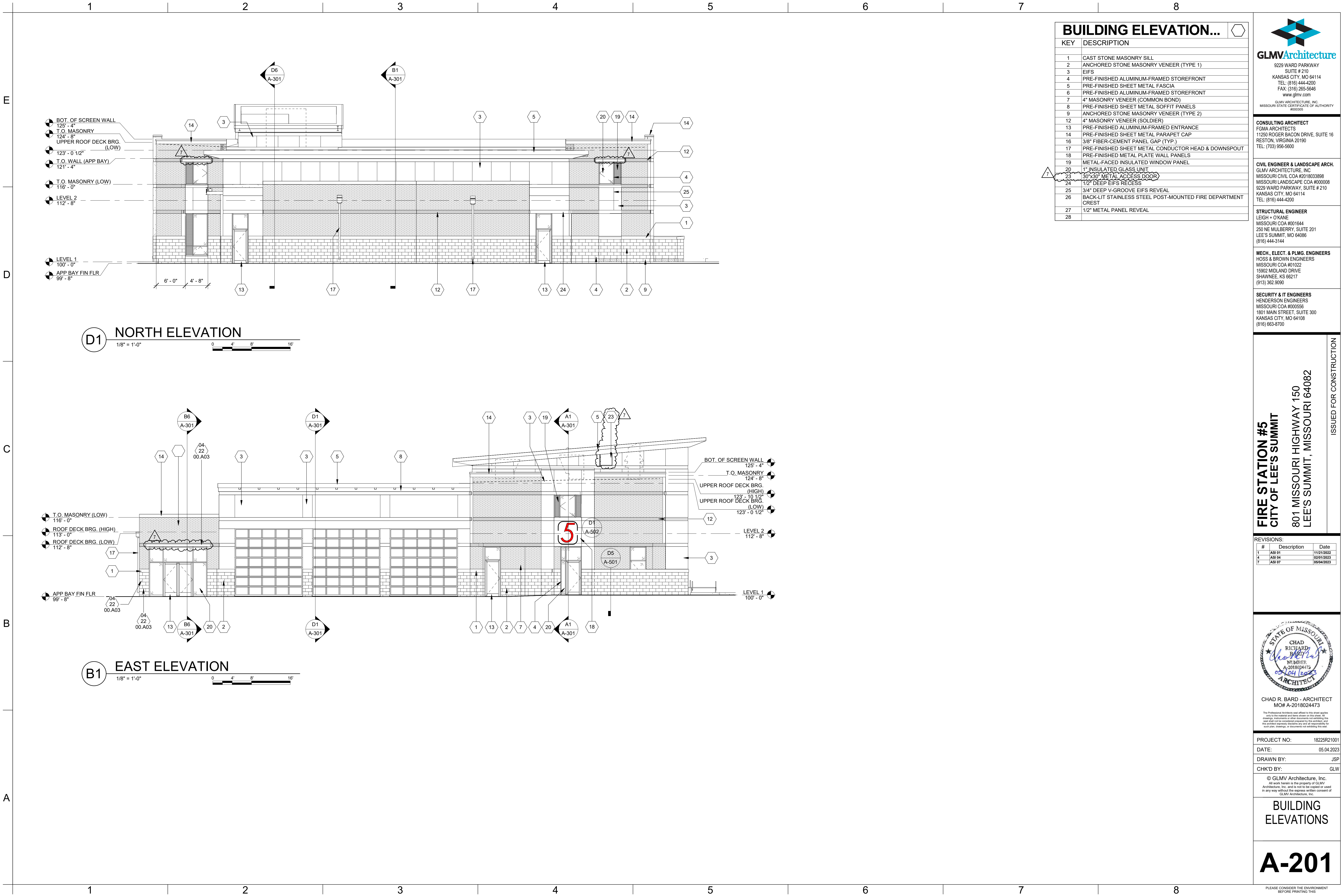
PROJECT NO:	18225R21001
DATE:	11.21.2022
DRAWN BY:	JSP
CHK'D BY:	PJM

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SECOND FLOOR PLAN

A-102

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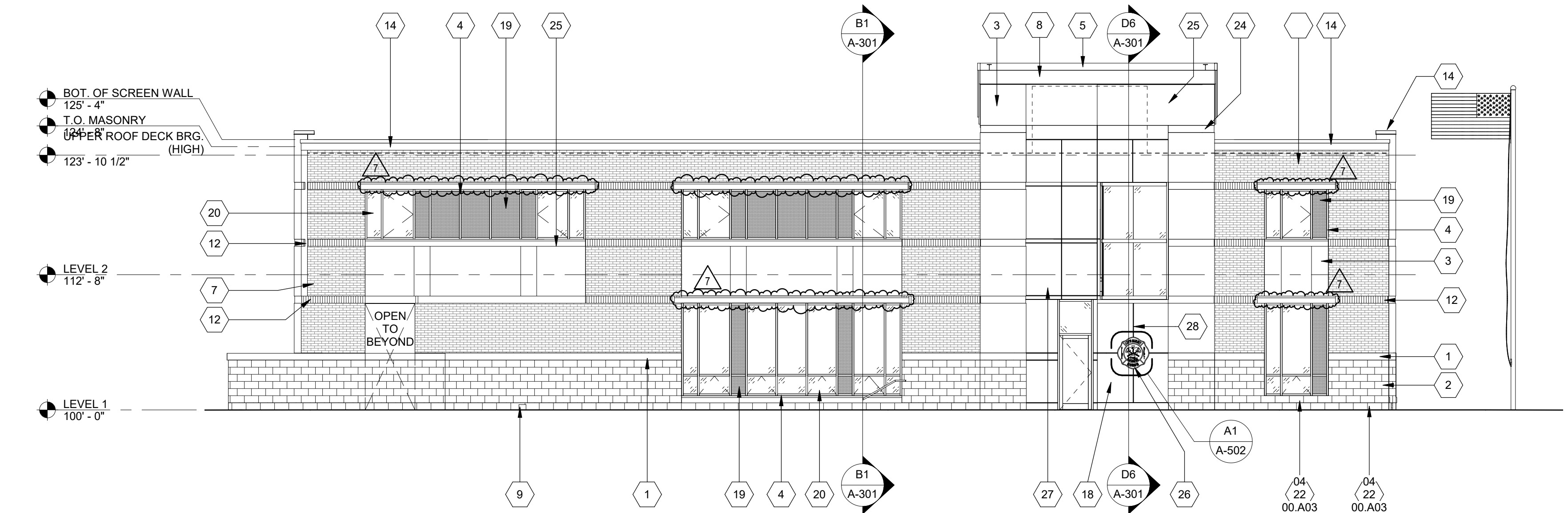
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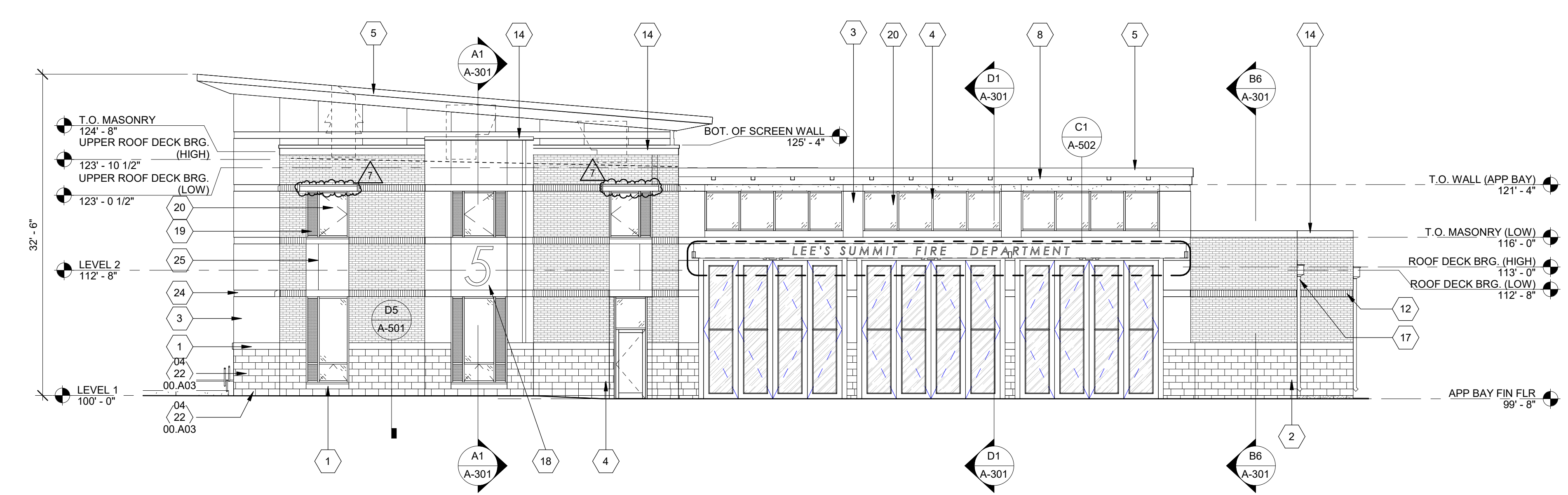
C

B

A



D1 SOUTH ELEVATION
1/8" = 1'-0"



B1 WEST ELEVATION
1/8" = 1'-0"

BUILDING ELEVATION...	
KEY	DESCRIPTION
1	CAST STONE MASONRY SILL
2	ANCHORED STONE MASONRY VENEER (TYPE 1)
3	EIFS
4	PRE-FINISHED ALUMINUM-FRAMED STOREFRONT
5	PRE-FINISHED SHEET METAL FASCIA
6	PRE-FINISHED ALUMINUM-FRAMED STOREFRONT
7	4" MASONRY VENEER (COMMON BOND)
8	PRE-FINISHED SHEET METAL SOFFIT PANELS
9	ANCHORED STONE MASONRY VENEER (TYPE 2)
12	4" MASONRY VENEER (SOLDIER)
13	PRE-FINISHED ALUMINUM-FRAMED ENTRANCE
14	PRE-FINISHED SHEET METAL PARAPET CAP
16	3/8" FIBER-CEMENT PANEL GAP (TYP.)
17	PRE-FINISHED SHEET METAL CONDUCTOR HEAD & DOWNSPOUT
18	PRE-FINISHED METAL PLATE WALL PANELS
19	METAL-FACED INSULATED WINDOW PANEL
20	1" INSULATED GLASS UNIT
23	30"x30" METAL ACCESS DOOR
24	1/2" DEEP EIFS RECESS
25	3/4" DEEP V-GROOVE EIFS REVEAL
26	BACK-LIT STAINLESS STEEL POST-MOUNTED FIRE DEPARTMENT CREST
27	
28	1/2" METAL PANEL REVEAL



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9229 WARD PARKWAY
SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
FAX: (316) 265-5646
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TEL: (703) 956-5600

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KANSAS CITY, MO 64114
TEL: (816) 444-4200

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KANSAS CITY, MO 64108
(816) 663-6700

FIRE STATION #5
CITY OF LEE'S SUMMIT
801 MISSOURI HIGHWAY 150
LEE'S SUMMIT, MISSOURI 64082

REVISIONS:		
#	Description	Date
1	ASB 01	11/21/2022
4	ASB 04	02/01/2023
6	ASB 06	02/22/2023
7	ASB 07	05/04/2023



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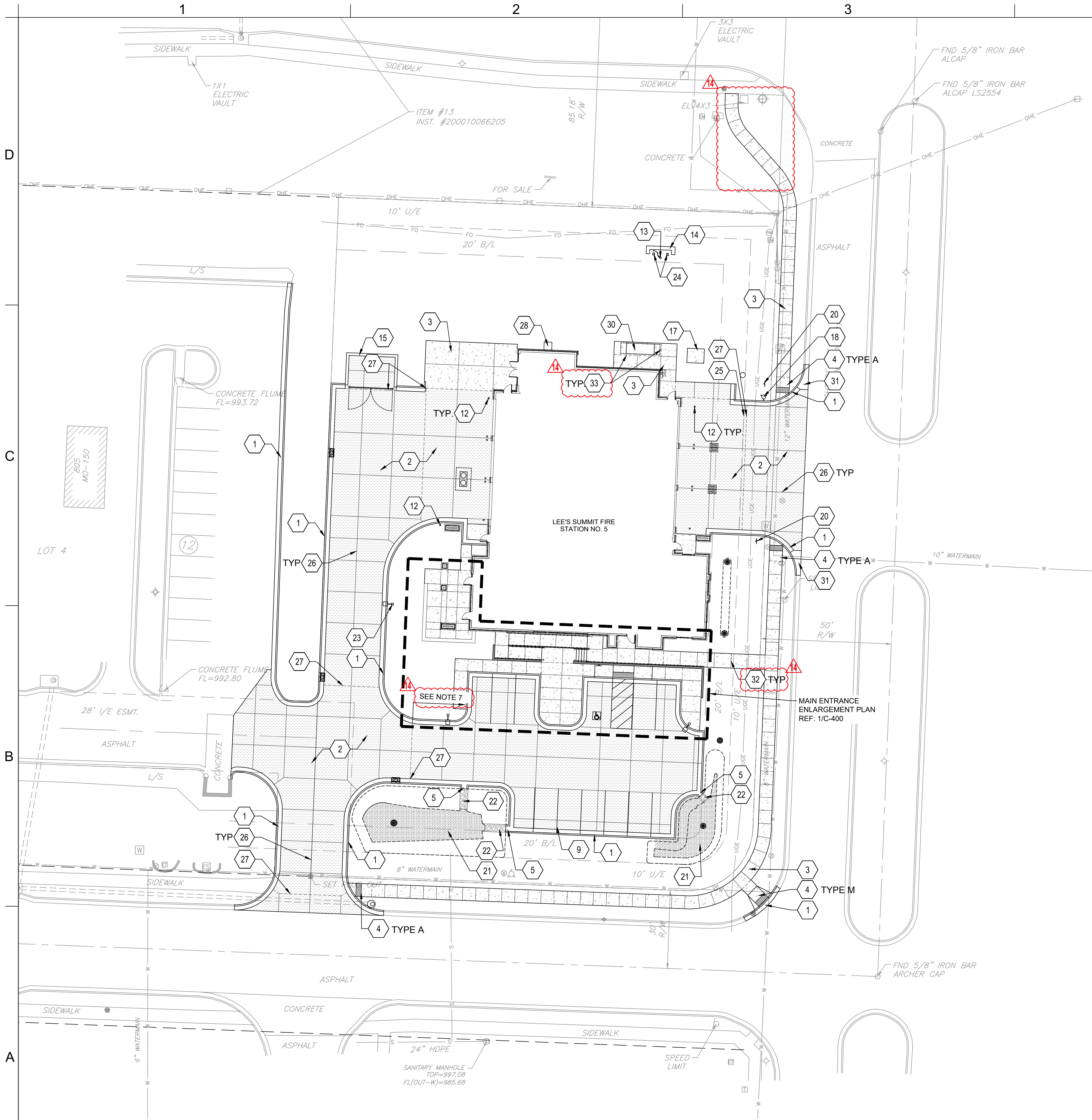
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PROJECT NO:	18225R21001
DATE:	05.04.2023
DRAWN BY:	JSP
CHK'D BY:	GLW

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BUILDING ELEVATIONS

A-202



GENERAL SITE NOTES:

1. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813. WHERE DISCREPANCIES EXIST BETWEEN THESE PLANS AND THE DESIGN AND CONSTRUCTION MANUAL, THE DESIGN AND CONSTRUCTION MANUAL SHALL PREVAIL.
3. CONTRACTOR SHALL CONTACT DIG SAFE PRIOR TO ANY EXCAVATION/DIGGING.
4. ALL EXISTING CONDITIONS, DIMENSIONS, AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
5. CONTRACTOR SHALL REPAIR ALL DISTURBED LANDSCAPING.
6. REFERENCE GRADING & DRAINAGE PLAN FOR DETAILED CURB TRANSITION POINTS.
7. ALL DRIVE PAVING EAST OF THIS ISOLATION JOINT SHALL NOT BE REQUIRED TO HAVE DOWEL OR TIE BARS AT JOINTS.

KEYNOTES

- 1 TYP. CURB & GUTTER
TYPE CG-1 UNLESS OTHERWISE NOTED.
LEE'S SUMMIT STANDARD DETAIL
REF: 3/C-503
- 2 TYP. CONCRETE PAVING
REF: 1/C-500
- 3 CONCRETE SIDEWALK PAVING
REF: 1/C-504
- 4 ADA SIDEWALK RAMP.
REF: 3/C-504
- 5 CURB CUT
REF: 11/C-500
- 6 RETAINING WALL
REF: STRUCTURAL
- 7 CONCRETE STEPS
REF: 4/C-502
- 8 ADA RAMP AND GALVANIZED HANDRAIL
REF: 2, 3, 4, 5/C-502
- 9 PAVEMENT STRIPING
REF: 3/C-500
- 10 ADA PAVEMENT MARKING
REF: 4/C-500
- 11 ADA PARKING SIGN
REF: 5/C-500
- 12 TYP. SAFETY BOLLARD
REF: 2/C-500
- 13 FLAG POLE
REF: 7/C-500
- 14 MONUMENT SIGN
REF: 8-10/C-500
- 15 DUMPSTER ENCLOSURE
REF: 1-6/C-501
- 16 ROADWAY ASPHALT PATCH
LEE'S SUMMIT STANDARD DETAIL
REF: 2/C-504
- 17 TRANSFORMER CONCRETE PAD
REF: MEP
- 18 RELOCATED FIRE HYDRANT
REF: C-220
- 19 SCREEN WALL
REF: ARCH
- 20 DO NOT ENTER SIGN
REF: 6/C-500
- 21 MISSOURI RIVER ROCK, 1"-1 1/2" IN SIZE.
PLACED OVER GEOTEXTILE FABRIC.
REF: 3 & 4/C-401
- 22 MISSOURI RIVER ROCK RIPRAP, 3"-5" IN SIZE.
PLACED OVER GEOTEXTILE FABRIC.
REF: 11/C-500
- 23 TYP. AREA LIGHTING
REF: ELECTRICAL
- 24 TYP. FLAG POLE LIGHTING
REF: ELECTRICAL
- 25 LIMIT OF SNOW MELT SYSTEM
REF: MEP
- 26 CONSTRUCTION JOINT
REF: 2/C-503
- 27 ISOLATION JOINT
REF: 2/C-503
- 28 3' X 3' CONCRETE SPLASH BLOCK
REF: 1/C-504
- 29 INSTALL BOULDERS IN SIMILAR LAYOUT TO EXISTING.
INSTALL RELOCATED SHRUBS.
ADJUST IRRIGATION LINES AND HEADS.
- 30 GENERATOR PAD
REF: STRUCTURAL
- 31 TRANSITION FROM TYPE CG-2 TO
TYPE CG-1 CURB & GUTTER
- 32 SIDEWALK CONSTRUCTION JOINT
REF: 12/C-500
- 33 SIDEWALK ISOLATION JOINT
REF: 12/C-500

LEGEND

- TYP. CURB & GUTTER
- TYP. CONCRETE PAVING
- ASPHALT PATCH
- CONCRETE SIDEWALK
- MISSOURI RIVER ROCK
- RETAINING WALL



9229 WARD PARKWAY
SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
FAX: (316) 265-5646
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LEIGH + O'KANE
MISSOURI COA #001644
250 NE MURBERRY, SUITE 201
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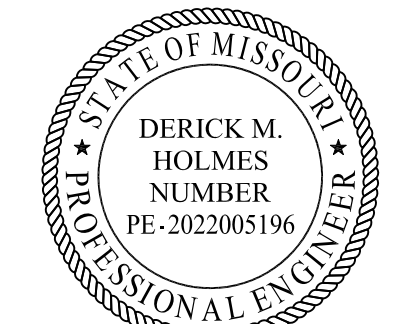
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FIRE STATION #5
CITY OF LEE'S SUMMIT

801 MISSOURI HIGHWAY 150
LEE'S SUMMIT, MISSOURI 64082

#	Description	Date
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5	ASI 05	02.08.2023
9	ASI 09	06.02.2023
11	ASI 11	08.02.2023
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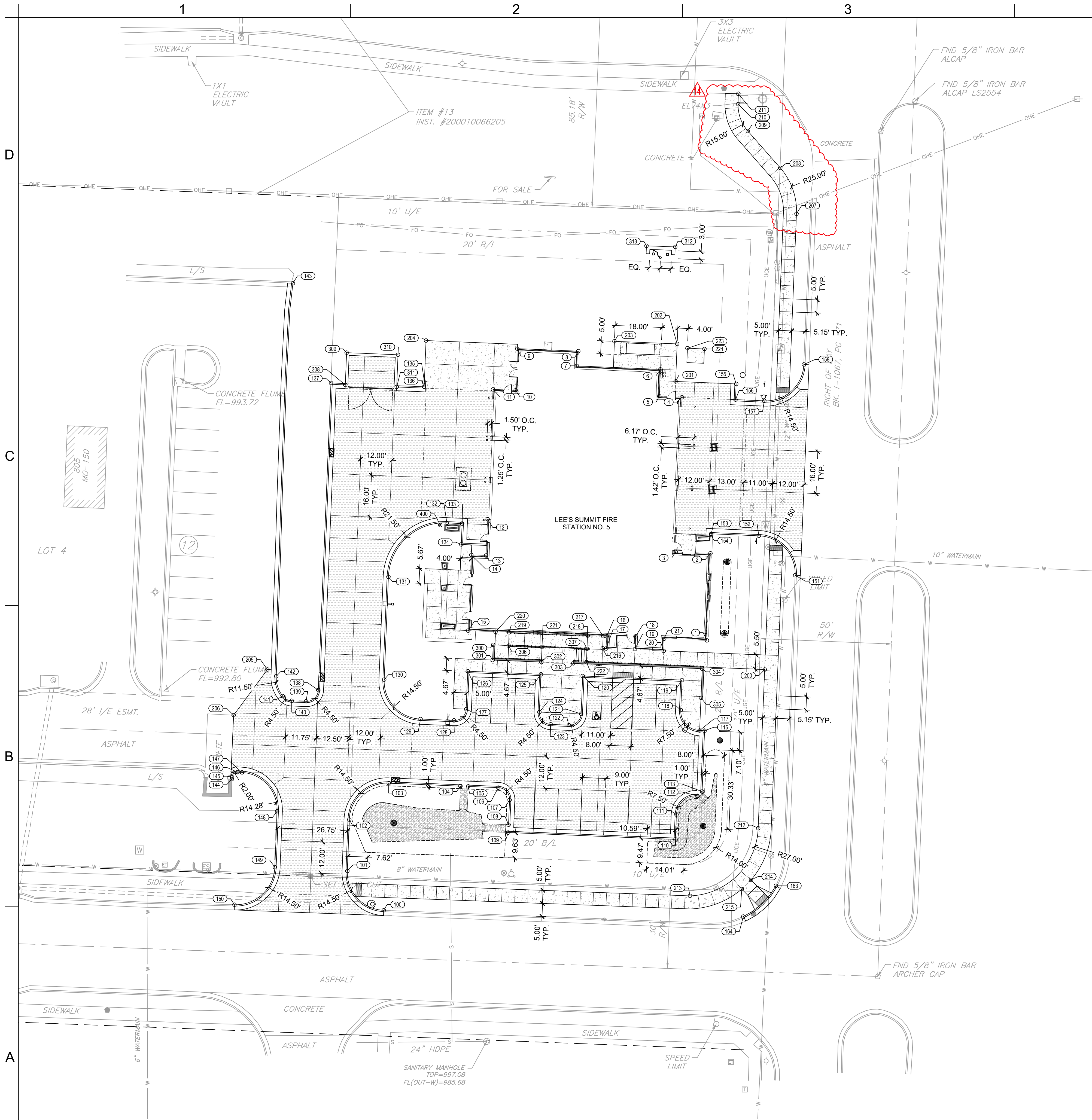
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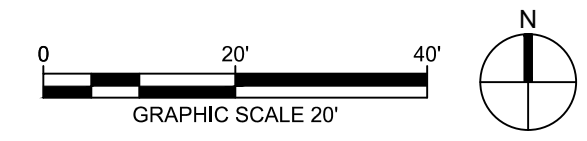
SITE PLAN

C-100

PLEASE CONSIDER THE ENVIRONMENT
BEFORE PRINTING THIS



LAYOUT PLAN



LAYOUT NOTES

- ALL CURB POINTS INDICATE BACK OF CURB UNLESS OTHERWISE NOTED.
- SEE UTILITY PLAN FOR ALL UTILITY LOCATIONS AND LAYOUT.

LAYOUT TABLE			
POINT NO.	NORTHING	EASTING	DESCRIPTION
1	977961.0508	2818527.9968	BLDG
2	977994.3558	2818529.3645	BLDG
3	977994.9029	2818516.0424	BLDG
4	978054.1030	2818518.4736	BLDG
5	978054.4586	2818509.8143	BLDG
6	978064.7417	2818510.2357	BLDG
7	978066.0534	2818478.2947	BLDG
8	978071.7029	2818478.8291	BLDG
9	978072.6603	2818455.5154	BLDG
10	978056.7154	2818454.8606	BLDG
11	978057.0711	2818446.2012	BLDG
12	978007.4046	2818444.1615	BLDG
13	977993.5413	2818443.5922	BLDG
14	977993.7738	2818437.9302	BLDG
15	977964.7985	2818436.7403	BLDG
16	977962.6237	2818489.6956	BLDG
17	977957.9610	2818489.5041	BLDG
18	977962.5471	2818500.7018	BLDG
19	977957.7594	2818500.5051	BLDG
20	977957.0583	2818511.4856	BLDG
21	977961.7210	2818511.6771	BLDG
100	977857.8114	2818404.4309	CURB
101	977872.8579	2818390.5043	CURB
102	977892.5228	2818391.2609	CURB
103	977906.4532	2818406.3451	CURB
104	977905.3279	2818433.7559	CURB
105	977905.2049	2818436.7534	CURB
106	977904.7332	2818448.2432	CURB
107	977900.0523	2818452.5548	CURB
108	977890.5603	2818452.1650	CURB
109	977887.5629	2818452.0419	CURB
110	977884.9368	2818515.9880	CURB
111	977894.4288	2818516.3778	CURB
112	977901.6058	2818524.3953	CURB
113	977903.2415	2818526.1710	CURB
116	977926.5147	2818527.1267	CURB
117	977926.5937	2818525.2050	CURB
118	977934.3951	2818518.0191	CURB
119	977945.8854	2818518.4910	CURB
120	977947.4446	2818480.5230	CURB
121	977932.9569	2818479.9280	CURB
122	977928.8453	2818475.2471	CURB
123	977928.9325	2818468.2530	CURB
124	977933.6134	2818463.9415	CURB
125	977948.1012	2818464.5365	CURB
126	977949.2501	2818436.5600	CURB
127	977934.7623	2818435.9651	CURB
128	977930.4507	2818431.2842	CURB
129	977930.9750	2818418.5014	CURB
130	977946.0563	2818404.6086	CURB
131	977985.3941	2818406.2199	CURB
132	978005.9963	2818428.5798	CURB
133	978005.7578	2818434.4152	CURB
134	977997.7681	2818434.0887	CURB
135	978060.0648	2818419.9688	CURB
136	978058.0664	2818419.8867	CURB
137	978059.5293	2818384.2588	CURB
138	977942.0584	2818379.4156	CURB
139	977937.7481	2818374.7335	CURB
140	977937.9760	2818369.2236	CURB
141	977939.7570	2818365.8193	CURB
142	977947.3249	2818363.3264	CURB
143	978097.7030	2818369.7155	CURB
144	977908.0055	2818346.3667	CURB
145	977908.7720	2818346.4110	CURB
146	977910.6535	2818348.5228	CURB
147	977910.5543	2818350.2429	CURB

LEGEND			
	TYP. CURB & GUTTER		
	TYP. CONCRETE PAVING		
	ASPHALT PATCH		
	CONCRETE SIDEWALK		
	MISSOURI RIVER ROCK		
	RETAINING WALL		

LAYOUT TABLE			
POINT NO.	NORTHING	EASTING	DESCRIPTION
148	977895.7090	2818363.6726	CURB
149	977874.3278	2818362.7921	CURB
150	977859.9520	2818347.3463	CURB
151	977985.9905	2818561.7588	CURB
152	978001.0741	2818547.8782	CURB
153	978001.8385	2818529.6722	CURB
154	978001.3499	2818529.6518	CURB
155	978059.1637	2818539.2135	CURB
156	978053.1610	2818538.9620	CURB
157	978052.6995	2818549.9744	CURB
158	978066.5984	2818565.0696	CURB
163	977867.2305	2818554.4154	CURB
164	977855.4185	2818541.9400	CURB
200	977949.9259	2818550.1067	PAVE
201	978060.1225	2818516.0497	PAVE
202	978074.4871	2818516.6396	PAVE
203	978075.4719	2818492.6598	PAVE
204	978075.7618	2818420.6133	PAVE
205	977949.9284	2818359.9668	PAVE
206	977932.4304	2818347.0272	PAVE
207	978124.2628	2818562.2705	PAVE
208	978141.7902	2818556.0718	PAVE
209	978155.9055	2818543.6692	PAVE
210	978166.1957	2818539.9424	PAVE
211	978170.1567	2818540.0453	PAVE
212	977889.2129	2818547.6134	PAVE
213	977863.3360	2818521.5435	PAVE
214	977869.4400	2818544.8847	PAVE
215	977865.9177	2818541.3361	PAVE
216	977958.0161	2818488.1629	PAVE
217	977962.6788	2818488.3544	PAVE
218	977962.9250	2818482.3595	PAVE
219	977964.1560	2818452.3847	PAVE
220	977964.3692	2818447.1790	PAVE
221	977958.5312	2818464.9568	PAVE
222	977952.7250	2818481.9496	PAVE
223	978072.8242	2818520.5769	PAVE
224	978072.5574	2818527.0714	PAVE
300	977959.3780	2818446.3075	WALL
301	977953.5313	2818446.0674	WALL
5	ASI 05	02.08.2023	
302	977952.7650	2818464.7280	WALL
303	977952.2640	2818476.9266	WALL
304	977950.2397	2818526.2185	WALL
305	977939.0809	2818525.7569	WALL
306	977959.0557	2818452.1843	WALL
307	977957.8248	2818482.1590	WALL
308	978058.8074	2818389.7338	WALL
309	978071.1299	2818390.2419	WALL
310	978070.3196	2818409.8952	WALL
311	978057.9989	2818409.3872	WALL
312	978111.5826	2818515.8967	WALL
313	978112.0038	2818504.9051	WALL
400	978005.1651	2818426.0425	BOLLARD

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SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
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TEL: (816) 444-4200

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10.13.2023

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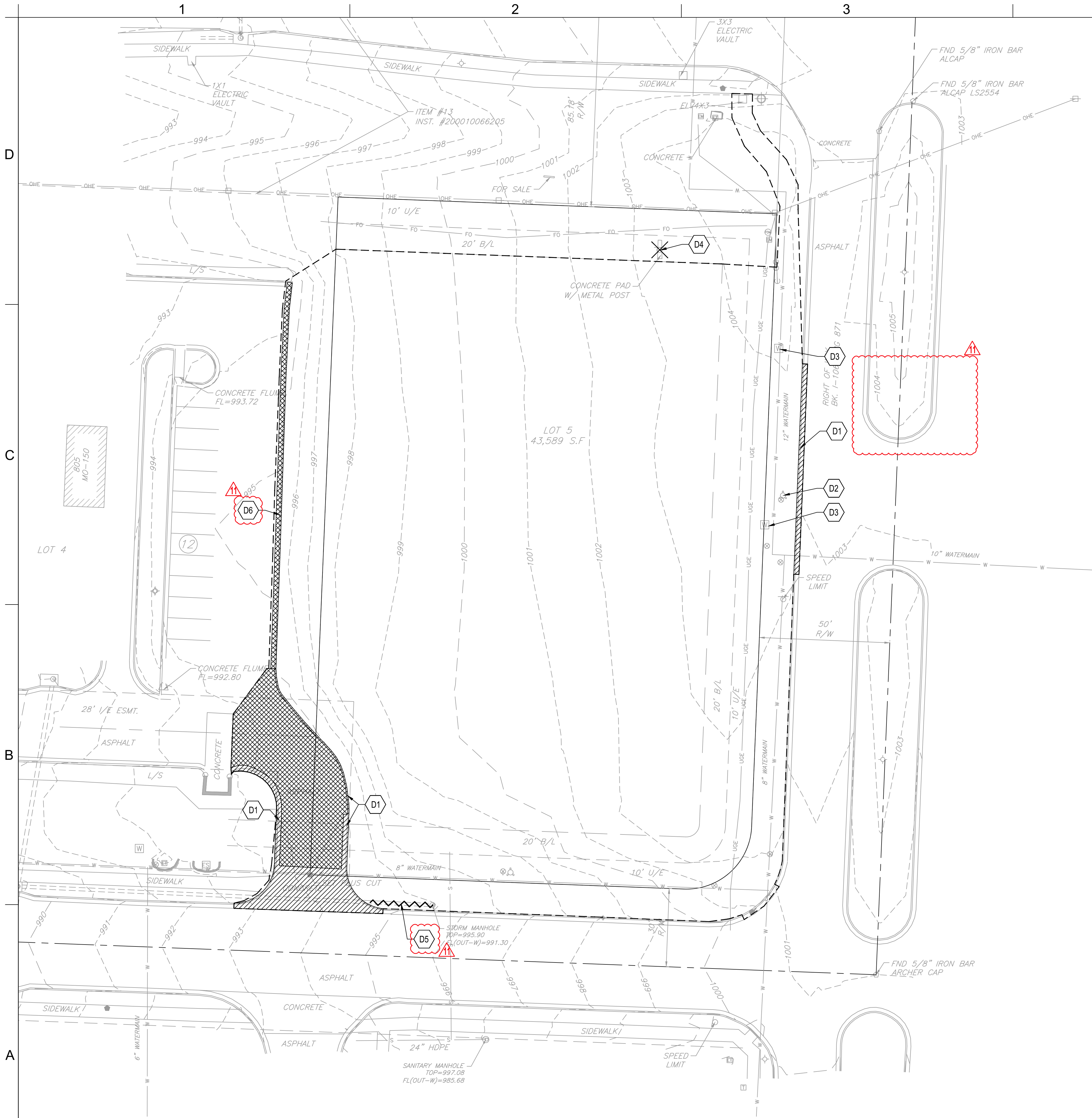
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LAYOUT PLAN

C-101

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GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, UNDERGROUND STORAGE TANKS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- EXISTING PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING WORK TO BE PERFORMED AND REMOVAL OF ALL SERVICE LINES. CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY AS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BMP'S) AS APPROVED BY OWNER, AUTHORITY HAVING JURISDICTION, AND CONSTRUCTION MANAGER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO ANY DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES MUST BE INSTALLED.
- ALL DISTURBED FEATURES SHALL BE RESTORED OR RELOCATED AS REQUIRED TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL REPAIR/REPLACE ANY SURROUNDING FEATURES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- CONTRACTOR TO CLEAR SITE TO EXTENTS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL REMOVE ALL TREES AND SHRUBS WITHIN PROPERTY BOUNDARY LIMITS NOT INDICATED AS PROTECTED OR TO REMAIN.

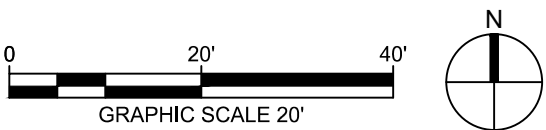
KEYNOTES

- D1 REMOVE CURB & GUTTER
- D2 RELOCATE FIRE HYDRANT
REF: C-220
- D3 ADJUST WATER VALVE
TO PROPOSED GRADE
- D4 REMOVE SIGN POST AND FOUNDATION.
CAP AND ABANDON ALL ELECTRICAL IN PLACE
- D5 REMOVE STORMWATER PIPE, REMOVE AND RELOCATE
STORM STRUCTURE, REF: C-104
- D6 REMOVE ASPHALT CURB.
REF: 3/C-503, CURB REPLACEMENT DETAIL

LEGEND

- PAVEMENT TO BE REMOVED
- ASPHALT PAVEMENT TO BE REMOVED
- SITE FEATURE TO BE REMOVED
- APPROXIMATE LIMITS OF DISTURBANCE

1 DEMOLITION PLAN



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SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
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STRUCTURAL ENGINEER
LEIGH + DYKANE
MISSOURI COA #001644
250 NE MURBERRY, SUITE 201
LEE'S SUMMIT, MO, 64086
(816) 444-3144 PHONE

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MISSOURI COA #01022
15902 MIDLAND DRIVE
SHAWNEE, KS 66217
(913) 362-9090 PHONE

SECURITY & IT ENGINEERS
HENDERSON ENGINEERS
MISSOURI COA # 000556
1801 MAIN STREET, SUITE 300
KANSAS CITY, MO 64108
(816) 663-8700 PHONE

FIRE STATION #5
CITY OF LEE'S SUMMIT
801 MISSOURI HIGHWAY 150
LEE'S SUMMIT, MISSOURI 64082

100% CONSTRUCTION DOCUMENT DRAWINGS

#	Description	Date
5	ASI 05	02.08.2023
11	ASI 11	08.08.2023

DERICK HOLMES - CIVIL ENGINEER
MO# PE-2022005196

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PROJECT NO: 18225R21001

DATE: 10.26.2022

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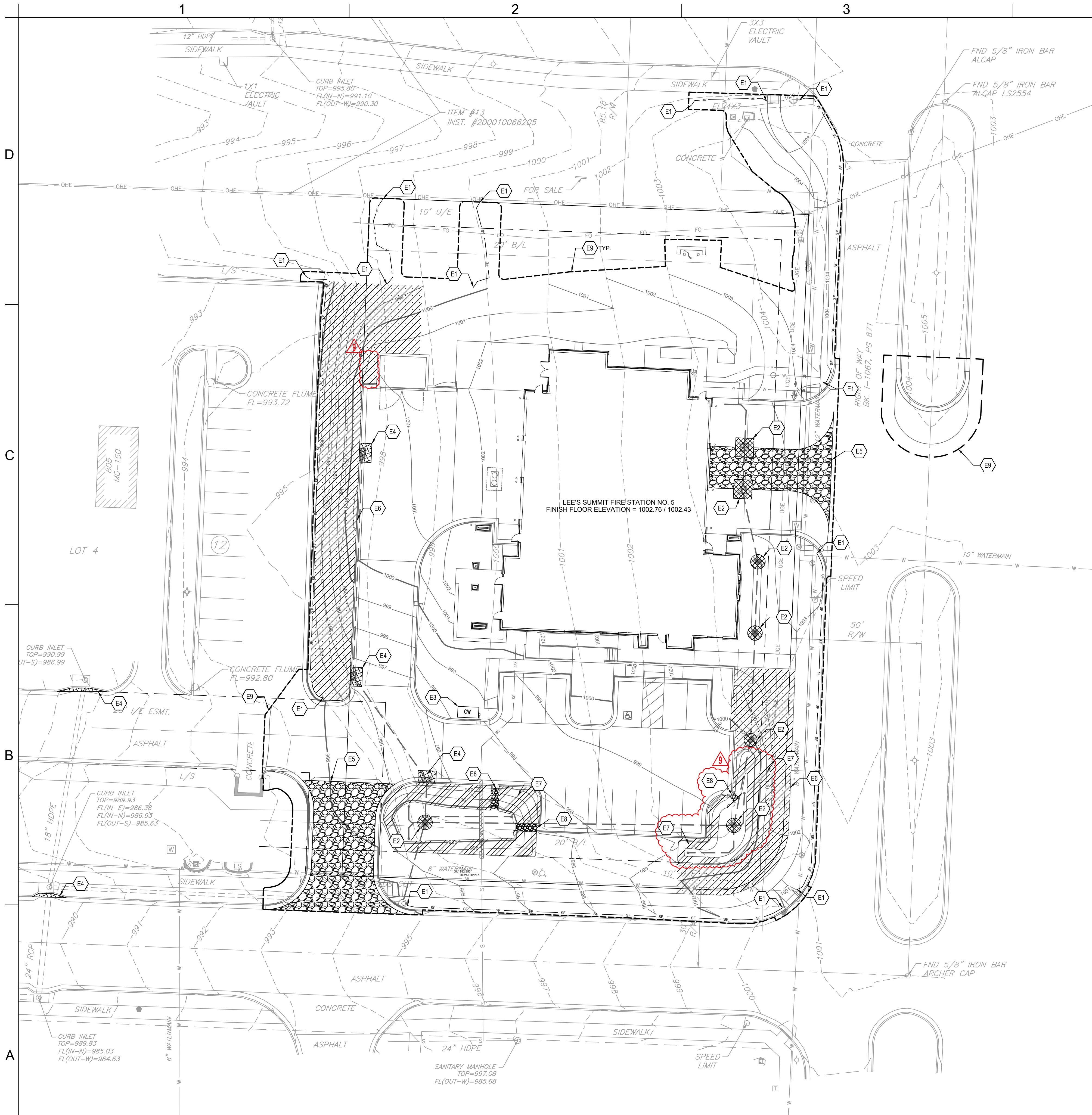
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DEMOLITION PLAN

C-102

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1 EROSION CONTROL PLAN

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

THIS SHEET OUTLINES MINIMUM STORMWATER PRACTICES TO BE FOLLOWED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR PREVENTION OF SOIL OR SEDIMENT LOSS FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL SUBMIT A SITE-SPECIFIC SEDIMENT AND EROSION CONTROL SCHEDULE. THESE NOTES ARE TO BE USED AS A GUIDELINE ONLY. THE PROJECT IS NOT CONSIDERED COMPLETE UNTIL ALL PERMANENT EROSION AND SEDIMENT CONTROLS AND STORMWATER MANAGEMENT PRACTICES ARE IN PLACE TO THE SATISFACTION OF THE OWNER AND ENGINEER. ALL TEMPORARY PRACTICES MUST BE PROPERLY REMOVED.

IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS PURSUANT TO THE GENERAL NPDES PERMIT FOR CONSTRUCTION STORMWATER, A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED FOR THIS SITE. THE PLAN WAS DEVELOPED TO MINIMIZE THE EFFECTS OF SOIL EROSION AND RESULTING SEDIMENT LOSS. PREVENTION WILL BE PROVIDED THROUGH THE USE OF PROPER CONSTRUCTION TECHNIQUES. THESE TECHNIQUES WILL INCLUDE BOTH TEMPORARY AND PERMANENT MANAGEMENT PRACTICES. TO PREVENT EROSION AND SEDIMENT FROM LEAVING THE CONSTRUCTION SITE, THE FOLLOWING STEPS SHALL BE TAKEN DURING CONSTRUCTION:

1. PRIOR TO STARTING ANY SOIL DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES AND GRAVEL CONSTRUCTION ENTRANCES.
2. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE KANSAS CITY METRO CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION. INSTALL SILT FENCE AT INDICATED LOCATIONS AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER TO CONTROL SOIL EROSION. SILT FENCE SHALL BE KEPT IN PLACE UNTIL THE PROJECT IS STABILIZED.
3. CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS AND PAVED STREETS. THIS MAY INCLUDE PERIODIC TOP DRESSING WITH ADDITIONAL CRUSHED STONE AS CONDITIONS WARRANT. REPAIR OF ENTRANCE(S) AND CLEANING OF RIGHT-OF-WAYS AND PAVED STREETS THAT HAVE BEEN SOILED BY CONSTRUCTION ACTIVITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
4. DURING ALL SOIL DISTURBING ACTIVITIES, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS USING ACCEPTED CONSTRUCTION METHODS TO MINIMIZE THE TIME OF EXPOSURE OF UNPROTECTED SOIL AND OTHER CONSTRUCTION MATERIALS TO RAINFALL. PARTICULAR CARE MUST BE EXERCISED WHEN DEALING WITH STOCKPILES OF TOPSOIL OR FILL MATERIALS AND WITH SOIL ON SLOPES.
5. SOIL STOCKPILED FOR MORE THAN 7 DAYS WILL HAVE SILT FENCE PLACED ON THE DOWNHILL SIDE TO TRAP SEDIMENT.
6. NO GROUND SHALL BE LEFT DISTURBED FOR MORE THAN 14 DAYS OF NON-ACTIVITY WITHOUT BEING TEMPORARILY MULCHED AND/OR SEEDED.
7. EROSION CONTROLS SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR NOT LESS THAN WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR MORE. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO SEDIMENT REMOVAL AND SILT FENCE REPAIR AND/OR REPLACEMENT.
8. WHENEVER DIRT, ROCK, OR OTHER MATERIALS ARE EXPORTED FOR PLACEMENT IN AREAS OFF THE PRIMARY CONSTRUCTION SITE, THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT ALL JURISDICTIONAL AUTHORITY REQUIREMENTS ARE MET. PRIOR TO THE REMOVAL OF ANY MATERIALS FROM THE SITE, THE CONTRACTOR WILL FURNISH THE ENGINEER WITH A WRITTEN AGREEMENT, SIGNED BY EACH LANDOWNER WHO WILL RECEIVE EXPORTED MATERIALS, STATING THAT THE RECEIVING SITE WILL BE PROPERLY PERMITTED, WHEN REQUIRED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS AND EXPENSES OF PROVIDING EROSION AND SEDIMENT CONTROL MEASURES.
10. CONTRACTOR SHALL KEEP A WRITTEN LOG OF WHEN CONSTRUCTION ACTIVITIES BEGIN, EROSION AND SEDIMENT CONTROLS ARE INSTALLED, INSPECTED, AND REPAIRED. COPIES OF LOG SHALL BE FURNISHED TO THE ENGINEER.
11. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED UPON STABILIZATION OF DISTURBED AREAS.

EROSION AND SEDIMENT CONTROL PHASING SCHEDULE	
PRIOR TO CONSTRUCTION	1. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCES. 2. INSTALL TEMPORARY PERIMETER SILT FENCE. 3. INSTALL TEMPORARY EXISTING CURB INLET PROTECTION.
DURING CONSTRUCTION	1. INSTALL THE FOLLOWING AS SITE IMPROVEMENTS ARE COMPLETED: A. TEMPORARY CURB AND AREA INLET PROTECTION. B. TEMPORARY EROSION AND SEDIMENT CONTROL BLANKETS. C. PERMANENT TURF REINFORCEMENT MATS. 2. TEMPORARY SEED AREAS OF SITE, AS REQUIRED (SEE NOTE 6).
AFTER CONSTRUCTION	1. SEED, FERTILIZE, AND MULCH ALL SLOPES AND DISTURBED AREAS. 2. PERFORM SITE CLEANUP. 3. REMOVE TEMPORARY PRACTICES AND PERIMETER CONTROLS ONCE FINAL STABILIZATION HAS BEEN ACHIEVED.

EROSION CONTROL KEYNOTES

- E1 SILT FENCE
REF: 3 / C-510

E2 AREA INLET AND JUNCTION BOX PROTECTION
REF: 1 / C-511

E3 CONCRETE WASHOUT
REF: 1 / C-510

E4 CURB INLET PROTECTION
REF: 4 / C-510

E5 CONSTRUCTION ENTRANCE
REF: 1 / C-510
- E6 TEMPORARY EROSION CONTROL BLANKET
REF: 2 / C-510

E7 PERMANENT TURF REINFORCEMENT MAT
REF: 2 / C-510

E8 RIPRAP
REF: C-100

E9 LIMITS OF DISTURBANCE

LEGEND

--- LIMITS OF DISTURBANCE

SF SILT FENCE

Area Inlet Protection

CW CONCRETE WASHOUT

Curb Inlet Protection

Construction Entrance

Temporary Erosion Control Blanket

Permanent Turf Reinforcement Mat

Riprap

9229 WARD PARKWAY
SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
FAX: (316) 265-5646
www.glmv.com

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#00026

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GLMV ARCHITECTURE, INC.
MISSOURI CIVIL COA #2019033898
MISSOURI LANDSCAPE COA #000008
9229 WARD PARKWAY, SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200

STRUCTURAL ENGINEER
LEIGH + DYANE
MISSOURI COA #001644
250 NE MURBERRY, SUITE 201
LEE'S SUMMIT, MO, 64086
(816) 444-3144 PHONE

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1601 MAIN STREET, SUITE 300
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REVISIONS:

#	Description	Date
2	ASI 02	11.22.2022
9	ASI 09	06.02.2023

DERICK M. HOLMES
NUMBER
PE-2022005196
06-02-2023

DERICK HOLMES - CIVIL ENGINEER
MO# PE-2022005196

The Professional Engineers and drafters of this sheet agree and warrant that the information contained herein is true and correct to the best of their knowledge and belief, and that the work was done in accordance with the standards of the profession and the requirements of the State of Missouri.

PROJECT NO: 18225R21001

DATE: 10.26.2022

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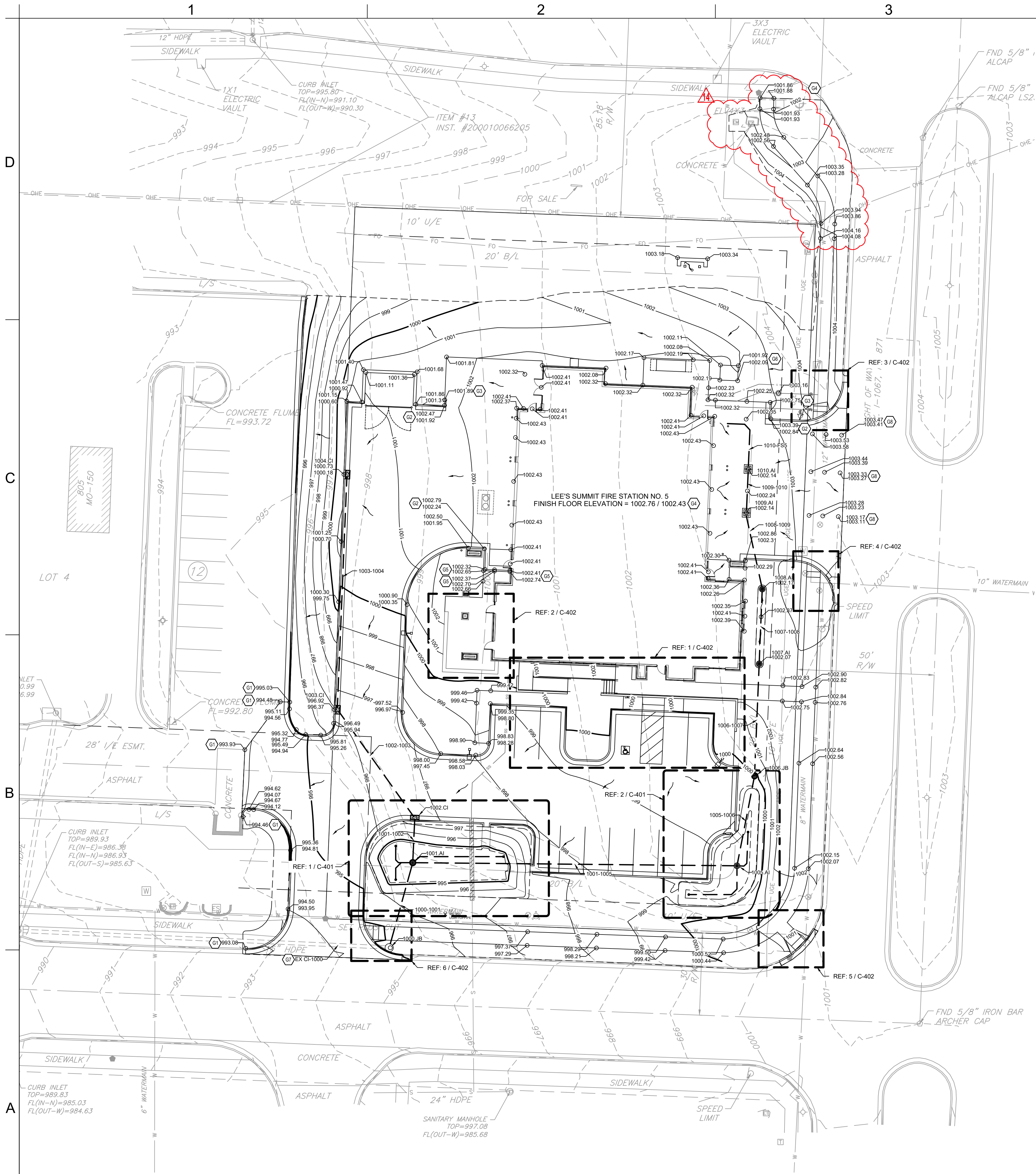
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EROSION CONTROL PLAN

C-103

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GENERAL GRADING & DRAINAGE NOTES:

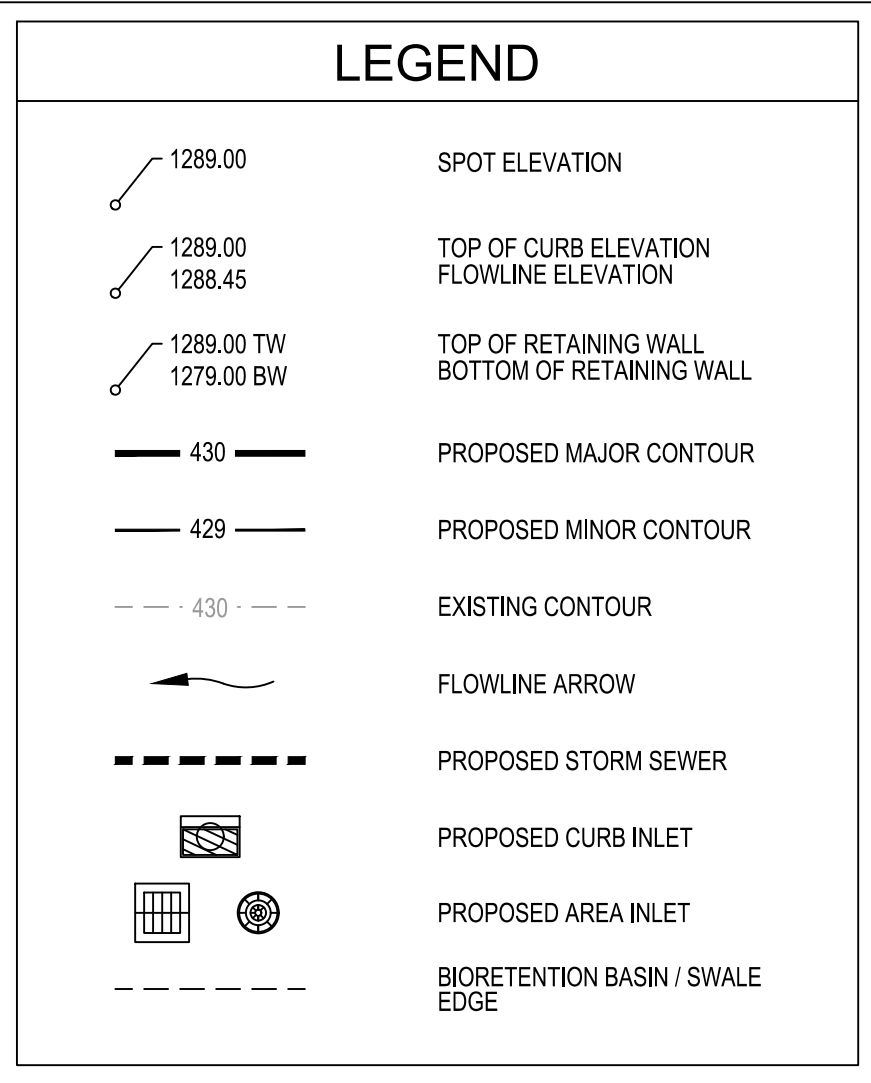
1. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813. WHERE DISCREPANCIES EXIST BETWEEN THESE PLANS AND THE DESIGN AND CONSTRUCTION MANUAL, THE DESIGN AND CONSTRUCTION MANUAL SHALL PREVAIL. THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH A FIELD ENGINEERING INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.
2. ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, LOW VOLUME CHANGE MATERIAL, TOPSOIL, ETC. WHEN GRADING THE SITE.
3. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED (GREEN SPACES) SHALL BE FINISH GRADED WITH A MINIMUM OF SIX INCHES OF TOPSOIL.
4. ALL EXCAVATIONS AND EMBANKMENTS SHALL COMPLY WITH THE RECOMMENDATIONS PROVIDED BY THE GEOTECHNICAL ENGINEER.
5. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1, UNLESS NOTED OTHERWISE ON THE PLANS.
6. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ELEVATIONS OF CONNECTION POINTS AS SHOWN ON GRADING PLANS. NOTIFY ENGINEER IF DISCREPANCY EXISTS FOR DIRECTION.
7. ALL GRADES SHALL BE CONTOURED SMOOTHLY WITH GENTLE ROUNDING/SHAPING OF ALL AFFECTED LAND SURFACES. ABRUPT TRANSITIONS AT THE TOP OF SLOPES WHERE PROPOSED GRADES MEET EXISTING ARE NOT ACCEPTABLE. GRADING SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE ADDITION OF THE TOPSOIL LAYER.
8. SEE DRAWINGS C-230 AND C-231 FOR STORMWATER INFORMATION.

ADA NOTES:

1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED.
2. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE, AND CONSISTENCY WITH INDUSTRY GUIDELINES.
3. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - 3.1. ACCESSIBLE PARKING SPACES AND ACCESS AISLE SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
 - 3.2. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 48-INCHES MINIMUM WIDTH. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDE A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.
 - 3.3. ACCESSIBLE RAMP MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMP. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMP THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HANDRAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES.
 - 3.4. ACCESSIBLE CURB RAMP MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMP'S TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%).
 - 3.5. DOORWAY LANDING AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).
 - 3.6. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING. ANY CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.
 - 3.7. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-COMFORMING CONCRETE AND/OR PAVEMENT SURFACES.
4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

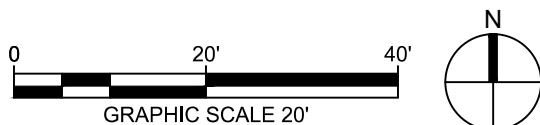
GRADING & DRAINAGE KEYNOTES:

- G1 (+/-) MATCH EXISTING ELEVATION. NOTIFY ENGINEER IF SIGNIFICANT DISCREPANCY EXISTS.
- G2 START TRANSITION FROM FULL-DEPTH CURB
- G3 FLUSH CURB
- G4 FINISH GRADE AT DOORS SET 1" BELOW FINISH FLOOR ELEVATIONS TO ACCOUNT FOR THRESHOLDS.
- G5 4" CURB
- G6 SPOT ELEVATION DENOTES FINISH GRADE AT PAD EDGE AND NOT TOP OF PAD ELEVATION.
- G7 PUBLIC STORMWATER LINE. STORMWATER LINES NOT DENOTED WITH KEYNOTE G7 SHALL BE PRIVATE LINES.
- G8 1" LIP AT DRIVEWAY, MATCH FLOWLINE.



1 GRADING & DRAINAGE PLAN

1" = 20'-0"



9229 WARD PARKWAY
SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
FAX: (316) 285-5646
www.glmv.com

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GLMV ARCHITECTURE, INC.
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MISSOURI LANDSCAPE COA #000008
9229 WARD PARKWAY, SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200

STRUCTURAL ENGINEER
LEIGH + DYKANE
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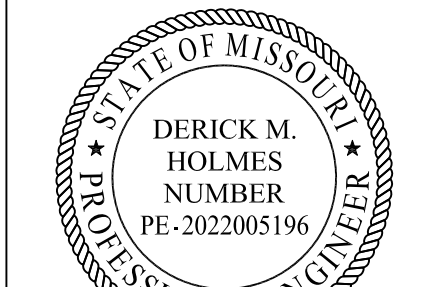
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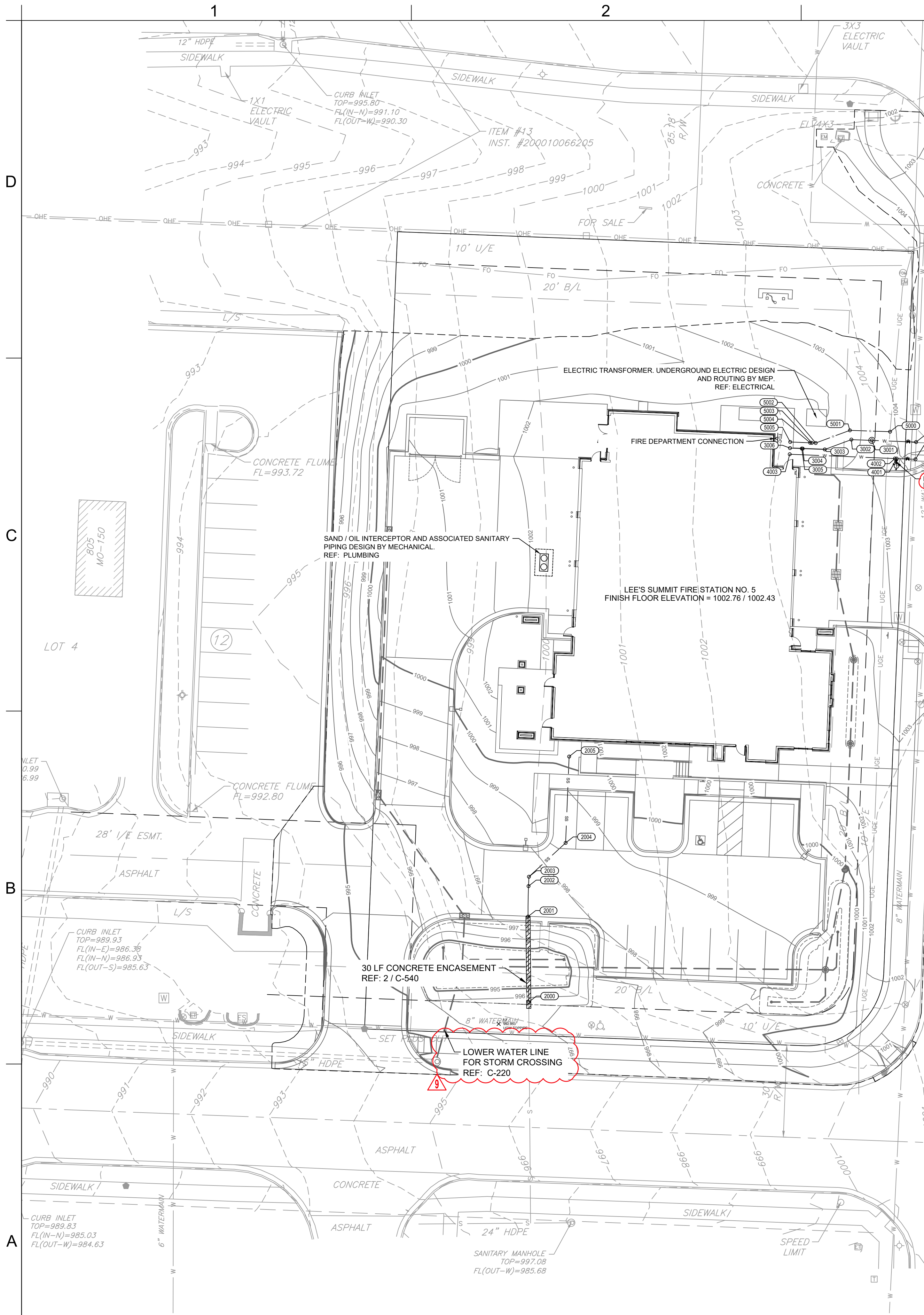
PROJECT NO: 18225R21001
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GRADING & DRAINAGE PLAN

C-104

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DOMESTIC WATER INFORMATION				
POINT #	NORTHING	EASTING	SIZE & MATERIAL MIN. TOP OF PIPE NOTES	
3000	978062.00	2818556.14	2" SOFT TYPE "K" COPPER SERVICE LINE 1000.72 CONNECT TO EXISTING 12" WATER MAIN AND INSTALL ISOLATION VALVE.	
3001	978062.55	2818541.72	2" SOFT TYPE "K" COPPER SERVICE LINE 999.81 DOMESTIC WATER SERVICE CONNECTION WITH METER WELL ; REF: 1/ C-521	
3002	978062.80	2818535.06	2" SOFT TYPE "K" COPPER SERVICE LINE 999.21 22.5 DEG ELBOW	
3003	978059.60	2818526.39	2" SOFT TYPE "K" COPPER SERVICE LINE 998.78 22.5 DEG ELBOW	
3004	978059.87	2818519.19	2" SOFT TYPE "K" COPPER SERVICE LINE 998.82 FIELD BEND	
3005	978059.88	2818518.90	2" SOFT TYPE "K" COPPER SERVICE LINE 998.82 FIELD BEND	
3006	978060.04	2818515.05	2" SOFT TYPE "K" COPPER SERVICE LINE 998.83 UTILITY INTERFACE POINT. SEE MEP PLANS FOR CONTINUATION.	

FIRE PROTECTION INFORMATION				
POINT #	NORTHING	EASTING	SIZE & MATERIAL MIN. TOP OF PIPE NOTES	
4000	978056.38	2818555.93	6" PVC 1000.33 CONNECT TO EXISTING 12" WATER MAIN & INSTALL ISOLATION VALVE.	
4001	978056.61	2818549.82	6" PVC 1000.54 FIELD BEND	
4002	978056.64	2818549.24	6" PVC 1000.51 FIELD BEND	
4003	978058.04	2818514.97	6" PVC 998.85 UTILITY INTERFACE POINT. SEE MEP PLANS FOR CONTINUATION.	

- DOMESTIC WATER AND FIRE NOTES**
- DOMESTIC WATER AND FIRE SERVICE LINES SHALL BE INSTALLED PER CITY OF LEE'S SUMMIT STANDARD SPECIFICATIONS.
 - ALL FIRE PROTECTION PVC SHALL BE C900.

GENERAL UTILITY NOTES:

UTILITY CONSTRUCTION SHALL COMPLY WITH THE STANDARD SPECIFICATIONS, CODES, AND DETAILS OF THE CITY OF LEE'S SUMMIT, MO AND UTILITY PROVIDERS.

- INSTALLATION, BEDDING, & TESTING OF UTILITY INSTALLATIONS SHALL BE AS PER CITY OF LEE'S SUMMIT, MO STANDARD SPECIFICATIONS AND STANDARD SPECIAL PROVISIONS.
- THE INFORMATION SHOWN ON THESE PLANS CONCERNING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION AND FOR MAKING HIS OWN VERIFICATION AS TO TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
- PROTECT ALL COMPONENTS DURING DEMOLITION / CONSTRUCTION PROCESS. MAINTAIN BMP'S THROUGHOUT THE DURATION OF CONSTRUCTION.
- STUB ALL CONNECTIONS TO WITHIN 5' OF THE BUILDING TO PROVIDE CONNECTION INTO THE BUILDING BY MECHANICAL PLUMBING CONTRACTOR.
- CONTRACTOR TO PROVIDE DETAILED AS-BUILT DRAWINGS TO OWNER, ENGINEER, AND CITY OF LEE'S SUMMIT, MO UPON COMPLETION OF ALL UTILITIES.
- UTILITY TRENCH BACKFILL SHALL BE PER PROJECT SPECIFICATIONS.
- UTILITY PIPE LENGTHS ARE PROVIDED FOR INFORMATION ONLY. CONTRACTOR TO VERIFY ACTUAL LENGTHS OF PIPE REQUIRED PRIOR TO BIDDING & INSTALLING UTILITIES.
- UTILITY CONTRACTOR TO COORDINATE BUILDING CONNECTION POINTS WITH PLUMBING PLAN AND BUILDING CONTRACTOR.
- CONTRACTOR TO ADJUST EXISTING WATER VALVES TO PROPOSED GRADE, AS REQUIRED.
- FIELD BEND INFORMATION IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO FOLLOW PIPE MANUFACTURER'S RECOMMENDATIONS FOR FIELD ADJUSTMENTS OF PIPE BETWEEN FITTINGS.

SANITARY SEWER INFORMATION				
POINT #	NORTHING	EASTING	SIZE & MATERIAL SLOPE DOWNSTREAM INV. EL. NOTES	
2000	977879.55	2818429.96	4" PVC N/A 989.58 CONNECTION TO EXISTING SERVICE. SEE SANITARY SEWER NOTE 2	
2001	977907.40	2818429.72	4" PVC 4.32% 990.78 FIELD BEND	
2002	977917.33	2818429.88	4" PVC 4.32% 991.21 FIELD BEND	
2003	977920.39	2818430.01	4" PVC 4.32% 991.34 45 DEG ELBOW	
2004	977931.40	2818441.95	4" PVC 13.19% 993.49 45 DEG ELBOW	
2005	977959.53	2818443.11	4" PVC 13.19% 997.20 CLEANOUT UTILITY INTERFACE POINT. SEE MEP PLANS FOR CONTINUATION	

- SANITARY SEWER NOTES**
- ALL PVC PIPE SHALL BE SDR 26.
 - APPROXIMATE LOCATION OF EXISTING SANITARY SEWER STUB (PER CITY AS-BUILTS). CONTRACTOR TO FIELD VERIFY PRIOR TO INSTALLING UPSTREAM PIPE.

GAS INFORMATION				
POINT #	NORTHING	EASTING	FINISHED GRADE NOTES	
5000	978065.39	2818547.67	1003.89 SEE GAS NOTE 2	
5001	978065.83	2818534.58	1002.74 22.5 DEG ELBOW	
5002	978061.70	2818523.44	1002.25 22.5 DEG ELBOW	
5003	978061.75	2818522.21	1002.25 FIELD BEND	
5004	978061.77	2818521.63	1002.28 FIELD BEND	
5005	978062.04	2818515.13	1002.30 UTILITY INTERFACE POINT. SEE MEP PLANS FOR CONTINUATION.	

- GAS NOTES**
- GAS LINE DESIGN AND INSTALLATION PER SERVICE PROVIDER.
 - EXISTING GAS NOT PICKED UP ON SITE SURVEY. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER FOR SERVICING SITE WITH NATURAL GAS.

UTILITY LEGEND	
G	PROPOSED GAS
SS	PROPOSED SANITARY SEWER
---	PROPOSED STORM SEWER
	PROPOSED CURB INLET
	PROPOSED STORMWATER MANHOLE
	PROPOSED AREA INLET
W	PROPOSED WATER
	PROPOSED ISOLATION VALVE
	PROPOSED FIRE HYDRANT
FDC	PROPOSED FIRE DEPARTMENT CONNECTION

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MISSOURI COA #001644
250 NE MURBERRY, SUITE 201
LEE'S SUMMIT, MO, 64086
(816) 444-3144 PHONE

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HOSS & BROWN ENGINEERS
MISSOURI COA #01022
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SHAWNEE, KS 66217
(913) 362-9090 PHONE

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HENDERSON ENGINEERS
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1601 MAIN STREET, SUITE 300
KANSAS CITY, MO 64108
(816) 663-8700 PHONE

FIRE STATION #5
CITY OF LEE'S SUMMIT

801 MISSOURI HIGHWAY 150
LEE'S SUMMIT, MISSOURI 64082

100% CONSTRUCTION DOCUMENT DRAWINGS

REVISIONS:

#	Description	Date
2	ASI 02	11.22.2022
9	ASI 09	06.02.2023

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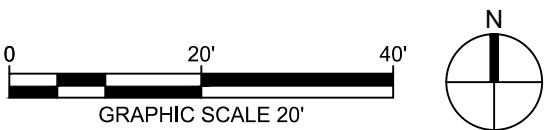
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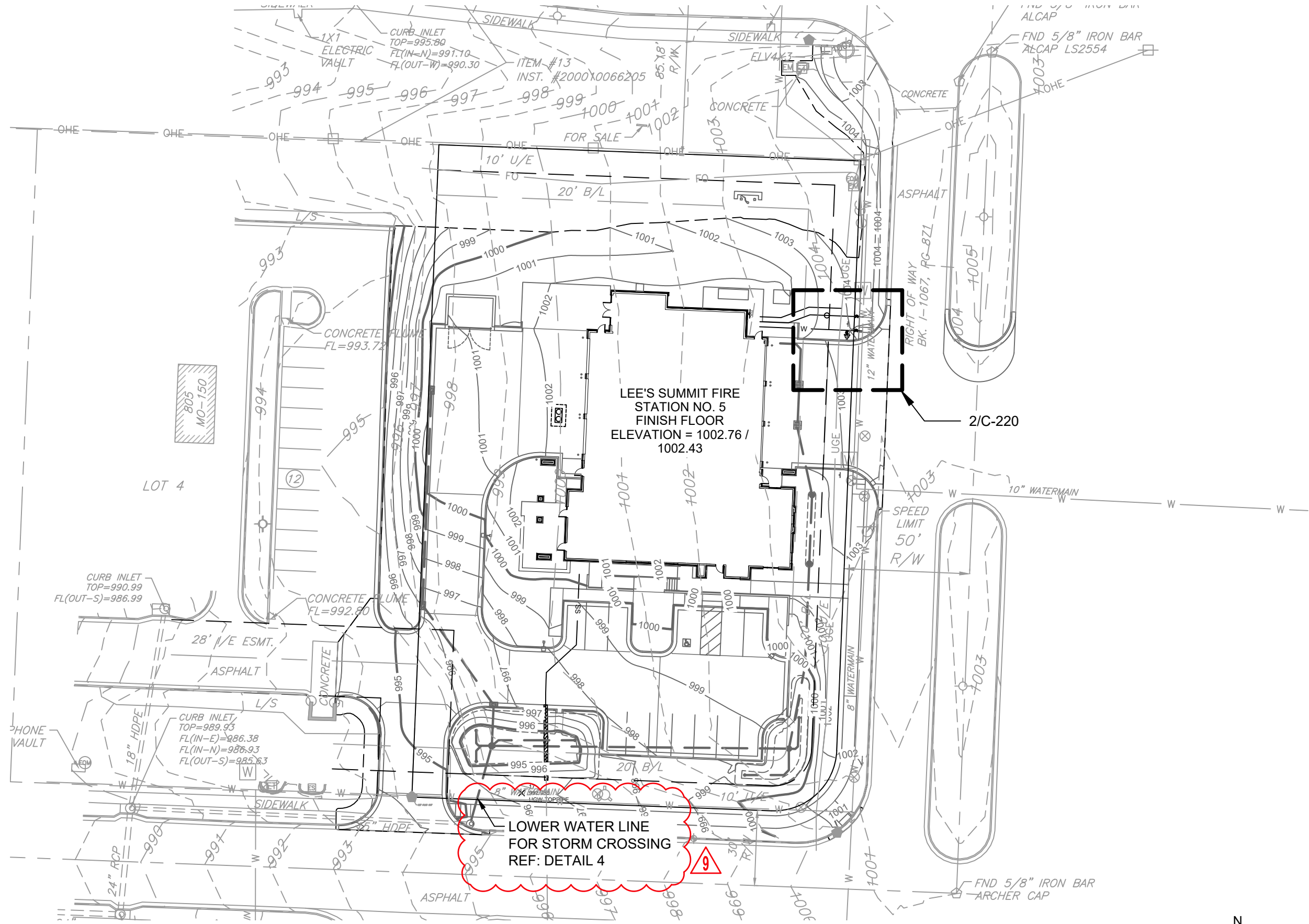
UTILITY PLAN

C-105

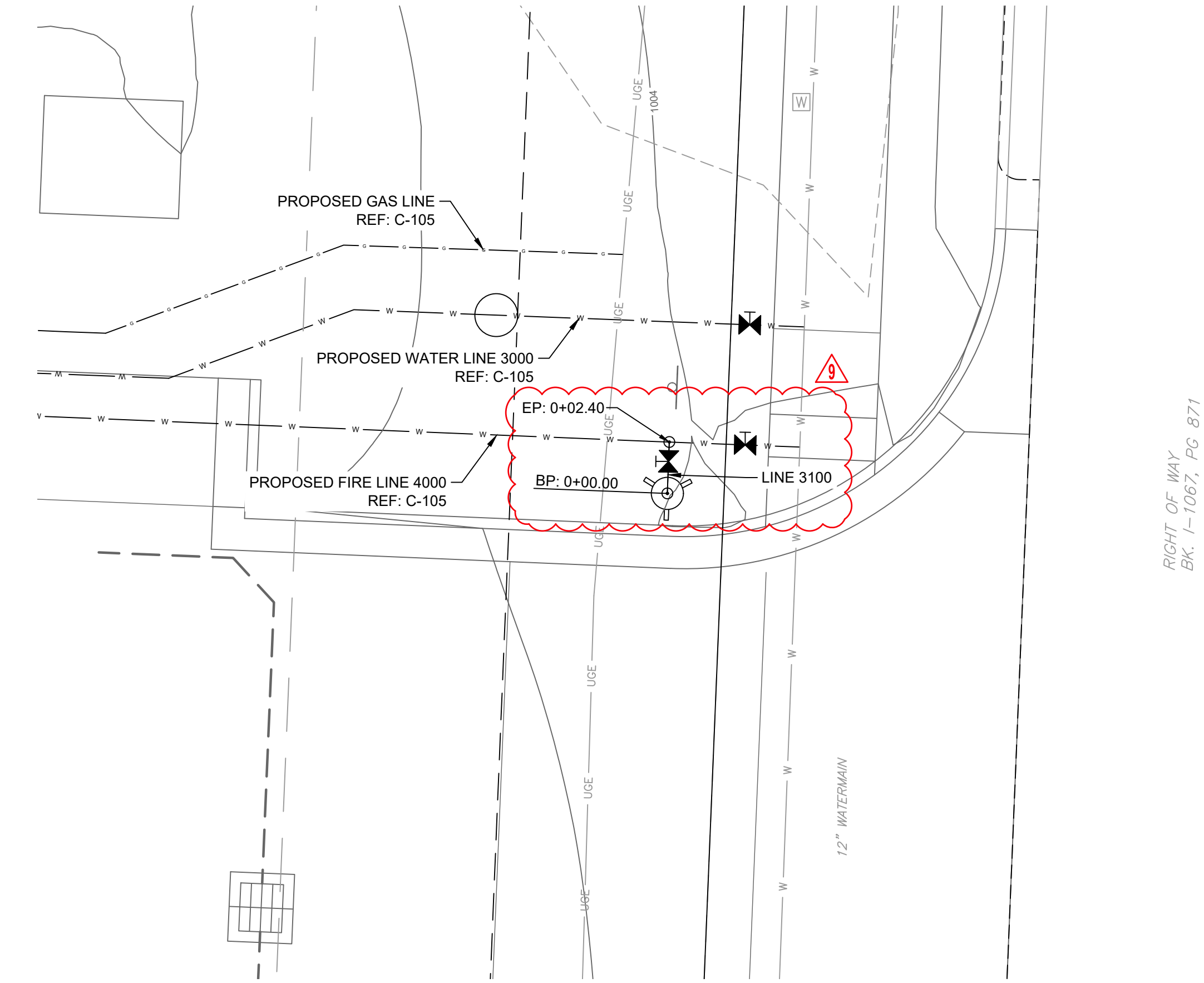
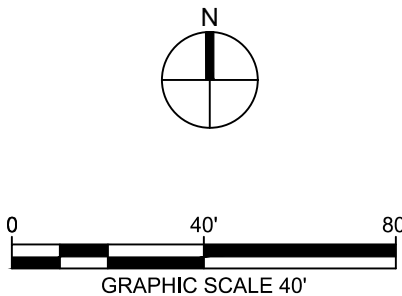
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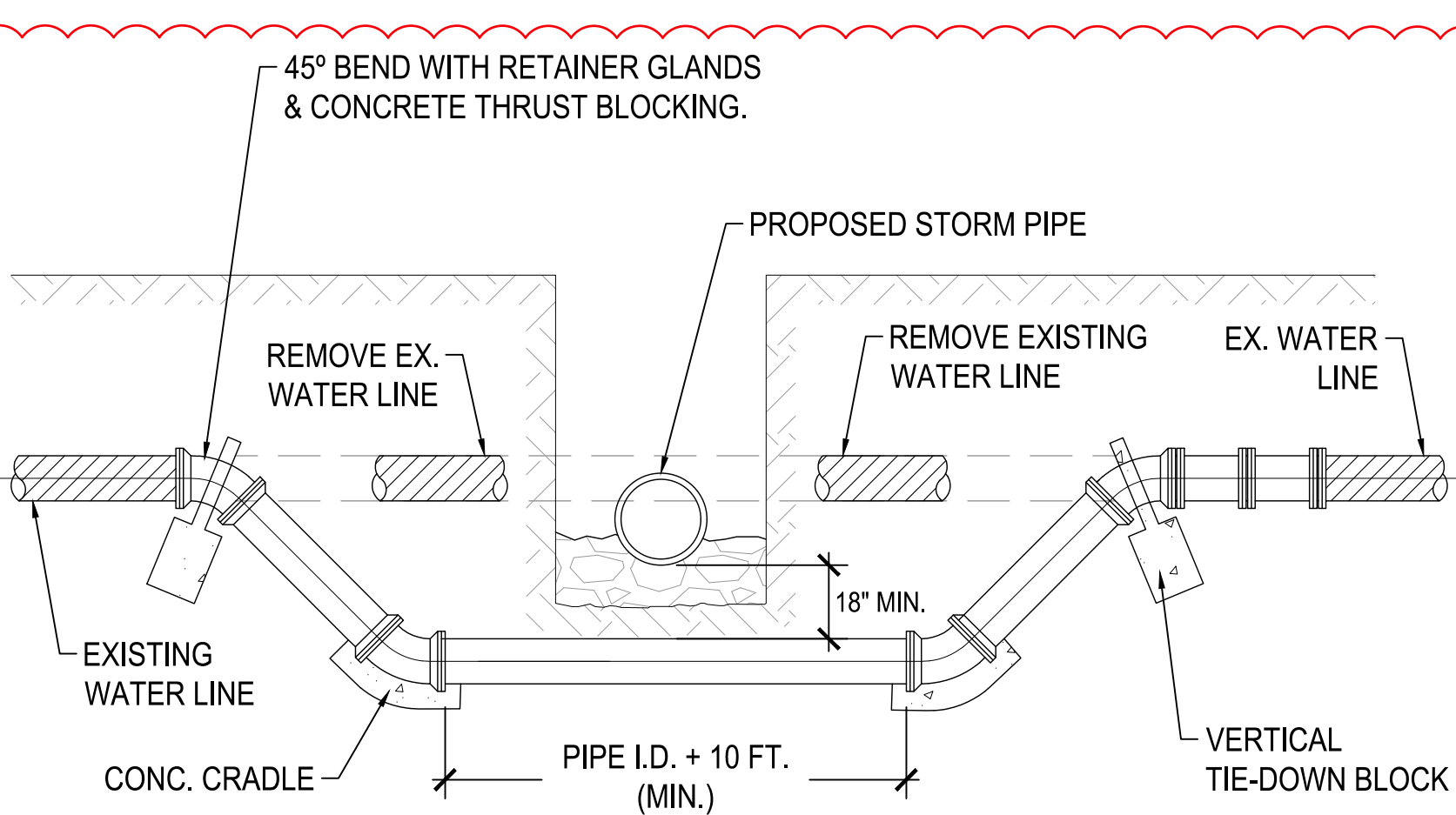
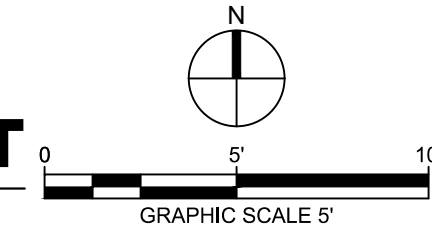
D
C
B
A



1 FIRE PROTECTION LINE PLAN VIEW
SCALE: HORIZONTAL 1"=40'

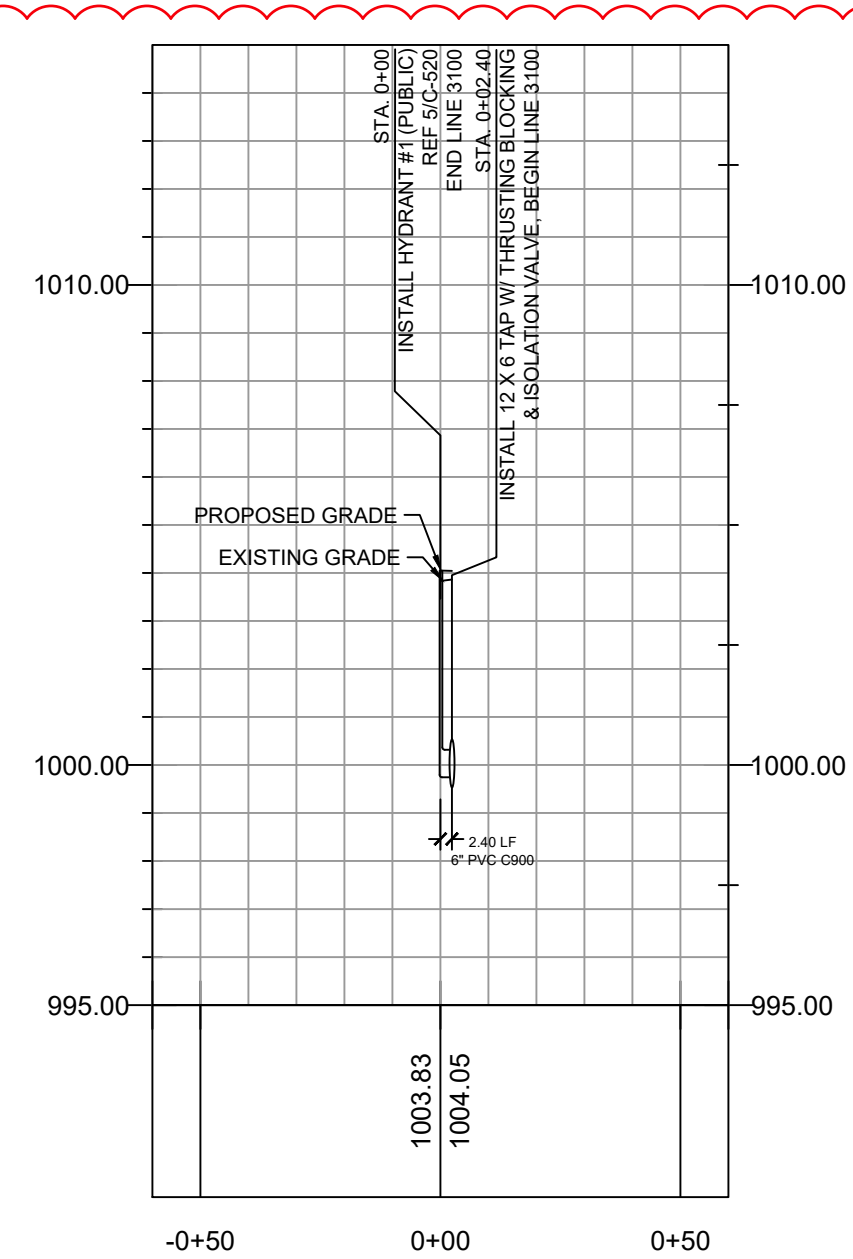


2 FIRE PROTECTION LINE 3100 PLAN VIEW ENLARGEMENT
SCALE: HORIZONTAL 1"=5'



- NOTES:
1. CONTRACTOR TO FOLLOW CITY OF LEE'S SUMMIT, MO STANDARD SPECIFICATIONS FOR LOWERING OF WATER MAIN.
 2. ALL FITTINGS SHALL BE RESTRAINED USING MEGA-LUGS.
 3. ALL WATER PIPE SHALL BE C-900 DR-18 PVC PIPE.

4 WATER MAIN LOWERING
1-1/2" = 1"



3 FIRE PROTECTION LINE 3100 PROFILE
SCALE: HORIZONTAL 1"=40' SCALE: VERTICAL 1"=4'

GENERAL UTILITY NOTES:

1. SEE DRAWING C-105 FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.

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SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
FAX: (316) 265-5646
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MISSOURI LANDSCAPE COA #000008
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KANSAS CITY, MO 64114
TEL: (816) 444-4200

STRUCTURAL ENGINEER
LEIGH + O'KANE
MISSOURI COA #001644
250 NE MURBERRY, SUITE 201
LEE'S SUMMIT, MO, 64086
(816) 444-3144 PHONE

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HOSS & BROWN ENGINEERS
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SHAWNEE, KS 66217
(913) 362-9090 PHONE

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HENDERSON ENGINEERS
MISSOURI COA # 000556
1801 MAIN STREET, SUITE 300
KANSAS CITY, MO 64108
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FIRE STATION #5
CITY OF LEE'S SUMMIT
801 MISSOURI HIGHWAY 150
LEE'S SUMMIT, MISSOURI 64082

#	Description	Date
2	ASI 02	11.22.2022
9	ASI 09	06.02.2023

DERICK M. HOLMES
PROFESSIONAL ENGINEER
PE-2022005196
06-02-2023

DERICK HOLMES - CIVIL ENGINEER
MO# PE-2022005196

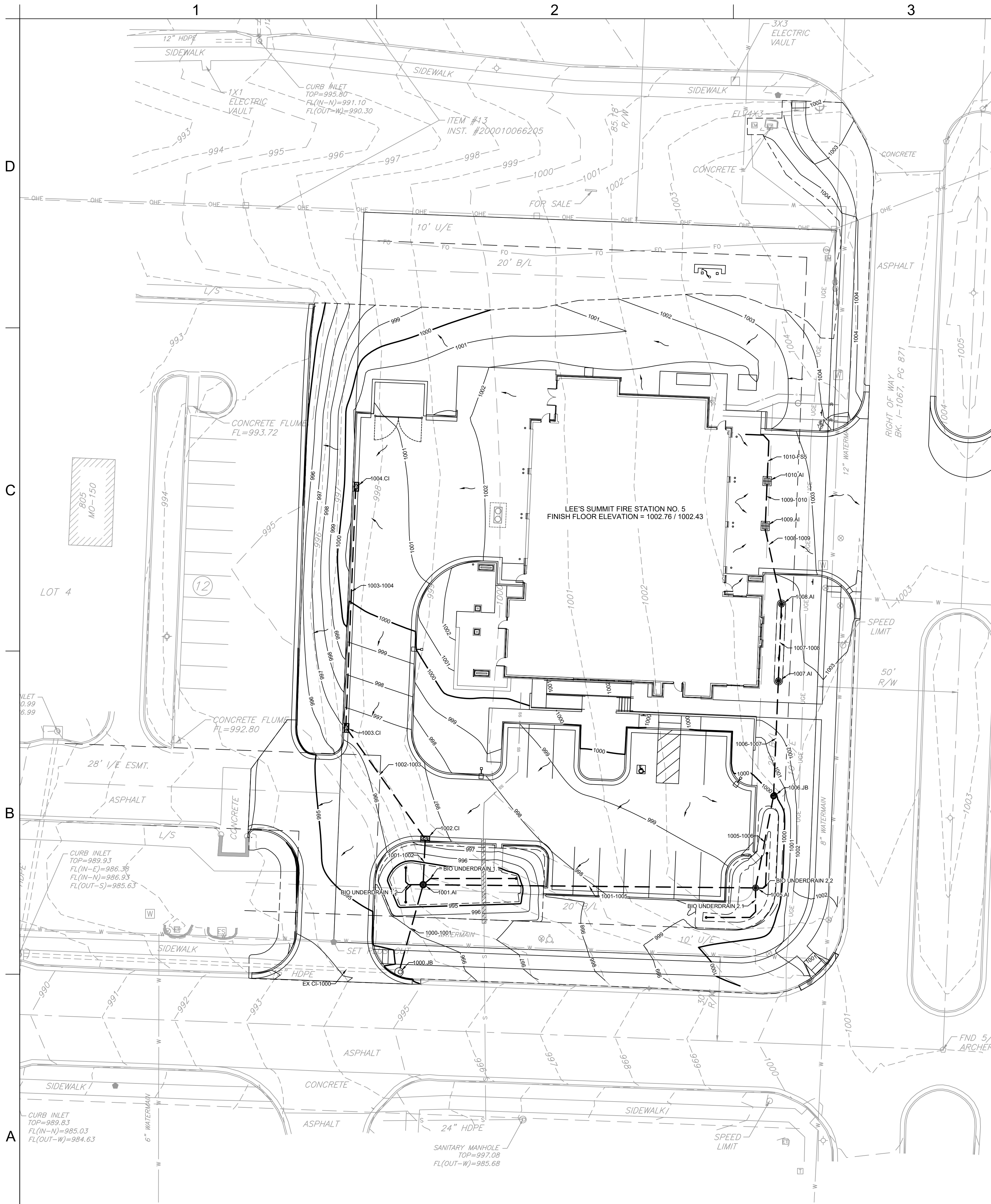
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**PUBLIC WATER
PLAN & PROFILES**

C-220



GENERAL STORMWATER NOTES:

- CONSTRUCTION OF STORMWATER IMPROVEMENTS SHALL BE AS PER CITY OF LEE'S SUMMIT, MO STANDARD SPECIFICATIONS AND STANDARD SPECIAL PROVISIONS.
- THE INFORMATION SHOWN ON THESE PLANS CONCERNING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION AND FOR MAKING HIS OWN VERIFICATION AS TO TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
- PROTECT ALL COMPONENTS DURING DEMOLITION / CONSTRUCTION PROCESS. MAINTAIN BMP'S THROUGHOUT THE DURATION OF CONSTRUCTION.
- CONTRACTOR TO PROVIDE DETAILED AS-BUILT DRAWINGS TO OWNER, ENGINEER, AND CITY OF LEE'S SUMMIT, MO UPON COMPLETION OF ALL UTILITIES.

LEGEND

- 1289.00 SPOT ELEVATION
- 1289.00 TOP OF CURB ELEVATION
- 1288.45 FLOWLINE ELEVATION
- 1289.00 TW TOP OF RETAINING WALL
- 1279.00 BW BOTTOM OF RETAINING WALL
- 430 PROPOSED MAJOR CONTOUR
- 429 PROPOSED MINOR CONTOUR
- 430 EXISTING CONTOUR
- FLOWLINE ARROW
- PROPOSED STORM SEWER
- PROPOSED CURB INLET
- PROPOSED AREA INLET
- BIORETENTION BASIN / SWALE EDGE

STORMWATER STRUCTURE TABLE

STRUCTURE NAME	GRATE / RIM ELEVATION	PIPES IN	PIPES OUT	CL NORTHING & EASTING	NOTES
1000.JB	995.23	1000-1001, 12" INV IN = 990.98	EX CI-1000, 15" INV OUT = 990.83	N: 977860.16 E: 2818399.70	EXISTING MANHOLE, SEE NOTE 1
1001.AI	995.50	1001-1005, 12" INV IN = 991.71 1001-1002, 12" INV IN = 991.71 BIO UNDERDRAIN 1.1, 6" INV IN = 992.00 BIO UNDERDRAIN 1.2, 6" INV IN = 992.00	1000-1001, 12" INV OUT = 991.21	N: 977891.22 E: 2818408.30	30" AREA INLET W/ DOME GRATE, SEE NOTE 2 REF: C-401; 1 / C-530, 5 / C-531 & 1-2 / C-532
1002.CI	996.63	1002-1003, 12" INV IN = 992.06	1001-1002, 12" INV OUT = 991.86	N: 977907.48 E: 2818409.02	2'X3" CURB INLET REF: 1 / C-530 & 1-2 / C-531
1003.CI	996.37	1003-1004, 12" INV IN = 992.50	1002-1003, 12" INV OUT = 992.30	N: 977947.03 E: 2818380.76	2'X3" CURB INLET REF: 1 / C-530 & 1-2 / C-531
1004.CI	1000.18		1003-1004, 12" INV OUT = 996.00	N: 978032.84 E: 2818384.29	2'X3" CURB INLET REF: 1 / C-530 & 1-2 / C-531
1005.AI	998.59	1005-1006, 12" INV IN = 994.39 BIO UNDERDRAIN 2.1, 6" INV IN = 994.76 BIO UNDERDRAIN 2.2, 6" INV IN = 994.76	1001-1005, 12" INV OUT = 993.89	N: 977890.08 E: 2818526.60	24" AREA INLET W/ DOME GRATE, SEE NOTE 2 REF: C-401; 1 / C-530 & 2, 3, 5 / C-531
1006.JB	1000.00	1006-1007, 12" INV IN = 994.81	1005-1006, 12" INV OUT = 994.61	N: 977922.79 E: 2818532.99	24" DRAIN BASIN W/ SOLID COVER REF: 1 / C-530 & 2, 4, & 5 / C-531
1007.AI	1002.07	1007-1008, 12" INV IN = 995.31	1006-1007, 12" INV OUT = 995.11	N: 977963.78 E: 2818534.70	24" AREA INLET W/ DOME GRATE REF: 1 / C-530 & 2, 3, & 5 / C-531
1008.AI	1002.17	1008-1009, 12" INV IN = 995.98	1007-1008, 12" INV OUT = 995.78	N: 977991.06 E: 2818535.81	24" AREA INLET W/ DOME GRATE REF: 1 / C-530 & 2, 3, & 5 / C-531
1009.AI	1002.14	1009-1010, 12" INV IN = 996.81	1008-1009, 12" INV OUT = 996.61	N: 978018.88 E: 2818530.05	STANDARD DOUBLE GRATE INLET REF: 2 / C-530
1010.AI	1002.14	1010-FS5, 6" INV IN = 997.30	1009-1010, 12" INV OUT = 997.10	N: 978034.83 E: 2818530.72	STANDARD DOUBLE GRATE INLET REF: 2 / C-530
EX CI	989.93	EX CI-1000, 15" INV IN = 986.38		N: 977866.28 E: 2818263.15	EXISTING CURB INLET, SEE NOTE 3 REF: 3-4 / C-530

STORMWATER PIPE TABLE

NAME	PIPE DESCRIPTION
BIO UNDERDRAIN 2.2	14.42 L.F. OF PERFORATED 6" PVC @ 0.5%
BIO UNDERDRAIN 2.1	25.92 L.F. OF PERFORATED 6" PVC @ 0.5%
BIO UNDERDRAIN 1.2	17.72 L.F. OF PERFORATED 6" PVC @ 0.5%
BIO UNDERDRAIN 1.1	32.74 L.F. OF PERFORATED 6" PVC @ 0.5%
EX CI-1000	133.81 L.F. OF 15" HDPE @ 3.33%
1000-1001	31.21 L.F. OF 12" HDPE @ 0.75%
1001-1002	14.52 L.F. OF 12" HDPE @ 1.00%
1001-1005	116.32 L.F. OF 12" HDPE @ 1.87%
1002-1003	47.13 L.F. OF 12" HDPE @ 0.50%
1003-1004	84.45 L.F. OF 12" HDPE @ 4.15%
1005-1006	31.33 L.F. OF 12" HDPE @ 0.70%
1006-1007	39.03 L.F. OF 12" HDPE @ 0.77%
1007-1008	25.31 L.F. OF 12" HDPE @ 1.86%
1008-1009	26.29 L.F. OF 12" HDPE @ 2.40%
1009-1010	13.70 L.F. OF 12" HDPE @ 2.12%
1010-FS5	22.29 L.F. OF 6" HDPE @ 0.50% MIN

NOTES

- CONTRACTOR TO REUSE EXISTING MANHOLE, IF POSSIBLE. SEE C-102. GROUT AND REPAIR EXISTING PIPE PENETRATIONS NO LONGER NECESSARY PER CITY OF LEE'S SUMMIT, MO STANDARDS. NOTIFY ENGINEER IF STRUCTURE IS UNABLE TO BE REUSED. EXISTING INVERT ELEVATION OUT ASSUMED BASED ON LINEAR INTERPOLATION. CONTRACTOR TO FIELD VERIFY AND CONTACT ENGINEER IF DISCREPANCY EXISTS.
- BIORETENTION BASIN OUTLET CONTROL STRUCTURE. SEE C-401.
- THIS STRUCTURE HAS ADDITIONAL EXISTING PIPES NOT SHOWN IN THIS STRUCTURE TABLE.



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SUITE # 210
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TEL: (816) 444-4200

STRUCTURAL ENGINEER
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MISSOURI COA #001644
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(913) 362-9090 PHONE

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FIRE STATION #5
CITY OF LEE'S SUMMIT

#	Description	Date
2	ASI 02	11.22.2022
5	ASI 05	02.08.2023
9	ASI 09	06.02.2023



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STORMWATER PLAN

C-230

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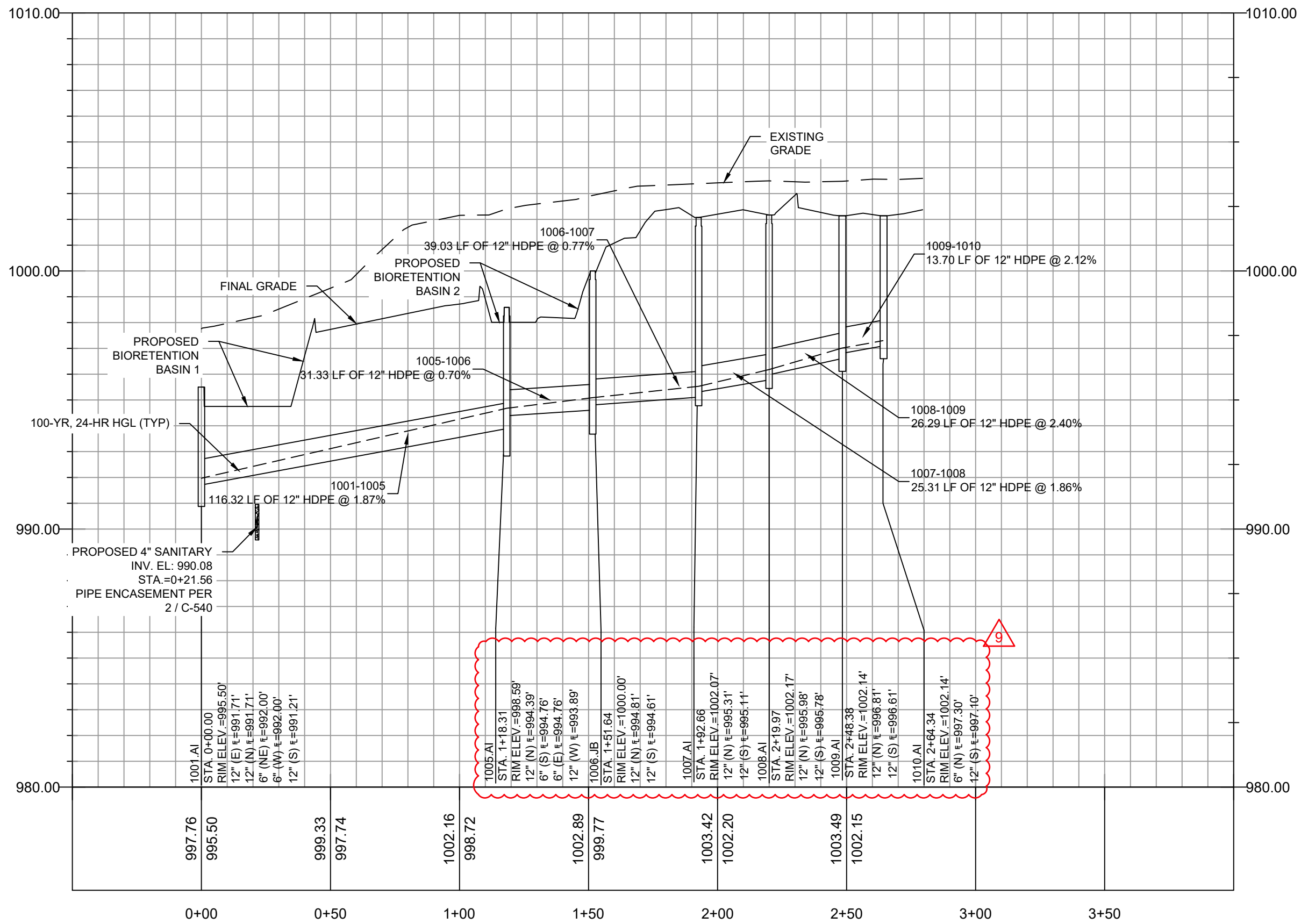
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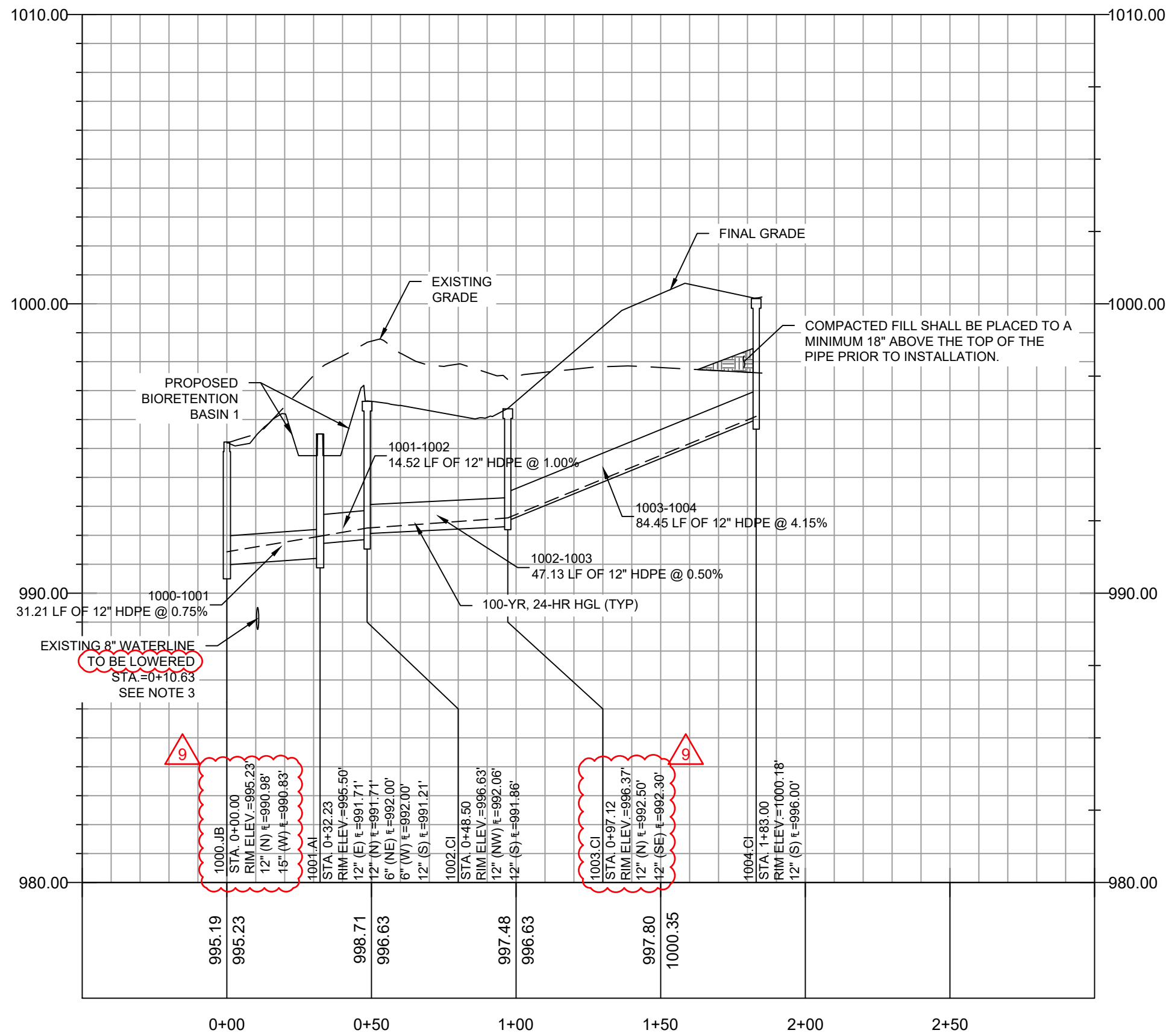
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GENERAL NOTES:

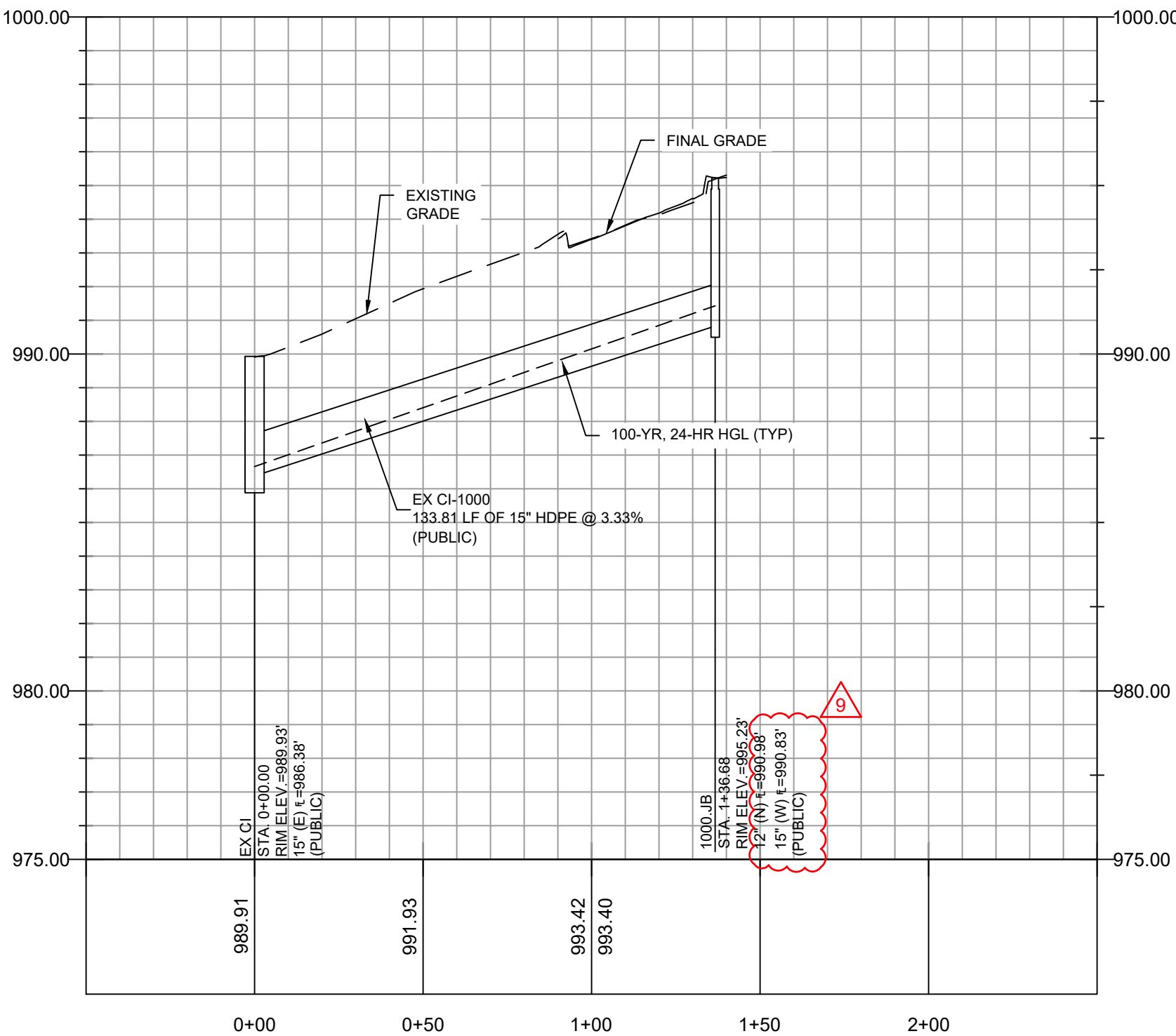
- SEE DRAWING C-230 FOR GENERAL NOTES APPLICABLE TO THIS DRAWING.
- ALL STORMWATER STRUCTURES AND PIPES SHOWN ON THIS DRAWING ARE PRIVATE, UNLESS NOTED OTHERWISE.
- 18" MINIMUM CLEARANCE REQUIRED.



1 1001.AI - 1010.AI PROFILE
SCALE: HORIZONTAL 1"=40' SCALE: VERTICAL: 1"=4'



2 1000.JB - 1004.CI PROFILE
SCALE: HORIZONTAL 1"=40' SCALE: VERTICAL: 1"=4'



3 EX CI - 1000.JB PROFILE
SCALE: HORIZONTAL 1"=40' SCALE: VERTICAL: 1"=4'

100-YR, 24-HR STORM EVENT																	
PIPE NAME	UPSTREAM NODE	DOWNSTREAM NODE	LENGTH (FT)	INLET INVERT ELEVATION (FT)	OUTLET INVERT ELEVATION (FT)	SLOPE (%)	PIPE DIAMETER (INCHES)	MANNING'S ROUGHNESS (N)	ENTRANCE LOSSES	EXIT/BEND LOSSES	PEAK FLOW (CFS)	TIME OF PEAK FLOW OCCURRENCE (DAYS HH:MM)	MAX FLOW VELOCITY (FT/SEC)	TRAVEL TIME (MIN)	DESIGN FLOW CAPACITY (CFS)	MAX FLOW / DESIGN FLOW RATIO	MAX FLOW DEPTH / TOTAL DEPTH RATIO
1000-1001	1001.AI	1000.JB	31.21	991.21	990.98	0.75	12	0.012	0.50	0.80	1.36	0 12:02	4.01	0.13	3.31	0.41	0.45
1001-1002	1002.CI	1001.AI	14.52	991.86	991.71	1.00	12	0.012	0.50	1.00	0.28	0 12:00	2.91	0.08	3.92	0.07	0.18
1001-1005	1005.AI	1001.AI	116.32	993.89	991.71	1.87	12	0.012	0.50	1.00	0.77	0 12:02	4.83	0.40	5.28	0.15	0.26
1002-1003	1003.CI	1002.CI	47.13	992.30	992.06	0.50	12	0.012	0.50	0.60	0.21	0 12:05	2.10	0.37	2.75	0.08	0.19
1003-1004	1004.CI	1003.CI	84.45	996.00	992.50	4.15	12	0.012	0.50	0.60	0.17	0 12:05	4.02	0.35	7.86	0.02	0.10
1005-1006	1006.JB	1005.AI	31.33	994.61	994.39	0.70	12	0.012	0.50	0.80	0.59	0 12:00	3.13	0.17	3.23	0.18	0.29
1006-1007	1007.AI	1006.JB	39.03	995.11	994.81	0.77	12	0.012	0.50	0.55	0.59	0 12:00	3.25	0.20	3.38	0.17	0.28
1007-1008	1008.AI	1007.AI	25.31	995.78	995.31	1.86	12	0.012	0.50	0.50	0.57	0 11:56	4.38	0.10	5.26	0.11	0.22
1008-1009	1009.AI	1008.AI	26.29	996.61	995.98	2.40	12	0.012	0.50	0.55	0.54	0 11:20	4.75	0.09	6.00	0.09	0.20
1009-1010	1010.AI	1009.AI	13.70	997.10	996.81	2.12	12	0.012	0.50	0.50	0.47	0 11:20	4.37	0.05	5.62	0.08	0.20
EX CI - 1000.JB	1000.JB	EX CI	133.81	990.83	986.38	3.33	15	0.012	0.50	0.50	1.36	0 12:01	6.79	0.33	12.76	0.11	0.28

100-YR, 24-HR STORM EVENT	
STRUCTURE NAME	MAX HGL ELEVATION (FT)
1000.JB	991.43
1001.AI	991.97
1002.CI	992.25
1003.CI	992.60
1004.CI	996.11
1005.AI	994.68
1006.JB	995.09
1007.AI	995.53
1008.AI	996.18
1009.AI	997.01
1010.AI	997.30
EX CI	986.66

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SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
FAX: (316) 265-5646
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LEE'S SUMMIT, MO, 64086
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1601 MAIN STREET, SUITE 300
KANSAS CITY, MO 64108
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FIRE STATION #5
CITY OF LEE'S SUMMIT
801 MISSOURI HIGHWAY 150
LEE'S SUMMIT, MISSOURI 64082

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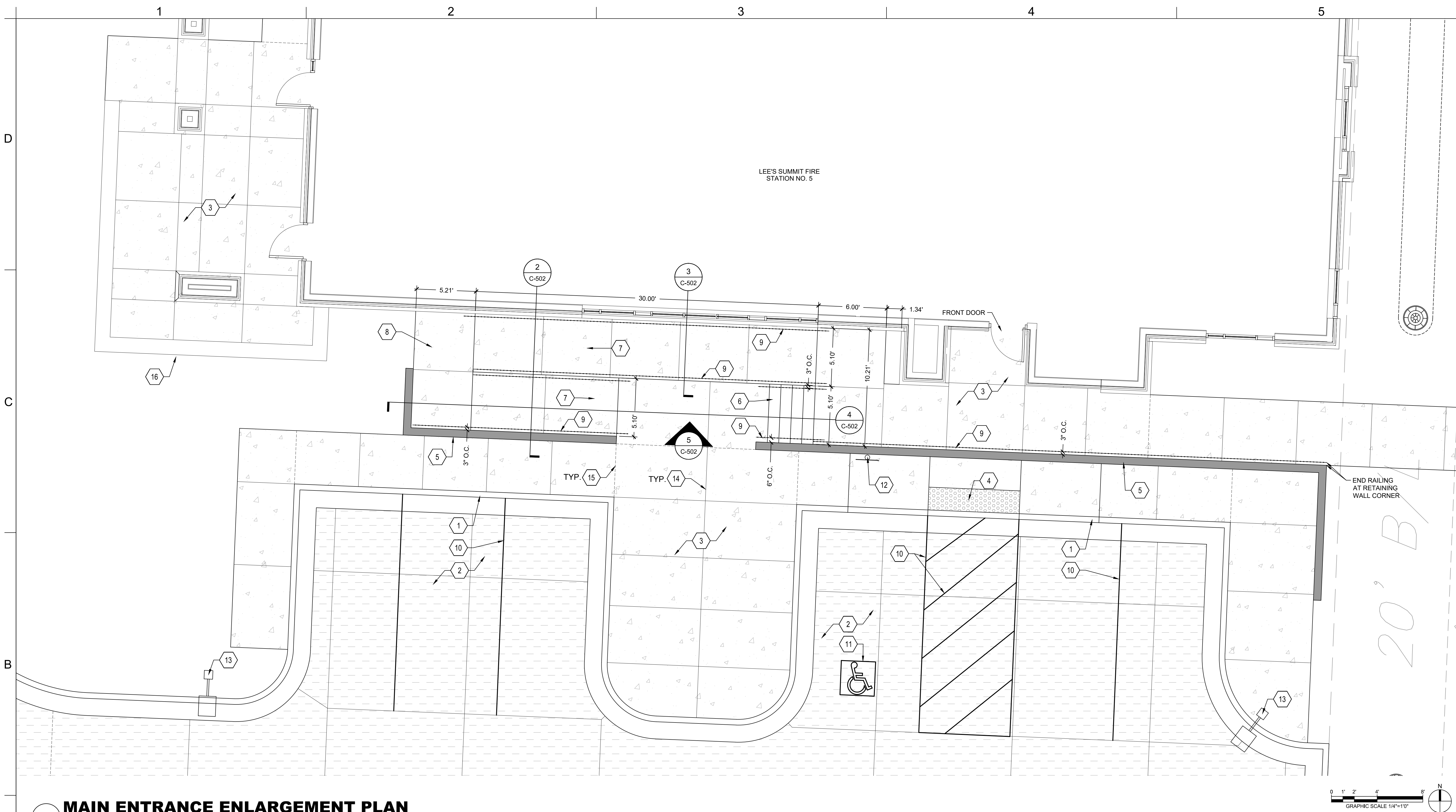
STATE OF MISSOURI
DERICK M. HOLMES
NUMBER
PE-2022005196
06-02-2023
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STORMWATER PROFILES

C-231



1 MAIN ENTRANCE ENLARGEMENT PLAN
1/4" = 1'-0"

KEYNOTES

- | | |
|--|--|
| 1 TYP. CURB & GUTTER
LEE'S SUMMIT STANDARD DETAIL
REF: 3/C-503 | 9 GALVANIZED RAILING
REF: 2, 3, 4, 5/C502 |
| 2 TYP. CONCRETE PAVING
REF: 1/C-500 | 10 PAVEMENT STRIPING
REF: 3/C-500 |
| 3 CONCRETE SIDEWALK PAVING
REF: 1/C-504 | 11 ADA PAVEMENT MARKING
REF: 4/C-500 |
| 4 ADA SIDEWALK RAMP
REF: 3/C-504 | 12 ADA PARKING SIGN
REF: 5/C-500 |
| 5 RETAINING WALL, SMOOTH FINISH
REF: C-402, C-502 & STRUCTURAL | 13 TYP. AREA LIGHTING
REF: 12/C-500 |
| 6 CONCRETE STEPS
REF: 4/C-502 | 14 CONSTRUCTION JOINT
REF: 12/C-500 |
| 7 ADA RAMP | 15 ISOLATION JOINT
REF: 12/C-500 |
| 8 ADA RAMP LANDING | 16 SCREEN WALL
REF: ARCHITECTURE |

LEGEND

- | | |
|--|----------------------|
| | TYP. CURB & GUTTER |
| | TYP. CONCRETE PAVING |
| | ASPHALT PATCH |
| | CONCRETE SIDEWALK |
| | MISSOURI RIVER ROCK |
| | RETAINING WALL |

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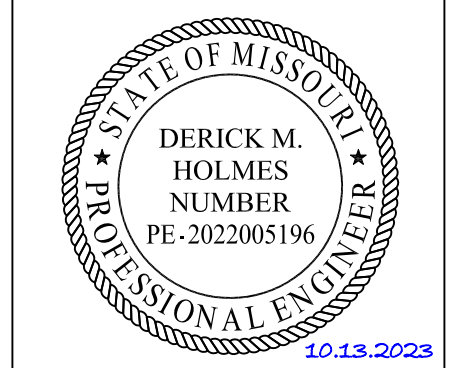
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FIRE STATION #5
CITY OF LEE'S SUMMIT

801 MISSOURI HIGHWAY 150
LEE'S SUMMIT, MISSOURI 64082

#	Description	Date
2	ASI 02	11.22.2022
5	ASI 05	02.08.2023
8	ASI 08	05.17.2023
14	ASI 14	10.13.2023



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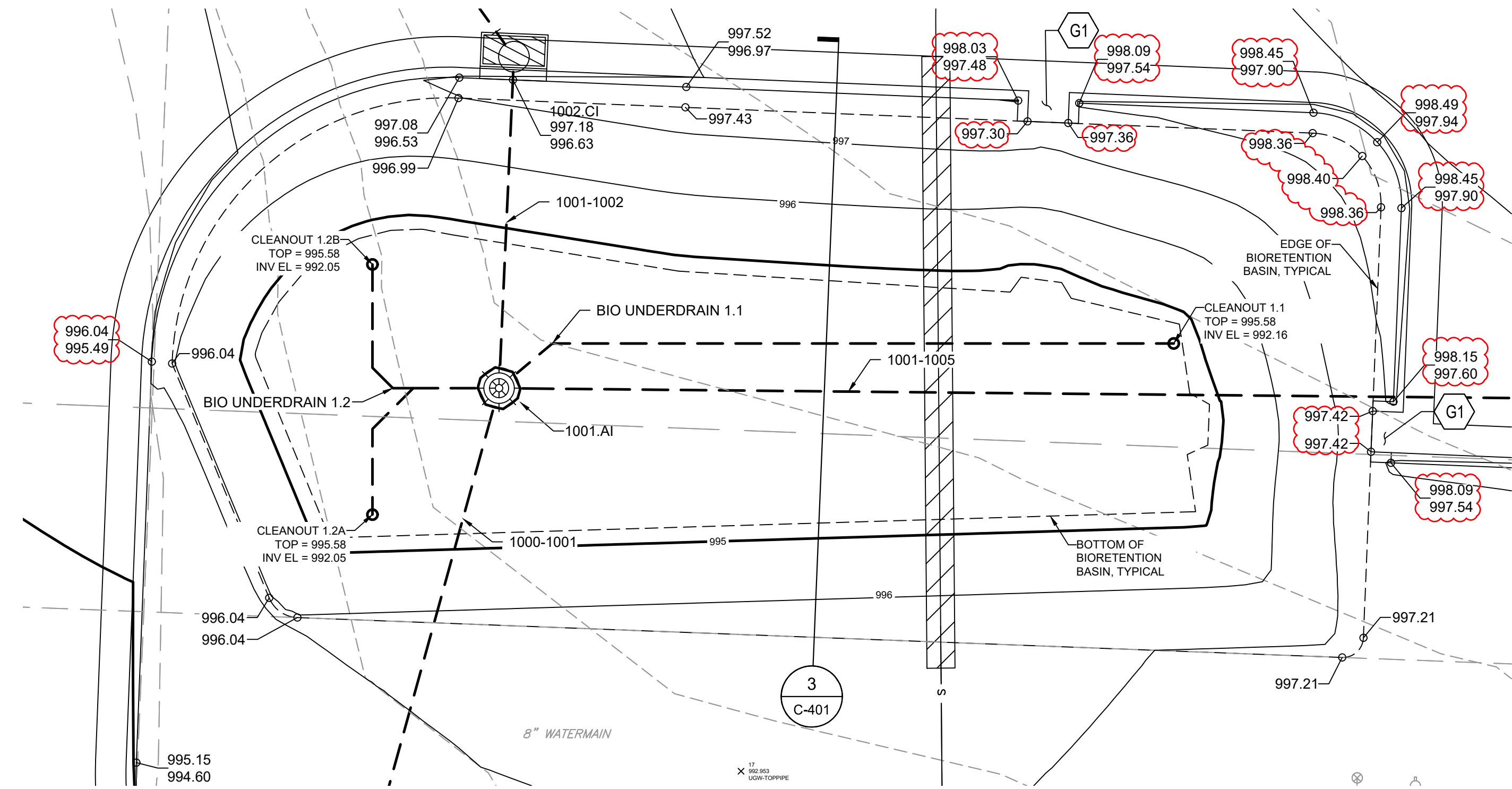
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**SITE
ENLARGEMENTS**

C-400

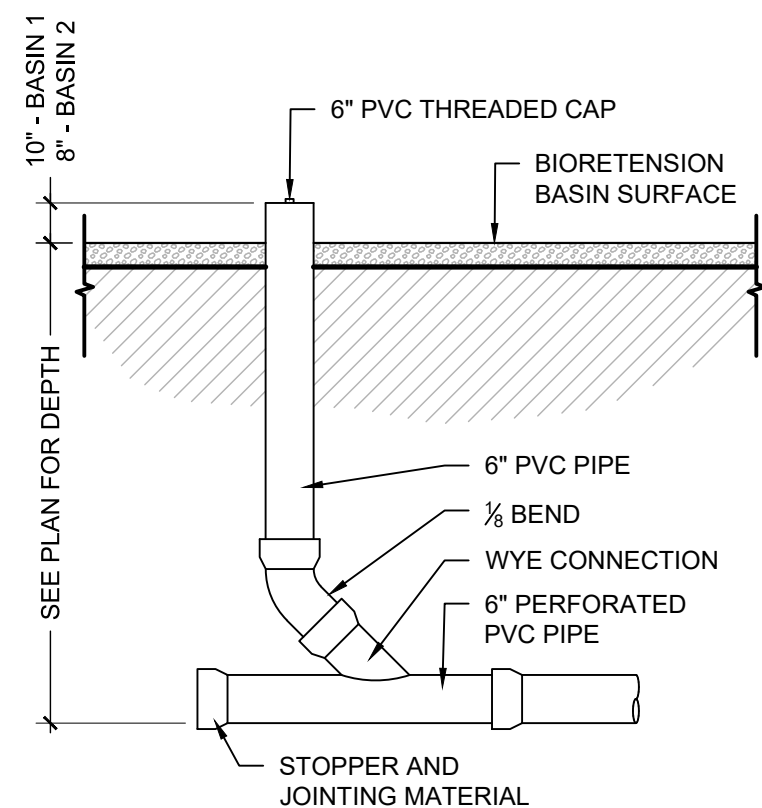
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C



KEYNOTES

G1 TYP. CURB CUT
REF: 11 / C-500



1 BIORETENTION BASIN 1 ENLARGEMENT PLAN

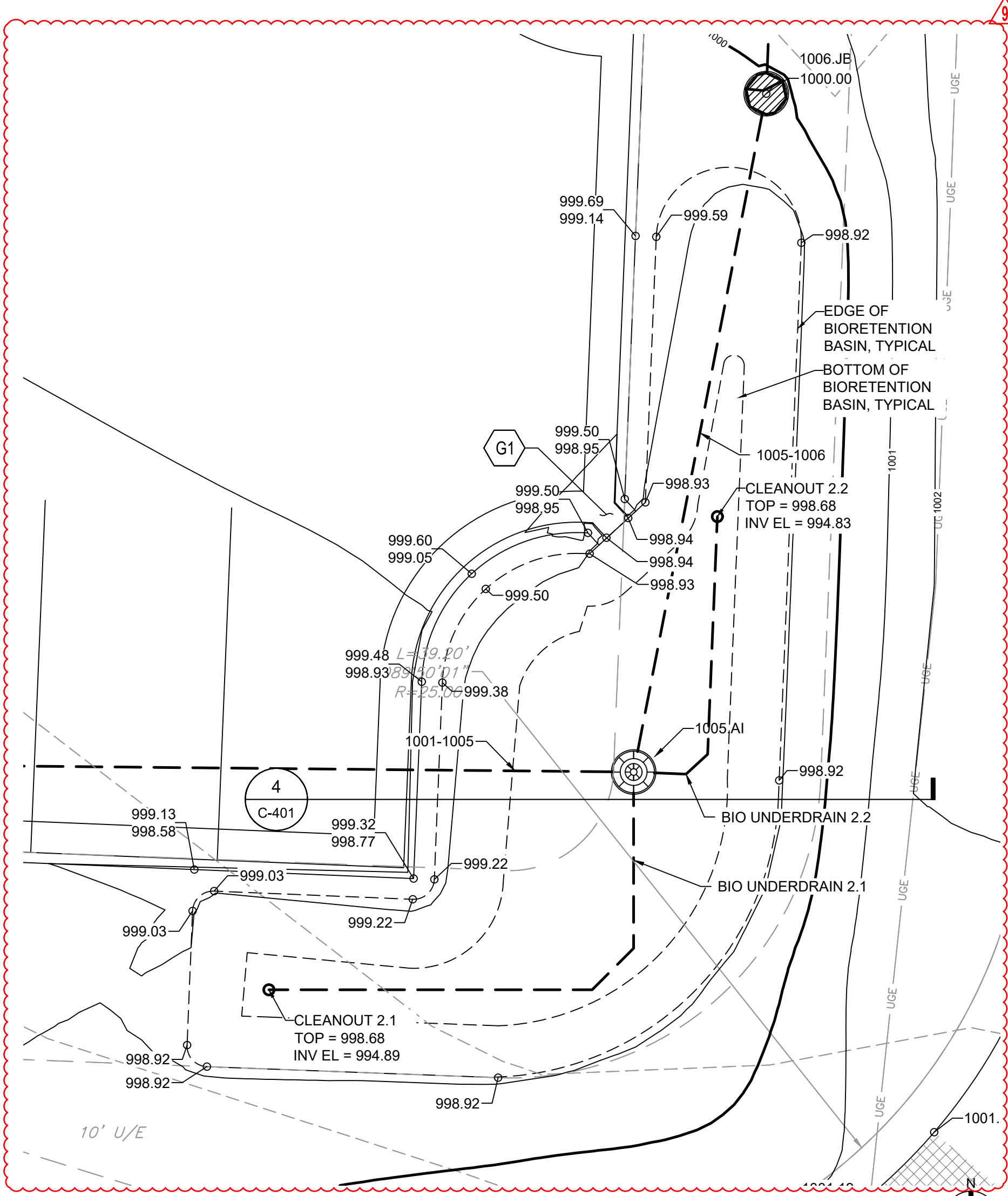
1" = 5'-0"

5 CLEANOUT DETAIL

1/2" = 1'-0"

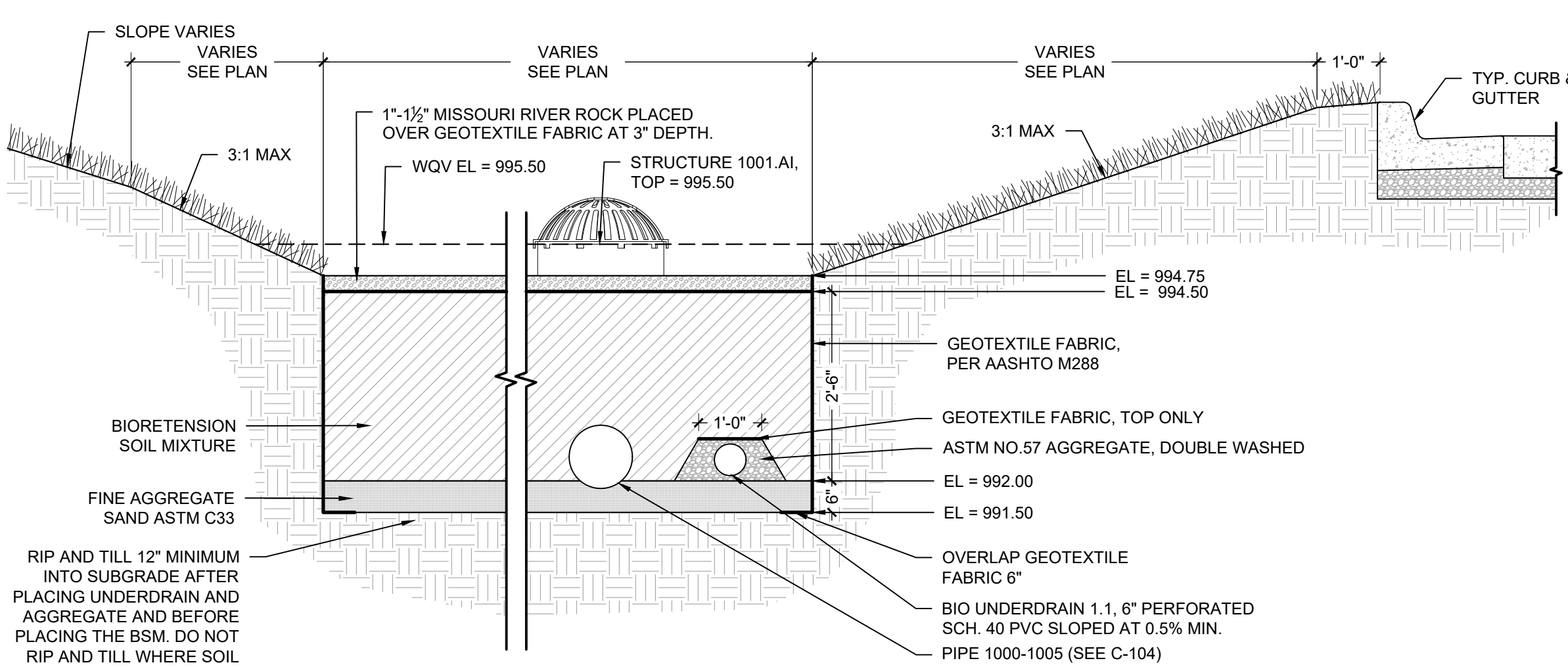
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A



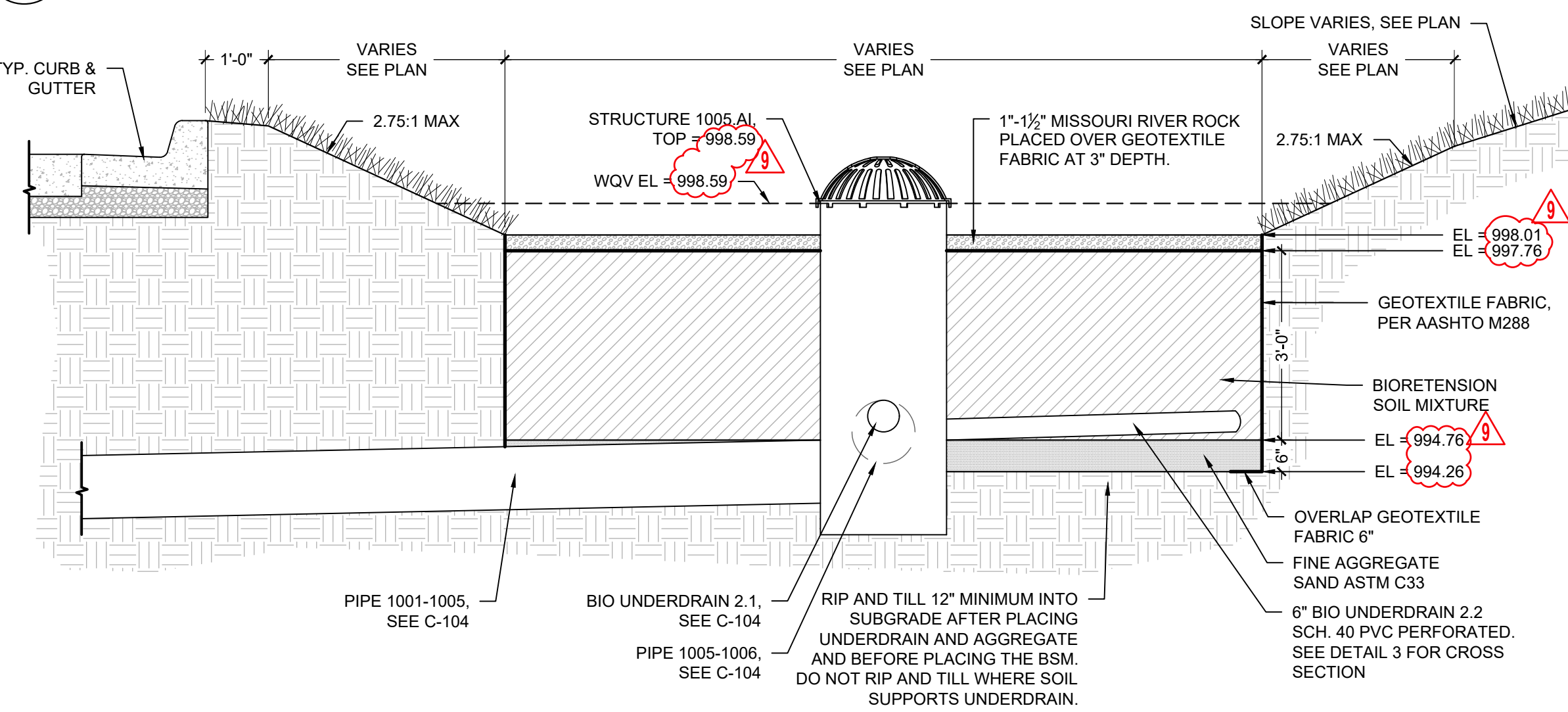
2 BIORETENTION BASIN 2 ENLARGEMENT PLAN

1" = 5'-0"



3 BIORETENTION BASIN 1 CROSS SECTION

1/2" = 1'-0"



4 BIORETENTION BASIN 2 CROSS SECTION

1/2" = 1'-0"

GENERAL NOTES:

- BIORETENTION FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREAS ARE PERMANENTLY STABILIZED AGAINST EROSION AND SEDIMENTATION. ANY DISCHARGE OF SEDIMENT THAT AFFECTS THE PERFORMANCE OF THE CELL WILL REQUIRE RECONSTRUCTION OF THE CELL TO RESTORE ITS DEFINED PERFORMANCE.
- NO HEAVY EQUIPMENT SHALL OPERATE WITHIN THE BIORETENTION FACILITY DURING UNDERDRAIN PLACEMENT, BACKFILLING, OR PLANTING OF THE FACILITY.
- IF THE BIORETENTION FACILITY IS TO BE USED AS A SEDIMENT BASIN, THE BIORETENTION FACILITY SHALL BE EXCAVATED TO THE DIMENSIONS, SIDE SLOPES, AND 1 FOOT ABOVE THE BOTTOM OF THE BIORETENSION SOIL MIXTURE. ANY SEDIMENT FROM CONSTRUCTION OPERATIONS DEPOSITED IN THE BIORETENTION FACILITY SHALL BE COMPLETELY REMOVED FROM THE FACILITY AFTER ALL VEGETATION HAS BEEN ESTABLISHED. THE EXCAVATION LIMITS SHALL THEN BE FINAL GRADED TO THE DIMENSIONS, SIDE SLOPES, AND FINAL ELEVATIONS. LOW GROUND-CONTACT PRESSURE EQUIPMENT IS TO BE USED WHEN CONSTRUCTING THE BIORETENTION FACILITIES TO MINIMIZE DISTURBANCE TO ESTABLISH AREAS AROUND PERIMETER OF CELL. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE PERIMETER OF THE BIORETENTION FACILITY BEFORE, DURING, OR AFTER THE PLACEMENT OF THE BSM.
- THE BIORETENTION SOIL MIXTURE (BSM) SHALL BE PLACED IN LAYERS NOT TO EXCEED 12 INCHES. THE BSM SHALL BE SATURATED OVER THE ENTIRE AREA OF THE FACILITY AFTER EACH LIFT OF BSM IS PLACED UNTIL WATER FLOWS FROM THE UNDERDRAIN TO LIGHTLY CONSOLIDATE THE BSM MIXTURE. WATER FOR SATURATION SHALL BE APPLIED BY SPRAYING OR SPRINKLING TO AVOID SEPARATION OF THE BSM COMPONENTS. FINAL GRADING OF THE BSM SHALL BE PERFORMED AFTER A 24-HOUR SETTLING PERIOD. UPON FINAL GRADING THE SURFACE OF THE BSM SHALL BE ROTO-TILLED TO A DEPTH OF 6".
- SEE DRAWING L-100 AND L-101 FOR PLANTING SCHEDULE. PESTICIDES, HERBICIDES, AND FERTILIZER SHALL NOT BE APPLIED DURING PLANTING UNDER ANY CIRCUMSTANCES.

BIORETENTION SOIL MIXTURE (BSM) SPECIFICATIONS:

MATERIALS

- A. BIORETENTION SOIL MIXTURE: THE BIORETENTION SOIL MIXTURE (BSM) IS A MIXTURE OF PLANTING SOIL, COMPOST, AND SAND CONSISTING OF THE FOLLOWING:

ITEM	COMPOSITION BY VOLUME	REFERENCE
PLANTING SOIL	30%	SEE BELOW
ORGANIC COMPOST	20%	SEE BELOW
SAND	50%	ASTM C33 FINE AGGREGATE

- B. PLANTING SOIL: THE USDA TEXTURAL CLASSIFICATION OF THE PLANTING SOIL FOR THE BSM SHALL BE LOAMY SAND OR SANDY LOAM. THE PLANTING SOIL SHALL BE TESTED AND MEET THE FOLLOWING CRITERIA:

ITEM	PERCENT BY WEIGHT	TEST METHOD
SAND (2.0 - 0.050 MM)	50-85%	AASHTO T88
SILT (0.050 - 0.002 MM)	0-50%	AASHTO T88
CLAY (LESS THAN 0.002 MM)	2-5%	AASHTO T88
ORGANIC MATTER	3-10%	AASHTO T194

THE TEXTURAL ANALYSIS OF THE PLANTING SOIL SHALL BE AS FOLLOWS:

ASTM E11 SIEVE SIZE	MINIMUM PERCENT PASSING BY WEIGHT
2 IN.	100%
NO. 4	90
NO. 10	80

AT LEAST 45 DAYS PRIOR TO THE START OF CONSTRUCTION OF THE BIORETENTION FACILITIES, THE CONTRACTOR SHALL SUBMIT THE SOURCE AND TESTING RESULTS OF THE PLANTING SOIL FOR THE BSM TO THE ENGINEER FOR APPROVAL.

C. ORGANIC COMPOST:

- COMPOST IS DEEMED ACCEPTABLE IF IT MEETS 2 OF THE FOLLOWING REQUIREMENTS:
- C/N RATIO \leq 25;
 - OXYGEN UPTAKE RATE \leq 150 mg/ O₂/kg VOLATILE SOLIDS PER HOUR
 - COMPOST MUST NOT CONTAIN MORE THAN 1 PERCENT FOREIGN MATTER. FOREIGN MATTER IS DEFINED AS: "ANY MATTER OVER A 2 MM DIMENSION THAT RESULTS FROM HUMAN INTERVENTION AND HAVING ORGANIC OR INORGANIC CONSTITUENTS SUCH AS METAL, GLASS AND SYNTHETIC POLYMERS (E.G., PLASTIC OR RUBBER) THAT MAY BE PRESENT IN THE COMPOST BUT EXCLUDING MINERAL SOILS, WOODY MATERIAL AND ROCKS."
 - FOREIGN MATTER LESS THAN 1 PERCENT BY WEIGHT MUST NOT EXCEED 12.5 MM IN ANY DIMENSION.

- D. THE BIORETENTION SOIL MIXTURE (BSM) SHALL BE A UNIFORM MIX, FREE OF PLANT RESIDUE, STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES EXCLUDING MULCH. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS.

1. THE BIORETENTION SOIL MIXTURE SHALL BE TESTED AND MEET THE FOLLOWING CRITERIA:

ITEM	CRITERIA	TEST METHOD
CORRECTED pH	5.5 - 7.5	ASTM D4972
MAGNESIUM	MINIMUM 32 PPM	*
PHOSPHORUS (PHOSPHATE - P ₂ O ₅)	NOT TO EXCEED 60 PPM PLANT AVAILABLE PHOSPHORUS	*
POTASSIUM (K ₂ O)	MINIMUM 78 PPM	*
SOLUBLE SALTS	NOT TO EXCEED 500 PPM	*

*USE AUTHORIZED SOIL TEST PROCEDURES

- SHOULD THE pH FALL OUTSIDE OF THE ACCEPTABLE RANGE, IT MAY BE MODIFIED WITH LIME (TO RAISE) OR AMMONIUM SULFATE (TO LOWER). THE LIME OR AMMONIUM SULFATE MUST BE MIXED UNIFORMLY INTO THE BSM PRIOR TO USE IN BIORETENTION FACILITIES.
- SHOULD THE BSM NOT MEET THE MINIMUM REQUIREMENT FOR MAGNESIUM, IT MAY BE MODIFIED WITH MAGNESIUM SULFATE. LIKEWISE, SHOULD THE BSM NOT MEET THE MINIMUM REQUIREMENT FOR POTASSIUM, IT MAY BE MODIFIED WITH POTASH. MAGNESIUM SULFATE AND POTASH MUST BE MIXED UNIFORMLY INTO THE BSM PRIOR TO USE IN BIORETENTION FACILITIES.
- PLANTING SOIL AND/OR BSM THAT FAILS TO MEET THE MINIMUM REQUIREMENTS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. MIXING OF THE CORRECTIVE ADDITIVES TO THE BSM IS INCIDENTAL AND SHALL BE AT THE CONTRACTOR'S EXPENSE.
- MIXING OF THE BSM TO A HOMOGENOUS CONSISTENCY SHALL BE DONE TO THE SATISFACTION OF THE ENGINEER. UPON APPROVAL OF THE REQUIREMENTS AND TESTING ABOVE, THE BSM SHALL BE STOCKPILED, AND NO MATERIAL SHALL BE ADDED TO THE BSM IN THE STOCKPILE OR DURING TRANSPORT TO THE BIORETENTION FACILITY.

9229 WARD PARKWAY
SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
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REVISIONS:

#	Description	Date
9	ASI 09	06.02.2023

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MOR PE-2022005196

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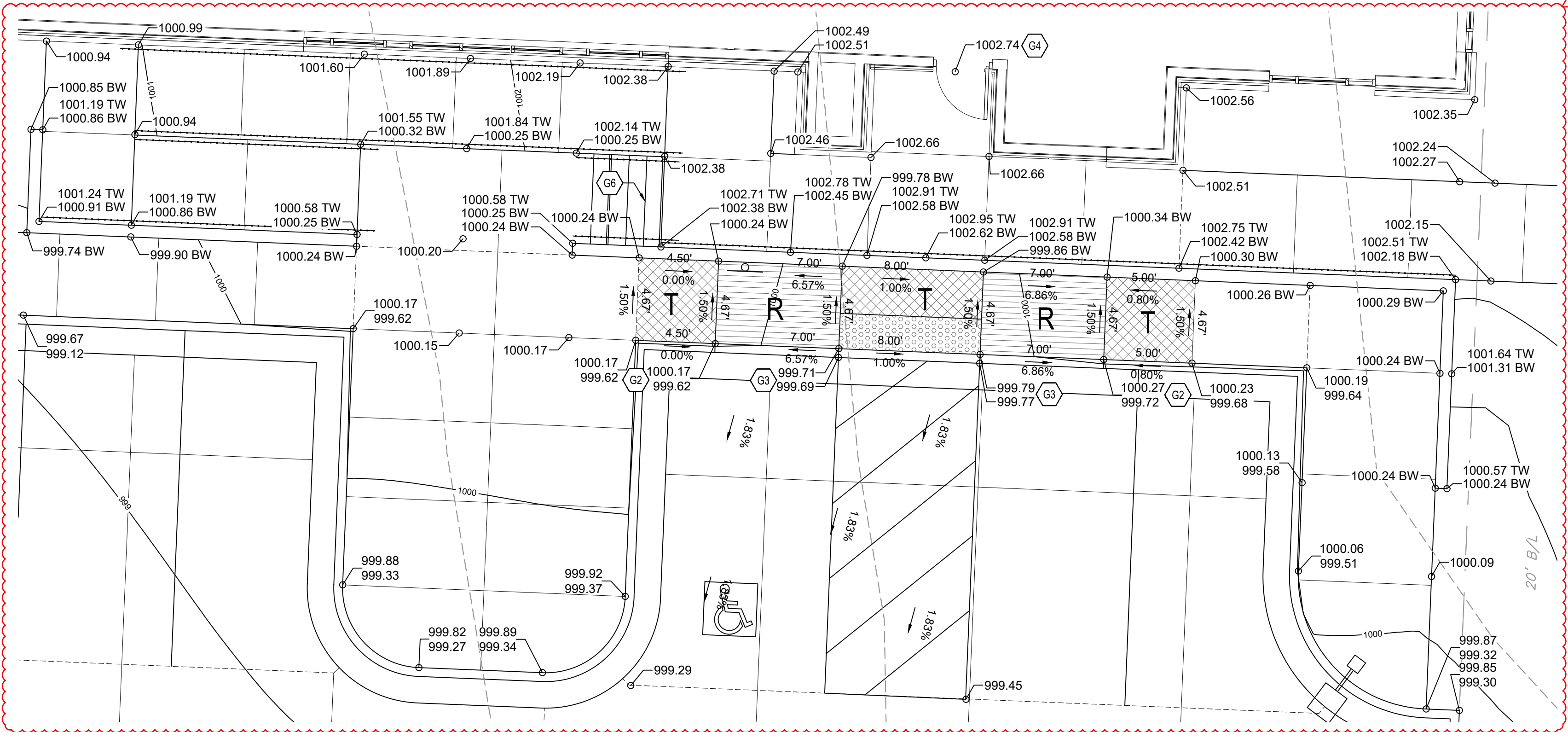
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SITE ENLARGEMENTS

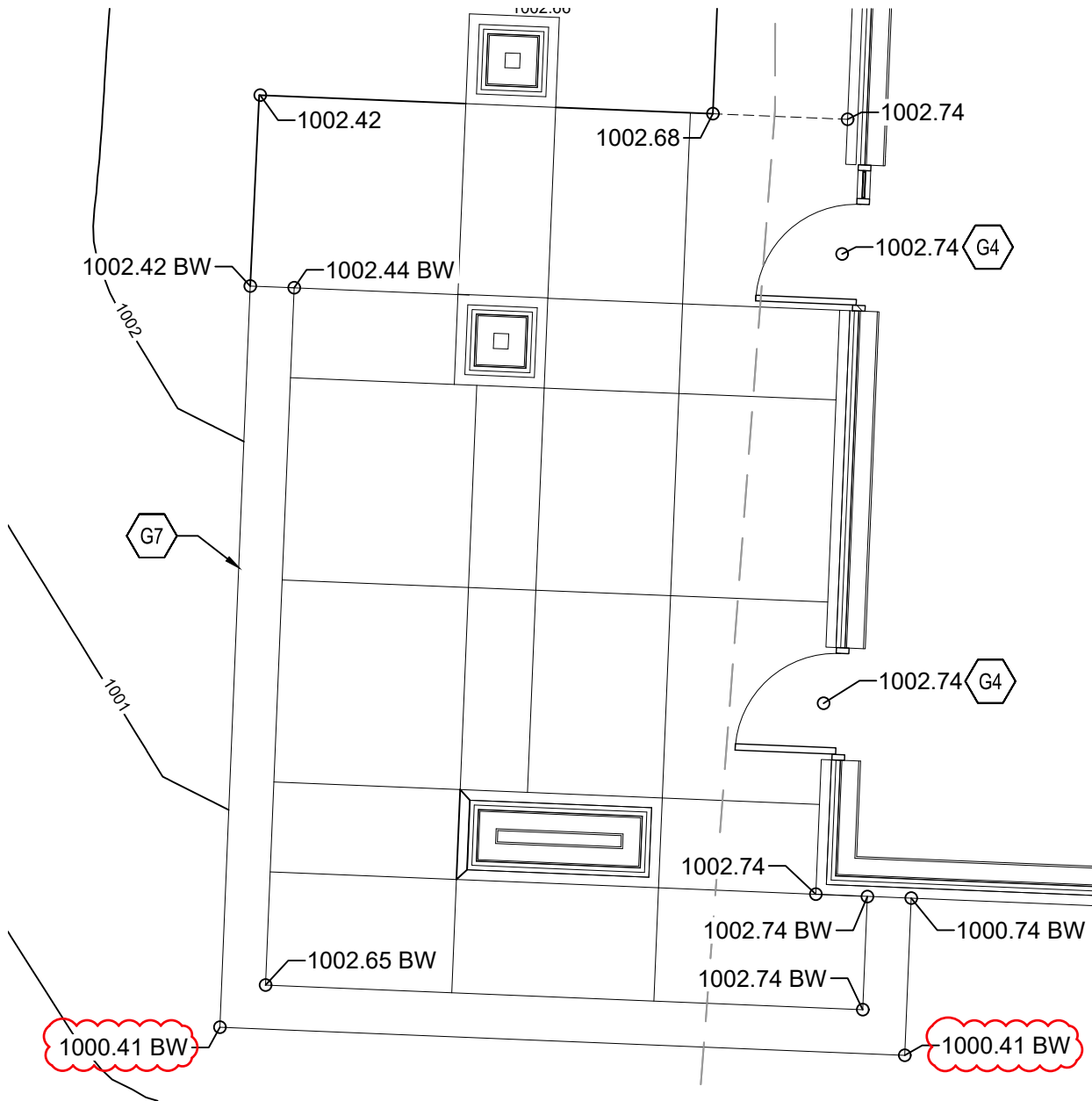
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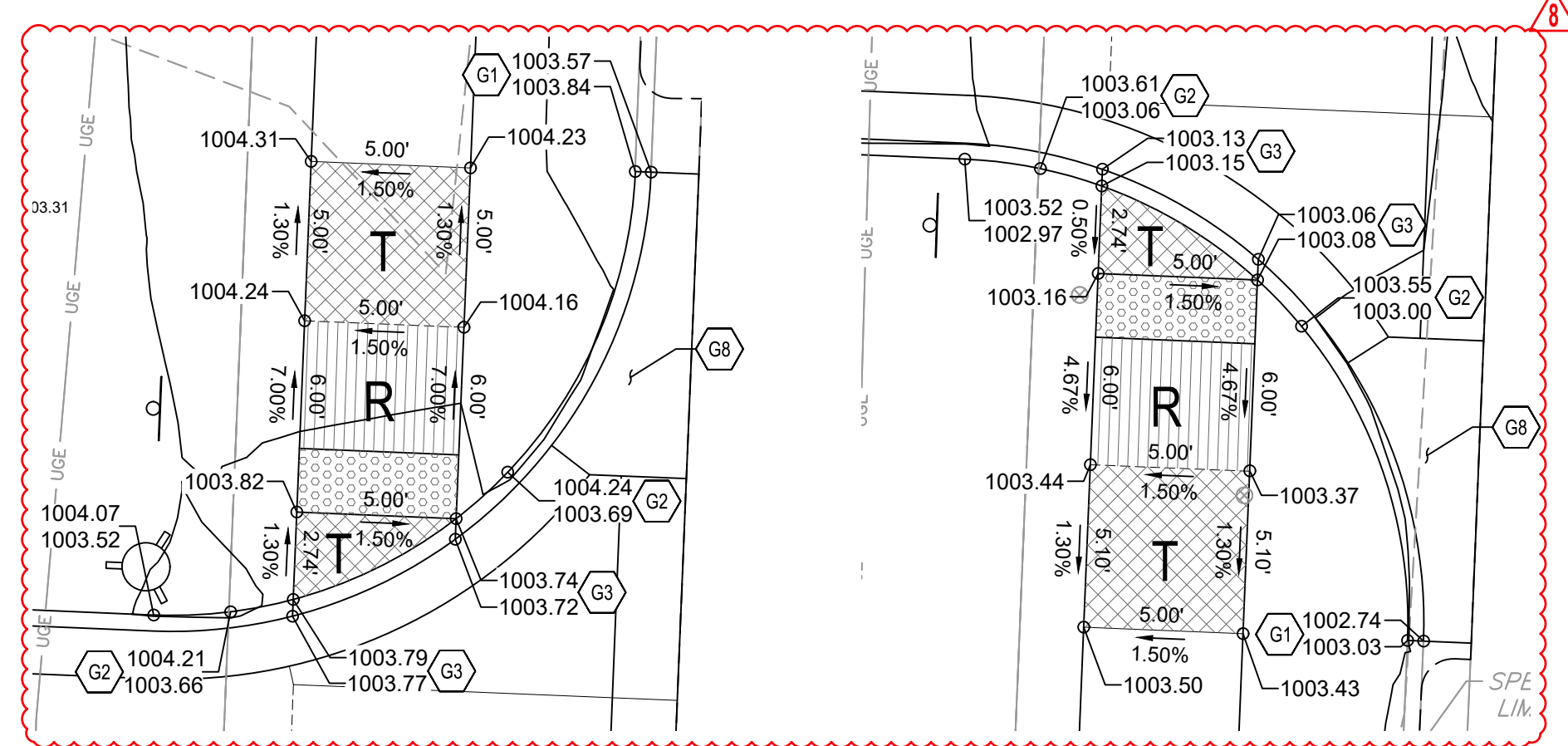
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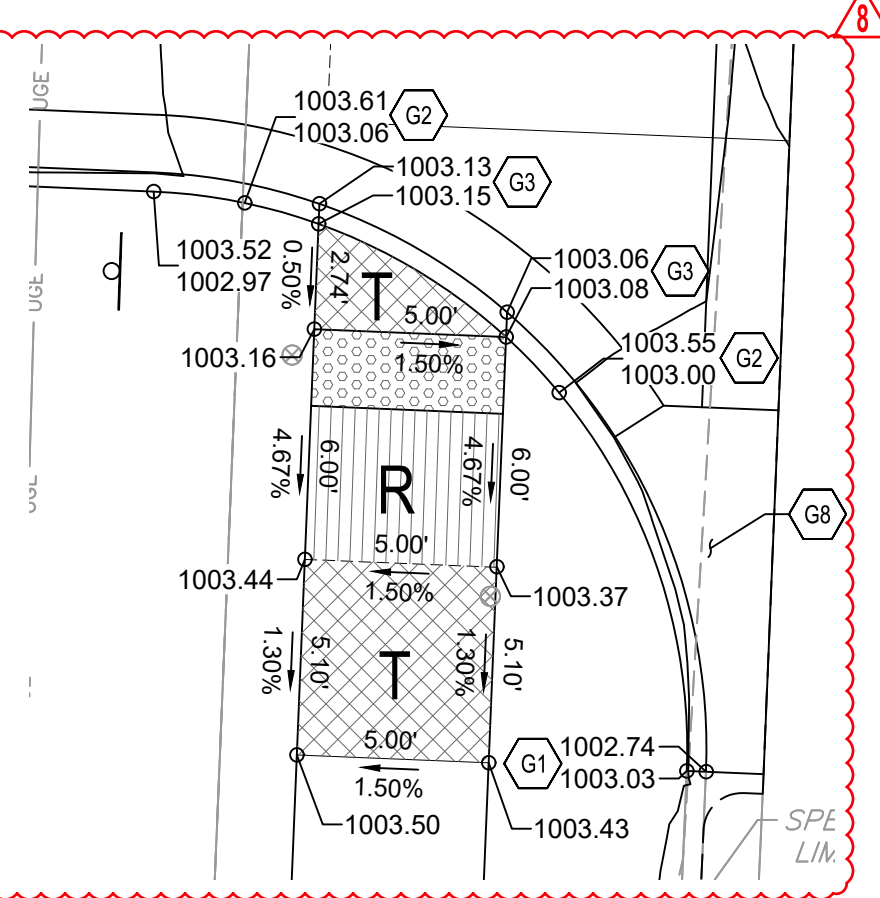
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1" = 5'-0"



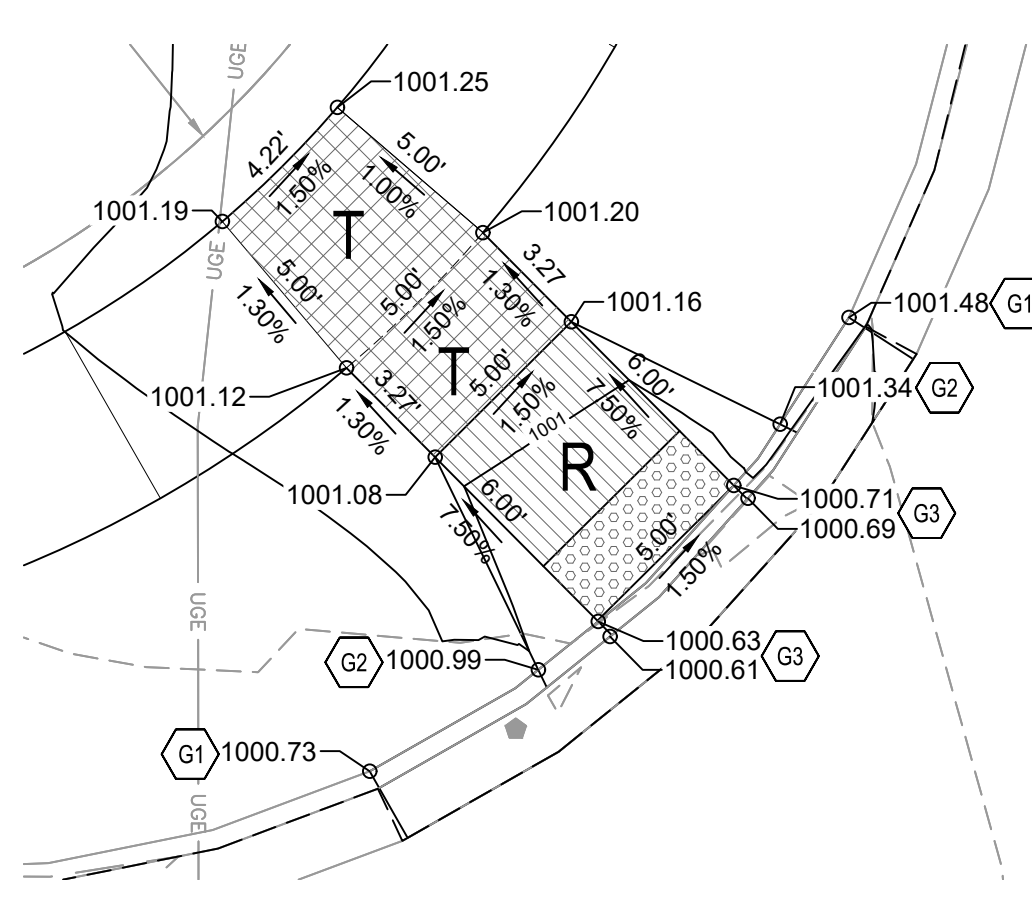
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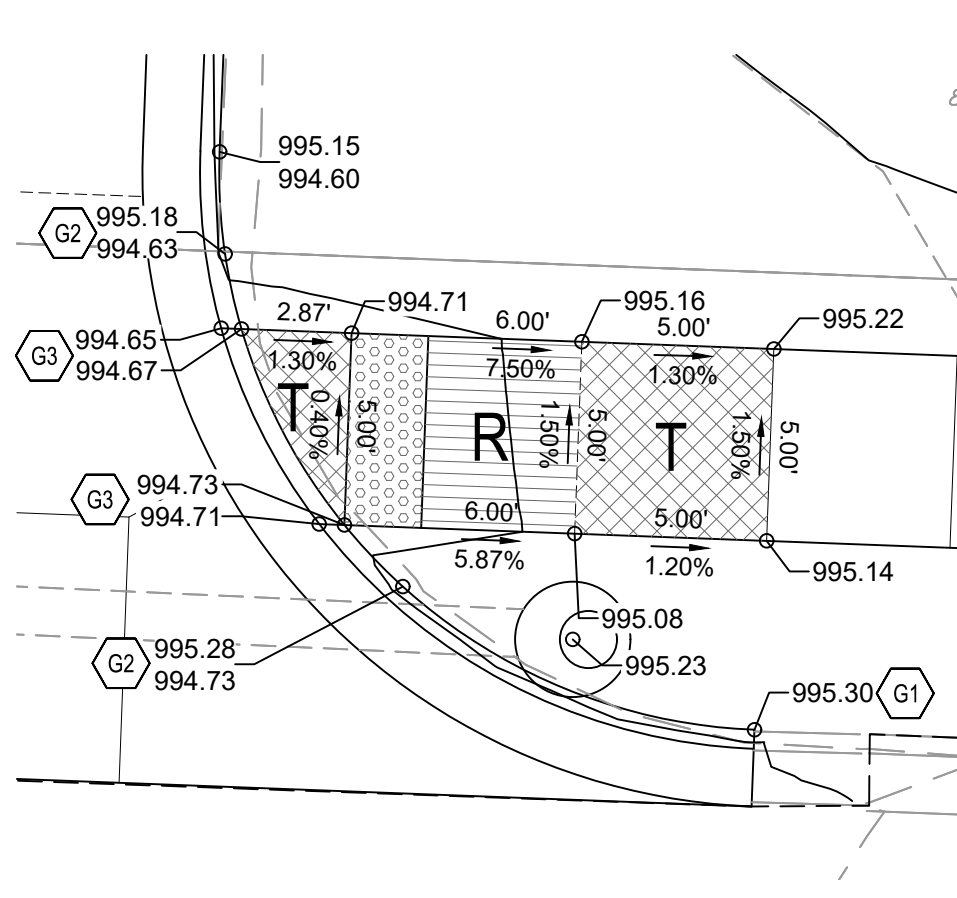
3 ENLARGEMENT 3
1" = 5'-0"



4 ENLARGEMENT 4
1" = 5'-0"



5 ENLARGEMENT 5
1" = 5'-0"



6 ENLARGEMENT 6
1" = 5'-0"

GENERAL GRADING & DRAINAGE NOTES:

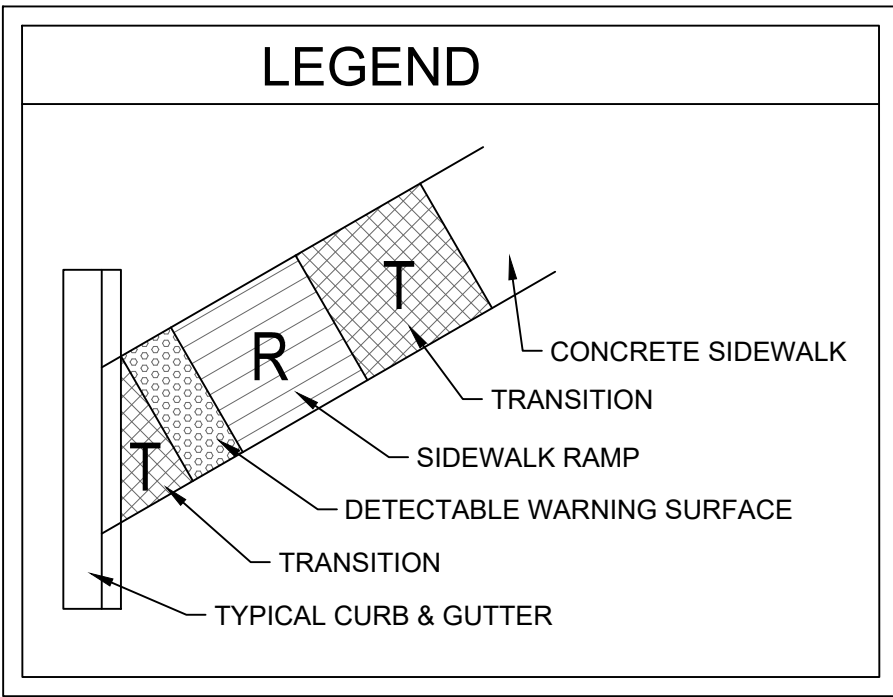
- SEE DRAWING C-104 FOR GENERAL GRADING & DRAINAGE NOTES APPLICABLE TO THIS DRAWING.

ADA NOTES:

- SEE DRAWING C-104 FOR GENERAL ADA NOTES APPLICABLE TO THIS DRAWING.
- SEE DRAWING C-504 FOR TYPICAL ADA RAMP SECTIONS AND STEEL TIE BAR DETAILS.

KEYNOTES

- G1 (+/-) MATCH EXISTING ELEVATION. NOTIFY ENGINEER IF SIGNIFICANT DISCREPANCY EXISTS.
- G2 START TRANSITION FROM FULL-DEPTH CURB
- G3 FLUSH CURB
- G4 FINISH GRADE AT DOORS SET 1/2" BELOW FINISH FLOOR ELEVATIONS TO ACCOUNT FOR THRESHOLDS.
- G5 NOT USED
- G6 CONCRETE STEPS
REF: 5 / C-502
- G7 ARCHITECTURAL WALL
REF: ARCH & STRUCTURAL
- G8 TRANSITION FROM TYPE CG-2 TO TYPE CG-1 CURB & GUTTER.



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9229 WARD PARKWAY
SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
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LEIGH + O'KANE
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2	ASI 02	11.22.2022
8	ASI 08	05.17.2023

STATE OF MISSOURI
DERICK M. HOLMES
NUMBER
PE-2022005196
05/17/2023

DERICK HOLMES - CIVIL ENGINEER
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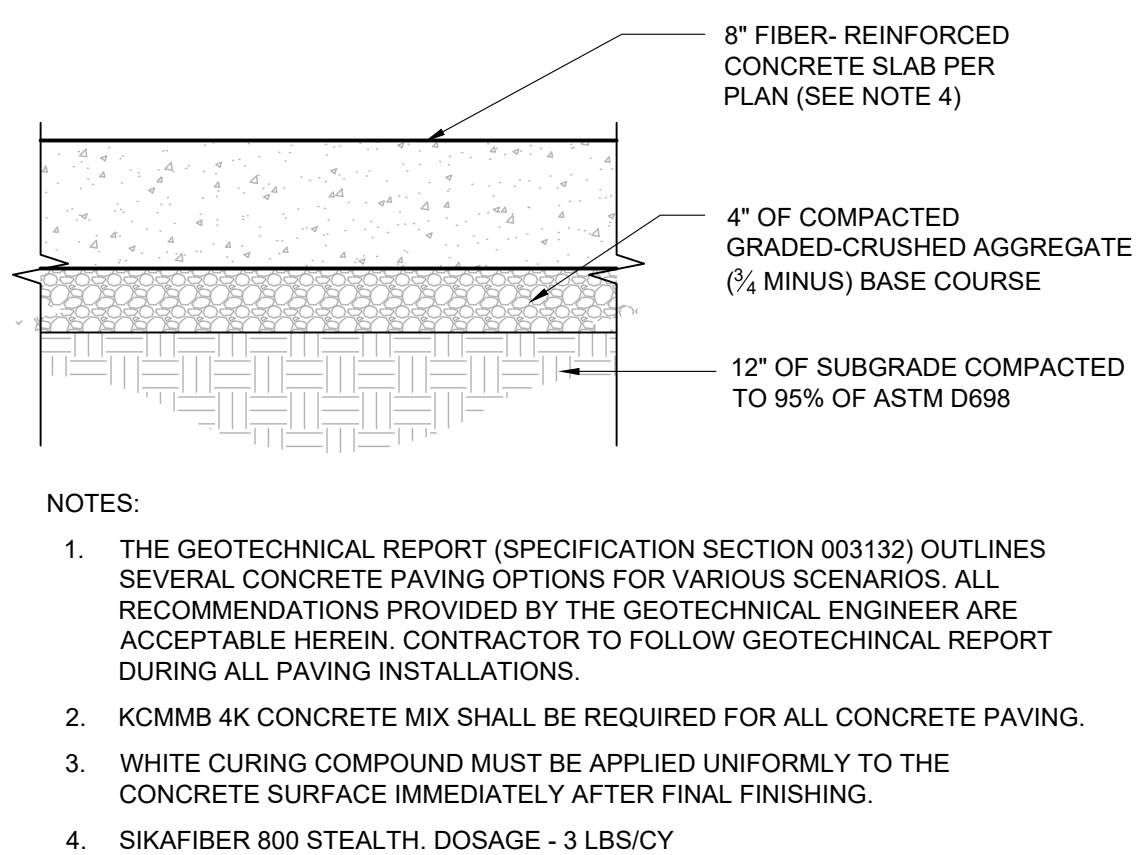
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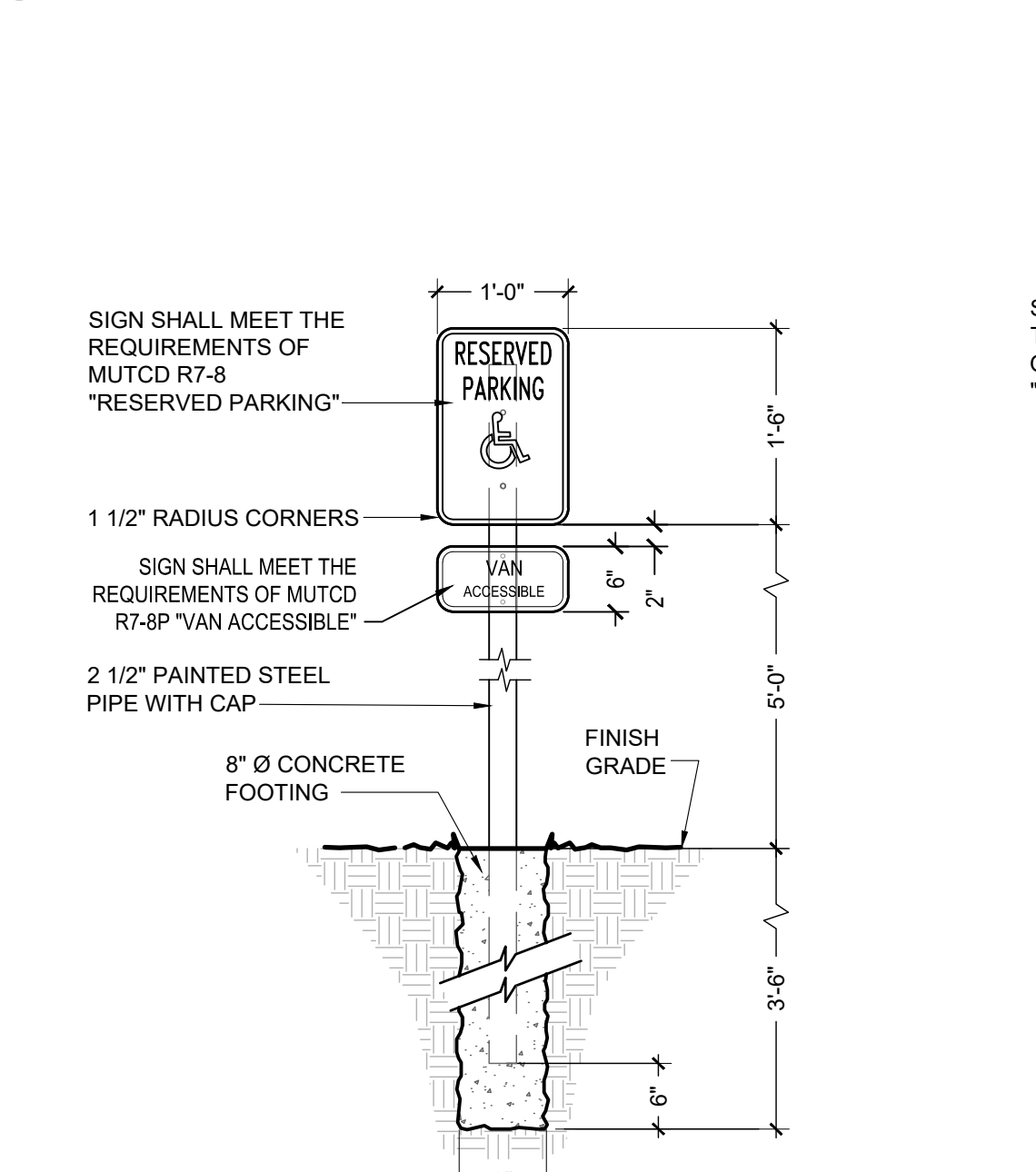
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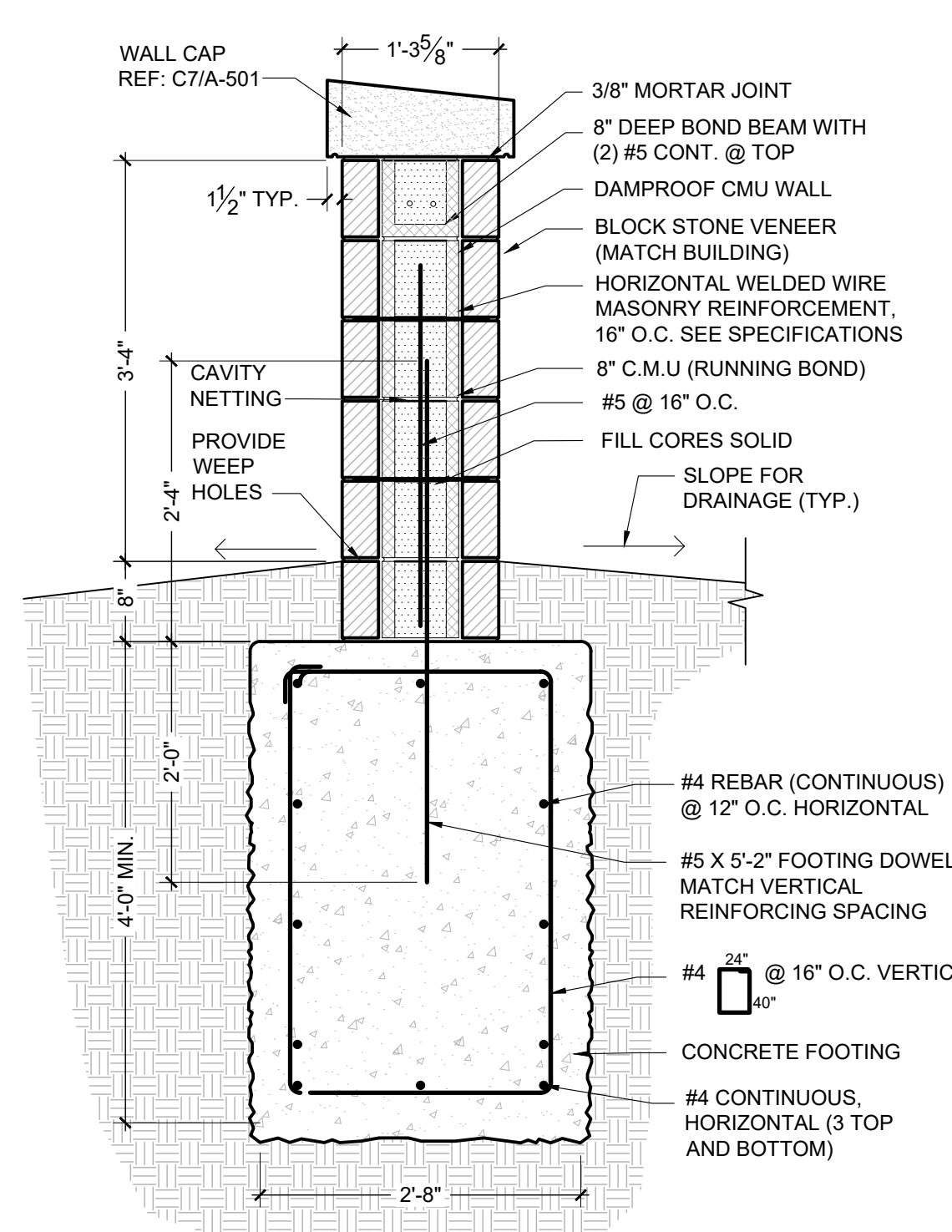
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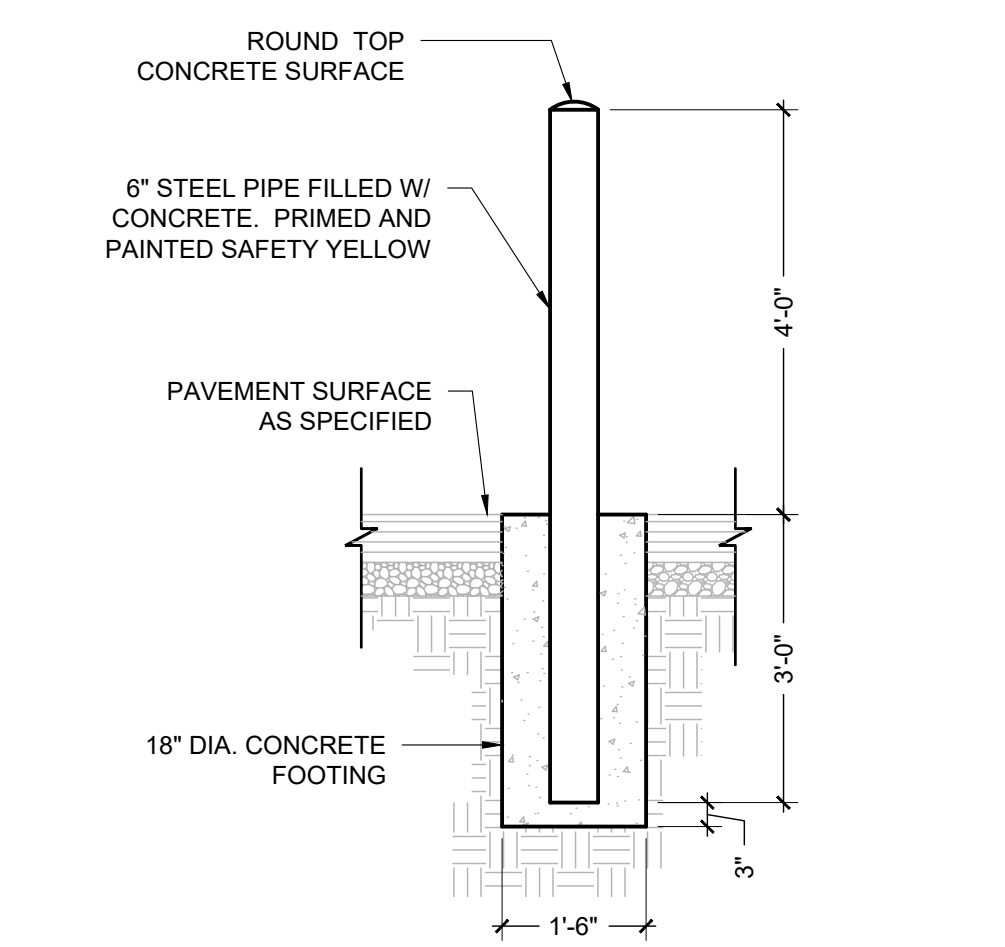
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1" = 1'



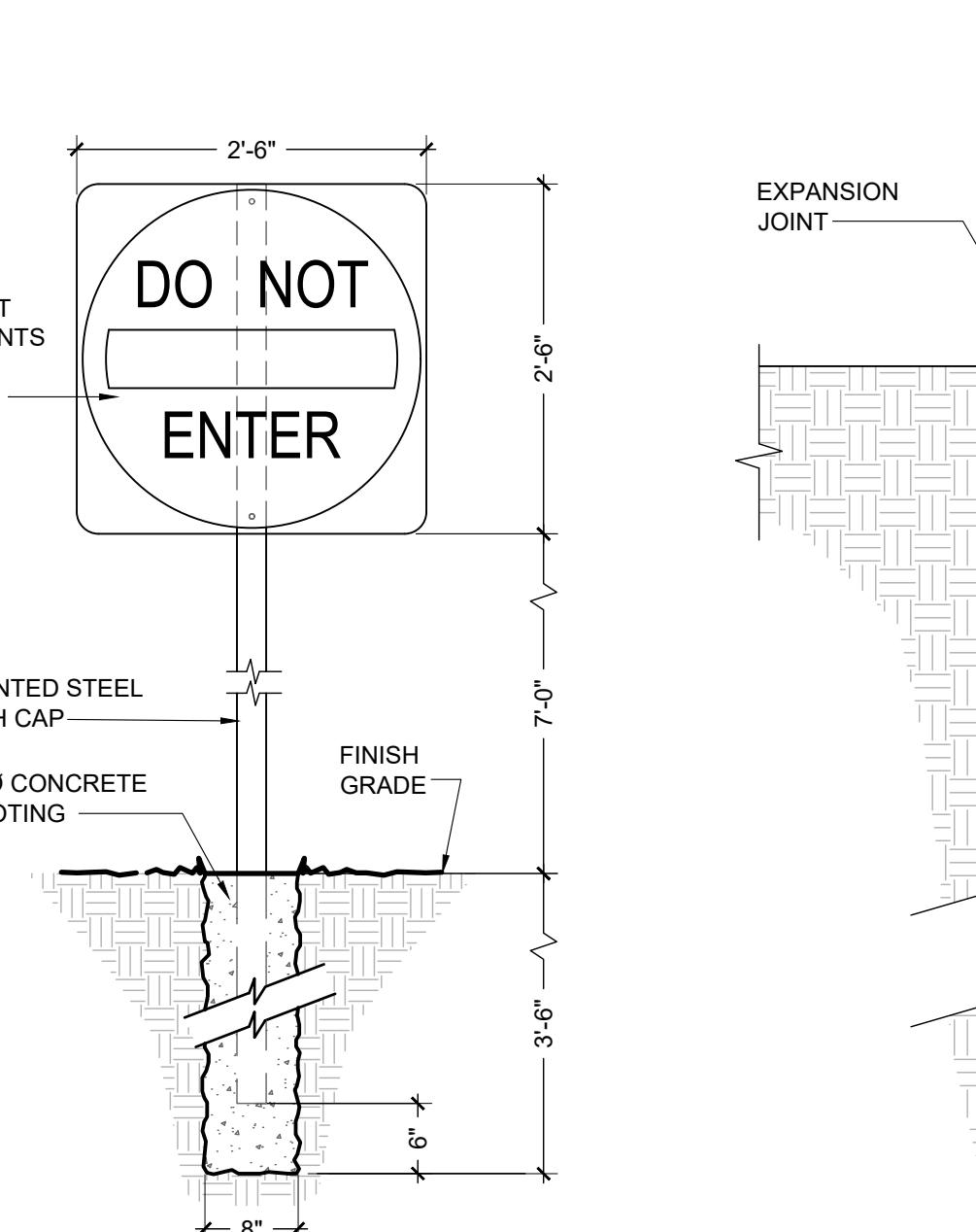
5 ADA PARKING SIGN
3/4" = 1'



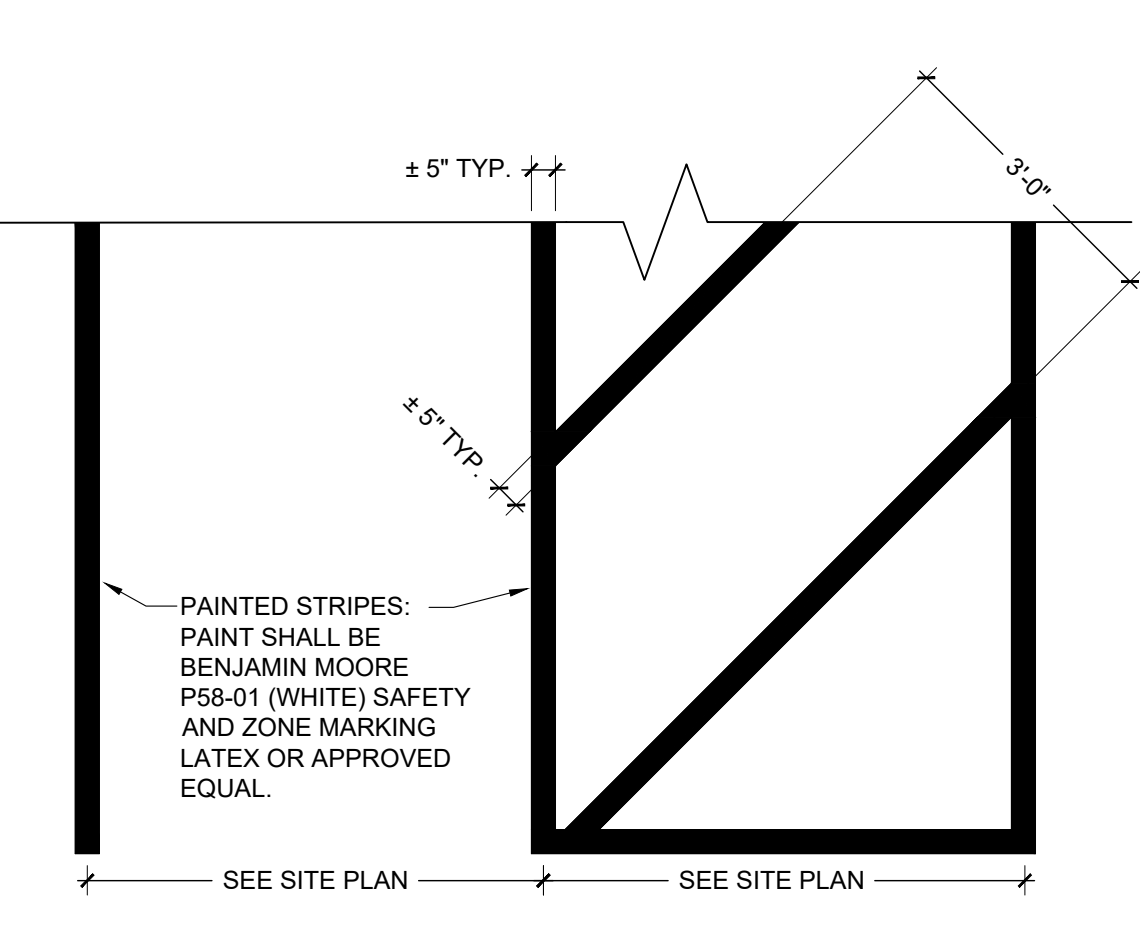
10 MONUMENT SIGN SECTION
3/4" = 1'



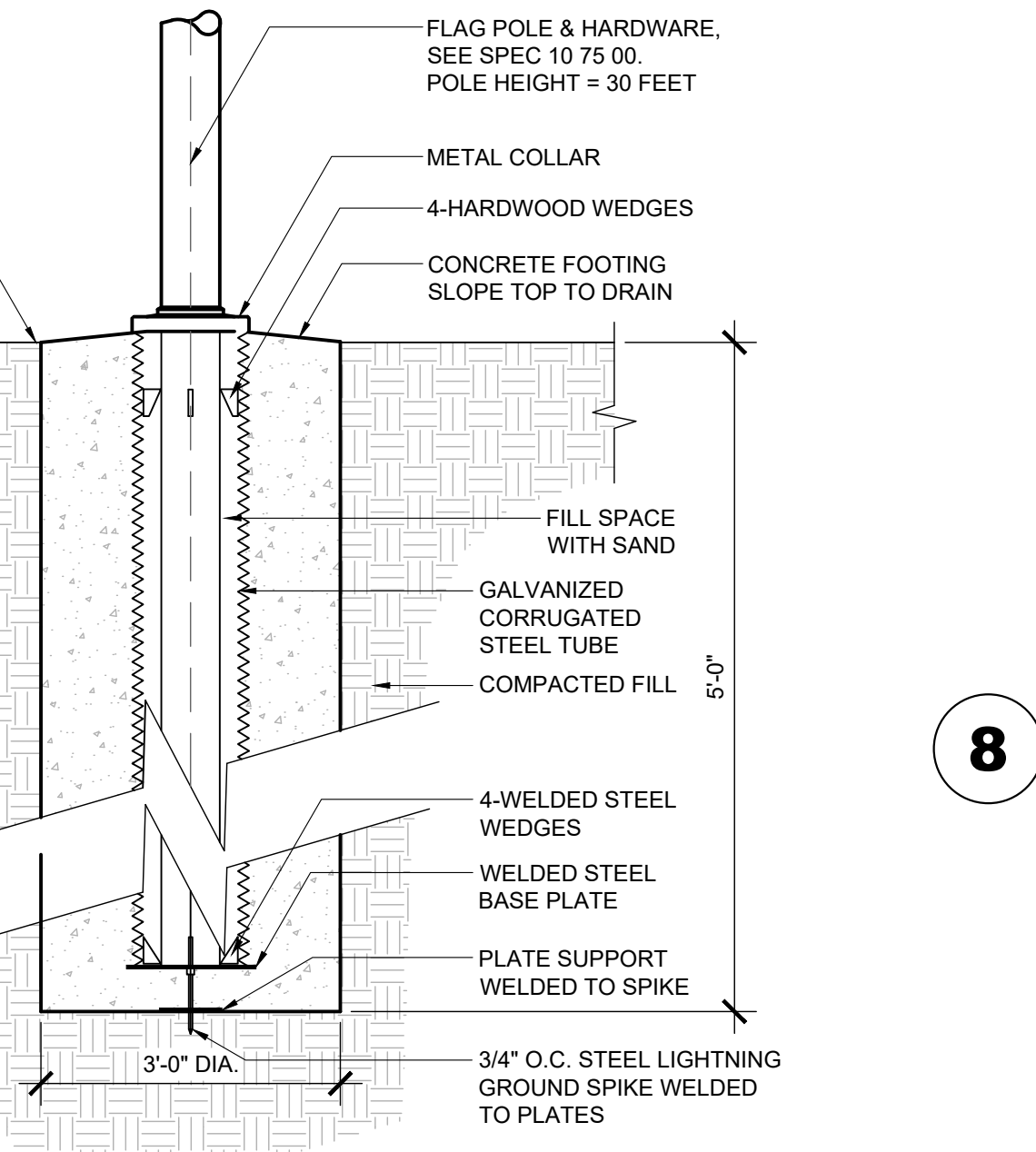
2 TYP. SAFETY BOLLARD
1/2" = 1'



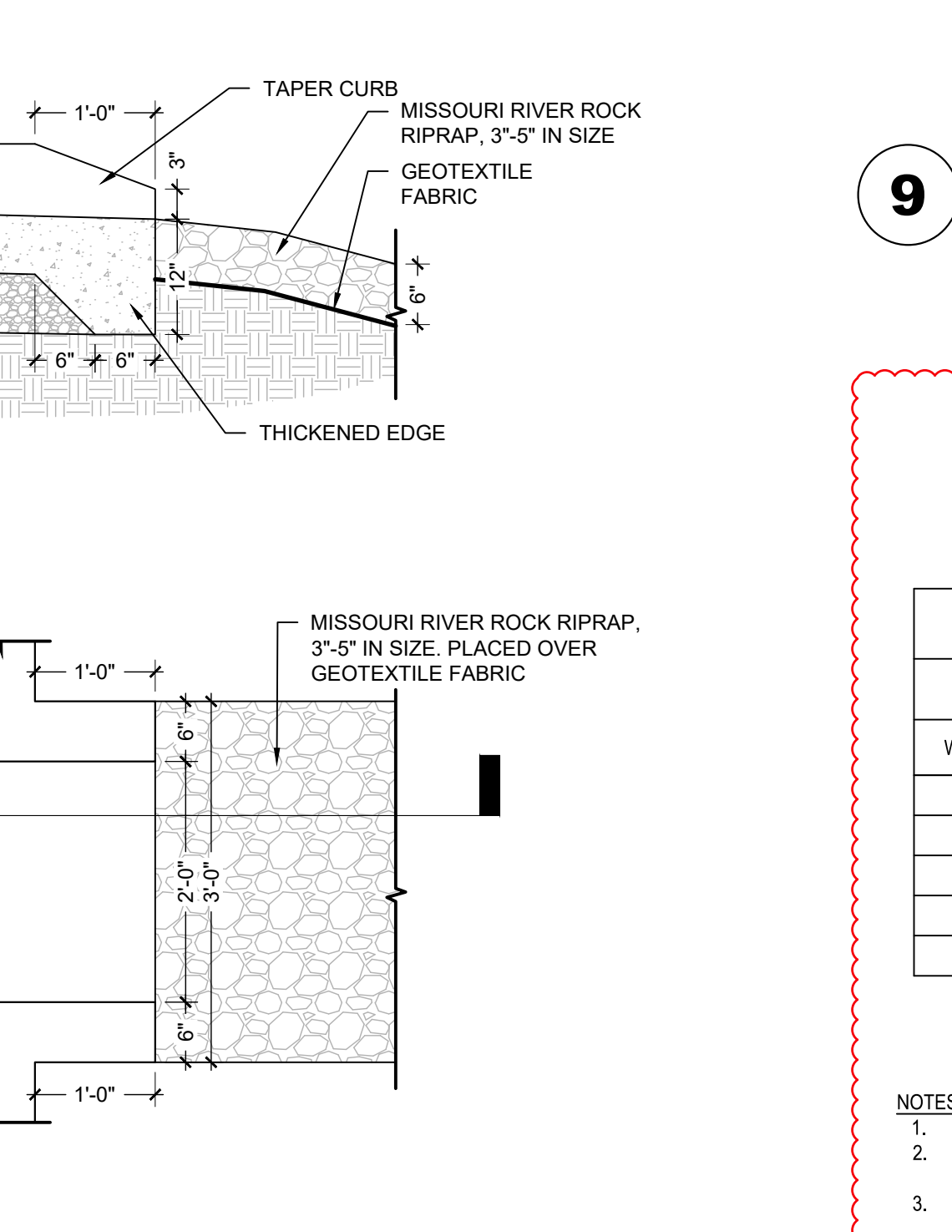
6 DO NOT ENTER SIGN
3/4" = 1'



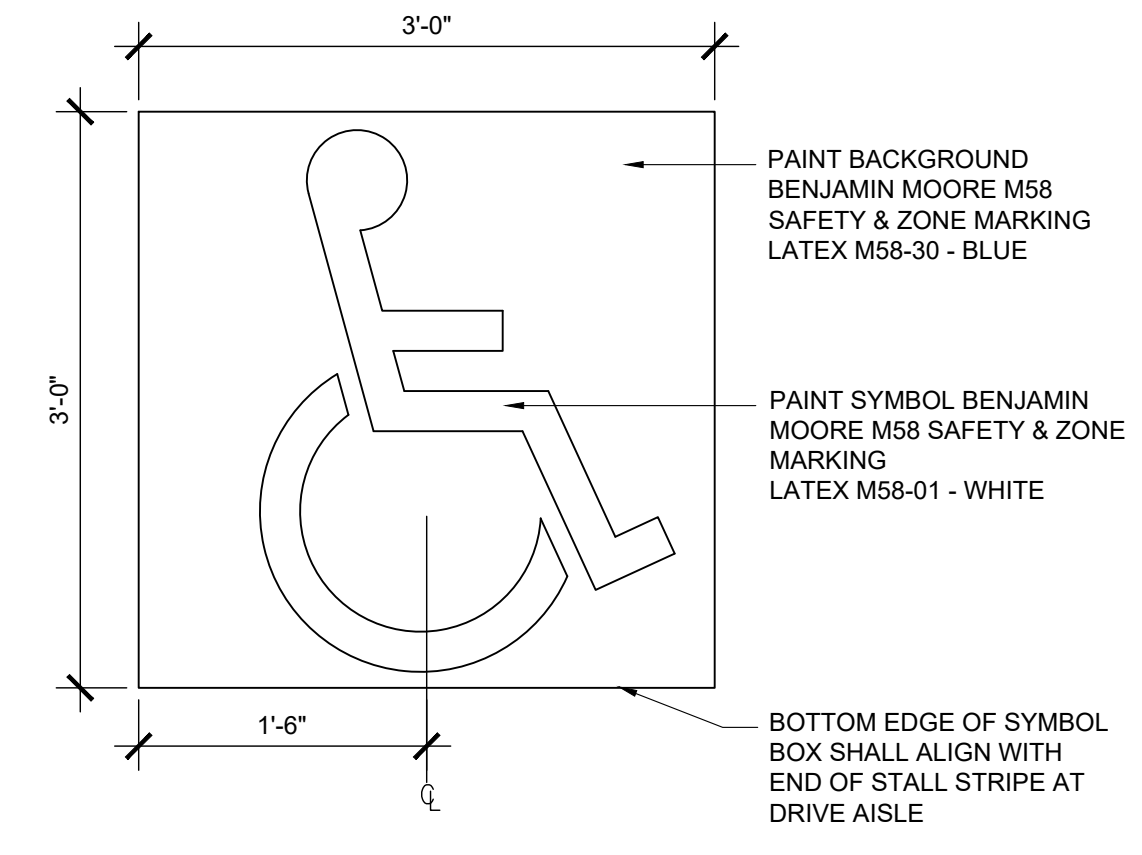
3 PAVEMENT STRIPING
1/2" = 1'



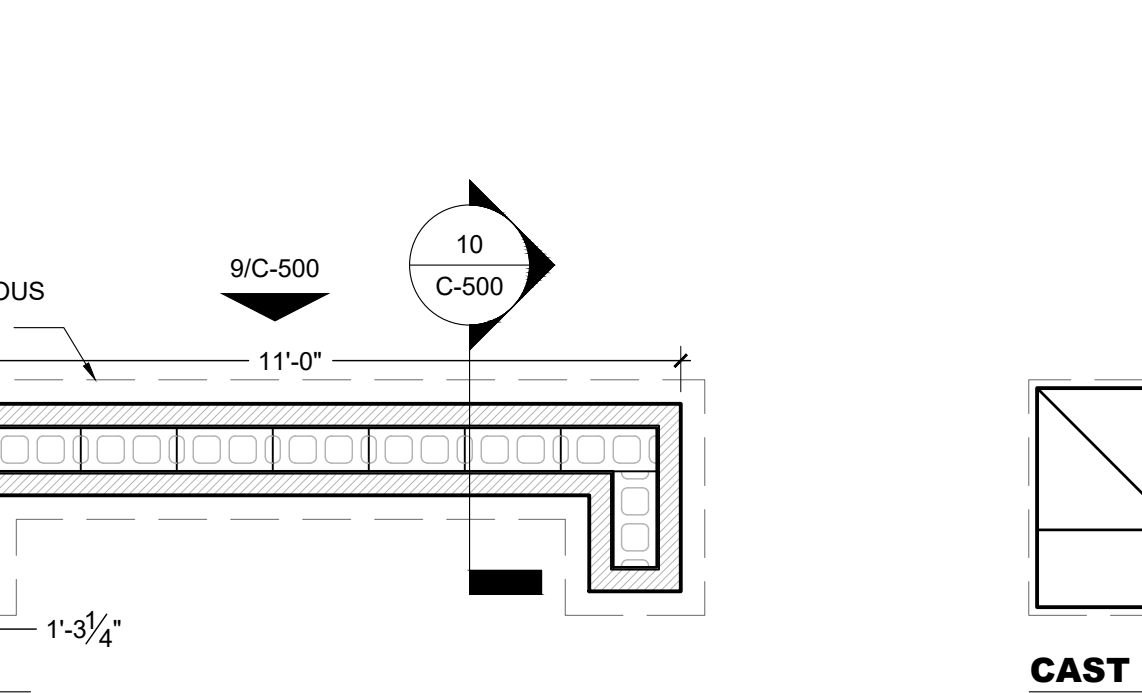
7 FLAG POLE
1" = 1'



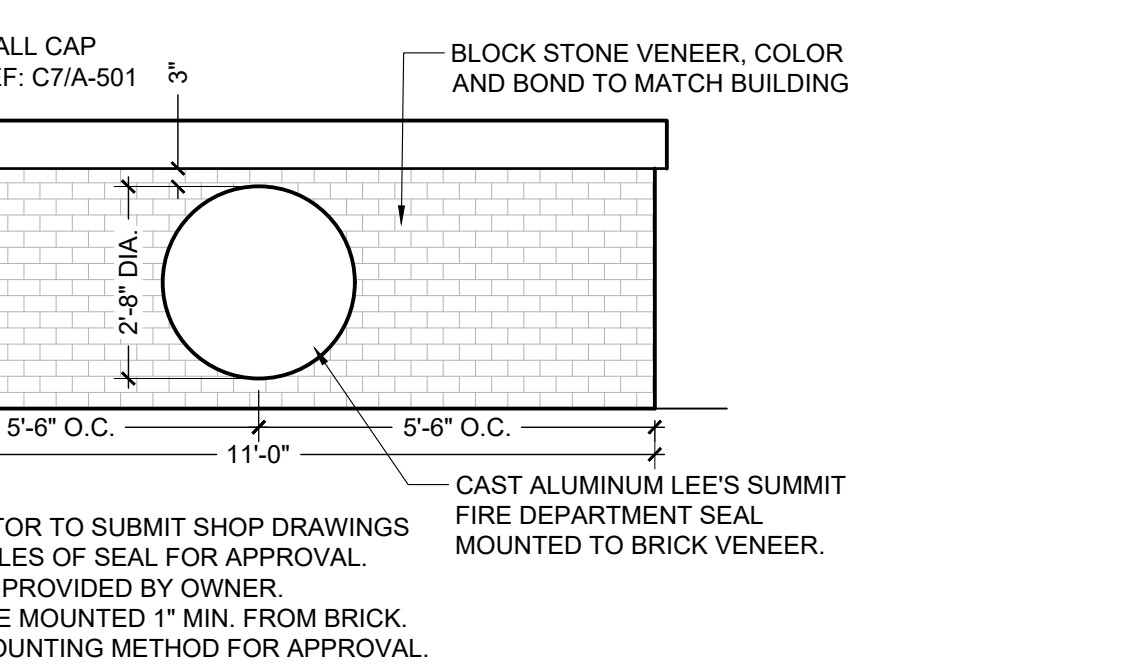
11 TYP. CURB CUT
3/8" = 1'



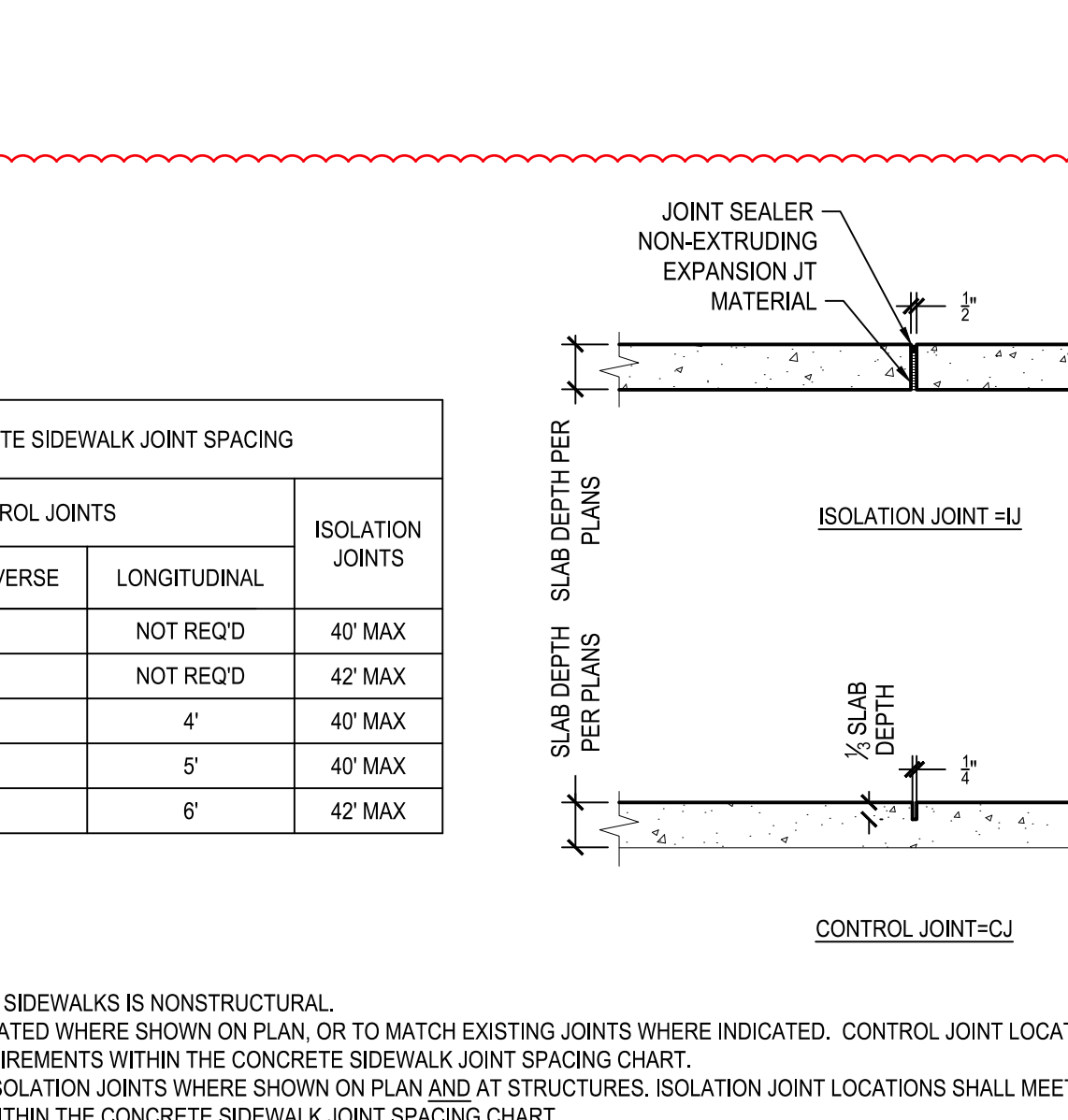
4 ADA PAVEMENT MARKING
1" = 1'



8 MONUMENT SIGN
3/8" = 1'



9 MONUMENT SIGN ELEVATION
3/8" = 1'



12 CONCRETE SIDEWALK JOINTING
3/4" = 1'

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9	ASI 09	06.02.2023
14	ASI 14	10.13.2023

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PROFESSIONAL ENGINEER
10-13-2023
DERICK HOLMES - CIVIL ENGINEER
MO# PE-2022005196
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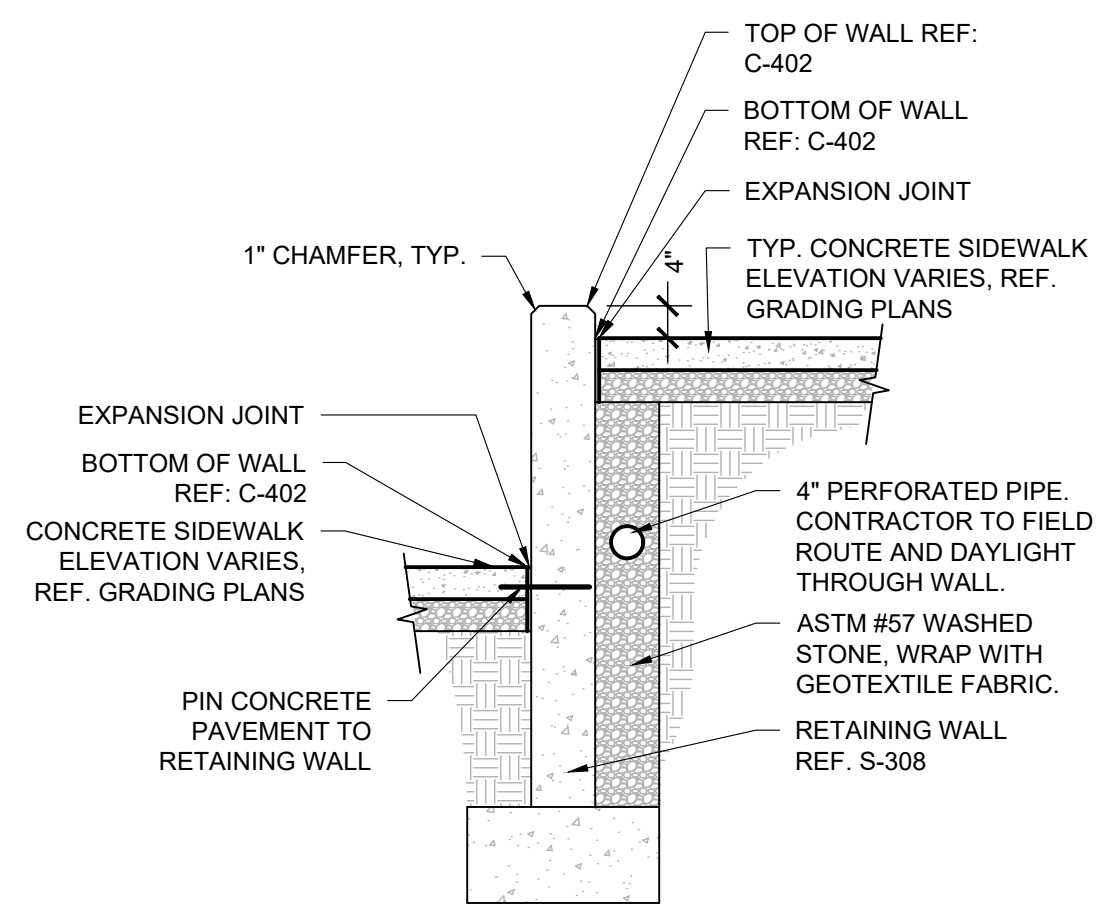
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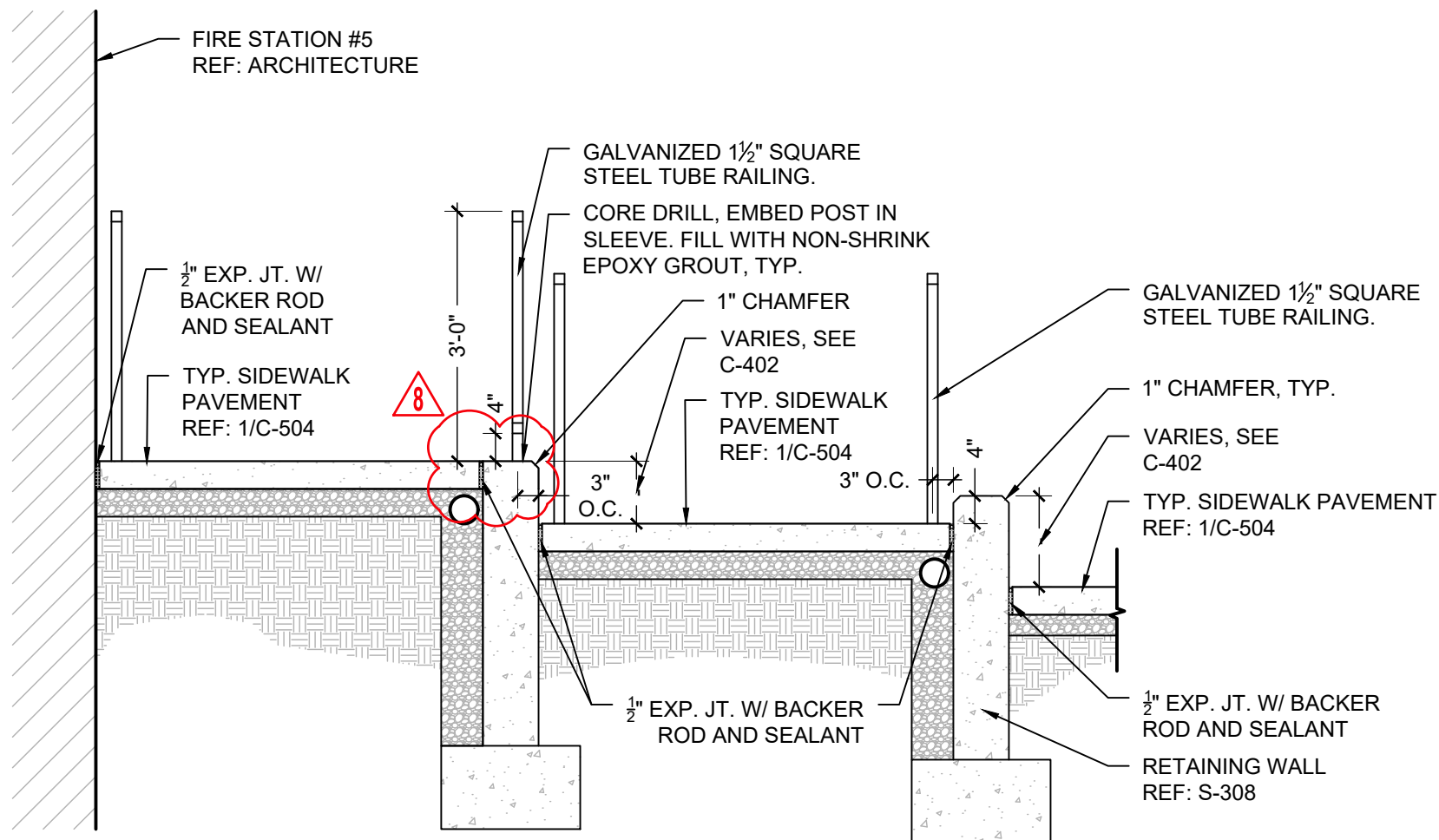
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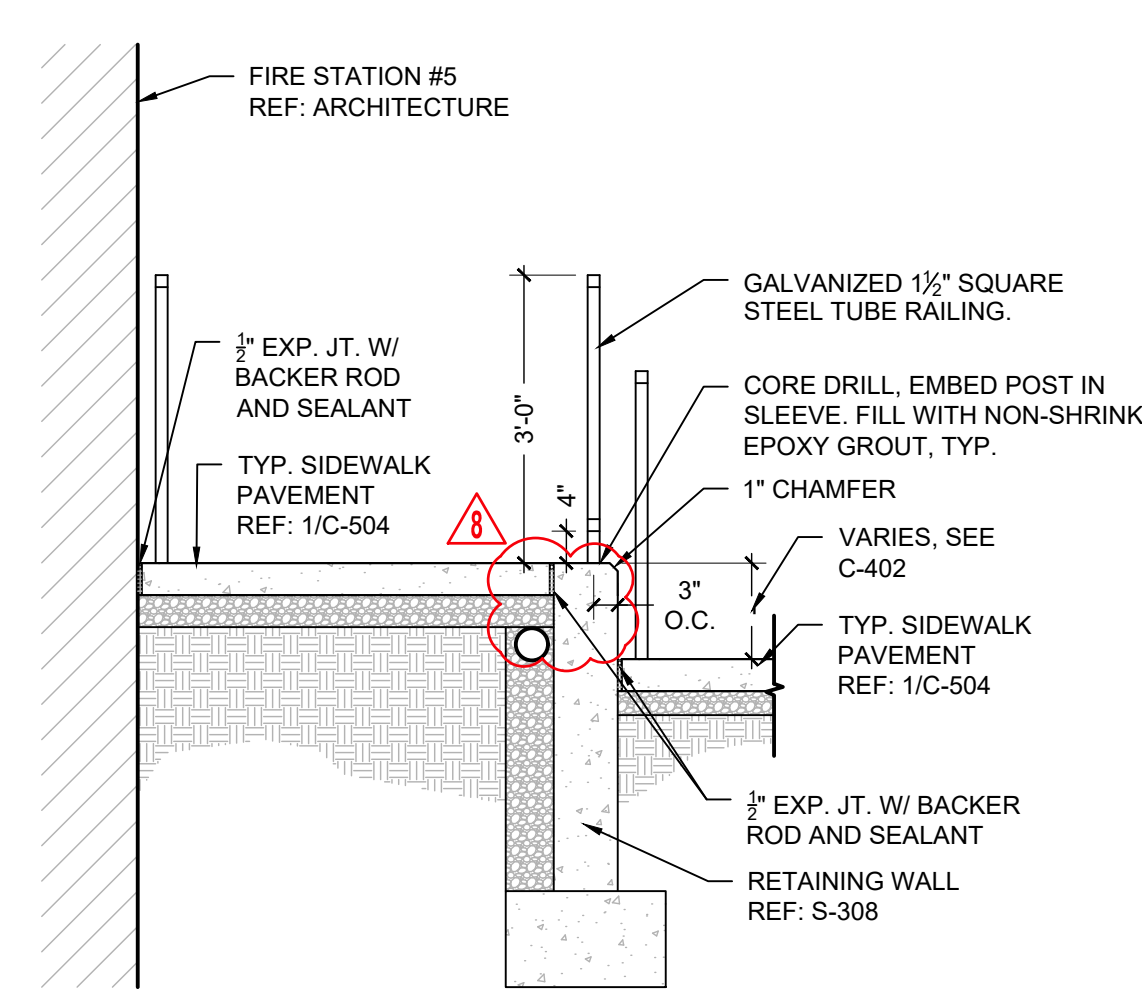
1 RETAINING WALL

1/2"=1'



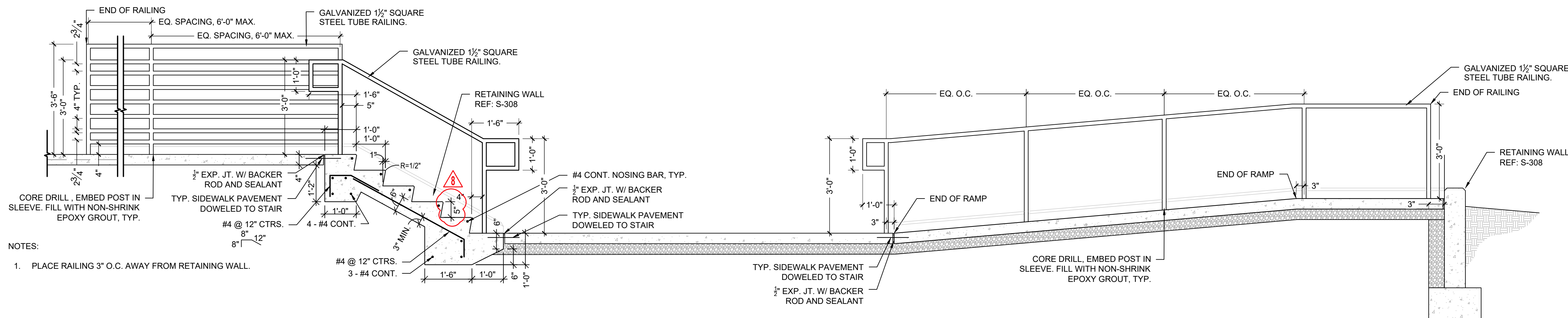
2 ADA RAMP SECTION

1/2"=1'



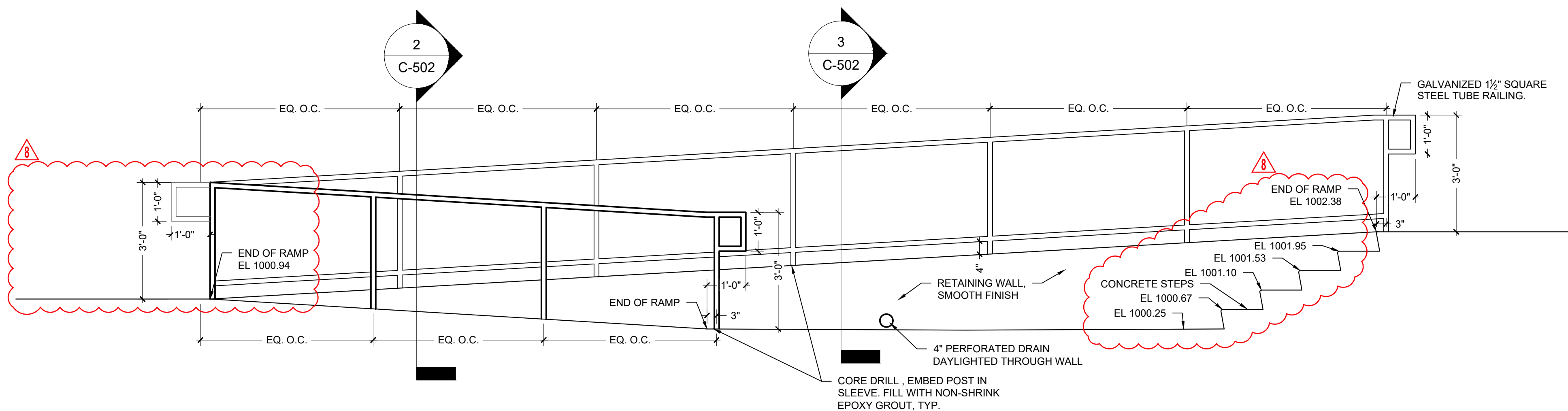
3 UPPER ADA RAMP SECTION

1/2"=1'



4 STAIR AND RAMP SECTION

1/2"=1'



5 UPPER ADA RAMP ELEVATION

1/2"=1'

C

B

A



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TEL: (816) 444-4200

STRUCTURAL ENGINEER

LEIGH + O'NEAL
MISSOURI COA #001644
250 NE MURBERRY, SUITE 201
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FIRE STATION #5
CITY OF LEE'S SUMMIT

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LEE'S SUMMIT, MISSOURI 64082

100% CONSTRUCTION DOCUMENT DRAWINGS

#	Description	Date
5	ASI 05	02.08.2023
8	ASI 08	05.17.2023



DERICK HOLMES - CIVIL ENGINEER
MO# PE-2022005196

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PROJECT NO: 18225R21001

DATE: 10.26.2022

DRAWN BY: KDW

CHKD BY: DMH

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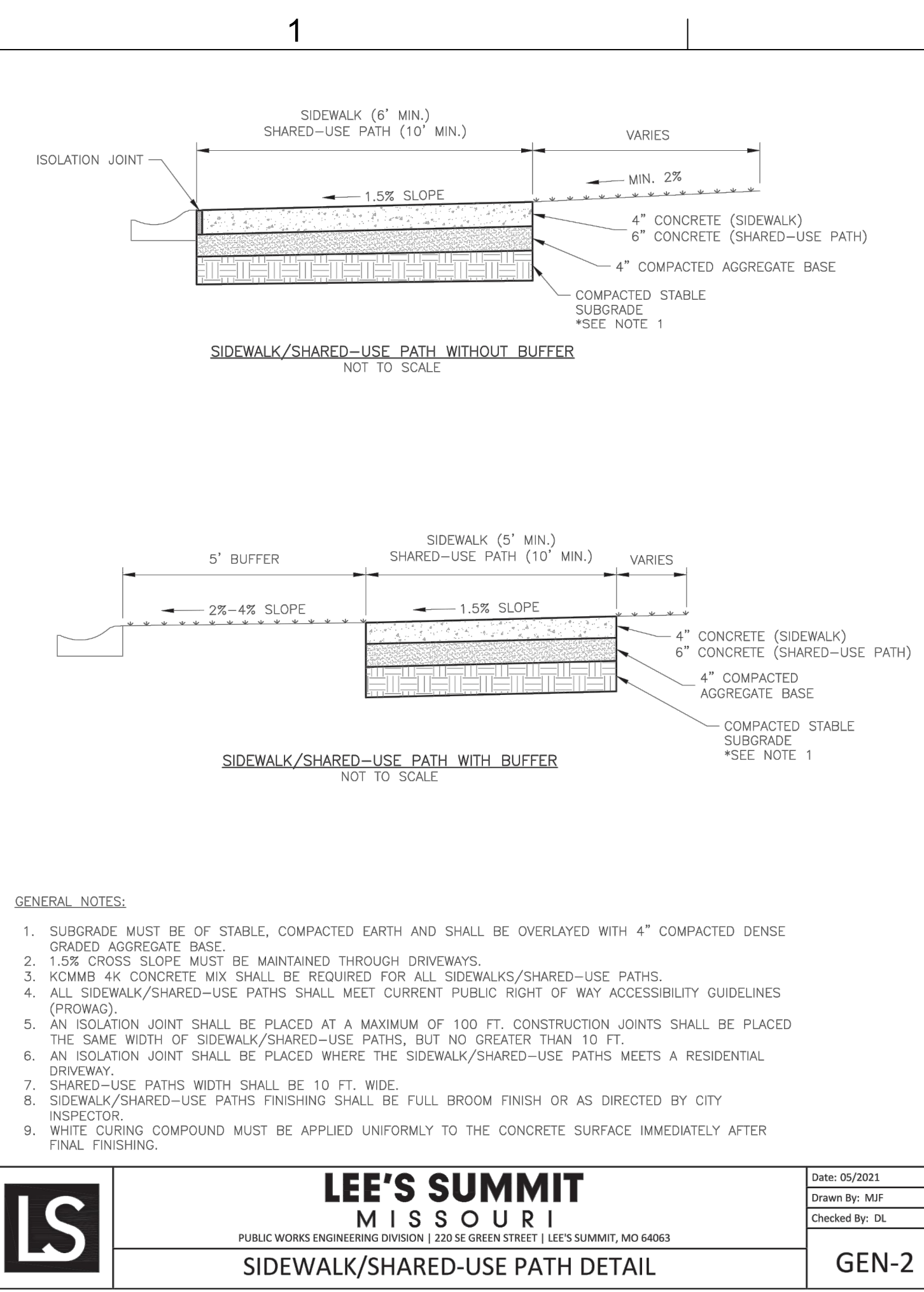
SITE DETAILS

C-502

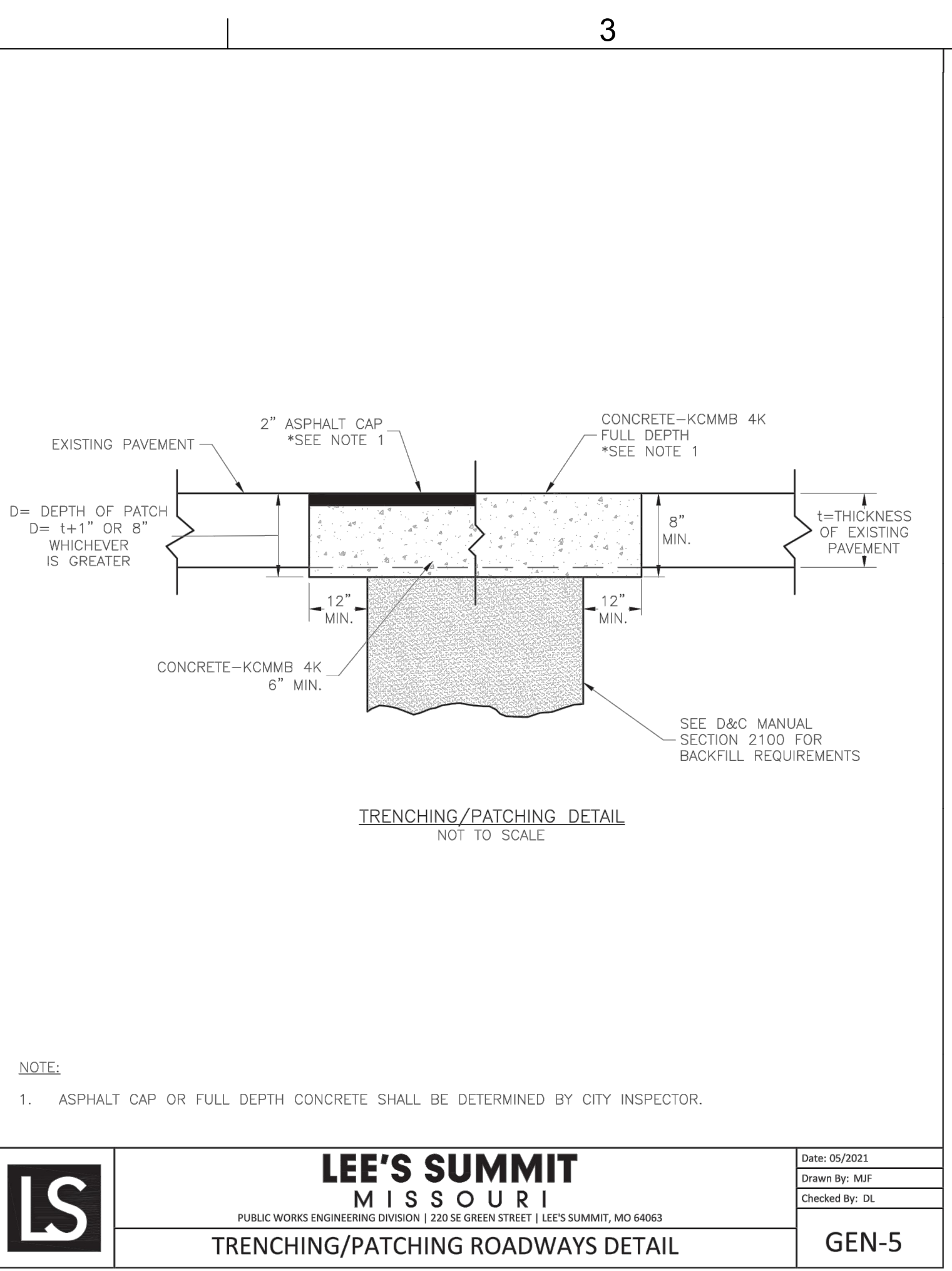
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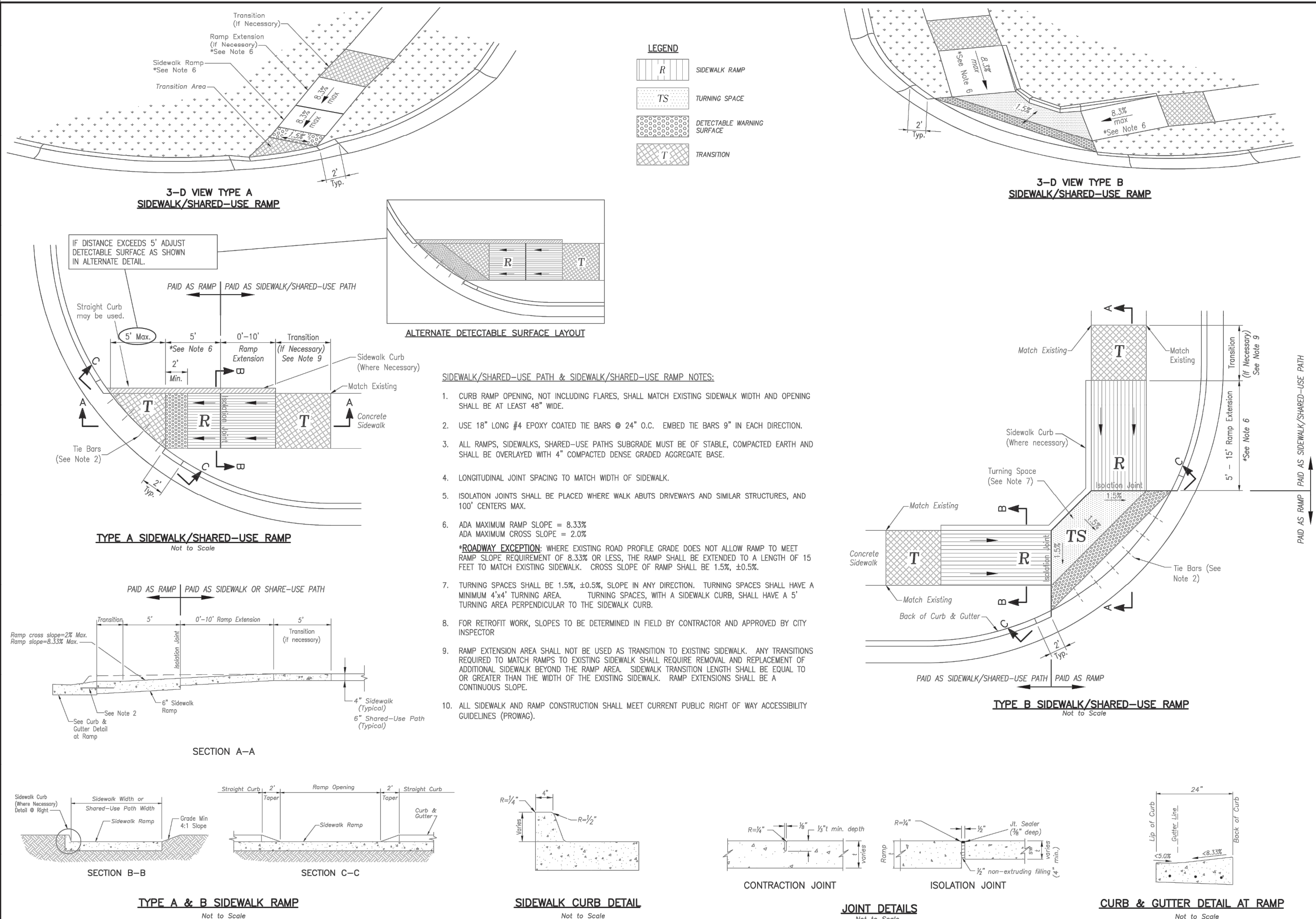


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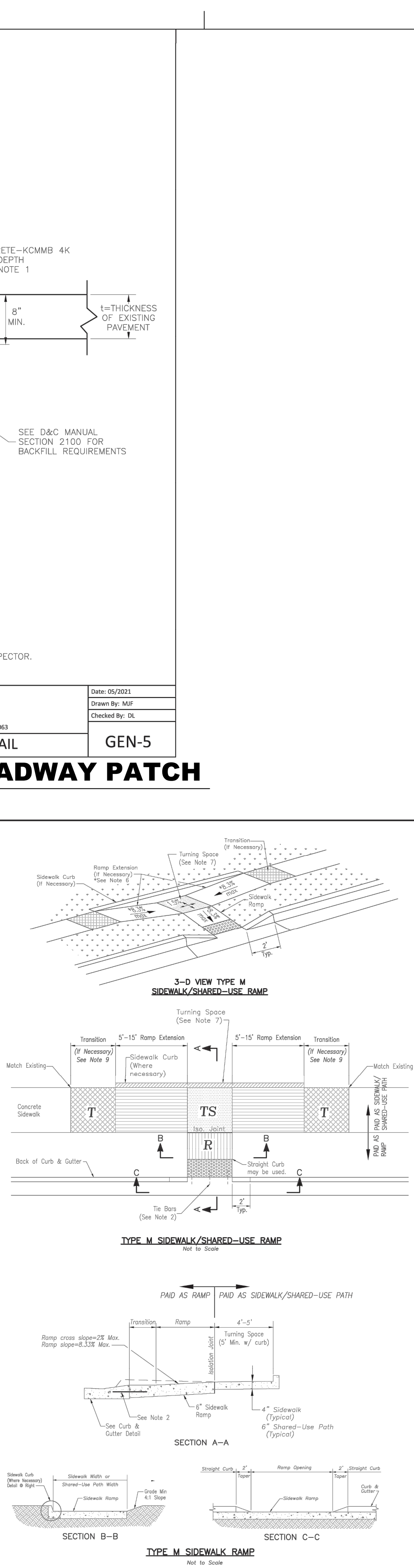
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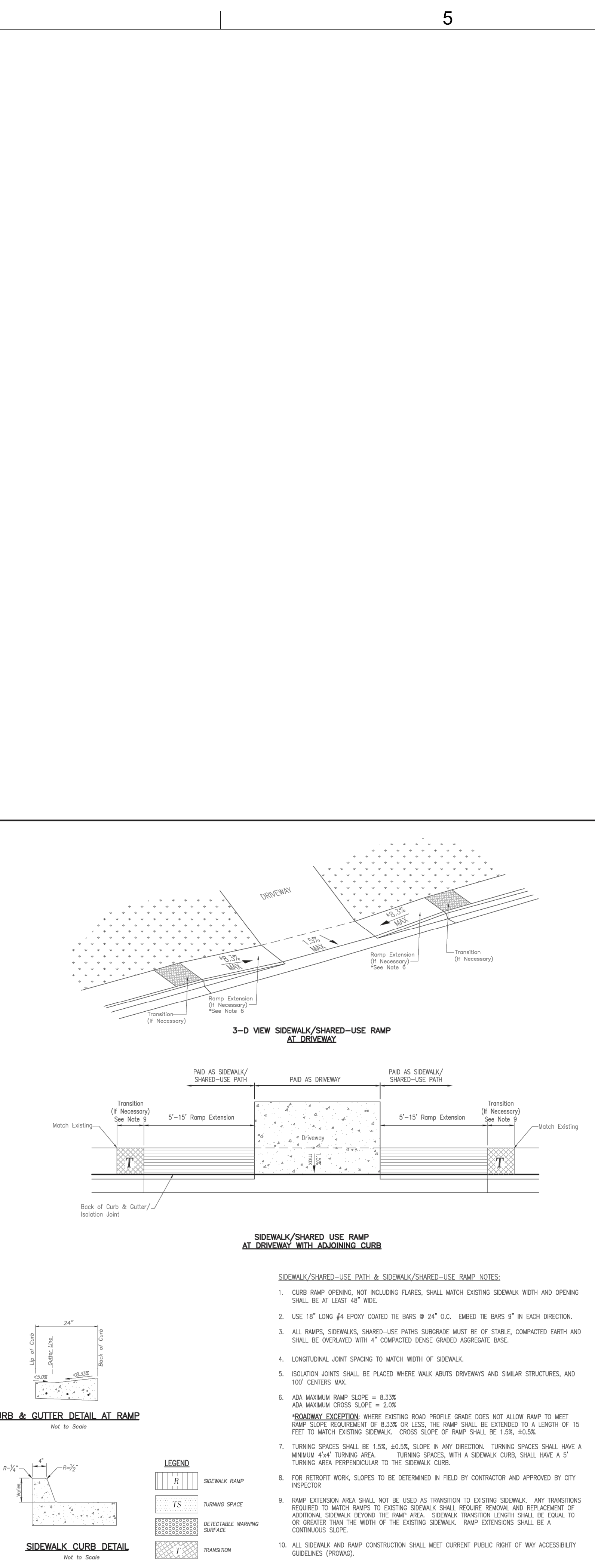
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KANSAS CITY, MO 64114
TEL: (816) 444-4200

STRUCTURAL ENGINEER
LEIGH + OYANE
MISSOURI COA #001644
250 NE MURBERRY, SUITE 201
LEE'S SUMMIT, MO, 64086
(816) 444-3144 PHONE

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HOSS & BROWN ENGINEERS
MISSOURI COA #01022
15902 MIDLAND DRIVE
SHAWNEE, KS 66217
(813) 362-9090 PHONE

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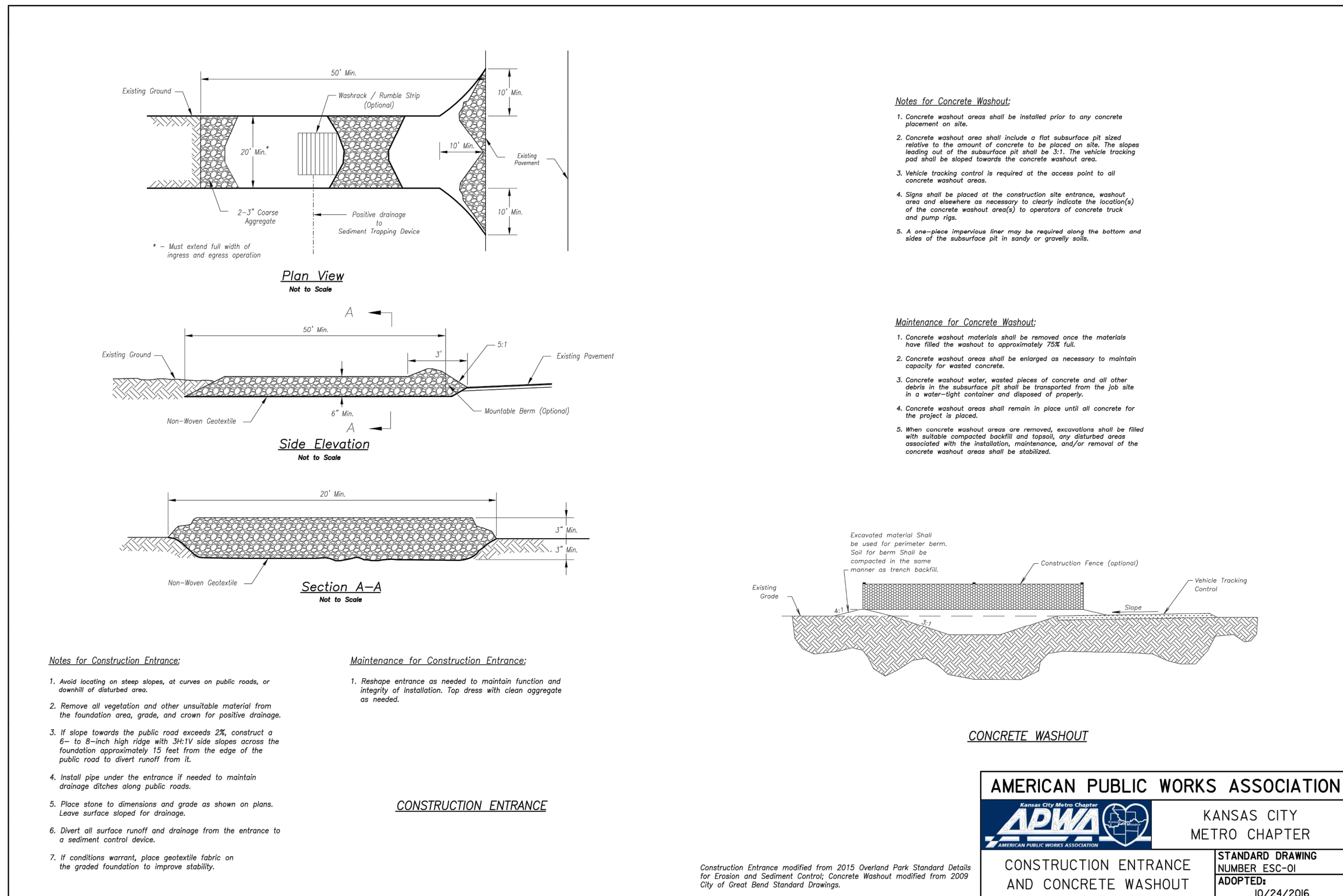
PROJECT NO: 18225R21001
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SITE DETAILS

C-504

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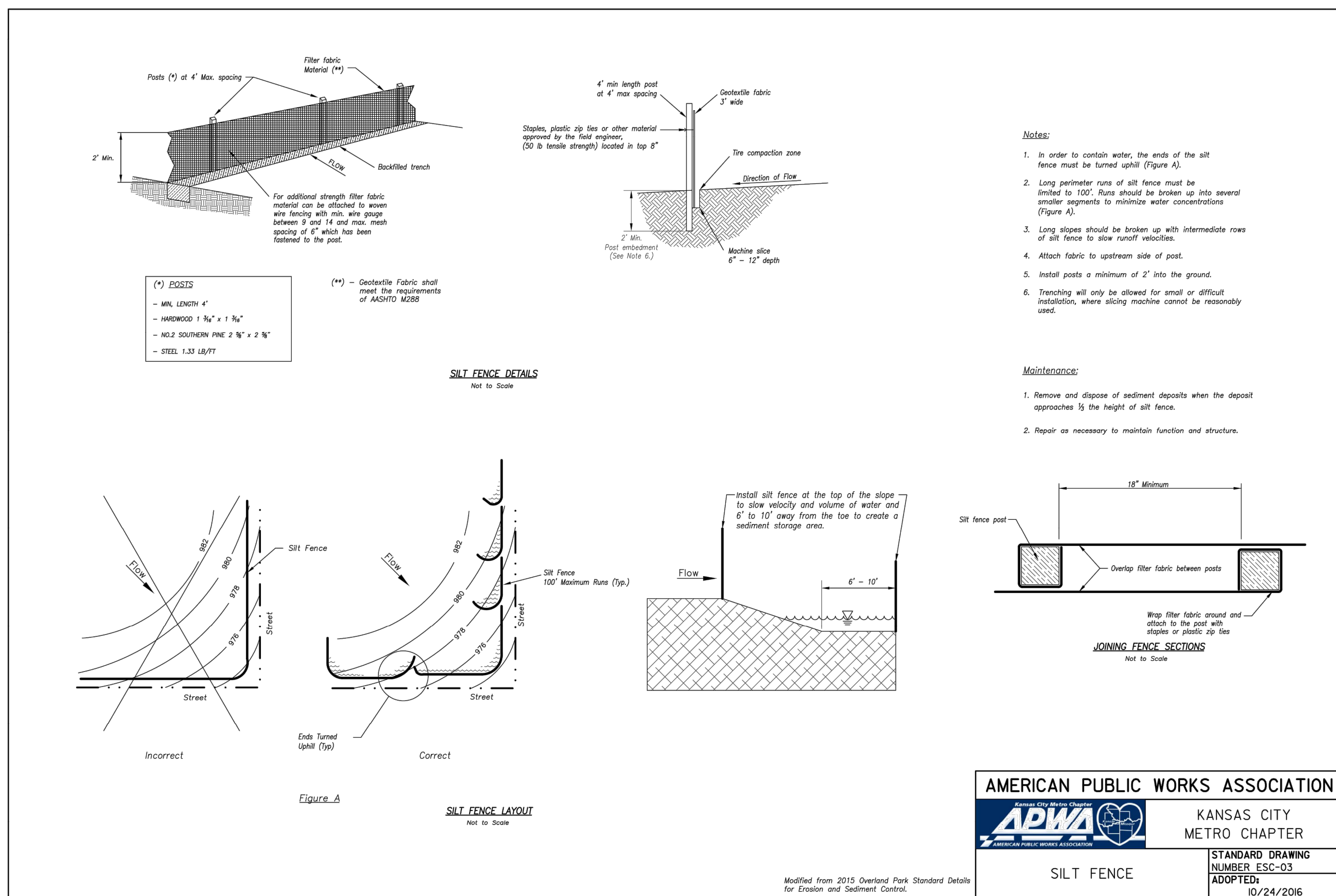
D



1 CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT

NTS

B

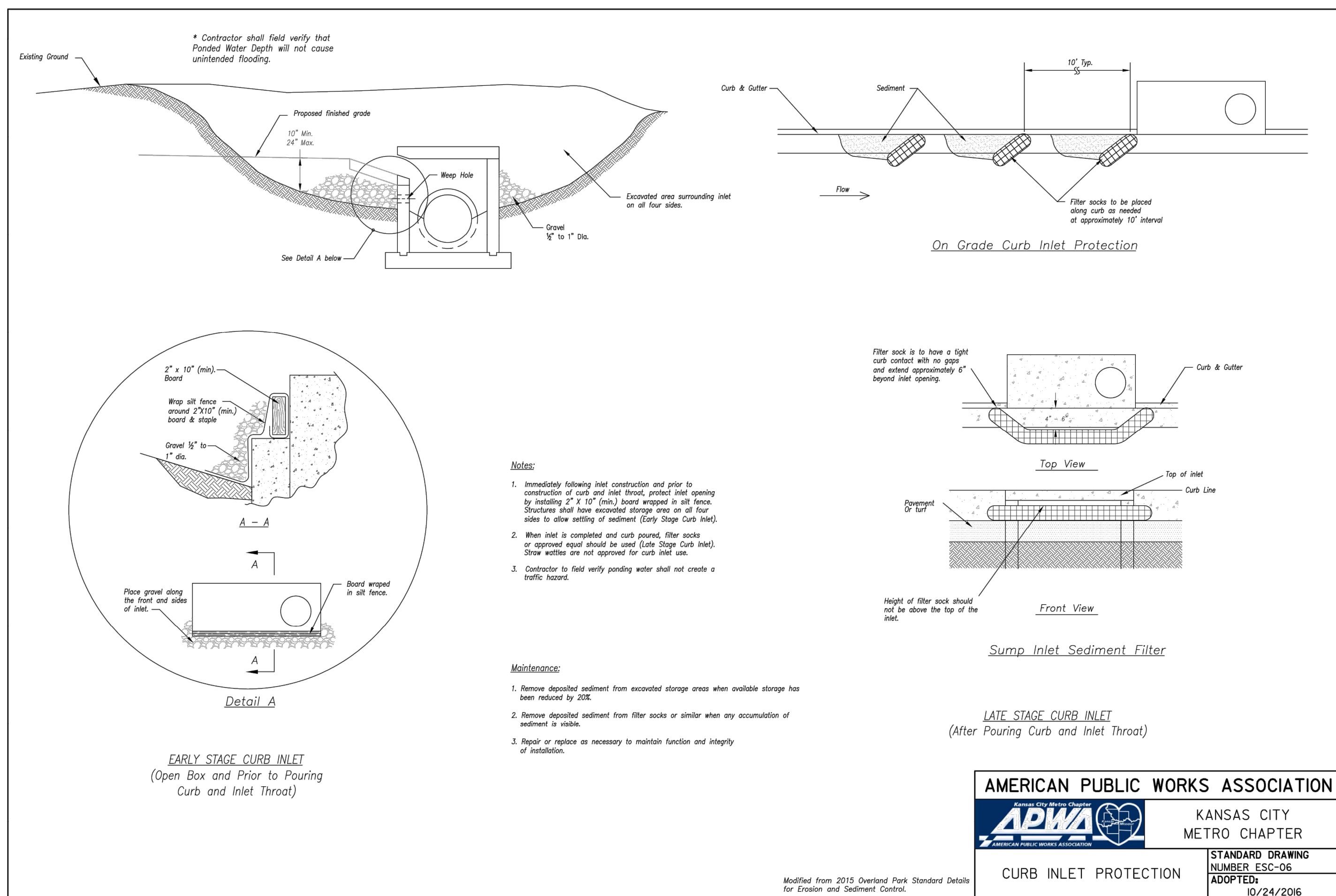


3 SILT FENCE

NTS

2 EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS

NTS



4 CURB INLET PROTECTION

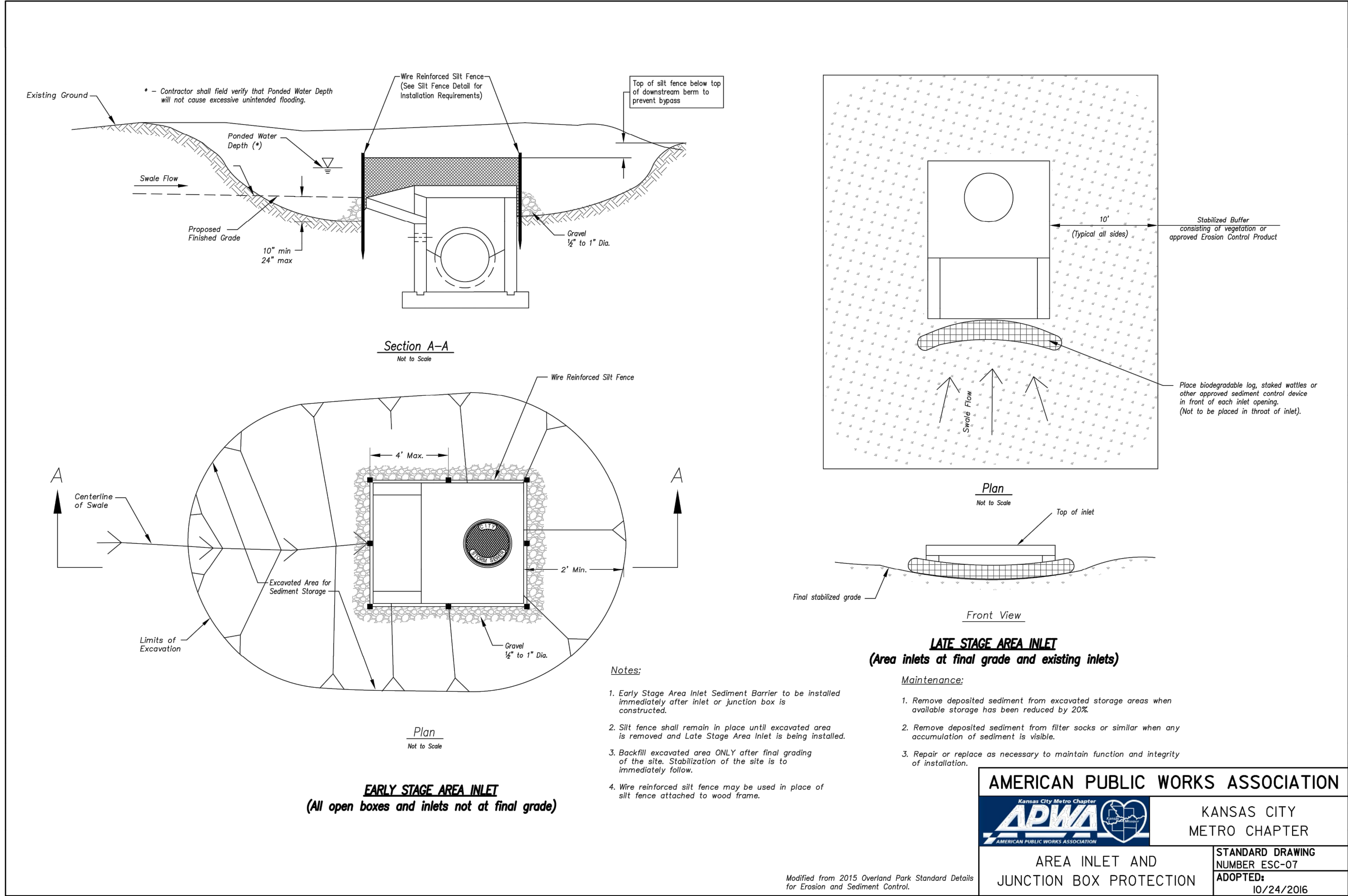
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1

AREA INLET AND JUNCTION BOX PROTECTION

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KANSAS CITY, MO 64114
TEL: (816) 444-4200

STRUCTURAL ENGINEER

LEIGH + O'KANE
MISSOURI COA #001644
250 NE MURBERRY, SUITE 201
LEE'S SUMMIT, MO, 64086
(816) 444-3144 PHONE

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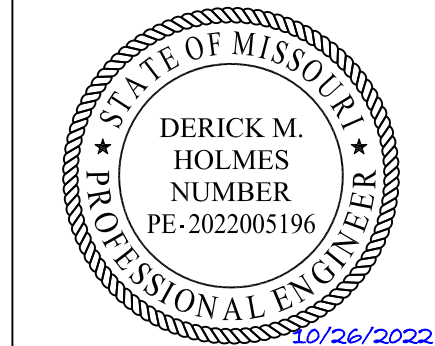
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DRAWN BY: SJB

CHKD BY: DMH

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**EROSION
CONTROL
DETAILS**

C-511

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A

REQUIRED CONCRETE BEARING AREA (SQUARE FEET - SF)

NOM. DIA. (INCHES)	180 TEE, PLUG	90 BEND	45 BEND	22.5 BEND	11.25 BEND
6	4.7	6.7	4.0	4.0	4.0
8	8.4	11.8	6.4	4.0	4.0
10	13.1	18.5	10.0	5.1	4.0
12	18.8	26.7	14.4	7.4	4.0
14	25.7	36.3	19.6	10.0	5.0
16	33.5	47.4	25.6	13.1	6.6
18	42.4	REST. JT.	32.5	16.5	8.3
20	REST. JT.	REST. JT.	40.1	20.4	10.3
24	REST. JT.	REST. JT.	REST. JT.	29.4	14.8

POURED CONCRETE BLOCKS (TYP.)

UNDISTURBED EARTH

BEARING AREA (TYP.)

BOND BREAKER (TYP. ALL BLOCKS)

1/4" BOND BREAKER

PLAN

SECTION A

1/2 DIAMETER

NOTES:
1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.
2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
3. BEARING AREA MUST BE AGAINST UNDISTURBED SOIL.
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

LS

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HORIZONTAL THRUST BLOCK

Date: 01/2016

Drawn By: JN

Checked By: DL

WAT-1

1 HORIZONTAL THRUST BLOCK

NTS

FINISHED GRADE

REGULAR BACKFILL

TRENCH AS REQUIRED BY OSHA

FLOWABLE FILL

12"

12" MIN.

NOTES:
1. FLOWABLE FILL SHALL MEET THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL.
2. REGULAR BACKFILL ABOVE THE TRENCH CHECK SHALL BE FREE OF DEBRIS, ORGANIC MATTER, AND STONES > 6" IN ANY DIMENSION.
3. TOP OF FLOWABLE BACKFILL SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE.
4. LENGTH OF TRENCH CHECK SHALL BE A MINIMUM OF 12".

LS

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WATER TRENCH CHECK DETAIL

Date: 01/2016

Drawn By: JN

Checked By: DL

WAT-6

4 WATER TRENCH CHECK DETAIL

NTS

REQUIRED CONCRETE VOLUME (CUBIC FEET - CF)					
NOM. DIA. (INCHES)	180 TEE, PLUG	90 BEND	45 BEND	22.5 BEND	11.25 BEND
6	50.5	71.4	38.6	19.7	9.9
8	89.8	126.9	68.7	35.0	17.6
10	140.2	198.3	107.3	54.7	27.5
12	202.0	REST. JT.	154.6	78.8	39.6
14	REST. JT.	REST. JT.	210.4	107.3	53.9
16	REST. JT.	REST. JT.	REST. JT.	140.1	70.4
18	REST. JT.	REST. JT.	REST. JT.	177.3	89.1
20	REST. JT.	REST. JT.	REST. JT.	REST. JT.	110.0
24	REST. JT.	REST. JT.	REST. JT.	REST. JT.	158.4

NOTES:
1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.
2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
3. BEARING MUST BE AGAINST UNDISTURBED SOIL.
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

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VERTICAL THRUST BLOCK

Date: WAT-2

Drawn By: JN

Checked By: DL

WAT-2

2 VERTICAL THRUST BLOCK

NTS

BACK OF CURB

BACK OF CURB

GROUND SURFACE

MECHANICAL JOINT (TYP.)

THRUST BLOCK (SEE NOTE 1)

KEEP WEEP HOLE FREE OF CONCRETE AND FOREIGN MATERIAL

24"x24"x4" SOLID CONCRETE PAD

UNDISTURBED EARTH

PROVIDE MIN. 1/2 CU. YD. OF 3/4" GRANULAR FILL PER AWWA C600 SEC. 4.2.7.2.4

MJ RESTRAINT FITTINGS (SEE NOTES 1 & 2)

THRUST BLOCK

UNDISTURBED EARTH

2' FROM BACK OF CURB

20" MIN. 42" MAX.

VARIES

VALVE LID & COVER

6" GATE VALVE

VALVE BOX & BASE

NOTES:
1. WHEN RETAINER GLANDS ARE USED IN LIEU OF MECHANICAL JOINT (MJ) RESTRAINT FITTINGS, HORIZONTAL THRUST BLOCKS ARE REQUIRED.
2. GATE VALVE MAY BE BOLTED DIRECTLY TO MJ RESTRAINT TEE.
3. SEE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR FIRE HYDRANT, VALVES, VALVE BOX LID, AND COVER.
4. BOTTOM HYDRANT FLANGE SHALL BE 2" TO 6" ABOVE FINISHED GRADE.
5. FOR STREETS WITHOUT CURBS FIRE HYDRANTS SHALL BE PLACED WITHIN 1 FOOT OF THE R/W LINE, BUT NOT MORE THAN 10' FROM EDGE OF PAVEMENT. FIRE HYDRANT SHALL NOT BE PLACED IN BOTTOM OF DITCH.
6. HYDRANT SHALL BE ROTATED AS DIRECTED BY INSPECTOR.

LS

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HYDRANT - STRAIGHT SET

Date: 01/2016

Drawn By: JN

Checked By: DL

WAT-7

5 HYDRANT - STRAIGHT SET

NTS

24" MIN.

24" MIN. OR TRENCH WIDTH

POUR CONCRETE AGAINST UNDISTURBED EARTH

MJ RETAINER GLAND

24" MIN.

3" CLEAR

MJ VALVE

5" MIN.

TRENCH WIDTH

TOP VIEW

SECTION A-A

WATER MAIN

POUR CONCRETE AGAINST UNDISTURBED EARTH

#4 @ 12" O.C. EACH WAY EACH FACE

PIPE SIZE

6"

8"

12"

7" MIN.

4"

7"

15"

NOTE:
THIS DETAIL NOT TO BE USED FOR PIPE GREATER THAN 12"

LS

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STRADDLE BLOCK

Date: 01/2016

Drawn By: JN

Checked By: DL

WAT-3

3 STRADDLE BLOCK

NTS

VALVE COVER

FINAL GRADE

CUT A NOTCH IN TOP OF VALVE BOX AND PLACE 2" OF TRACER WIRE COILED INSIDE VALVE COVER BOX

STANDARD 2" SQUARE VALVE OPERATING NUT

WELD (TYP. 8 PLACES)

ALIGNMENT WASHER 1/8" MIN. STEEL 4-1/2"

1" COLD ROLLED STEEL

MIN. 5"Ø FERROUS METAL VALVE BOX

SOCKET FROM 1/4" STEEL INSIDE DIMENSIONS 2-3/16" X 3" DEEP DO NOT TIGHTEN SET SCREW TO 2" OPERATING NUT

INSTALL TRACER WIRE ALONG OUTSIDE SURFACE OF VALVE BOX

3" MAXIMUM

VARIES AS REQUIRED

2"

3-1/4"

NOTES:
1. WHEN RETAINER GLANDS ARE USED IN LIEU OF MECHANICAL JOINT (MJ) RESTRAINT FITTINGS, HORIZONTAL THRUST BLOCKS ARE REQUIRED.
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6. HYDRANT SHALL BE ROTATED AS DIRECTED BY INSPECTOR.

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VALVE STEM EXTENSION AND VALVE BOX

Date: 01/2016

Drawn By: JN

Checked By: DL

WAT-9

6 VALVE STEM EXTENSION & VALVE BOX

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MISSOURI COA #001644
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NUMBER
PE-2022005196
10/26/2022
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DRAWN BY:	SJB
CHKD BY:	DMH

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WATER
DETAILS

C-520

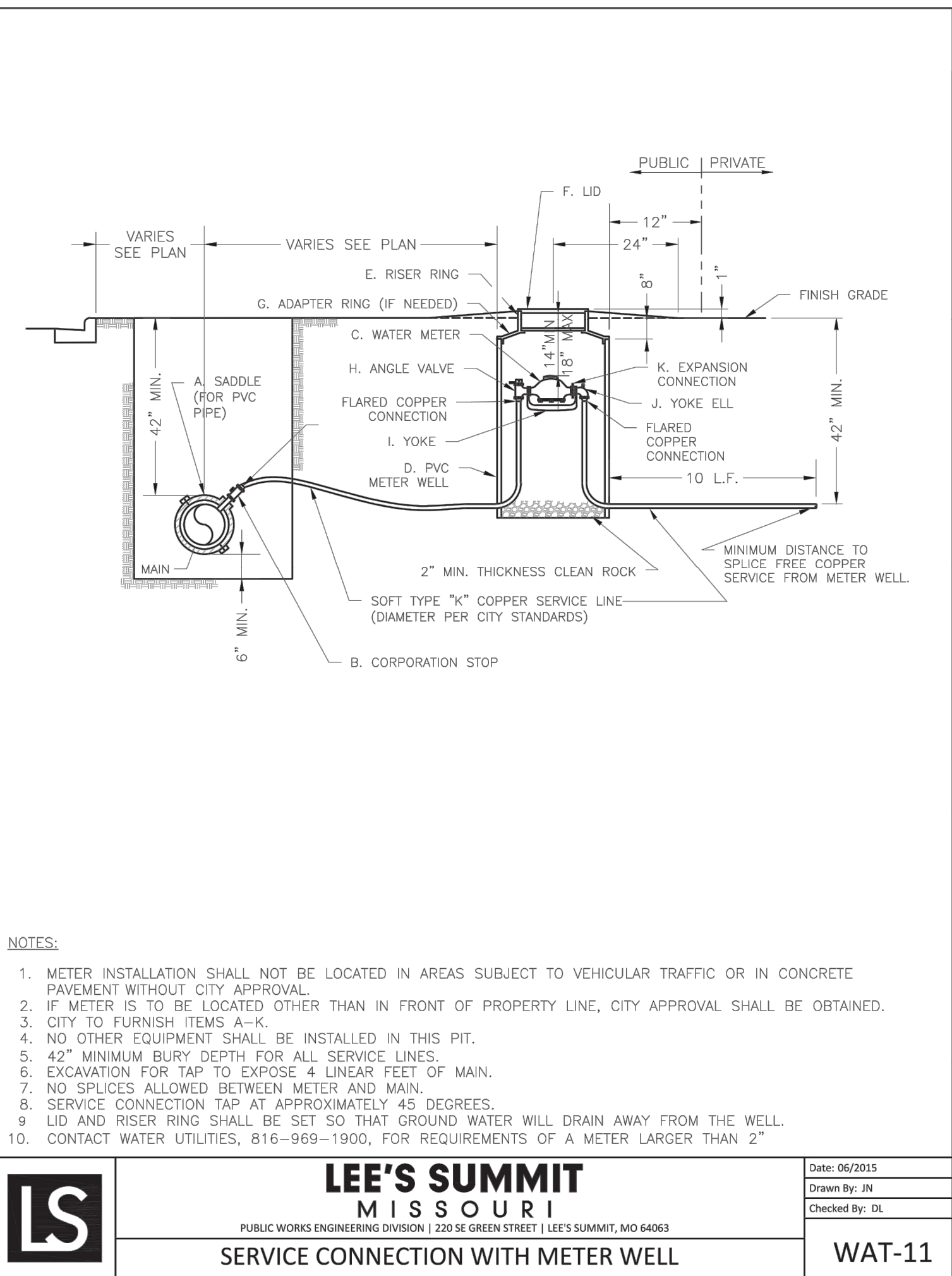
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- NOTES:
1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
 2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
 3. CITY TO FURNISH ITEMS A-K.
 4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
 5. 42\"/>

LS

LEE'S SUMMIT

MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Service Connection with Meter Well

Date: 06/2015

Drawn By: RN

Checked By: DL

WAT-11

1

SERVICE CONNECTION WITH METER WELL

NTS

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TEL: (816) 444-4200

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DRAWN BY: SJB

CHKD BY: DMH

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WATER DETAILS

C-521

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Section 2721

Engineered Surface Drainage Products

GENERAL

PVC surface drainage inlets shall include the drain basin type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.


MATERIALS

The drain basins required for this contract shall be manufactured from PVC pipe stock, utilizing a thermoforming process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D3212 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F477. The pipe bell spigot shall be joined to the main body of the drain basin or catch basin. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grates and frames furnished for all surface drainage inlets shall be ductile iron for structure sizes 8", 10", 12", 15", 18", 24", 30" and 36" and shall be made specifically for each basin so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for drain basins shall be capable of supporting various wheel loads as specified by Nyloplast. 12" and 15" square grates will be hinged to the frame using pins. Ductile iron used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05. Grates and covers shall be provided painted black.

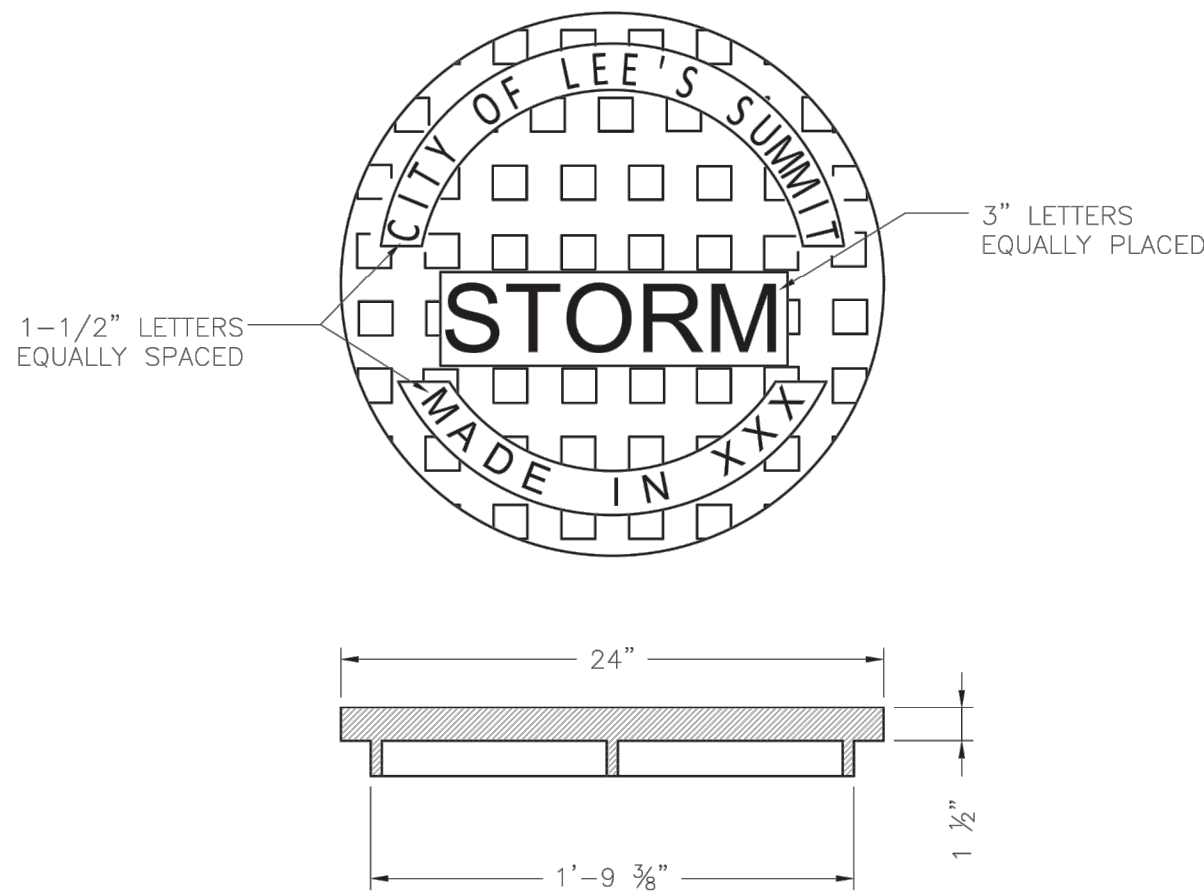
INSTALLATION

The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1, class 2, or class 3 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For load rated installations, a concrete slab shall be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.

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	DATE: 3-10-00		
	REVISED BY: NMH	PROJECT NO./NAME:	
	DATE: 02-21-16	TITLE:	
DWG SIZE: A	SCALE: 1:1	SHEET: 1 OF 1	DWG NO.: 7001-110-011
			REV: J

1 8 IN - 36 IN DRAIN BASIN SPECIFICATIONS

NTS



STANDARD 24" MANHOLE COVER
MINIMUM WEIGHT = 160 LB
NOTE: PICK HOLES NOT SHOWN

*COVER AND FRAME MODEL INFORMATION REFER TO
THE STORMWATER APPROVED PRODUCT LIST.

	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 05/2023 Drawn By: MAF Checked By: DL	STM-6

3 STORM MANHOLE COVER DETAIL

NTS

1

2

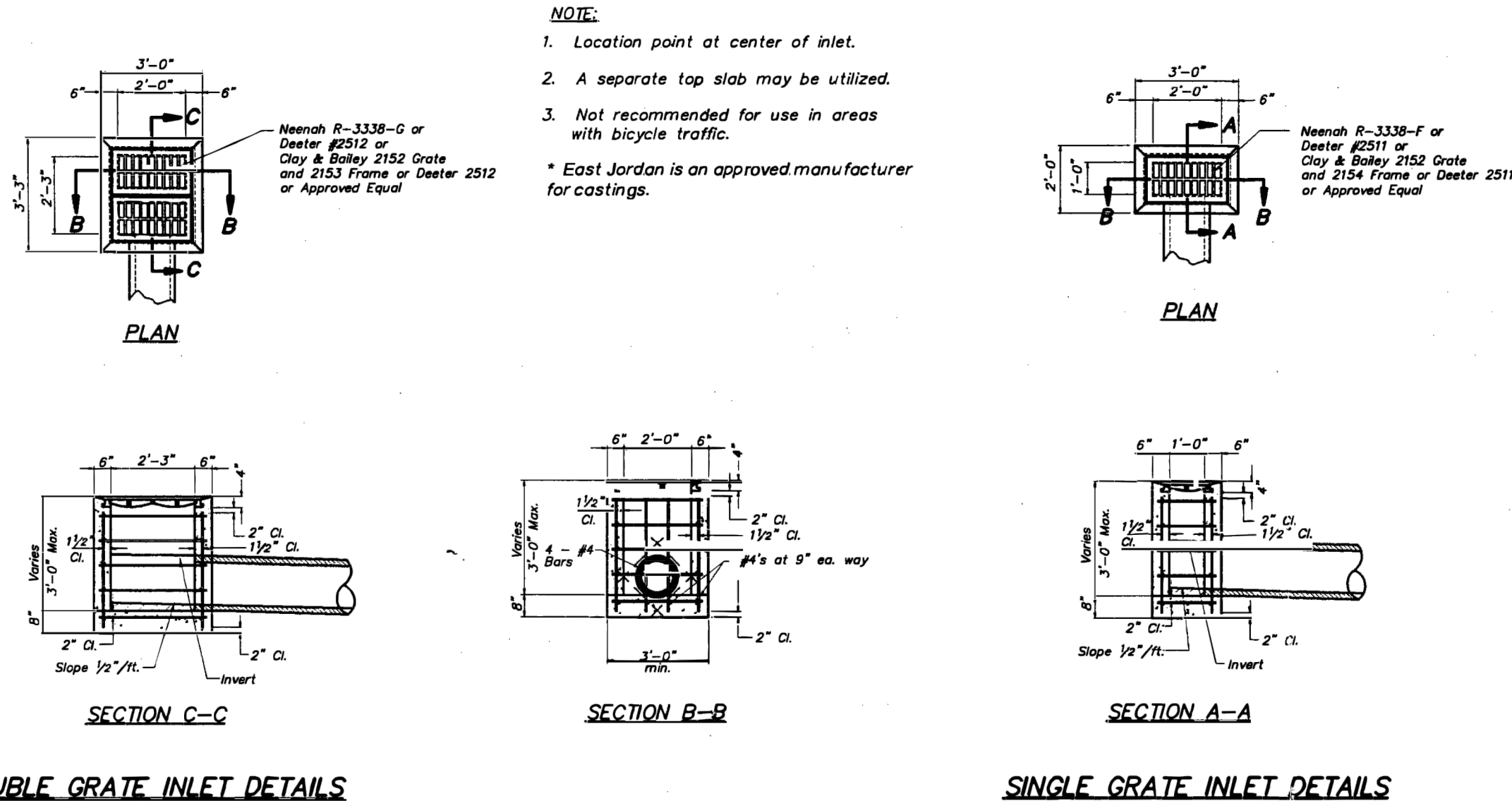
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4

5

2 GRATE INLET DETAIL

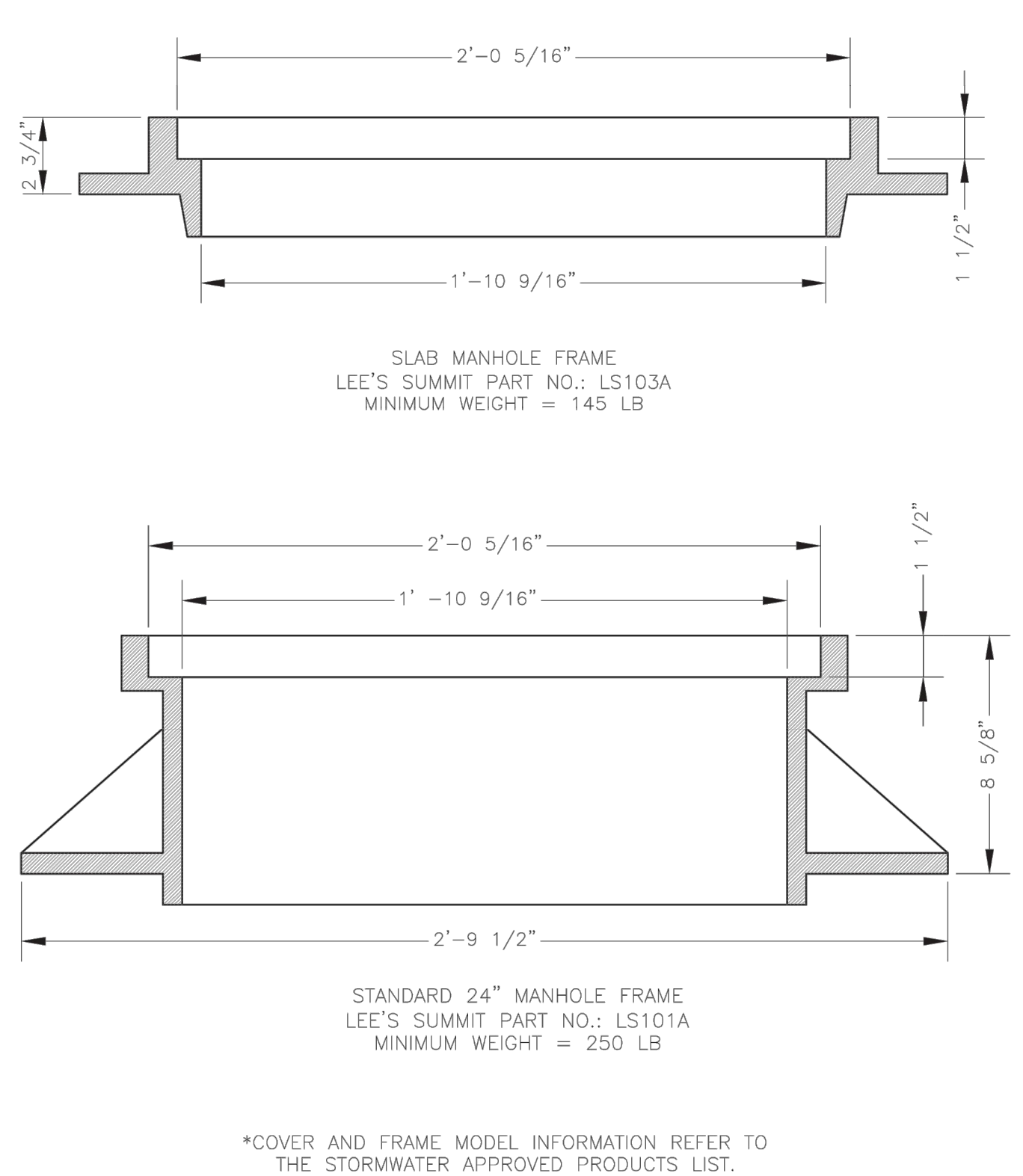
NTS



AMERICAN PUBLIC WORKS ASSOCIATION	
	
GRATE INLET DETAILS	
KANSAS CITY METROPOLITAN CHAPTER	
STANDARD DRAWING NUMBER G-1	
ADOPTED: APRIL 17, 1996	

4 STORM MANHOLE FRAME DETAIL

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9229 WARD PARKWAY
SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
FAX: (316) 265-5646
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FIRE STATION #5
CITY OF LEE'S SUMMIT

801 MISSOURI HIGHWAY 150
LEE'S SUMMIT, MISSOURI 64082

REVISIONS:
Description Date



DERICK HOLMES - CIVIL ENGINEER
MO# PE-2022005196

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PROJECT NO: 18225R21001

DATE: 10.26.2022

DRAWN BY: SJB

CHKD BY: DMH

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STORMWATER
DETAILS

C-530

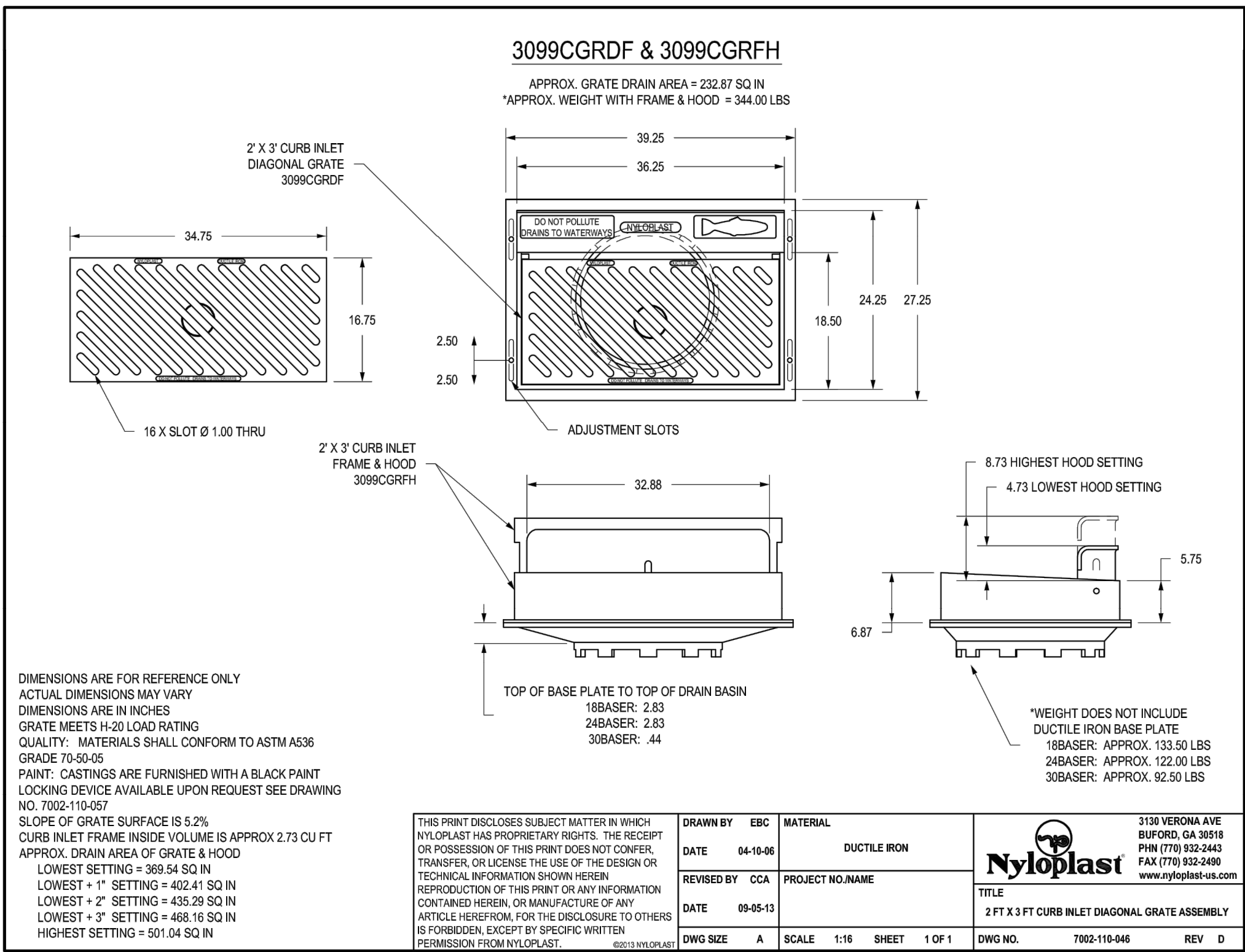
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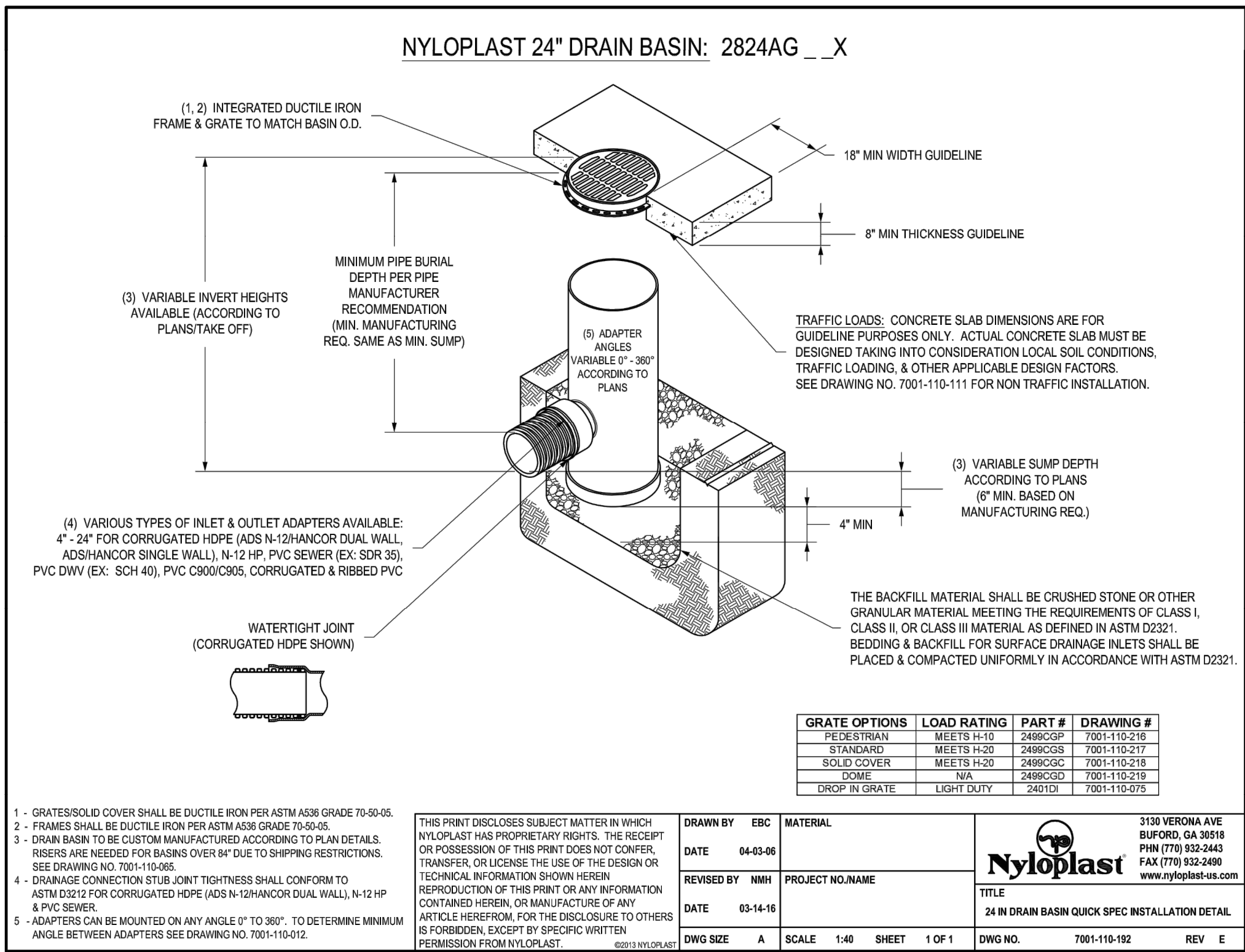


2'x3' CURB INLET DIAGONAL GRATE ASSEMBLY

NTS

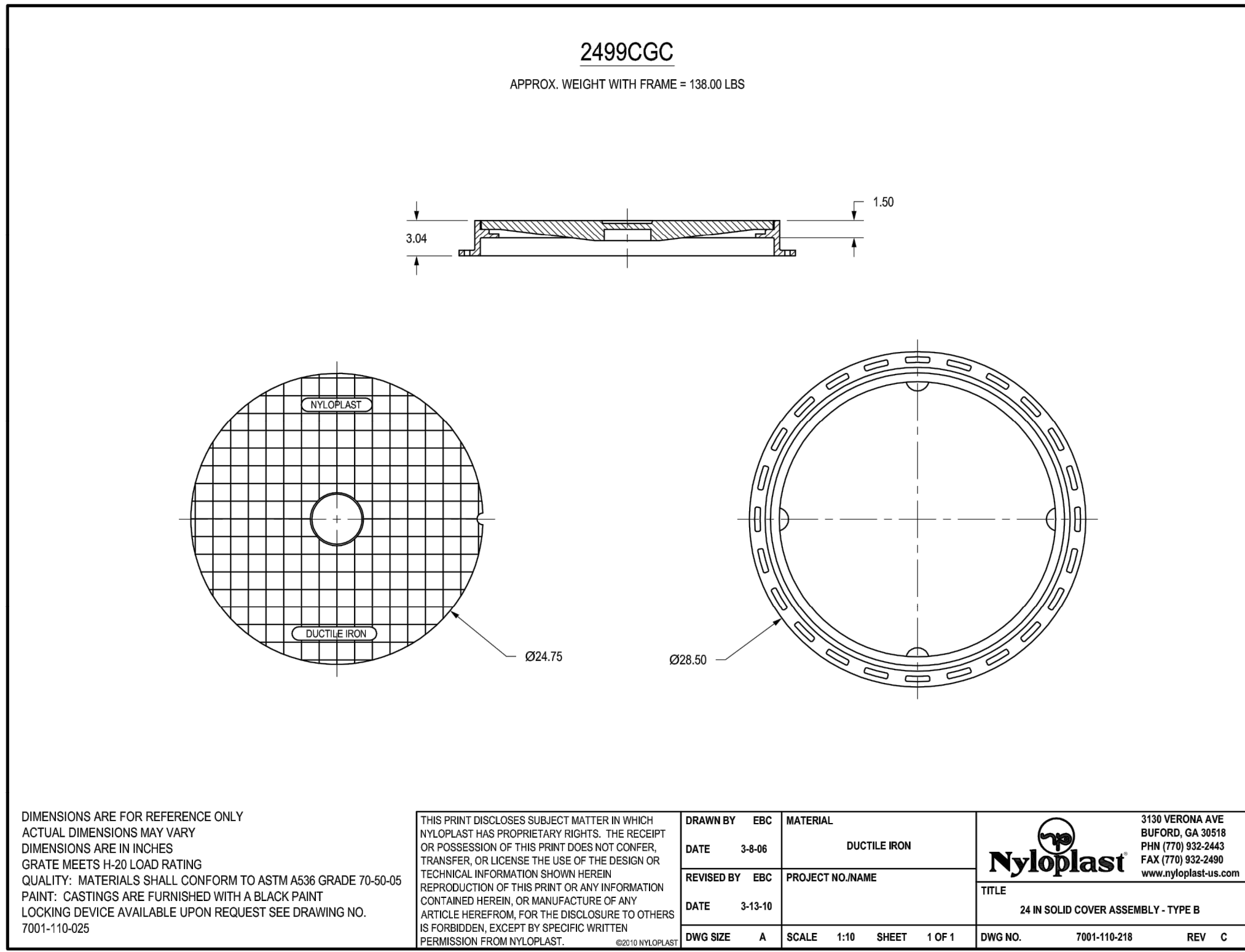
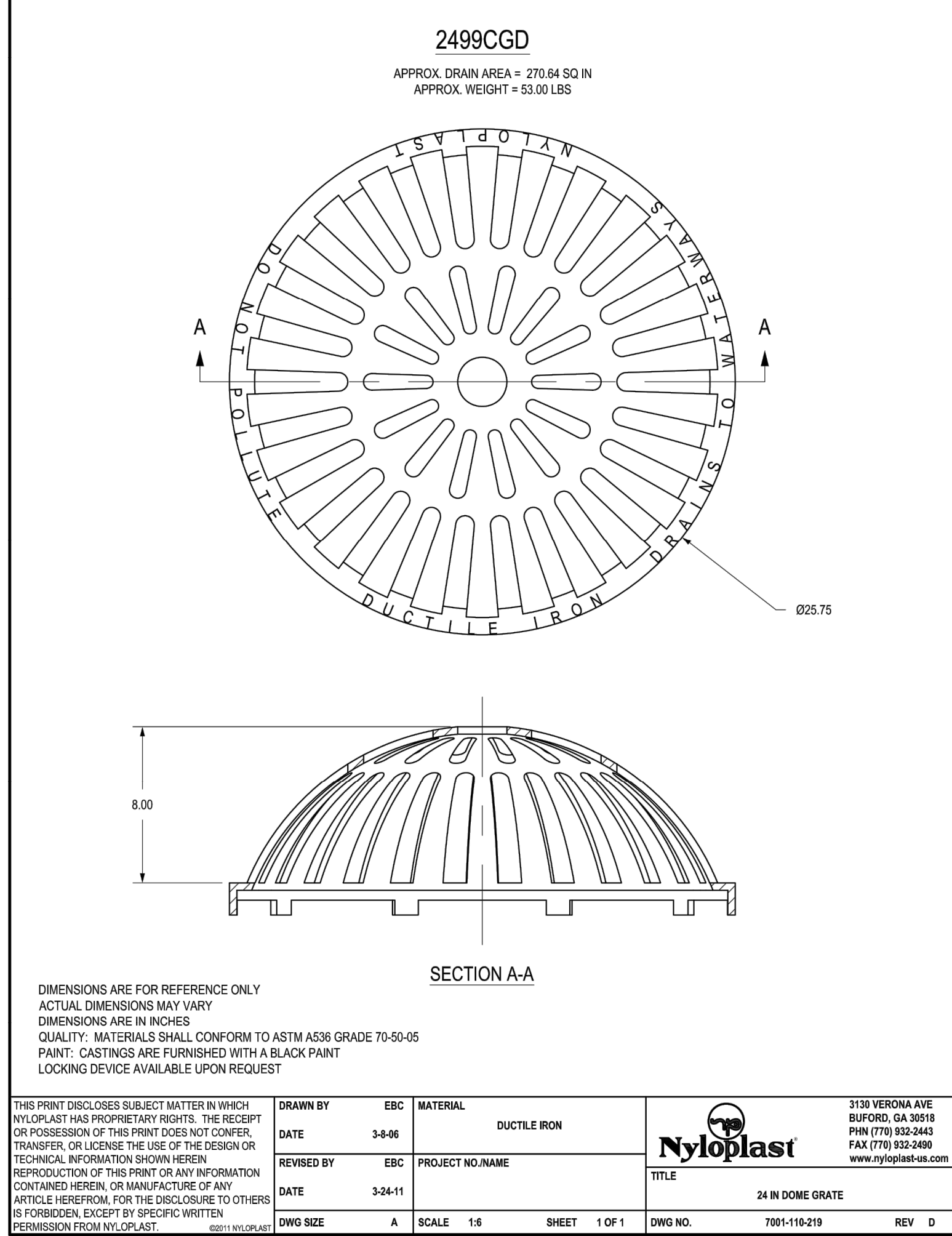
24" DRAIN BASIN QUICK SPEC INSTALLATION DETAIL

NTS



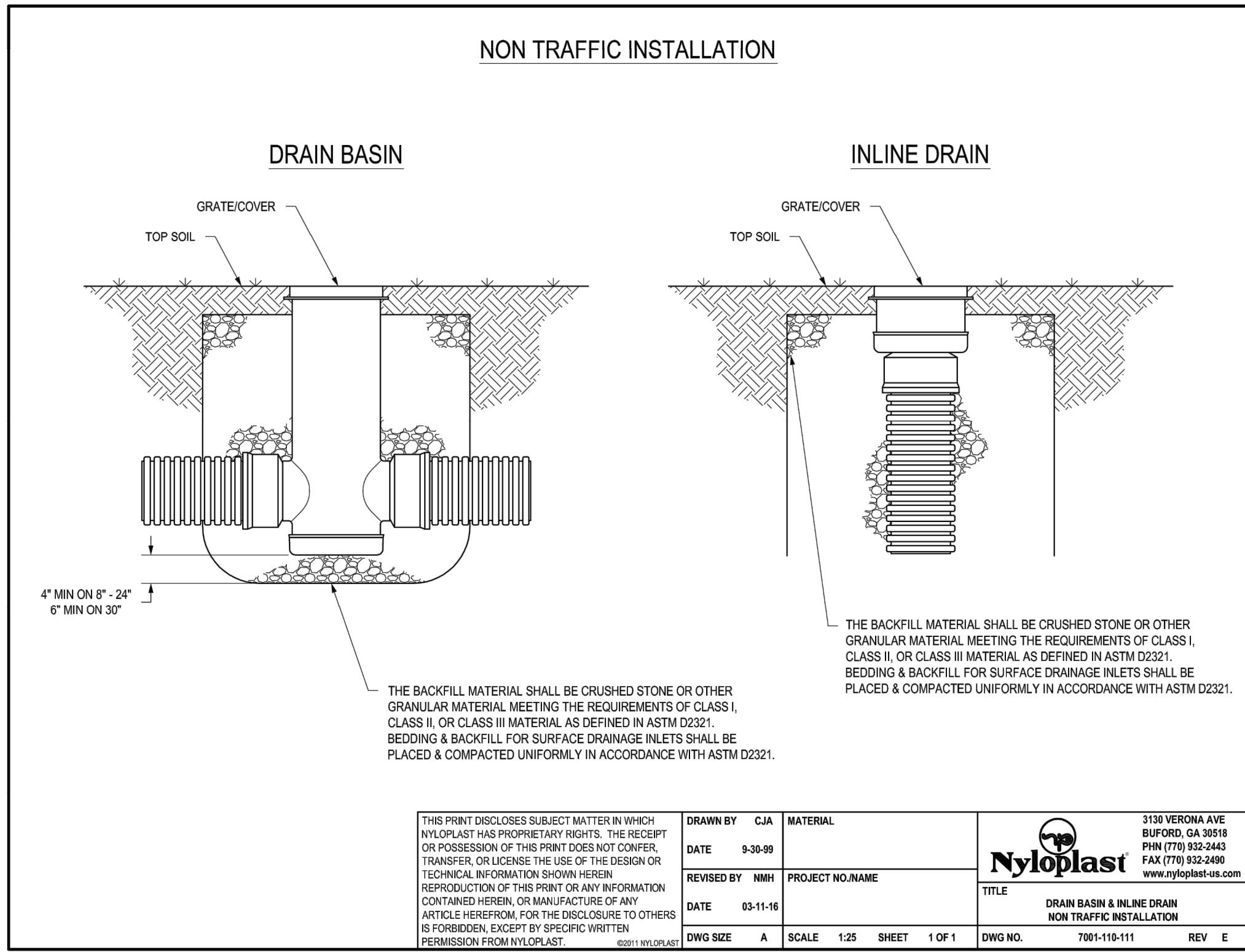
24" DOME GRATE

NTS



24" SOLID COVER ASSEMBLY - TYPE B

NTS



DRAIN BASIN & INLINE DRAIN NON-TRAFFIC INSTALLATION

NTS



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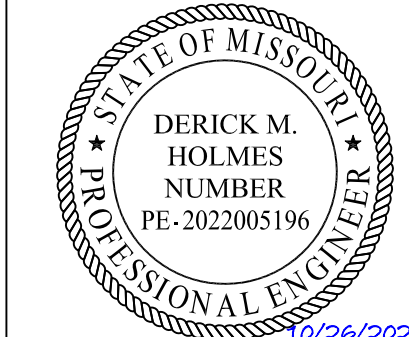
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STORMWATER DETAILS

C-531

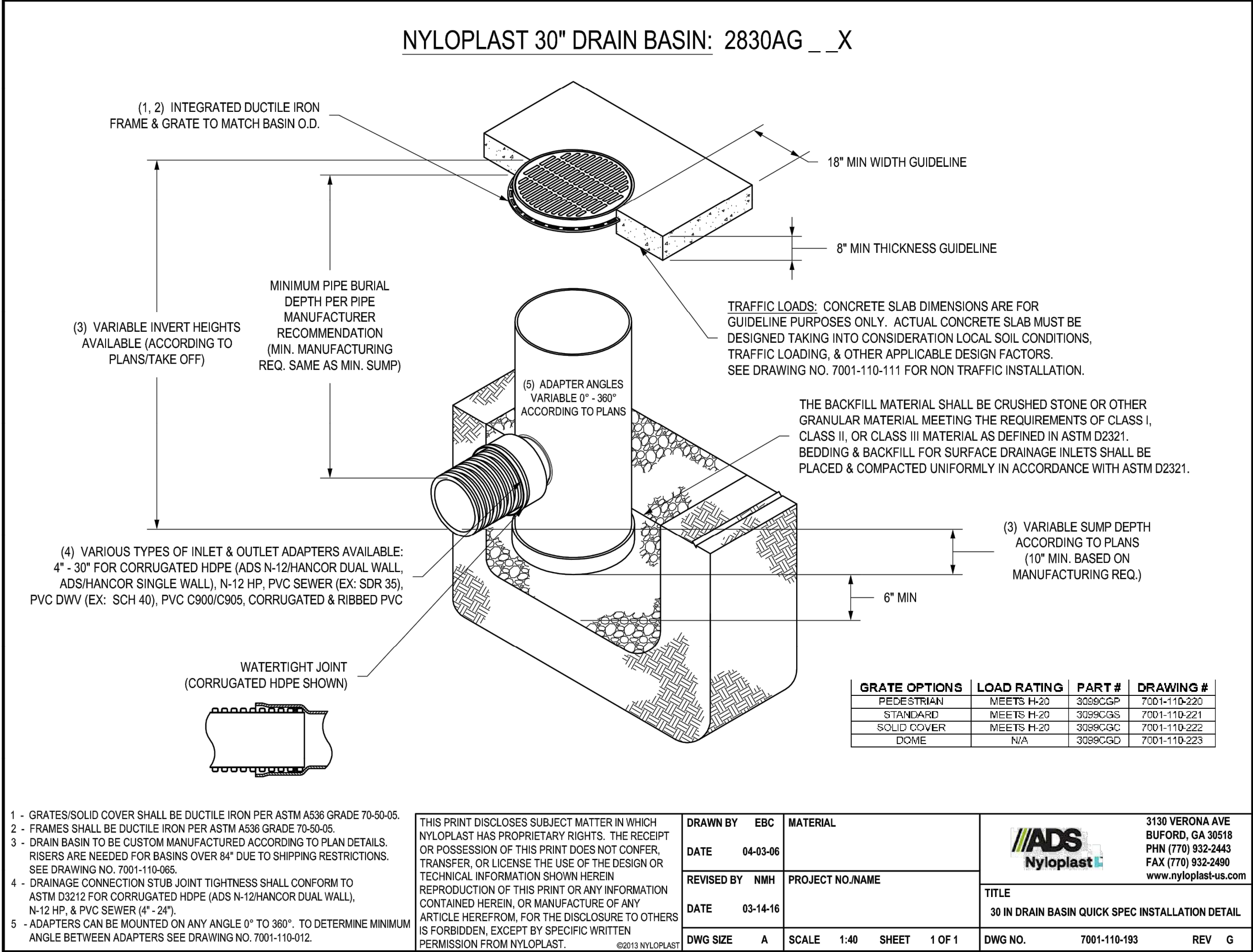
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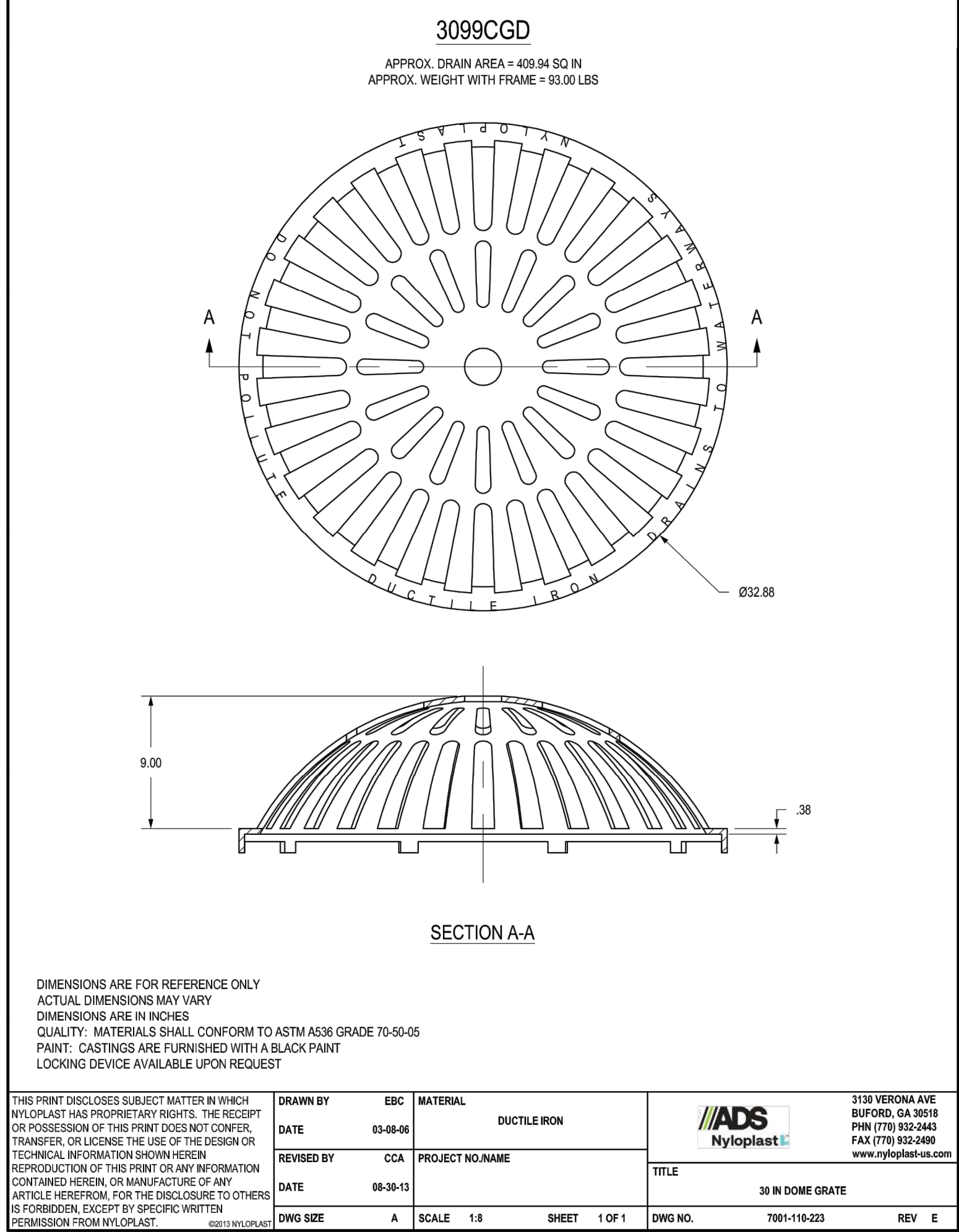
B

A



1 30" DRAIN BASIN QUICK SPEC INSTALLATION DETAIL

NTS



2 30" DOME GRATE

NTS

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SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
FAX: (316) 265-5646
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CIVIL ENGINEER & LANDSCAPE ARCH.
GLMV ARCHITECTURE, INC.
MISSOURI CIVIL COA #2018033898
MISSOURI LANDSCAPE COA #0000008
9229 WARD PARKWAY, SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200

STRUCTURAL ENGINEER
LEIGH + O'KANE
MISSOURI COA #001644
250 NE MURBERRY, SUITE 201
LEE'S SUMMIT, MO, 64086
(816) 444-3144 PHONE

MECH. ELEC. & PLUMBING ENGINEERS
HOSS & BROWN ENGINEERS
MISSOURI COA #01022
15902 MIDLAND DRIVE
SHAWNEE, KS 66217
(913) 362-9090 PHONE

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DETAILS**

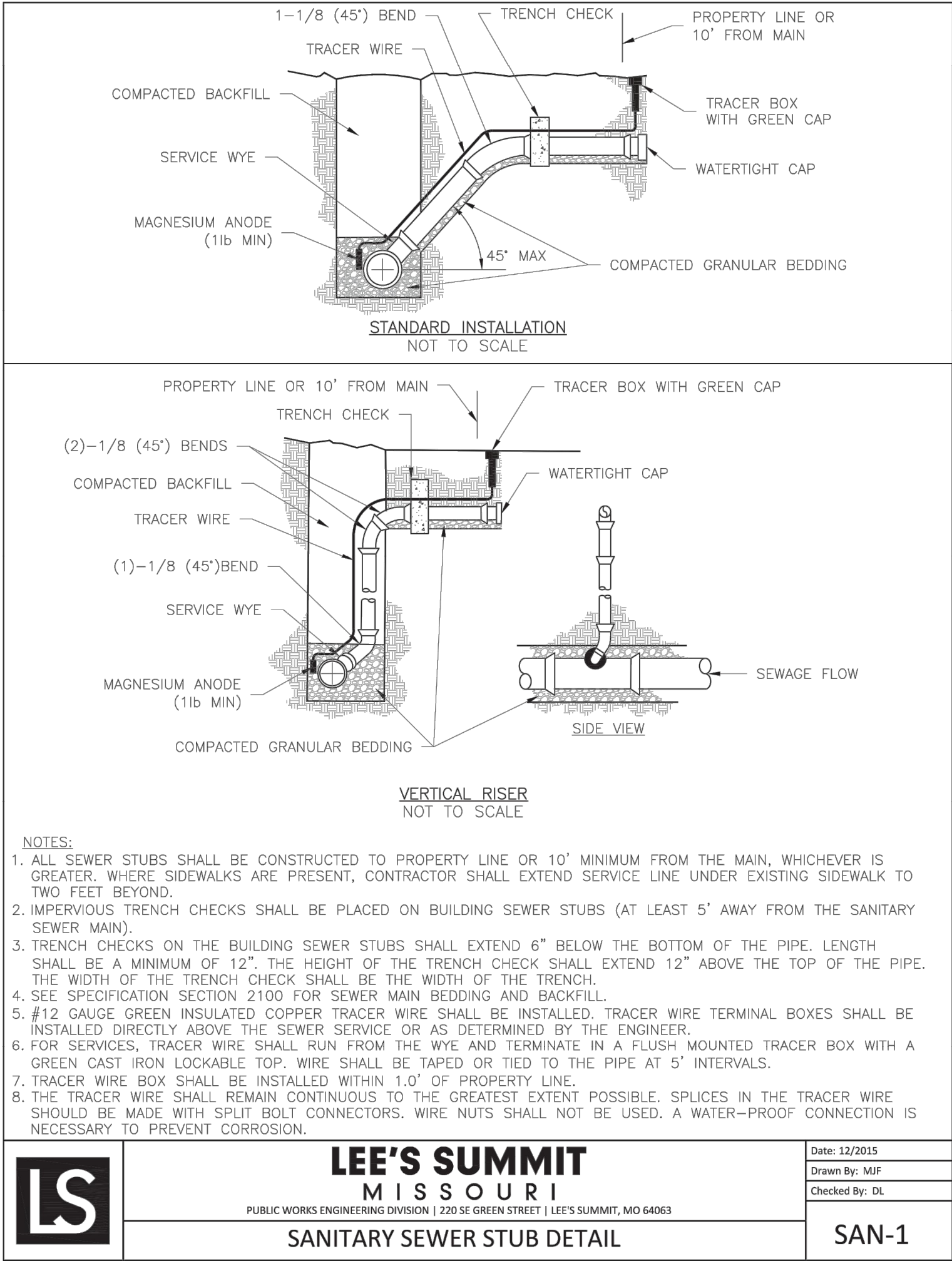
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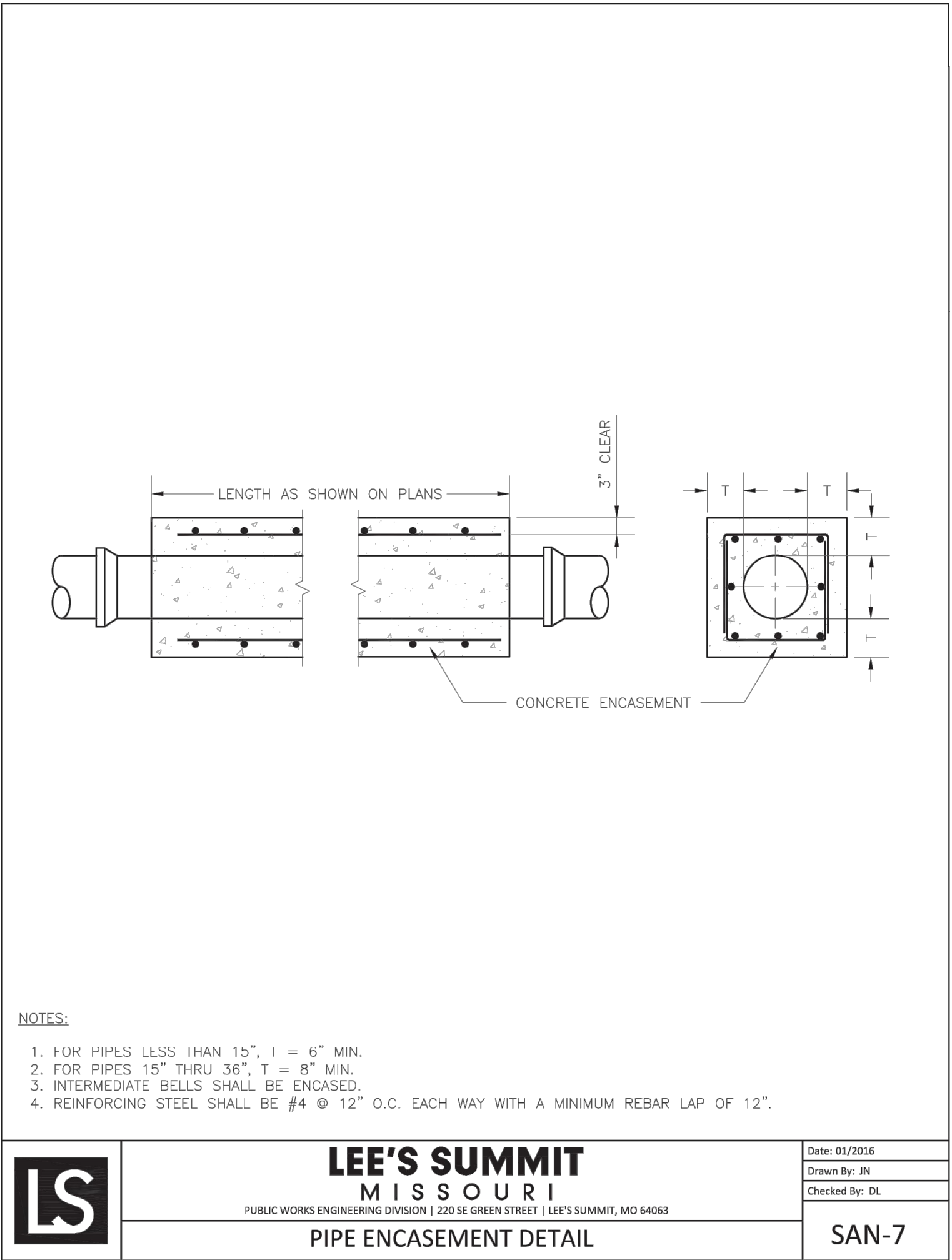
C

B

A



1 **SANITARY SEWER STUB**
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2 **PIPE ENCASEMENT**
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KANSAS CITY, MO 64114
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9229 WARD PARKWAY, SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200

STRUCTURAL ENGINEER
LEIGH + O'KANE
MISSOURI COA #001644
250 NE MURBERRY, SUITE 201
LEE'S SUMMIT, MO, 64086
(816) 444-3144 PHONE

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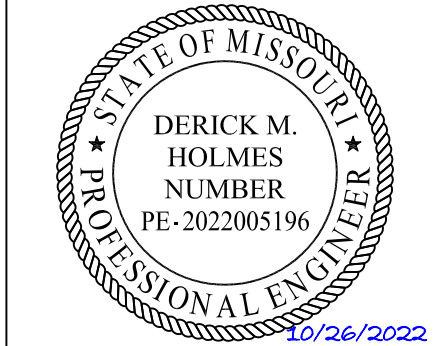
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**SANITARY
SEWER
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C-540

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E

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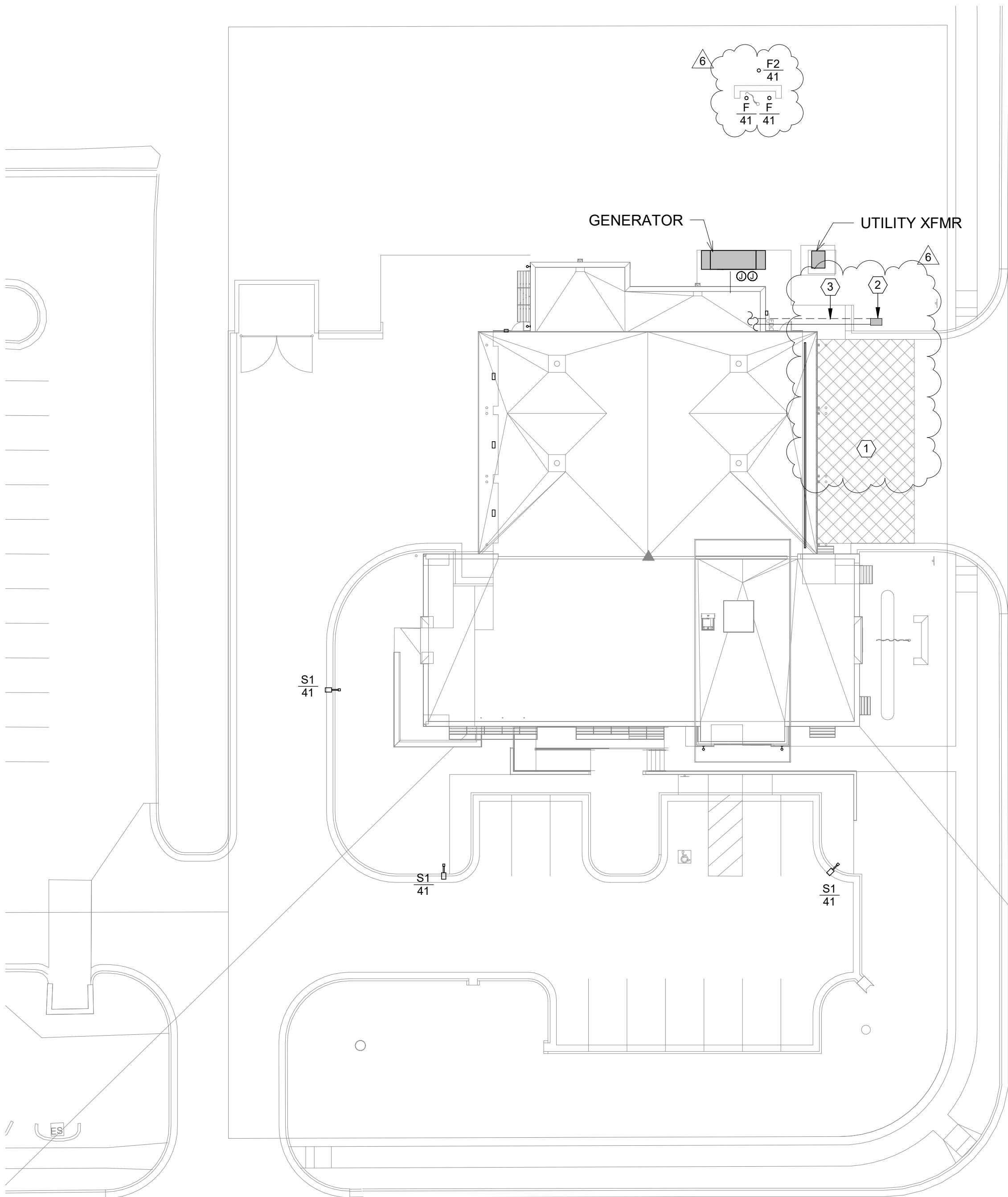
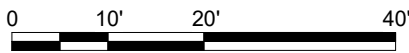
B

A

A1

MPE SITE PLAN

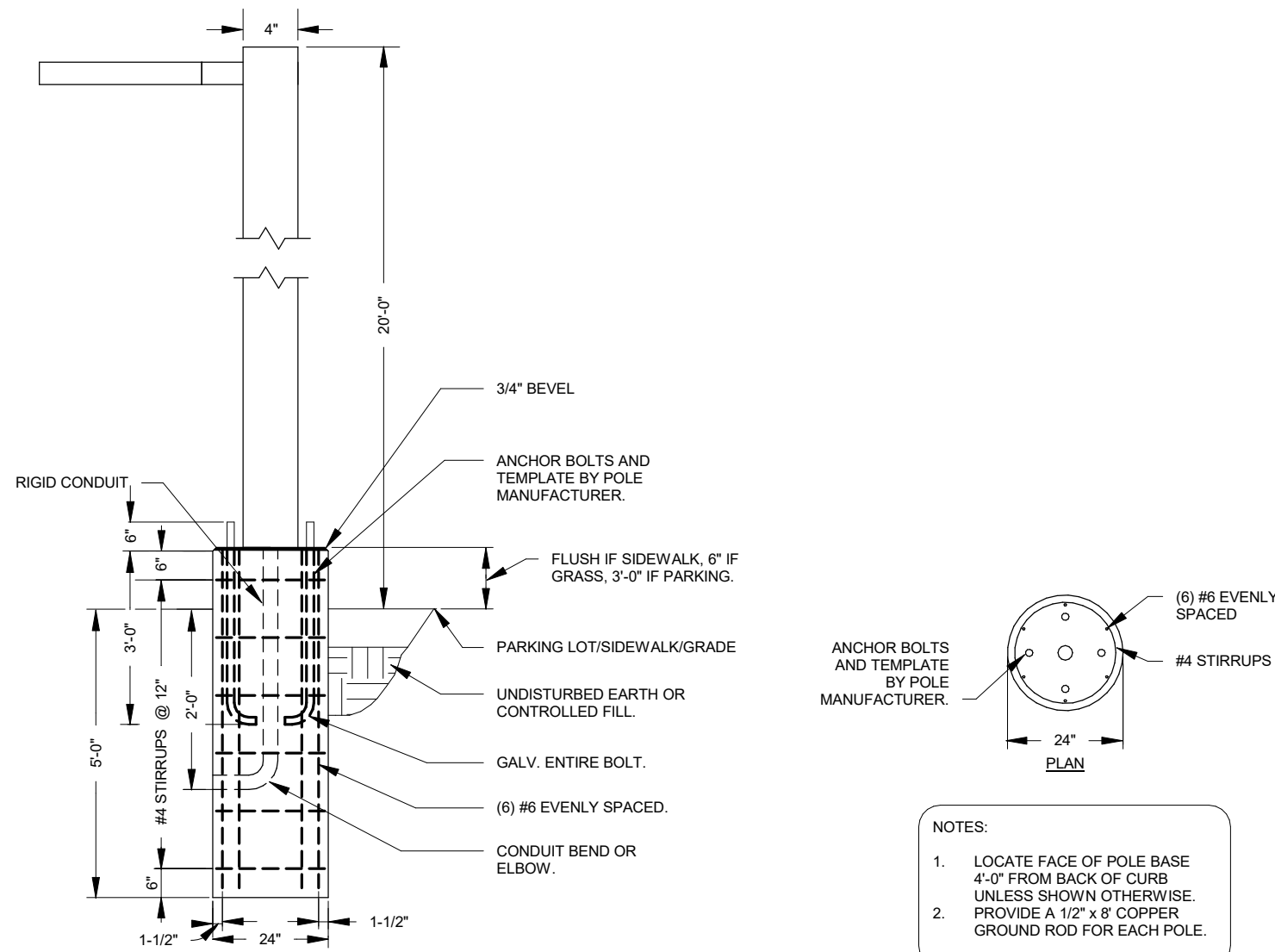
1" = 20'-0"



A6

POLE BASE DETAIL

NOT TO SCALE



PLAN NOTES:

- 1 PROVIDE 1575 SQ. FT. OF CONCRETE WITH SNOW MELT. TUBING SHALL BE INSTALLED 6" BELOW FINISHED FLOOR. COORDINATE SLAB INSULATION WITH ARCHITECT. REFER TO SPECIFICATIONS FOR ADDITIONAL INFO.
- 2 PROVIDE NDS, OR EQUAL, MODEL 313BCBW MIN. 14X19 VALVE BOX FOR SNOW MELT MANIFOLD.
- 3 SNOW MELT PIPING TO MANIFOLD BOX. REFER TO HVAC PIPING PLAN FOR CONTINUATION.



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9229 WARD PARKWAY
SUITE # 210
KANSAS CITY, MO 64114
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FAX: (316) 265-5646
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FSMA ARCHITECTS
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KANSAS CITY, MO 64114
TEL: (816) 444-4200

STRUCTURAL ENGINEER
LEIGH + OKANE
MISSOURI COA #001644
250 NE MULBERRY, SUITE 201
LEE'S SUMMIT, MO 64086
(816) 444-3144

MECH., ELECT. & PLUMB. ENGINEERS
HOSS & BROWN ENGINEERS
MISSOURI COA #01022
15902 MIDLAND DRIVE
SHAWNEE, KS 66217
(913) 362-9090

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HENDERSON ENGINEERS
MISSOURI COA #000556
1801 MAIN STREET, SUITE 300
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NEIL BARTLEY - ENGINEER
MO# PE-2007023868

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CHK'D BY:	NB

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MPE SITE PLAN

ME001

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FIXTURE TYPE	MANUFACTURER	MODEL	LIGHT SOURCE				DIMMING TYPE	MOUNTING TYPE	VOLTAGE	INPUT WATTS	INPUT VA	DESCRIPTION	NOTES
			TYPE	LUMENS	COLOR TEMP	CRI							
S1	LITHONIA	DSX1 LED P4 30K T4M MVOLT	LED	13165	3000 K	80	--	POLE	120	125		POLE MOUNTED SITE LIGHTING FIXTURE	10
WL	MICROLINEA	ML3WLASY-D-CO(628LPF)-K40-80-12-R-FLA-F01M-EF-UNV-DIM10	LED	2578	3000 K	80	--	RECESSED	120	356	395	EXTERIOR LINEAR WALL-WASH FIXTURE. 4 FT SECTIONS, 7.5 W/FT. LUMENS OUTPUT PER 4 FT	2
WP	ACUITY	WDGE3 LED P2 30K 80CRI MVOLT SRM	LED	8500	3000 K	80	--	WALL MOUNT	120	15	17	EXTERIOR WALL PACK	2
WS	BEGA	24 582	LED	1581	3000 K	85	--	WALL MOUNT	120	17	18	EXTERIOR WALL SQUARE DOWN LIGHT	2
WXE	ACUITY	WDGE2 P130K 80CRI VF MVOLT SRM	LED	1200	3000 K	80	--	WALL MOUNT	120	10	11	EXTERIOR WALL PACK WITH COLD-WEATHER EM BATTERY	2.4

NOTES:

1. PROVIDE FIXTURE WITH DIMMABLE DRIVER.
2. PROVIDE FIXTURE WITH COLD WEATHER DRIVER.
3. PROVIDE FIXTURE WITH EMERGENCY DRIVER.
4. PROVIDE FIXTURE WITH COLD WEATHER EMERGENCY DRIVER.
5. PROVIDE NUMBER OF FACES AND DIRECTIONAL ARROWS TO MATCH WHAT IS SHOWN ON DRAWINGS.
6. MOUNT FIXTURE 6'-4" ABOVE FINISHED GRADE.
7. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.
8. PROVIDE CONTINUOUS RUN LENGTHS AS SHOWN ON PLANS.
9. MOUNT WITHIN ARCHITECTURAL SOFFIT WHERE SHOWN. REFER TO ARCHITETUARAL PLAN FOR SOFFIT DETAILS.
10. POLE MOUNT BOTTOM OF FIXTURE AT 20'-0" ABOVE GRADE.

GENERAL NOTES:

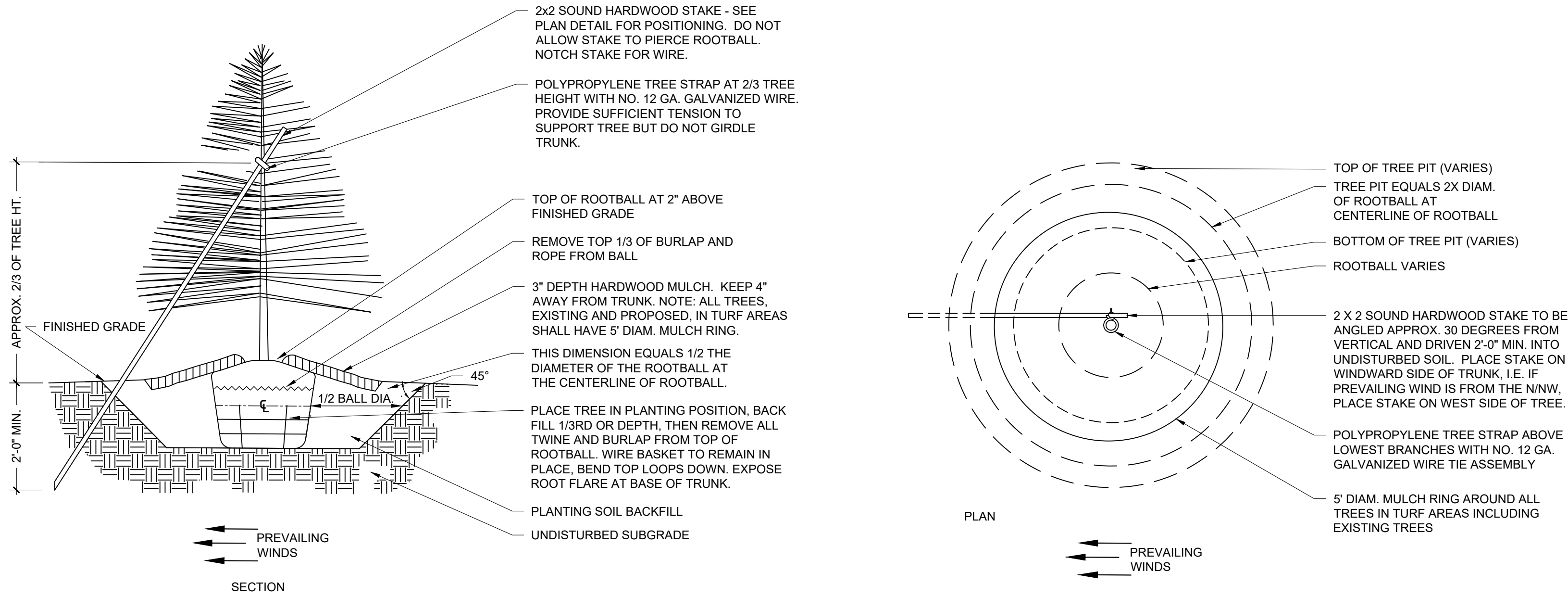
- A. CONTRACTOR SHALL VERIFY CEILING TYPE PRIOR TO ORDERING ALL FIXTURES.
- B. PROVIDE ALL REQUIRED ACCESSORIES FOR A COMPLETE INSTALLATION.
- C. REFERENCE PLANS FOR FIXTURES REQUIRING EMERGENCY DRIVERS.
- D. CONTRACTOR SHALL VERIFY CEILING TYPE PRIOR TO ORDERING ALL FIXTURES.

This architectural floor plan shows a building layout with a grid of dimensions. The plan includes a central rectangular area with two large triangular structures, possibly chimneys or ventilation stacks, and a smaller rectangular structure to the right. The building is surrounded by a perimeter wall with various openings and a small circular feature at the bottom left. The dimensions are provided in a grid format, with values ranging from 0.0 to 3.0. The plan is oriented with North at the top, indicated by a north arrow symbol.

Y	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
0.0																	
0.0																	
0.0																	
0.0																	
0.0																	
0.1	0.1	0.1	0.2	0.4	3.9	11.6											
0.1	0.1	0.2	0.3	0.5	5.5	17.4											
0.2	0.4	0.5	0.7	6.4	19.4												
0.4	1.0	1.0	0.8	6.2	18.85												
0.7	1.6	1.6	0.8	5.0	15.6												
1.0	2.7	2.8	0.9														
1.2	3.9	4.3															
1.5	4.4	4.8															
1.6	5.1	5.8															
1.5	4.5	4.9															
1.2	4.0	4.4															
1.0	2.8	2.8															
1.0	2.3	2.4															
1.0	1.9	2.1	2.3	3.1	3.4	2.4	1.8	1.7	1.5	1.7	2.0	2.6	3.2	3.0			
0.8	1.3	1.8	2.2	2.6	2.8	2.4	2.0	1.6	1.4	1.5	1.8	2.0	2.5	2.4			
0.7	1.0																
0.5	0.7																
0.4	0.5																
0.3	0.3	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.3	0.4	0.5	0.6	0.6	0.5		

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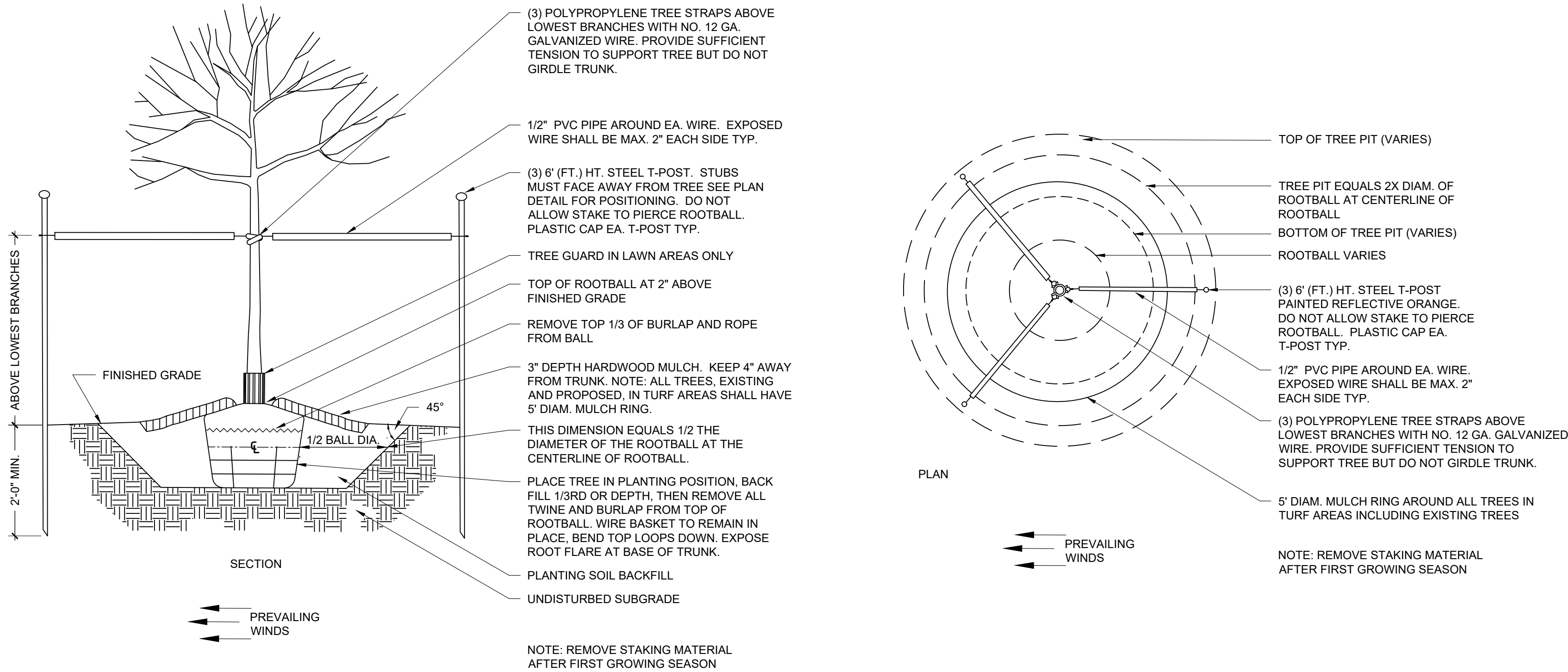
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1 EVERGREEN TREE PLANTING

N.T.S.

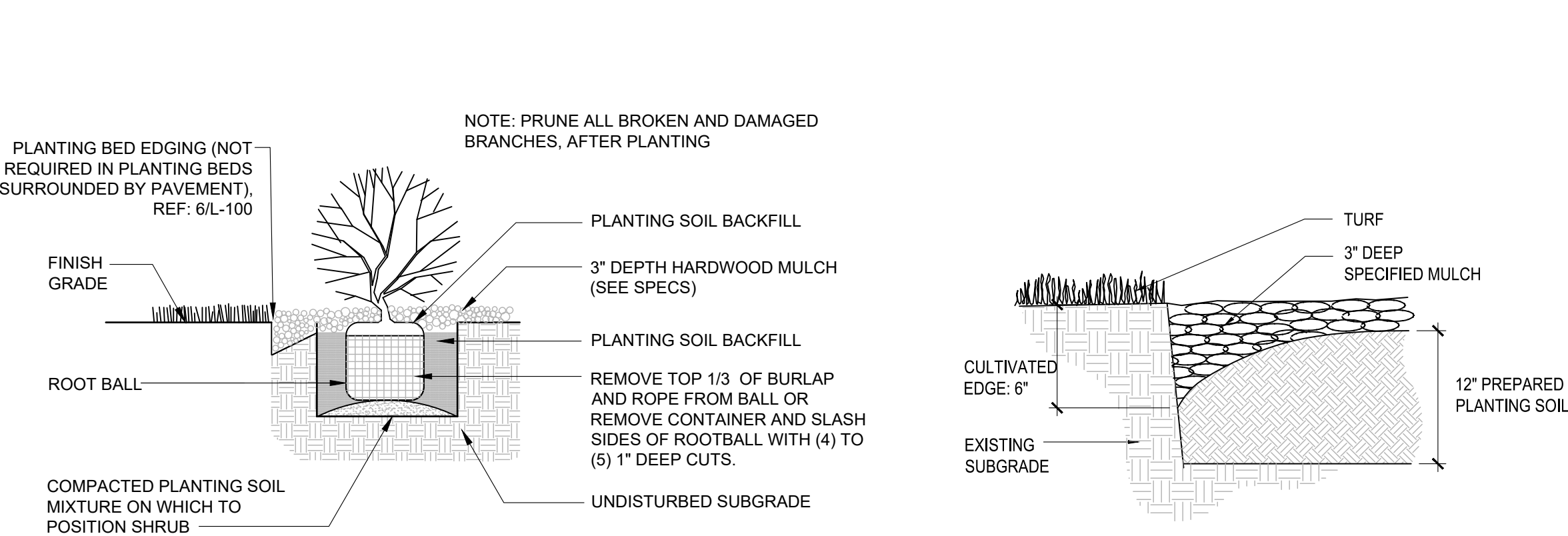
C



3 DECIDUOUS TREE PLANTING

N.T.S.

B



5 SHRUB PLANTING

N.T.S.

A

6 CULTIVATED EDGE

N.T.S.

N.T.S.

2 EVERGREEN TREE STAKING

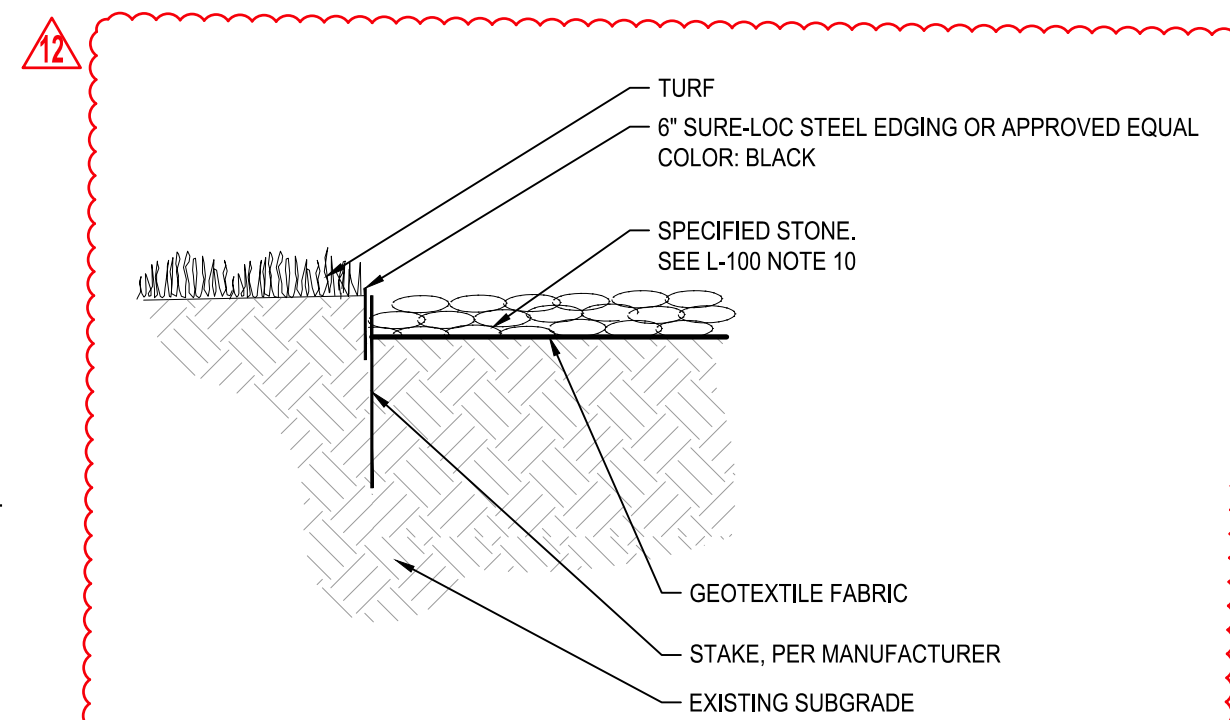
N.T.S.

N.T.S.

4 DECIDUOUS TREE STAKING

N.T.S.

N.T.S.



7 STEEL EDGING

N.T.S.

N.T.S.

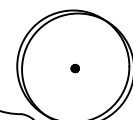

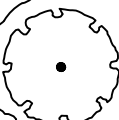




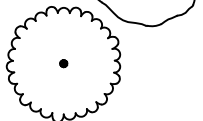












GENERAL LANDSCAPE SITE NOTES

1. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL GIVE 48 HOURS ADVANCE NOTICE TO ALL THOSE COMPANIES/UTILITIES THAT HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
2. CONTRACTOR SHALL VERIFY ALL PLANT COUNTS, QUANTITIES AND AREAS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING OR INSTALLING MATERIALS SPECIFIED.
3. SEE PLANT SCHEDULE FOR PLANT LEGEND AND QUANTITIES.
4. SYMBOLS INDICATED ON THE PLAN TAKE PRIORITY OVER WRITTEN QUANTITIES AND LABELS.
5. PLANTS CALLED OUT IN PLAN ARE CONSIDERED IN CLUSTERS EVEN IF NOT ATTACHED BY CONNECTING LINES. CALLOUTS HAVE TOTAL COUNTS NEEDED.
6. CONTRACTOR SHALL MAINTAIN THE LANDSCAPE UNTIL SUBSTANTIAL COMPLETION. MAINTENANCE WORK SHALL CONSIST OF APPLYING WATER, WEEDING, AND FERTILIZING.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR DISEASE AND PEST CONTROL DURING THE MAINTENANCE PERIOD.
8. CONTRACTOR TO VERIFY, WITH SOIL ANALYSIS, THE SOIL AMENDMENT NEEDED AND CONTACT THE LANDSCAPE ARCHITECT IF THERE ARE ANY INADEQUATE AMENITIES.
9. PLANT MATERIAL SHALL NOT BE DELIVERED TO THE SITE NOR INSTALLED WHEN TEMPERATURES ARE ABOVE 90°F OR BELOW 40°F AT THE TIME OF PLANTING AND FORECASTED FOR A PERIOD OF 2 WEEKS AFTER INSTALLATION.
10. CONTRACTOR TO PROVIDE A 1-YEAR WARRANTY ON ALL INSTALLED PLANTINGS FROM POINT OF SUBSTANTIAL COMPLETION.

PLANTING NOTES

1. ALL PLANT MATERIAL SHALL BE OF EXCELLENT QUALITY, FREE OF DISEASE AND INFESTATION, AND TRUE TO TYPE, VARIETY, SIZE SPECIFIED, AND FORM PER THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1, CURRENT VERSION), PUBLISHED BY THE AMERICAN NURSERYMEN'S ASSOCIATION.
2. PLANT MATERIAL SHALL BE PLANTED AND MAINTAINED TO ASNS SPECIFICATIONS.
3. CONTRACTOR SHALL VERIFY ALL LANDSCAPE MATERIAL QUANTITIES AND SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
4. NO SUBSTITUTIONS FOR VARIETY OR CULTIVAR SHALL BE ACCEPTED WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT.
5. ALL TREES AND SHRUBS SHALL BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN, FOLLOWING THE LANDSCAPE PLAN ACCURATELY, PAYING ATTENTION TO EVEN SPACING IN THE ROW OR COVERAGE AREA OF THE INDIVIDUAL SPECIES AND HOW IT IS BEING USED.
6. ALL PLANTING BEDS ABUTTING LAWN AREAS SHALL HAVE STEEL EDGING (SEE DETAIL FOR TYPE) INSTALLED AS THE BED EDGE RESTRAINT. NO STEEL EDGING SHALL BE INSTALLED BETWEEN ROCK MULCH AND PAVEMENT.
7. ALL PLANTINGS SHALL BE THOROUGHLY WATERED IN WITH A GARDEN HOSE, TWICE, THE SAME DAY AS INSTALLATION TO ELIMINATE AIR POCKETS IN THE BACKFILL.
8. NO PLANTINGS SHALL BE PLACED CLOSER THAN 3' FROM THE BACK OF THE CURB TO ALLOW FOR VEHICLE BUMPER OVERHANG.
9. PROPOSED TREES SHALL NOT BE PLACED OVER EXISTING OR PROPOSED UTILITY SERVICE LINES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND UTILITY LOCATIONS AND HAVE THEM MARKED DURING TREE PLANTING OPERATIONS. IF UTILITY IS DAMAGED DURING PLANTING, CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR AND OWNER OF UTILITY AND PAYING FOR REPAIR OF THE DAMAGED UTILITY.
10. ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" DEEP LAYER OF MISSOURI RIVER ROCK (1/2" - 1 1/2" IN SIZE) AT THE CONCLUSION OF THE PLANTING OPERATIONS. PLACE ROCK MULCH OVER GEOTEXTILE FABRIC.
11. ALL TREES SHALL HAVE A 5'-0" DIAMETER MULCH RING WITH A CULTIVATED EDGE, SEE DETAIL 6/L-100. MULCH SHALL BE A 3" DEEP LAYER OF BROWN, DOUBLE GROUND, HARDWOOD, 1" DIAMETER IN SIZE OR SMALLER INSTALLED AT THE CONCLUSION OF ALL PLANTING OPERATIONS.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	AB	3	Acer rubrum 'Brandywine' / Brandywine Red Maple	B & B	2.5"	
	AA	3	Acer rubrum 'Armstrong' / Armstrong Red Maple	B & B	2.5"	
	GP	2	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Maidenhair Tree	B & B	2.5"	
	KP	2	Koelreuteria paniculata / Golden Rain Tree	B & B	2.5"	
	MA	3	Malus x 'Adirondack' / Adirondack Crabapple	B & B	2.5"	
	NW	5	Nyssa sylvatica 'Wildfire' / Black Gum	B & B	2.5"	
	UC	1	Ulmus x 'Frontier' / Frontier Elm	B & B	2.5"	
	ZM	3	Zelkova serrata 'Musashino' / Musashino Sawleaf Zelkova	B & B	2.5"	
CONIFERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	PB	4	Picea pungens 'Baby Blue' / Baby Blue Colorado Spruce	B & B	6' Ht	
	TS	10	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	B & B	6' Ht	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SPACING
	Ca	25	Cornus sericea 'Artic Fire' / Artic Fire Dogwood	5 gal	Pot	48" o.c.
	Ec	3	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal	Pot	72" o.c.
	Ho	36	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	Quart	Pot	18" o.c.
	Hf	3	Hosta x 'First Frost' / First Frost Hosta	2 gal	Pot	30" o.c.
	Lm	20	Liriope muscari / Lily Turf	Quart	Pot	12" o.c.
	Rr	12	Rosa x 'Knockout' TM / Rose	2 gal	Pot	48" o.c.
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SPACING
	Ck	18	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	3 gal.	Pot	36" o.c.
	Sh	34	Sporobolus heterolepis / Prairie Dropseed	2 gal	Pot	30" o.c.
EVERGREEN	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SPACING
	Jl	17	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 gal	Pot	60" o.c.
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	SIZE		
	Fa	15,473 sf	Festuca arundinacea / Tall Fescue 90% Fescue, 10% Bluegrass Mix	sod		

8 LANDSCAPE SCHEDULE

N.T.S.

9229 WARD PARKWAY
SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200
FAX: (316) 265-5646
www.glmv.com

GLMV ARCHITECTURE, INC.
MISSOURI STATE CERTIFICATE OF AUTHORITY
#00005

CIVIL ENGINEER & LANDSCAPE ARCH.
GLMV ARCHITECTURE, INC.
MISSOURI CIVIL COA #2019033898
MISSOURI LANDSCAPE COA #000008
9229 WARD PARKWAY, SUITE # 210
KANSAS CITY, MO 64114
TEL: (816) 444-4200

STRUCTURAL ENGINEER
LEIGH + O'KANE
MISSOURI COA #001644
250 NE MURBERRY, SUITE 201
LEE'S SUMMIT, MO, 64086
(816) 344-3144 PHONE

MECH., ELEC. & PLUMBING ENGINEERS
HOSS & BROWN ENGINEERS
MISSOURI COA #01022
15902 MIDLAND DRIVE
SHAWNEE, KS 66217
(913) 362-9090 PHONE

SECURITY & IT ENGINEERS
HENDERSON ENGINEERS
MISSOURI COA # 000556
1601 MAIN STREET, SUITE 300
KANSAS CITY, MO 64108
(816) 663-8700 PHONE

FIRE STATION #5
CITY OF LEE'S SUMMIT
801 MISSOURI HIGHWAY 150
LEE'S SUMMIT, MISSOURI 64082

REVISIONS:

#	Description	Date
2	ASI 02	11.22.2022
9	ASI 09	06.02.2022
12	ASI 12	09.11.2023

KYLE WARD - LANDSCAPE ARCHITECT
MOR PLA-2016002020

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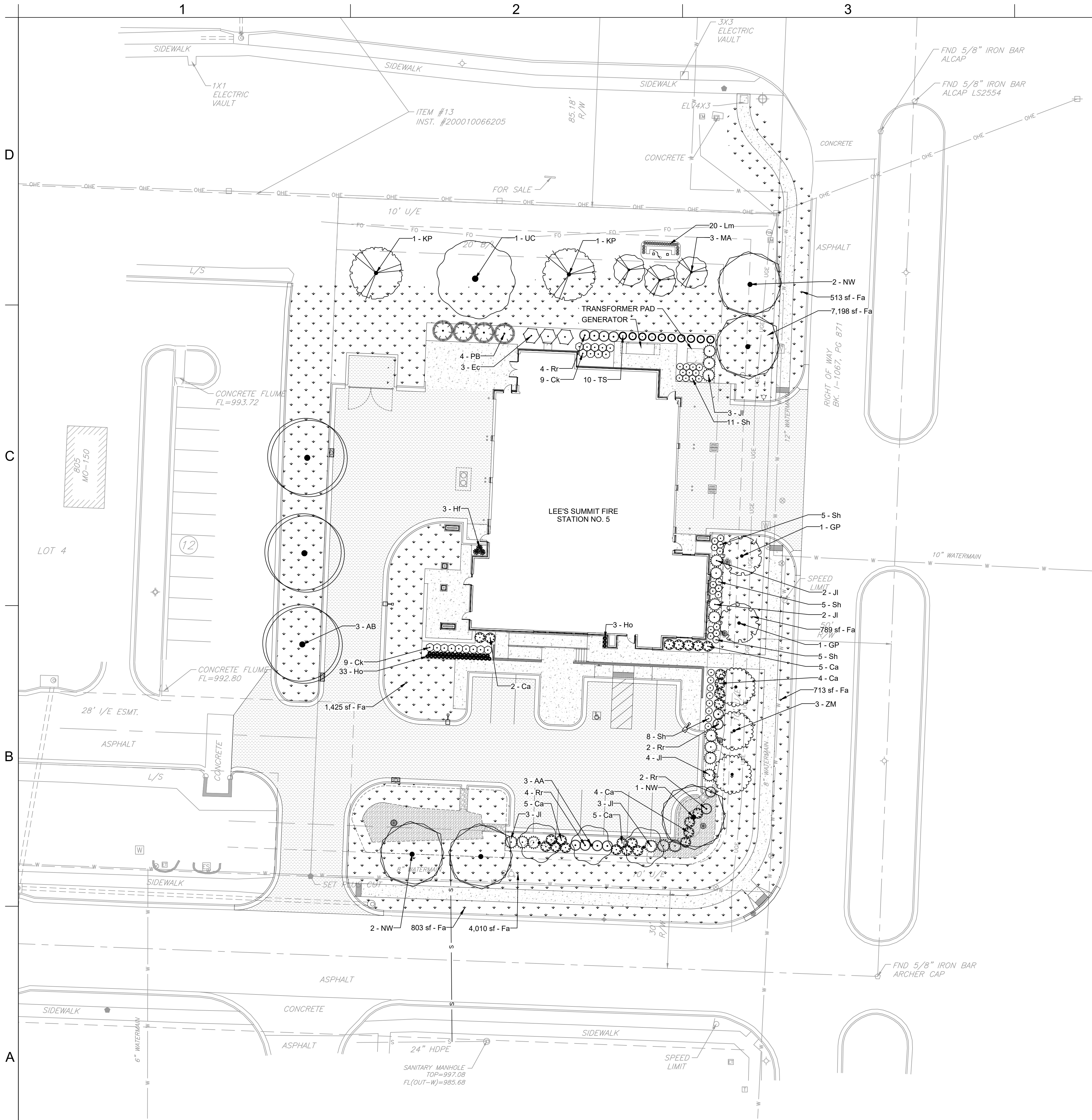
PROJECT NO: 18225R21001
DATE: 10.26.2022
DRAWN BY: KDW
CHKD BY: CDW

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LANDSCAPE SCHEDULE

L-100

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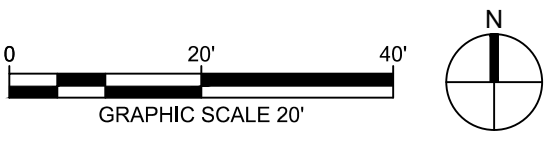
LANDSCAPE NOTES

- ALL SHRUBS ADJACENT TO A SIDEWALK OR EDGE SHALL BE PLANTED 1/2 THE SPACING SPECIFIED IN THE PLANT SCHEDULE.
- SEE SHEET L-100 FOR PLANT SCHEDULE AND QUANTITIES.
- FINAL PLANT LOCATIONS TO BE VERIFIED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING BEDS ABUTTING LAWN AREAS SHALL HAVE STEEL EDGING (SEE DETAIL FOR TYPE) INSTALLED AS THE BED EDGE RESTRAINT. NO STEEL EDGING SHALL BE INSTALLED BETWEEN ROCK MULCH AND PAVEMENT.
- ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" DEEP LAYER OF MISSOURI RIVER ROCK (1/2" - 1 1/2" IN SIZE) AT THE CONCLUSION OF THE PLANTING OPERATIONS. PLACE ROCK MULCH OVER GEOTEXTILE FABRIC.
- ALL TREES SHALL HAVE A 5'-0" DIAMETER MULCH RING WITH A CULTIVATED EDGE, SEE DETAIL 6/L-100. MULCH SHALL BE A 3" DEEP LAYER OF BROWN, DOUBLE GROUND, HARDWOOD, 1" DIAMETER IN SIZE OR SMALLER INSTALLED AT THE CONCLUSION OF ALL PLANTING OPERATIONS.

LANDSCAPE LEGEND

TREES	CODE	BOTANICAL NAME	COMMON NAME
	AB	Acer rubrum 'Brandywine'	Brandywine Red Maple
	AA	Acer rubrum 'Armstrong'	Armstrong Red Maple
	GP	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree
	KP	Koelreuteria paniculata	Golden Rain Tree
	MA	Malus x 'Adirondack'	Adirondack Crabapple
	NW	Nyssa sylvatica 'Wildfire'	Black Gum
	UC	Ulmus x 'Frontier'	Frontier Elm
	ZM	Zelkova serrata 'Musashino'	Musashino Sawleaf Zelkova
CONIFERS	CODE	BOTANICAL NAME	COMMON NAME
	PB	Picea pungens 'Baby Blue'	Baby Blue Colorado Spruce
	TS	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME
	Ca	Cornus sericea 'Artic Fire'	Artic Fire Dogwood
	Ec	Euonymus alatus 'Compactus'	Compact Burning Bush
	Ho	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily
	Hf	Hosta x 'First Frost'	First Frost Hosta
	Lm	Liriope muscari	Lily Turf
	Rr	Rosa x 'Knockout' TM	Rose
GRASSES	CODE	BOTANICAL NAME	COMMON NAME
	Ck	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
	Sh	Sporobolus heterolepis	Prairie Dropseed
EVERGREEN	CODE	BOTANICAL NAME	COMMON NAME
	Jl	Juniperus chinensis 'Gold Lace'	Gold Lace Juniper
SOD/SEED	CODE	BOTANICAL NAME	COMMON NAME
	Fa	Festuca arundinacea 90% Fescue, 10% Bluegrass Mix	Tall Fescue

1 LANDSCAPE PLAN



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100% CONSTRUCTION DOCUMENT DRAWINGS

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LANDSCAPE PLAN

L-101

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